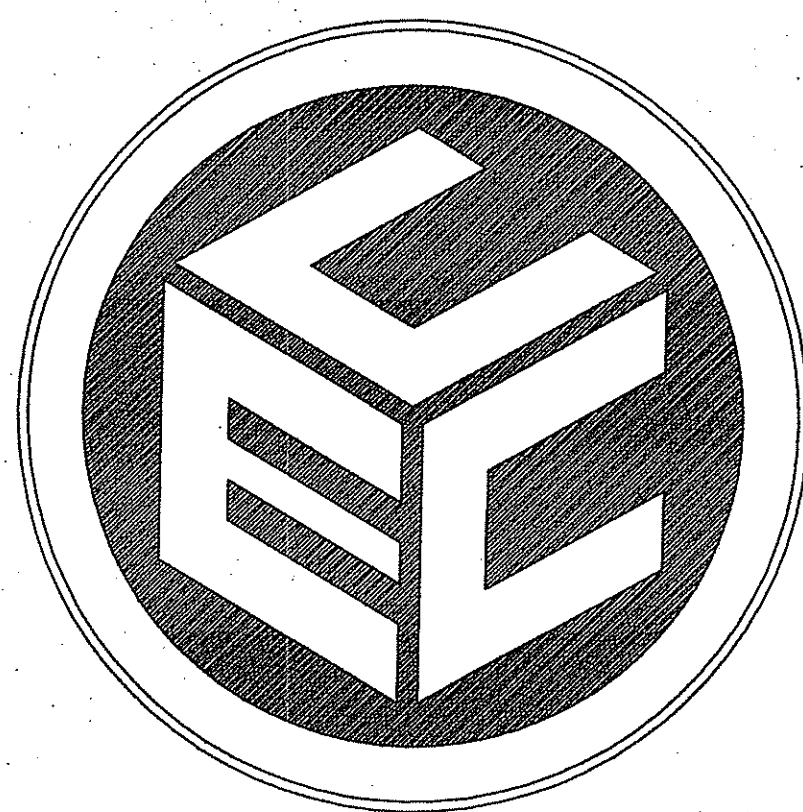


PERMIT AGENCY REVIEW SUBMISSION MINOR SUBDIVISION & DEVELOPMENT PLAN REVIEW

FOR
"BAIRD PROPERTIES, LLC
SELF STORAGE BUILDINGS"

ASSESSORS PLAT 20 BLOCK 3 LOT 24
AT
171 NOOSENECK HILL ROAD
IN
EXETER, RHODE ISLAND

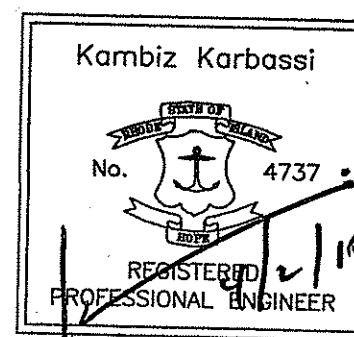
OWNER / APPLICANT
BAIRD PROPERTIES, LLC
17 RESERVOIR ROAD
COVENTRY, RHODE ISLAND 02816



PREPARED BY:
COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

OCTOBER 10, 2014
REVISED: JANUARY 2, 2015
REVISED: APRIL 1, 2015



LOCUS MAP
SCALE: 1"=1000'

LIST OF DRAWINGS

1. TITLE SHEET
2. NOTES AND DETAILS
3. EXISTING CONDITIONS PLAN
4. LOT LAYOUT PLAN
5. PROPOSED PLAN
6. DETAILS
7. DETAILS
8. DETAILS
9. DETAILS
10. DETAILS

PROJECT DATA

ASSESSORS REFERENCE:

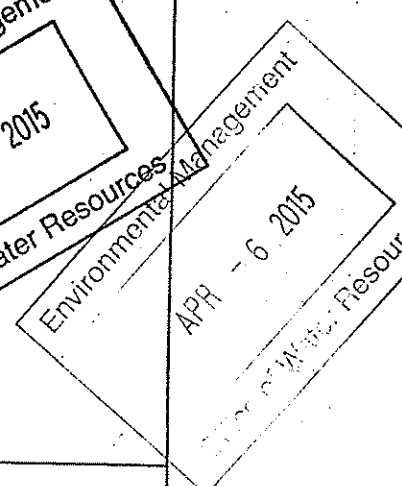
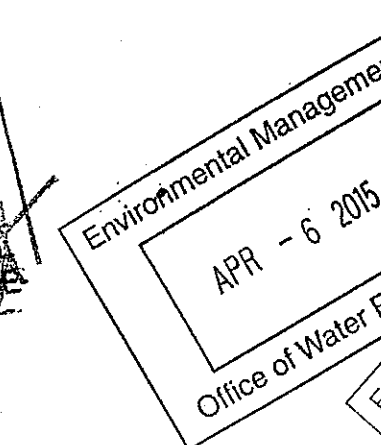
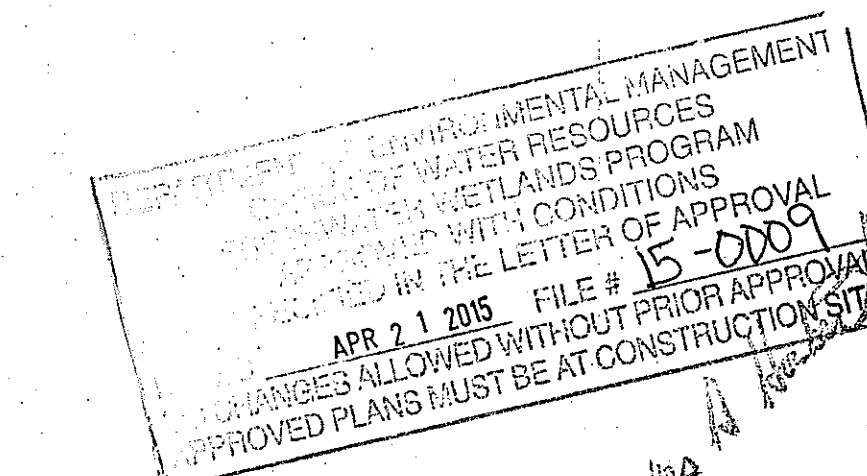
ASSESSORS PLAT 20 BLOCK 3 LOT 24 LOT

ZONING REFERENCE: LBR

DIMENSIONAL REGULATIONS	REQUIRED
ZONE	LBR
FRONTAGE (MIN.)	150'
FRONT YARD SETBACK (MIN.)	100'
SIDE YARD SETBACK (MIN.)	30'
REAR YARD SETBACK (MIN.)	75'
HEIGHT - MAIN STRUCTURE (MAX.)	40'
HEIGHT - ACCESSORY STRUCTURE (MAX.)	N/A
LOT AREA (MIN.)	2.0 AC.
% COVERAGE (MAX.)	25%

NOTES:

1. "% COVERAGE (MAX.)" REPRESENTS THE MAXIMUM PERCENT OF LOT AREA WHICH MAY BE COVERED BY BUILDINGS AND ACCESSORY BUILDINGS/STRUCTURES. PAVEMENT HAS NOT BEEN INCLUDED IN THIS PERCENTAGE.



REVISIONS

No.	DATE	DRWN	CHKD
1	1/2/15	JP	TJB

14045.00

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE". NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PROPER PERMITS UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION AND STANDARD DETAILS, JUNE 15, 1998, AS AMENDED BY REVISION, SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION 2004 EDITION (AS AMENDED, INCLUDING ALL ADDENDUMS) & TOWN STANDARDS. THE TOWN'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF THE STATE R.O.W. THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED ROADWAYS AND DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RIDOT AND TOWN'S SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS AS SPECIFIED IN THE TOWN'S SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THESE PLANS HAVE NOT BEEN PREPARED TO SERVE AS CONTRACT DOCUMENTS BETWEEN THE CONTRACTOR AND THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- ALL REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON BEST AVAILABLE INFORMATION AND REPRESENT APPROXIMATE LOCATIONS. UTILITY LOCATIONS SHOWN ON THE PLANS SHALL NOT BE RELIED UPON BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- ALL DISTURBED AREAS/STRUCTURES SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN, INCLUDING CURBS, PAVEMENTS, ETC.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED UNLESS OTHERWISE NOTED.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS SHALL BE CONSIDERED AS CONSTRUCTION FROM THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- ALL ELEVATIONS ON SUBJECT PROPERTY ARE BASED ON NGVD29 DATUM AND HAS A VERTICAL ERROR OF 1± FEET. OFFSITE TOPOGRAPHY, IF SHOWN, IS BASED ON USGS DATA AND LIKELY HAS A VERTICAL ERROR OF 5± FEET. OFF-SITE PROPERTY LINES ARE BASED ON TOWN PLAT MAPS AND ARE CONSIDERED APPROXIMATE.
- THE CONTRACTOR SHALL INSTALL ALL HAY BALES & SEDIMENT CONTROL DEVICES IN ACCORDANCE WITH RIDEM & TOWN STANDARDS PRIOR TO ANY CONSTRUCTION.
- ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION AND APPROVAL BY THE TOWN. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL UNSUITABLE MATERIAL (LOAM, SUBSOIL, FILL, ROOTS, TREE TRUNKS, CLAY, SILT, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM THE ROADWAY/PARKING AREA SUBGRADE, STORMWATER INFILTRATION SYSTEM AND STORMWATER BIOTENTION AREA PRIOR TO THE PLACEMENT OF SPECIFIED MATERIALS AS DIRECTED AND APPROVED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SOIL EROSION AND SEDIMENTATION CONTROLS WHERE NECESSARY AND AS DIRECTED. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE TOWNS SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, LATEST EDITION. THE REGULATIONS ARE AVAILABLE FOR REVIEW FROM THE PLANNING DEPARTMENT.
- PROPOSED GRADING ON THE PROPERTIES ARE TO BE USED AS A GUIDE SUCH THAT THE DEVELOPED AREA IS GRADED TO DRAIN ALL SURFACE RUNOFF.
- COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV) SHALL BE INSTALLED UNDERGROUND UNLESS APPROVED BY THE TOWN.
- THE ENTIRE PROPERTY IS NOT SITUATED IN A 100-YR FLOOD ZONE AS DEPICTED IN FEMA'S FLOOD INSURANCE RATE MAP #FM4409000604, PANEL 60 OF 368, DATED OCT. 19, 2010.
- ALL CONSTRUCTION SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE SURFACE AND SUBSURFACE WATER ENCOUNTERED DURING CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ENGAGE A RI PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE TOWN.
- THE LIMIT OF DISTURBANCE SHALL BE LOCATED BY A RI PLS PRIOR TO CONSTRUCTION. NO CLEARING OR DISTURBANCE SHALL TAKE PLACE OUTSIDE THE LIMIT OF DISTURBANCE. THE AREA OUTSIDE THE LIMIT OF DISTURBANCE SHALL BE KEPT TOTALLY UNDISTURBED.
- ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE PROJECT SITE, UNLESS OTHERWISE APPROVED BY THE TOWN.
- MANHOLE AND CATCH BASIN FRAME & COVERS SHALL BE ADJUSTED TO FINISH GRADE WITH RED BRICK AND MORTAR.
- ALL MANHOLE AND CATCH BASIN FRAME, GRATE & COVERS SHALL BE ADJUSTED TO THE FIRST COURSE OF PAVEMENT. THE FRAME AND COVERS SHALL BE RE-ADJUSTED IMMEDIATELY PRIOR TO PLACEMENT OF THE SECOND COURSE OF PAVEMENT.
- THE CONTRACTOR SHALL READ THE TOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PRIOR TO CONSTRUCTION (AS THEY PERTAIN TO CONSTRUCTION). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE REGULATIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL PERMITS WHICH INCLUDE AT LEAST RIDEM FRESHWATER WETLANDS AND RIDOT PHYSICAL ALTERATION PERMITS.
- ALL PAVEMENT CUTS SHALL HAVE SAW CUT EDGES. ANY EXCAVATION IN AN EXISTING PAVED AREA WILL REQUIRE A 2" THICK, HOT MIX, TEMPORARY PATCH. AFTER A MINIMUM OF 90 DAYS, THE TEMPORARY PATCH SHALL BE REMOVED AND A PERMANENT HOT MIX PATCH SHALL BE PLACED.
- ONLY PLANS ENTITLED 'ISSUED FOR CONSTRUCTION' SHALL BE USED AT THE JOB SITE BY THE CONTRACTOR.
- ALL WORK IN ACCORDANCE WITH THE R.I. STATE BUILDING CODE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.

TOWN NOTES:

- PROPOSED PLAN IS SUBJECT TO A SPECIAL USE PERMIT ISSUED BY THE ZONING BOARD AT THEIR DECEMBER 11, 2014 MEETING.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 2003 (M.U.T.C.D.) INCLUDING ALL REVISIONS.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STATE/TOWN STREET RIGHT-OF-WAY.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

ADA ACCESSIBILITY NOTES:

- THE PROJECT SITE SHALL BE CONSTRUCTED IN CONFORMANCE WITH DEPARTMENT OF JUSTICE 28 CFR PART 36 "ADA STANDARDS FOR ACCESSIBLE DESIGN".
- THE CONTRACTOR SHALL NOT ALTER THE GRADING ON THE PLAN UNLESS APPROVED BY THE ENGINEER.
- ALL WORK SHALL CONFORM TO "ADA STANDARDS FOR ACCESSIBLE DESIGN".
- ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2% (1:50).
- ALL ADA PARKING SPACES SHALL BE FURNISHED WITH THE APPROPRIATE SIGNS AND MARKINGS.
- ALL CURB RAMPS SHALL BE FURNISHED WITH DETECTABLE WARNINGS.
- ANY ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 5% (1:20) IS CONSIDERED A RAMP. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.5 FOR A MAXIMUM HORIZONTAL DISTANCE OF 6 FEET. A 60 INCH X 60 INCH LANDING IS REQUIRED AT EACH END OF THE RAMP. RAMPS GREATER THAN 6' LONG REQUIRE HANDRAILS IN ACCORDANCE WITH ADA REQUIREMENTS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE BUILDING CODE AND ADA REQUIREMENTS. SUBMIT SHOP DRAWINGS OF ALL WORK FOR REVIEW AND APPROVAL.

INFILTRATION PRACTICE CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL ENSURE NO SEDIMENT OR FINES ENTER THE PROPOSED INFILTRATION SYSTEMS (CRUSHED STONE PARKING AREA AND ROOF RECHARGE SAND FILTERS) DURING CONSTRUCTION. SEDIMENT & EROSION CONTROL BEST MANAGEMENT PRACTICES (SUCH AS SILT FENCE AND EARTH BERMS) SHALL BE USED TO PREVENT SEDIMENT CONTAINED RUNOFF FROM ENTERING THE INFILTRATION SYSTEM AREAS.
- STRIP ALL SOILS DOWN TO PROPOSED BOTTOM OF THE PROPOSED INFILTRATION PRACTICE. CALL DESIGNER FOR BOTTOM BED APPROVAL. THE BOTTOM OF THE INFILTRATION AREA SHALL BE ORIGINAL UNDISTURBED, NATIVE SOIL MATERIAL. REMOVE ALL UNSUITABLE MATERIALS BELOW THE PROPOSED BOTTOM OF EXCAVATION WHICH MAY BE PRESENT SUCH AS LOAM, SUBSOIL, FILL MATERIAL, DEBRIS, FINES, ETC., AND REPLACE WITH CLEAN COMPACTED "SEPTIC" GRAVEL TO BOTTOM OF INFILTRATION PRACTICE AS SHOWN ON THE DETAILS.
- SCARIFY BOTTOM OF EXCAVATION IMMEDIATELY PRIOR TO PLACEMENT OF SAND/CRUSHED STONE.
- PLACE DRAINAGE FILTER FABRIC WHERE SHOWN ON DETAILS PRIOR TO PLACING CRUSHED STONE.
- IMMEDIATELY PLACE CLEAN, WASHED CRUSHED STONE AND COMPACT TO THE PROPER ELEVATION. WRAP CRUSHED STONE WITH FILTER FABRIC. LAP JOINTS SHALL OVER-LAP BY 3 FEET.
- PROCEED WITH PAVING OVER THE INFILTRATION PRACTICE, IF APPLICABLE.
- NOTES:
 - UPSTREAM CONSTRUCTION SHALL BE COMPLETED AND STABILIZED BEFORE CONNECTION TO THE DOWNSTREAM INFILTRATION FACILITY (INCLUDING ROOF RECHARGE SAND FILTERS AND CRUSHED STONE PARKING AREA). A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER THE CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED INTO THE FACILITY.
 - INFILTRATION PRACTICES (INCLUDING ROOF RECHARGE SAND FILTERS AND CRUSHED STONE PARKING AREA) SHALL NEVER SERVE AS A SEDIMENTATION CONTROL DEVICE DURING THE CONSTRUCTION PHASE. GREAT CARE MUST BE TAKEN TO PREVENT THE INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE LOCATION BEFORE THE START OF CONSTRUCTION AND CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE, AND THE CONTRIBUTING AREA IS STABILIZED.
 - CRUSHED STONE PARKING AREA SHALL NOT BE CONSTRUCTED UNTIL ALL UPGRADIENT AREAS ARE STABILIZED WITH A STRONG GROWTH OF VEGETATION AND CONSTRUCTION IS COMPLETE.
 - ROOF RECHARGE SAND FILTERS SHALL NOT BE CONSTRUCTED UNTIL CONTRIBUTING ROOFS ARE COMPLETE, AND SITE IS READY FOR FINAL PAVEMENT.

DRAINAGE SYSTEM - INSPECTION, MAINTENANCE AND REPAIR NOTES:

- THE PROPERTY OWNER(S) SHALL MAINTAIN THE PROPOSED DRAINAGE SYSTEM COMPONENTS WHICH INCLUDE BUT NOT LIMITED TO: THE DRAIN MANHOLES, CATCH BASINS, PIPING, CULVERTS, DRY & WET SWALES, SEDIMENT FOREBAYS, EXTENDED DETENTION SYSTEM & OUTLET, ROOF RECHARGE SAND FILTERS AND CRUSHED STONE PARKING AREA IN ACCORDANCE WITH THE APPROVED OPERATION & MAINTENANCE MANUAL PREPARED FOR SUBJECT PROPERTY WHICH IS ASSOCIATED WITH THE RIDEM FRESHWATER WETLANDS PERMIT.

STATE PERMITS:

- RHODE ISLAND DEPT. OF TRANSPORTATION PHYSICAL ALTERATION PERMIT - STATUS IS PENDING.
- RHODE ISLAND DEPT. OF ENVIRONMENTAL MANAGEMENT FRESH WATER WETLANDS PERMIT - STATUS IS PENDING.

EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- DENUED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASONS.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.20.01.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	APRIL 1 - JUNE 15
ASTORIA BENTGRASS	5	AUGUST 15 - OCTOBER
BIRDFOOT TREETOP	15	
PERENNIAL RYEGRASS	10	
- APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILE SHALL ALSO BE SEEDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "GRIMMING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
- ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
- ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE PROPERTY OWNER TO ENSURE SURVIVAL.
- SHOULD ANY OR ALL OF THE PROPOSED PLANTS FAIL TO SURVIVE AT LEAST ONE (1) FULL GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE OWNER SHALL BE FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.
- ALL DISTURBED AREAS MUST BE SEED OR PLANTED WITHIN THE CONSTRUCTION SEASON.
- TEMPORARY SEEDING MUST BE DONE WITHIN ONE (1) MONTH AFTER DISTURBANCE.
- ALL DISTURBED AREAS MUST BE PERMANENTLY SEED OR PLANTED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEED OR PLANTED.

SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS AND PERIODS OF
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORMWATER FLOWAGE.
- ADDITIONAL HAYBALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- SEDIMENTATION TRAPS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
- EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND BE PROPERLY MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED INCLUDING:
 - THE INSTALLATION OF A CONTINUOUS LINE OF STAKED HAYBALES IN ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
 - ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD HAY MULCH.
 - CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS ARE TO BE CLEANED IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
 - OUTFALLS ARE TO BE PROTECTED BY HAYBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER.
 - ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- UPON COMPLETION OF CONSTRUCTION OF SITE IMPROVEMENTS AND THE STORMWATER DRAINAGE SYSTEM, ALL CATCH BASINS AND STORM DRAIN PIPING SHALL BE CLEANED OF SEDIMENT. DETENTION BASINS SHALL BE CLEANED OF SEDIMENT TO THE DESIGN GRADES INDICATED
- AT NO TIME DURING CONSTRUCTION SHALL THE SUBGRADE OF THE SITE BE SUCH THAT SURFACE RUNOFF WILL BE PERMITTED TO DIRECTLY ENTER ANY DRAINAGE STRUCTURE. A TEMPORARY DEPRESSED AREA AROUND THE STRUCTURE SHALL BE INCORPORATED AS A SEDIMENTATION TRAP. THE MOUTH OF THE TRAP SHALL BE LINED WITH HAYBALES AROUND THE COMPLETE PERIMETER. DURING ALL PRELIMINARY STAGES, THE TOP OF THE STRUCTURE SHALL ALWAYS BE HIGHER THAN THE SUBGRADE.
- HAYBALE EROSION CHECKS SHALL BE MAINTAINED AROUND ALL CATCH BASINS UNTIL ALL UPGRADIENT DISTURBED AREAS ARE STABILIZED BY PAVEMENT OR VEGETATION.
- ALL COMPONENTS OF THE DRAINAGE SYSTEM MUST BE CLEANED OF SEDIMENT BY THE APPLICANT OR HIS REPRESENTATIVE IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED.
- INSPECT TEMPORARY DIVERSIONS AND THEIR COMPONENTS ONCE A WEEK AND AFTER EVERY RAINFALL. DAMAGE CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY SHOULD BE REPAIRED BEFORE THE END OF EACH WORKING DAY. A SEDIMENTATION TRAP, THE MOUTH OF THE TRAP SHALL BE LINED WITH HAYBALES AROUND THE COMPLETE PERIMETER. DURING ALL PRELIMINARY STAGES, THE TOP OF THE STRUCTURE SHALL ALWAYS BE HIGHER THAN THE SUBGRADE.
- CHECK DAMS SHALL BE INSTALLED EVERY 300 FEET FOR SLOPES OF 1% OR LESS, EVERY 200 FEET FOR SLOPES OF 2%, EVERY 150 FEET FOR SLOPES OF 3% TO 5%, AND EVERY 100 FEET FOR SLOPES OF 5% OR GREATER.
- SEDIMENTS SHOULD BE REMOVED FROM THE CHECK DAM WHEN IT REACHES ONE-HALF THE DAM HEIGHT.

