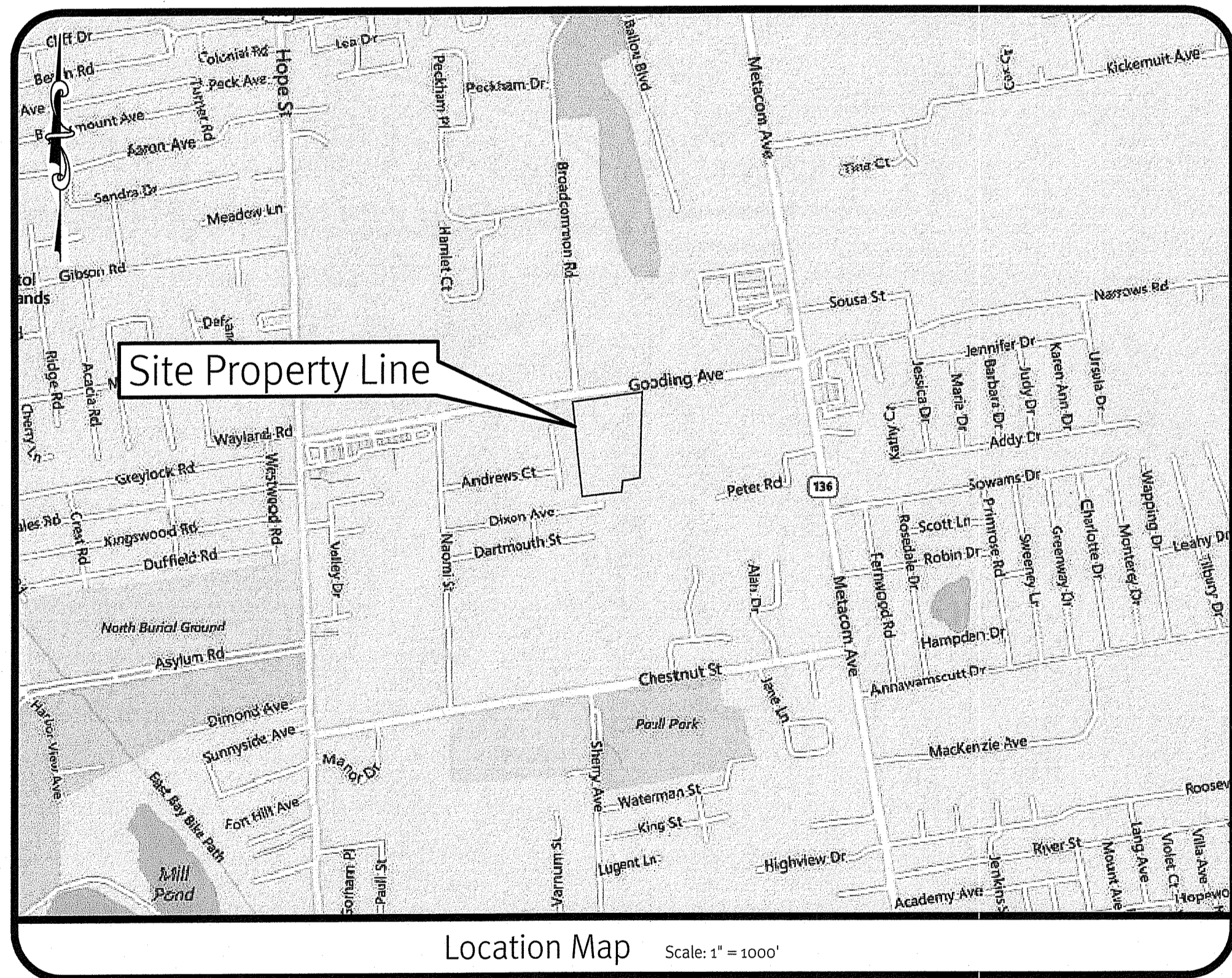


RIDEM Freshwater Wetlands Modification

Mainstay/Sleep Inn Hotel

Located on Gooding Avenue
Bristol, Rhode Island

Assessor's Plat 111 Lot 1



Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius
3. General Notes and Legend
4. Erosion & Sediment Control Plan
5. Site Layout Plan
6. Grading Plan
7. Drainage and Utilities Plan
8. Underground Systems A & B Details
9. Sand Filter B Details
10. Detail Sheet

Plans by Others

1. Property Line Survey (Sheet 1 of 1) by Barker Land Surveying

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN ORDER OF APPROVAL
DATED JUN 10 2021 15-0033
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kevin Demers

APR - 8 2021

SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

RIDOT
The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

KEVIN DEMERS
Kevin Demers
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

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No.	Date	Description	Drawn By: D.K.N.	Design By: K.I.D.
1	04/02/2021	RIDEM Response to Comments		
2	12/23/2020	RIDEM Freshwater Wetlands Modification		

Cover Sheet
Mainstay/Sleep Inn Hotel
AP 111 Lot 1
Bristol, Rhode Island
Owner: **Kendran, LLC**
D&M BOCA DEVELOPMENT, LLC
32 Finance Center Road, Suite 650,
North Attleboro, MA 01942
Copyright 2021 by DiPrete Engineering Associates, Inc.

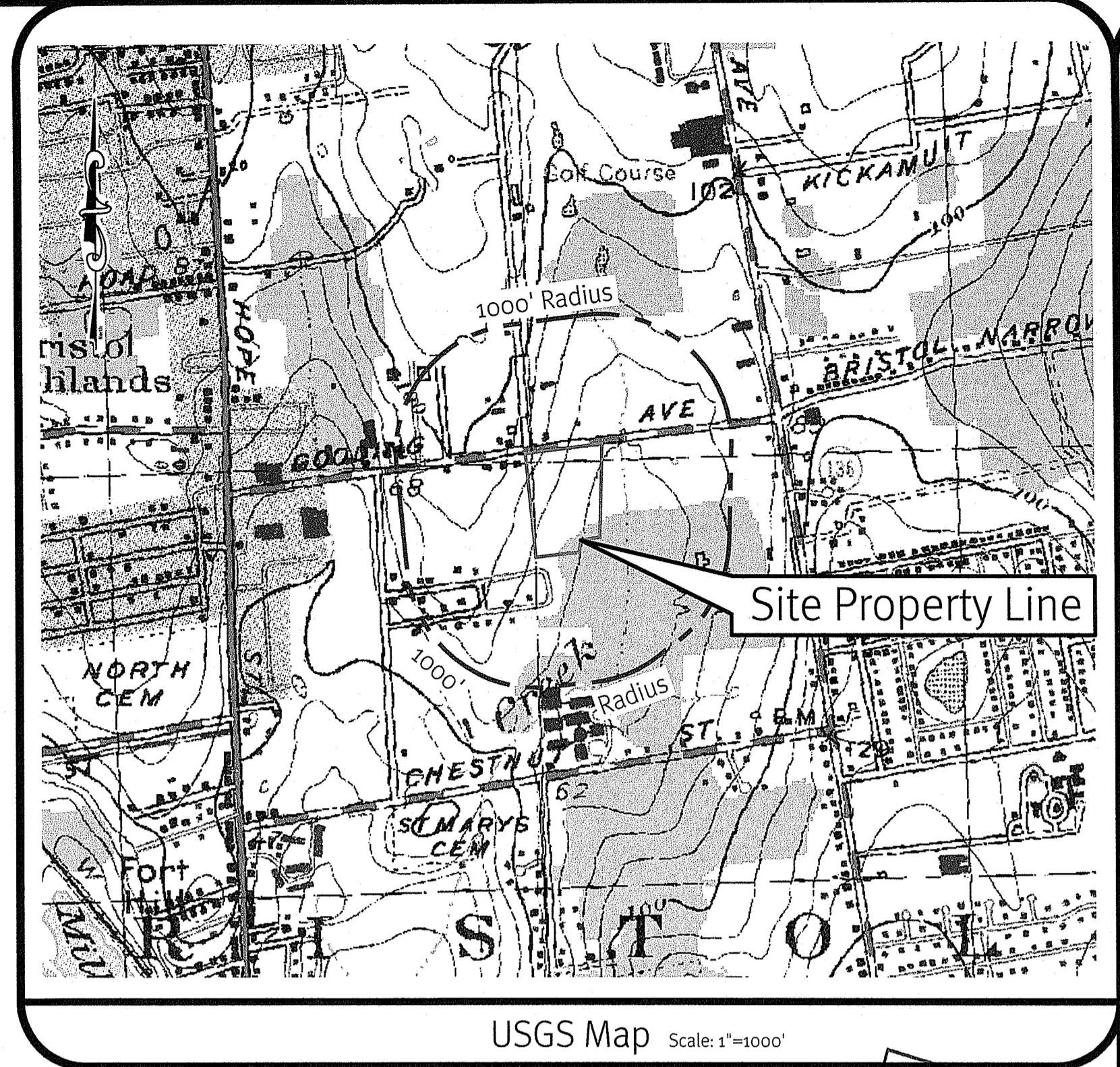
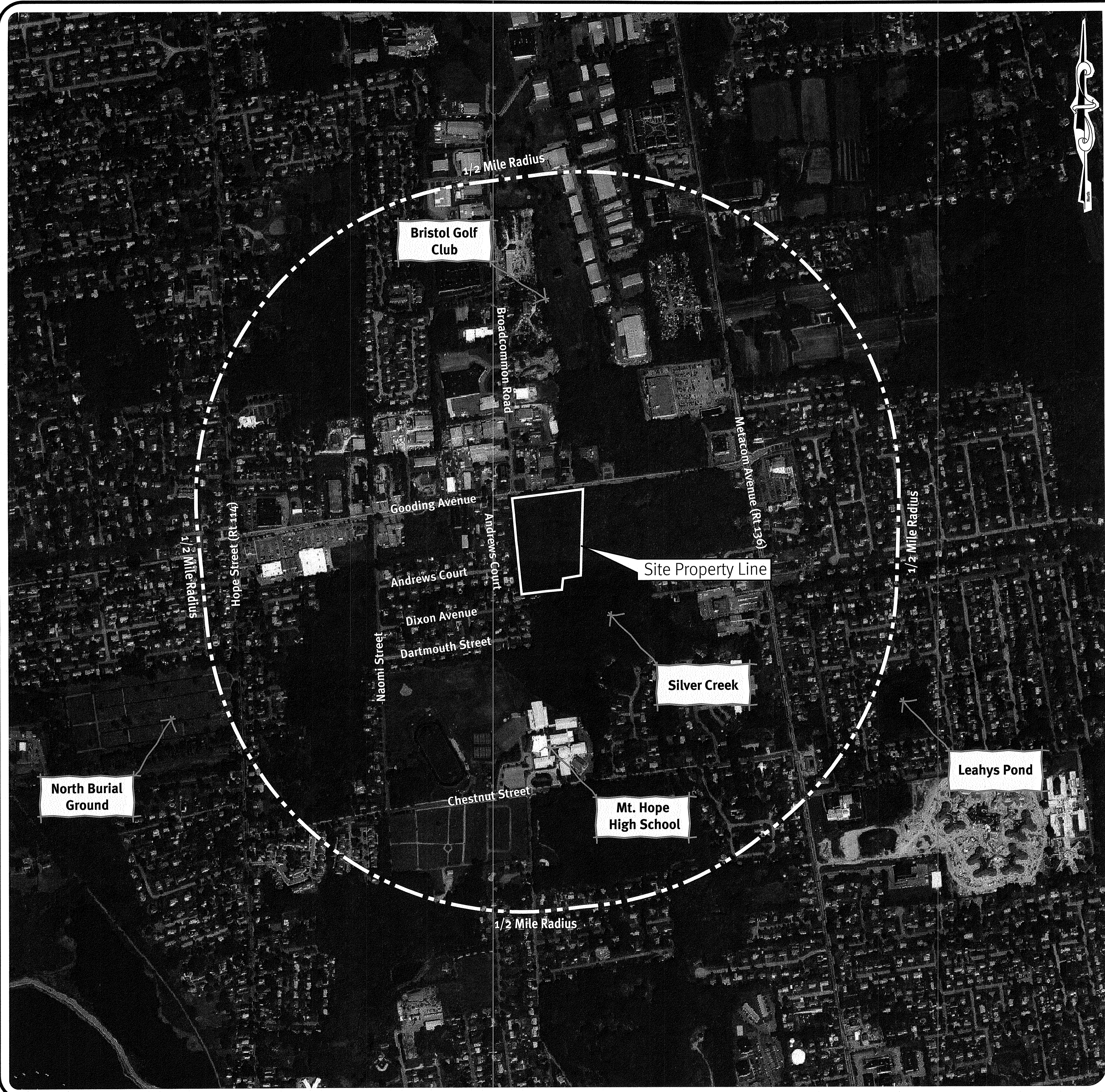
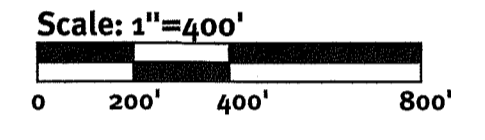


Photo Obtained from the ARCGIS 2008 Orthophotography.



Legend:

- PROPERTY LINE _____
- PROPERTY LINE (USGS MAP) _____
- HALF MILE RADIUS LINE _____

Environmental Management
APR 08 2021
Office of Water Resources

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Martin D. Senack

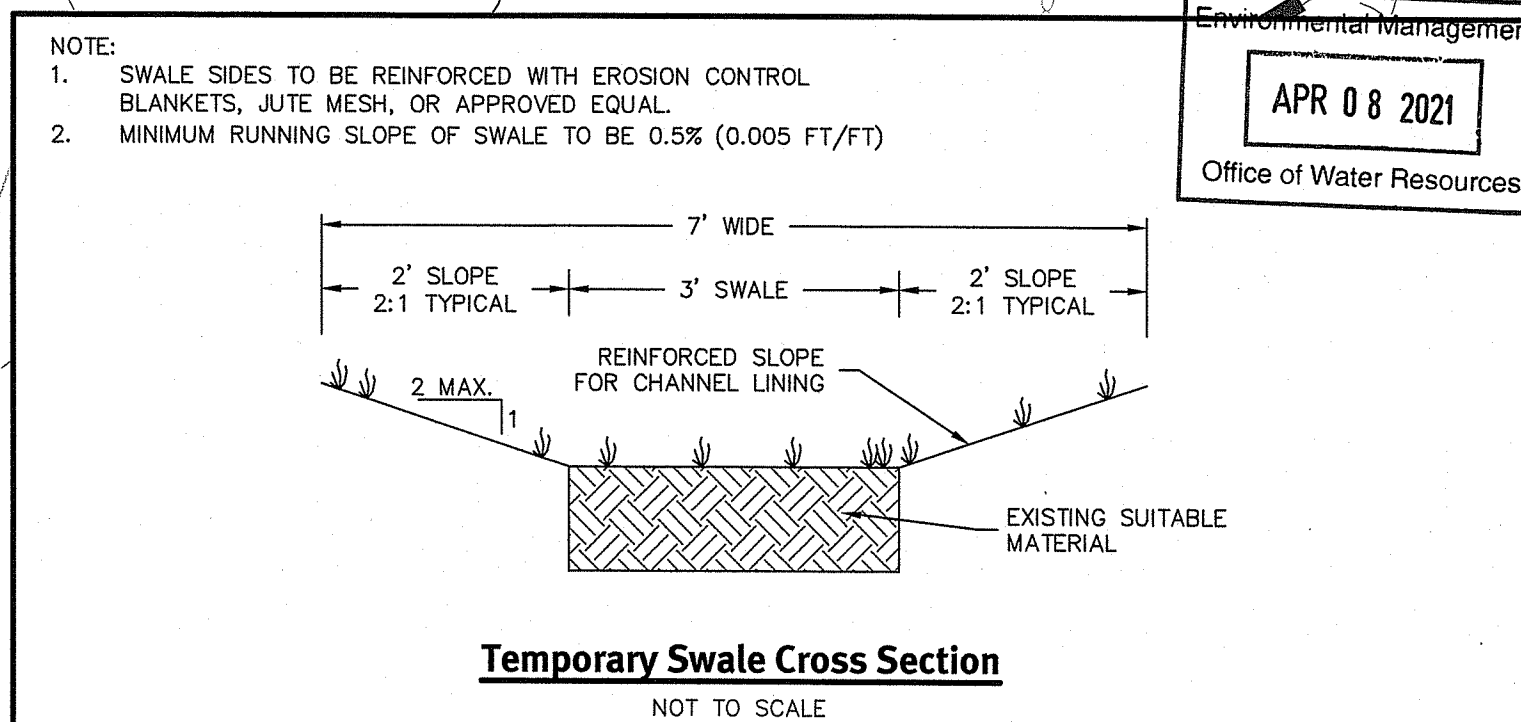
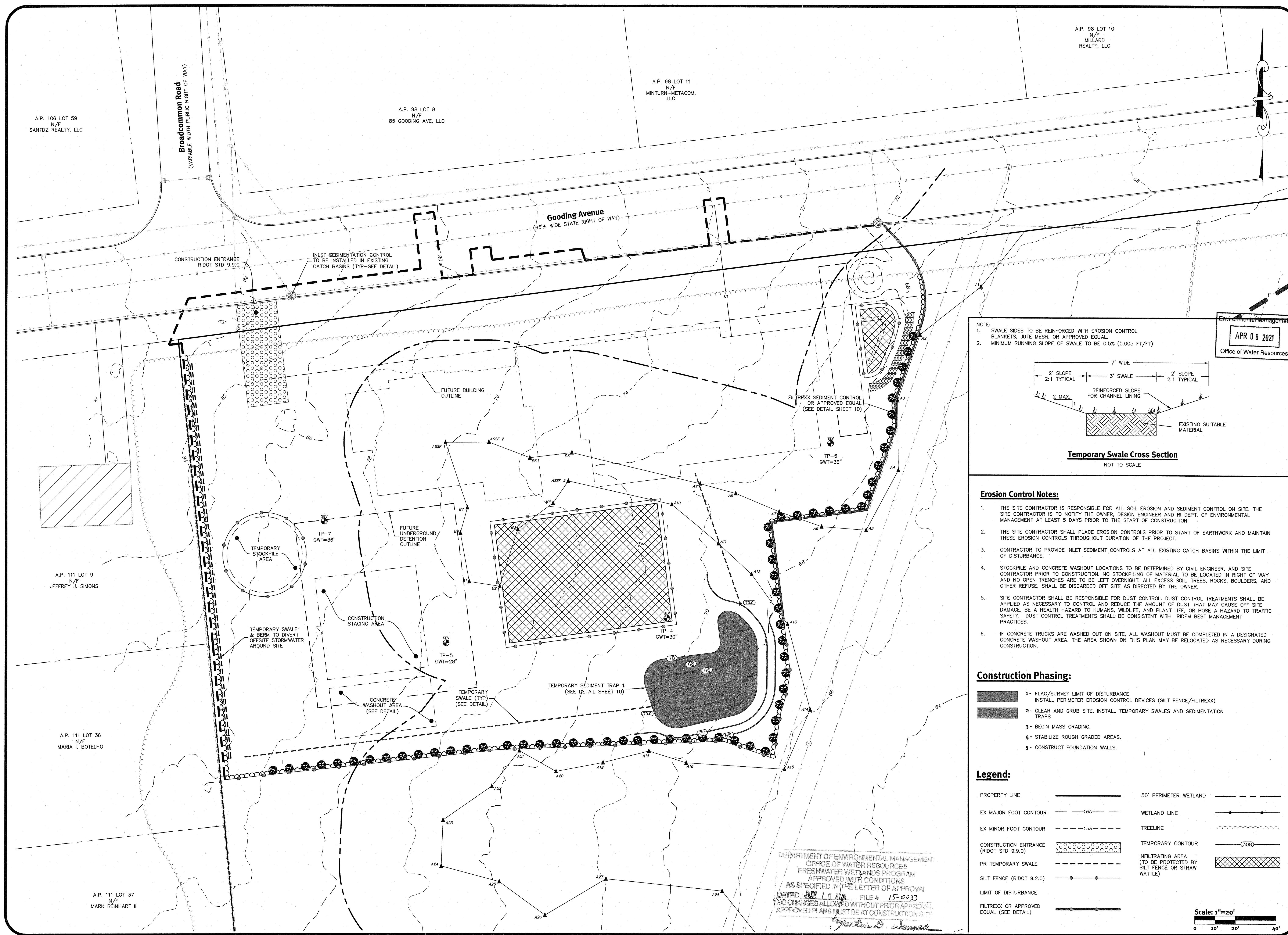
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90 Broadway Newport, RI 02840
Tel: 401-619-5950 Fax: 401-664-6006 www.diprete-eng.com

KEVIN DEMERS
Kevin Demers
REGISTERED PROFESSIONAL ENGINEER CIVIL

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No.	Date	Description	Drawn By	Design By
1	04-07-2021	Initial Response to Comments	N.M.P.	K.J.D.
2	04-07-2021	Final Response to Comments	By: _____	By: _____

**Aerial Half Mile Radius
Mainstay/Sleep Inn Hotel**
Owner: **Kendall, LLC**
AP 111 Lot 1
Bristol, Rhode Island
Applicant: **D&M BOCA DEVELOPMENT, LLC**
29 Inverness Common, Suite 200,
North Attleboro, MA 01920
DE Job No: 2536-001. Copyright 2021 by Diprete Engineering Associates, Inc.



- Erosion Control Notes:**
- THE SITE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE. THE SITE CONTRACTOR IS TO NOTIFY THE OWNER, DESIGN ENGINEER AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
 - THE SITE CONTRACTOR SHALL PLACE EROSION CONTROLS PRIOR TO START OF EARTHWORK AND MAINTAIN THESE EROSION CONTROLS THROUGHOUT DURATION OF THE PROJECT.
 - CONTRACTOR TO PROVIDE INLET SEDIMENT CONTROLS AT ALL EXISTING CATCH BASINS WITHIN THE LIMIT OF DISTURBANCE.
 - STOCKPILE AND CONCRETE WASHOUT LOCATIONS TO BE DETERMINED BY CIVIL ENGINEER, AND SITE CONTRACTOR PRIOR TO CONSTRUCTION. NO STOCKPILING OF MATERIAL TO BE LOCATED IN RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE AS DIRECTED BY THE OWNER.
 - SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST THAT MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE, AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY. DUST CONTROL TREATMENTS SHALL BE CONSISTENT WITH RIEM BEST MANAGEMENT PRACTICES.
 - IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN A DESIGNATED CONCRETE WASHOUT AREA. THE AREA SHOWN ON THIS PLAN MAY BE RELOCATED AS NECESSARY DURING CONSTRUCTION.

- Construction Phasing:**
- FLAG/SURVEY LIMIT OF DISTURBANCE
INSTALL PERIMETER EROSION CONTROL DEVICES (SILT FENCE/FILTREXX)
 - CLEAR AND GRUB SITE, INSTALL TEMPORARY SWALES AND SEDIMENTATION TRAPS
 - BEGIN MASS GRADING.
 - STABILIZE ROUGH GRADED AREAS.
 - CONSTRUCT FOUNDATION WALLS.

Legend:

PROPERTY LINE	— — — — —	50' PERIMETER WETLAND	— — — — —
EX MAJOR FOOT CONTOUR	— 160 — — —	WETLAND LINE	— ▲ — — —
EX MINOR FOOT CONTOUR	— 158 — — —	TREELINE	— ● — — —
CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)	⊘ ⊘ ⊘ ⊘ ⊘	TEMPORARY CONTOUR	— 50B — — —
PR TEMPORARY SWALE	— — — — —	INFILTRATING AREA (TO BE PROTECTED BY SILT FENCE OR STRAW WATTLE)	⊘ ⊘ ⊘ ⊘ ⊘
SILT FENCE (RIDOT 9.2.0)	— ● — — —		
LIMIT OF DISTURBANCE	— — — — —		
FILTREXX OR APPROVED EQUAL (SEE DETAIL)	— ● — — —		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Kevin Demers

APR 08 2021
Office of Water Resources

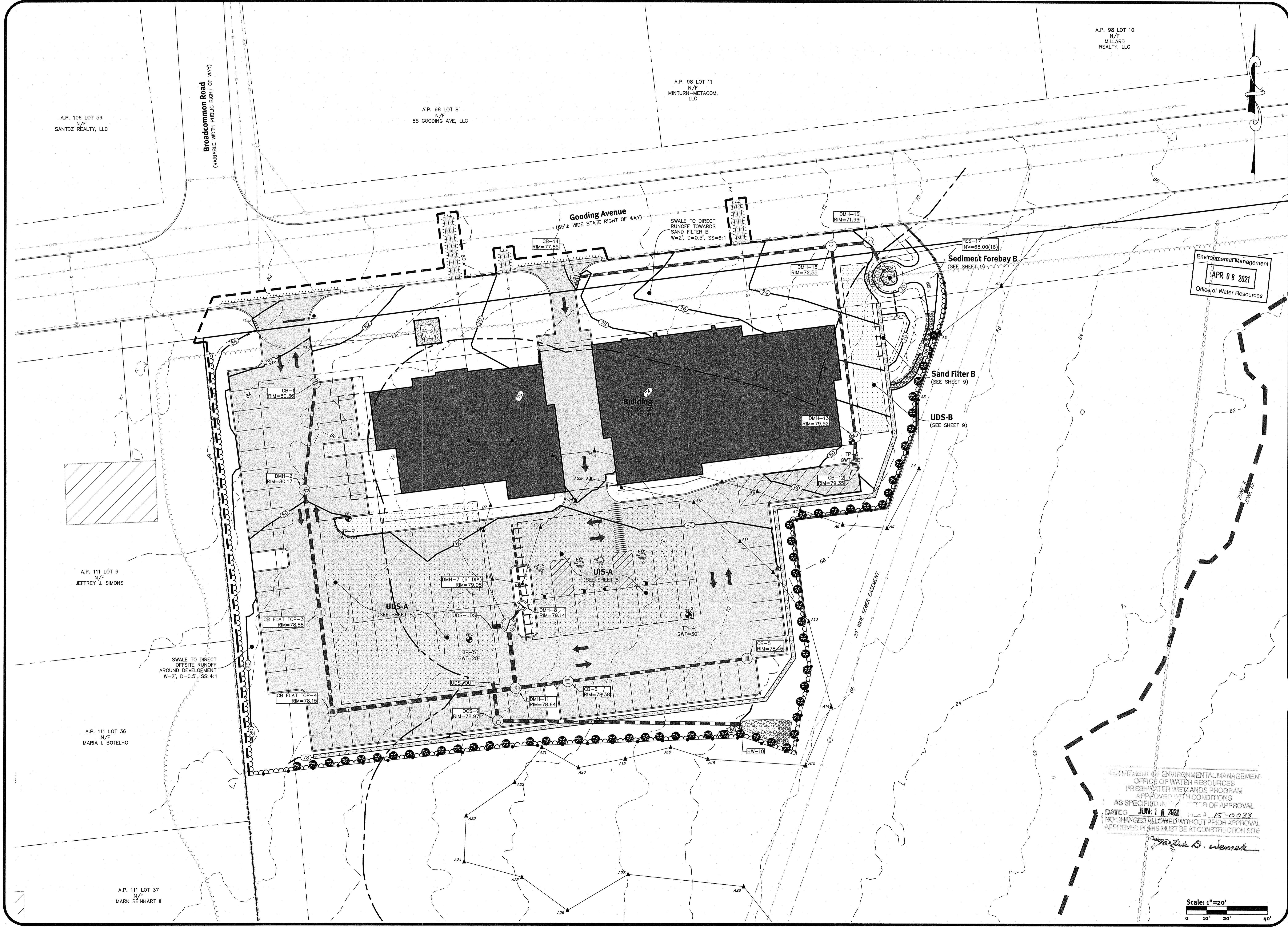
DiPrete Engineering
90 Broadway Newport, RI 02840
tel 401-619-5990 fax 401-464-6000 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER CIVIL

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No.	Date	Description	By	Design By: K.L.D.
1	04/08/2021	Initial Response to Comments	By: [Signature]	
2	04/08/2021	Final Response to Comments	By: [Signature]	
3	04/08/2021	Final Response to Comments	By: [Signature]	

Erosion & Sediment Control Plan
Mainstay/Sleep Inn Hotel
AP 111 Lot 1
Bristol, Rhode Island
Applicant: **D&M BOCA DEVELOPMENT, LLC Kendan, LLC**
600 Aquidneck Avenue, Middletown, RI 02842
DE Job No: 2336-001 Copyright 2021 by DiPrete Engineering Associates, Inc.



