

DOLLAR GENERAL SITE IMPROVEMENT & BUILDING PLANS

PREPARED FOR:

DEARBORN LAND INVESTMENT, LLC

14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OHIO 44107 (216)-226-5160

MENDON ROAD
WOONSOCKET, RI

PREPARED BY:

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

P.O. Box 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

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	EXTERIOR ELEVATIONS

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

OFFICE OF WATER RESOURCES

FRESHWATER WETLANDS PROGRAM

& FLOOD DAMAGE PREVENTION

AS SPECIFIED IN THE LETTER OF APPROVAL

DATED JAN 7, 2015 FILE # 14-01751

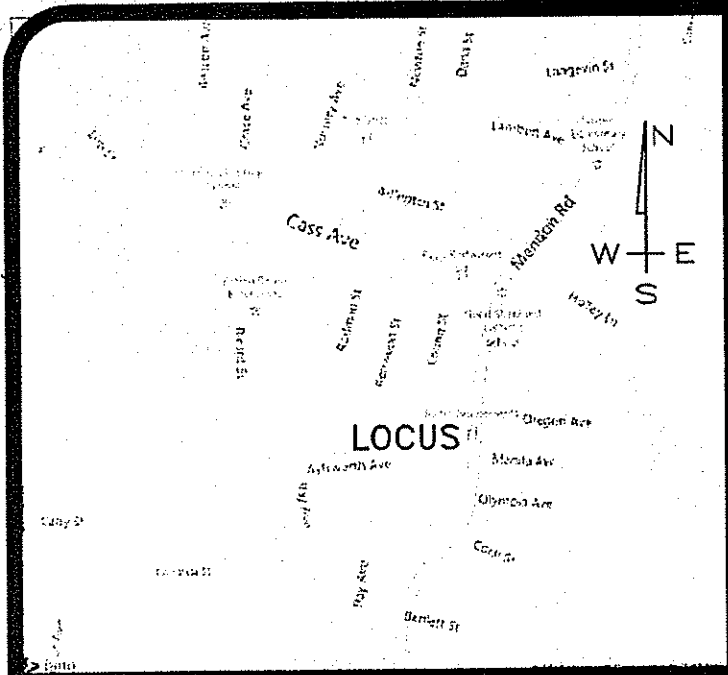
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REVISED: 12/11/14

PROJECT NO. 4519

DATE: 6/20/14



LOCUS MAP
N.T.S.

NOTES:

- 1.) THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF WOONSOCKET, PROVIDENCE COUNTY, RHODE ISLAND MAP NUMBER 44007C0088G, HAVING AN EFFECTIVE DATE OF MARCH 2, 2009.
- 2.) THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
- 3.) HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83 VERTICAL DATUM: WOONSOCKET SEWER DATUM ADD 54.73 FEET TO WOONSOCKET SEWER DATUM TO ACQUIRE NAVD 88 DATUM.

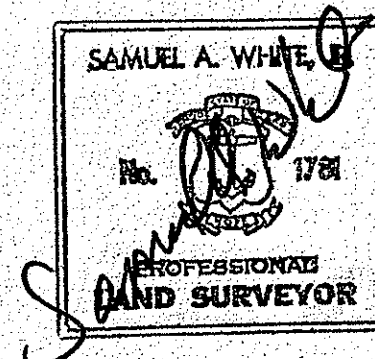
SPECIAL EXCEPTIONS SCHEDULE B-II

3. SPECIAL EXCEPTIONS:
 - a) RIGHTS OF OTHERS TO THE WATER OF THE BROOK AND RIGHT OF INGRESS AND EGRESS THERETO TO ALL AS PARTICULARLY SET FORTH IN BOOK 140 AT PAGE 348. (PLOTTED)
 - b) DRAINPIPE MAINTENANCE EASEMENT TO THE CITY OF WOONSOCKET SET FORTH IN BOOK 220 AT PAGE 119. (PLOTTED)
 - c) EASEMENT OF RECORD AND RIGHT OF WAY REFERRED TO IN A DEED TO STEPHEN PROVAZZA DATED MAY 12, 2005. (PLOTTED)
 - d) THIRTY (30') FOOT WIDE RIGHT OF WAY TOGETHER WITH AN AGREEMENT TO MAINTAIN THE RIGHT OF WAY IN A PROPER AND WORKMANLIKE MANNER REFERRED TO IN WARRENTY DEED RECORDED IN BOOK 1488 AT PAGE 124. (PLOTTED)
 - e) RIGHTS OF WAY SHOWN ON FINAL MAJOR SUBDIVISION FOR LEO BEAUDOIN, JR. 1265 MENDON ROAD WOONSOCKET, RHODE ISLAND RECORDED 1/19/2005 IN PLAN BOOK 22 AT PAGE 56. (PLOTTED)

CERTIFICATION:

THIS SURVEY AND PLAN CONFORMS TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BOUNDARY SURVEY: CLASS I
CULTURE & TOPOGRAPHY: CLASS III
BY: Samuel A. White, Jr. 1781 8-1-14
PROFESSIONAL LAND SURVEYOR REG. NO. DATE



CERTIFICATION:

TO: DOLLAR GENERAL CORPORATION, DG STRATEGIC II, LLC, ZAREMBA PROGRAM DEVELOPMENT LLC, AND STEWART TITLE GUARANTY COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11(b), 13, 14, 16, 17, AND 18 OF TABLE A HEREOF.

THE FIELD WORK WAS COMPLETED ON MAY 14, 2014.

DATE OF PLAT OR MAP MAY 23, 2014

BY: Samuel A. White, Jr. 1781
SAMUEL A. WHITE, JR. REG. NO. 1781

GENERAL LEGEND & ABBREVIATIONS

N/F	NOW OR FORMERLY
S.F.	SQUARE FEET
AC.	ACRES
RRH	RHODE ISLAND HIGHWAY BOUND
△	PK NAIL
□ CB	CATCH BASIN
⊙ DMH	DRAIN MANHOLE
⊙ SMH	SEWER MANHOLE
⊙	WATER MANHOLE
⊙	HYDRANT
⊙ WMETER	WATER METER
⊙ WV	WATER VALVE
⊙ GV	GAS VALVE
⊙	TEST PIT
⊙	UTILITY POLE
⊙	BOLLARD
⊙	SIGN
---	LOCUS PROPERTY LINE
---	EASEMENT LINE
---	ASSESSORS LINE
---	CONTOUR (5')
---	CONTOUR (1')
---	SPOT GRADE
---	CHAIN LINK FENCE
---	STOKADE FENCE
---	CONCRETE WALL
---	DRAIN LINE
---	GAS LINE
---	WATER LINE
---	SEWER LINE
---	OVERHEAD WIRES
---	TREELINE

ZONING DATA

MU-2 DISTRICT
MIN. LOT SIZE: 6,000 SF.
MAX. BUILDING COVERAGE:
2.0 FLOOR AREA RATIO
MIN. FRONTAGE: N/A
MIN. FRONT YARD: 20'
MIN. SIDE YARD: 10'
MIN. REAR YARD: 25'
MAX. BLDG. HEIGHT: 60' / 5 STORIES
* PLEASE REFER TO ZONING REGS. FOR ADDITIONAL INFORMATION.

PARCEL DATA

MAP D6 LOT 49-395
N/F
MARS ENTERPRISES
DEED BK. 1488 / PG. 124
MENDON ROAD
LOT AREA:
51,804 S.F. ± OR
1.189 ACRES ±

PARCEL DATA

MAP D6 LOT 49-396
N/F
MARS ENTERPRISES
DEED BK. 1549 / PG. 192
MENDON ROAD
LOT AREA:
32,295 S.F. ± OR
0.741 ACRES ±

PLAN REFERENCES:

1. "FINAL MAJOR SUBDIVISION" PREPARED FOR LEO BEAUDOIN JR. DATED JANUARY, 2005 SCALE 1"=40' PREPARED BY NATIONAL SURVEYORS - DEVELOPERS INC.
2. STATE HIGHWAY PLAT NO. 1289 (MENDON ROAD).

GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Garofalo & Associates ©
These drawings are the property of the engineer/surveyor and have been prepared for the specific project shown on this site and are not to be used for any other purpose, location or owner without written direction from the owner or one of its directors.