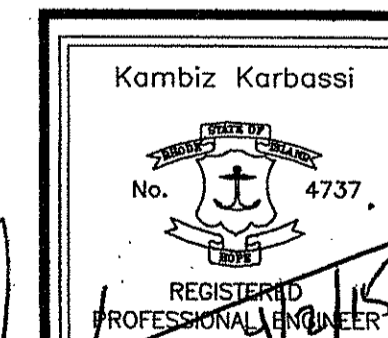
ABBREVIATIONS

A.P.	ASSESSORS PLAT
A.S.S.F.	AREA SUBJECT TO STORM FLOW
BIT.	BITUMINOUS CONCRETE
BL	BLOCK
C.A.	CHORD ANGLE
CB	CATCH BASIN
CONC.	CONCRETE
DMH	DRAIN MANHOLE
EL	ELEVATION
ELEV.	ELEVATION
E.O.P.	EDGE OF PAVEMENT
EXIST.	EXISTING
FES	FLARED END SECTION
F.F.	FINISH FLOOR ELEVATION
GAL.	GALLON
HW	HEADWALL
INV.	INVERT
MIN.	MINIMUM
N/F	NOW OR FORMERLY
P-1	POLE #1
PERFOR.	PERFORATED
PROP.	PROPOSED OR PROPERTY
S	SLOPE
S.D.	SUBDRAIN
S.D.C.O.	SUBDRAIN CLEANOUT
SMH	SANITARY MANHOLE
S.T.	SOIL TIGHT
TH	TEST HOLE
TOB	TOP OF BLOCK
TOW	TOP OF WALL
TRANS.	TRANSITION
TYP.	TYPICAL
UP	UTILITY POLE
W.T.	WATER TIGHT

OWNER / APPLICANT:
BAIRD PROPERTIES, LLC
17 RESERVOIR ROAD
COVENTRY, RI 02816

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
DIVISION OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SET FORTH IN THE LETTER OF APPROVAL
DATE: APR 21 2015 FILE # 15-0009
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PERMIT AGENCY REVIEW SUBMISSION NOTES AND DETAILS



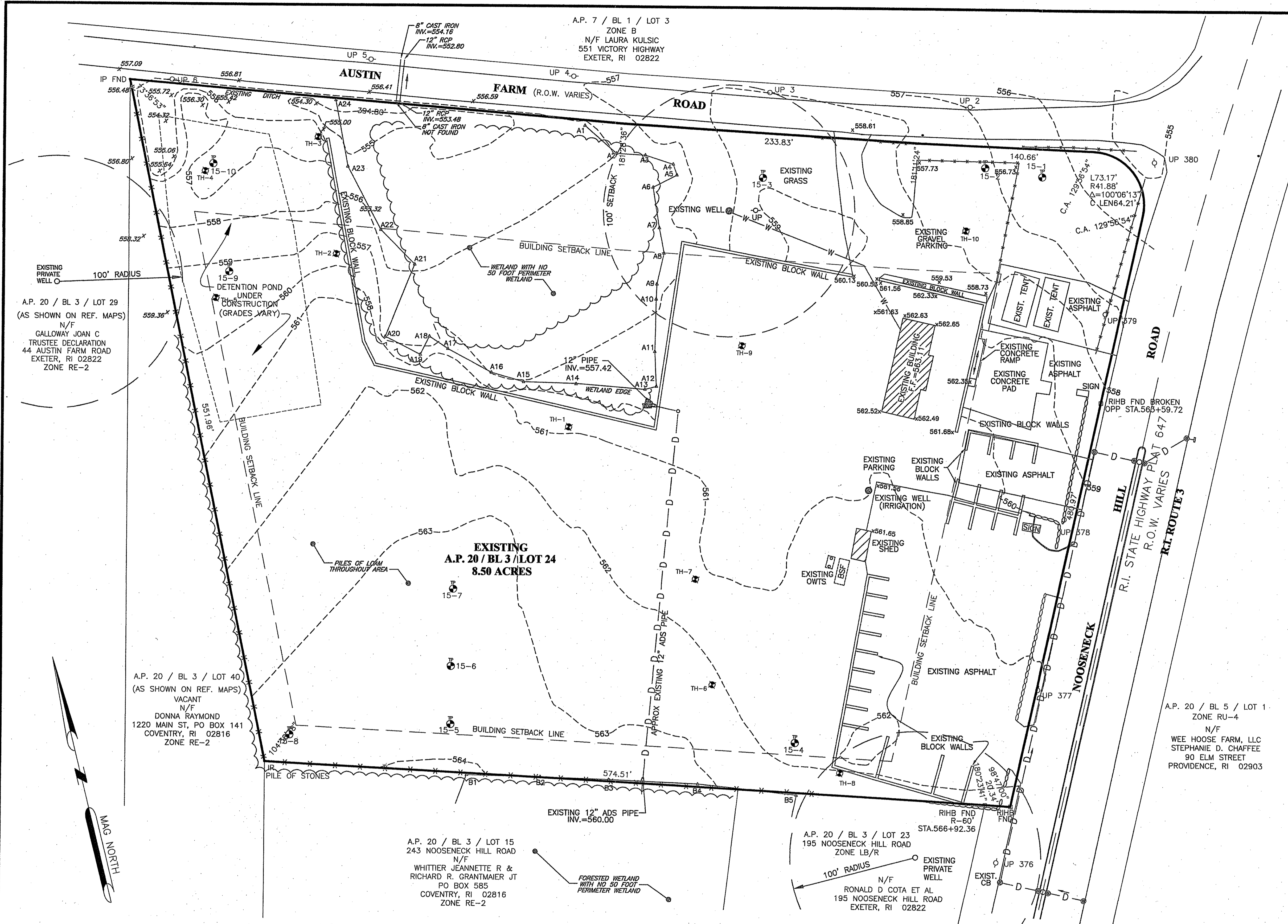
BAIRD PROPERTIES, LLC
SELF STORAGE BUILDINGS
for
ASSESSORS PLAT 20 BLOCK 3 LOT 24
171 NOOSENECK HILL ROAD
in
EXETER, RHODE ISLAND

SCALE: AS NOTED	SHEET NO: 2 OF 10	
DRAWN BY: JP	DESIGN BY: TJB	CHECKED BY: KK
DATE: 10/10/14	PROJECT NO: 14045.00	

LINETYPE LEGEND

SUBJECT PROPERTY LINE	---
ABUTTING PROPERTY LINE	---
BUILDING SETBACK LINE	---
EXISTING ELEVATION CONTOUR	---BB---
PROPOSED ELEVATION CONTOUR	---(BB)---
EXIST. ELECTRIC LINE	-E-E-E-E-
EXIST. DRAIN LINE	-D-D-D-D-
EXIST. WATER LINE	-W-W-W-W-
PROPOSED ELECTRIC LINE	-E-E-E-E-
PROPOSED DRAIN LINE	-D-D-D-D-
PROPOSED WATER LINE	-W-W-W-W-
WETLAND EDGE	-A-A-A-A-
50 FOOT PERIMETER WETLAND	---
SILT FENCE & LIMIT OF DISTURB.	-LOD-LOD-LOD-LOD-
LIMIT OF DISTURBANCE	-LOD-LOD-LOD-LOD-
STONEWALL	---
TREELINE	---
EXISTING CONC. BLOCK WALL	---
EXISTING SPOT GRADE	x 100.00
PROPOSED SPOT GRADE	x 100.00

Approved for Construction
APR - 6 2015
City of Exeter, Rhode Island



LEGEND

UP ###	EXISTING UTILITY POLE
RIBB FND	EXISTING RHODE ISLAND HIGHWAY BOUND FOUND
IR	IRON ROD
IP FND	IRON PIPE FOUND
X-X-X	EXISTING WIRE FENCE ALONG PROPERTY
~	APPROXIMATE LOCATION OF TREE LINE
EXIST. CB	EXISTING CATCH BASIN
559	EXISTING CONTOUR
559	PROPOSED CONTOUR

- REFERENCES**
1. PLAN OF LAND FOR GEORGE R. & ELIZABETH A. GOTAUCO EXETER, RI NOVEMBER 1987 SCALE 1"=50' ROBERT C. COURNOYER & ASSOCIATES
 2. BEING AP. 20 LOTS 24 & 25 SURVEY FOR A.P.L. REALTY, INC. JUNE 2002 SCALE: 1"=50' LOCATED IN EXETER, RI ROBERT B. BOYER
 3. TOWN OF EXETER PC 185
 4. TOWN OF EXETER DEED BOOKS & PAGES SHOWN
 5. TOWN OF EXETER TAX MAP 20
 6. STATE OF RHODE ISLAND HIGHWAY PLAT 647
 7. RHODE ISLAND GEOGRAPHIC INFORMATION SYSTEM
 8. PLAN ENTITLED: "ADMINISTRATIVE SUBDIVISION PREPARED FOR 20 AUSTIN FARM LLC, A.P. 20 / BL 3 / LOTS 24 & 25 NOOSENECK HILL RD & AUSTIN FARM RD, EXETER, RI K ANDREWS ASSOCIATES 1"=40' REV. 1-22-08"

DIMENSIONAL REGULATIONS

ZONE	REQUIRED LB/R
FRONTAGE (MIN.)	150'
FRONT YARD SETBACK (MIN.)	100'
SIDE YARD SETBACK (MIN.)	30'
REAR YARD SETBACK (MIN.)	75'
HEIGHT - MAIN STRUCTURE (MAX.)	40'
HEIGHT - ACCESSORY STRUCTURE (MAX.)	N/A
LOT AREA (MIN.)	2.0 AC.
% COVERAGE (MAX.)	25%

NOTES:
 1. "% COVERAGE (MAX.)" REPRESENTS THE MAXIMUM PERCENT OF LOT AREA WHICH MAY BE COVERED BY BUILDINGS AND ACCESSORY BUILDINGS/STRUCTURES. PAVEMENT HAS NOT BEEN INCLUDED IN THIS PERCENTAGE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 DIVISION OF WATER RESOURCES
 APPROVED WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SHOWN IN THE LETTER OF APPROVAL
 APR 21 2015 FILE # 15-00091
 CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**PERMIT AGENCY REVIEW SUBMISSION
 EXISTING CONDITIONS PLAN**

- NOTES**
1. REFERENCE IS MADE TO PROPERTY LINE SURVEY & TOPOGRAPHY PLANS PREPARED BY K. ANDREWS ASSOC. PLAN DATED 2009 AND APRIL 2012. TOPOGRAPHY PERFORMED BY ON-SITE GROUND SURVEY ON AN ASSUMED ELEVATION.
 2. REFERENCE IS MADE TO RIDEM FRESHWATER WETLAND PERMIT #10-0108 FOR WETLAND EDGE.
 3. SUBJECT PROPERTIES ARE ZONED LB/R.
 4. SUBJECT PROPERTIES ARE SITUATED IN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP #44009C0060 H, TOWN OF EXETER, RI, EFFECTIVE DATE OCTOBER 19, 2010.
 5. THERE ARE NO CEMETERY'S ON SUBJECT PROPERTIES.
 6. SUBJECT PROPERTIES ARE SITUATED IN A WELL HEAD PROTECTION AREA.
 7. SUBJECT PROPERTIES ARE NOT SITUATED IN A NATURAL HERITAGE AREA.
 8. SUBJECT PROPERTIES ARE NOT SITUATED IN THE TOWN'S GROUNDWATER OVERLAY DISTRICT.
 9. ELEVATION SECTIONS NOT PROVIDED SINCE PROPERTY IS VERY LEVEL. EAST-WEST SECTION VARIES 2+ FEET IN 300 FEET. NORTH-SOUTH SECTION VARIES 2+ FEET IN 300 FEET.
 10. THESE PLANS HAVE NOT BEEN ISSUED FOR STATE PERMITTING AND ARE SUBJECT TO FUTHER REVISIONS.

EAST GREENWICH SURVEYORS, LLC
 LAND SURVEYING AND SITE PLANNING
 1050 MAIN STREET SUITE 31
 EAST GREENWICH, RHODE ISLAND 02818
 PHONE (401) 339-2681

"THIS SURVEY AND PLAN CONFORM TO A CLASS "1" STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS."

BY: *Kirk D. Andrews* 4/21/15 DATED:

KIRK D. ANDREWS
 No. 1684
 PROFESSIONAL LAND SURVEYOR

OWNER / APPLICANT:
 BAIRD PROPERTIES, LLC
 17 RESERVOIR ROAD
 COVENTRY, RI 02816

Kambiz Korbassi
 No. 4737
 REGISTERED PROFESSIONAL ENGINEER

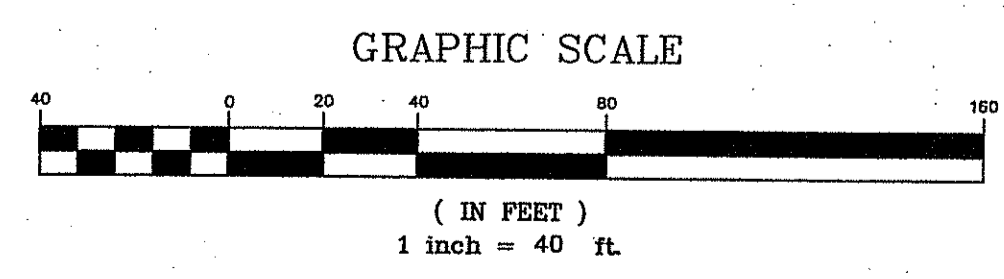
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

**BAIRD PROPERTIES, LLC
 SELF STORAGE BUILDINGS**
 for
ASSESSORS PLAT 20 BLOCK 3 LOT 24
 171 NOOSENECK HILL ROAD
 in
 EXETER, RHODE ISLAND

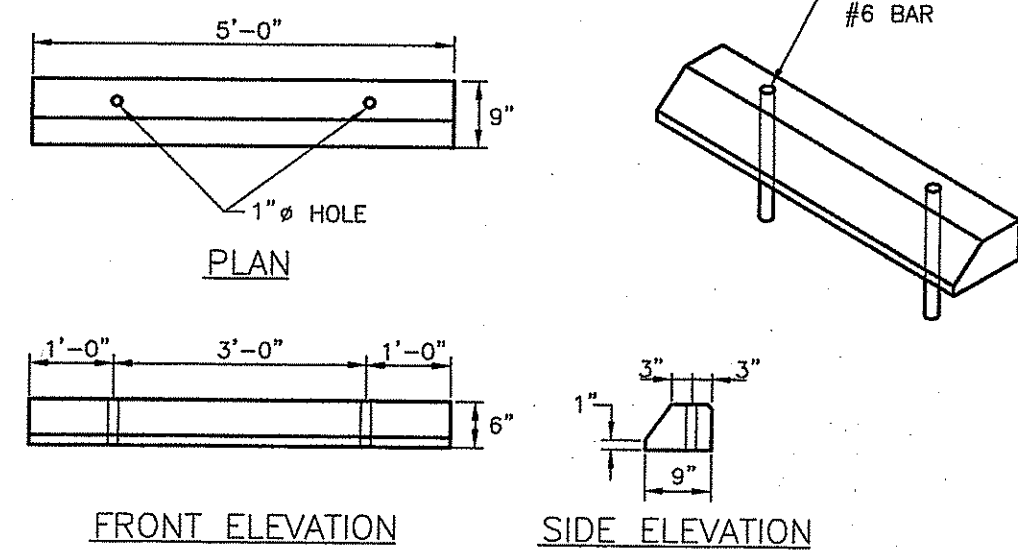
REVISIONS

No.	DATE	DRWN	CHKD
1	1/2/15	JP	TJB
2	4/1/15	JP	TJB

SCALE: 1"=40' SHEET NO: 3 OF 10
 DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
 DATE: 10/10/14 PROJECT NO.: 14045.00

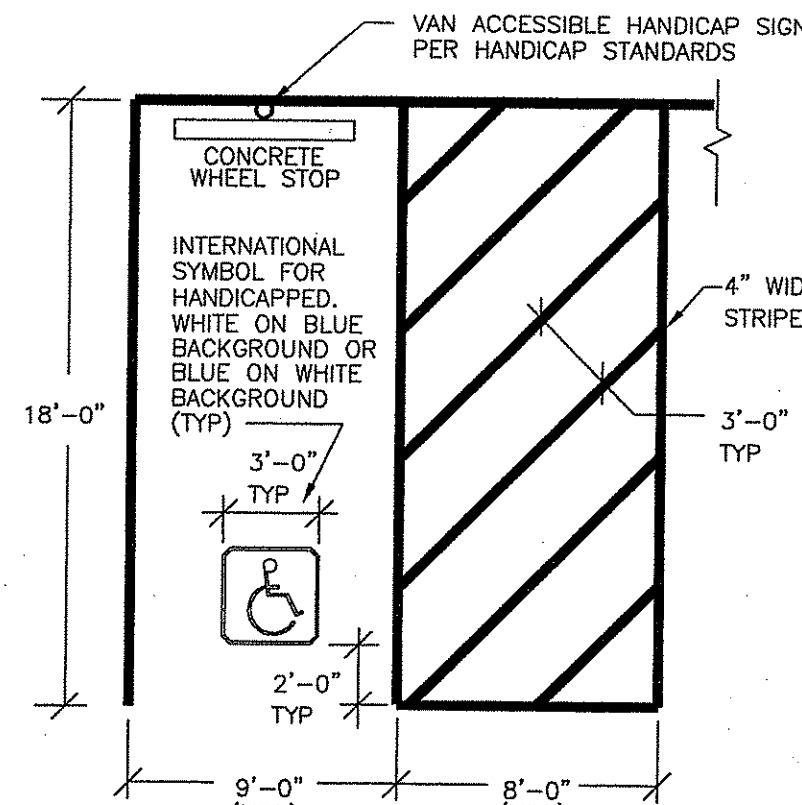


APR 21 2015
 15-00091
 Kambiz Korbassi
 REGISTERED PROFESSIONAL ENGINEER

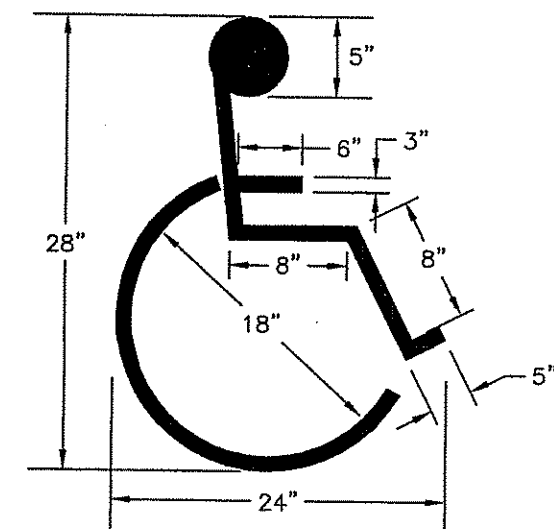


- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

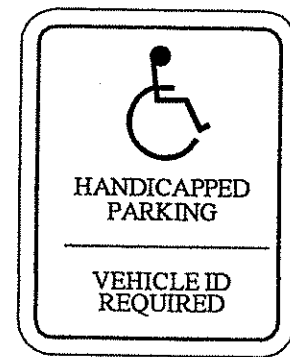
PRECAST CONCRETE CAR STOPS
 NOT TO SCALE