A.P. 98 LOT 10
N/F
MILLARD
REALTY, LLC

A.P. 98 LOT 11
N/F
MINTURN-METACOM,
LLC

A.P. 98 LOT 8
N/F
85 GOODING AVE, LLC

A.P. 106 LOT 59
N/F
SANTDZ REALTY, LLC

Broadcommon Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

Gooding Avenue
(65'± WIDE STATE RIGHT OF WAY)

SWALE TO DIRECT
RUNOFF TOWARDS
SAND FILTER B
W=2', D=0.5', SS=6:1

Sediment Forebay B
(SEE SHEET 9)

Sand Filter B
(SEE SHEET 9)

UDS-B
(SEE SHEET 9)

Building
10,700± SF
FFR=81.5%

UIS-A
(SEE SHEET 9)

UDS-A
(SEE SHEET 8)

SWALE TO DIRECT
OFFSITE RUNOFF
AROUND DEVELOPMENT
W=2', D=0.5', SS: 4:1

A.P. 111 LOT 9
N/F
JEFFREY J. SIMONS

A.P. 111 LOT 36
N/F
MARIA I. BOTELHO

A.P. 111 LOT 37
N/F
MARK REINHART II

Environmental Management
APR 08 2021
Office of Water Resources

KEVIN DEMERS
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

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No.	Date	Description	Design By: K.J.D.
1	04-08-2021	ISSUED FOR CONSTRUCTION	By: [Signature]

OFFICE OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED JUN 10 2020 FILE # 15-0033
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[Signature]

Scale: 1"=20'
0 10' 20' 40'

Grading Plan
Mainstay/Sleep Inn Hotel
AP 111 Lot 1
Bristol, Rhode Island
Applicant: D&M BOCA DEVELOPMENT, LLC
416 Downside and Side
North Dartmouth, MA 02747
Owner: Kendan, LLC
613 Anshback Avenue, Middletown, RI 02842
Design By: D.B.N.

A.P. 98 LOT 10
N/F
MILLARD
REALTY, LLC

A.P. 98 LOT 11
N/F
MINTURN-METACOM,
LLC

A.P. 98 LOT 8
N/F
85 GOODING AVE, LLC

A.P. 106 LOT 59
N/F
SANTDZ REALTY, LLC

Broadcommon Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

Gooding Avenue
(65'± WIDE STATE RIGHT OF WAY)

SIZE AND MATERIAL FOR WATER
LINE PER BUILDING MEP ENGINEER
AND BRISTOL REQUIREMENTS

SIZE AND MATERIAL FOR SEWER
LINE PER BUILDING MEP ENGINEER
AND BRISTOL REQUIREMENTS

LOCATION, SIZE & MATERIAL FOR
GAS LINE PER NATIONAL GRID
AND BRISTOL REQUIREMENTS

TRANSFORMER PAD WITH
BOLLARDS PER NATIONAL
GRID STANDARDS

BUILDING ROOFLIENAR ALL ROOFLIENAR
TO BE DIRECTED TO ROOFLIENAR VIA
DOWNSPUTES EXCEPT FOR DOWNSPUTES
AND ROOFLIENAR TO BE
COORDINATED WITH ARCHITECT

TP-4
GWT=30'

Sediment Forebay B
(SEE SHEET 9)

Sand Filter B
(SEE SHEET 9)

UDS-B
(SEE SHEET 9)

UIS-A
(SEE SHEET 8)

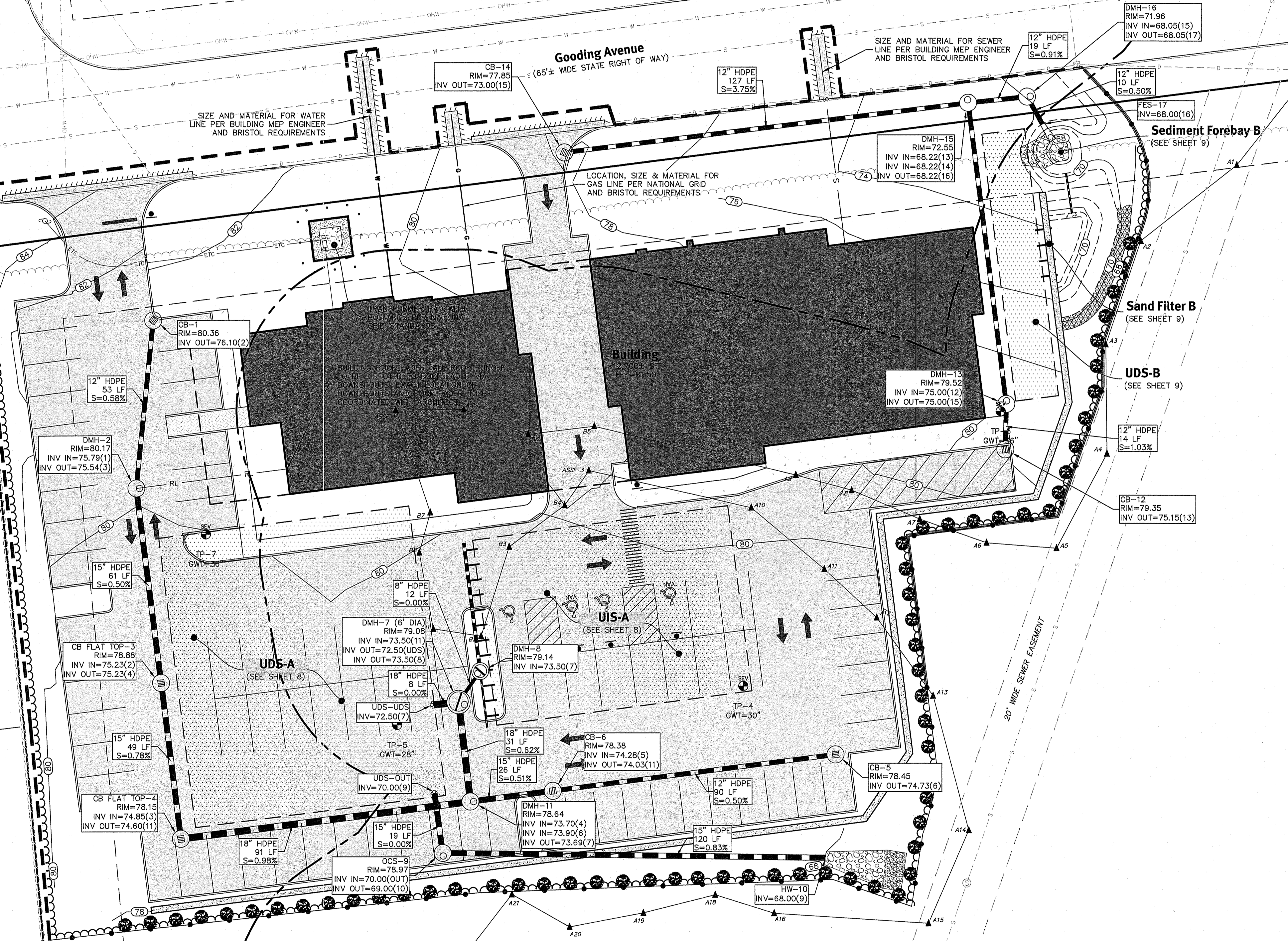
UDS-A
(SEE SHEET 8)

20' WIDE SEWER EASEMENT

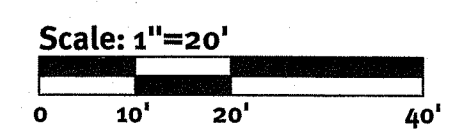
A.P. 111 LOT 9
N/F
JEFFREY J. SIMONS

A.P. 111 LOT 36
N/F
MARIA L. BOTELHO

A.P. 111 LOT 37
N/F
MARK REINHART II



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Martin D. Wemak



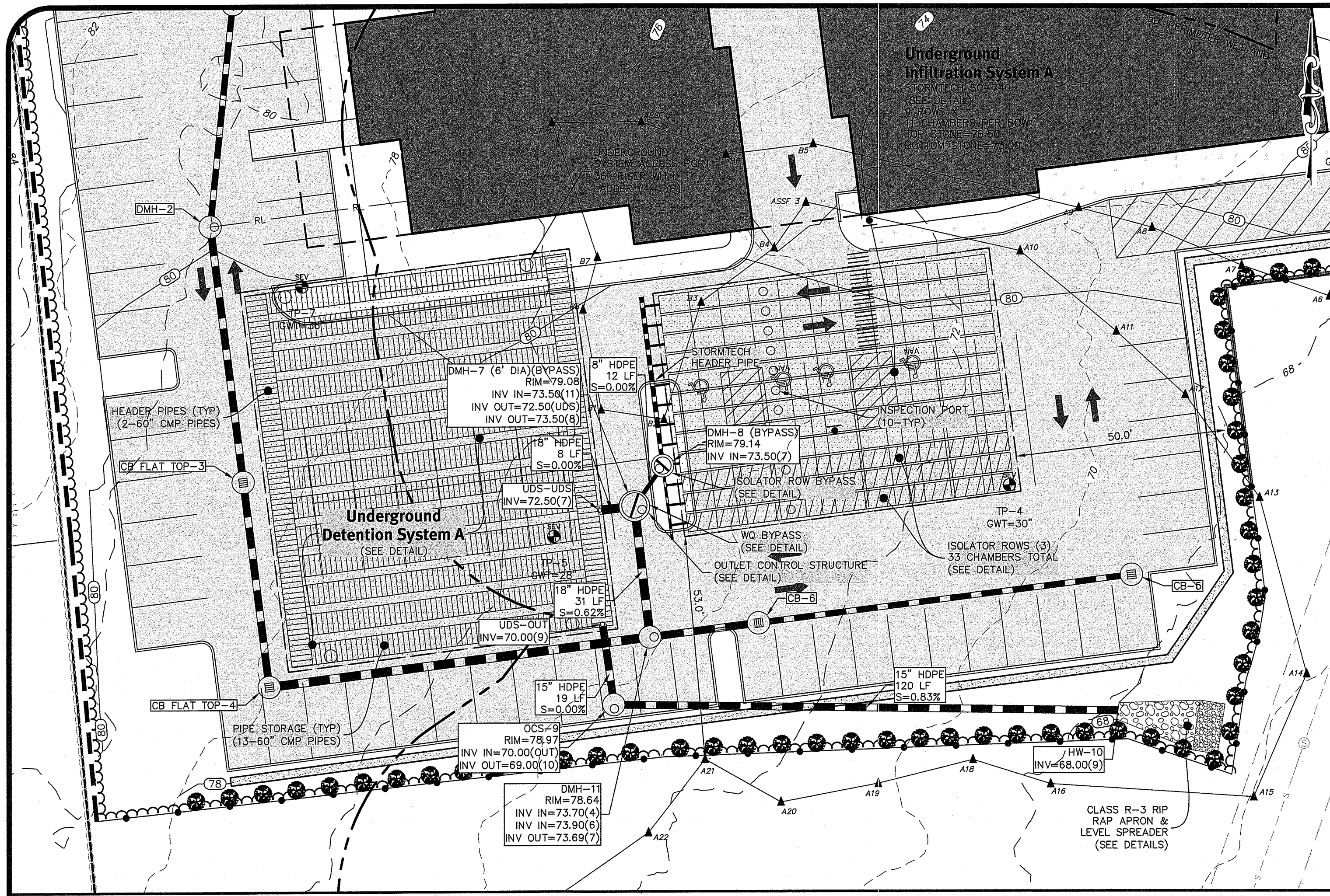
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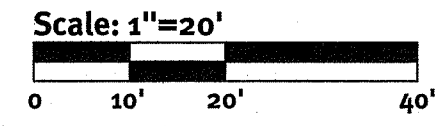
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No.	Date	Revised To/Comments	Description	By	Design By: K.L.D.
1	04/22/2021	ISSUED FOR CONSTRUCTION	ISSUED FOR CONSTRUCTION		

Drainage And Utilities Plan
Mainstay/Sleep Inn Hotel
AP-111 Lot 1
Bristol, Rhode Island
Owner: **Kendan, LLC**
Applicant: **D&M BOCA DEVELOPMENT, LLC**
615 Downside and Stone
North Dartmouth, MA 02747
DE File No: 2536-001 Copyright 2021 by DiPrete Engineering Associates, Inc.



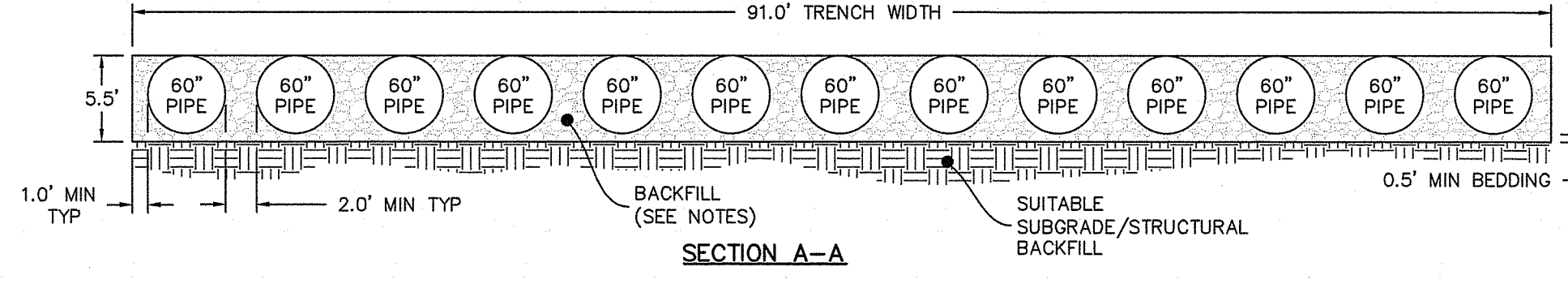
Underground Infiltration/Detention System A (UIS-A & UDS-A)



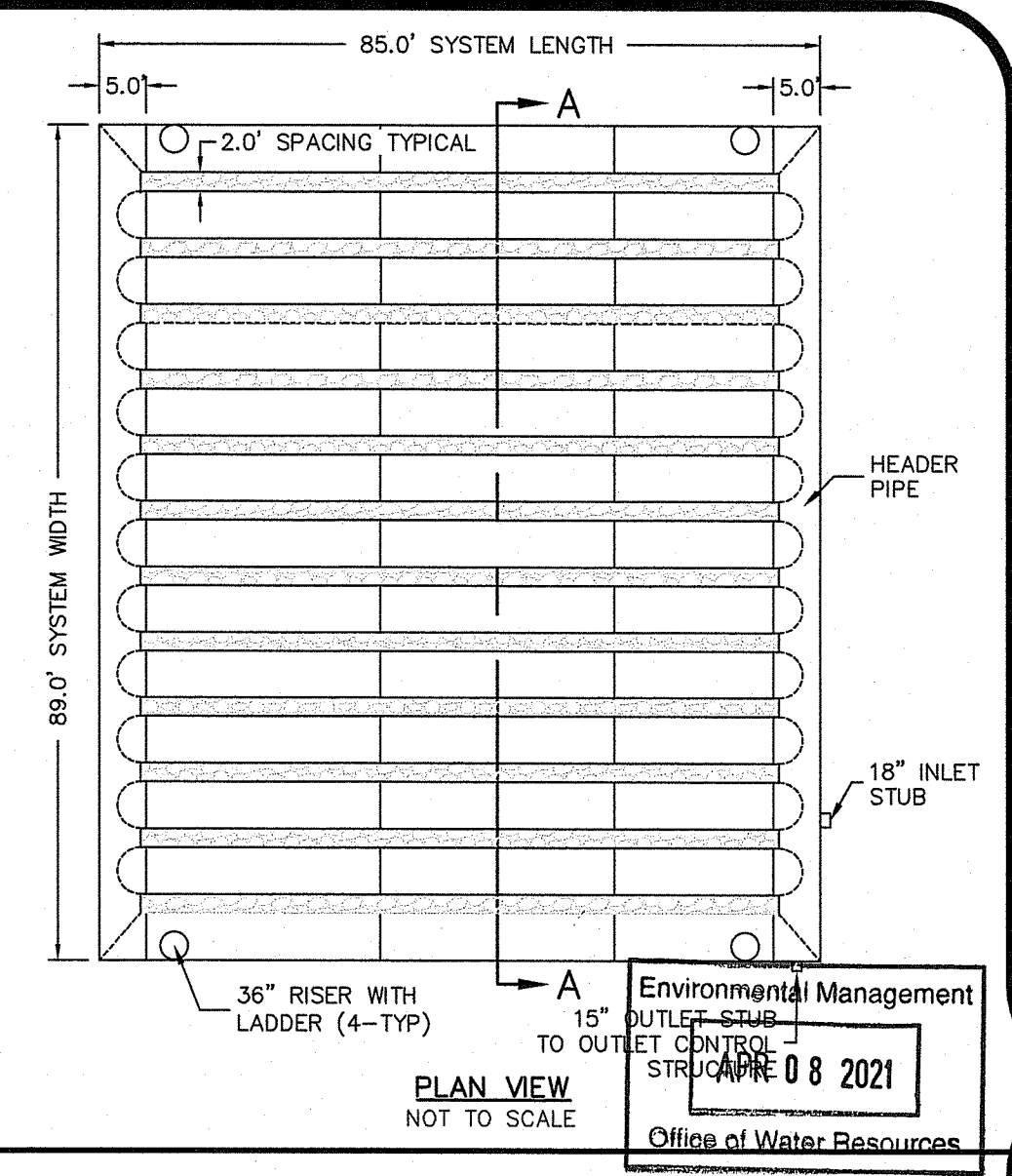
NOTES:

- STRUCTURAL BACKFILL MATERIAL: SELECT MATERIALS SUCH AS BANK RUN GRAVEL OR OTHER PROCESSED GRANULAR MATERIALS LESS THAN 3 IN. MAXIMUM WITH EXCELLENT STRUCTURAL CHARACTERISTICS ARE PREFERRED. CONTRACTOR TO PROVIDE SIEVE ANALYSIS OF BACKFILL MATERIAL TO DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- STRUCTURAL BACKFILL PLACEMENT: STRUCTURAL BACKFILL SHALL BE PLACED IN LAYERS FROM 6 TO 12 IN. IN DEPTH DEPENDING ON THE TYPE OF MATERIAL AND COMPACTION EQUIPMENT OR METHOD. EACH LAYER OR "LIFT" SHALL BE COMPACTED TO 95% PROCTOR DENSITY BEFORE ADDING THE NEXT.
- PIPE SHALL BE HDPE OR ALUMINIZED TYPE 2. ALL PIPE MUST BE WATER TIGHT. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- HEADER PIPE CAN BE CUSTOM MANUFACTURED OR CONSTRUCTED USING PIPE FITTINGS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

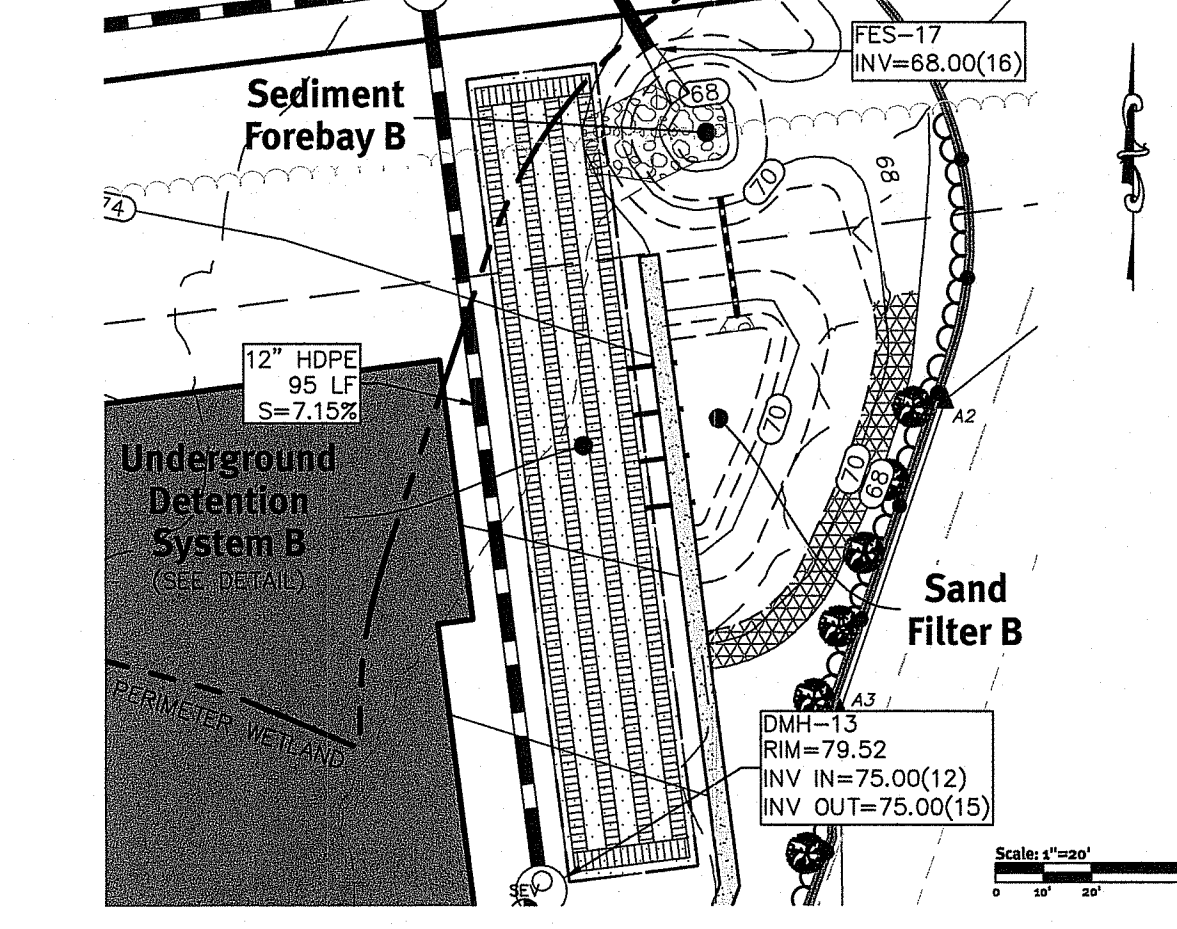
DESCRIPTION	UDS-A	UDS-B
TOP OF UDS STONE ELEVATION	75.00	70.50
BOTTOM OF UDS STONE ELEVATION	68.50	68.50
100 YEAR STORM ELEVATION	73.42	70.26
10 YEAR STORM ELEVATION	71.13	70.14
1 YEAR STORM ELEVATION	70.35	70.02
SEASONAL HIGH GWT ELEVATION	73.50	66.00
SOIL EVALUATION	TP-5	TP-6



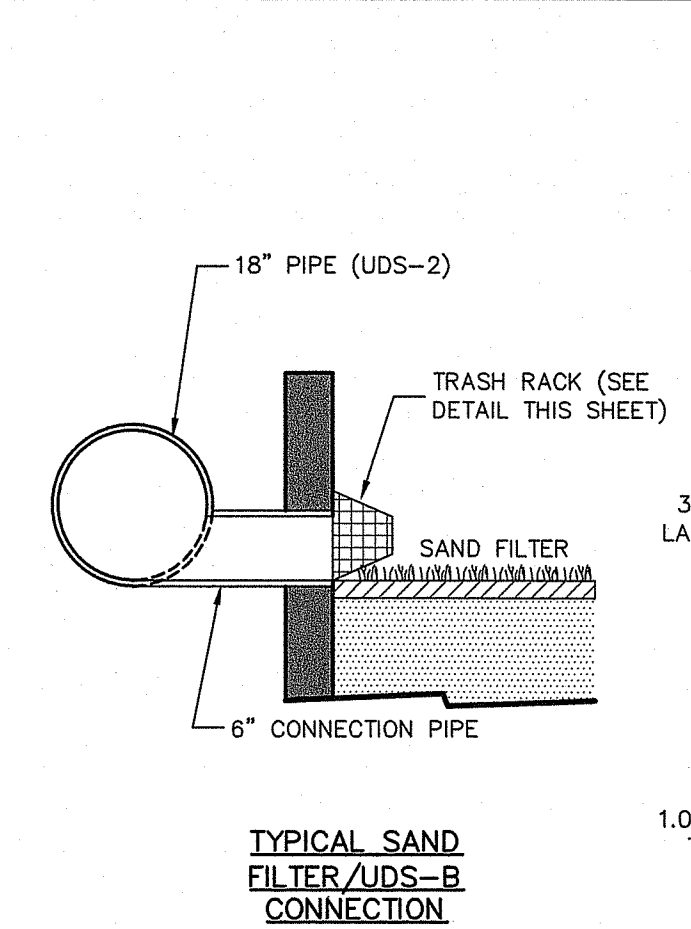
Underground Detention System A



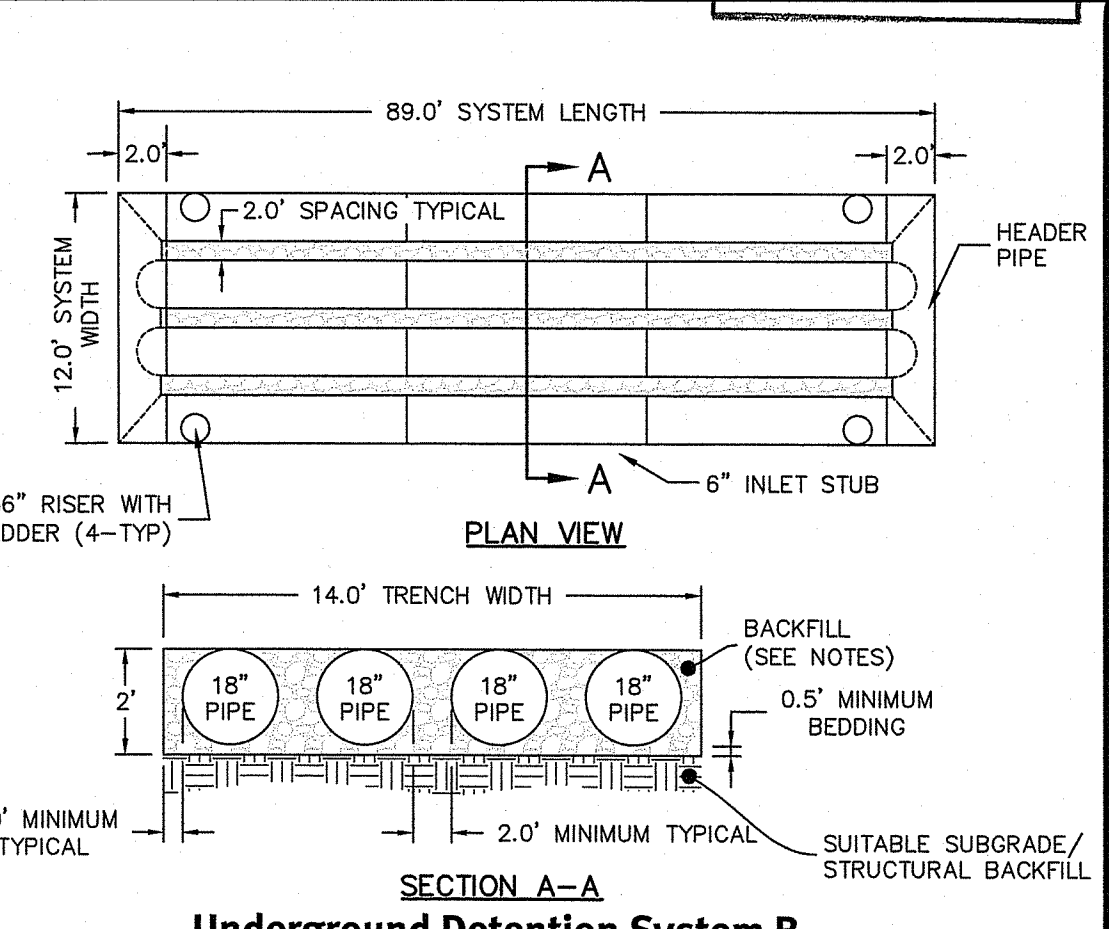
PLAN VIEW NOT TO SCALE



Underground Detention System B (UDS-B)