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL 401-273-8000

JOB NO.
6948

DRAWN BY MPH

DWG. NO.
6948-EXCON

CALCS BY MPH

SCALE:
1"=20'

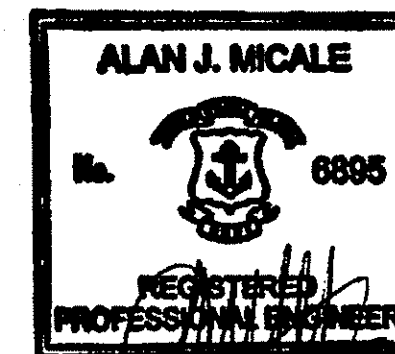
APPROVED SAW

DATE: MAY 2014

ENVIRONMENTAL MANAGEMENT
RESOURCES
CONSULTING
INC.
14-0135
DEC 16 2014

OF 1 SHEETS

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REVISIONS		DESCRIPTION	DATE
BY	DATE	DESCRIPTION	
1	6/21/14	REVISED PARKING & BUILDING LOCATION PER CLIENT COMMENTS	
2	6/21/14	REVISED WALK	
3	6/21/14	REVISED PER UPDATED DATUM INFORMATION	
4	6/21/14	REVISED PER RIVERFRONT WETLAND AREAS	
5	6/21/14	REVISED PER DOT REVIEW COMMENTS	

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

CORPORATE OFFICE:
4114 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533
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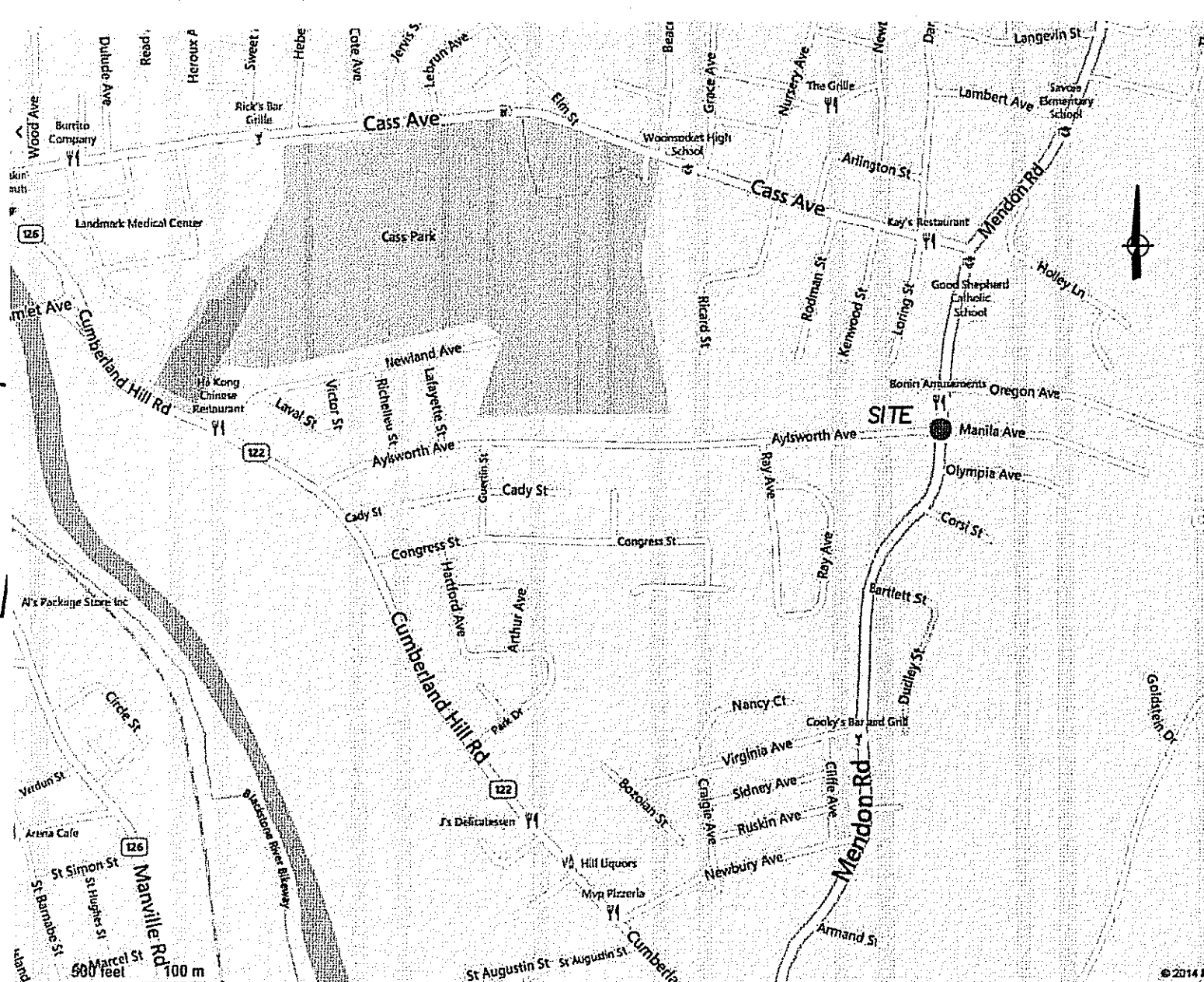
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14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OHIO 44107 (216)-226-5160

PROJECT ADDRESS
WOONSOCKET, RI
MENDON ROAD

SHEET DESCRIPTION
SITE IMPROVEMENT PLAN

PROJECT NO. 4519.114
SCALE: 1"=20'
DRAWN BY: RCD
DATE: 6/11/14

SHEET NO.
C-1

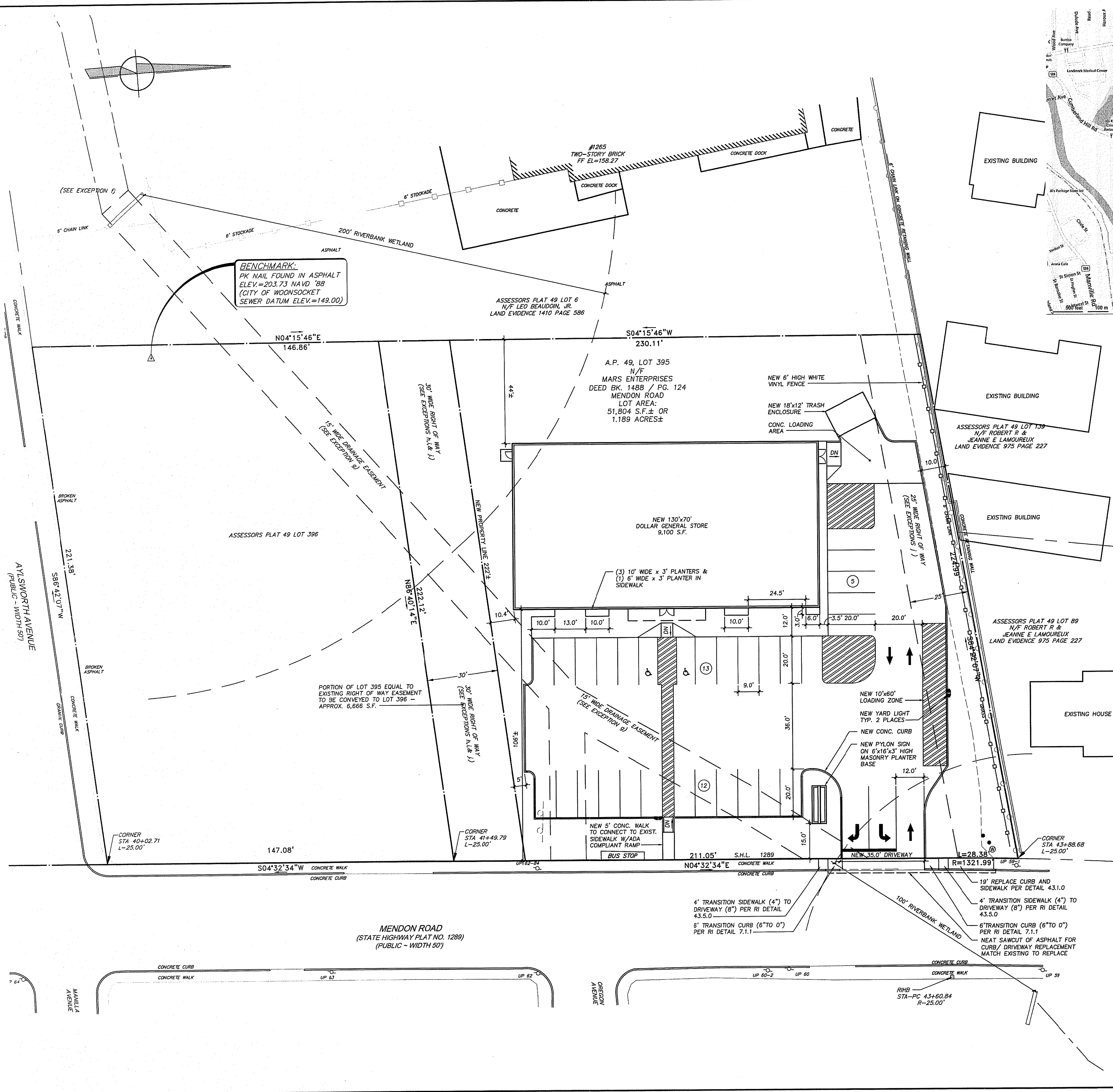


LOCUS MAP
NOT TO SCALE

ZONING DATA

REQUIRED:	PROVIDED: (EXISTING LOT)	PROVIDED: (WITHOUT 30' EASEMENT)
ZONE: MU-2 MIXED USE INDUSTRIAL/COMMERCIAL DISTRICT		
OWNER: MARS ENTERPRISES LLC PO BOX 7179 CUMBERLAND, RI 02864		
EXISTING USE: PARKING LOT PROPOSED USE: RETAIL SALES		
BUILDING SETBACKS:	FRONT - 20' SIDE - 10' REAR - 25'	106'± 40'± 44'±
LOT REQUIREMENTS:	AREA - 6,000 S.F. FLOOR AREA RATIO - 2.0	51,804 S.F.± .18
PARKING REQUIREMENTS:	RETAIL COMMERCIAL ESTABLISHMENT: 4 SPACES PER FIRST 1,000 S.F. NET FLOOR AREA + 1 SPACE PER EACH ADDITIONAL 200 S.F. OF NET FLOOR AREA	106'± 10.4' 44'±
NET FLOOR AREA = 7,400 S.F. 6,400 S.F./200 S.F. = 32 SPACES + 4 SPACES = 36 SPACES TOTAL	NO EXISTING PARKING SPACES	30 SPACES
ZONING INFORMATION WAS TAKEN FROM: CITY OF WOONSOCKET ZONING ORDINANCE AS REVISED 1994		