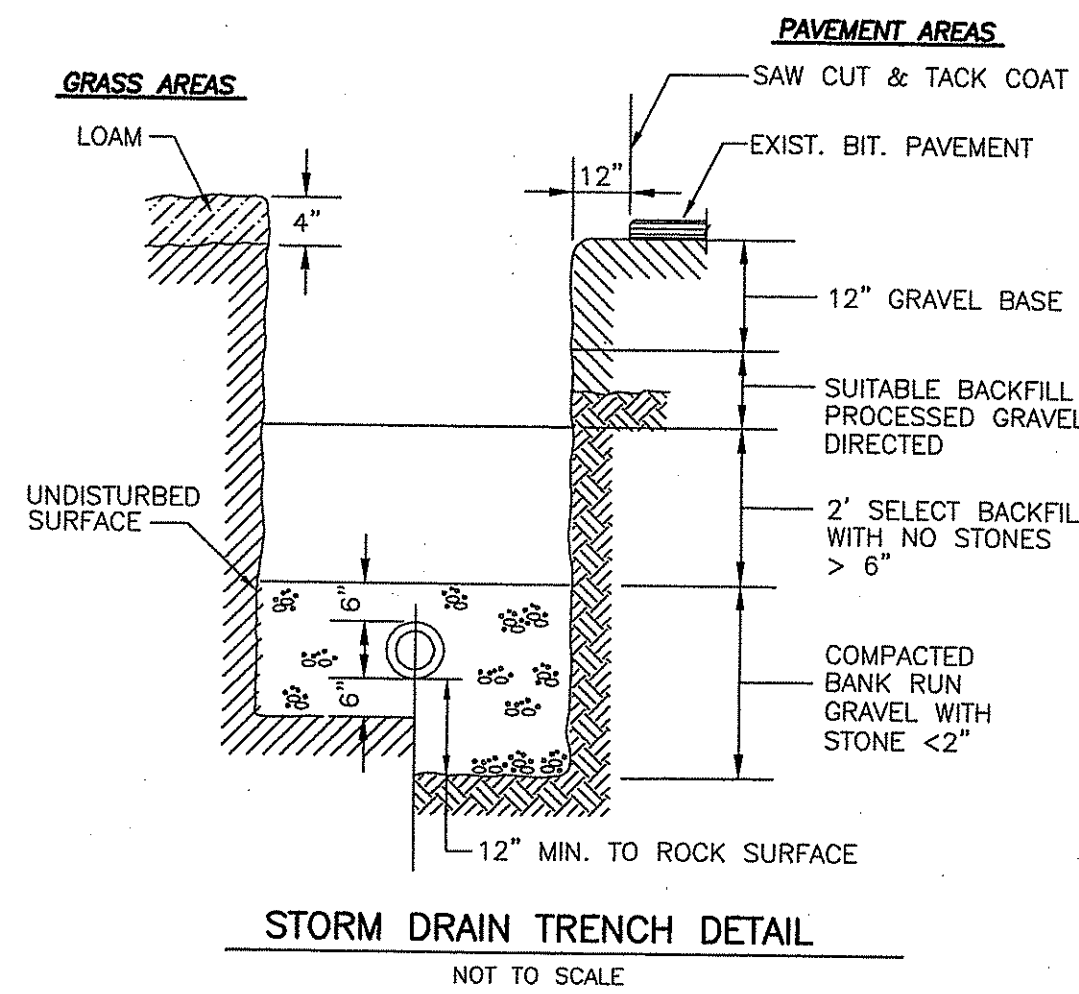
NOTE: ANCHOR CONC. WHEEL STOPS WITH (2) #8 REBAR X 3'-0" LONG AND FILL TOP HOLE WITH MORTAR.
HANDICAP PARKING SPACE DETAIL
 NOT TO SCALE



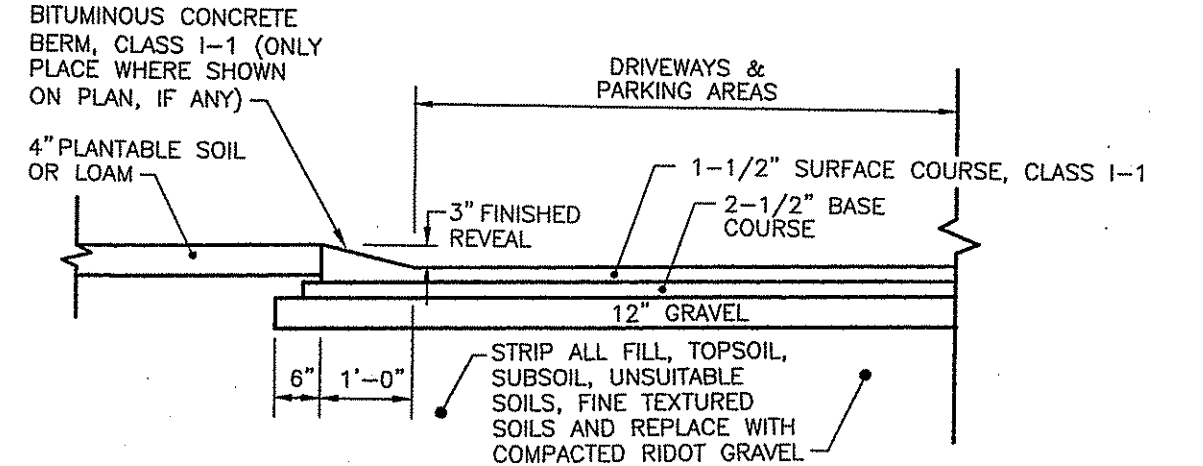
HANDICAP PAVEMENT MARKING
 NOT TO SCALE



HANDICAP PARKING SIGN
 NOT TO SCALE

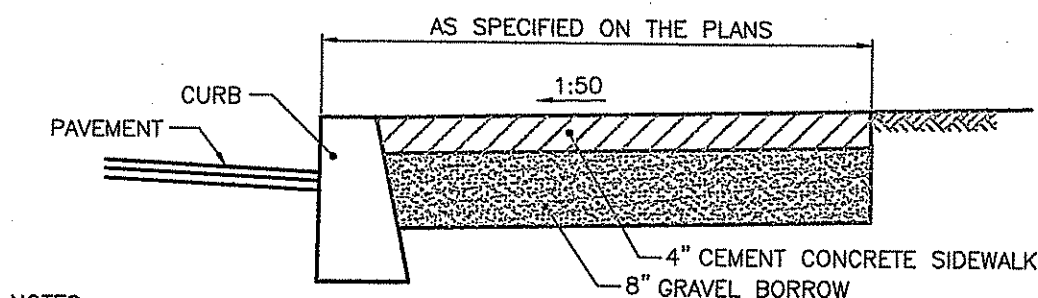


STORM DRAIN TRENCH DETAIL
 NOT TO SCALE



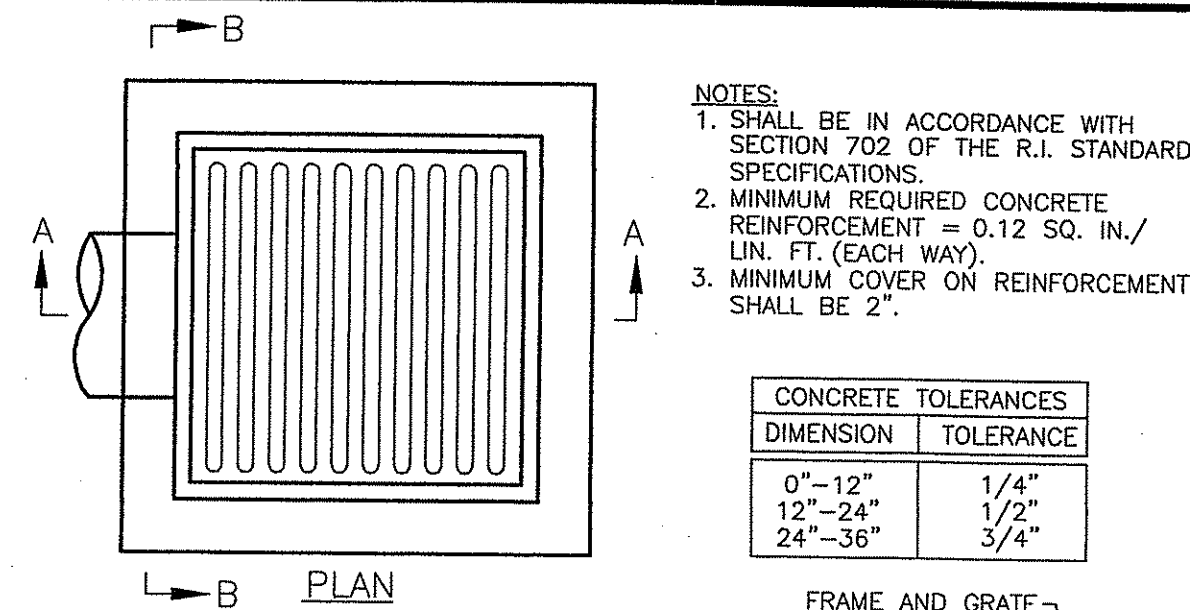
- NOTES:
 1. ALL WORK IN ACCORDANCE WITH RIDOT STANDARD SPECIFICATIONS.
 2. BITUMINOUS BERM SHALL BE PLACED ONLY WHERE INDICATED ON THE PLAN.
 3. BITUMINOUS BERM SHALL BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED.
 4. A TEMPORARY BITUMINOUS BERM SHALL BE PLACED ON TOP OF THE BASE COURSE IF THE SURFACE COURSE IS NOT PLACED WITHIN 2 WEEKS OF PAVEMENT OF THE BASE COURSE.

PAVEMENT DETAIL
 NOT TO SCALE



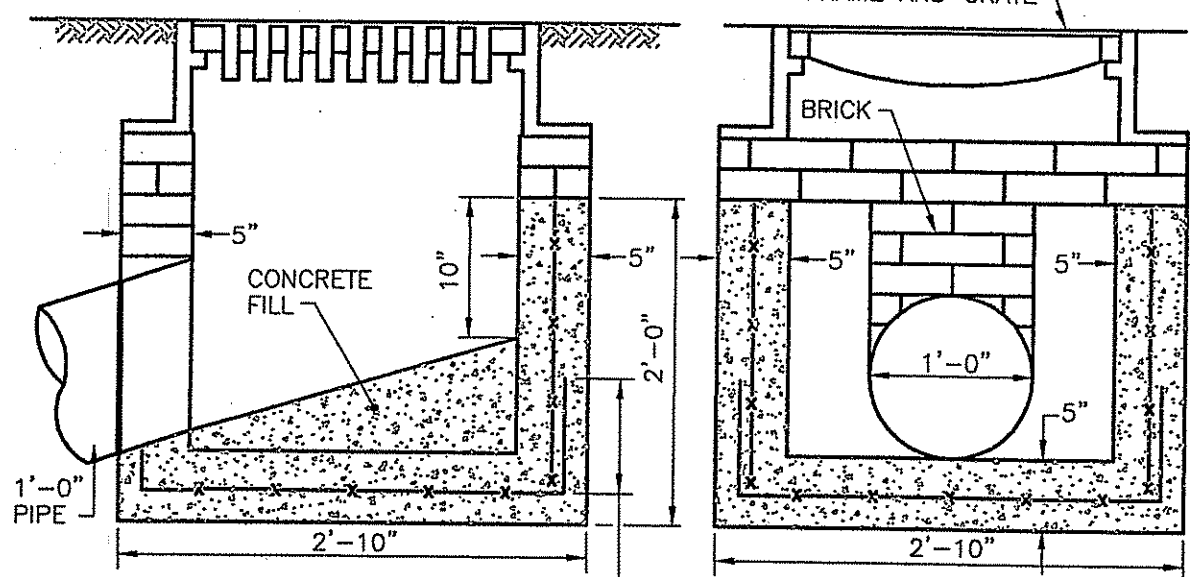
- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS, INCLUDING ALL EXPANSION AND CONSTRUCTION JOINTS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.
 3. INTEGRAL CURB/SIDEWALK IS ACCEPTABLE WHEN DETAIL IS APPROVED BY ENGINEER.

CEMENT CONCRETE SIDEWALK
 NOT TO SCALE

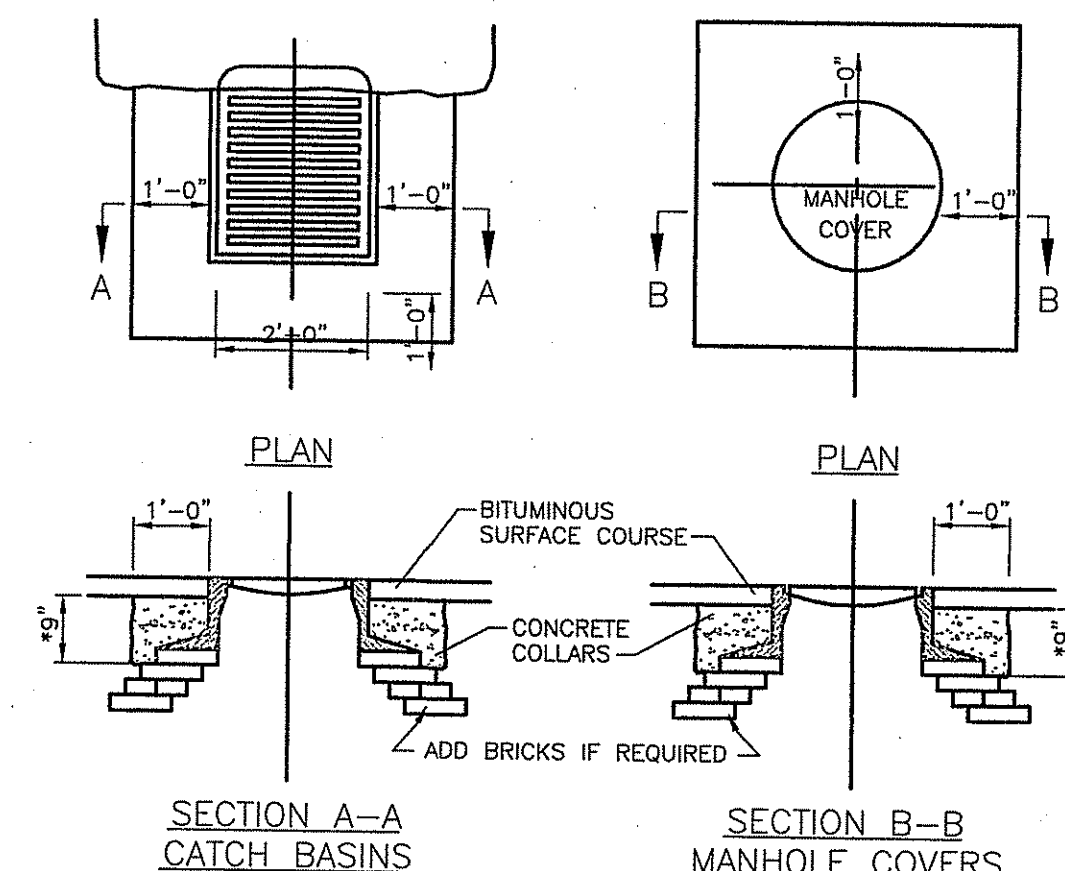


- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM REQUIRED CONCRETE REINFORCEMENT = 0.12 SQ. IN./LIN. FT. (EACH WAY).
 3. MINIMUM COVER ON REINFORCEMENT SHALL BE 2".

DIMENSION	TOLERANCE
0"-12"	1/4"
12"-24"	1/2"
24"-36"	3/4"

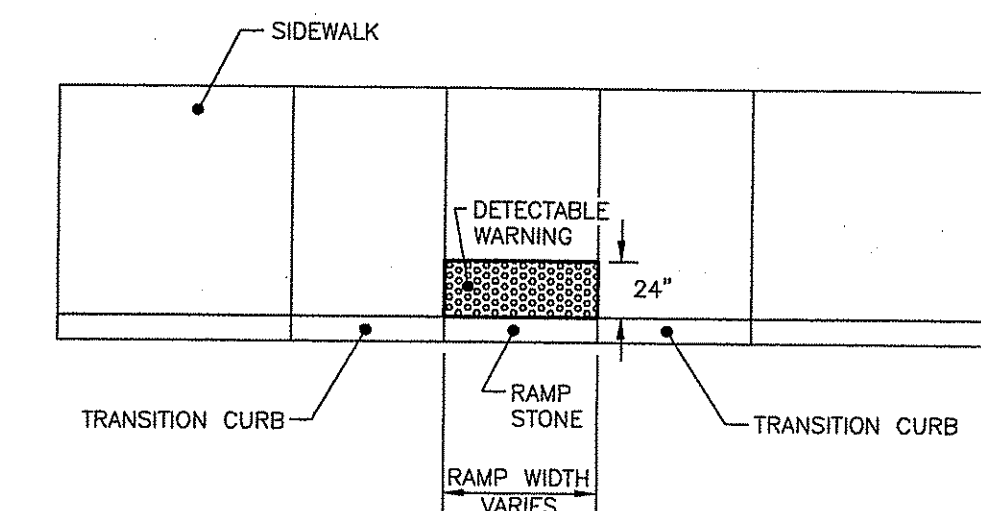


PRECAST CONCRETE DROP INLET
 NOT TO SCALE



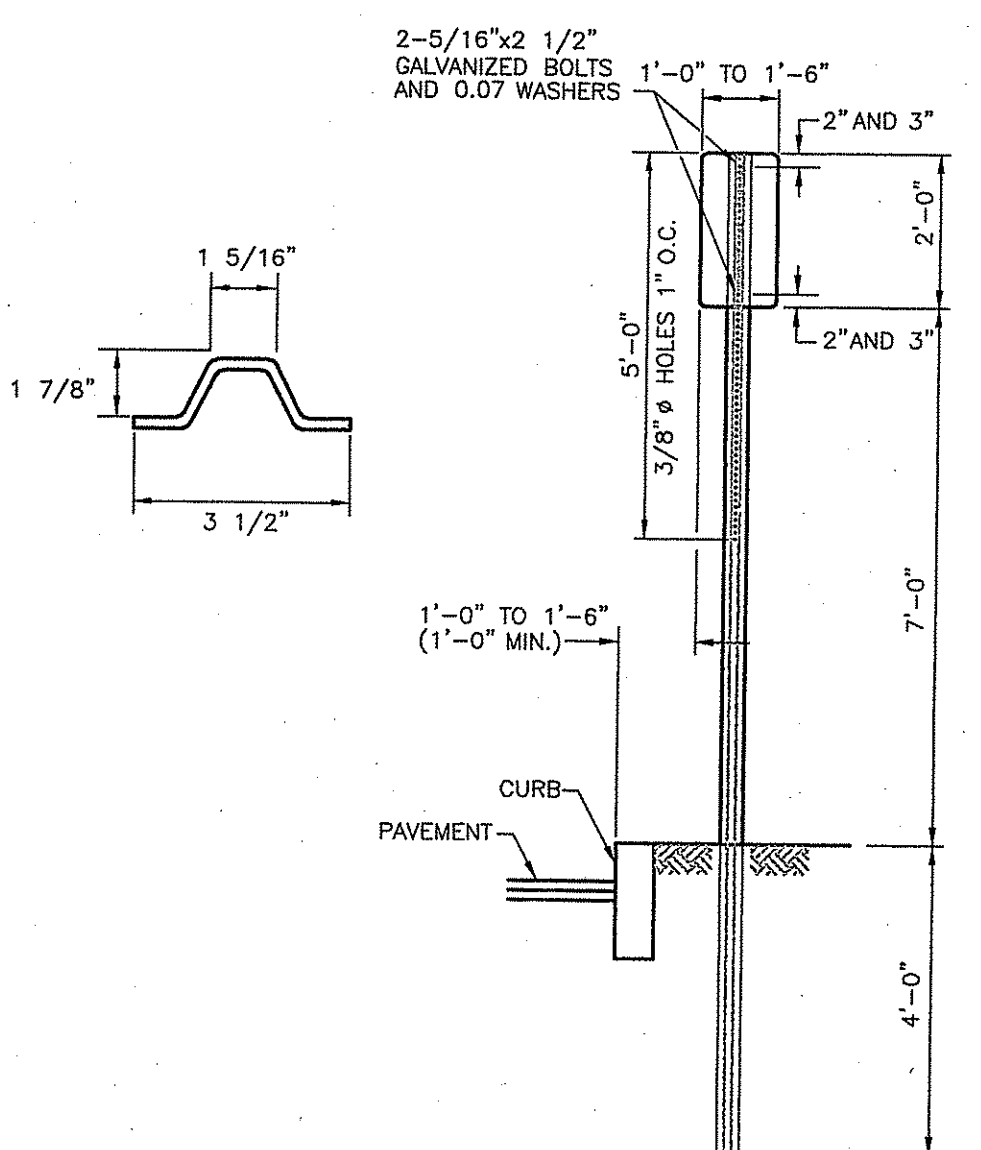
- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. COLLARS TO BE CONCRETE MASONRY AS DIRECTED.
 3. 9" OF CONCRETE IN BITUMINOUS PAVED AREAS. MEET EXISTING CONCRETE IN PORTLAND CEMENT CONCRETE AREAS.