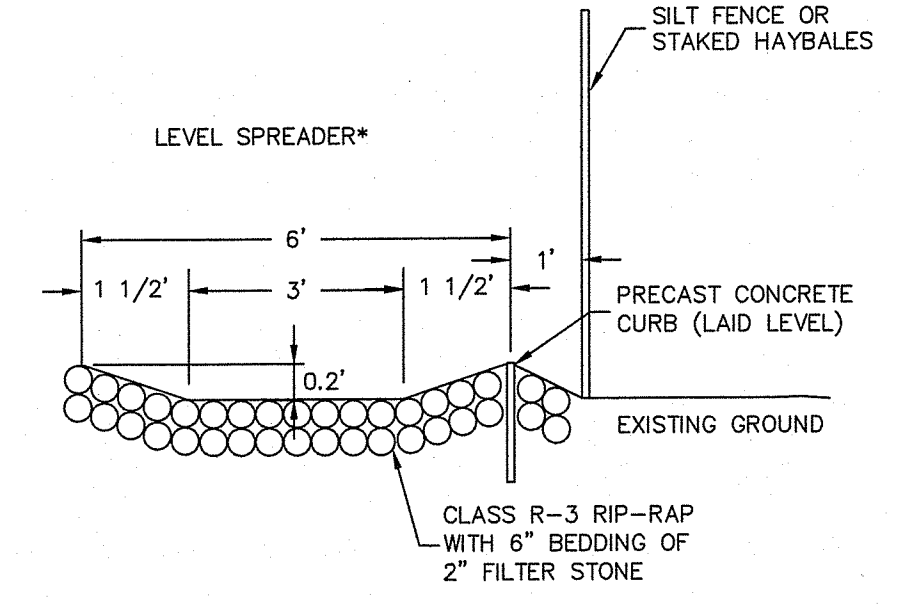


TYPICAL SAND FILTER UDS-B CONNECTION NOT TO SCALE

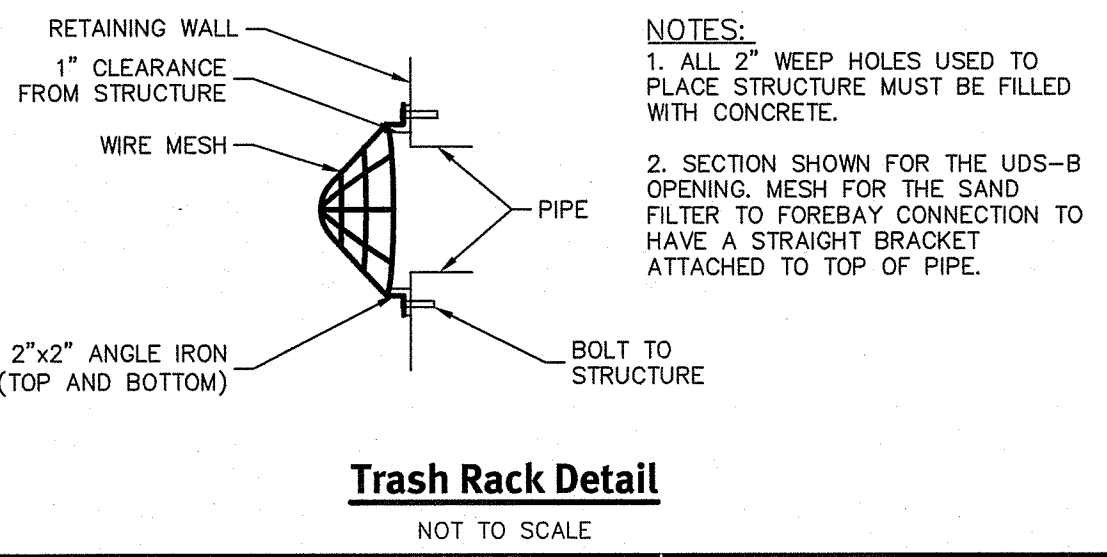


Underground Detention System B

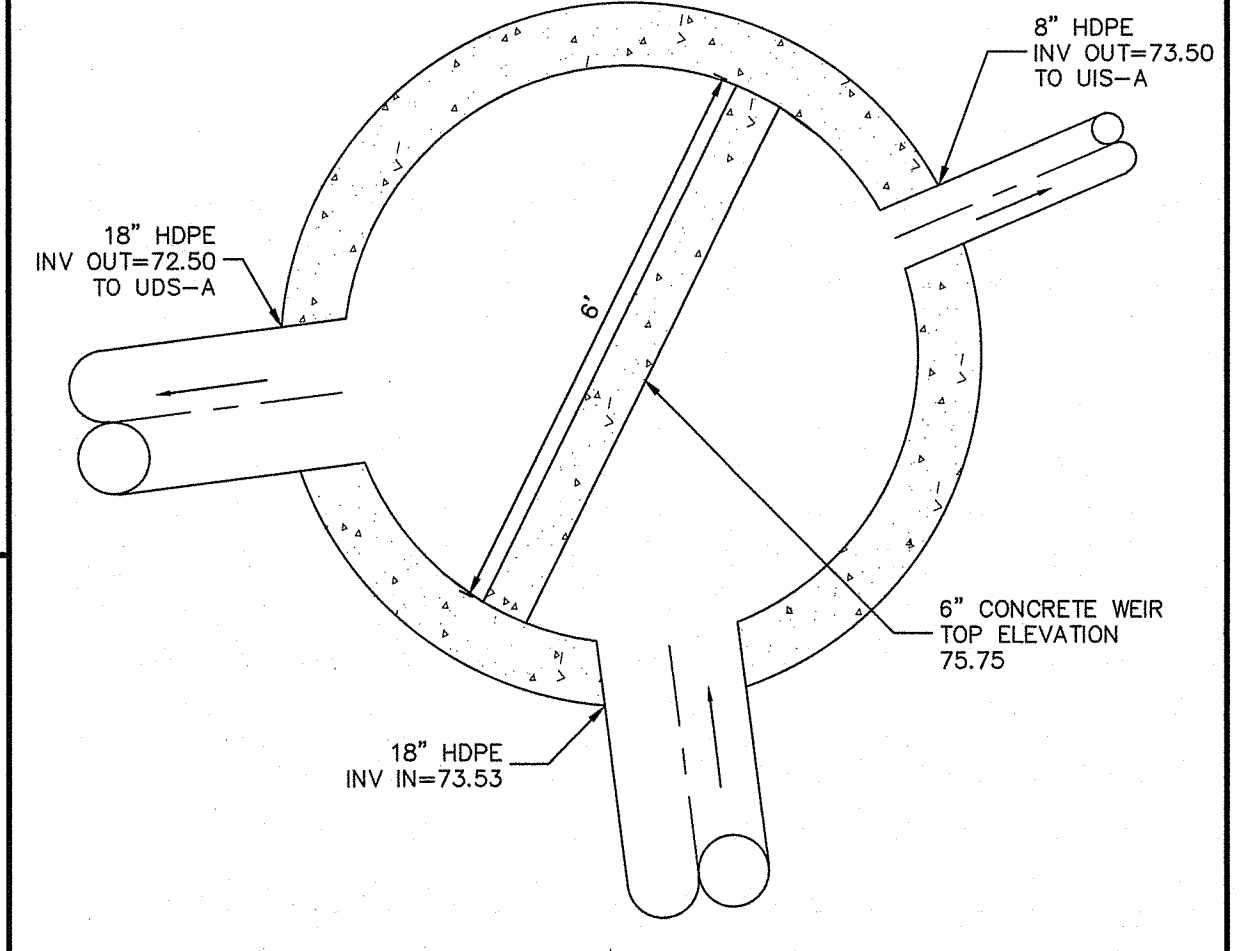
NOT TO SCALE



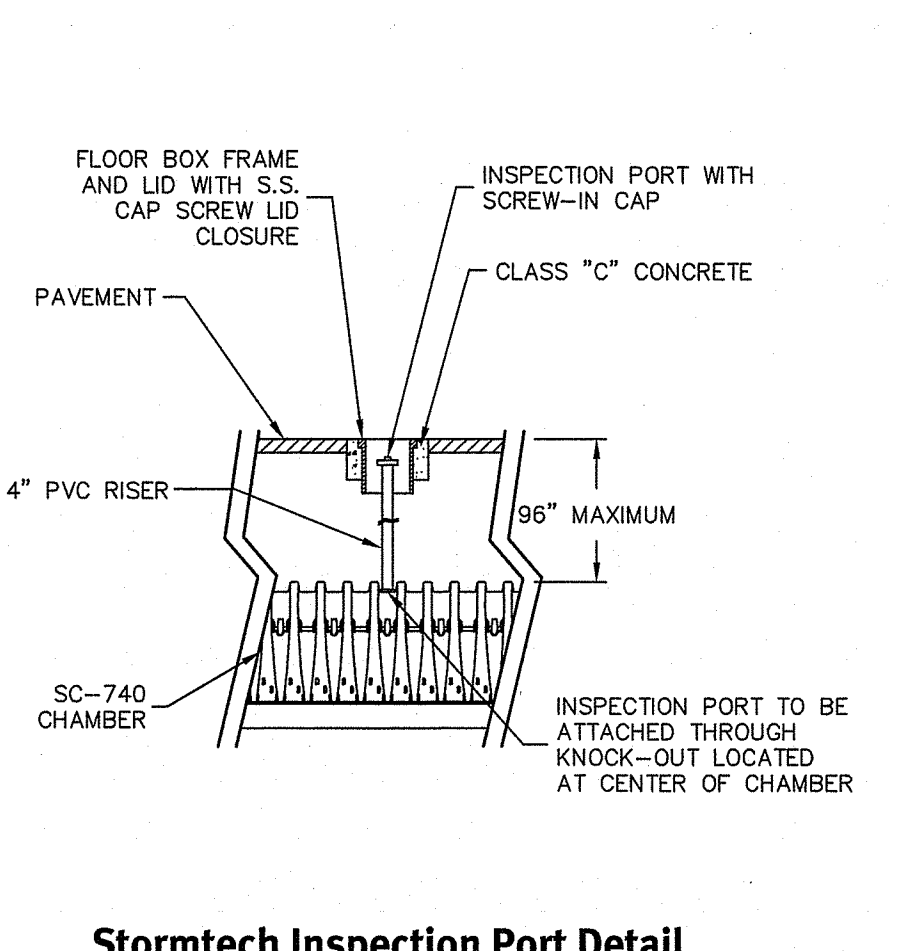
Level Spreader NOT TO SCALE



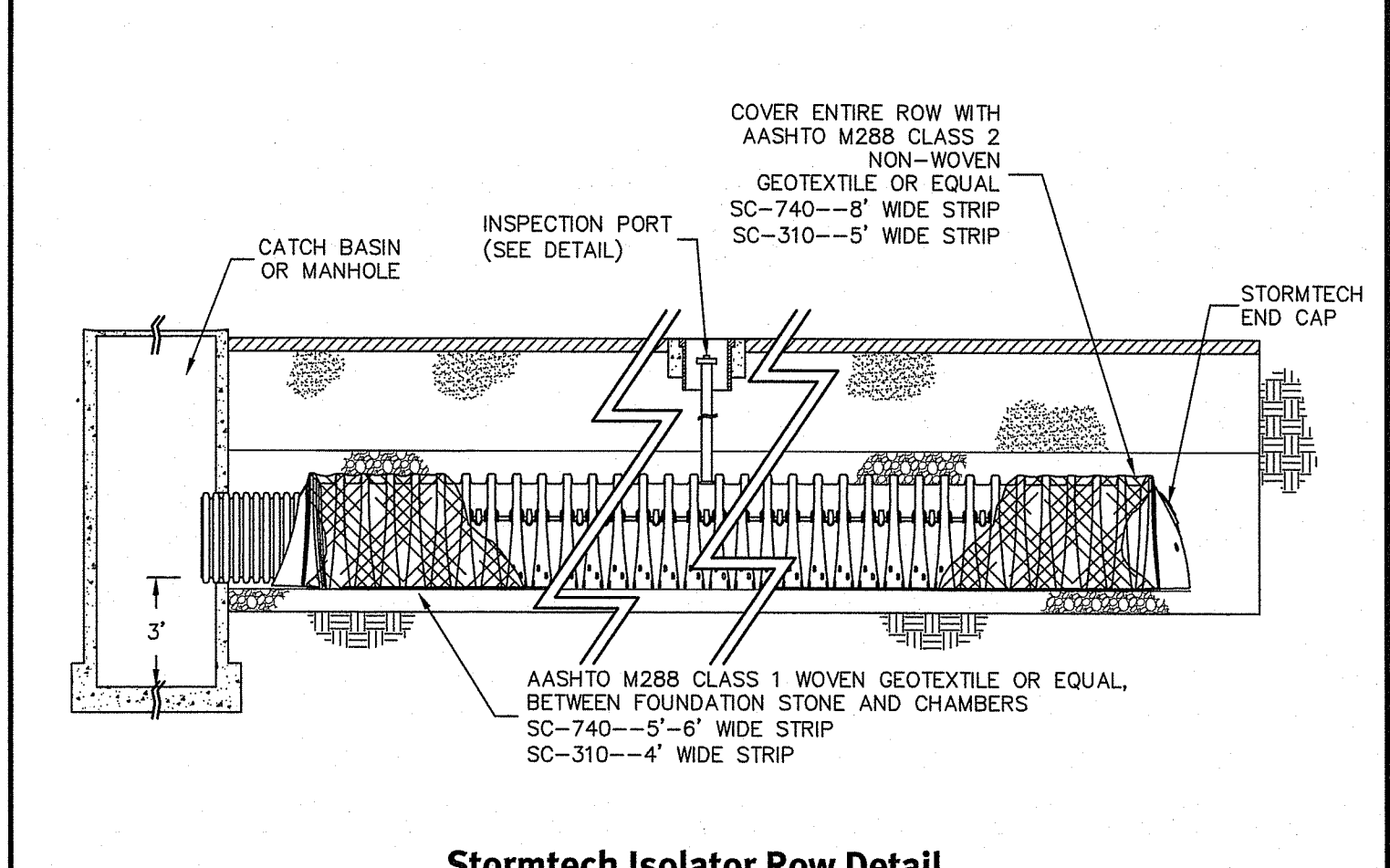
Trash Rack Detail NOT TO SCALE



WQ Bypass DMH-7 (6' Dia) Manhole SCALE 1\"/>

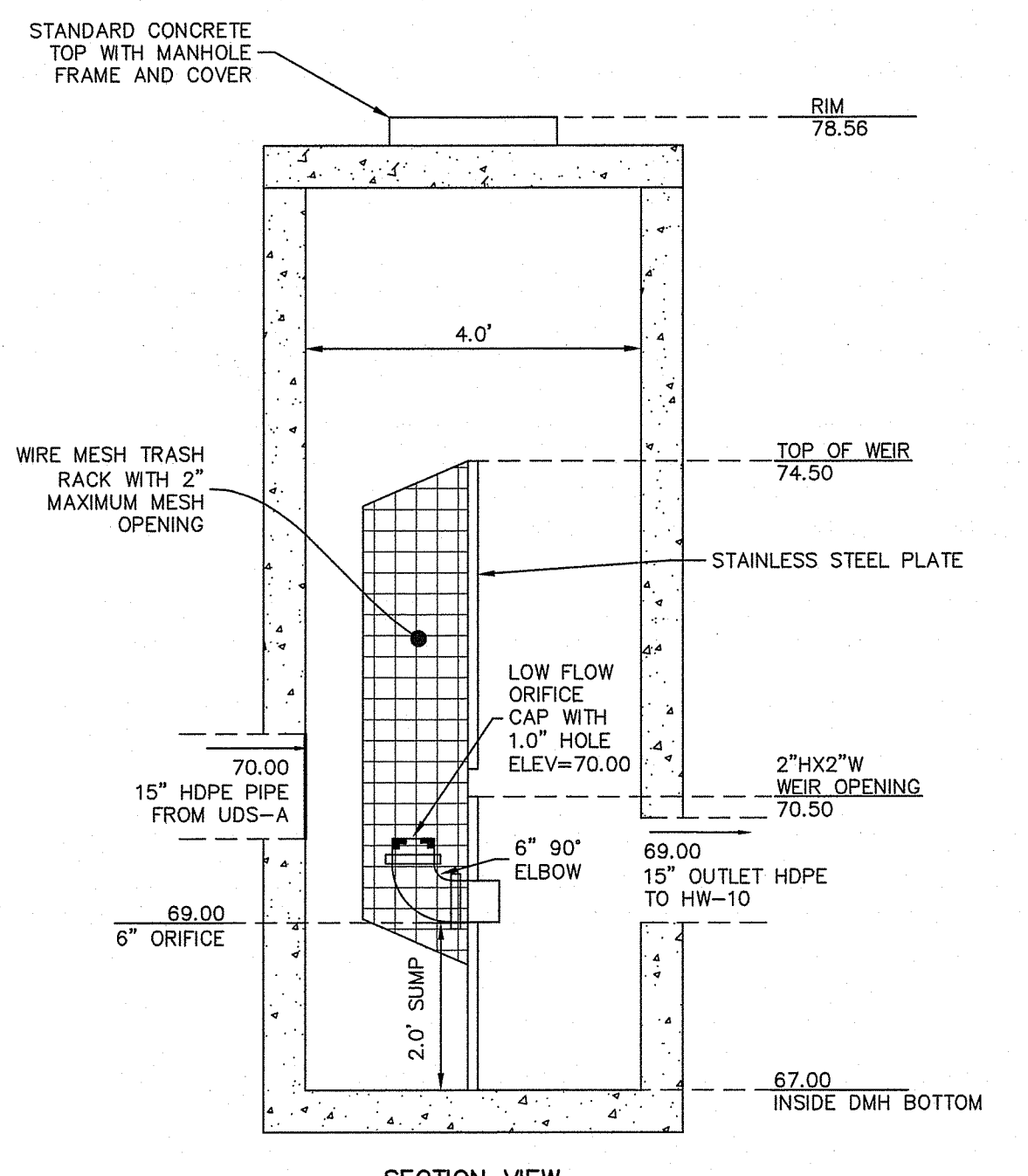


Stormtech Inspection Port Detail NOT TO SCALE

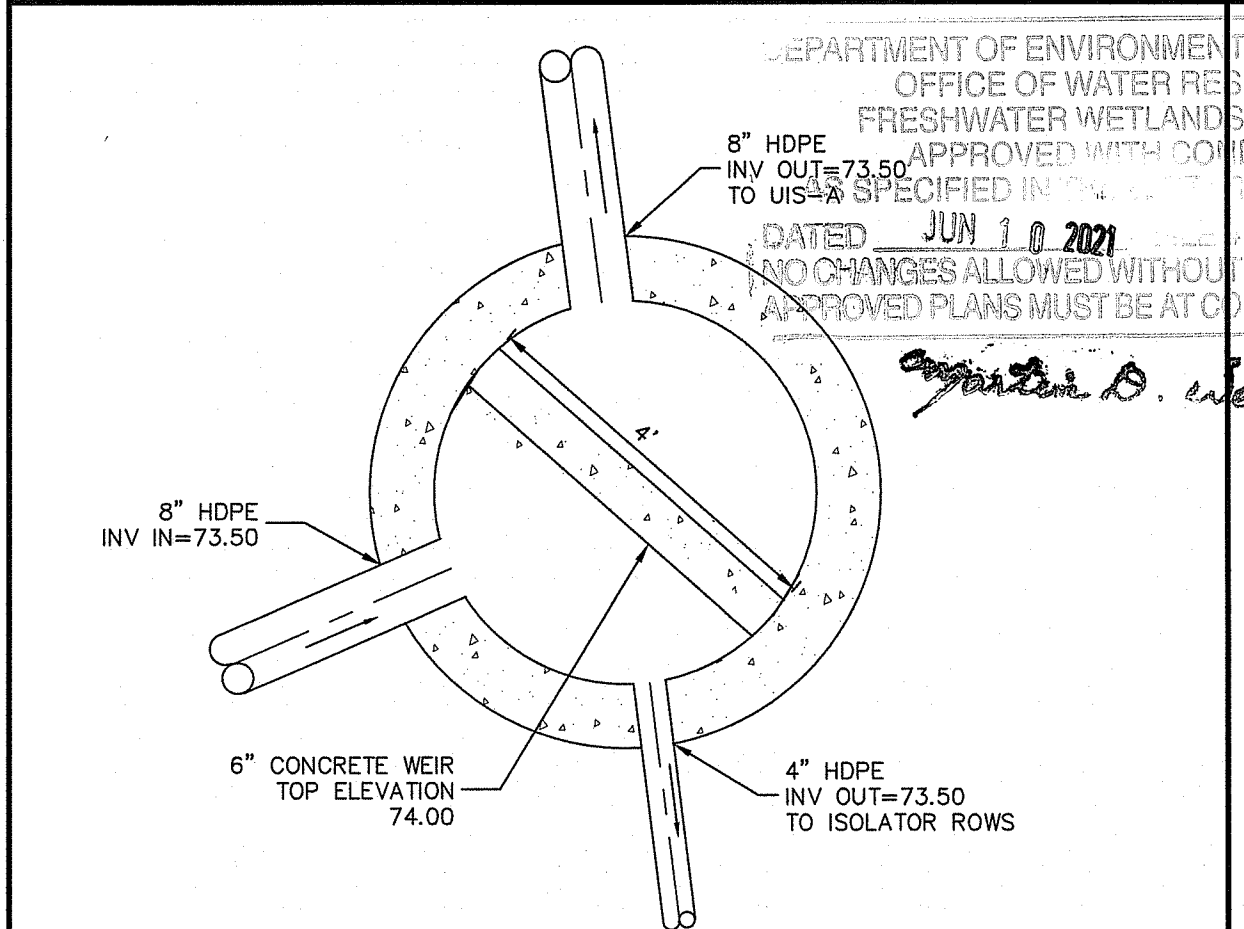


Stormtech Isolator Row Detail NOT TO SCALE

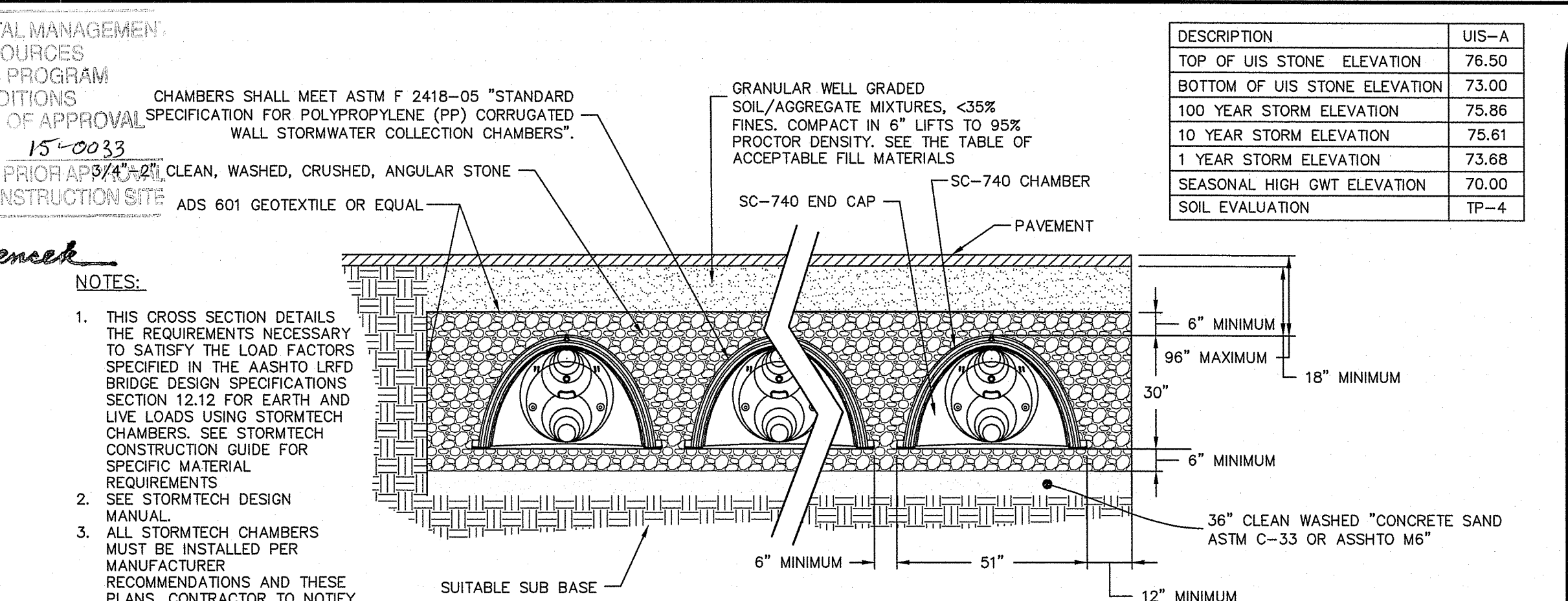
NOTE: * LENGTHS AS SPECIFIED ON SITE PLANS



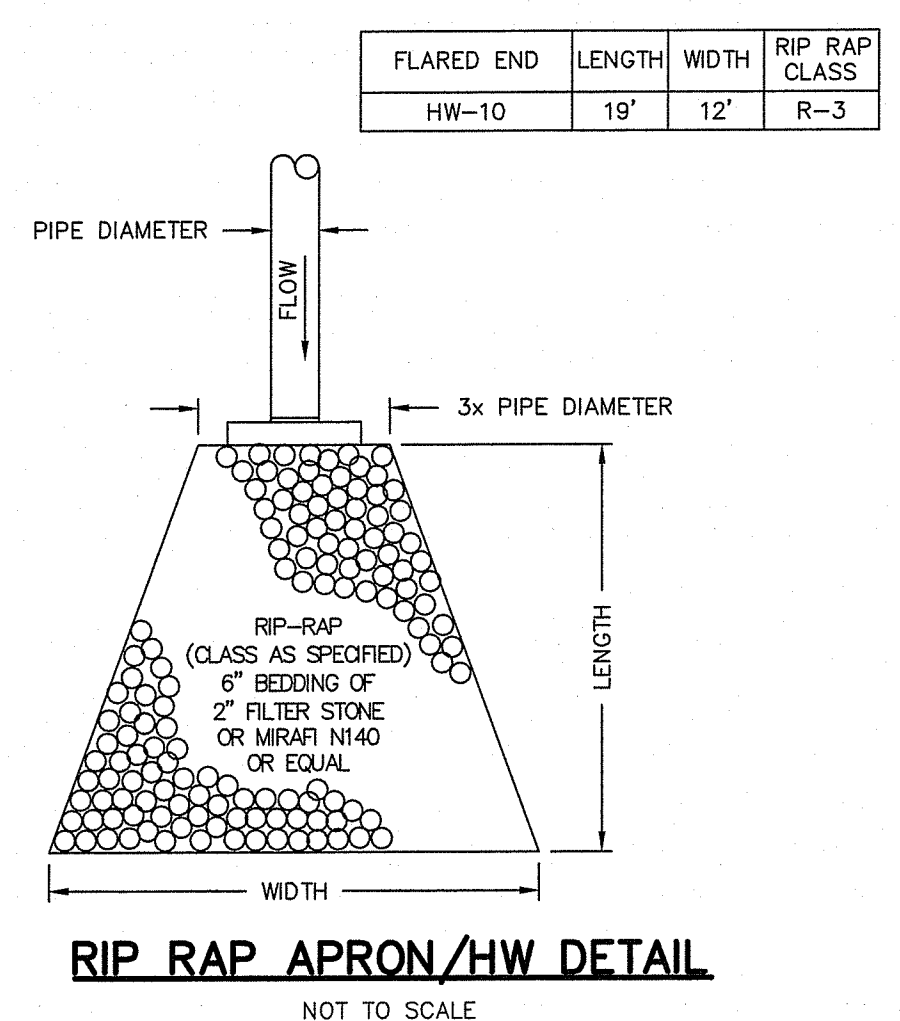
UDS-A Outlet Control Structure (OCS-9) SCALE: 1\"/>



Isolator Row Bypass DMH-8 (4' Dia) Manhole SCALE 1\"/>



Stormtech SC-740 Typical Cross Section NOT TO SCALE



RIP RAP APRON/HW DETAIL NOT TO SCALE

FLARED END	LENGTH	WIDTH	RIP RAP CLASS
HW-10	19'	12'	R-3

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
TO UDS-A AS SPECIFIED IN THESE PLANS.
DATE: JUN 10 2021
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

NOTES:
1. THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE STORMTECH CONSTRUCTION GUIDE FOR SPECIFIC MATERIAL REQUIREMENTS.
2. SEE STORMTECH DESIGN MANUAL.
3. ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES.