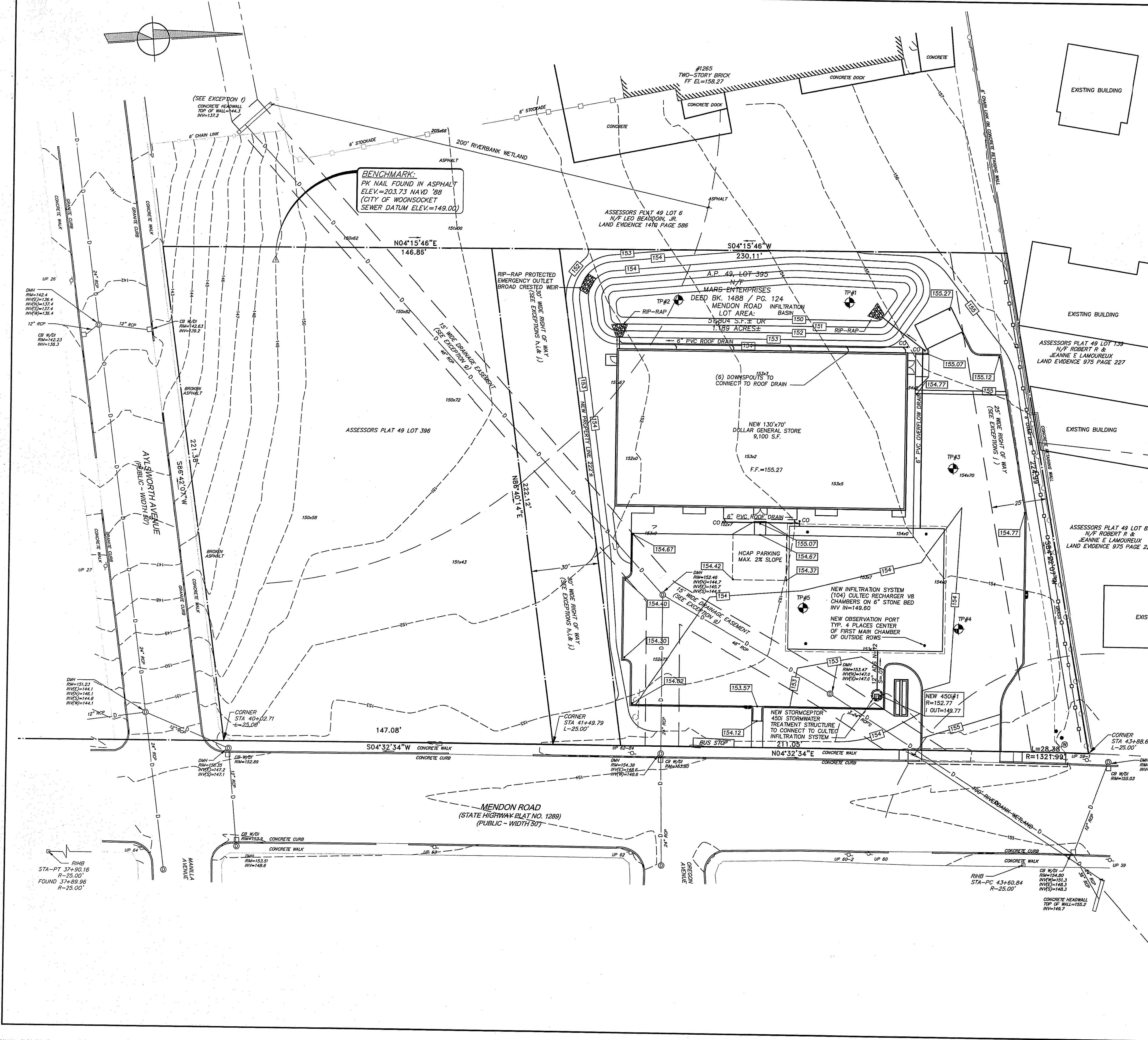
NOTE: TRAFFIC CONTROL MEASURES DURING CONSTRUCTION
SHALL CONFORM TO THE M.U.T.C.D.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 7 2015 FILE # K-0175
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION
SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:
PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49
LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
SCALE: 1"=20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS
STREET P.O. BOX 6145 PROVIDENCE, RI 02940 TEL. 401-273-6000

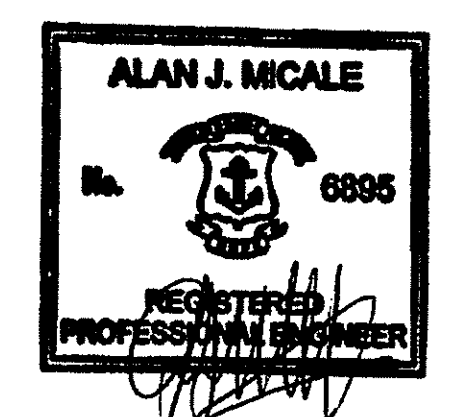




DRAINAGE SYSTEM MAINTENANCE NOTES:

1. THE STORMCEPTOR WILL BE INSPECTED AT LEAST TWICE THE FIRST YEAR PER MANUFACTURER RECOMMENDATIONS AND SUBSEQUENT YEARS BASED ON THE OIL AND SEDIMENT ACCUMULATION RATE DETERMINED DURING THE FIRST YEAR OBSERVATIONS. CLEANING IS REQUIRED WHEN SEDIMENT DEPTH REACHES 15% OF STORAGE CAPACITY. THIS STRUCTURE SHOULD ALSO BE INSPECTED AFTER ANY FUEL SPILL OR MAJOR STORM. POLLUTED WATER OR SEDIMENTS REMOVED FROM THE DEVICE SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. CLEANING INCLUDES REMOVAL OF ACCUMULATED OIL AND GREASE AND SEDIMENT USING A VACUUM TRUCK OR OTHER ORDINARY CATCH BASIN CLEANING DEVICE.
2. THE DETENTION BASIN SHOULD BE INSPECTED AT LEAST TWICE DURING THE SIX MONTHS AFTER CONSTRUCTION, THEREAFTER ON AN ANNUAL BASIS AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR 24-HOUR TYPE III PRECIPITATION EVENT, TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. MINOR SOIL EROSION GULLIES SHOULD BE REPAIRED WHEN THEY OCCUR. TRASH AND DEBRIS SHOULD BE REMOVED AND THE GRASS SHOULD BE MOVED ON A MINIMUM MONTHLY BASIS, OR AS REQUIRED TO MAINTAIN A NEAT APPEARANCE. IF THE SURFACE BECOMES CLOGGED TO THE POINT THAT STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE SURFACE SHOULD BE AERATED.

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REVISIONS		DESCRIPTION
REV	DATE	DESCRIPTION
1	8/20/14	REVISED ROOF DRAINS PER CLIENT COMMENT
2	8/20/14	REVISED PER CITY REVIEW COMMENTS
3	8/20/14	REVISED PER CITY REVIEW COMMENTS
4	9/04/14	REVISED DRAINAGE SYSTEM
5	12/11/14	REVISED PER REVIEW COMMENTS

AYOUB ENGINEERING

ENGINEERS & ARCHITECTS
CORPORATE OFFICE:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533
P.O. BOX 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WILDLIFE PROGRAM
INTEGRATED WATERSHED COORDINATIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN. 1, 2015 FILE # 14-0195
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

- NOTE:
1. THE PROPOSED NEW DRAINAGE SYSTEM MUST BE LOCATED OUT OF THE EXISTING CITY STORM DRAINAGE EASEMENT. A PLS (PROFESSIONAL LAND SURVEYOR) IS REQUIRED TO LAYOUT THE PROPOSED DRAINAGE SYSTEM LOCATION IN THE FIELD PRIOR TO CONSTRUCTION.
 2. A UIC (UNDERGROUND INJECTION CONTROL) PERMIT FROM THE RIEM (RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT) IS REQUIRED FOR THE SUBSURFACE INFILTRATION OF THE PAVED AREAS. A COPY OF THE UIC APPROVAL MUST BE PROVIDED TO THE CITY.
 3. THE MAINTENANCE PLAN FOR THE INFILTRATION BASIN AND ANY OTHER STORM DRAIN COMPONENTS IS REQUIRED TO BE RECORDED IN THE CITY CLERK'S OFFICE ONCE PLANS ARE APPROVED.
 4. A WATER & SEWER PETITION IS REQUIRED FOR NEW CONSTRUCTION.
 5. ALL UTILITY SERVICE CONNECTIONS ARE TO BE INSTALLED IN CONFORMANCE WITH THE CITY OF WOONSOCKET WATER & SEWER DESIGN AND INSTALLATION REQUIREMENTS.
 6. THE 2 DRAIN MANHOLES LOCATED ON THE SUBJECT PROPERTY WITHIN THE 15' WIDE DRAINAGE EASEMENT WILL REQUIRE RIM ELEVATION ADJUSTMENTS TO BE CONSISTENT WITH PROPOSED FUTURE SITE GRADES.
 7. ALL EXISTING & PROPOSED UTILITY & TOPOGRAPHIC FEATURES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