CONCRETE COLLARS
 NOT TO SCALE



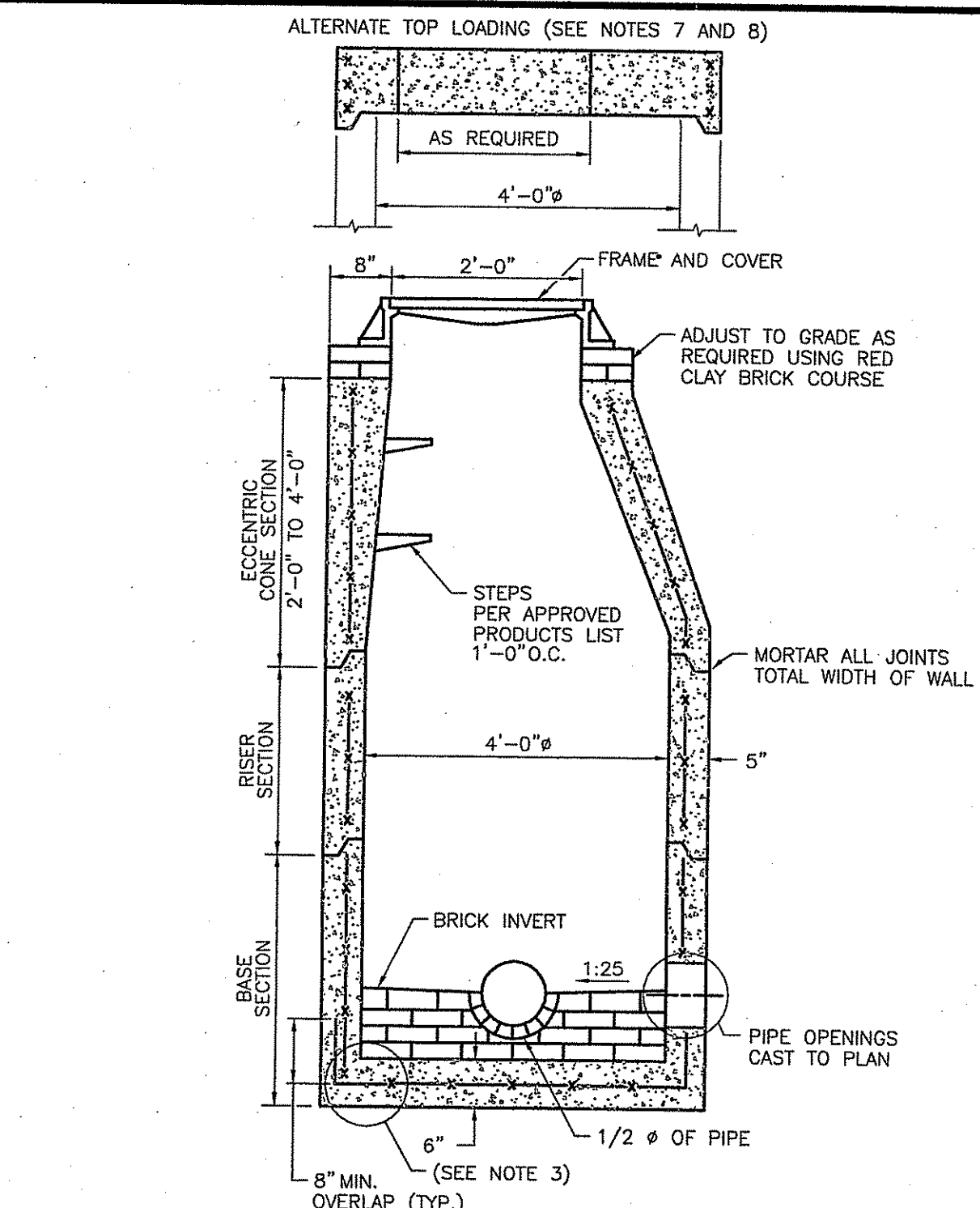
- NOTES:
 1. DETECTABLE WARNING SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 942 OF THE STANDARD SPECIFICATIONS.

DETECTABLE WARNING SYSTEM
 NOT TO SCALE



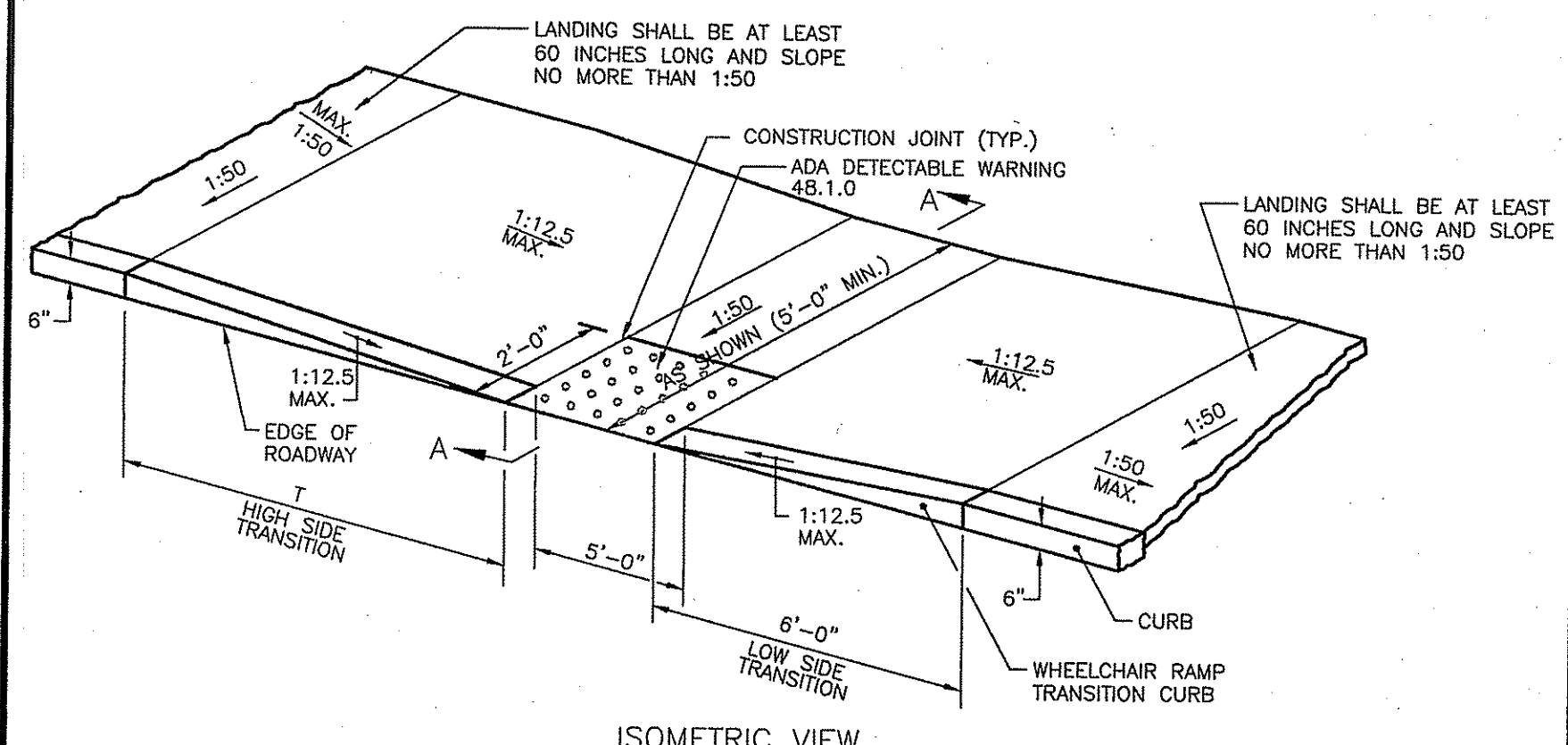
- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 7.15 OF THE STANDARD SPECIFICATIONS.
 2. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-6" (1'-0" MIN.) FROM EDGE OF CURB FACE.

PARKING SIGN MOUNTING DETAIL
 NOT TO SCALE



- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN./LIN. FT. MINIMUM.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. ONE FOUR MONOLITHIC BASE SECTION.
 5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 6. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 7. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 9. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

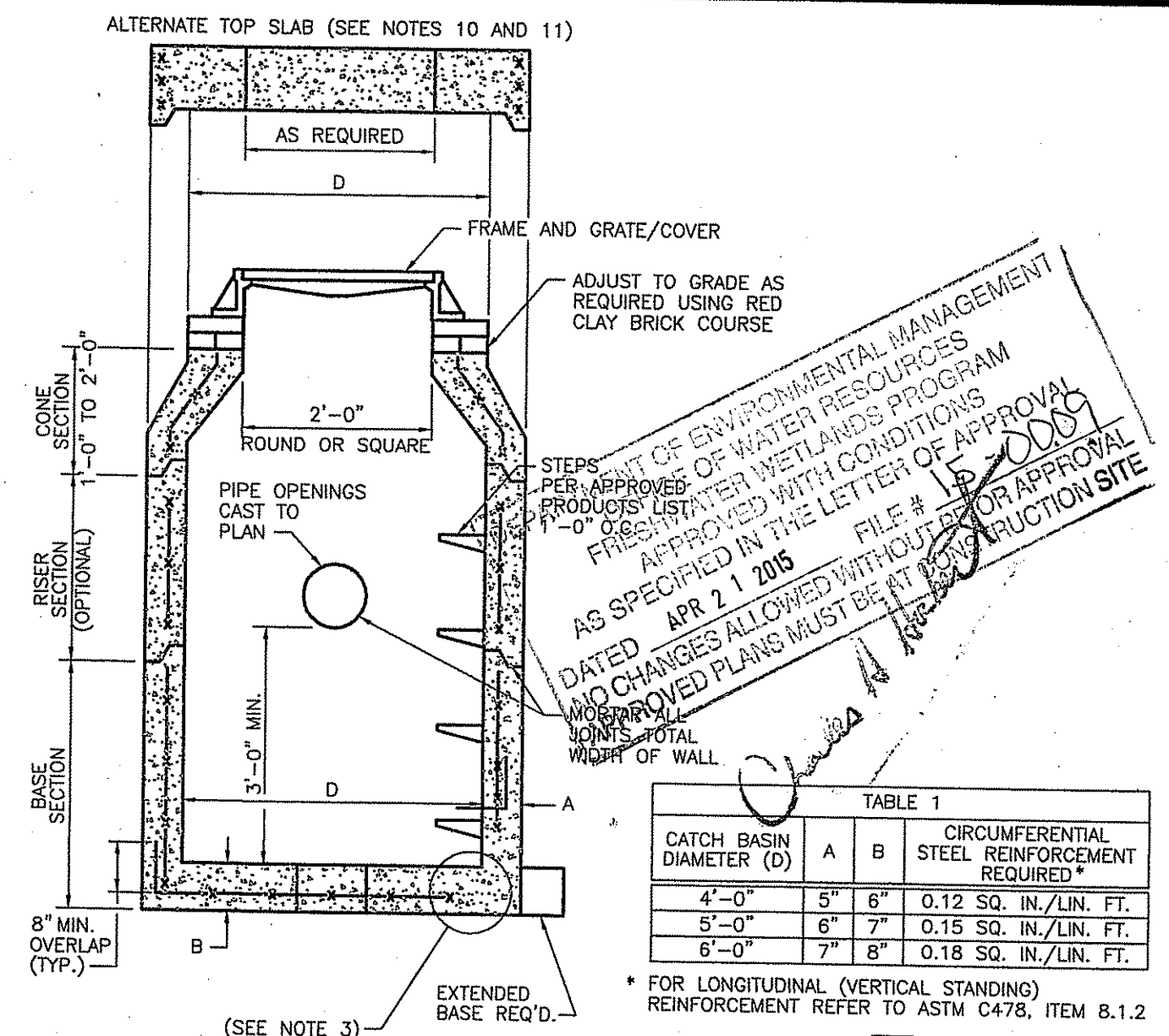
PRECAST 4'-0" ROUND MANHOLE
 NOT TO SCALE



ROADWAY PROFILE GRADE	T (FT.)
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0

- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
 3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
 7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 5'-0" SHALL BE MAINTAINED.
 8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12.5. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
 9. WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
 10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
 11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
 13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.

WHEELCHAIR RAMP
 NOT TO SCALE



CATCH BASIN DIAMETER (D)	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*	
	A	B
4'-0"	5"	6"
5'-0"	6"	7"
6'-0"	7"	8"

- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE FOUR MONOLITHIC BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 8. FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 9. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 10. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 11. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 12. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.
 13. DRAIN MANHOLE STRUCTURES SHALL BE WATER-TIGHT.

PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
 NOT TO SCALE

PERMIT AGENCY REVIEW SUBMISSION DETAILS

Kambiz Kobassi
 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

REVISIONS

No.	DATE	DRWN	CHKD
1	1/2/15	JP	TJB
2	4/1/15	JP	TJB

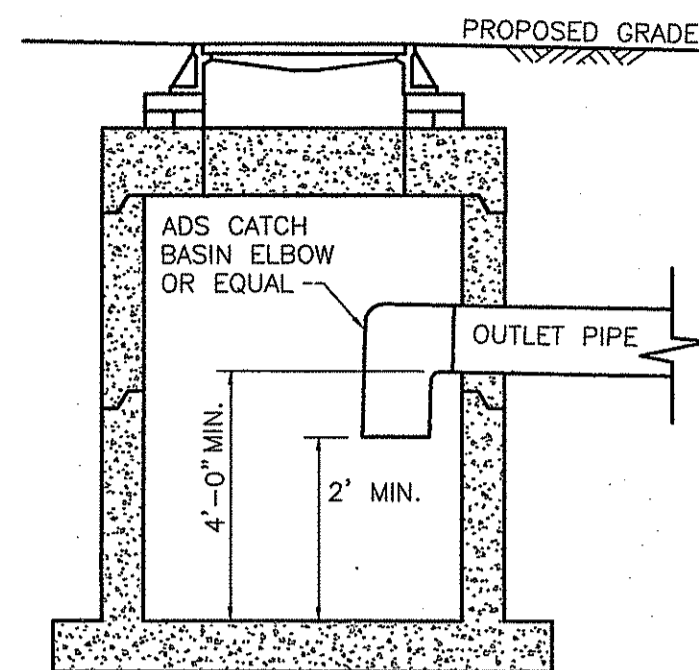
BAIRD PROPERTIES, LLC
SELF STORAGE BUILDINGS
 for
ASSESSORS PLAT 20 BLOCK 3 LOT 24
171 NOOSENECK HILL ROAD
 in
EXETER, RHODE ISLAND

SCALE: 1"=40'

SHEET NO: 6 OF 10

DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK

DATE: 10/10/14 PROJECT NO.: 14045.00

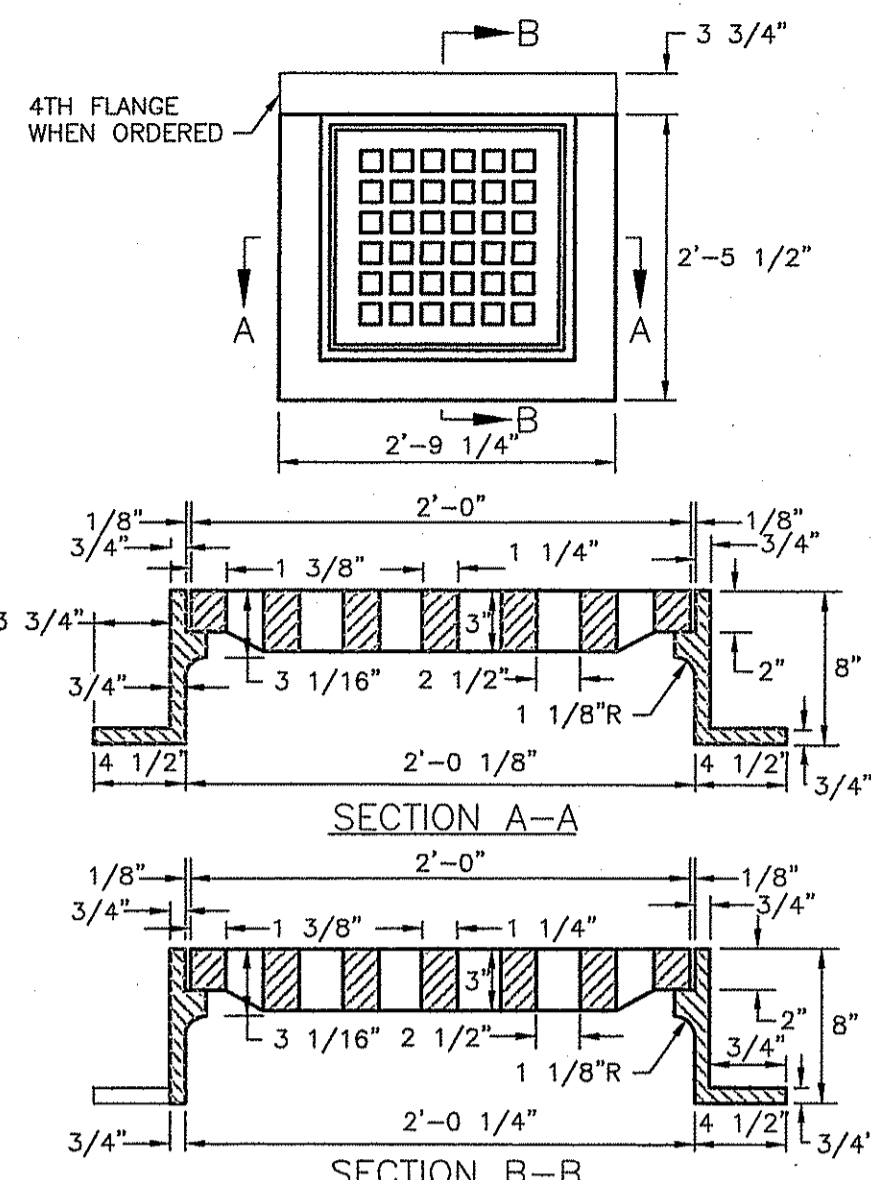


NOTES:

1. ALL MANHOLES WHICH REQUIRE AN OUTLET ELBOW/OIL WATER SEPARATOR SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS DETAIL OR APPROVED EQUAL.
2. STRUCTURES SHALL BE NON-LEACHING.
3. REFER TO PLAN AND PROFILE SHEETS FOR INVERT ELEVATIONS.
4. OTHER INLET AND OUTLET PIPES NOT SHOWN.

MANHOLE OUTLET ELBOW TYPICAL DETAIL

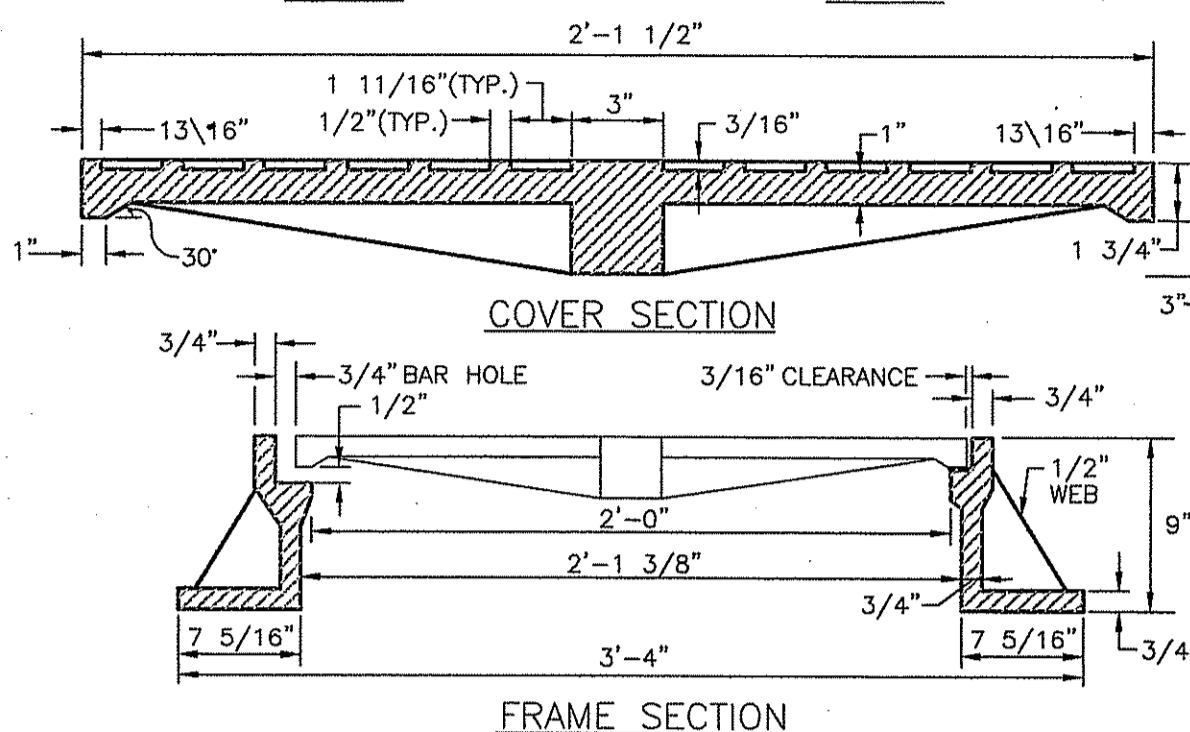
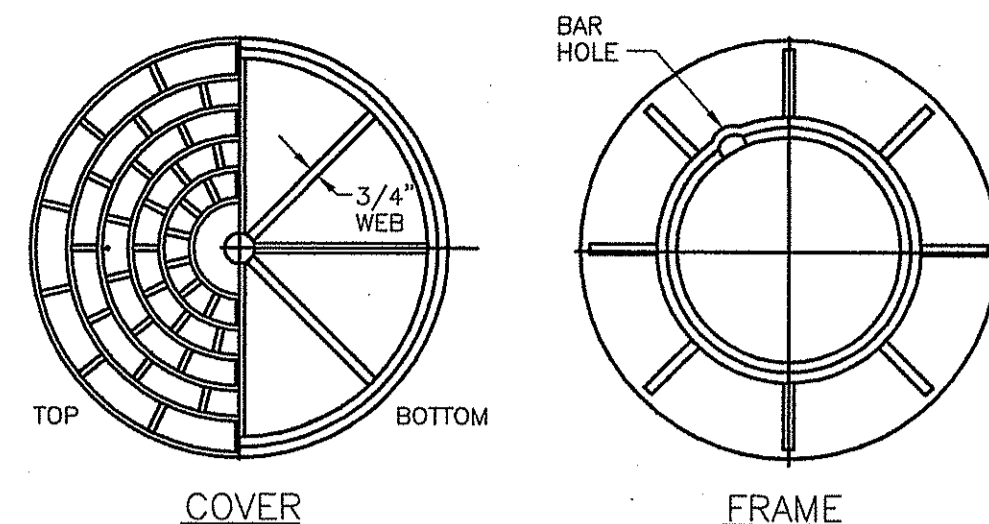
NOT TO SCALE



NOTE: FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.