DESCRIPTION	UIS-A
TOP OF UIS STONE ELEVATION	76.50
BOTTOM OF UIS STONE ELEVATION	73.00
100 YEAR STORM ELEVATION	75.86
10 YEAR STORM ELEVATION	75.61
1 YEAR STORM ELEVATION	73.68
SEASONAL HIGH GWT ELEVATION	70.00
SOIL EVALUATION	TP-4

DiPrete Engineering
90 Broadway Newport, RI 02840
Tel: 401-619-2890 Fax: 401-664-0005 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By	Design By: K.J.D.
1	03-29-2021	ISSUE FOR PERMIT	By: [Signature]	Design By: K.J.D.
2	06-10-2021	ISSUE FOR CONSTRUCTION	By: [Signature]	Design By: K.J.D.

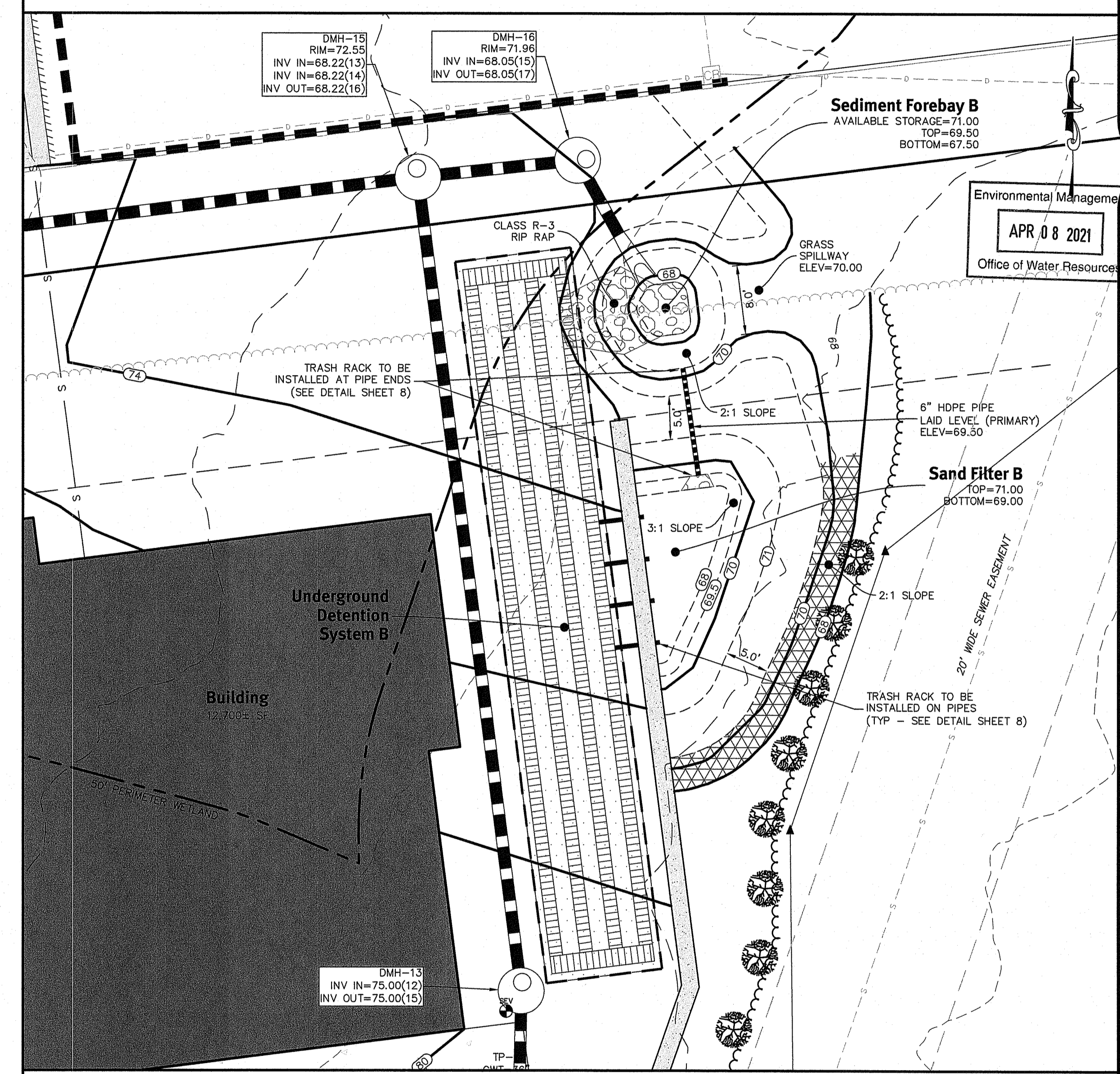
Underground Systems A & B Details
Mainstay/Sleep Inn Hotel
AP 111 LOT 1
Bristol, Rhode Island
Owner: **BOCA DEVELOPMENT, LLC**
Kendall, LLC
615 Davenport and Sons
619 Aquidneck Avenue, Middletown, RI 02842
North Dartmouth, MA 02747
APPLICANT: **D&M BOCA DEVELOPMENT, LLC**
DESIGNER: **DiPrete Engineering Associates, Inc.**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Justin D. Demers

DiPrete Engineering
 90 Broadway Newport, RI 02840
 tel 401-619-5890 fax 401-641-6006 www.diprete-eng.com

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Environmental Management
APR 08 2021
 Office of Water Resources

KEVIN DEMERS
Kevin Demers
 REGISTERED PROFESSIONAL ENGINEER
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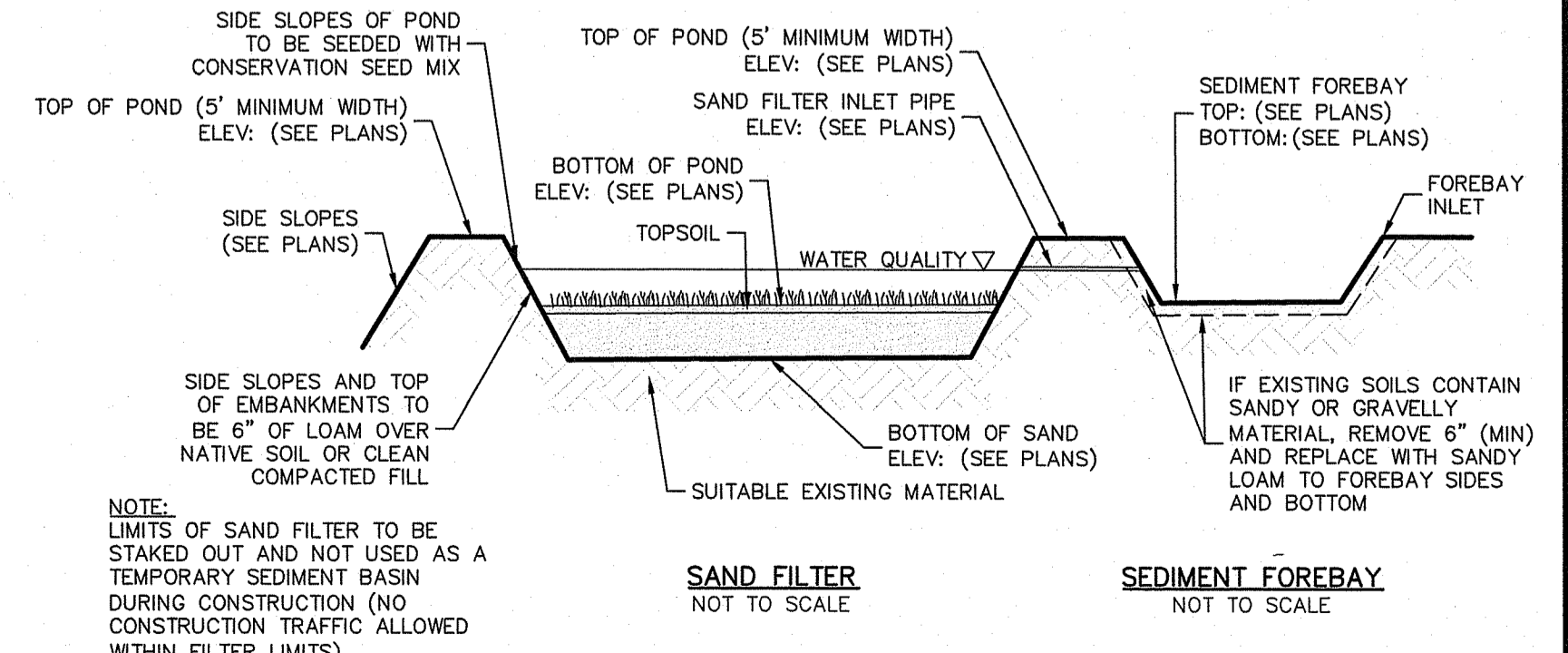
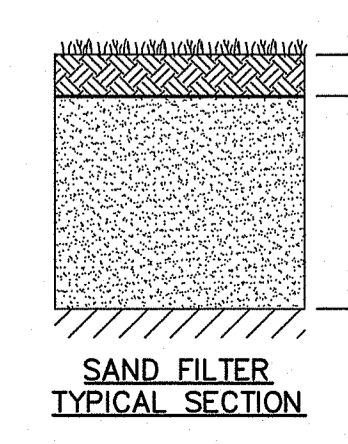
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By	Design By
01	03-25-2021	Initial Design	J.D.	J.D.
02	04-08-2021	Final Design	J.D.	J.D.

Sand Filter B

Scale: 1"=10'

DESCRIPTION	SF-B
TOP OF POND ELEVATION	71.00
100 YEAR STORM ELEVATION	70.25
10 YEAR STORM ELEVATION	70.14
1 YEAR STORM ELEVATION	70.02
WQ STORM ELEVATION	69.36
BOTTOM OF POND ELEVATION	69.00
TOP SOIL DEPTH	6"
SAND DEPTH	18"
BOTTOM OF SAND ELEVATION	67.00
SEASONAL HIGH GWT ELEVATION	66.00
SOIL EVALUATION	TH-6

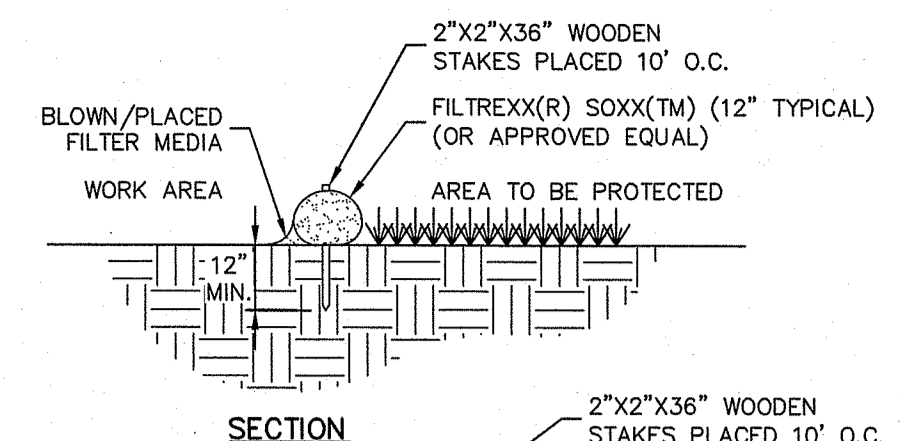


Sand Filter B Details
Mainstay/Sleep Inn Hotel
 AP 111 Lot 1
 Bristol, Rhode Island

Owner: **Kendall, LLC**
 Applicant: **D&M BOCA DEVELOPMENT, LLC**
 69 Francis Corner Road, Suite 160, North Dartmouth, MA 02747

Drawn By: D.B.N.
 Design By: K.J.D.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 10 2021 FILE # 15-0033
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Jensen



- NOTES:**
- ALL MATERIAL TO MEET FILTRIX(R) SPECIFICATIONS
 - FILTER MEDIA (TM) FILL TO MEET APPLICATION REQUIREMENTS
 - COMPOST MATERIAL TO BE DISPersed ON SITE, AS DETERMINED BY ENGINEER
 - STAKES ARE NOT TO BE USED IN PAVEMENT AREAS
 - SELF WEIGHT OF FILTRIX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS.
 - CONTRACTOR TO PLACE FILTRIX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.
- Filtrix Sediment Control (or Approved Equal)**
NOT TO SCALE

GENERAL NOTES:

- THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
- THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES SHALL NOT EXCEED 1.5:1.
- THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
- THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
- TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
- MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET.
- SIDE SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
- MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
- FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE 1, COLUMN V FILTER STONE.

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

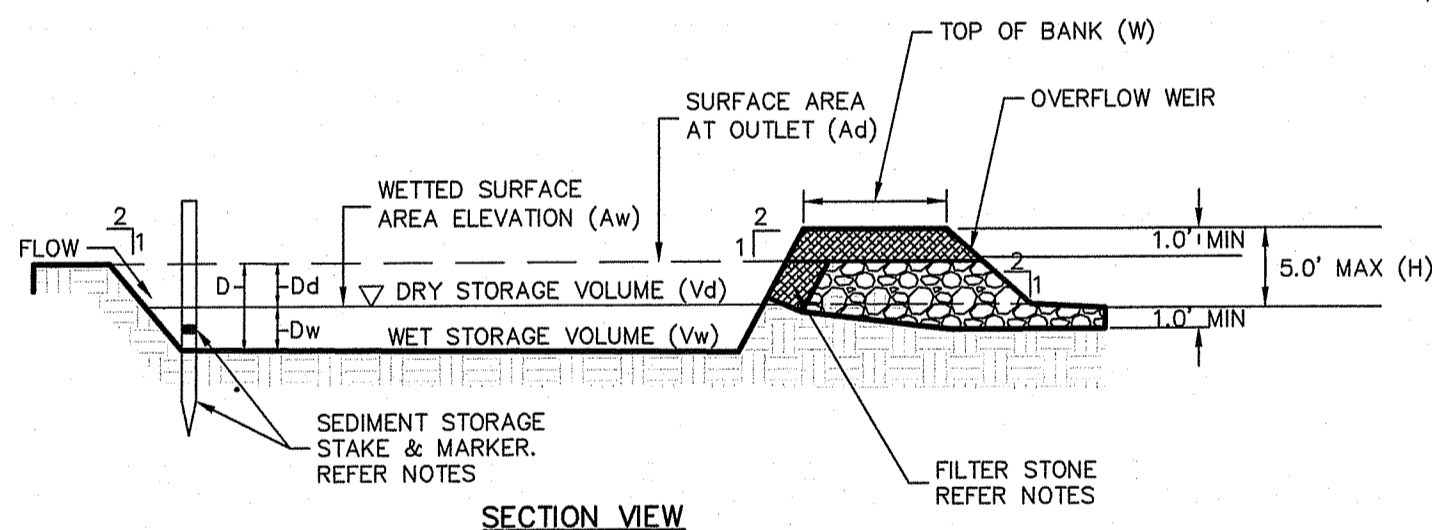
- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
- INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
- CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
- WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
- DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
- THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

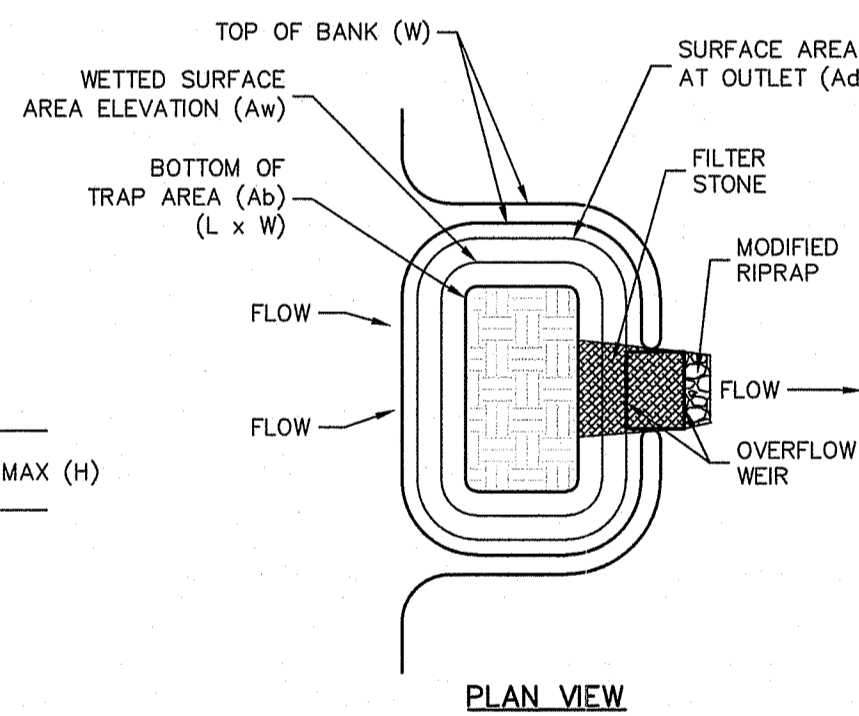
- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
- REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
- EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
- USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES, SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.

SEDIMENT TRAP DIMENSIONS		TRAP 1	
TRIBUTARY DRAINAGE AREA	1.15 ac		
WET STORAGE DEPTH (D _w)	2.00 ft		
DRY STORAGE DEPTH (D _d)	2.00 ft		
TOTAL DEPTH (D)	4.00 ft		
BOTTOM OF TRAP AREA (A _b)	850 sq.ft		
WETTED SURFACE AREA (A _w)	1,400 sq.ft		
SURFACE AREA AT OUTLET (A _d)	2,030 sq.ft		

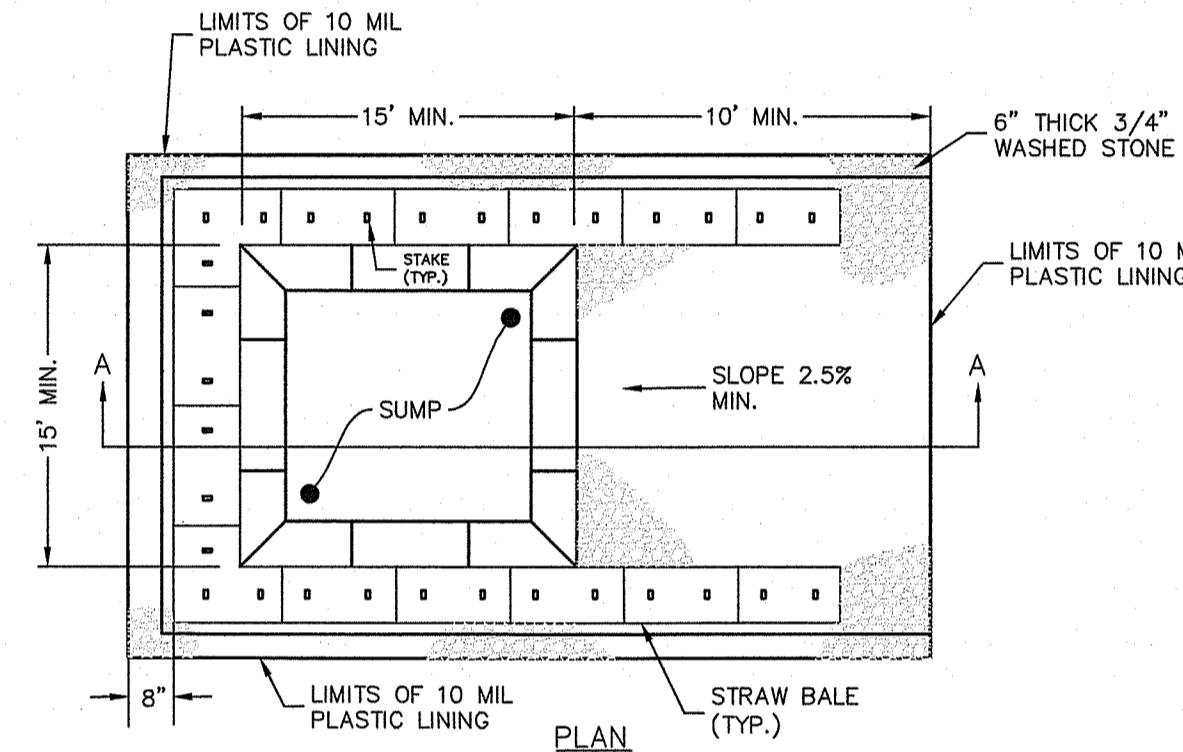
TOP WIDTH VS HEIGHT	
H (ft)	W (ft)
1.5	2.0
2.0	2.0
2.5	3.0
3.0	2.5
3.5	3.0
4.0	3.0
4.5	4.0
5.0	4.5



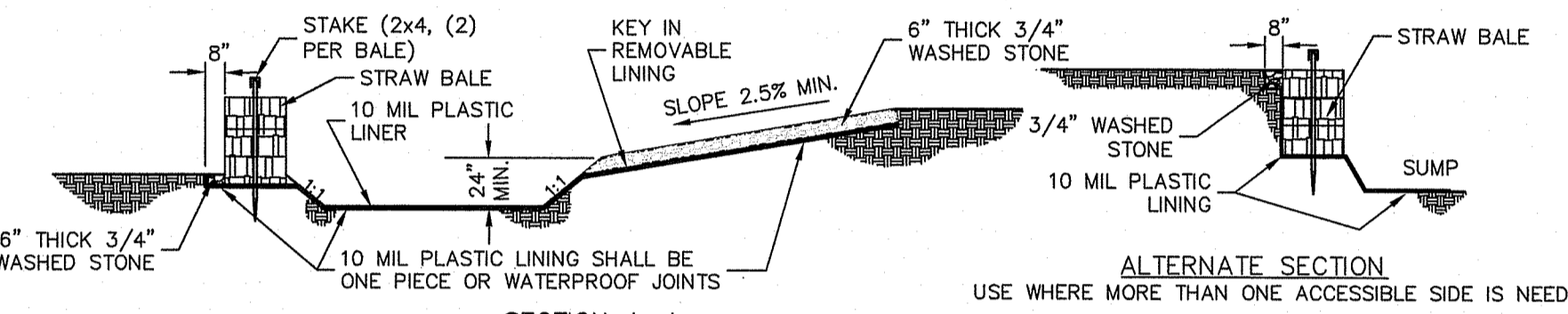
Temporary Sediment Trap Details
NOT TO SCALE



PLAN VIEW

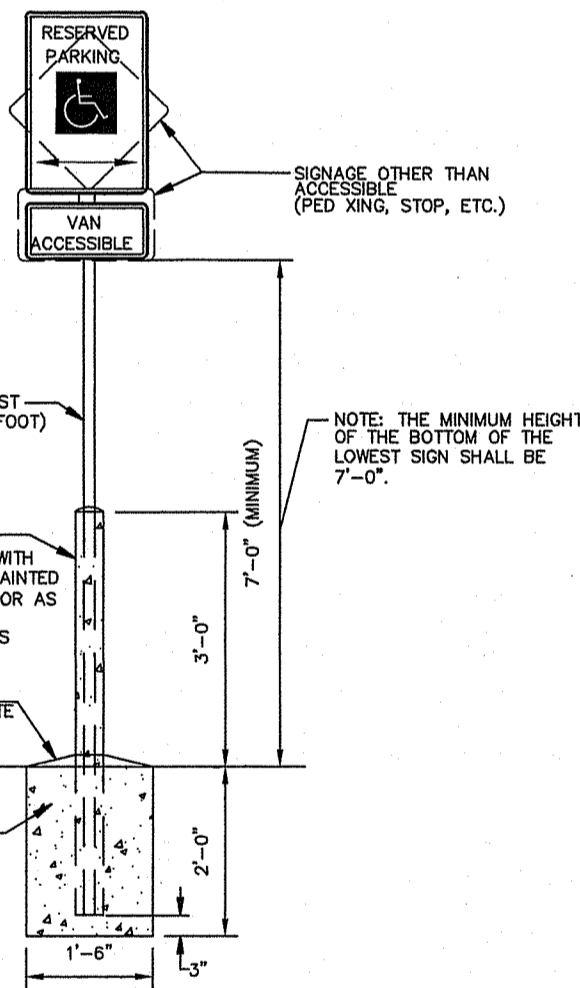


CONCRETE WASHOUT AREA
(NOT TO SCALE)