REFERENCE:
PROPERTY LINES & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49 LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
SCALE: 1"=20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS STREET P.O. BOX 6145 PROVIDENCE, RI 02940 TEL. 401-273-6000



PREPARED FOR
DOLLAR GENERAL
DEARBORN LAND INVESTMENT, LLC
14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OHIO 44107 (216)-226-5160

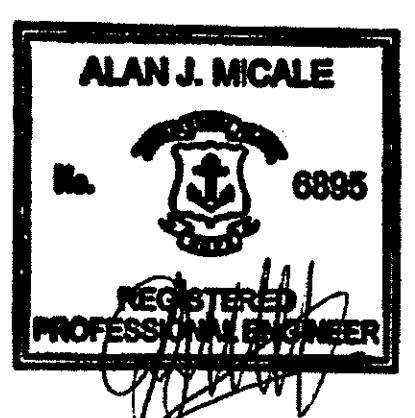
PROJECT ADDRESS
WOONSOCKET, RI
MENDON ROAD

SHEET DESCRIPTION
SITE GRADING PLAN

PROJECT NO. 4519.114
SCALE: 1"=20'
DRAWN BY: RCD
DATE: 6/19/14

SHEET NO.
C-2

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



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REVISONS					BY
REV	PER	DATE	DESCRIPTION	RCD	
1	AJM	6/20/14	REVISED ROOF DRAINS PER CLIENT COMMENT	RCD	
2	AJM	7/18/14	REVISED PER CITY REVIEW COMMENTS	RCD	
3	AJM	8/04/14	REVISED PER UPDATED DATUM INFORMATION	HAL	
4	AJM	9/04/14	REVISED DRAINAGE SYSTEM	RCD	
5	AJM	12/11/14	REVISED PER REVIEW COMMENTS	RCD	

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603-765-1001

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14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OHIO 44107 (216)-226-5160

PROJECT ADDRESS
WOONSOCKET, RI
MENDON ROAD

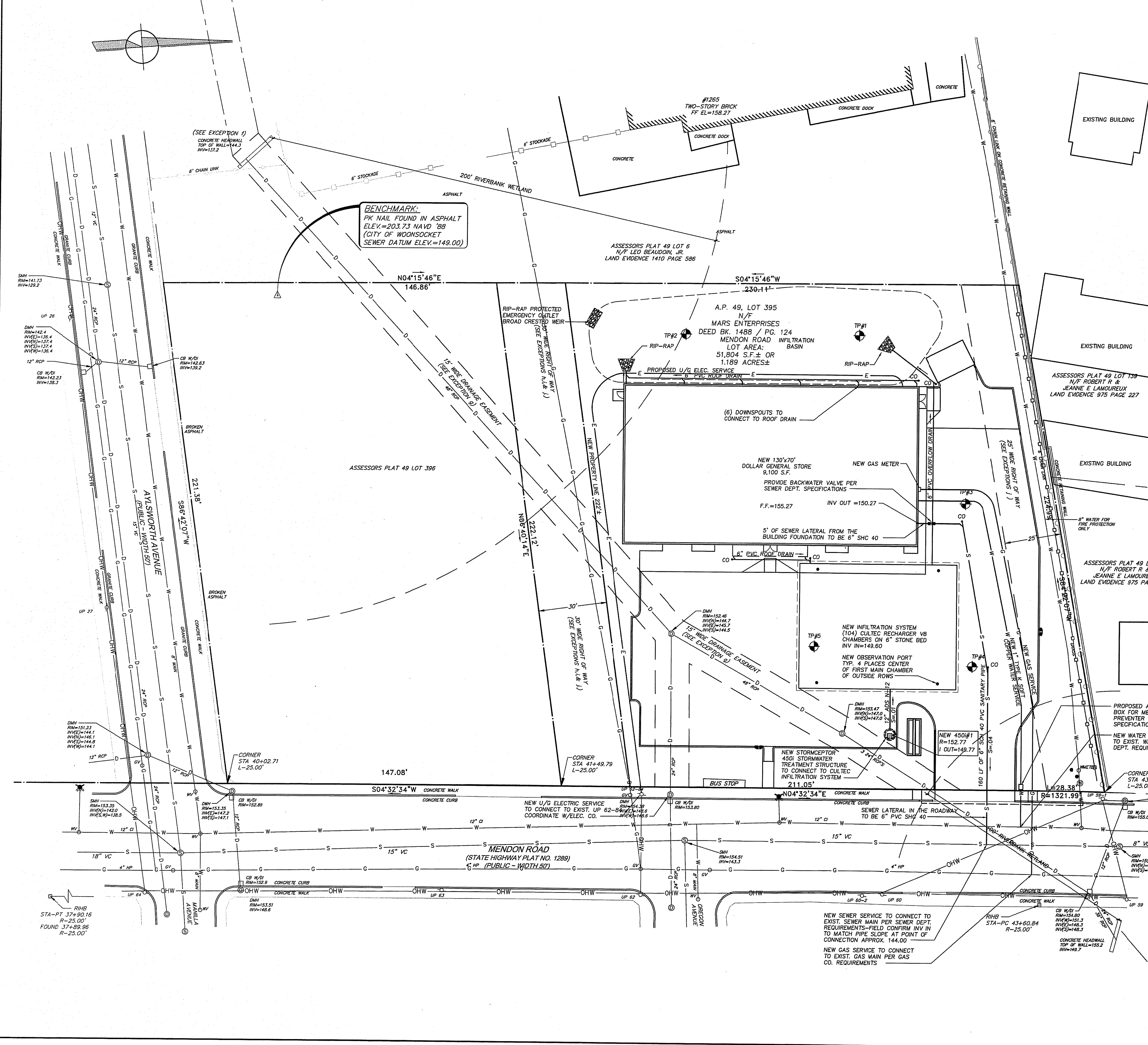
SHEET DESCRIPTION
SITE UTILITY PLAN

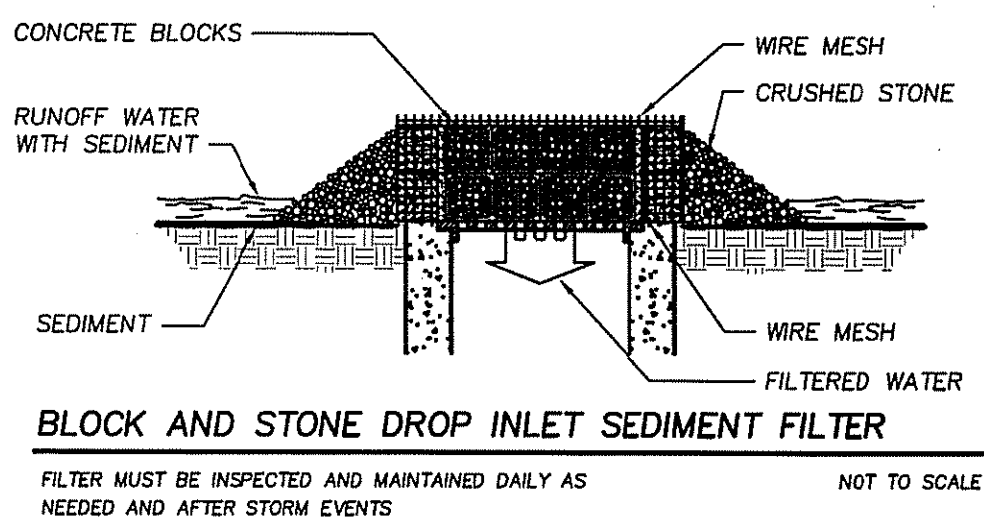
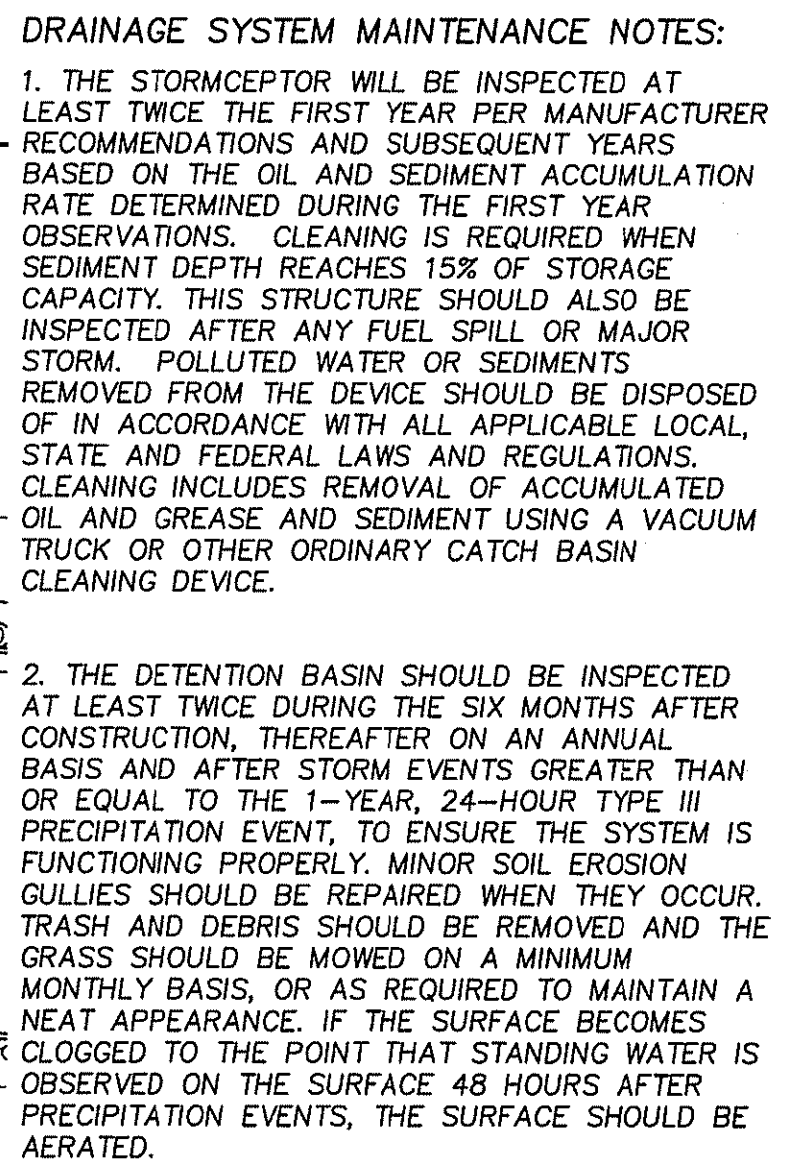
PREPARED FOR: PROJECT NO. 4519.114
SCALE: 1"=20'
DRAWN BY: RCD
DATE: 6/19/14