SQUARE FRAME AND GRATE

NOT TO SCALE



NOTE: 1. FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
2. FRAME AND COVER SEATS MUST HAVE MACHINE FINISH.

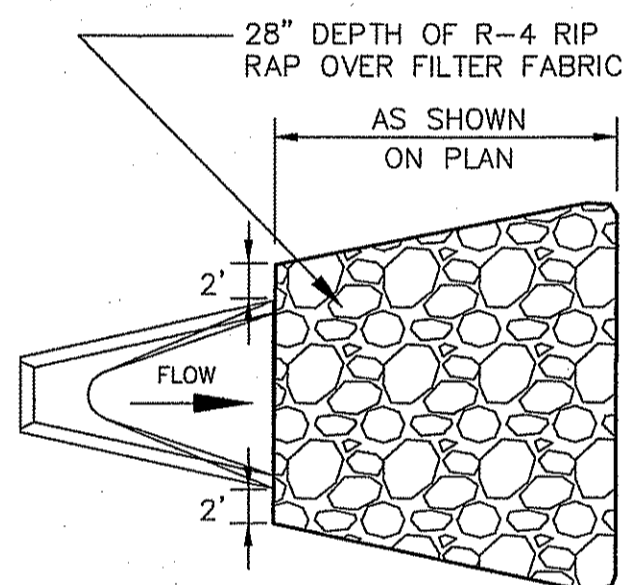
HEAVY-DUTY ROUND FRAME AND COVER

NOT TO SCALE



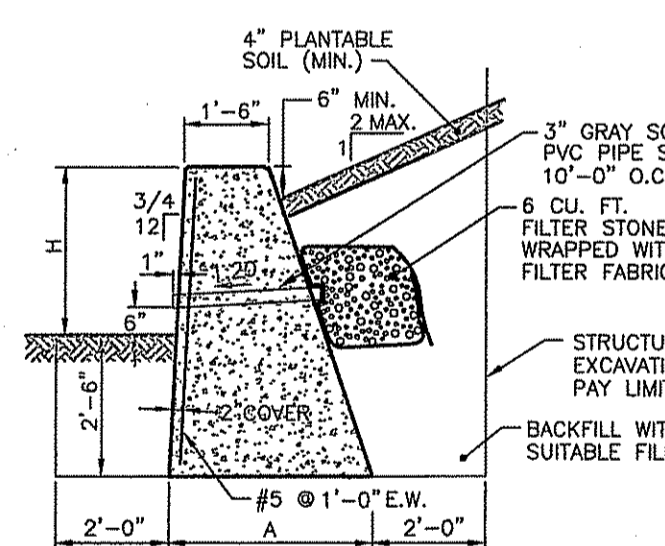
MATERIAL SPECIFICATIONS:

- R-6 RIP RAP: 100% PASS - 26", 0-50% PASS - 13", 0-15% PASS - 8"
- R-5 RIP RAP: 100% PASS - 20", 0-50% PASS - 10", 0-15% PASS - 6"
- R-4 RIP RAP: 100% PASS - 14", 0-50% PASS - 7", 0-15% PASS - 4"
- R-3 RIP RAP: 100% PASS - 8", 0-50% PASS - 4", 0-15% PASS - 2"
- FS-3 FILTER STONE: 100% PASS - 6.5", 0-50% PASS - 2.5", 0-15% PASS - NO.4
- FS-2 FILTER STONE: 100% PASS - 2", 0-50% PASS - NO.4, 0-15% PASS - NO.16
- FS-1 FILTER STONE: 100% PASS - 1/2", 0-50% PASS - NO.16, 0-15% PASS - NO. 50



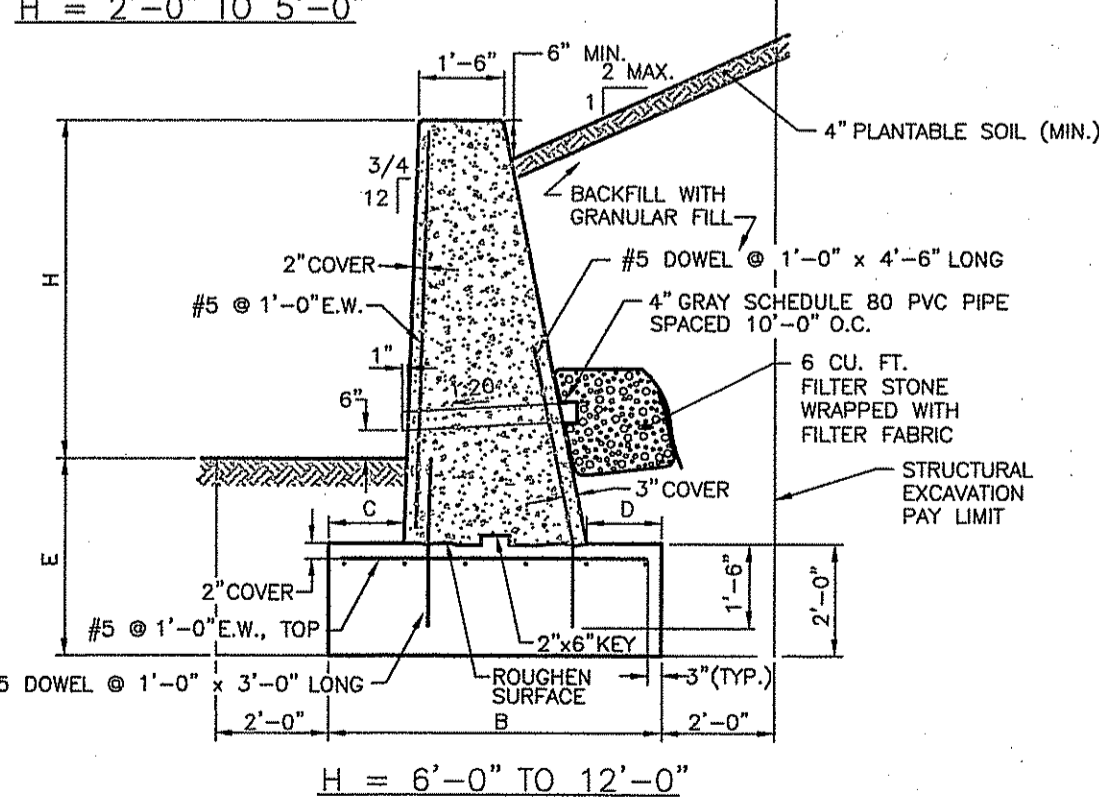
FLARED END SECTION DETAIL

NOT TO SCALE



DIMENSIONS AND QUANTITIES						
H	A	B	C	D	E	C.F./L.F. OF WALL
2'-0"	3'-3"	-	-	-	2'-6"	10.89
3'-0"	3'-8"	-	-	-	2'-6"	14.21
4'-0"	4'-1"	-	-	-	2'-6"	18.14
5'-0"	4'-6"	-	-	-	2'-6"	22.50
6'-0"	5'-4"	1'-0"	1'-4"	3'-6"	3'-6"	27.54
7'-0"	6'-2"	1'-4"	1'-4"	3'-6"	3'-6"	33.59
8'-0"	6'-5"	1'-4"	1'-4"	3'-6"	3'-6"	38.98
9'-0"	7'-4"	1'-9"	1'-9"	3'-6"	3'-6"	42.66
10'-0"	7'-10"	1'-9"	2'-0"	3'-6"	3'-6"	47.76
11'-0"	8'-5"	1'-10"	2'-3"	3'-6"	3'-6"	53.30
12'-0"	9'-0"	1'-10"	2'-6"	3'-6"	3'-6"	59.63

H = 2'-0" TO 5'-0"

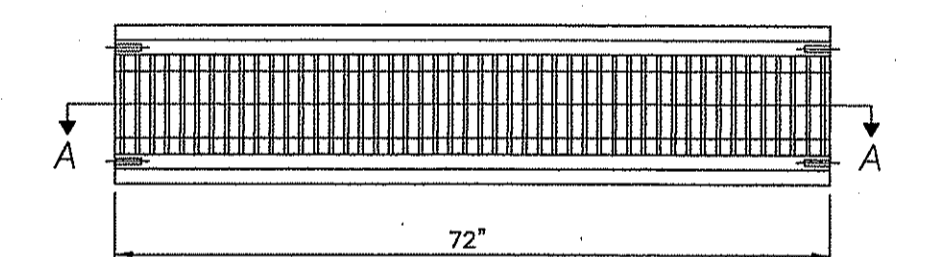


H = 6'-0" TO 12'-0"

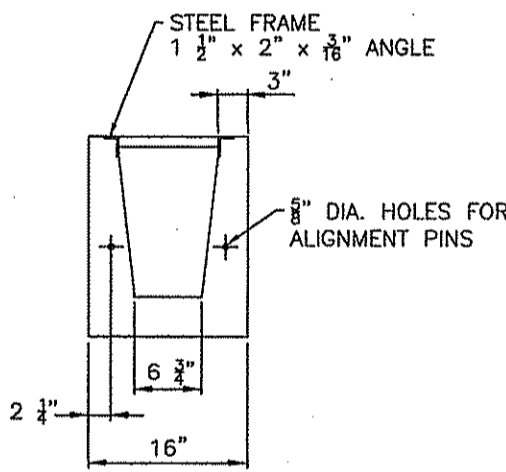
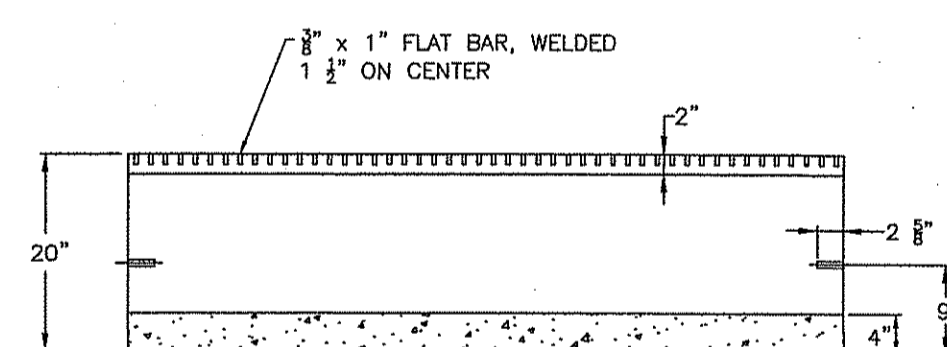
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 808 OF THE R.I. STANDARD SPECIFICATIONS.
 2. USE 1/2" PREFORMED JOINT FILLER AND BEVEL EXPOSED EDGES WITH 3/4" CHAMFER.
 3. SEAL BACKFACE WITH 1/4" x 1/2" JOINT SEALANT.
 4. SURFACE RUB EXPOSED FACE AND TOP.
 5. ALL REINFORCING TO BE EPOXY COATED.
 6. PROVIDE EXPANSION JOINTS EVERY 25'-0" IN STEMS.

CONCRETE RETAINING WALL

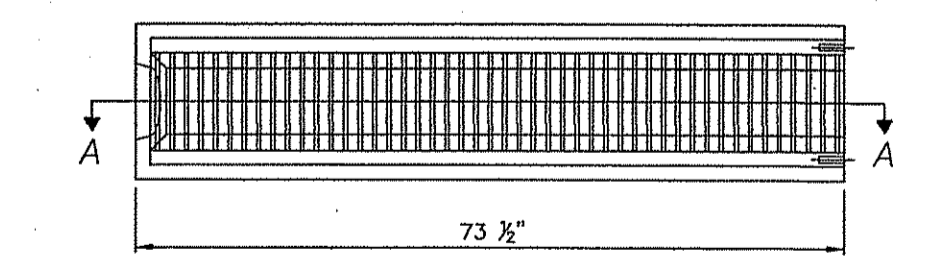
NOT TO SCALE



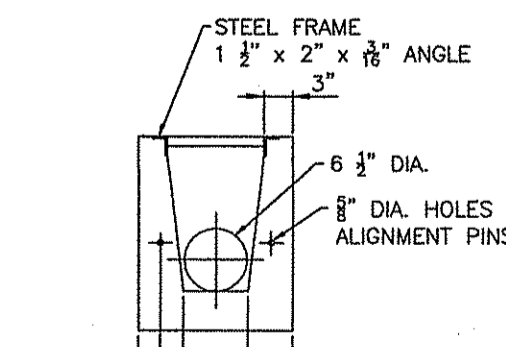
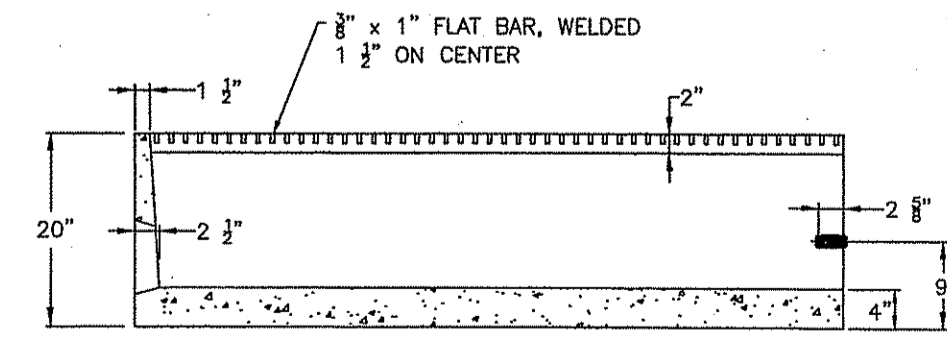
MANUFACTURED BY: JOLLEY PRECAST, INC. 860-774-9066



MIDDLE UNITS



MANUFACTURED BY: JOLLEY PRECAST, INC. 860-774-9066



END UNITS

NOTES:

1. ALL COMPONENTS RATED FOR H-20 LOADS.
2. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
3. TRENCH DRAINS SHALL TERMINATE INTO RIP RAP SWALE WITHOUT 6" PIPE.
4. ALL 6" OPENINGS NOT USED SHALL BE MORTARED CLOSED.

TRENCH DRAIN DETAIL

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 21 2015 FILE # 15-0009
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. [Signature]

PERMIT AGENCY REVIEW SUBMISSION DETAILS

OWNER / APPLICANT:
BAIRD PROPERTIES, LLC
17 RESERVOIR ROAD
COVENTRY, RI 02816

Kambiz Karbassi
No. 4737
REGISTERED PROFESSIONAL ENGINEER

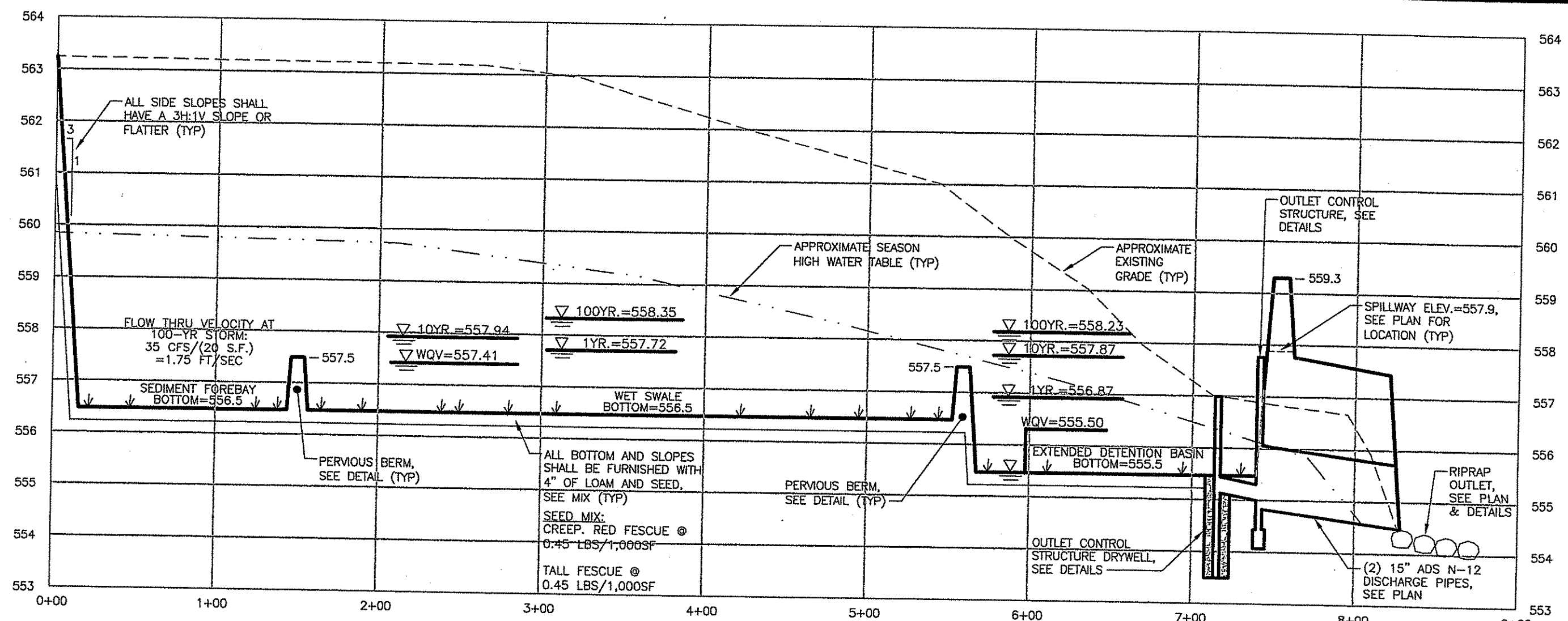
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

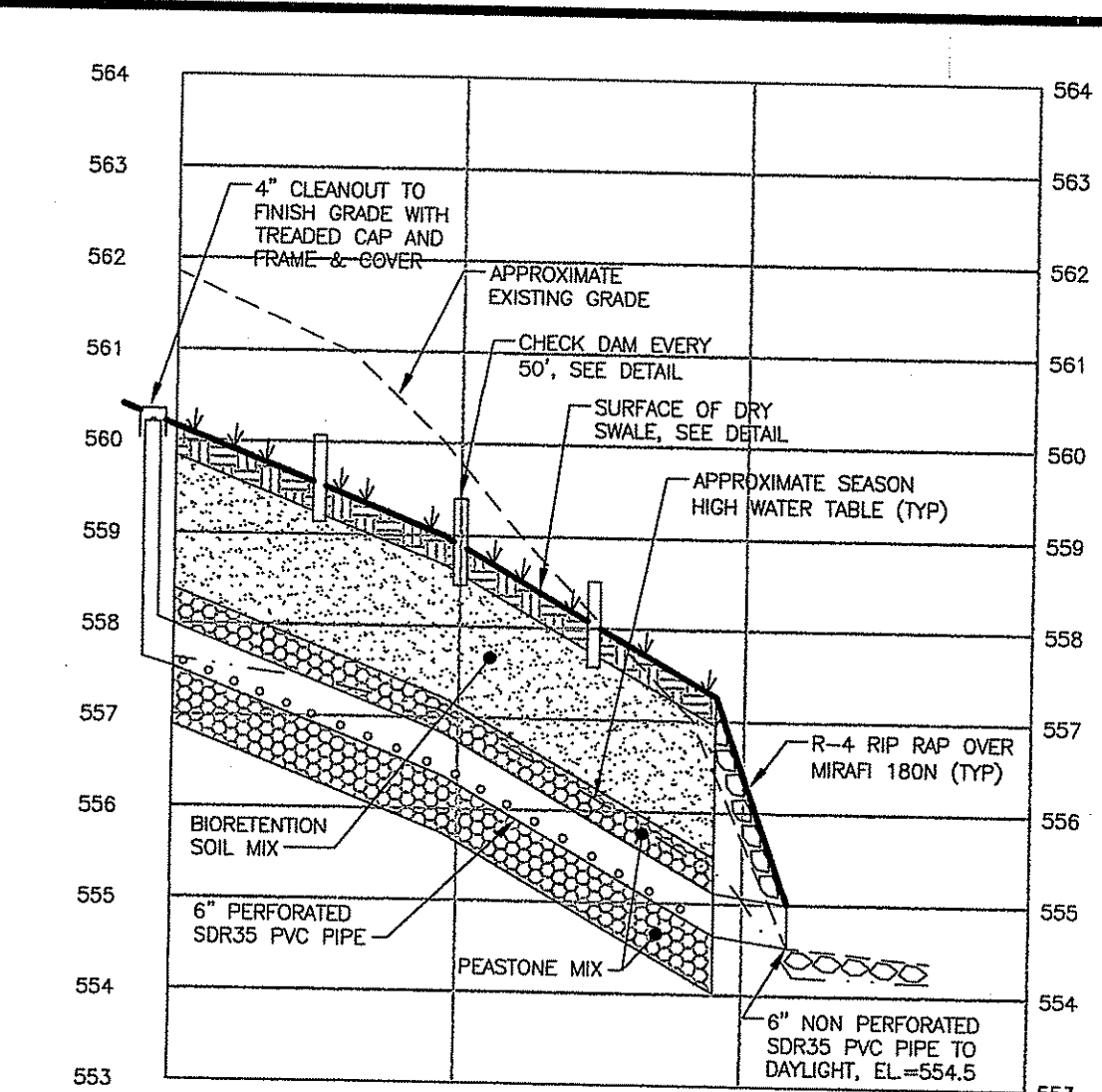
No.	DATE	DRWN	CHKD
1	1/2/15	JP	TJB
2	4/1/15	JP	TJB