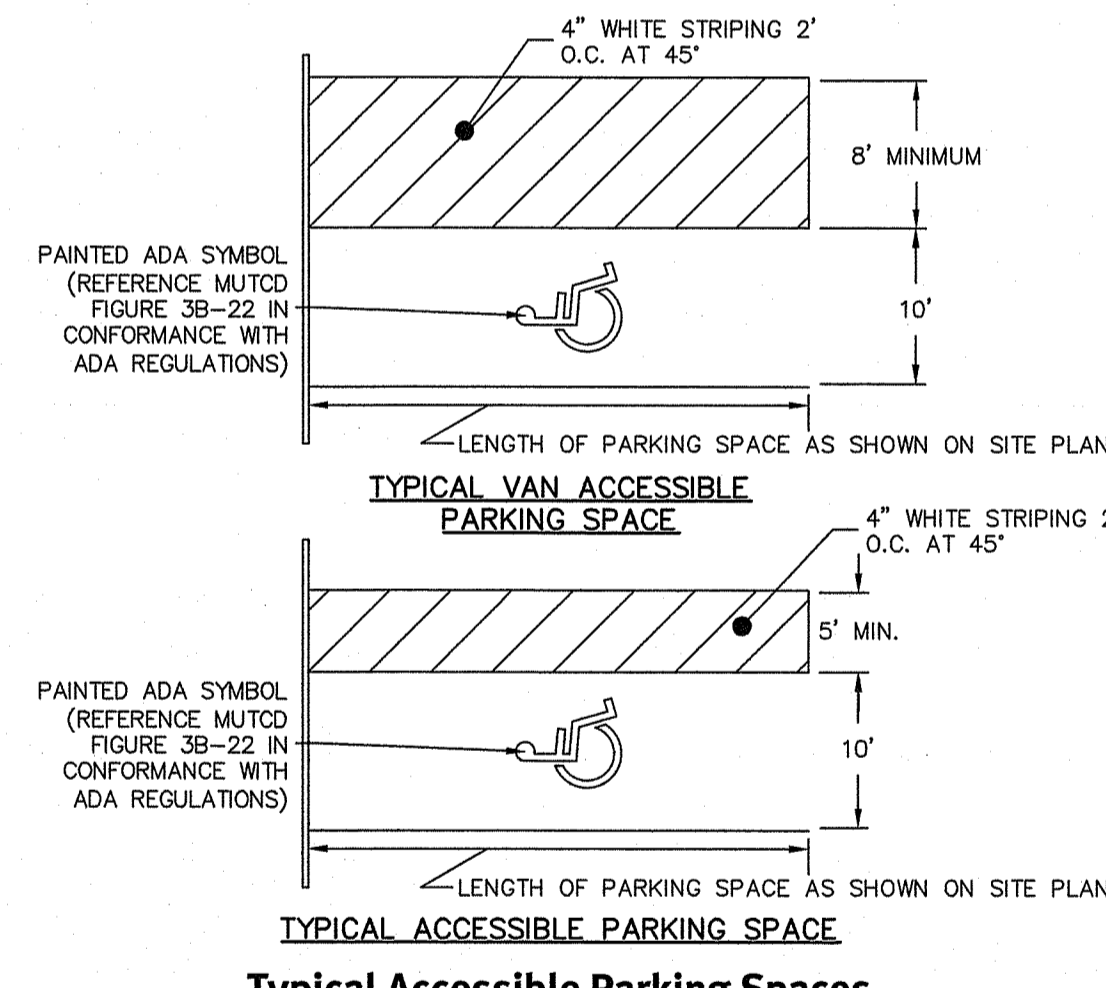


NOTES:

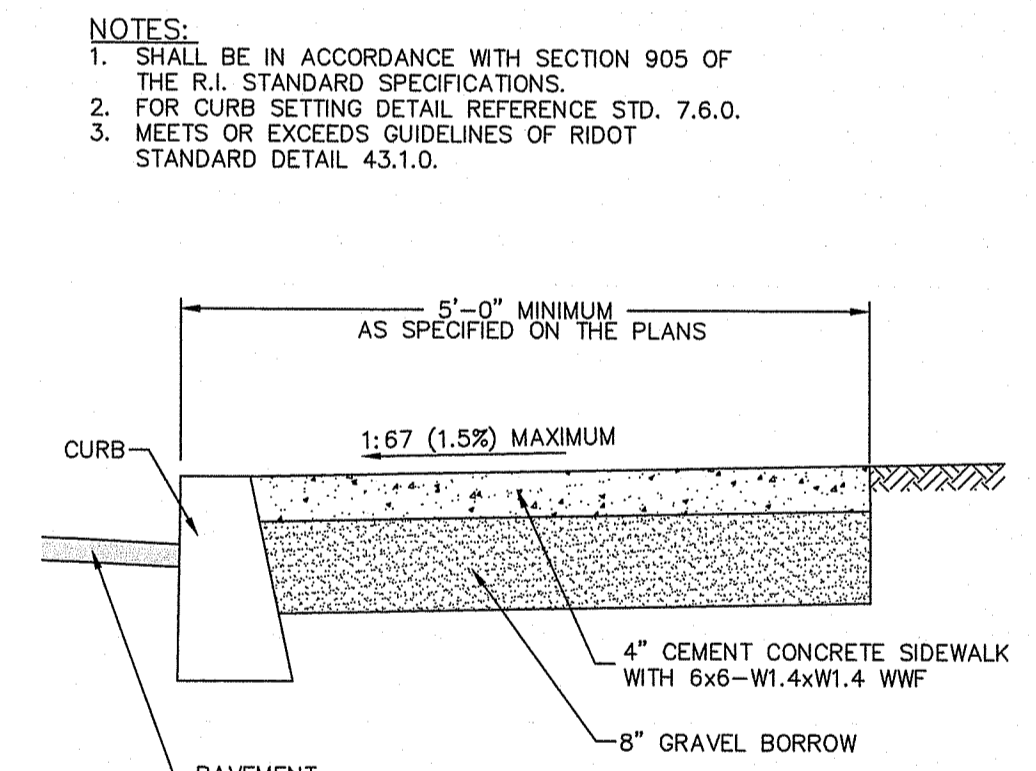
- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
- WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
- FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
- FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
- SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
- CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERWAYS.
- MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



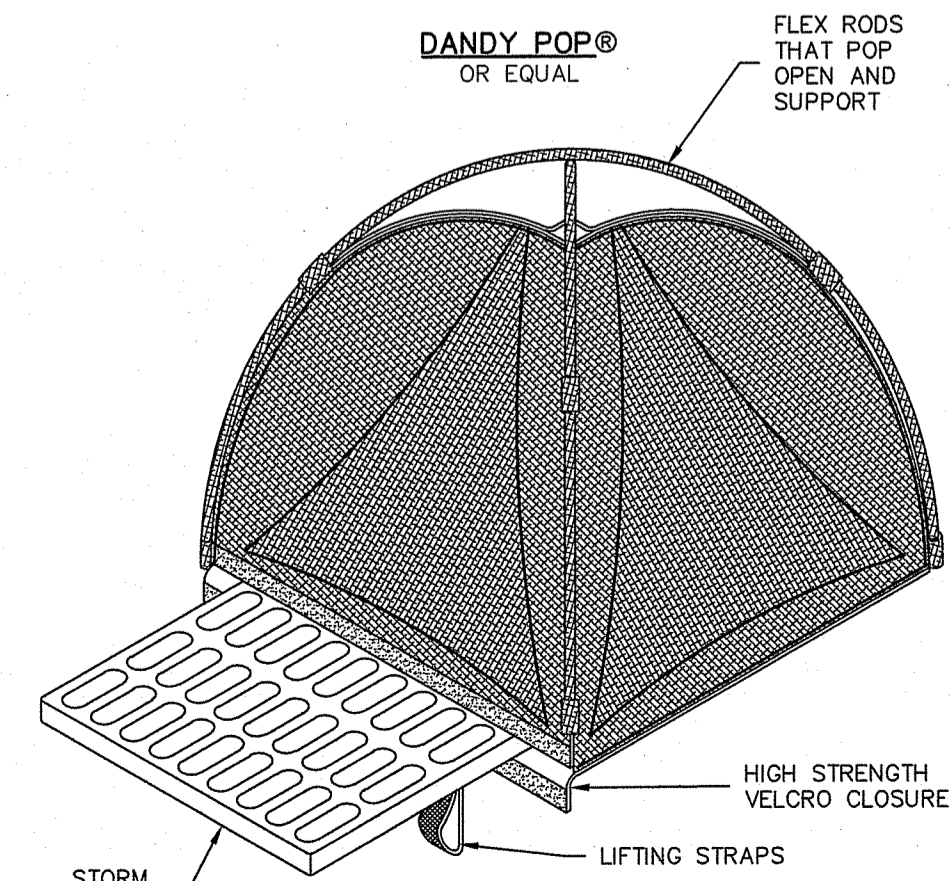
Bollard Mounted Sign Detail
NOT TO SCALE



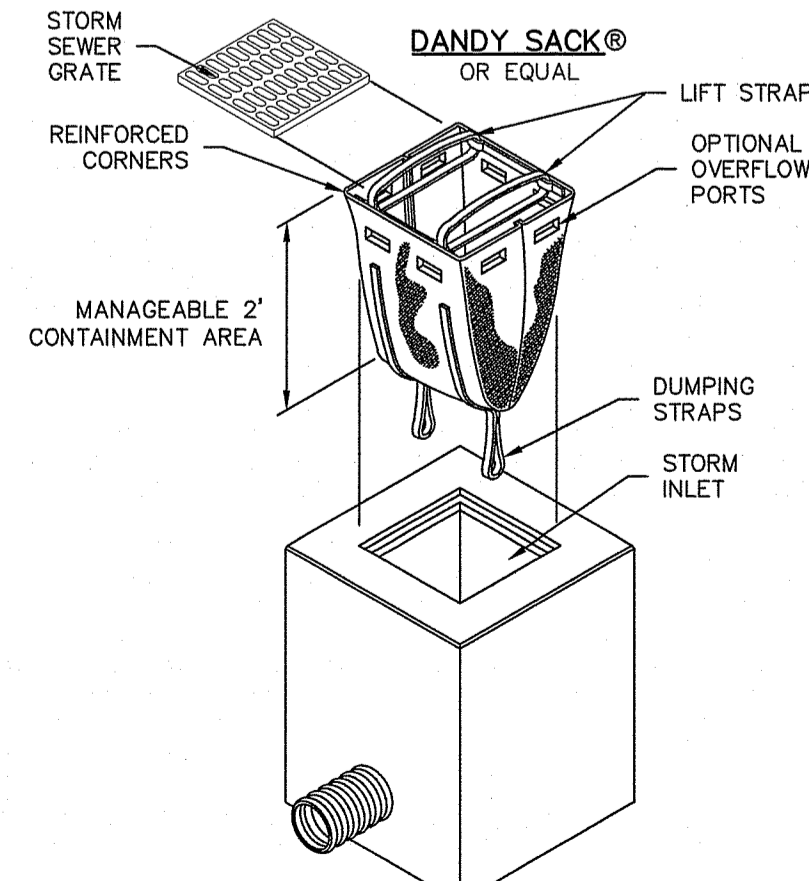
Typical Accessible Parking Spaces
NOT TO SCALE



Cement Concrete Sidewalk
NOT TO SCALE



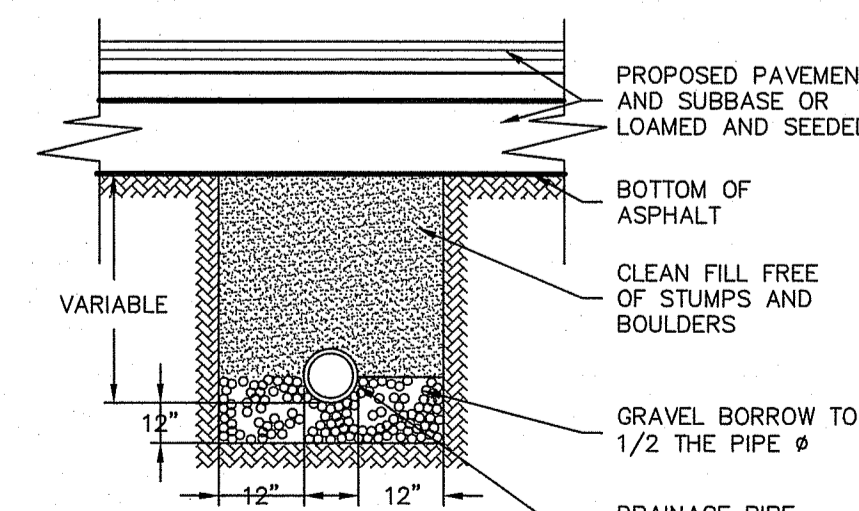
Inlet Sediment Control Devices
NOT TO SCALE



INSTALLATION NOTES:

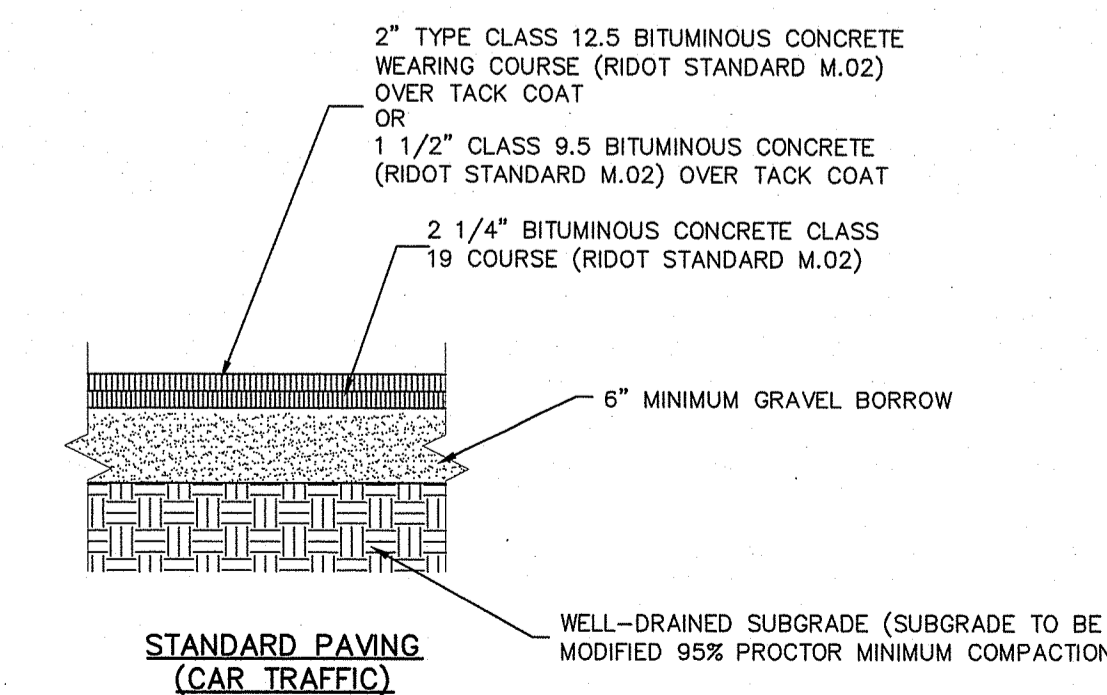
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" PIPE AND 24" OF COVER FOR 54"-60" PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

HDPE Trench Detail
NOT TO SCALE



Typical Pavement Section
NOT TO SCALE

NOTE: THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENT.



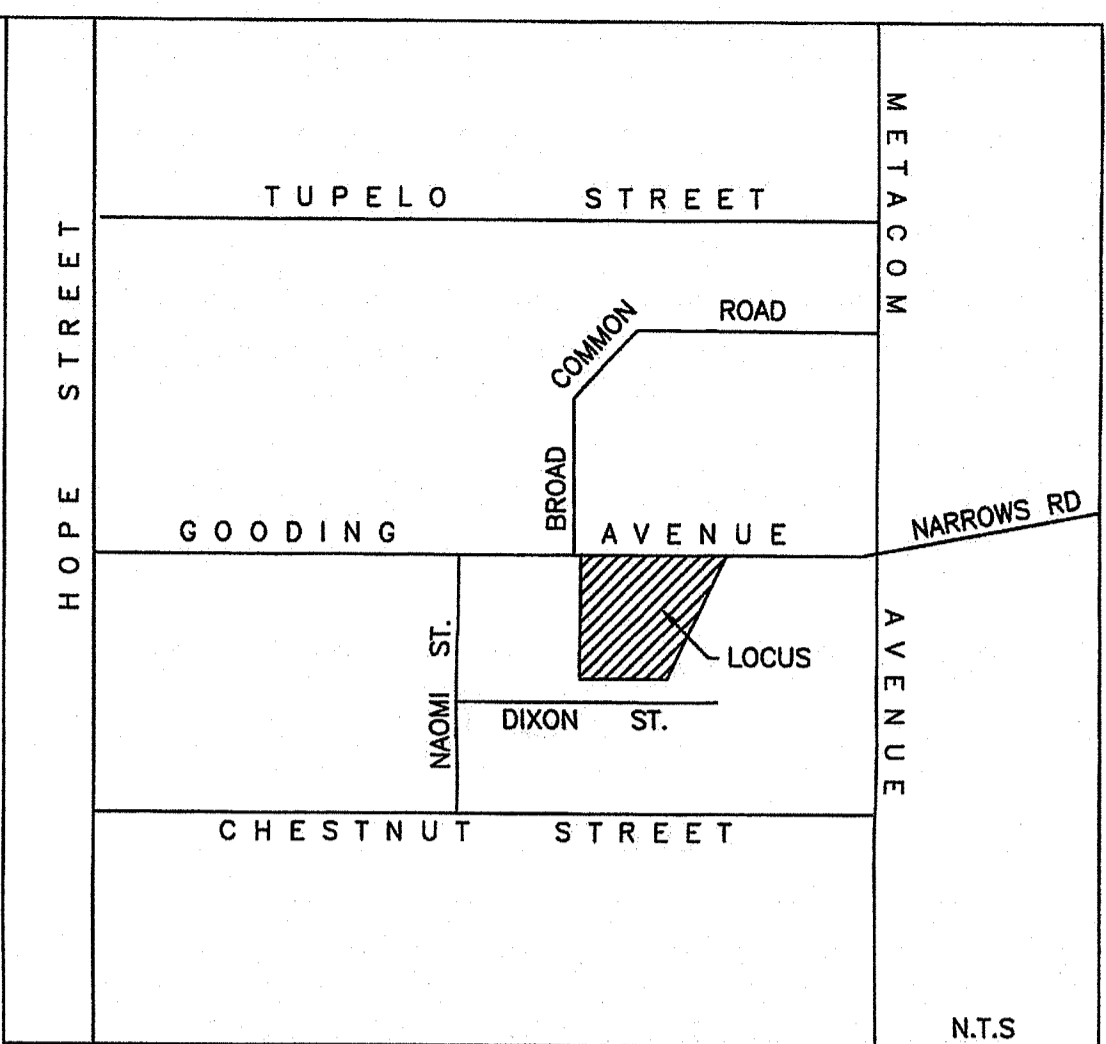
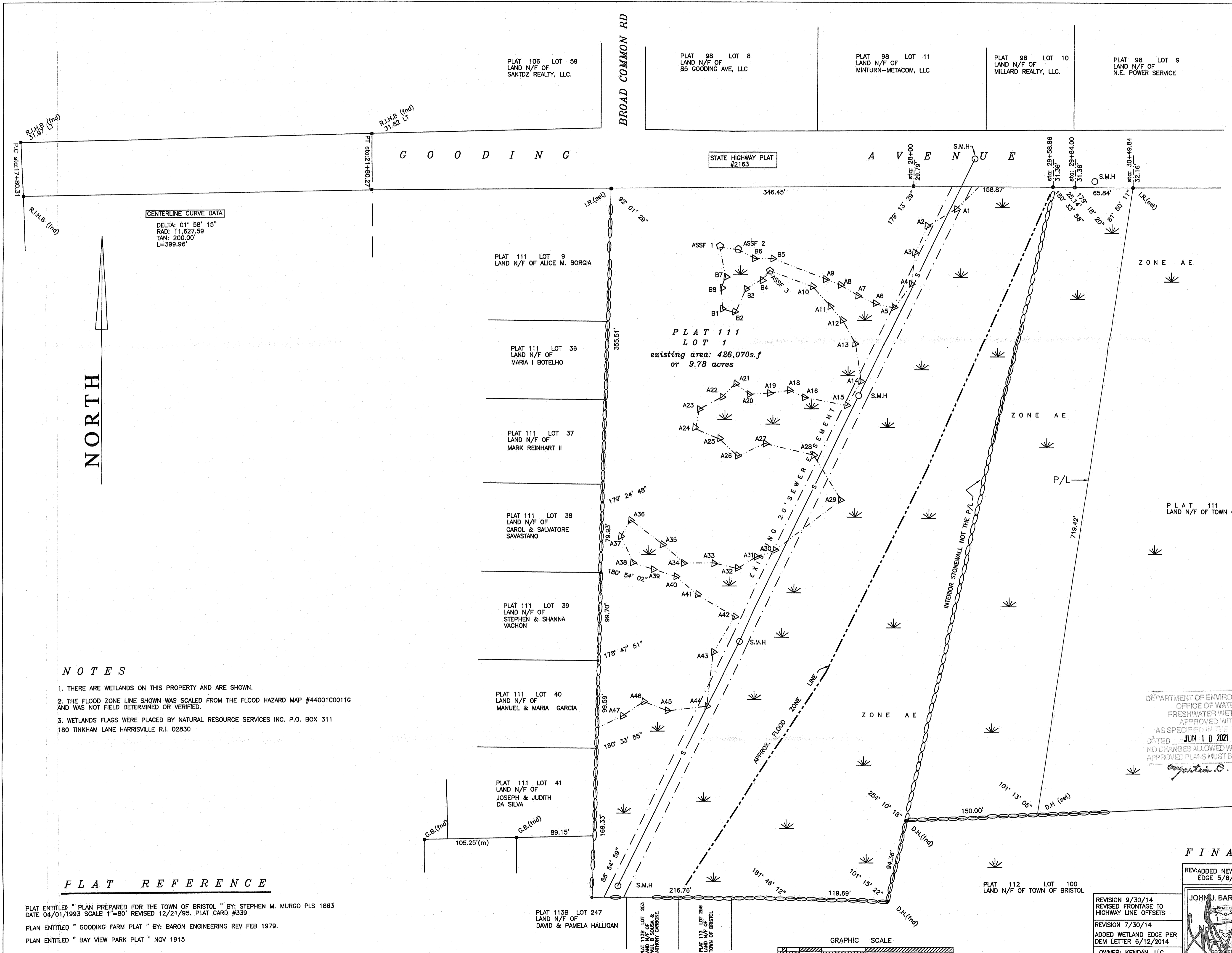
KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Drawn By: D.R.N.	Design By: K.I.D.
01/02/2021				
12/29/2020				

Detail Sheet
Mainstay/Sleep Inn Hotel
AP-11-101
Bristol, Rhode Island
D&M BOCA DEVELOPMENT, LLC
Kendall, LLC
c/o Bonaman and Sons
103 Housatonic Avenue, Middletown, RI 02842
92 Francis Corner Road, Suite 160,
North Attleboro, MA 01924
DE-148 No. 2534-001. Copyright 2021 by DiPrete Engineering Associates, Inc.

DiPrete Engineering
90 Broadway Newport, RI 02840
tel 401-619-5990 fax 401-664-6006 www.diprete-eng.com
Boston • Providence • Newport



LOCATION MAP

LEGEND

- I.R. IRON ROD
- G.B. GRANITE BOUND
- R.I.H.B. RHODE ISLAND HIGHWAY BOUND
- S- SEWER LINE
- S.M.H. SEWER MANHOLE
- P/L PROPERTY LINE
- STONEMALL
- WETLAND AREA
- ▲ AE17 WETLAND FLAG
- (M) MEASURED DISTANCE
- D.H. DRILL HOLE

ZONING

G.B. ZONE

MINIMUM LOT AREA : 10,000 S.F.
 MINIMUM LOT WIDTH: 100'
 MINIMUM LOT FRONTAGE: 100'

BUILDING SETBACKS
 FRONT: 25'
 SIDE: 10'
 REAR: 30'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 10 2021 FILE 15-0033
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

THIS PLAN AND SURVEY CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY: *[Signature]*
 JOHN J. BARKER, JR. PLS #1885

FINAL PLAN

REV-ADDED NEW WETLAND EDGE 5/6/14 JJB	BARKER LAND SURVEYING, INC. 168 HIGH ST., BRISTOL, R.I. 02809 (401) 254-0824
JOHN J. BARKER, JR. PLS #1885	PROPERTY LINE SURVEY for KENDAN, LLC
REVISION 9/30/14 REVISED FRONTAGE TO HIGHWAY LINE OFFSETS	PLAT 111 LOT 1 GOODING AVENUE BRISTOL R.I. 02809
REVISION 7/30/14 ADDED WETLAND EDGE PER DEM LETTER 6/12/2014	DWG NO. SCALE DATE DRAWN BY SHEET
OWNER: KENDAN, LLC 613 AQUIDNECK AVENUE MIDDLETOWN R.I. 02842	110409WEST 1"=50' 3/19/13 JJB 1 OF 1

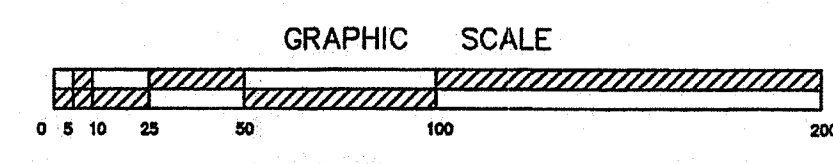
- NOTES**
- THERE ARE WETLANDS ON THIS PROPERTY AND ARE SHOWN.
 - THE FLOOD ZONE LINE SHOWN WAS SCALED FROM THE FLOOD HAZARD MAP #44001C00116 AND WAS NOT FIELD DETERMINED OR VERIFIED.
 - WETLANDS FLAGS WERE PLACED BY NATURAL RESOURCE SERVICES INC. P.O. BOX 311 180 TINKHAM LANE HARRISVILLE R.I. 02830

PLAT REFERENCE

PLAT ENTITLED " PLAN PREPARED FOR THE TOWN OF BRISTOL " BY: STEPHEN M. MURGO PLS 1863 DATE 04/01/1993 SCALE 1"=80' REVISED 12/21/95. PLAT CARD #339

PLAN ENTITLED " GOODING FARM PLAT " BY: BARON ENGINEERING REV FEB 1979.