SHEET NO.
C-3

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
DIVISION OF WATER RESOURCES
STORMWATER MANAGEMENT PROGRAM
DESIGN REVIEW CONDITIONS
APPROVED FOR RECORD OF APPROVAL
JAN 7 2015 FILE # 14-0175
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:
PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49 LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
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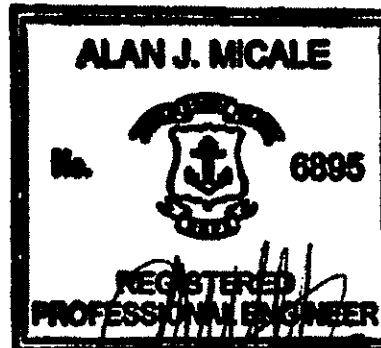


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LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14-
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[illegible]

POST CONSTRUCTION PHASE

ONCE CONSTRUCTION IS COMPLETE, POST-DEVELOPMENT STORM WATER CONTROLS ARE TO BE OPERATED AND MAINTAINED IN COMPLIANCE WITH THE FOLLOWING PERMANENT MAINTENANCE PROCEDURES:

1. CATCH BASINS SHALL BE INSPECTED AND CLEANED (IF NECESSARY ON A QUARTERLY BASIS OR AFTER LARGE RAINSTORMS.
2. ALL CATCH BASINS SHALL BE TREATED WITH MOSQUITO LARVICIDE AS REQUIRED TO PREVENT THE FORMATION OF MOSQUITO BREEDING GROUNDS.
3. IN CASE OF OIL SPILL, CLEAN UP SHOULD BE PERFORMED IMMEDIATELY.
4. ALL PAVED AREAS ON-SITE ARE TO BE SWEEP ONCE A MONTH DURING SPRING, SUMMER, AND EARLY FALL SEASONS AT A MINIMUM OR AS REQUIRED TO PREVENT SEDIMENT ACCUMULATION.
5. ALL UNPAVED AREAS ARE TO BE MAINTAINED. IN GRASSED AREAS BARE SOIL SHOULD BE RESEED WITH GRASS. SOIL AROUND THE PLANTS SHOULD BE MULCHED WITH A MINIMUM OF 1 INCH.
6. THE COORDINATION OF PARKING LOT SWEEPING WILL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR.
7. SEDIMENT ACCUMULATION FROM THE PARKING LOT SWEEPING SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND WILL BE RESPONSIBILITY OF THE OWNER/OPERATOR.

EROSION/SEDIMENT CONTROL BARRIER NOTES

BALES SHOULD BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE BARRIER.

ALL BALES SHOULD BE EITHER WIRE-BOUND OR STRING-TIED. BALES SHOULD BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES TO PREVENT DETERIORATION OF THE BINDINGS.

THE BARRIER SHOULD BE ENTRENCHED AND BACKFILLED. A TRENCH SHOULD BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHOULD CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHOULD BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.

EACH BALE SHOULD BE SECURELY ANCHORED BY AT LEAST TWO 1"x3"x36" STAKES DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHOULD BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES SHOULD BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.

NOTE:

1. THE PROPOSED NEW DRAINAGE SYSTEM MUST BE LOCATED OUT OF THE EXISTING CITY STORM DRAINAGE EASEMENT. PLS (PROFESSIONAL LAND SURVEYOR) IS REQUIRED TO LOCATE THE PROPOSED DRAINAGE SYSTEM LOCATION IN THE FIELD PRIOR TO CONSTRUCTION.

2. A UIC (UNDERGROUND INJECTION CONTROL) PERMIT FROM THE RIDEM (RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT) IS REQUIRED FOR THE SUBSURFACE INFILTRATION OF THE PAVED AREAS. A COPY OF THE UIC APPROVAL MUST BE PROVIDED TO THE CITY.

3. THE MAINTENANCE PLAN FOR THE INFILTRATION BASIN ANY OTHER STORM DRAIN COMPONENTS IS REQUIRED TO BE RECORDED IN THE CITY CLERK'S OFFICE ONCE PLANS ARE APPROVED.

4. A WATER & SEWER PETITION IS REQUIRED FOR NEW CONSTRUCTION.

5. ALL UTILITY SERVICE CONNECTIONS ARE TO BE INSTALL CONFORMANCE WITH THE CITY OF WOONSOCKET WATER & SEWER DESIGN AND INSTALLATION REQUIREMENTS.

6. THE 2 DRAIN MANHOLES LOCATED ON THE SUBJECT PROPERTY WITHIN THE 15' WIDE DRAINAGE EASEMENT WILL REQUIRE RIM ELEVATION ADJUSTMENTS TO BE CONSISTENT PROPOSED FUTURE SITE GRADES.

7. ALL EXISTING & PROPOSED UTILITY & TOPOGRAPHIC FEATURES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

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PAWTUCKET, RHODE ISLAND
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EXETER, NEW HAMPSHIRE 03833
603-765-1001

ENVIRONMENTAL MANAGEMENT
OF WATER RESOURCES
WETLANDS PROGRAM
UNDER VARIOUS CONDITIONS
IN THE LETTER OF APPROVAL
7 2015 FILE # 14-0175
ALLOWED WITHOUT PRIOR APPROVAL
MUST BE AT CONSTRUCTION SITE

DOLLAR GENERAL
REARBORN LAND INVESTMENT,
 14600 DETROIT AVE., SUITE 1500
 LAKEWOOD, OHIO 44107 (216)-226-5160

PROJECT ADDRESS
WOONSOCKET RI

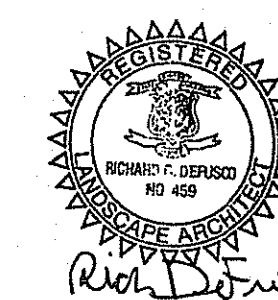
SHEET DESCRIPTION

SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO.	4519.114
SCALE:	1"=20'
DRAWN BY:	HAL
DATE:	09/11/14

SHEET NO.
ER-1

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REV	PER	DATE	DESCRIPTION
1	AY	8/27/14	ADDED BASIN SEED MIX
2	AY	7/23/14	REVISED PER CITY REVIEW COMMENTS
3	AY	8/04/14	REVISED PER UPDATED DATUM INFORMATION
4	AY	8/04/14	REVISED DRAINAGE SYSTEM
5	AY	12/11/14	REVISED PER REVIEW COMMENTS

AYOUB
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DOLLAR GENERAL INVESTMENT, LLC
DEARBORN LAND INVESTMENT, LLC
14600 DETROIT AVE., SUITE 1500
LAKewood, OHIO 44107 (216)-228-5160