BAIRD PROPERTIES, LLC
SELF STORAGE BUILDINGS
for
ASSESSORS PLAT 20 BLOCK 3 LOT 24
171 NOOSENECK HILL ROAD
in
EXETER, RHODE ISLAND

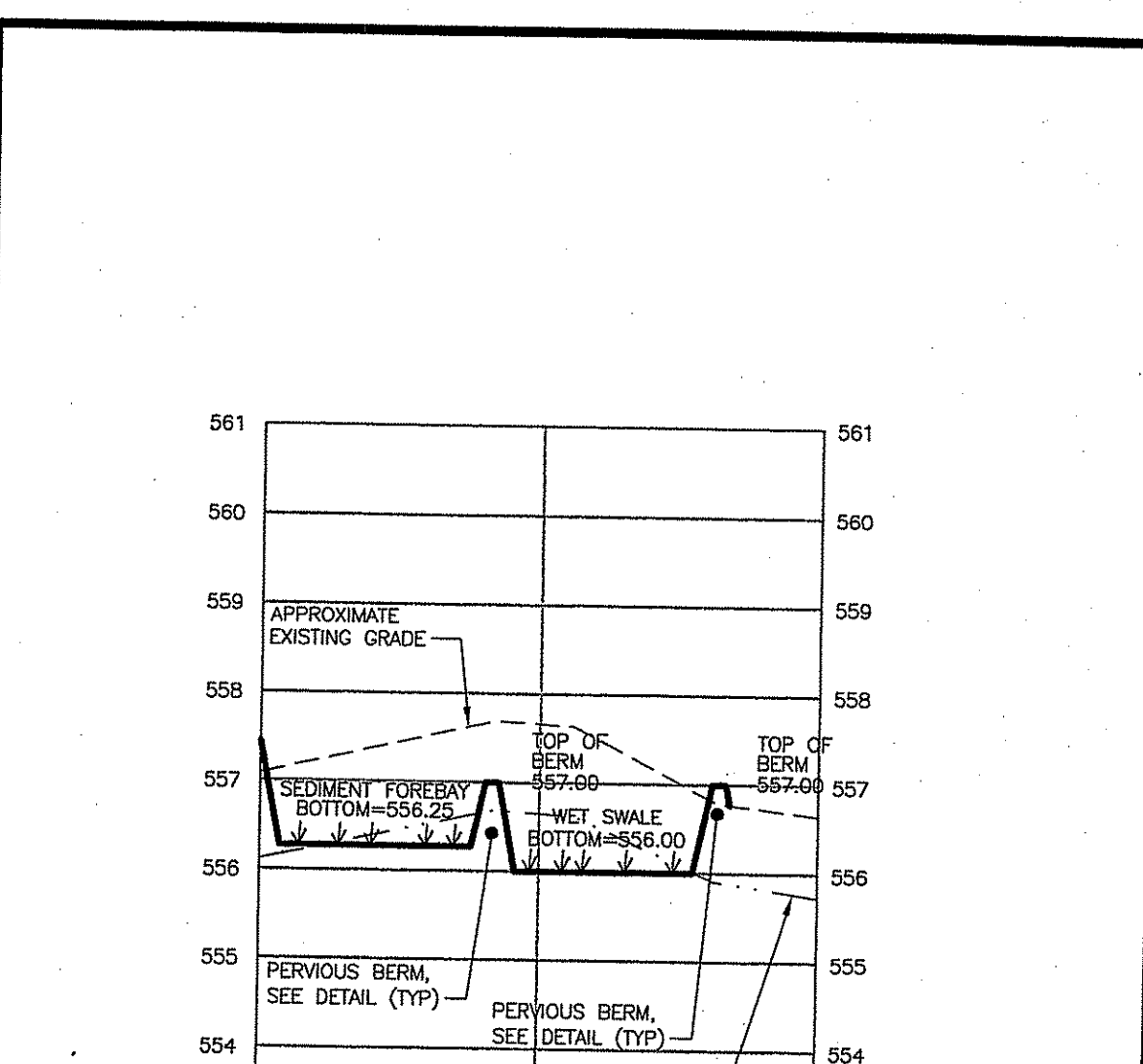
SCALE: 1"=40'
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 10/10/14 SHEET NO: 7 OF 10 PROJECT NO.: 14045.00



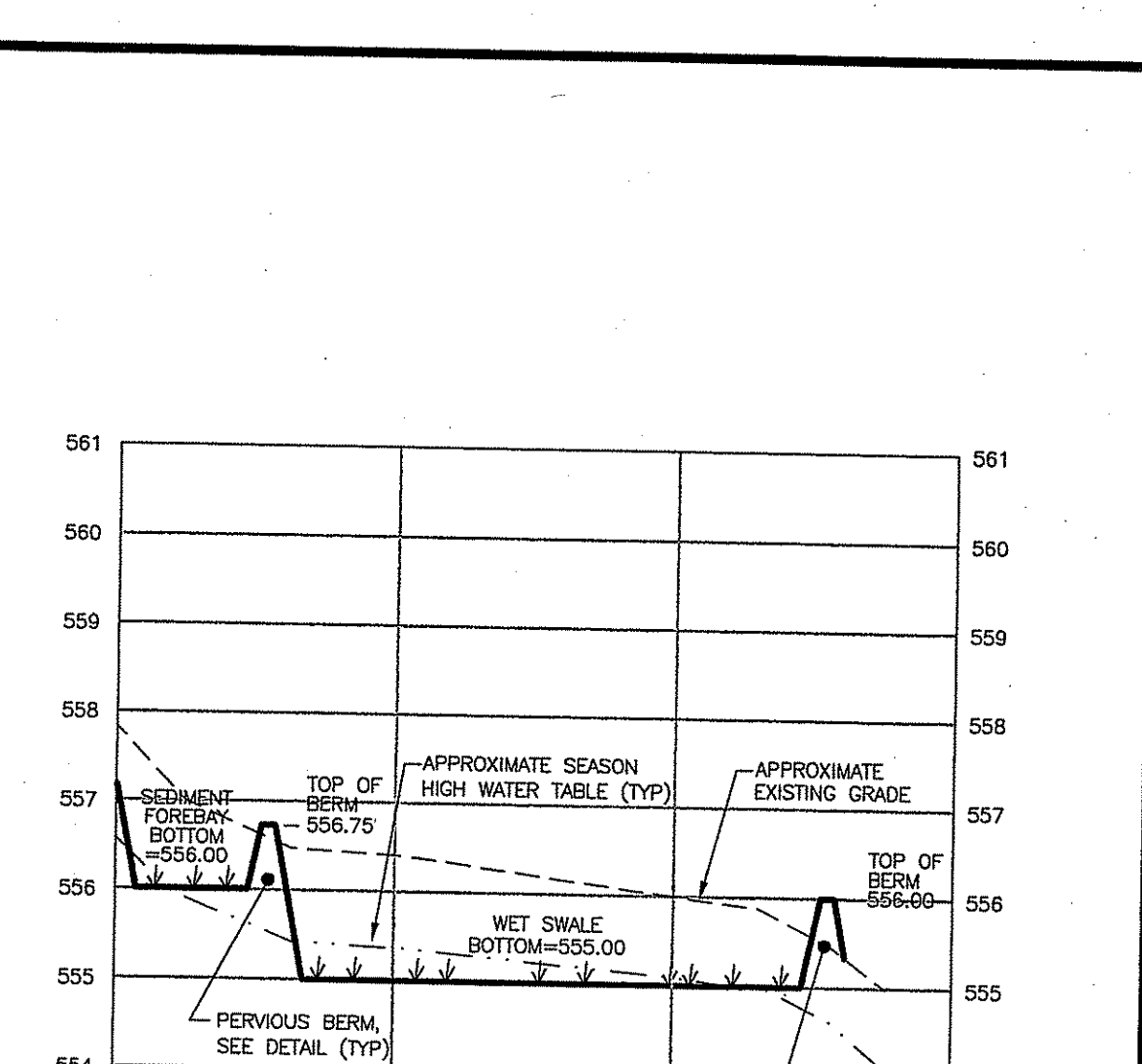
SEDIMENT FOREBAY, WET SWALE & EXTENDED DETENTION BASIN (SECTION A-A)
SCALE: AS SHOWN (APPROXIMATE)



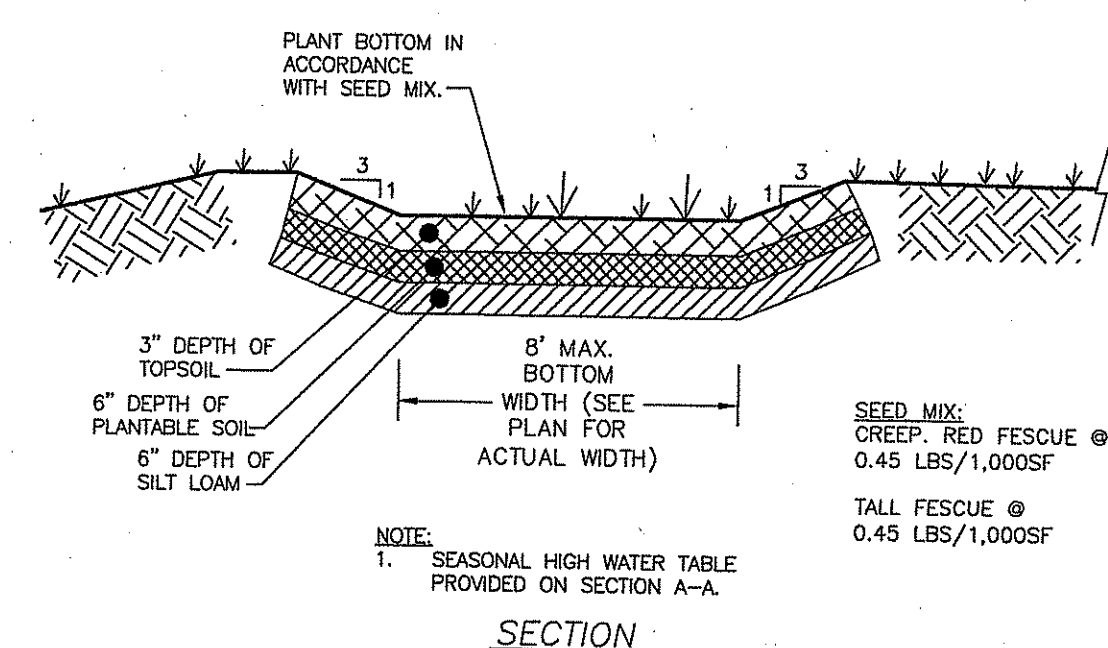
DRY SWALE (SECTION B-B)
SCALE: AS SHOWN (APPROXIMATE)



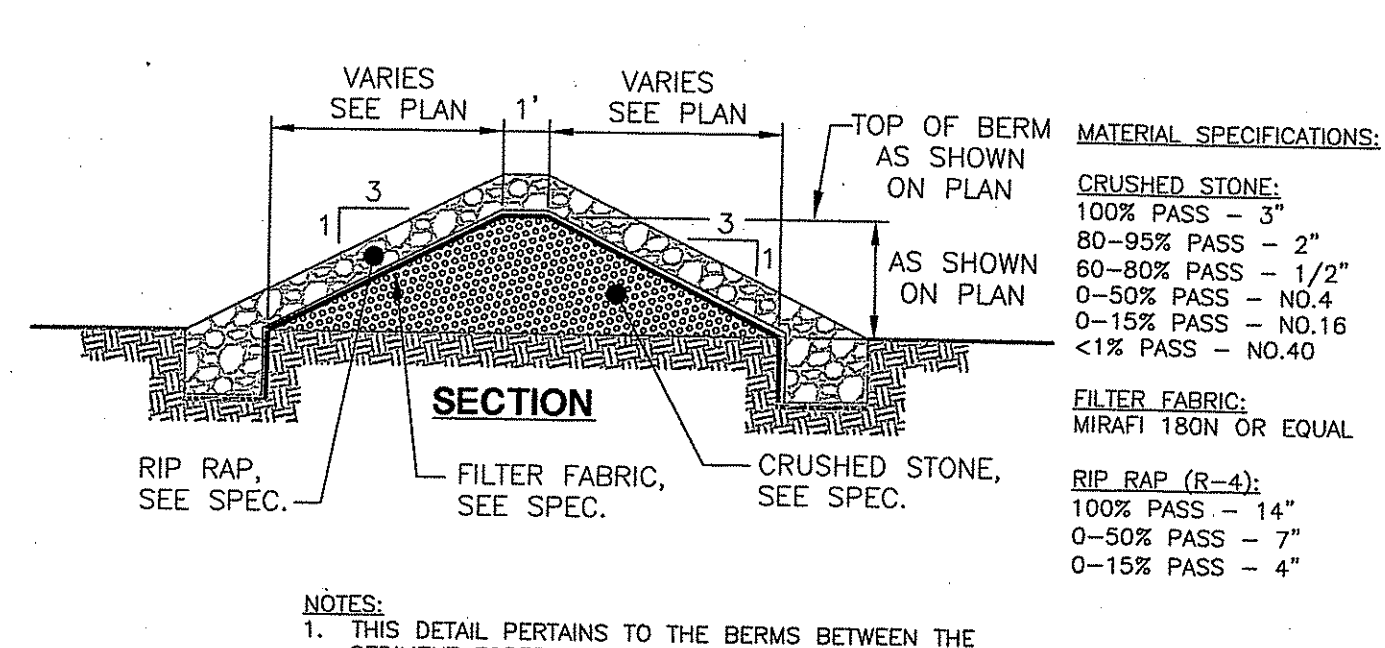
WET SWALE (SECTION C-C)
SCALE: AS SHOWN (APPROXIMATE)



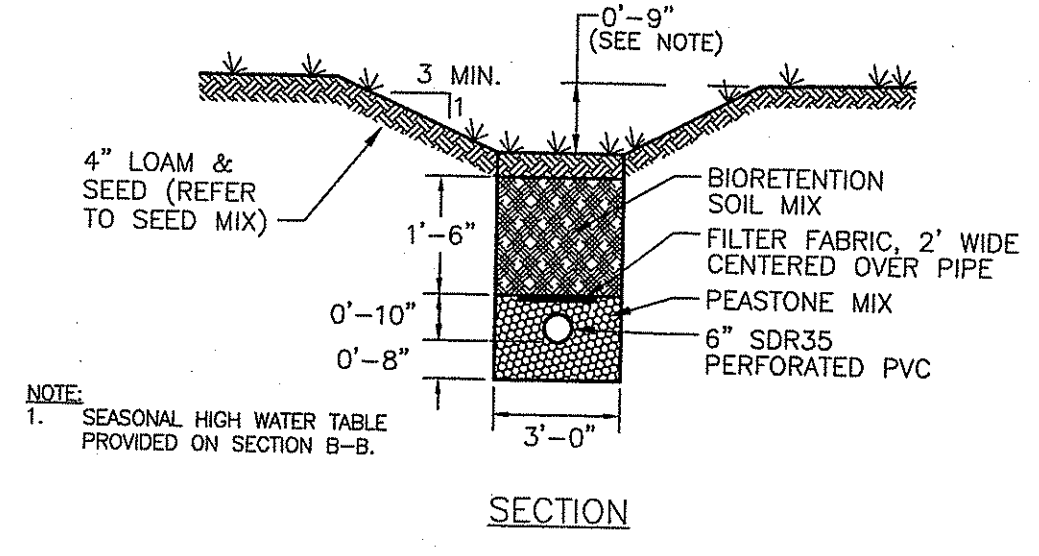
WET SWALE (SECTION D-D)
SCALE: AS SHOWN (APPROXIMATE)



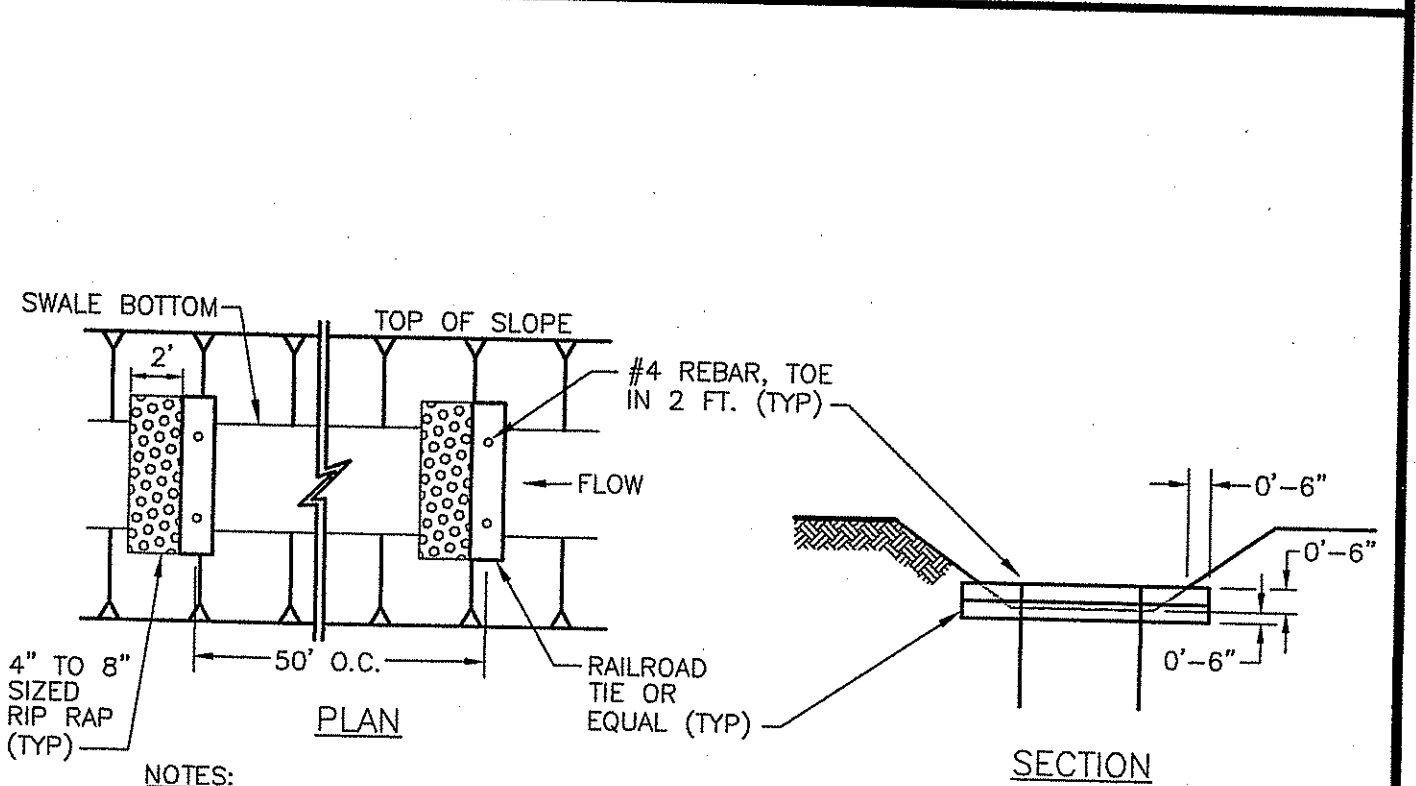
WET SWALE TYPICAL DETAIL
NOT TO SCALE



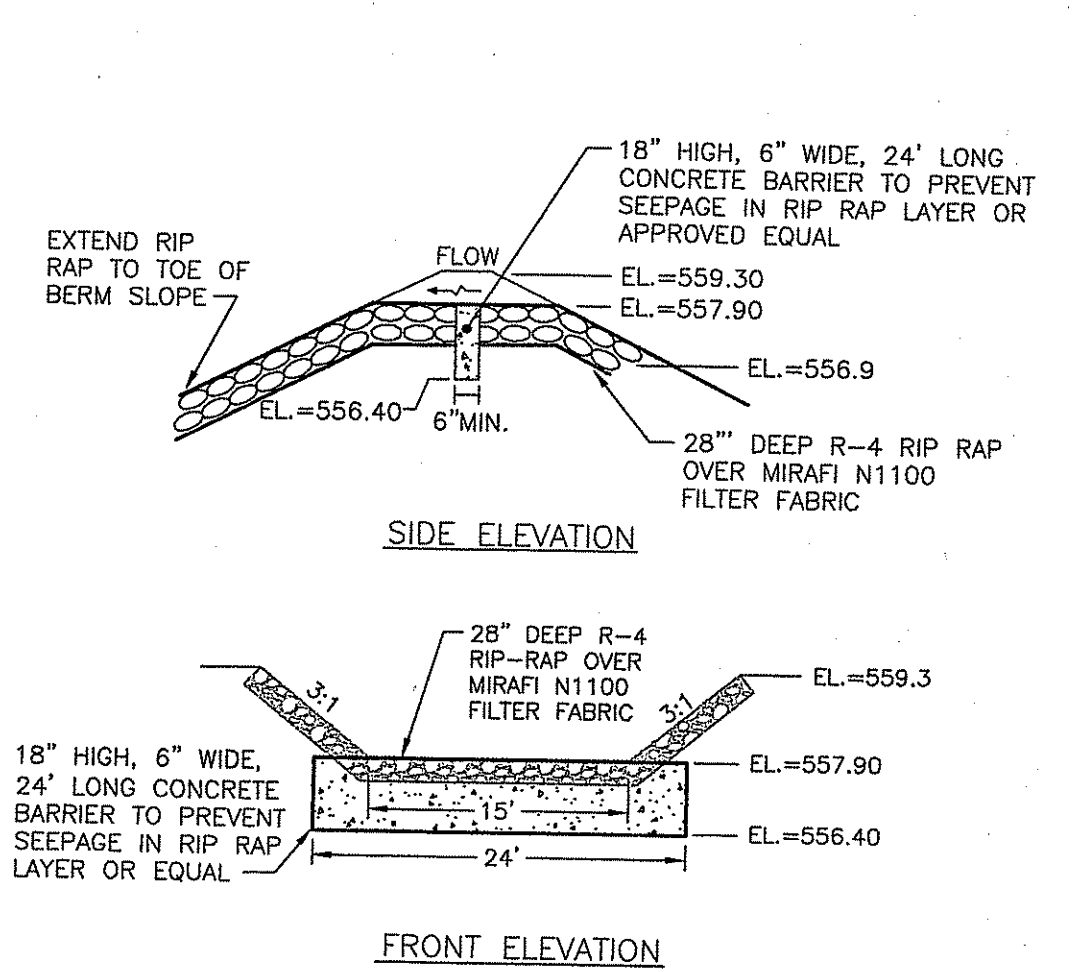
PERVIOUS BERM TYPICAL DETAIL
NOT TO SCALE