PLAN ENTITLED " BAY VIEW PARK PLAT " NOV 1915



CENTERLINE CURVE DATA

DELTA: 01° 58' 15"
 RAD: 11,627.59
 TAN: 200.00'
 L=399.96'

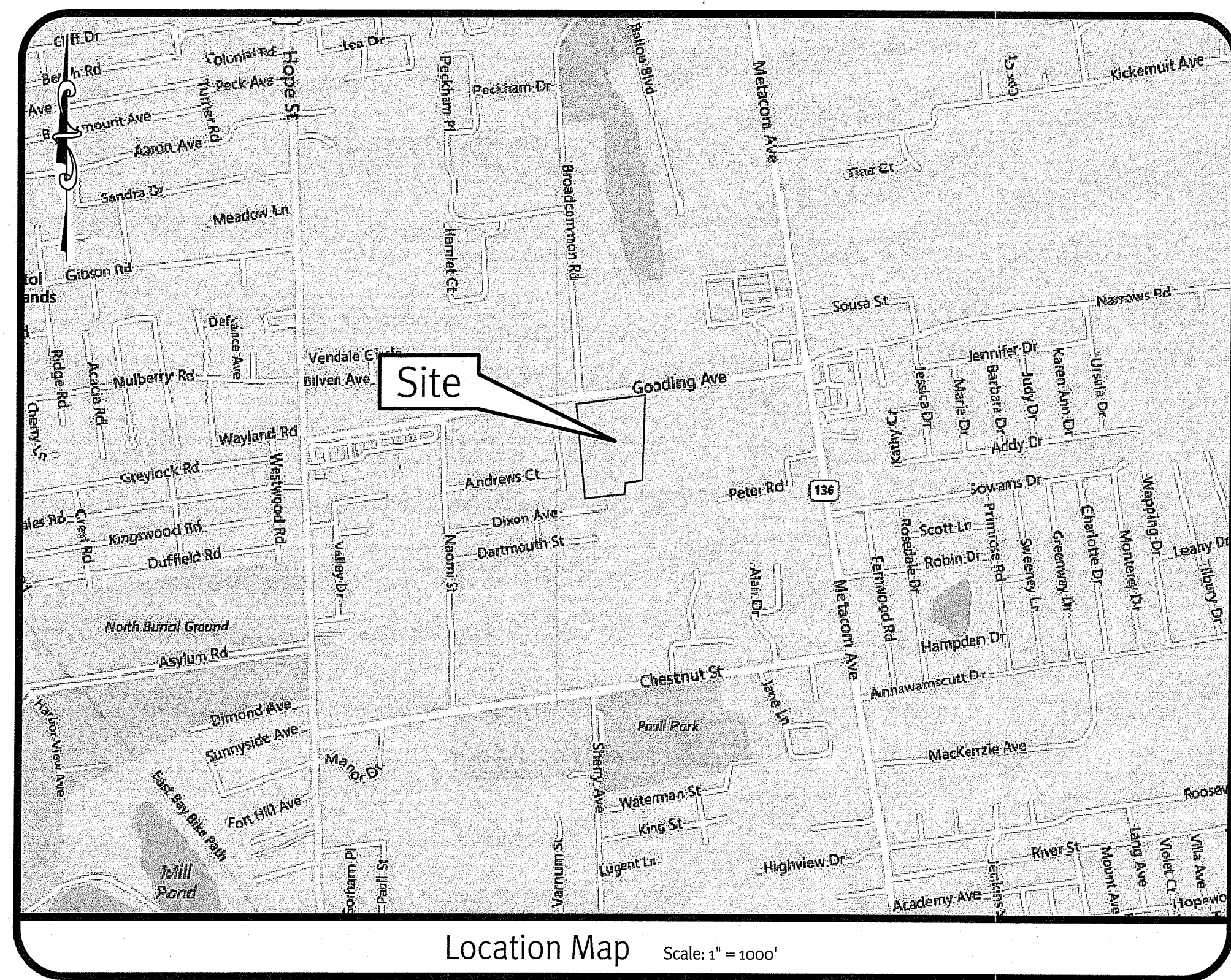
NORTH

RIDEM Submission

Gooding Avenue Development

Located on Gooding Avenue
Bristol, Rhode Island

Assessor's Plat 111 Lot 1



Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius
3. General Notes and Legend
4. Erosion & Sediment Control Plan
5. Site Layout Plan
6. Grading Plan
7. Utilities Plan
8. Underground Systems A & B Details
9. Sand Filter B Details
10. Detail Sheet

Plans by Others

1. Property Line Survey (Sheet 1 of 1) by Barker Land Surveying

Appendix 'B'
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 22 2018 FILE # 15-0033
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James D. Wencsek

Environmental Management
MAY 14 2018
Office of Water Resources

SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

RIDOT
The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

DIPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-943-1000 fax: 401-641-6006 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS
Kevin Demers
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Drawn By: D.R.N.	Design By: K.J.D.
A	03-13-2018	RIDEM Submission		
B	04-11-2018	RIDEM Submission		
C	05-09-2018	RIDEM Submission		
D				

Cover Sheet
Gooding Avenue Development
Bristol, Rhode Island
AP 111 Lot 1
Applicant: **Kendall, LLC.**
619 Aquidneck Avenue, Middletown, Rhode Island 02842
tel: 401-846-2486
Copyright 2018 by Diprete Engineering Associates, Inc.

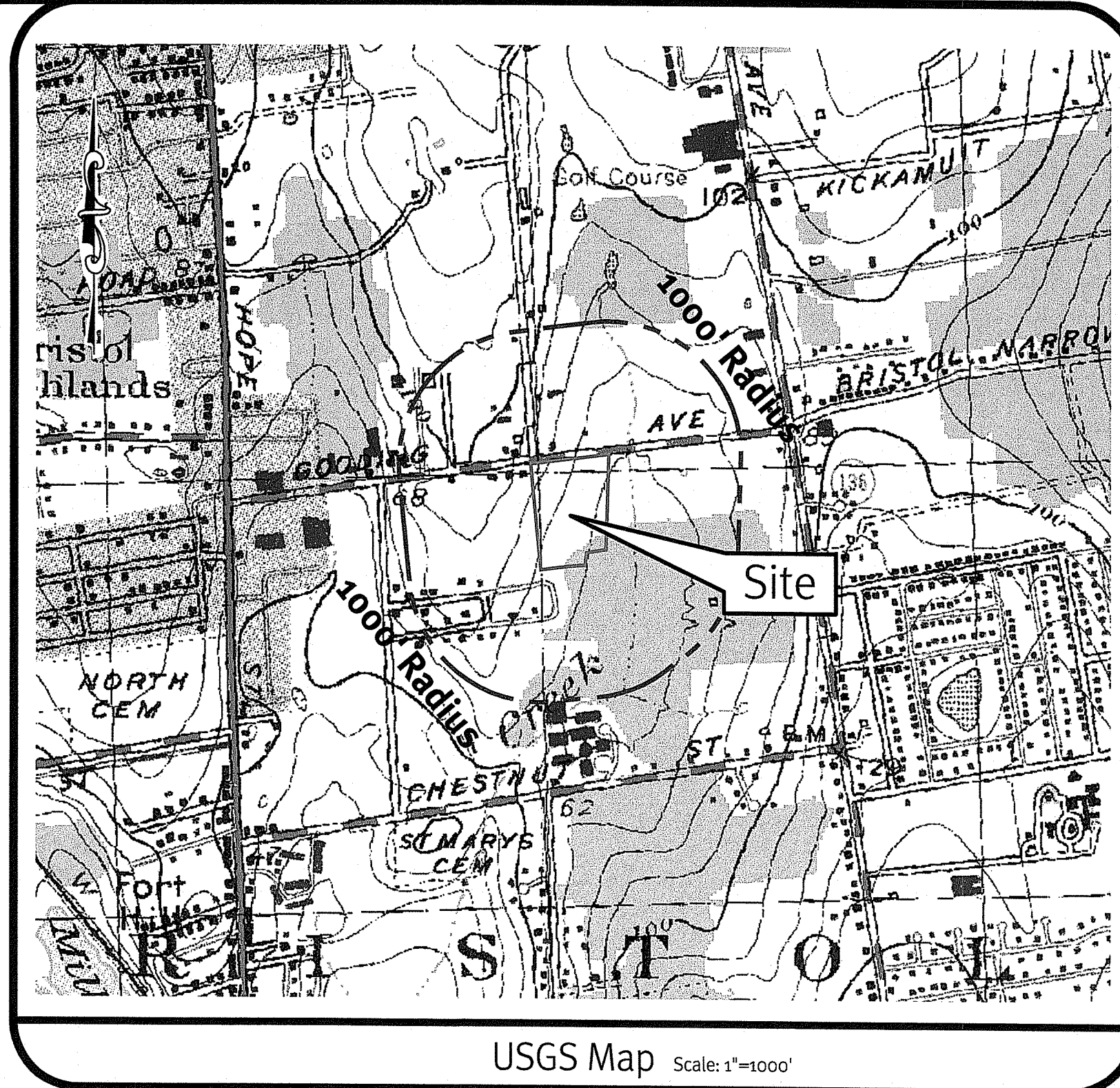
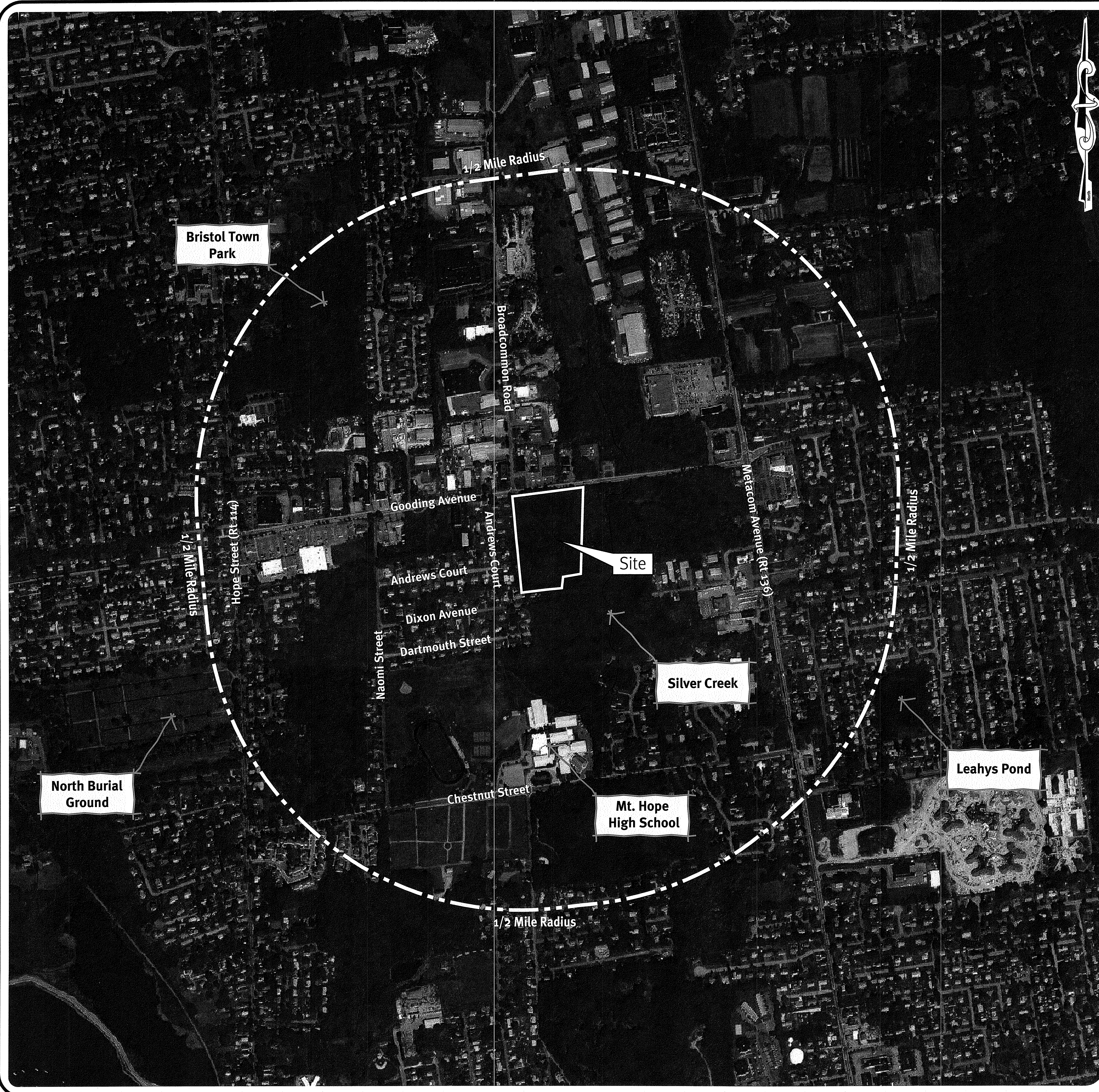
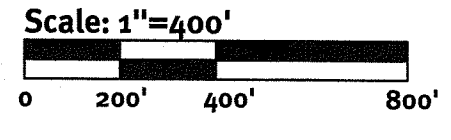


Photo Obtained from the ARCGIS 2008 Orthophotography.



Legend:

- PROPERTY LINE =====
- PROPERTY LINE (USGS MAP) =====
- 1000' RADIUS LINE - - - - -
- HALF MILE RADIUS LINE - - - - -

DiPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-1000, Fax: 401-464-6006, www.diprete-eng.com
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KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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No.	Date	Description	By:	Design By:
1	5-11-2018	ROBET Re-submission	D.R.N.	K.I.D.
2	5-22-2018	ROBET Re-submission	K.I.D.	M.A.
3	09-28-2018	ROBET Re-submission	D.R.N.	D.R.N.
4	11-23-2017	ROBET Submission	D.R.N.	K.I.D.

Aerial Half Mile Radius
Gooding Avenue Development
 AP 111 Lot 1
 Bristol, Rhode Island
 Applicant: **Kendall, LLC.**
 613 Aquidneck Avenue, Middletown, Rhode Island 02842
 Tel: 401-846-3486
 DE Job No: 2536-001 Copyright: 2018 by DiPrete Engineering Associates, Inc.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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z:\demain\projects\2536-001_gooding_avenue\autocad drawings\2536-001_cenr.dwg Plotter: 5/11/2018

General Notes:

- THE SITE IS LOCATED ON THE TOWN OF BRISTOL ASSESSOR'S PLAT 111 LOT 1.
- THE SITE IS APPROXIMATELY 9.78± ACRES AND IS ZONED OB.
- THE OWNER OF AP 111 LOT 1 IS: KENDAN, LLC, 613 AQUINECK AVENUE, MIDDLETOWN, RI 02842
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X AND AE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44001C001H, MAP REVISED JULY 7, 2014.
- THIS PLAN IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH A CLASS IV STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.
- THE SITE IS NOT WITHIN A: GROUNDWATER PROTECTION AREA, NATURAL HERITAGE AREAS, GROUNDWATER PROTECTION OVERLAY DISTRICT
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: [HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP](http://www.dot.ri.gov/business/contractorsandconsultants.php).
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF BRISTOL SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CURBUTERS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
- TEST PITS AND SOIL EVALUATIONS WERE COMPLETED BY SITEC, INC. ON 12/12/2014.

Soil Information:

(REFERENCE: USDA NATURAL RESOURCES CONSERVATION SERVICE)

SOIL NAME	DESCRIPTION
PmA	PITTSSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES
PmB	PITTSSTOWN SILT LOAM, 3 TO 6 PERCENT SLOPES
Se	STISSING SILT LOAM

Plan References:

PLAN ENTITLED "PROPERTY LINE SURVEY FOR KENDAN, LLC" BY BARKER LAND SURVEYING, INC. REVISED 9/30/14.

Lidar Note:

CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

Demolition Notes:

- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 72 HOURS PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON GOODING AVENUE.
- ANY DAMAGE TO THE PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS TO INCLUDE BUT NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTORS STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK SHALL BE RESTORED TO MATCH THE DESIGN PLANS.

Traffic Notes:

- DURING CONSTRUCTION TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE.
- DURING CONSTRUCTION FLAGGERS SHALL BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES SHALL MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS SHALL BE MOUNTED ON RIDOT APPROVED SUPPORTS AND SHALL BE REMOVED OR COVERED WHEN NOT APPLICABLE.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES CURRENT EDITION.

As-Built Notes:

- ALL COMPONENTS OF THE DRAINAGE MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT Notes:

- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO RI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED AUGUST 2013 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RI STANDARD DETAILS 1998 EDITIONS WITH ALL REVISIONS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
- NO LANE OR SHOULDER CLOSURES SHALL BE PERFORMED WITHIN THE STATE'S R.O.W. DURING PEAK TRAFFIC HOURS.
- SEWER AND WATER CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT. CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
- THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORM WATER RUNOFF RATE DISCHARGE, AND STORM WATER RUNOFF VOLUME TO THE STATE RIGHT-OF-WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.

Layout and Materials:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURB RADI ARE 5 FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PRECAST CONCRETE OR AS LABELED ON THE PLANS.
- SIDEWALK SHALL BE CONCRETE, STAMPED CONCRETE OR AS LABELED ON THE PLANS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BEADING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Grading and Utility Notes:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ONSITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION TO COMMENCE SPRING 2018 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF BRISTOL STANDARD SPECIFICATIONS AND DETAILS.
- SEQUENCE OF CONSTRUCTION PROVIDED IN SESC MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- ALL COMPONENTS OF THE DRAINAGE, SEWER AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
- NO STOCKPIILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ONSITE OR REMOVED.
- NO STUMP DUMPS ARE PROPOSED ONSITE.
- IF CONCRETE TRUCKS ARE WASHED OUT ONSITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

ADA Notes:

- ALL IMPROVEMENTS SHALL COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE.
 - MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 4.5% OR 0.045', AND MAXIMUM CROSS SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 0.015'./.
 - MAXIMUM SLOPE IN ALL DIRECTIONS FOR ALL ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE 0.015'./.
 - A 5'x5' LANDING WITH A MAXIMUM SLOPE OF 1.5% OR 0.015'./, IN ALL DIRECTIONS SHALL BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSES.
 - SIDEWALK CURB RAMPS SHALL COMPLY WITH DIPRETE ENGINEERING DETAILS THAT MEET OR EXCEEDING RIDOT STANDARDS 43.3.0, 43.3.1, & 43.4.1 AS SHOWN ON THE DETAIL SHEET.
 - PLEASE NOTE THAT THE GRADING AND PLAN VIEWS AS WELL AS THE STANDARD DETAILS MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS AND RAMPS TO ADA STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA STANDARDS. IN THE EVENT OF ANY CONFLICTS THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.
- Soil Erosion and Sedimentation Control Notes:**
- ALL EROSION CONTROL, TEMPORARY SWALES, TEMPORARY SEDIMENTATION TRAPS, ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION AND THE SOIL EROSION SEDIMENTATION CONTROL PLAN (SESC).
 - TEMPORARY SWALES SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION. TEMPORARY SWALES SHALL BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS SHALL BE INSTALLED IF NECESSARY TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES SHALL BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE SHALL BE PER THE DESIGN PLANS.
 - ONCE THE SEDIMENTATION TRAP IS NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION TRAP SHALL CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
 - INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
 - SEE SECTION 2.2 OF THE SESC FOR SEQUENCE OF CONSTRUCTION ACTIVITY.
 - SEE SECTION 2.2 OF THE SESC FOR PROJECT PHASING.
 - CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.
 - FOR CONSTRUCTION PHASING SEE SECTION 2.2 OF SOIL EROSION AND SEDIMENT CONTROL PLAN.

Abbreviations Legend

AP	ASSESSOR'S PLAT	OHW	OVERHEAD WIRE
BC	BOTTOM OF CURB	PE	POLYETHYLENE
BT	BOTTOM OF TESTHOLE	PL	PROPERTY LINE
BIT	BITUMINOUS (BERM)	PR	PROPOSED
BIO	BIORETENTION	PVC	POLYVINYL CHLORIDE
BIW	BOTTOM OF WALL (FINISHED GRADE AT BOTTOM OF WALL)	R	RADIUS
CB	CATCH BASIN	R&D	REMOVE AND DISPOSE
(C)	CALCULATED	RCP	REINFORCED CONCRETE PIPE
CL	CENTERLINE	RHIB	RHODE ISLAND
(CA)	CHORD ANGLE	HL	HIGHWAY BOUND
CLDP	CONCRETE LINED DUCTILE IRON PIPE	RL	ROOF LEADER
CO	CLEAN OUT	ROW	RIGHT OF WAY
CONC	CONCRETE	S	SLOPE
(D)	DEED	SD	SUBORAIN
DCB	DOUBLE CATCH BASIN	SED	SEDIMENT FOREBAY
DI	DROP INLET	SE	SLAB ELEVATION
DMH	DRAINAGE MANHOLE	SF	SQUARE FOOT
DP	DETENTION POND	SFL	SEWER FREEWAY LINE
EOP	EDGE OF PAVEMENT	SFM	SEWER FORCE MAIN
ESC	EROSION AND SEDIMENT CONTROL	SHL	SEWER HIGHWAY LINE
EX	EXISTING	SMH	SEWER MANHOLE
FES	FLARED END SECTION	SNDP	SAND FILTER
FFE	FINISH FLOOR ELEVATION	SS	SIDE SLOPE
GFE	GARAGE FLOOR ELEVATION	STA	STATION
GW	GROUND WATER TABLE	TC	TOP OF CURB
HC	HANDICAPPED	TD	TRENCH DRAIN
HW	HEADWALL	TF	TOP OF FOUNDATION
HC	HIGH CAPACITY CATCH BASIN GRATE	TRANS	TRANSITION
HDPE	HIGH DENSITY POLYETHYLENE	TW	TOP OF WALL (FINISHED GRADE AT TOP OF WALL)
ID	INLINE DRAIN	TYP	TYPICAL
INV	INVERT	UDS	UNDERGROUND
IP	INFILTRATION POND	UDS	DETENTION SYSTEM
LF	LINEAR FEET	UIS	UNDERGROUND
LOD	LIMIT OF DISTURBANCE	UIS	INFILTRATION SYSTEM
LP	LIGHT POLE	UP	UTILITY POLE
(M)	MEASURED	WO	WALKOUT
N/F	NOW OR FORMERLY	WQ	WATER QUALITY

Existing Legend

(AS SHOWN ON PROPOSED PLANS)
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		SIGN
	BRUSHLINE		BOUND FOUND/SET
	TREELINE		BOLLARD
	GUARDRAIL		SOIL EVALUATION
	FENCE		CATCH BASIN
	RETAINING WALL		DOUBLE CATCH BASIN
	STONE WALL		DRAINAGE MANHOLE
	MINOR CONTOUR LINE		FLARED END SECTION
	MAJOR CONTOUR LINE		GUY POLE
	WATER LINE		ELECTRIC MANHOLE
	SEWER LINE		UTILITY/POWER POLE
	SEWER FORCE MAIN		LIGHTPOST
	GAS LINE		SEWER/SEPTIC MANHOLE
	ELECTRIC LINE		SEWER VALVE
	OVERHEAD WIRES		CLEANOUT
	DRAINAGE LINE		HYDRANT
	SOILS LINES		IRRIGATION VALVE
	50' PERIMETER WETLAND		WATER VALVE
	100' RIVERBANK WETLAND		WELL
	200' RIVERBANK WETLAND		MONITORING WELL
	FEMA BOUNDARY		UNKNOWN MANHOLE
	STREAM		GAS VALVE
	WETLAND LINE & FLAG		BENCH MARK
			STREAM FLOW DIRECTION

Proposed Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		ROOF LEADER
	TREELINE		GAS LINE
	CHAINLINK FENCE		WATER LINE
	GUARDRAIL (RIDOT STD 34.2.0, 34.4.0 OR APPROVED EQUAL)		HYDRANT ASSEMBLY
	RETAINING WALL		WATER SHUT OFF
	MINOR CONTOUR LINE		WATER VALVE
	MAJOR CONTOUR LINE		THRUST BLOCK
	SPOT ELEVATION		SEWER LINE
	EDGE OF PAVEMENT		OVERHEAD WIRE
	CONCRETE CURB (RIDOT STD 7.1.0)		ELECTRIC, TELEPHONE, CABLE LINE
	BUILDING FOOTPRINT		LIMIT OF DISTURBANCE - NO EROSION CONTROL
	BUILDING OVERHANG		STRAW WATTLE, SILT FENCE (RIDOT STD 9.2.0 OR APPROVED EQUAL AT LIMIT OF DISTURBANCE)
	ASPHALT PAVEMENT		2:1 SLOPES
	STAMPED CONCRETE		UNDERGROUND SYSTEM OUTLINE
	CONCRETE SIDEWALK		POND ACCESS
	SAWCUT LINE		RIP RAP
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)		SAND FILTER
	SINGLE LIGHT		CATCH BASIN
	DOUBLE LIGHT		DOUBLE CATCH BASIN
	OVERHANGING LIGHT		MANHOLE
	ACCESSIBLE PARKING SPACE SYMBOLS		FLARED END SECTION
	TRANSFORMER PAD WITH BOLLARDS (PER NATIONAL GRID STANDARD)		HEAD WALL

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

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KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER CIVIL