PROJECT ADDRESS
WOONSOCKET, RI
MENDON ROAD

SHEET DESCRIPTION
SITE LANDSCAPE PLAN

PROJECT NO. 4519.114
SCALE: 1"=20'
DRAWN BY: RCD
DATE: 6/19/14

SHEET NO.
L-1

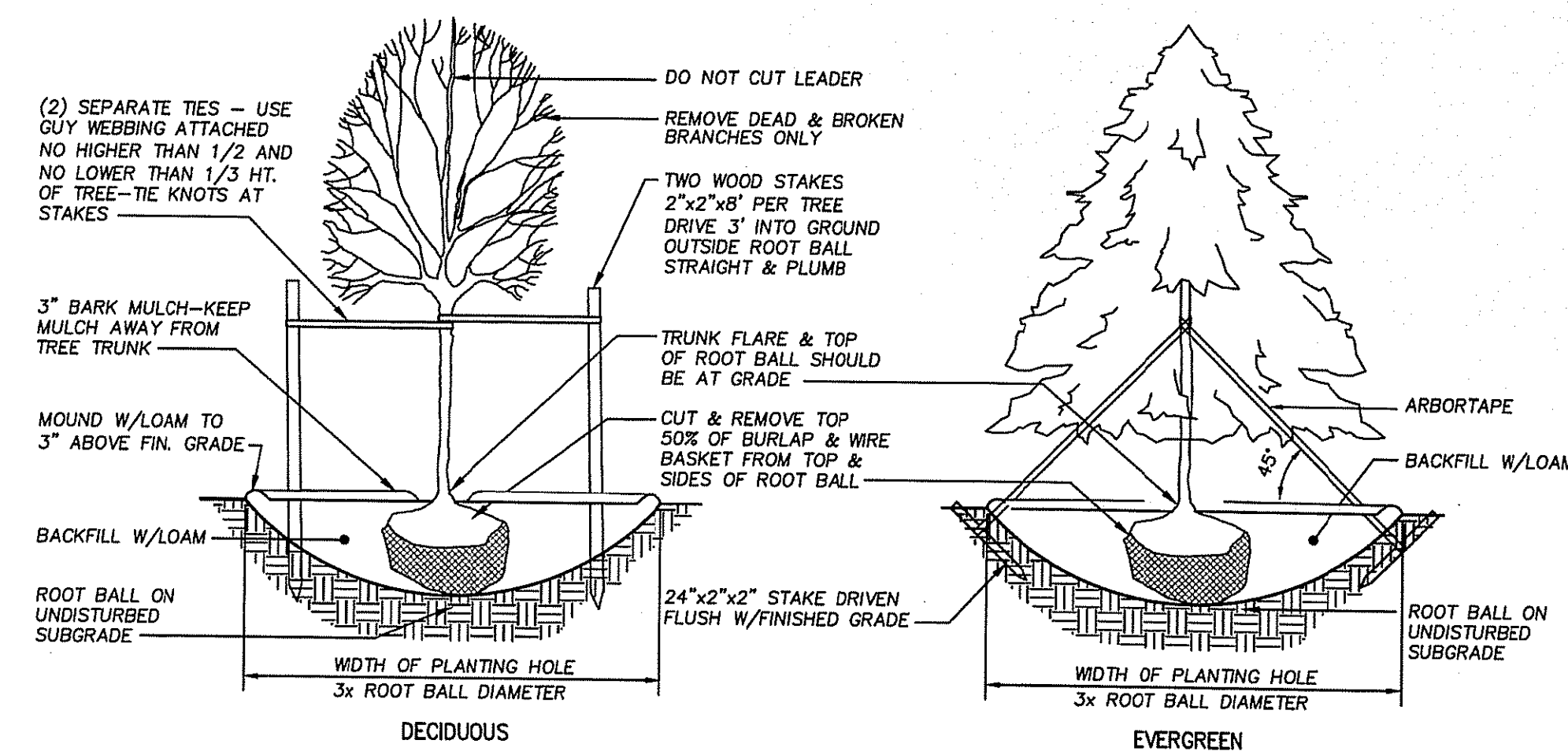
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	ROOT
JV	JUNIPERUS VIRGINIANA	GREY OWL JUNIPER	7	1 1/2'-2' HT.	2 GAL.
TC	TAXUS CUSPIDATA DENSIFORMIS	DENSE YEW	7	2'-2 1/2' HT.	B + B
PJM	RHODODENDRON PJM	PJM	6	2'-2 1/2' HT.	2 GAL.
TP	THUJA (STANDISHII x PLICATA) 'GREEN GIANT'	GREEN GIANT ARBORVITAE	12	6'-8' HT.	B + B
GT	GLEDITZIA TRIACANTHOS	HONEY LOCUST	4	2-2 1/2" CAL.	B + B
AZ	AZALEA HINOCRIMSON	AZALEA	10	1 1/2'-2' HT.	1 GAL.
AZD	AZALEA DELAWARE VALLEY WHITE	AZALEA	6	1 1/2'-2' HT.	1 GAL.
PGC	PICEA GLAUCOA CONICA	DWARF WHITE SPRUCE	2	3' HT.	2 GAL.
PWM	PINUS MUGO MUGO	DWARF MUGO PINE	6	1 1/2'-2' HT.	2 GAL.
SA	SEDUM TELEPHIUM 'AUTUMN JOY'	STONECROP	6	12"	1 GAL.

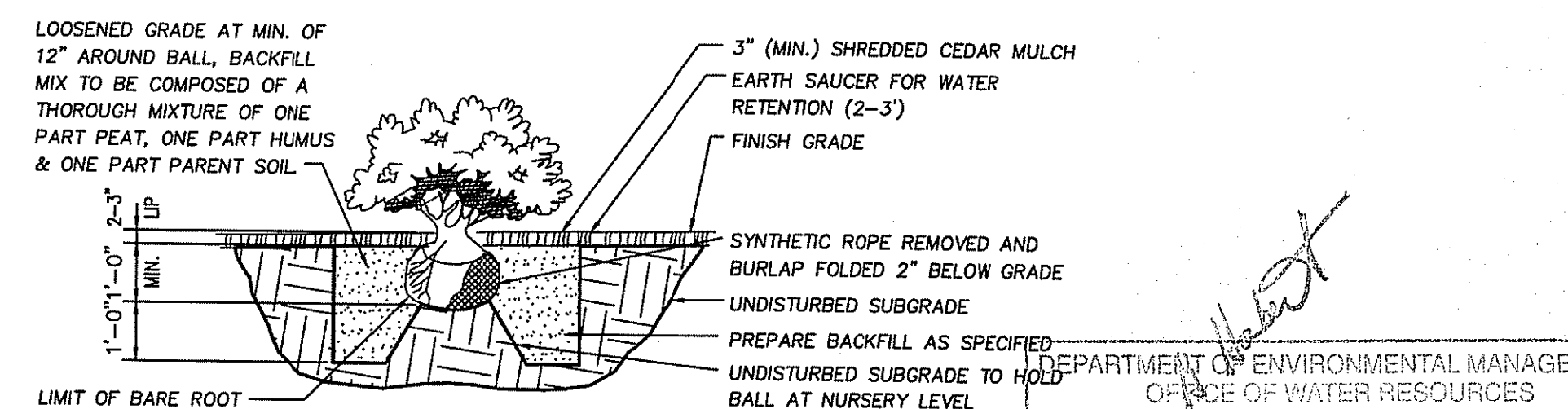
GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE.
- ALL NEW TREES ARE TO BE STAKED WITH TWO 8 FT. HARDWOOD STAKES, GUYED PER DETAIL.
- AREAS SHOWN MULCHED ARE TO BE MULCHED WITH A MINIMUM 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR TWO (2) YEARS TO BE IN HEALTHY AND VIGOROUS CONDITION. IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD.
- ALL PLANTING PITS ARE TO RECEIVE 3 AGRIFORM TABS (3-YEAR FERTILIZER) AT TIME OF PLANTING.
- PLANTS ARRANGED IN CONTINUOUS GROUPING ARE TO BE SET IN MULCHED BEDS. MULCH WILL BE A MIN. 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
- ANY TREES OR SHRUBS DISTURBED FOR NEW WORK ARE TO BE PROTECTED AND OR REPLACED.
- ALL EXISTING TREES AND SHRUBS INDICATED ON DRAWING ARE TO REMAIN UNLESS NOTED.