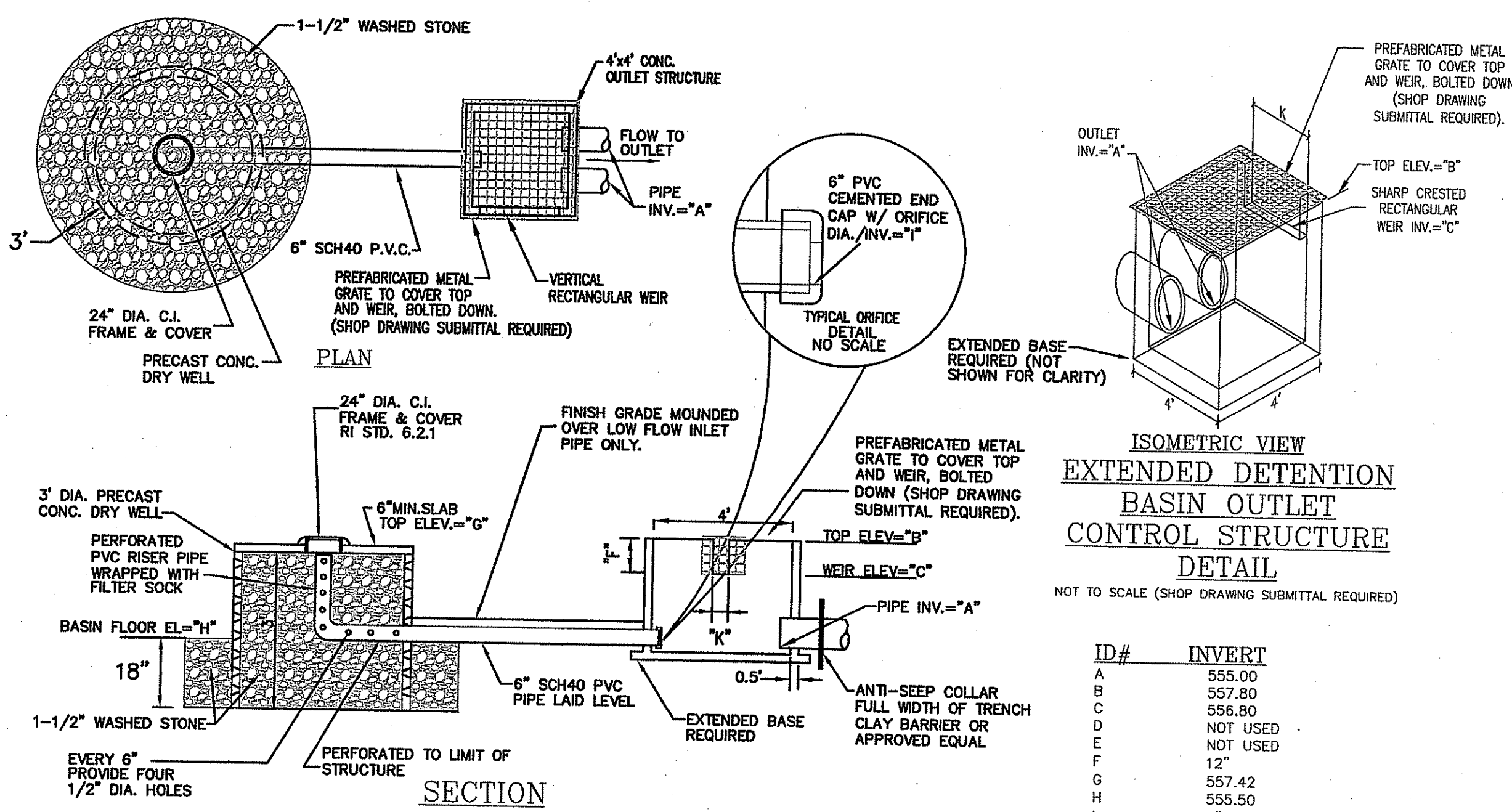
DRY SWALE TYPICAL DETAIL
NOT TO SCALE



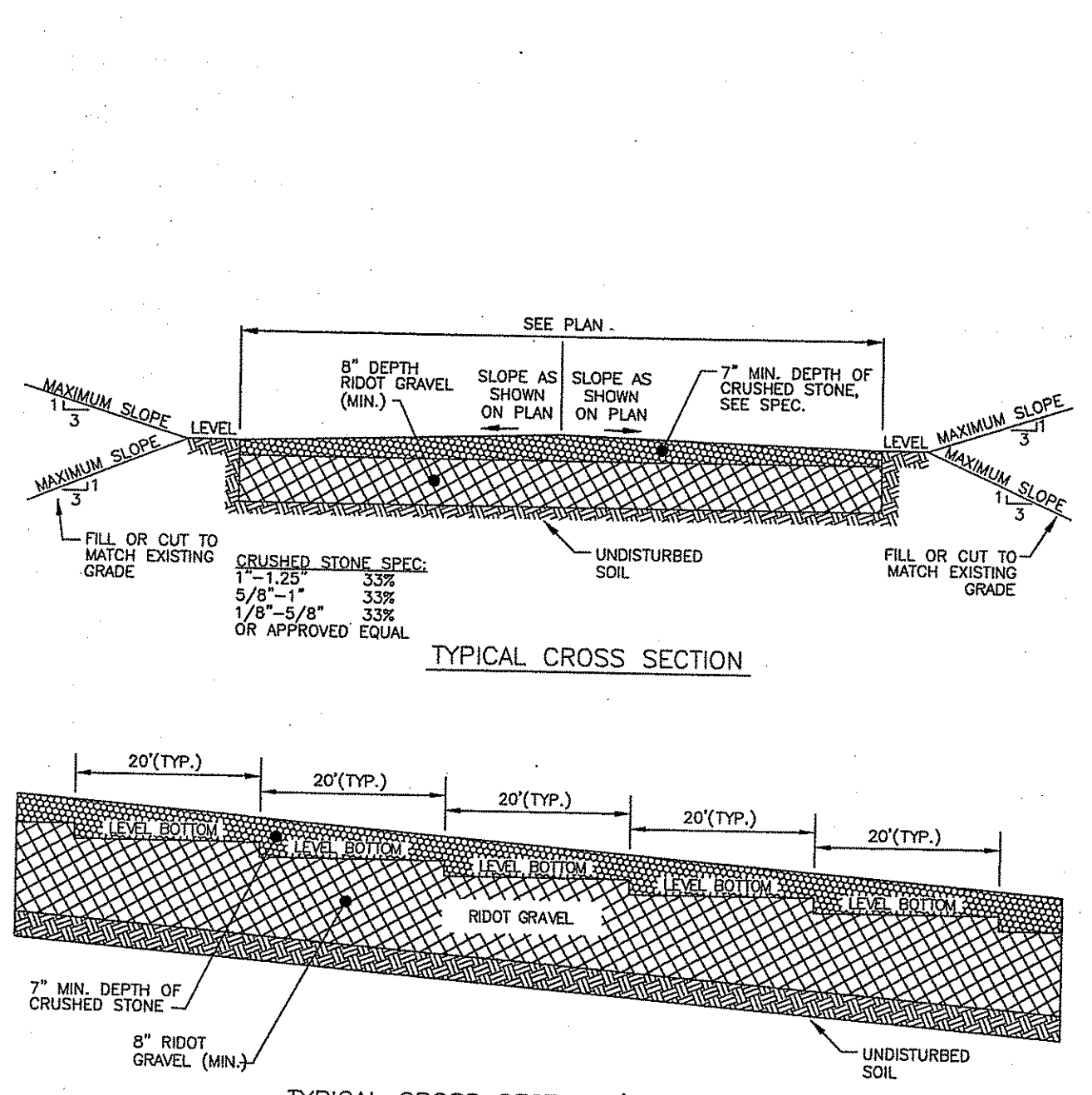
DRY SWALE CHECK DAM
NOT TO SCALE



EXTENDED DETENTION BASIN RIPRAP EMERGENCY SPILLWAY
NOT TO SCALE



EXTENDED DETENTION BASIN OUTLET CONTROL STRUCTURE
NOT TO SCALE (SHOP DRAWING SUBMITTAL REQUIRED)



CRUSHED STONE PARKING DETAIL
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 21 2015 FILE # 15-0001
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
OBTAINED AT CONSTRUCTION SITE
BAIRD PROPERTIES, LLC
17 RESERVOIR ROAD
COVENTRY, RI 02816

Kambiz Korbassi
No. 4737
REGISTERED PROFESSIONAL ENGINEER

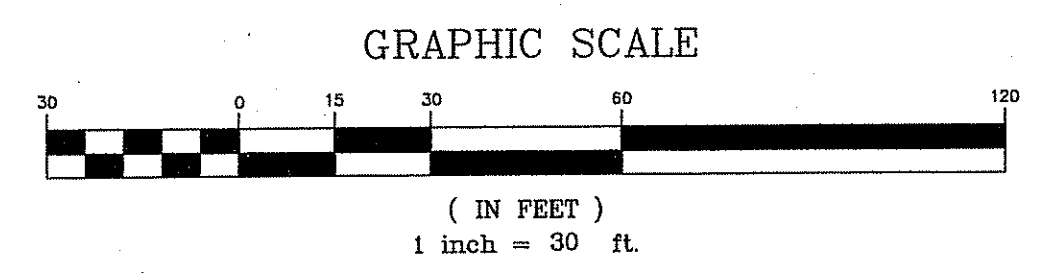
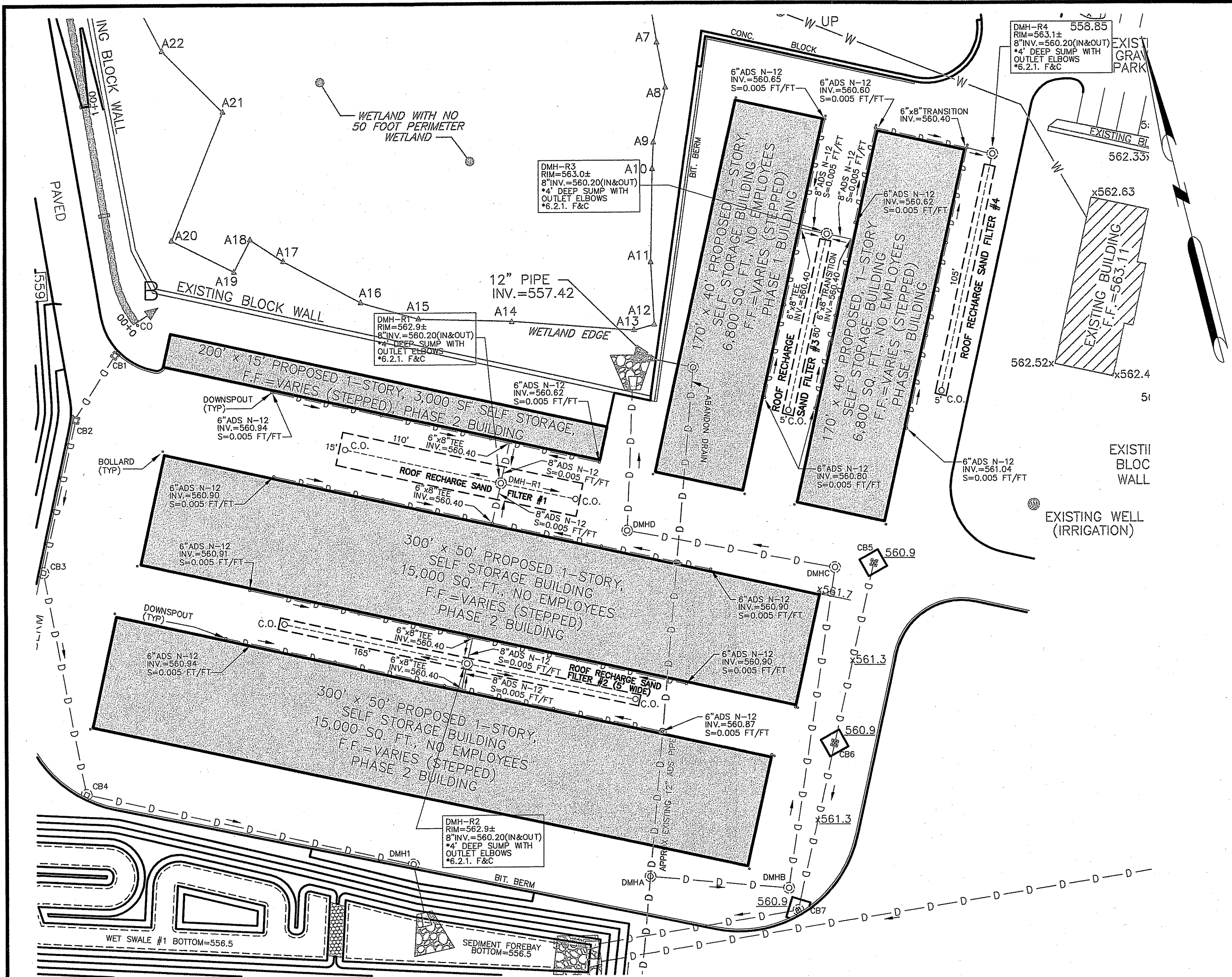
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

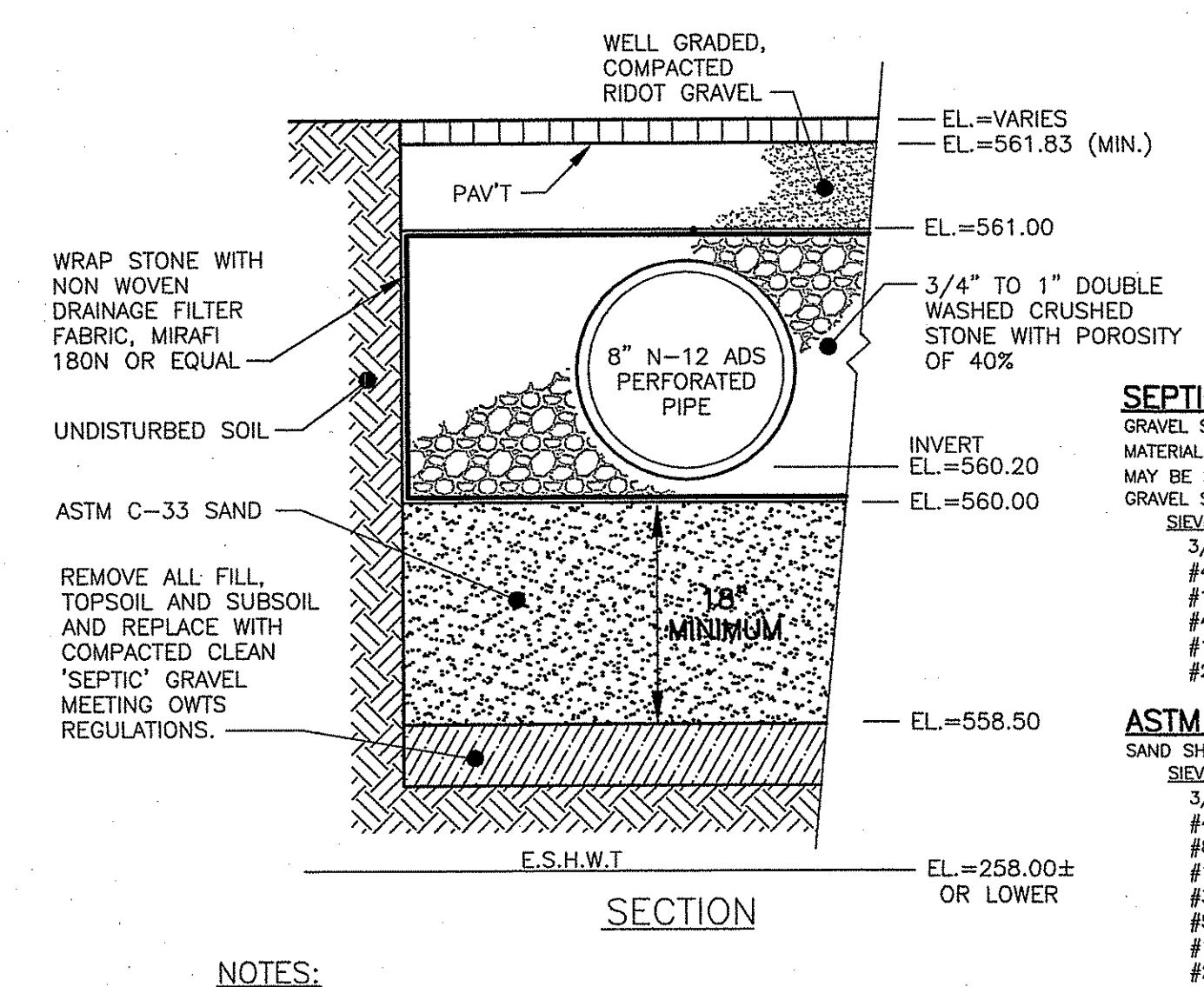
No.	DATE	DRWN	CHKD
1	1/2/15	JP	TJB
2	4/1/15	JP	TJB

BAIRD PROPERTIES, LLC
SELF STORAGE BUILDINGS
for
ASSESSORS PLAT 20 BLOCK 3 LOT 24
171 NOOSENECK HILL ROAD
in
EXETER, RHODE ISLAND

SCALE: 1"=40' SHEET NO: 8 OF 10
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 10/10/14 PROJECT NO.: 14045.00



ROOF RECHARGE SAND FILTER INVERT SCHEDULE/DETAIL
SCALE: 1"=30'



SEPTIC GRAVEL SPEC.:
GRAVEL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 3". UP TO 10% MAY BE SIZED BETWEEN 3/4" AND 3". GRAVEL SHALL MEET THE FOLLOWING:

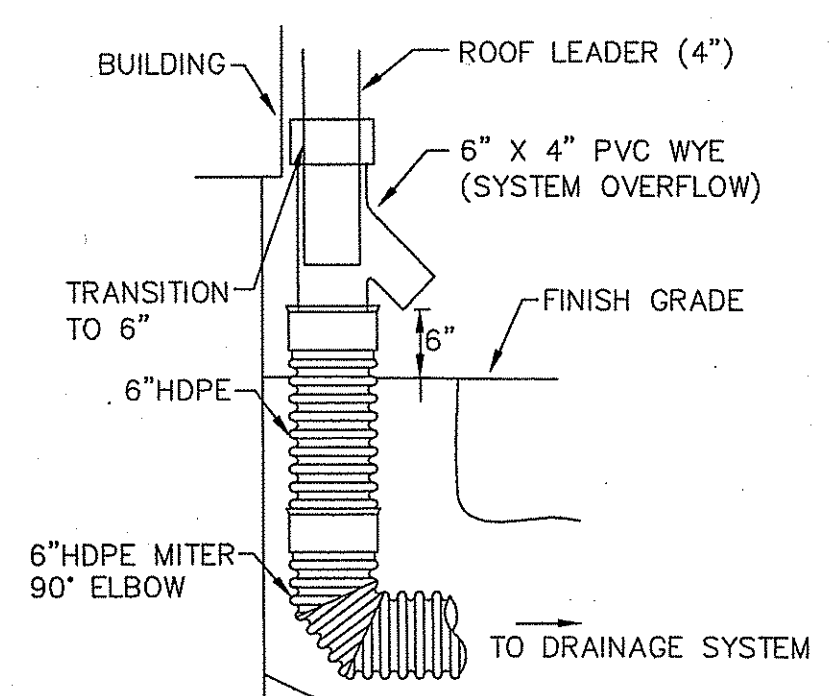
SIEVE SIZE	% PASSING
3/4"	100%
#4	95%-100%
#10	40%-100%
#40	10%-50%
#100	0%-15%
#200	0%-2%

ASTM C-33 SAND SPEC.:
SAND SHALL MEET THE FOLLOWING:

SIEVE SIZE	% PASSING
3/8"	100%
#4	95%-100%
#8	80%-100%
#16	50%-85%
#30	25%-60%
#50	5%-30%
#100	0%-10%
#200	0%-5%

- NOTES:
1. INSTALL ADS PIPE PRODUCTS PER MANUFACTURERS RECOMMENDATIONS.
2. ALL COMPONENTS OF SYSTEM SHALL BE RATED FOR H-20 LOADS.
3. MATERIAL SPECIFICATIONS, PLACEMENT AND COMPACTION OF SOIL MATERIALS SHALL BE IN ACCORDANCE WITH RIDOT STANDARD SPECIFICATIONS.