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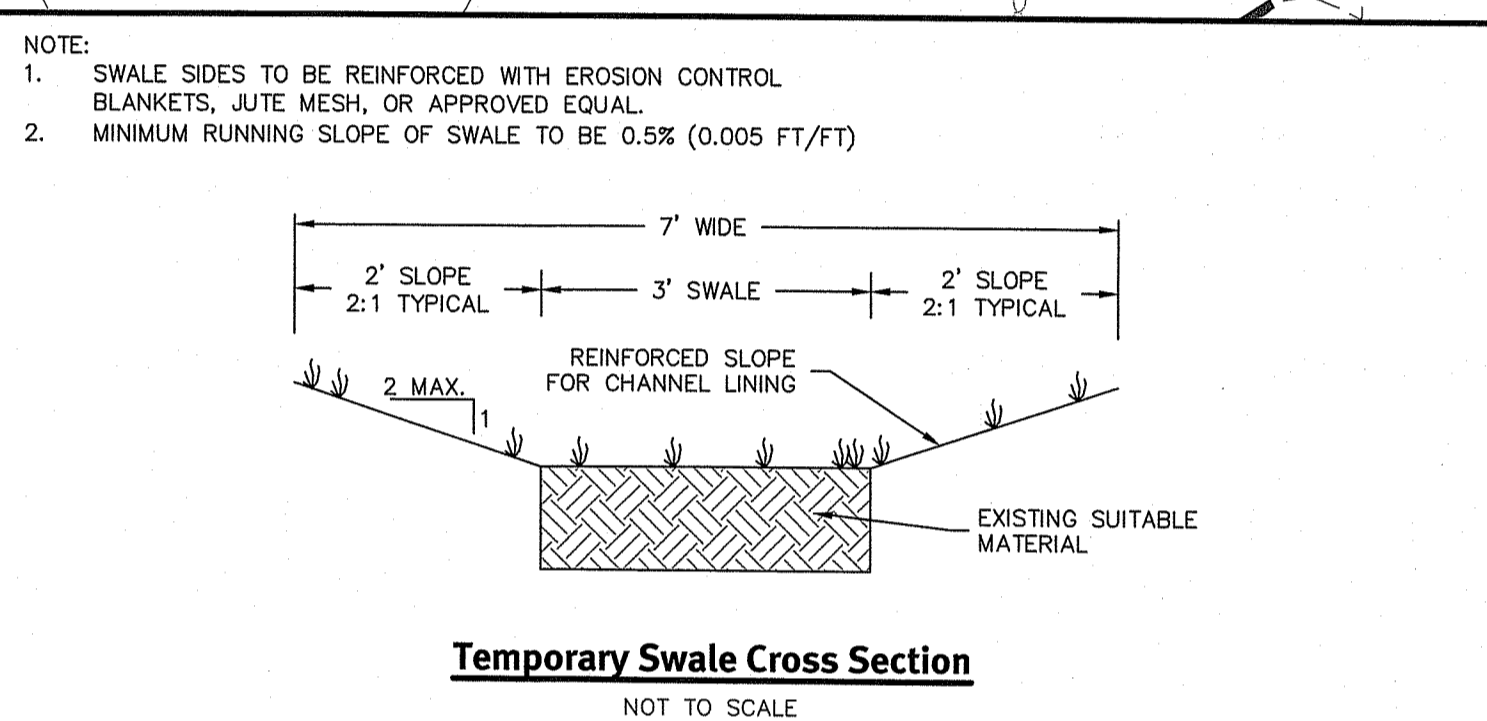
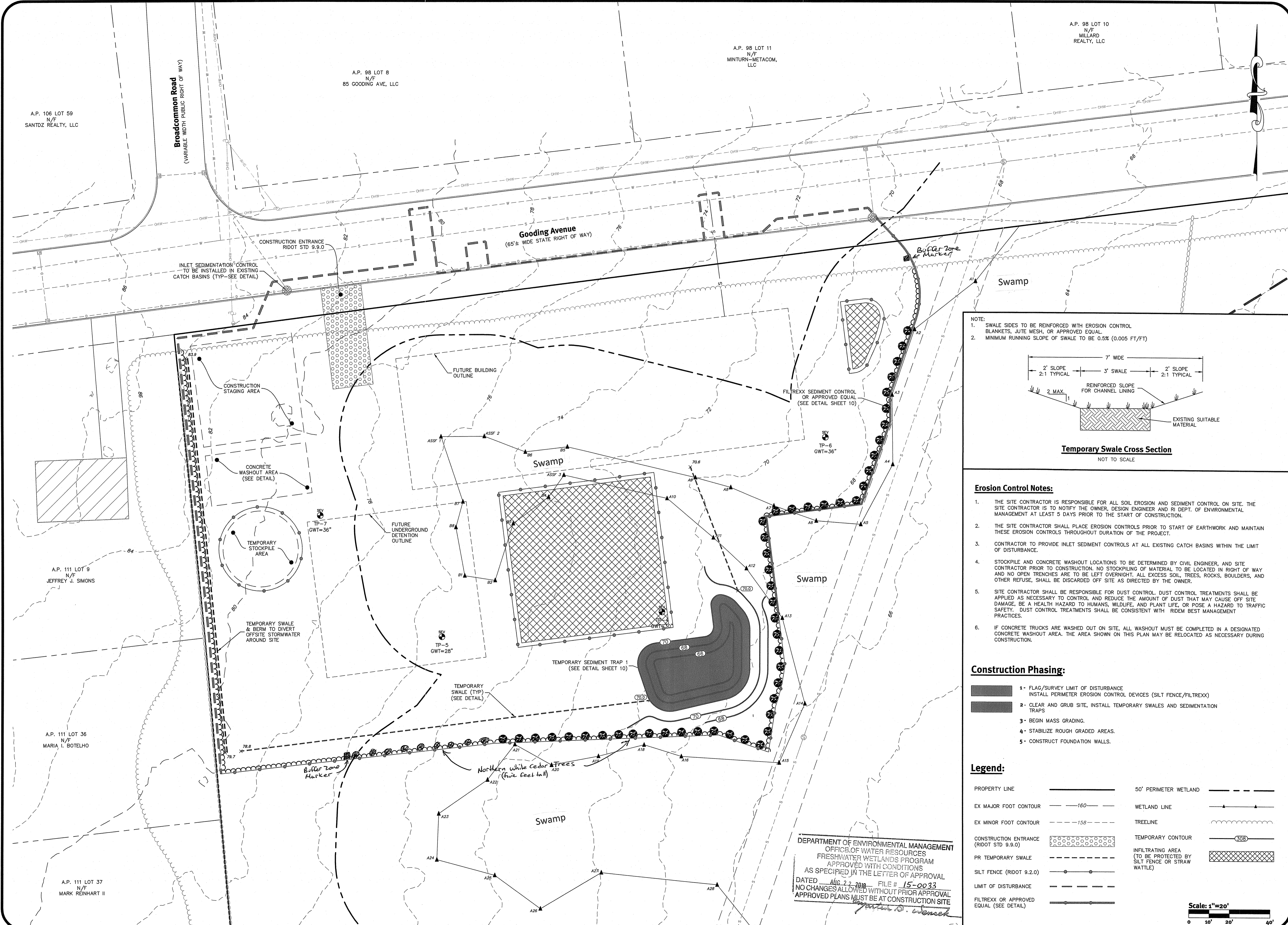
No.	Date	Description	By:
1	01-15-2018	RI/MA Registration	KLD
2	04-13-2018	RI/MA Registration	KLD
3	09-19-2018	RI/MA Registration	KLD
4	11-15-2017	RI/MA Registration	Dr:

Drawn By: Dr:KLD

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 22 2018 FILE # 15-0033
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

General Notes And Legend
Gooding Avenue Development
AP 111 Lot 1
Bristol, Rhode Island
Applicant: **Kendan, LLC.**
613 Aquineck Avenue, Middletown, Rhode Island 02842
Tel: 401-842-9486

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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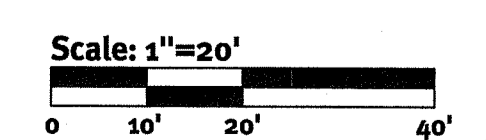
- Erosion Control Notes:**
- THE SITE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE. THE SITE CONTRACTOR IS TO NOTIFY THE OWNER, DESIGN ENGINEER AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
 - THE SITE CONTRACTOR SHALL PLACE EROSION CONTROLS PRIOR TO START OF EARTHWORK AND MAINTAIN THESE EROSION CONTROLS THROUGHOUT DURATION OF THE PROJECT.
 - CONTRACTOR TO PROVIDE INLET SEDIMENT CONTROLS AT ALL EXISTING CATCH BASINS WITHIN THE LIMIT OF DISTURBANCE.
 - STOCKPILE AND CONCRETE WASHOUT LOCATIONS TO BE DETERMINED BY CIVIL ENGINEER, AND SITE CONTRACTOR PRIOR TO CONSTRUCTION. NO STOCKPILING OF MATERIAL TO BE LOCATED IN RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE AS DIRECTED BY THE OWNER.
 - SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST THAT MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE, AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY. DUST CONTROL TREATMENTS SHALL BE CONSISTENT WITH RIDEM BEST MANAGEMENT PRACTICES.
 - IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN A DESIGNATED CONCRETE WASHOUT AREA. THE AREA SHOWN ON THIS PLAN MAY BE RELOCATED AS NECESSARY DURING CONSTRUCTION.

- Construction Phasing:**
- FLAG/SURVEY LIMIT OF DISTURBANCE
INSTALL PERIMETER EROSION CONTROL DEVICES (SILT FENCE/FILTREXX)
 - CLEAR AND GRUB SITE, INSTALL TEMPORARY SWALES AND SEDIMENTATION TRAPS
 - BEGIN MASS GRADING.
 - STABILIZE ROUGH GRADED AREAS.
 - CONSTRUCT FOUNDATION WALLS.

Legend:

PROPERTY LINE	———	50' PERIMETER WETLAND	———
EX MAJOR FOOT CONTOUR	——160——	WETLAND LINE	——▲——
EX MINOR FOOT CONTOUR	——158——	TREELINE	——●——
CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)	⊘	TEMPORARY CONTOUR	⊘
PR TEMPORARY SWALE	———	INFILTRATING AREA (TO BE PROTECTED BY SILT FENCE OR STRAW WATTLE)	⊘
SILT FENCE (RIDOT 9.2.0)	——●——		
LIMIT OF DISTURBANCE	———		
FILTREXX OR APPROVED EQUAL (SEE DETAIL)	———		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED Aug 22, 2018 FILE # 15-0033
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel. 401-943-1000 fax. 401-464-6066 www.diprete-eng.com

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

NO.	DATE	DESCRIPTION	BY:
1	11-03-2017	8059A Submission	D.R.N.
2	01-19-2018	8059A Submission	D.R.N.
3	05-22-2018	8059A Submission	D.R.N.
4	05-11-2018	8059A Submission	D.R.N.

Design By: K.I.D.

Erosion & Sediment Control Plan
Gooding Avenue Development

AP 111 Lot 36
Bristol, Rhode Island

Kendall, L.L.C.
613 Aquidneck Avenue, Middletown, Rhode Island 02842
tel. 401-846-2486

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SHEET **4** OF 10

Development Data:

TOTAL SITE AREA: 9.78± ACRES
 TOTAL NUMBER OF BUILDINGS: 1
 TOTAL NUMBER OF ROOMS: 68

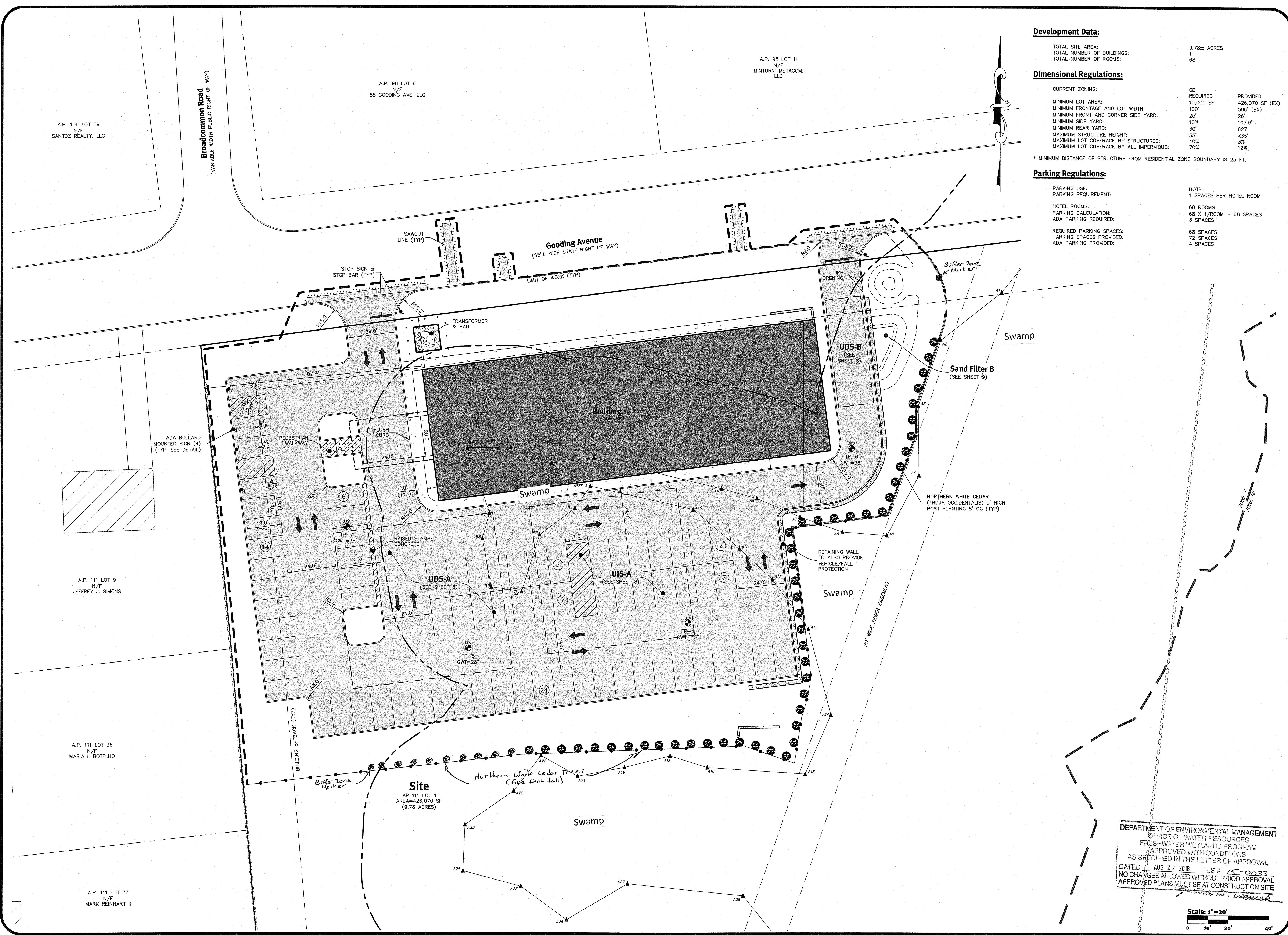
Dimensional Regulations:

CURRENT ZONING: G8
 REQUIRED: 10,000 SF PROVIDED: 428,070 SF (EX)
 MINIMUM LOT AREA: 100' 25' 26' (EX)
 MINIMUM FRONTAGE AND LOT WIDTH: 100' 25' 26' (EX)
 MINIMUM FRONT AND CORNER SIDE YARD: 10' 30' 62'7"
 MINIMUM SIDE YARD: 10' 30' 62'7"
 MINIMUM REAR YARD: 35' 35' 35'
 MAXIMUM STRUCTURE HEIGHT: 40% 3%
 MAXIMUM LOT COVERAGE BY STRUCTURES: 70% 12%
 MAXIMUM LOT COVERAGE BY ALL IMPERVIOUS: 70% 12%

* MINIMUM DISTANCE OF STRUCTURE FROM RESIDENTIAL ZONE BOUNDARY IS 25 FT.

Parking Regulations:

PARKING USE: HOTEL
 1 PARKING REQUIREMENT: 1 SPACES PER HOTEL ROOM
 HOTEL ROOMS: 68 ROOMS
 PARKING CALCULATION: 68 X 1/ROOM = 68 SPACES
 ADA PARKING REQUIRED: 3 SPACES
 REQUIRED PARKING SPACES: 68 SPACES
 PARKING SPACES PROVIDED: 72 SPACES
 ADA PARKING PROVIDED: 4 SPACES



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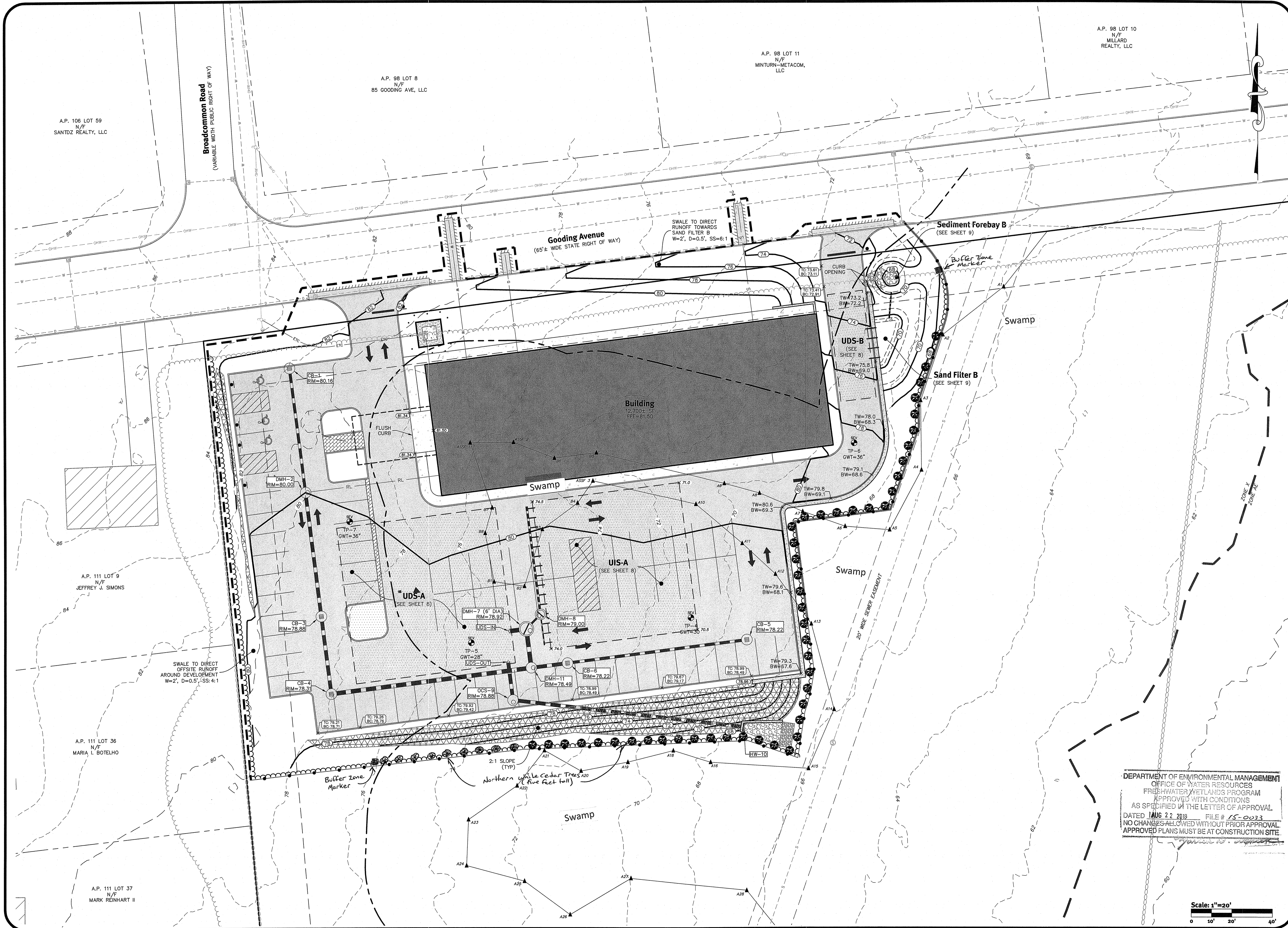
No.	Date	Description	By
1	05-11-2018	Initial Submission	D.R.N.
2	06-12-2018	Revised Submission	K.L.D.
3	07-12-2018	Revised Submission	M.A.D.
4	08-22-2018	Final Submission	D.R.N.

Drawn By: D.R.N. Design By: K.L.D.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 22 2018 FILE # 15-0033
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Scale: 1"=20'
 0 10' 20' 40'

Site Layout Plan
Gooding Avenue Development
 AP 111 Lot 1
 Bristol, Rhode Island
Kendan, LLC.
 613 Aquidneck Avenue, Middletown, Rhode Island 02842
 tel. 401-846-3466
 DE Job No: 2336-001. Copyright 2018 by DiPrete Engineering Associates, Inc.



A.P. 98 LOT 10
N/F
MILLARD
REALTY, LLC

A.P. 98 LOT 11
N/F
MINTURN-METACOM,
LLC

A.P. 98 LOT 8
N/F
85 GOODING AVE, LLC

A.P. 106 LOT 59
N/F
SANTOZ REALTY, LLC

Broadcommon Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

Gooding Avenue
(65'± WIDE STATE RIGHT OF WAY)

Building
12,700± SF
FFE=81.50

Sediment Forebay B
(SEE SHEET 9)

Sand Filter B
(SEE SHEET 9)

UDS-A
(SEE SHEET 8)

UIS-A
(SEE SHEET 8)

SWALE TO DIRECT
OFFSITE RUNOFF
AROUND DEVELOPMENT
W=2', D=0.5', SS=4:1

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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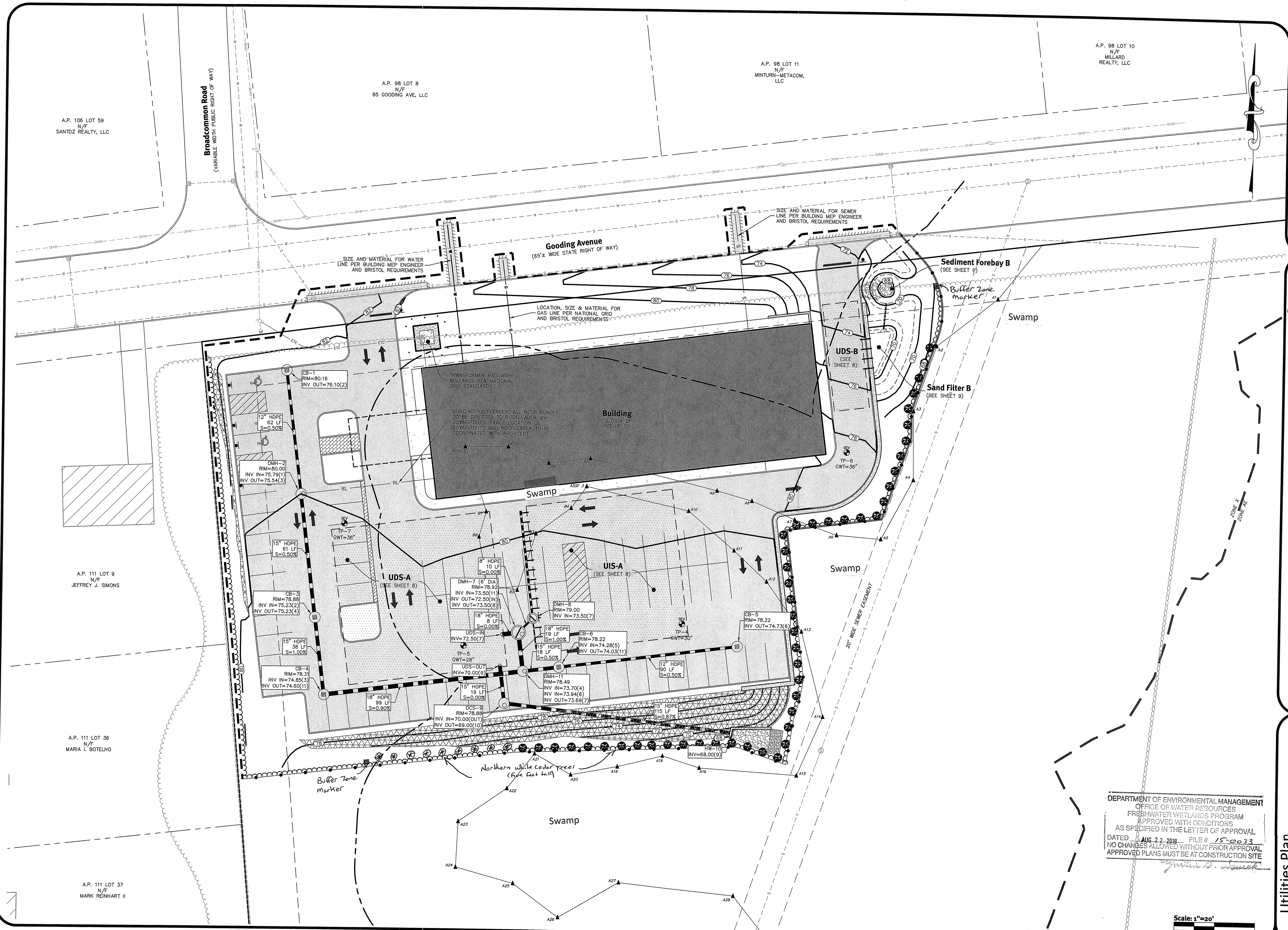
DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By	Check
1	05/13/2018	80% Final Submission	KJD	
2	06/01/2018	80% Final Submission	KJD	
3	06/01/2018	80% Final Submission	KJD	
4	06/01/2018	80% Final Submission	KJD	
5	06/01/2018	80% Final Submission	KJD	
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100	06/01/2018	80% Final Submission	KJD	

Grading Plan
Gooding Avenue Development
AP 111 Lots 1-37
Bristol, Rhode Island
Town of Bristol
Kendall, LLC.
613 Aquinneck Avenue, Middletown, Rhode Island 02842
tel 401-866-5496
DE Job No: 2356-001. Copyright 2018 by DiPrete Engineering Associates, Inc.



A.P. 106 LOT 59
N/F
SANTOZ REALTY, LLC

A.P. 98 LOT 8
N/F
85 GOODING AVE, LLC

A.P. 98 LOT 11
N/F
MINTURN-METACOM, LLC

A.P. 98 LOT 10
N/F
MILLARD REALTY, LLC

A.P. 111 LOT 9
N/F
JEFFREY J. SIMONS

A.P. 111 LOT 36
N/F
MARIA I. BOTELHO

A.P. 111 LOT 37
N/F
MARK REINHART II

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Scale: 1"=20'
0 10' 20' 40'

Utilities Plan
Gooding Avenue Development

AP 111 LOT 36
Bristol, Rhode Island
Kendall, LLC
613 Aquidneck Avenue, Middletown, Rhode Island 02842
tel. 401-846-3486

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

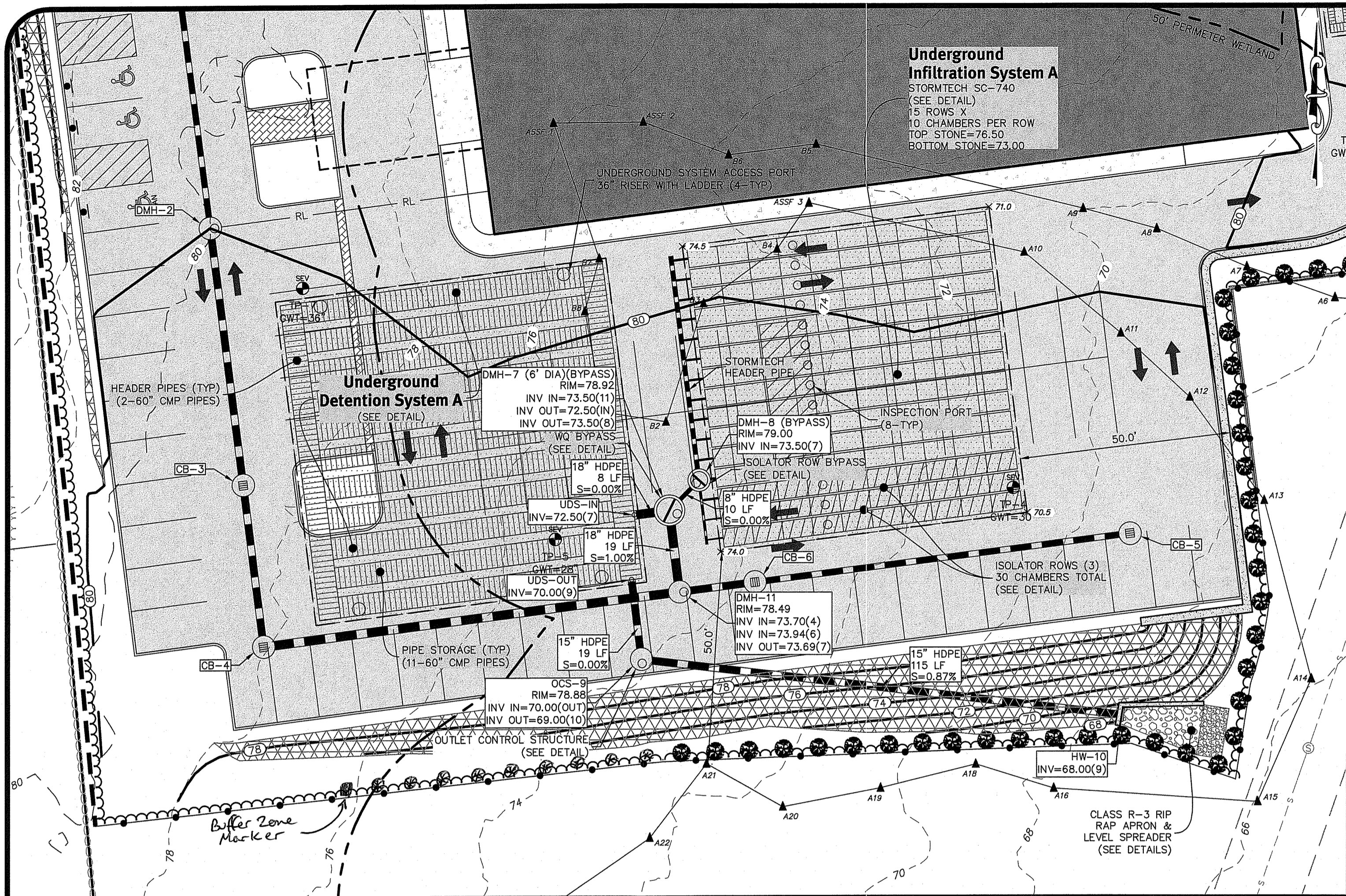
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No.	Date	Description	By
1	5/11/2018	DESIGN SUBMISSION	K.J.D.
2	5/22/2018	DESIGN SUBMISSION	K.J.D.
3	6/14/2018	DESIGN SUBMISSION	K.J.D.
4	7/12/2017	DESIGN SUBMISSION	K.J.D.