BASIN SEED MIX	POUNDS PER 1000 S.F.
MIXTURE	
BIRDSFOOT TREFLOIL	0.25
REDTOP	0.10
REED CANARYGRASS	0.35
	0.70



TREE PLANTING DETAILS

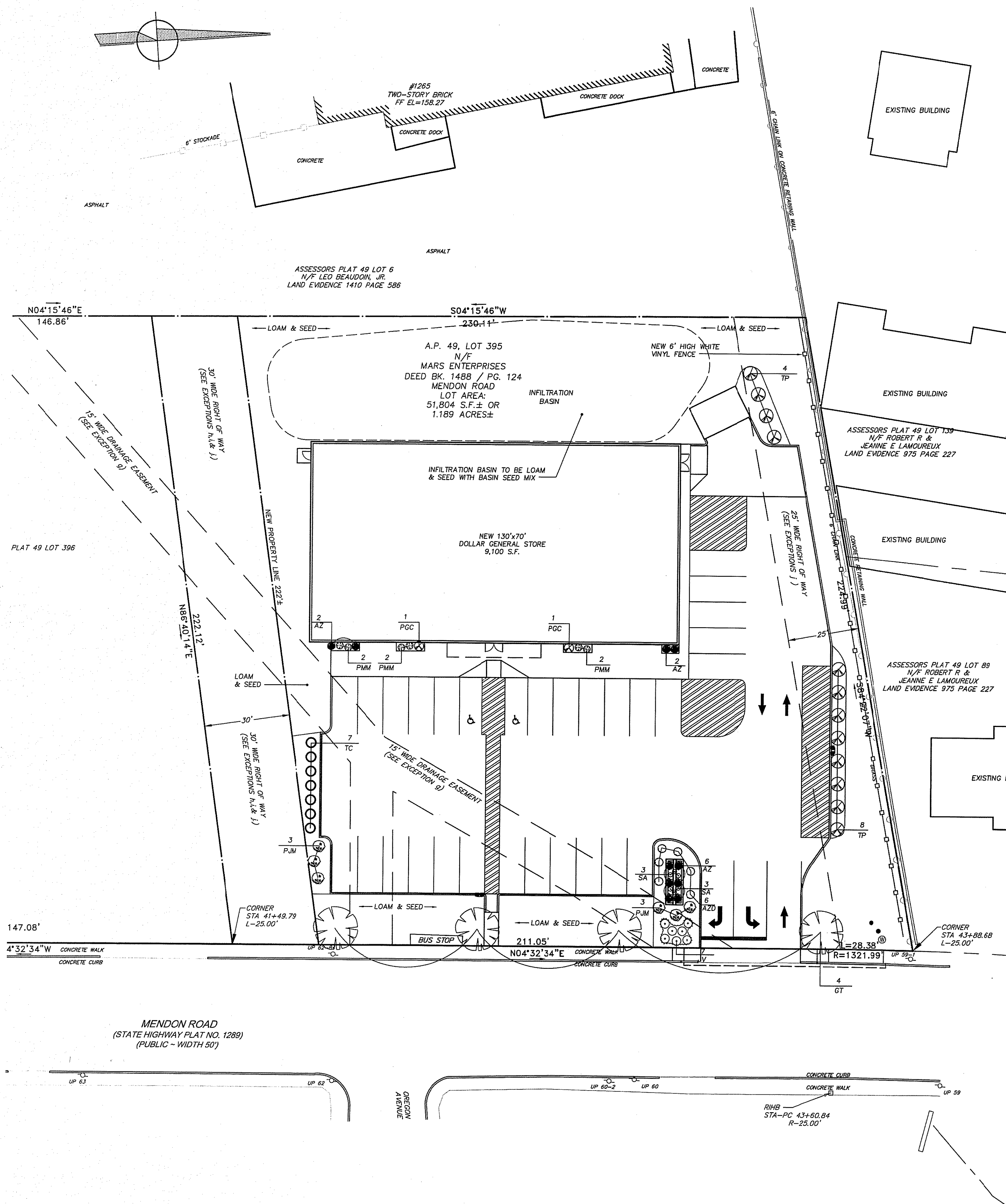


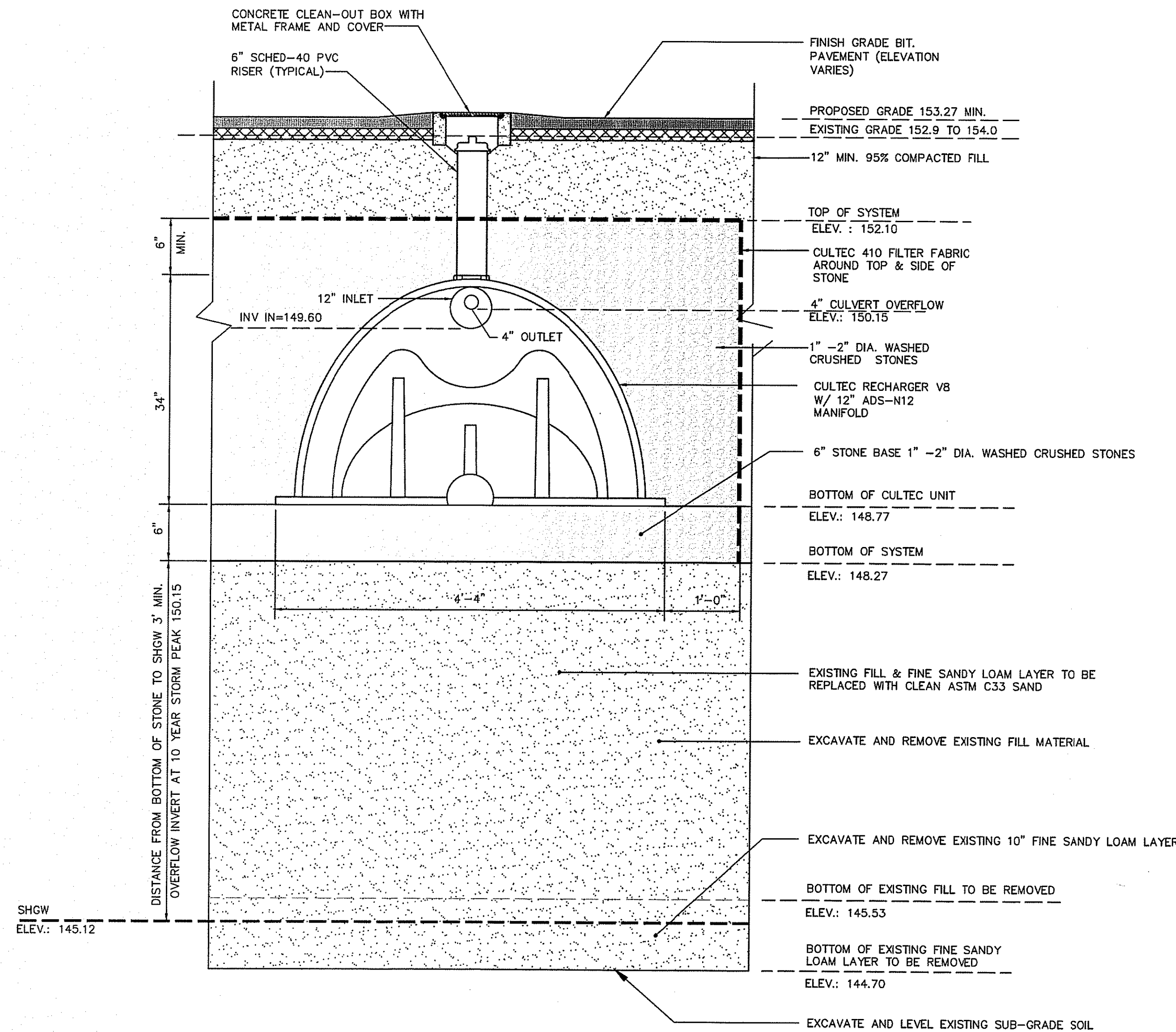
SHRUB PLANTING DETAIL

REFERENCE:

PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:

PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49 LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
SCALE: 1"=20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS STREET P.O. BOX 6145 PROVIDENCE, RI 02940 TEL. 401-273-6000





CULTEC CHAMBERS DETAIL
Not to Scale

CULTEC V8 CHAMBERS (RATED FOR H-20 LOADING) FOR INFILTRATION
SYSTEM CONFIGURATION SEE SITE PLAN

EXISTING UNDISTURBED SUBGRADE OR SUITABLE FILL COMPACTED
IN 12" MAX. LIFTS TO 95% PROCTOR DENSITY FOR A STABLE BERM

6" CLEAN LOAM, FREE OF STICKS AND ROCKS

TO BE PLANTED WITH DROUGHT TOLERANT NEW
ENGLAND TURF GRASS SEED MIX

BASIN TOP OF BERM
ELEV.: 154.5

ELEV.: 154

ELEV.: 153

ELEV.: 152

TO BE PLANTED WITH BASIN SEED MIX

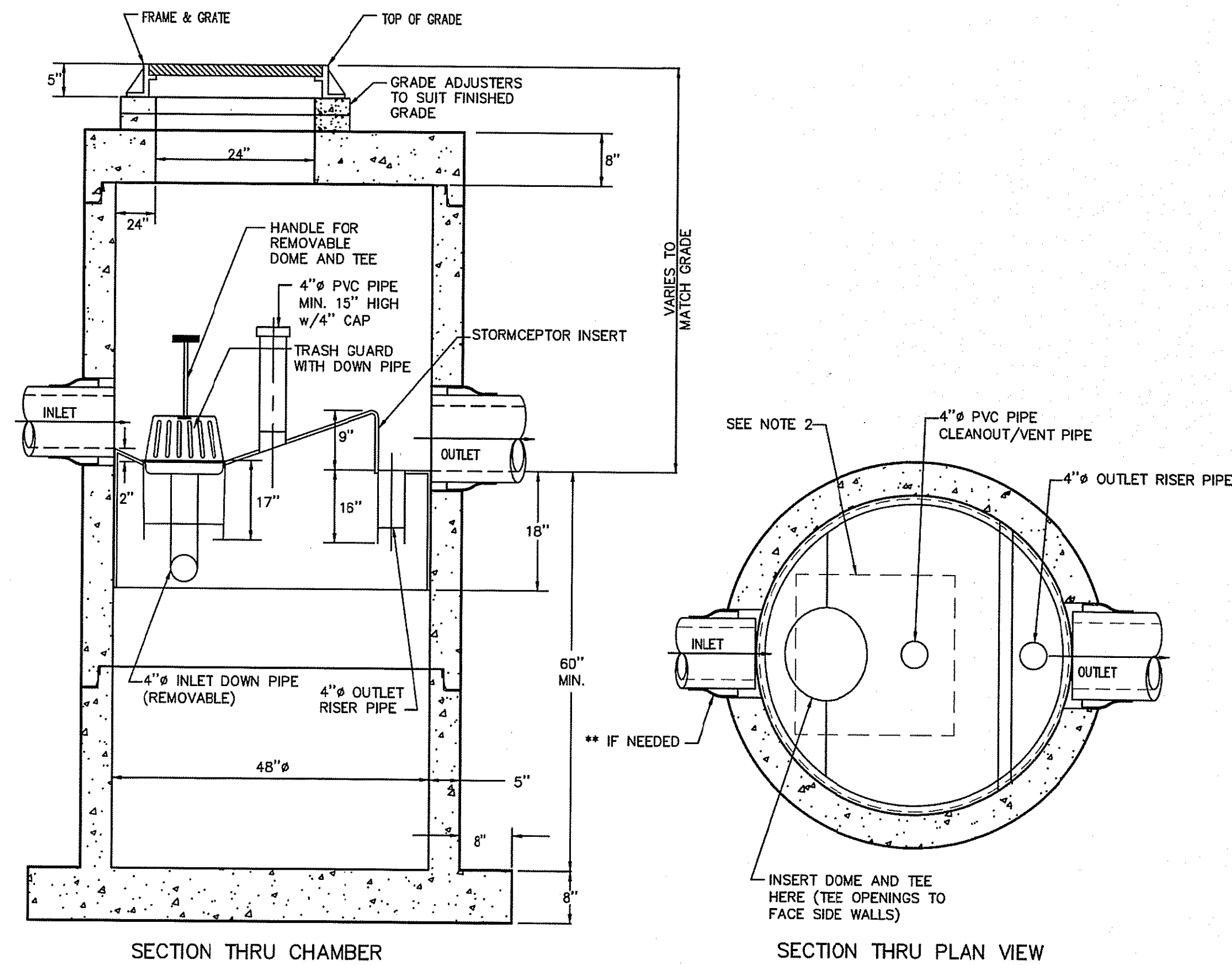
BASIN AREA SOIL MIX TO BE LIGHTLY TAMPED
—AVOID FURTHER COMPACTION BY RESTRICTING TRAVEL
OF CONSTRUCTION VEHICLES OVER THE BASIN AREA