ROOF RECHARGE SAND FILTER TYPICAL DETAIL
SCALE: NOT TO SCALE



ROOF LEADER COLLECTOR DETAIL
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 21 2015 FILE # 15-0009
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OWNER / APPLICANT:
BAIRD PROPERTIES, LLC
17 RESERVOIR ROAD
COVENTRY, RI 02816

PERMIT AGENCY REVIEW SUBMISSION
DETAILS

Kambiz Korbassi
No. 4737
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS				
No.	DATE	DRWN	CHKD	
1	1/2/15	JP	TJB	
2	4/1/15	JP	TJB	

BAIRD PROPERTIES, LLC
SELF STORAGE BUILDINGS
for
ASSESSORS PLAT 20 BLOCK 3 LOT 2
171 NOOSENECK HILL ROAD
in
EXETER, RHODE ISLAND

SCALE: 1"=40'	SHEET NO: 9 OF 10
DRAWN BY: JP	DESIGN BY: TJB
CHECKED BY: KK	
DATE: 10/10/14	PROJECT NO.: 14045.00

GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
- IT SHALL ALSO BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- BEFORE STARTING ANY CONSTRUCTION THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ANY HYDRANTS, WATER MAINS, BLOWOFF ASSEMBLIES, FITTINGS, AND VALVES WITH THE LOCAL WATER DEPARTMENT AS TO TYPE AND MANUFACTURER.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MUNICIPAL ENGINEERING DEPARTMENT AND ALL UTILITY INSTALLATIONS AND INSPECTIONS WITH THE APPROPRIATE UTILITY COMPANY. A 48 HOUR ADVANCE NOTICE IS REQUIRED BEFORE WORK COMMENCEMENT.
- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE "R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 1997)" WITH ALL CORRECTIONS AND ADDENDA AND THE 1974 R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA AND THE TOWN OF EXETER STANDARD SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 3" OF TOPSOIL AND SEED, SEE EROSION CONTROL PROGRAM.
- UNLESS OTHERWISE SPECIFIED, ALL STORM DRAINS SHALL BE REINFORCED CONCRETE CLASS III PIPE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS. THAT INCLUDES ANY CONSTRUCTION TO BRING UTILITIES TO SITE, ANY REPAIRS, ANY TRENCHING REQUIRED, HYDRANTS, ANY AND ALL CONSTRUCTION FOR ACCEPTANCE OF ROADS AND EASEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
- IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- ALL WATER MAINS SHALL BE DEFLECTED ALONG A CURVE WITH A MINIMUM RADIUS OF 250'. AT ANY LOCATION WHERE THIS IS NOT POSSIBLE, PROPER BENDS AND FITTINGS SHALL BE USED.
- ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS, AND OTHER REFUSE SHALL BE DISCARDED OFF SITE, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

EROSION CONTROL & SOIL STABILIZATION PROGRAM

- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEED OR PROTECTED BY THAT DATE, FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STD SPECIFICATION M 20.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES:

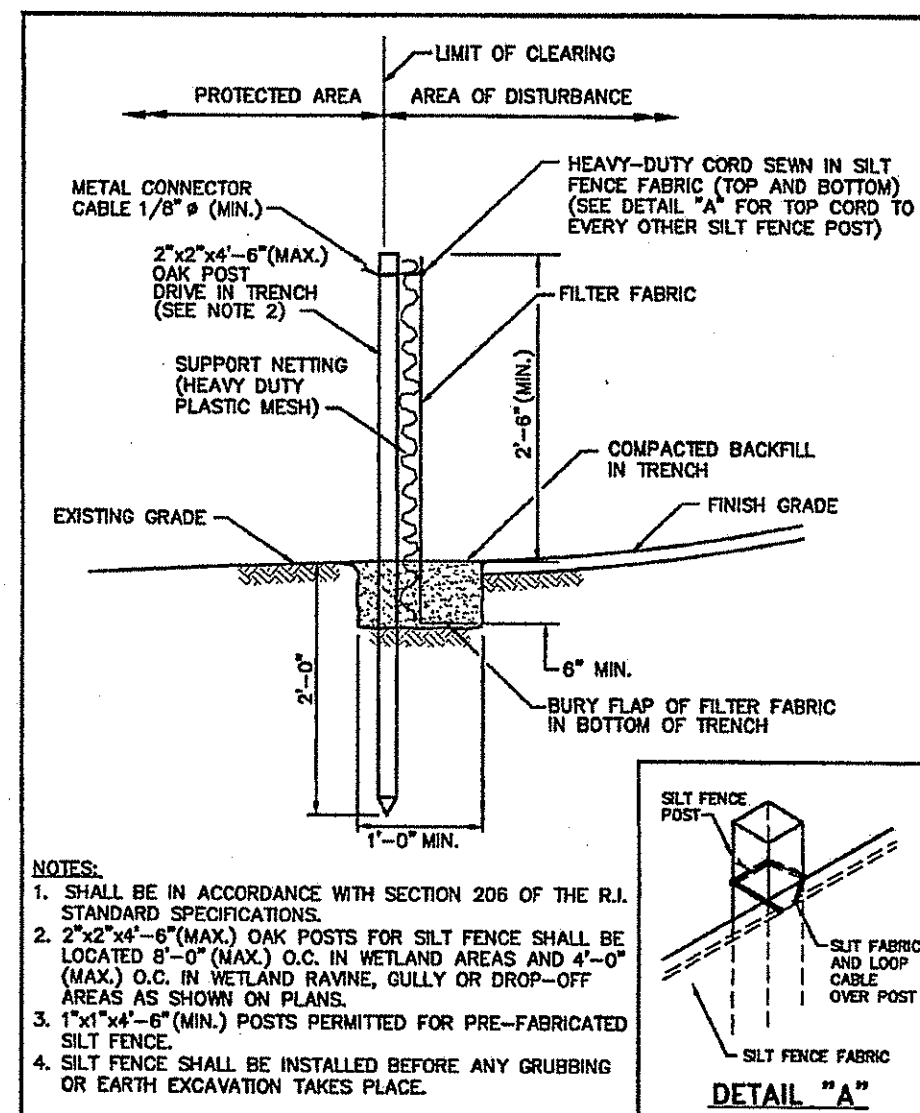
A. MOWED AREA (ALL FLATS OR SLOPES LESS THAN 3:1)

MIXTURE:	% BY WEIGHT:	SEEDING DATES:
RED FESCUE	75	APRIL 1 - JUNE 15
KENTUCKY BLUEGRASS	15	AUGUST 15 - OCTOBER 15
COLONIAL BENTGRASS	5	
PERENNIAL RYEGRASS	5	
TOTAL:	100 lbs./Ac.	

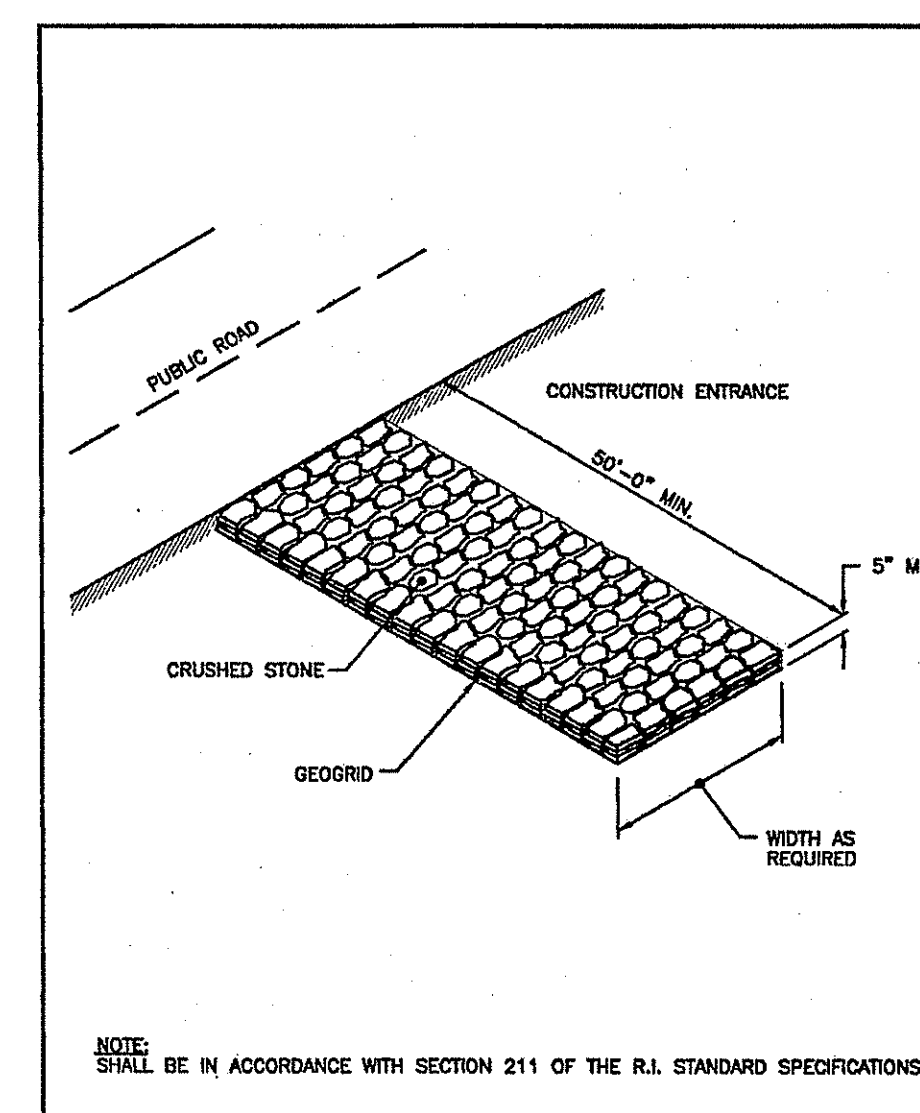
B. UNMOWED AREA OR INFREQUENTLY MOWED (SLOPES GREATER THAN 3:1)

MIXTURE:	% BY WEIGHT:	SEEDING DATES:
RED FESCUE	75	APRIL 1 - JUNE 15
COLONIAL BENTGRASS	5	AUGUST 15 - OCTOBER 15
PERENNIAL RYEGRASS	5	
BIRDSFOOT TREFLOIL	15	
TOTAL:	100 lbs./Ac.	

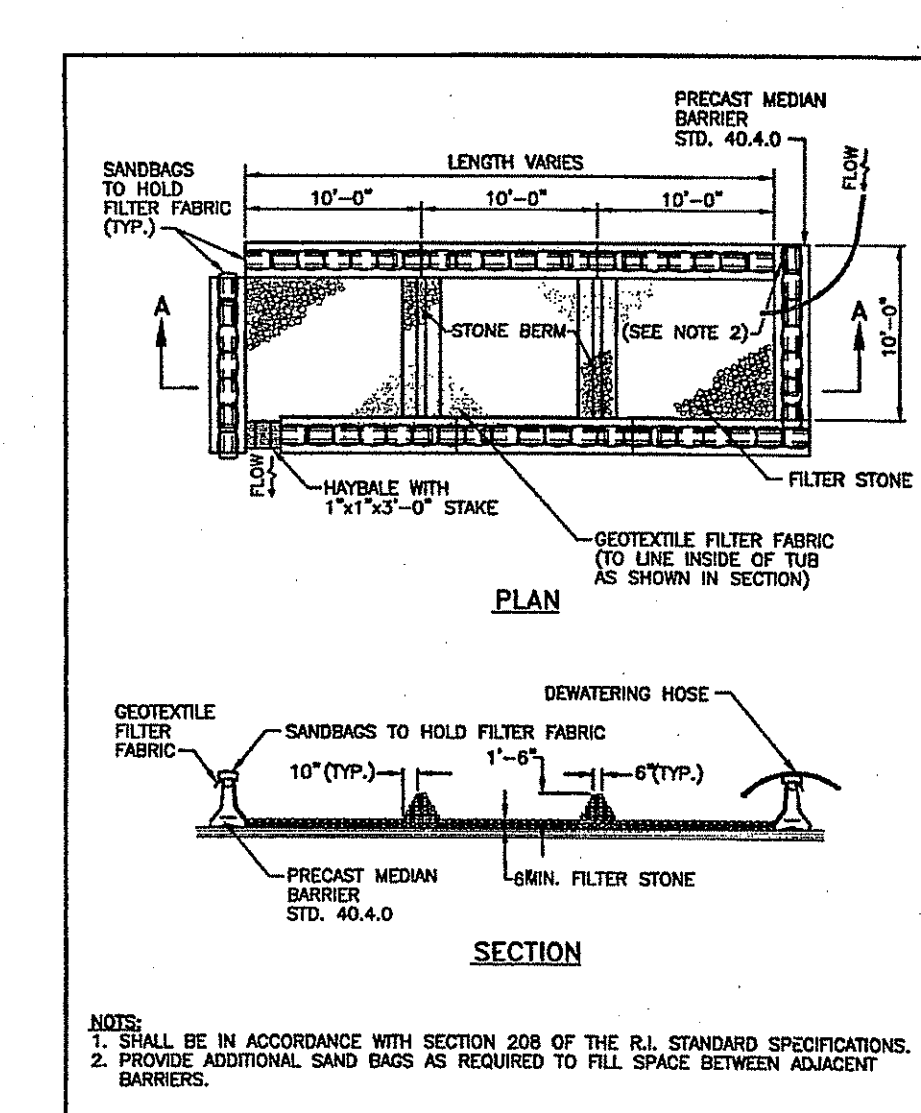
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
 - HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000 - 4,000 lbs./Ac.
 - ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP MINIMIZE THE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:
- | MIXTURE: | lbs./1,000 S.F. | lbs./Ac. | SEEDING DATES: |
|--------------------|-----------------|----------|----------------|
| ANNUAL RYEGRASS | 1.0 - 1.5 | 40 - 60 | 3/1 - 6/1 |
| PERENNIAL RYEGRASS | 1.0 - 1.5 | 40 - 60 | 3/1 - 6/1 |
| SUDAN GRASS | 0.7 - 1.0 | 30 - 40 | 5/15 - 8/15 |
| MILLET | 0.7 - 1.0 | 30 - 40 | 5/15 - 8/15 |
| WINTER RYE | 3.0 | 120 | 4/15 - 6/15 |
| OATS | 0.5 - 5.0 | 86 - 120 | 3/1 - 6/15 |
| WEEPING COVERGRASS | 0.5 - 5.0 | 5 - 20 | 5/1 - 7/1 |
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOPE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
 - ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STD SPECIFICATIONS SECTION 202.
 - STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
 - STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS, THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEED AND/OR STABILIZED.
 - ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHALL BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
 - REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COODINATION.
 - THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE TO THE OVERALL PROJECT BY THE OWNER SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.



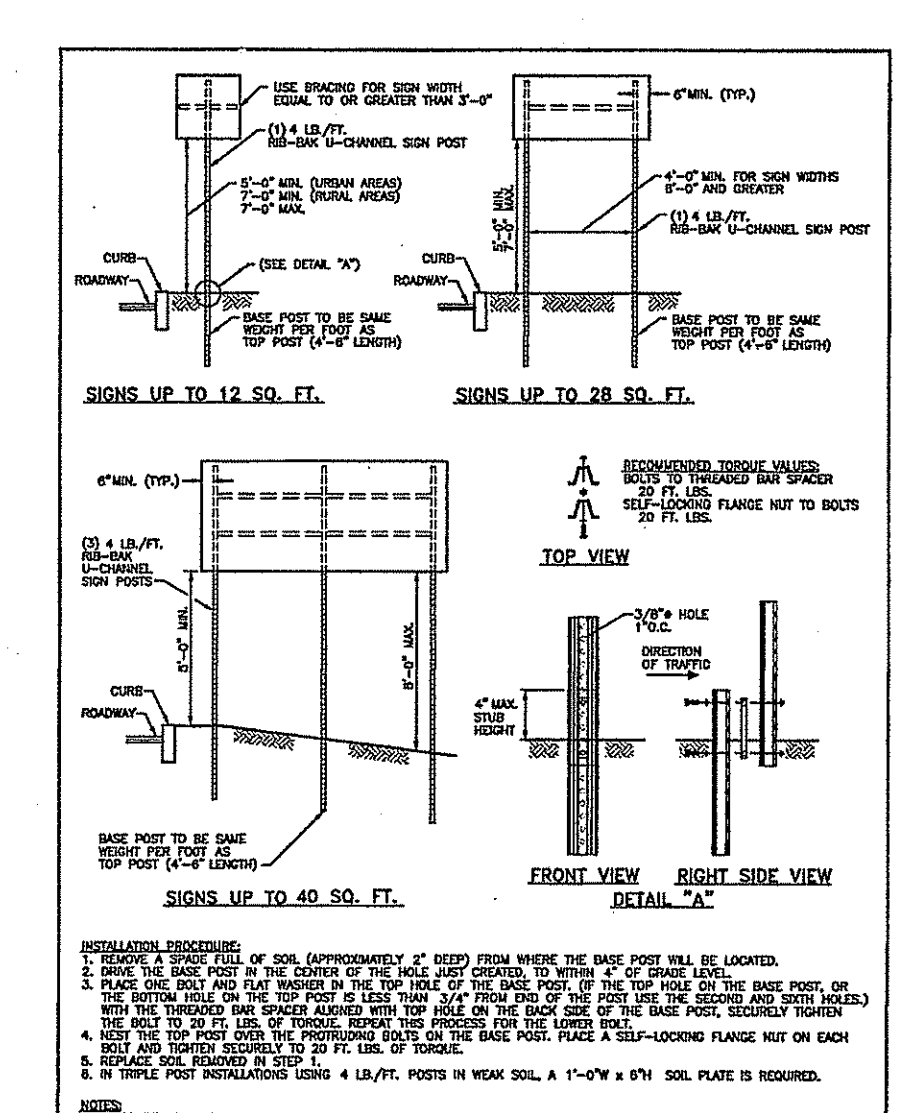
RHODE ISLAND DEPARTMENT OF TRANSPORTATION		R.I. STANDARD
SILT FENCE DETAIL		9.2.0
NO.	BY DATE	
1	J.P. [Signature] 6/15/1998	



RHODE ISLAND DEPARTMENT OF TRANSPORTATION		R.I. STANDARD
CONSTRUCTION ACCESS		9.9.0
NO.	BY DATE	
1	J.P. [Signature] 6/15/1998	



RHODE ISLAND DEPARTMENT OF TRANSPORTATION		R.I. STANDARD
DEWATERING BASIN		9.7.0
NO.	BY DATE	
1	J.P. [Signature] 6/15/1998	



RHODE ISLAND DEPARTMENT OF TRANSPORTATION		R.I. STANDARD
SIGN POST SELECTION AND INSTALLATION DETAILS		9.4.0
NO.	BY DATE	
1	J.P. [Signature] 6/15/1998	

NO.	BY DATE	DESCRIPTION
1	J.P. [Signature] 6/15/1998	REGULATORY SIGNS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 21 2015 FILE # 15-009
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
OWNER / APPLICANT: BAIRD PROPERTIES, LLC
RESERVOIR ROAD COVENTRY, RI 02816

PERMIT AGENCY REVIEW SUBMISSION DETAILS

Kambiz Korbassi
REGISTERED PROFESSIONAL ENGINEER
4337

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS			
No.	DATE	DRWN	CHKD
1	1/2/15	JP	TJB
2	4/1/15	JP	TJB

BAIRD PROPERTIES, LLC
SELF STORAGE BUILDINGS
for
ASSESSORS PLAT 20 BLOCK 3 LOT 24
171 NOOSENECK HILL ROAD
in
EXETER, RHODE ISLAND

SCALE: 1"=40'	SHEET NO: 10 OF 10
DRAWN BY: JP	DESIGN BY: TJB
CHECKED BY: KK	
DATE: 10/10/14	PROJECT NO.: 14045.00

ORDER OF PROCEDURE:

- IMMEDIATELY UPON COMPLETION OF THE CLEARING OPERATION AND PRIOR TO ANY ROUGH GRADING, TEMPORARY HAYBALES AND SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG ROADWAYS, STREAM BANKS, CRITICAL AREAS, ETC.).
- ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
- IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
- TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AN APPROVED.
- HAYBALES LOCATED AT DRAINAGE OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

SEDIMENTATION CONTROL PROGRAM:

- RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING INTO A WATERWAY.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL ENTERING THE WETLANDS.
- ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL BE SEED AND PROTECTED WITH A FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHOULD BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL HAYBALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT.
- ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE AND DETENTION FACILITIES AS SCHEDULED FOR EACH FACILITY (SEE DETENTION BASIN MAINTENANCE AND CATCH BASIN MAINTENANCE, THIS SHEET).
- REFERENCE THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, LATEST EDITION, AS A GUIDE.