BASIN AREA NOTES:

- SOIL IS TO BE A LOAM/SAND MIX CONTAINING 85%—88% SAND BY VOLUME WITH A CLAY CONTENT OF LESS THAN 2% BY VOLUME. THE SOILS SHALL BE FREE OF STONES, STUMPS, ROOTS AND OTHER WOODY MATERIAL AND BRUSH. SOIL SHALL ALSO BE FREE OF SEEDS FROM NOXIOUS WEEDS.
- SOIL IS TO BE 3" IN DEPTH, PLACED IN LIFTS OF 12 INCHES, AND LOOSELY COMPACTED SUCH AS BY LIGHTLY TAMPING WITH A DOZER OR BACKHOE BUCKET.
- A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED BEFORE RUNOFF CAN BE EXCEPTED INTO THE BASIN.

INFILTRATION BASIN BERM TYPICAL CROSS-SECTION

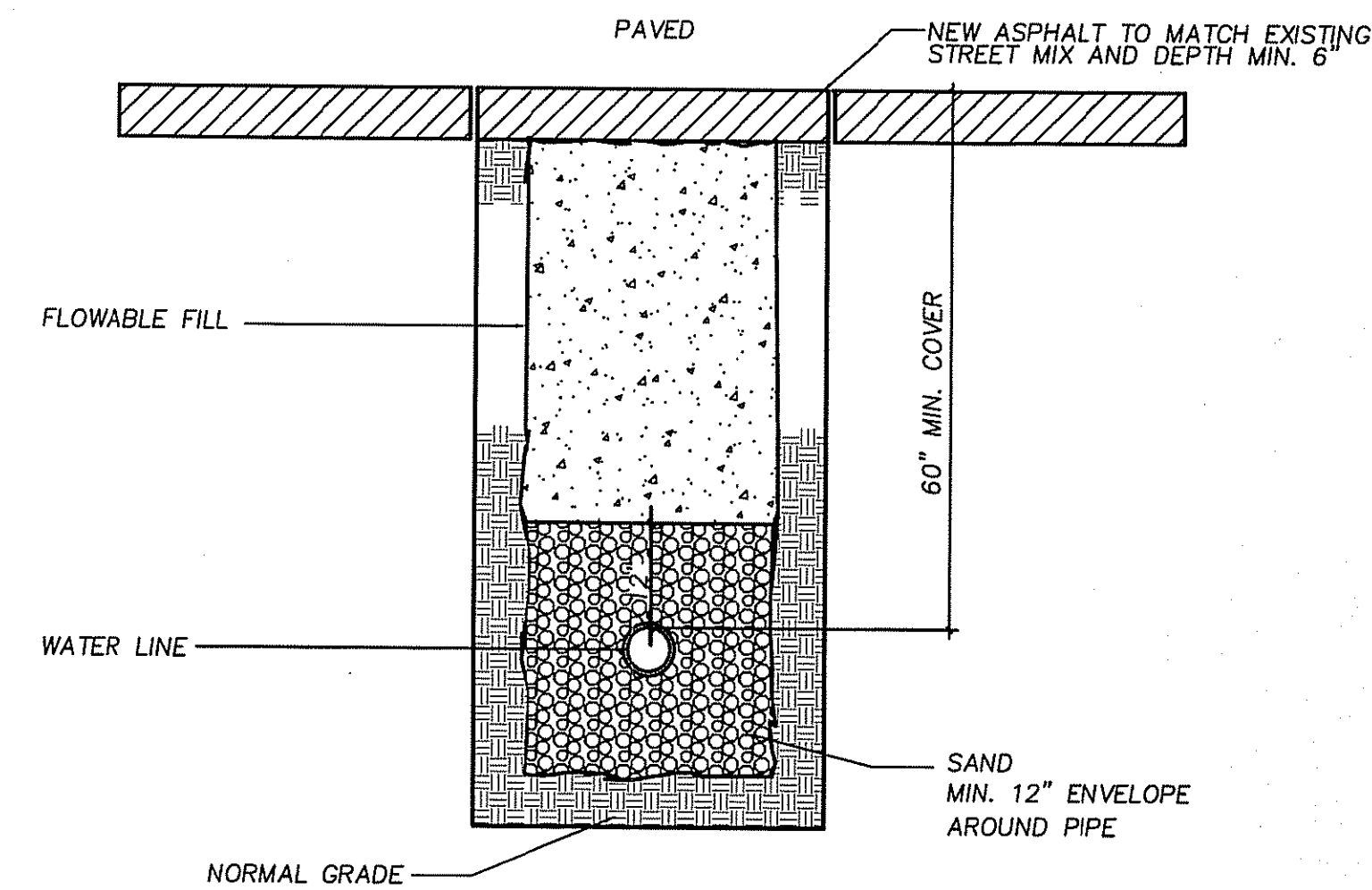
Not to Scale



- NOTE:
- THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE OUTLET WHERE APPLICABLE.
 - THE COVER SHOULD BE POSITIONED OVER THE 4"Ø CLEANOUT/VENT PIPE AND THE 4"Ø INLET DOWN PIPE.
 - THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OFF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.
 - CONTRACTOR TO PROVIDE CRANE TO SET UNIT (HEAVIEST SECTION WEIGHS 5000 LB)

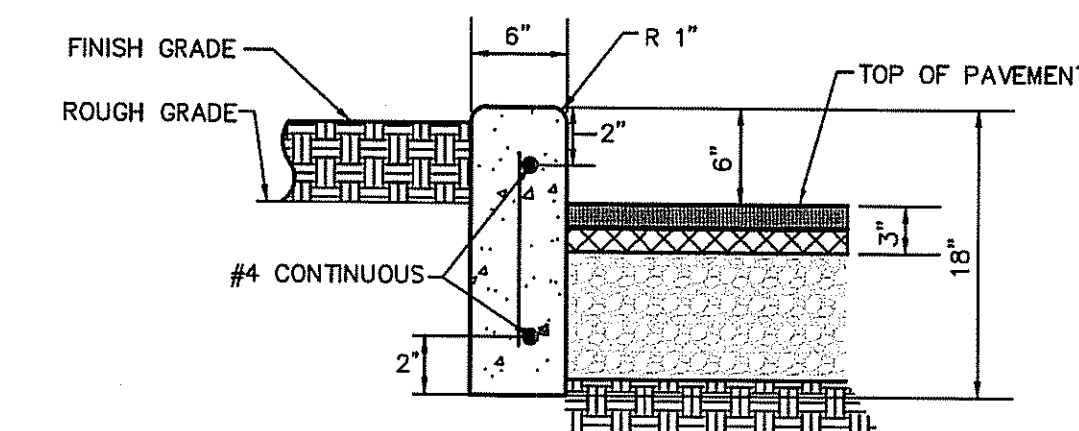
STC 450i PRECAST CONCRETE STORMCEPTOR

450 US GALLON CAPACITY
Not to Scale



WATER TRENCH SECTION

Not to Scale



6" x 18" CONCRETE CURB

Not to Scale

- NOTE:
- PROVIDE EXPANSION JOINTS @ 20'-0" O.C. (MAX)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
PRESERVATION WETLANDS PROGRAM
PERMIT WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATE: JAN 7 2015 FILE: 14-0125
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

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REV	PER	DATE	DESCRIPTION
1	AJM	7/18/14	REVISED PER CITY REVIEW COMMENTS
2	AJM	8/04/14	REVISED PER UPTATED DATUM INFORMATION
3	AJM	11/11/14	REVISED PER DEM REVIEW COMMENTS

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LAKEWOOD, OHIO 44107 (216) 226-5160

PROJECT ADDRESS

WOONSOCKET, RI

MENDON ROAD

SHEET DESCRIPTION

SITE DETAIL SHEET

PROJECT NO. 4519.114P
SCALE: AS NOTED
DRAWN BY: RCD
DATE: 6/18/14

SHEET NO.
SD-1