Diprete Engineering
Two Stafford Court Cranston, RI 02920
Tel. 401-943-1000 Fax. 401-943-6006 www.diprete-eng.com

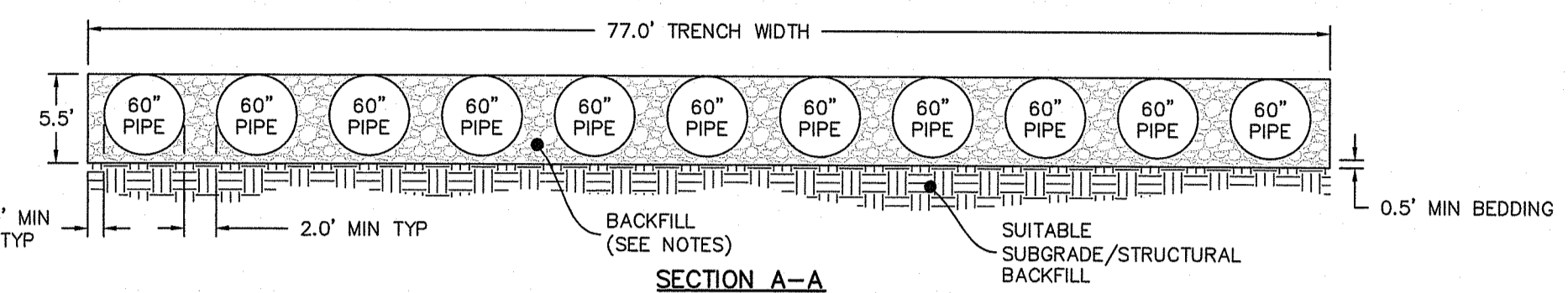
Boston Providence NE



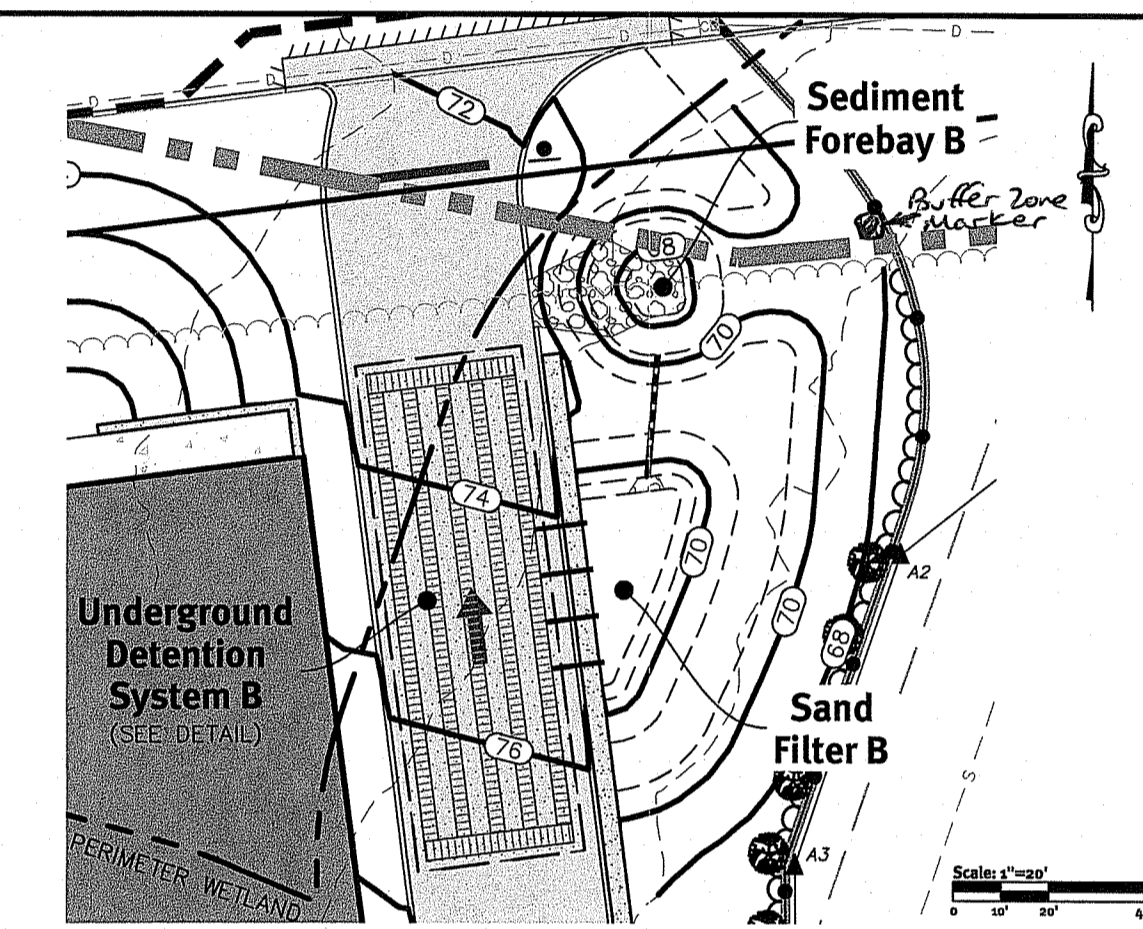
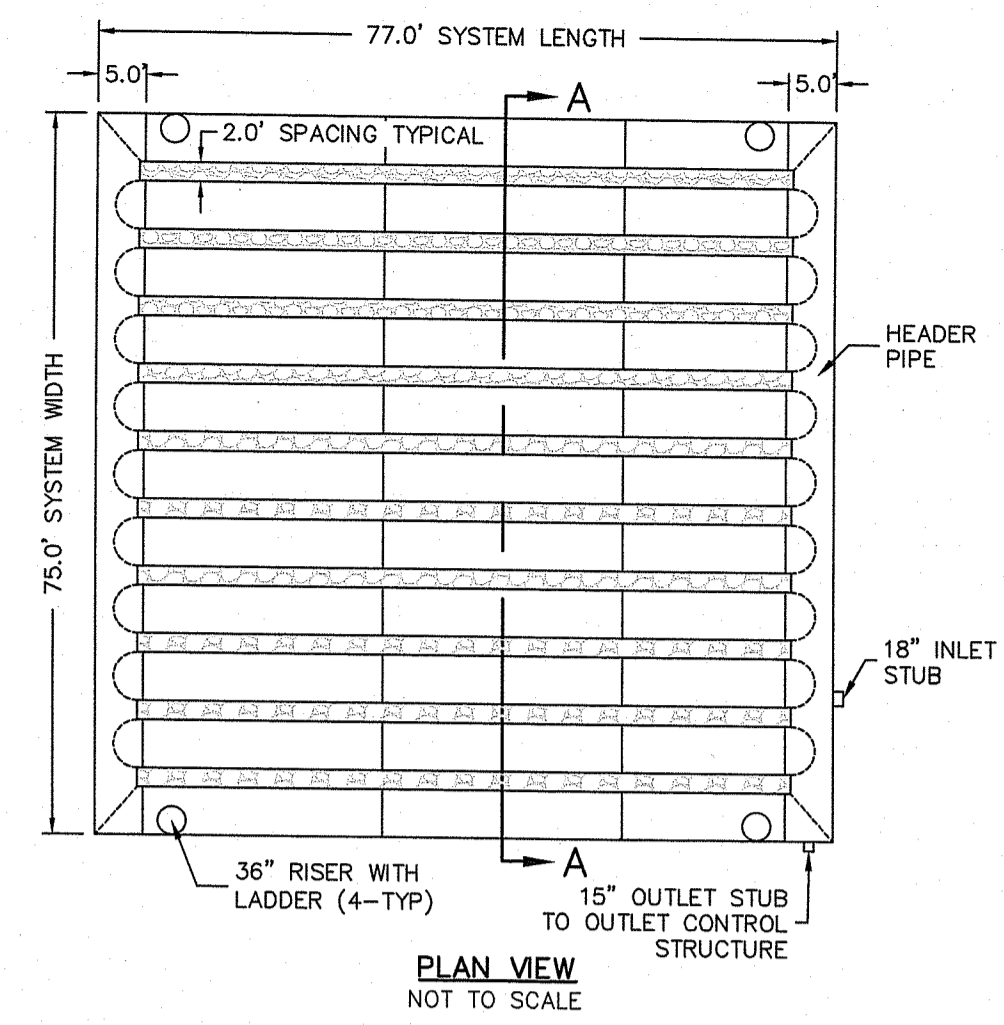
NOTES:

- STRUCTURAL BACKFILL MATERIAL:** SELECT MATERIALS SUCH AS BANK RUN GRAVEL OR OTHER PROCESSED GRANULAR MATERIALS LESS THAN 3 IN. MAXIMUM WITH EXCELLENT STRUCTURE CHARACTERISTICS ARE PREFERRED. CONTRACTOR TO PROVIDE SIEVE ANALYSIS OF BACKFILL MATERIAL TO DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- STRUCTURAL BACKFILL PLACEMENT:** STRUCTURAL BACKFILL SHALL BE PLACED IN LAYERS FROM 6 TO 12 IN. IN DEPTH DEPENDING ON THE TYPE OF MATERIAL AND COMPACTION EQUIPMENT OR METHOD. EACH LAYER OR "LIFT" SHALL BE COMPACTED TO 95% PROCTOR DENSITY BEFORE ADDING THE NEXT.
- PIPE SHALL BE HDPE OR ALUMINIZED TYPE 2. ALL PIPE MUST BE WATER TIGHT. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- HEADER PIPE CAN BE CUSTOM MANUFACTURED OR CONSTRUCTED USING PIPE FITTINGS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

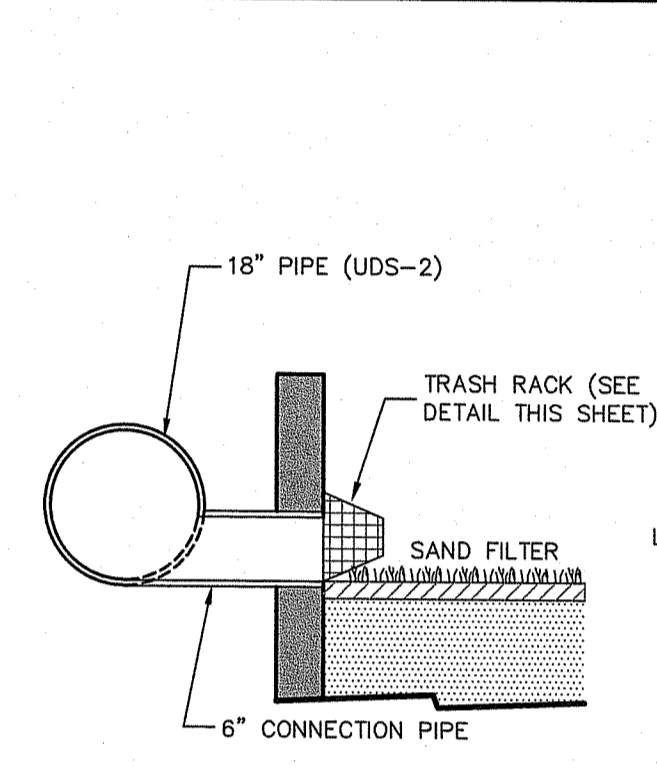
DESCRIPTION	UDS-A	UDS-B
TOP OF UDS STONE ELEVATION	75.00	70.50
BOTTOM OF UDS STONE ELEVATION	69.50	68.50
100 YEAR STORM ELEVATION	74.37	70.23
10 YEAR STORM ELEVATION	71.78	70.15
1 YEAR STORM ELEVATION	70.51	70.04
SEASONAL HIGH GWT ELEVATION	73.50	66.00
SOIL EVALUATION	TP-5	TP-6



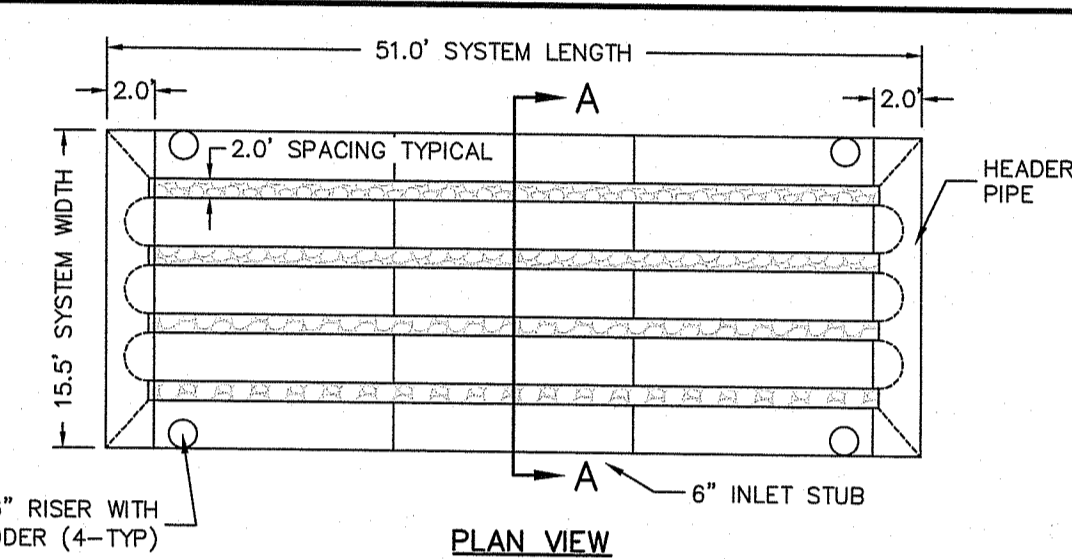
Underground Detention System A
NOT TO SCALE



Underground Detention System B (UDS-B)



TYPICAL SAND FILTER UDS-B CONNECTION
NOT TO SCALE

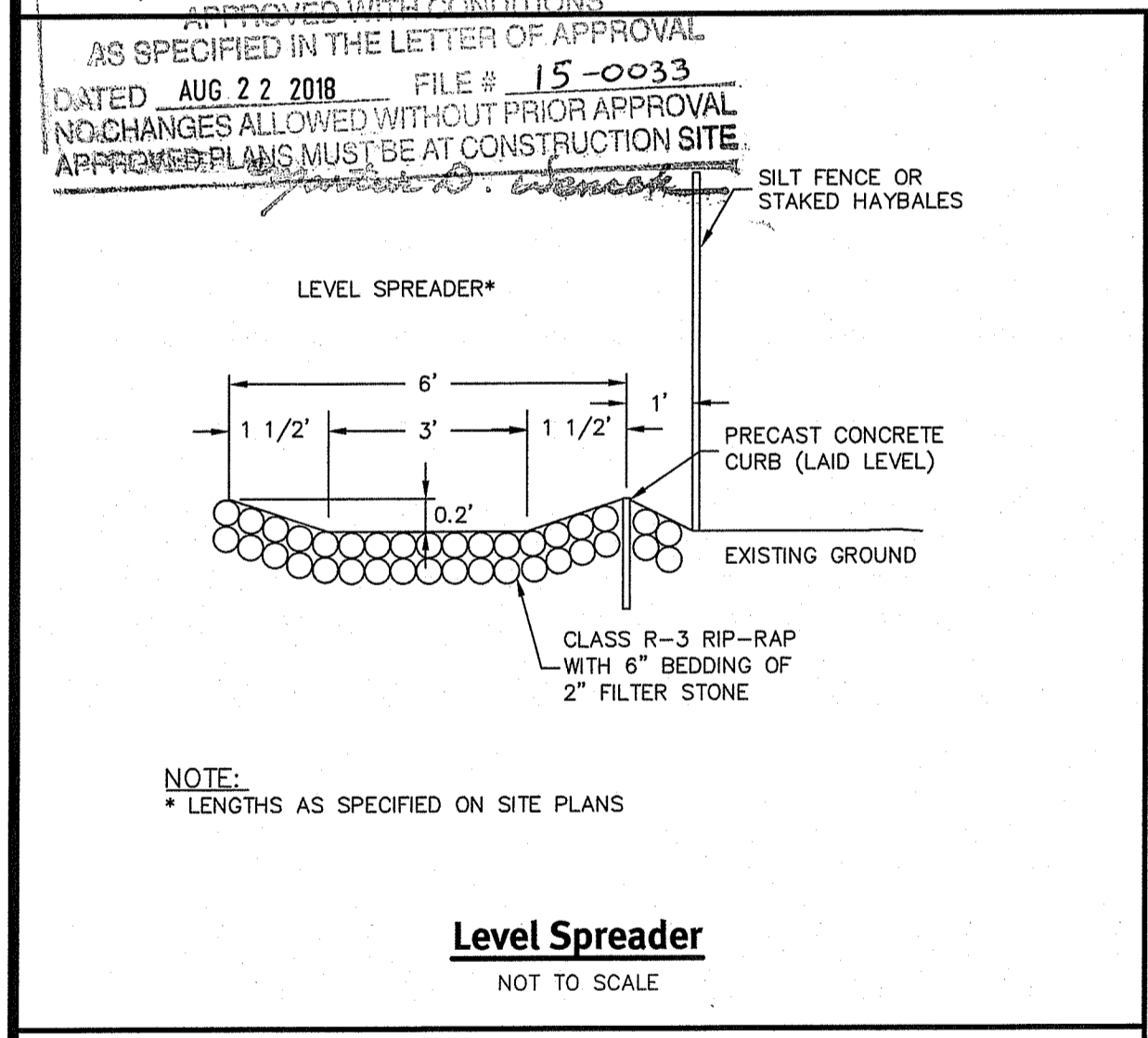


Underground Detention System B
NOT TO SCALE

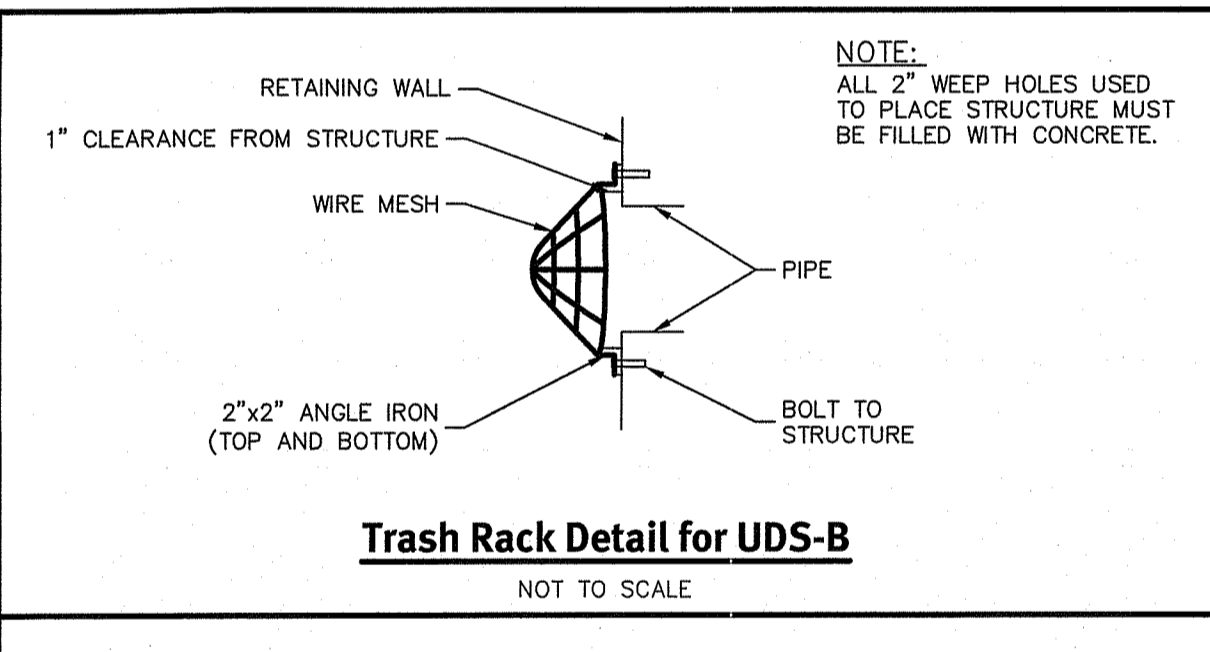
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS

Underground Infiltration/Detention System A (UIS-A & UDS-A)

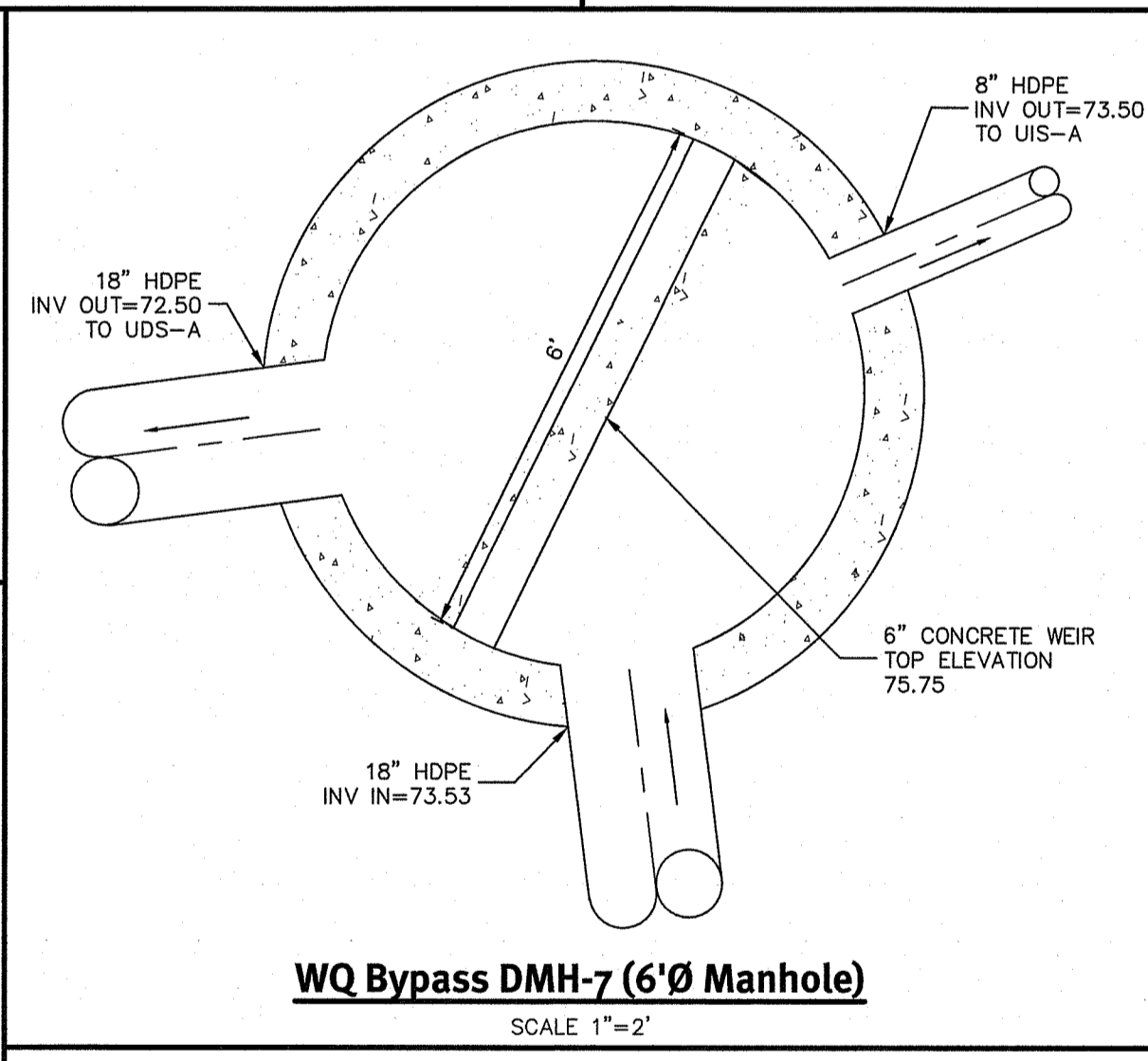
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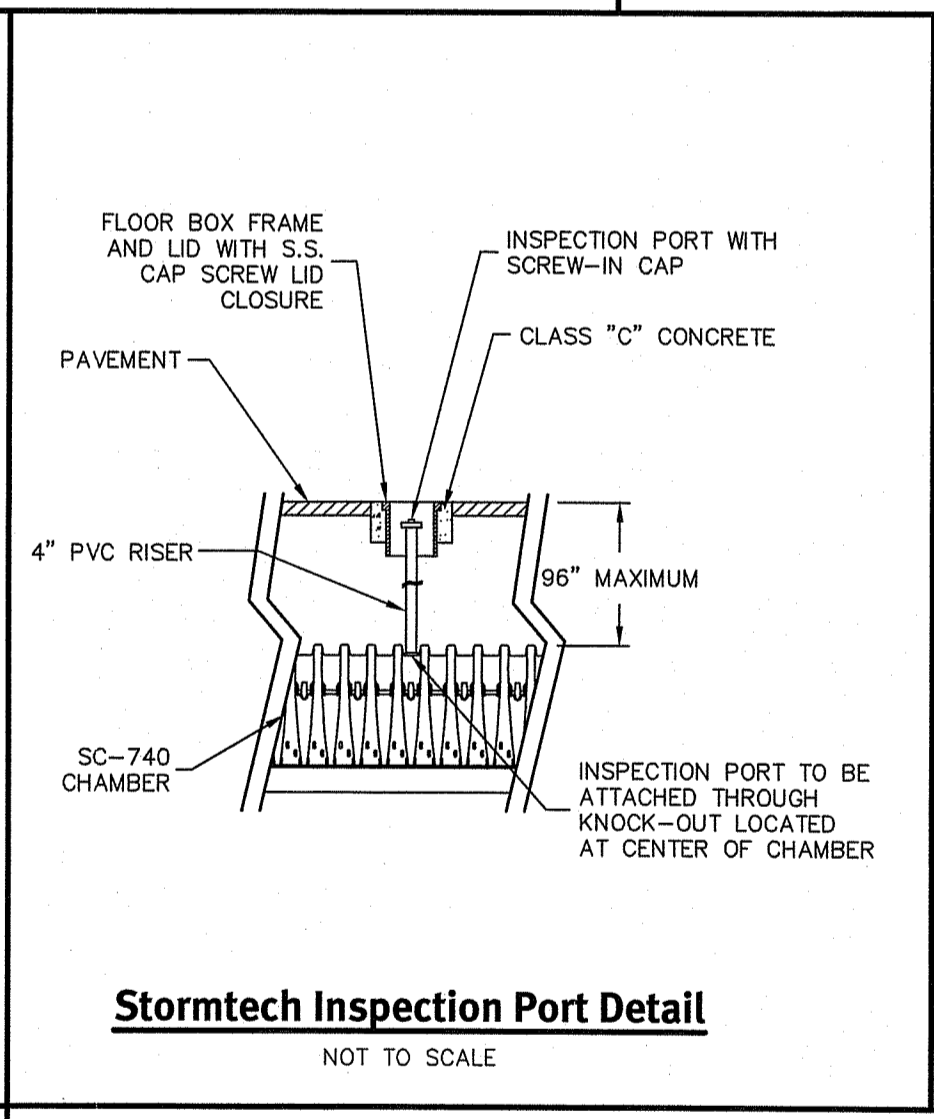
Level Spreader
NOT TO SCALE



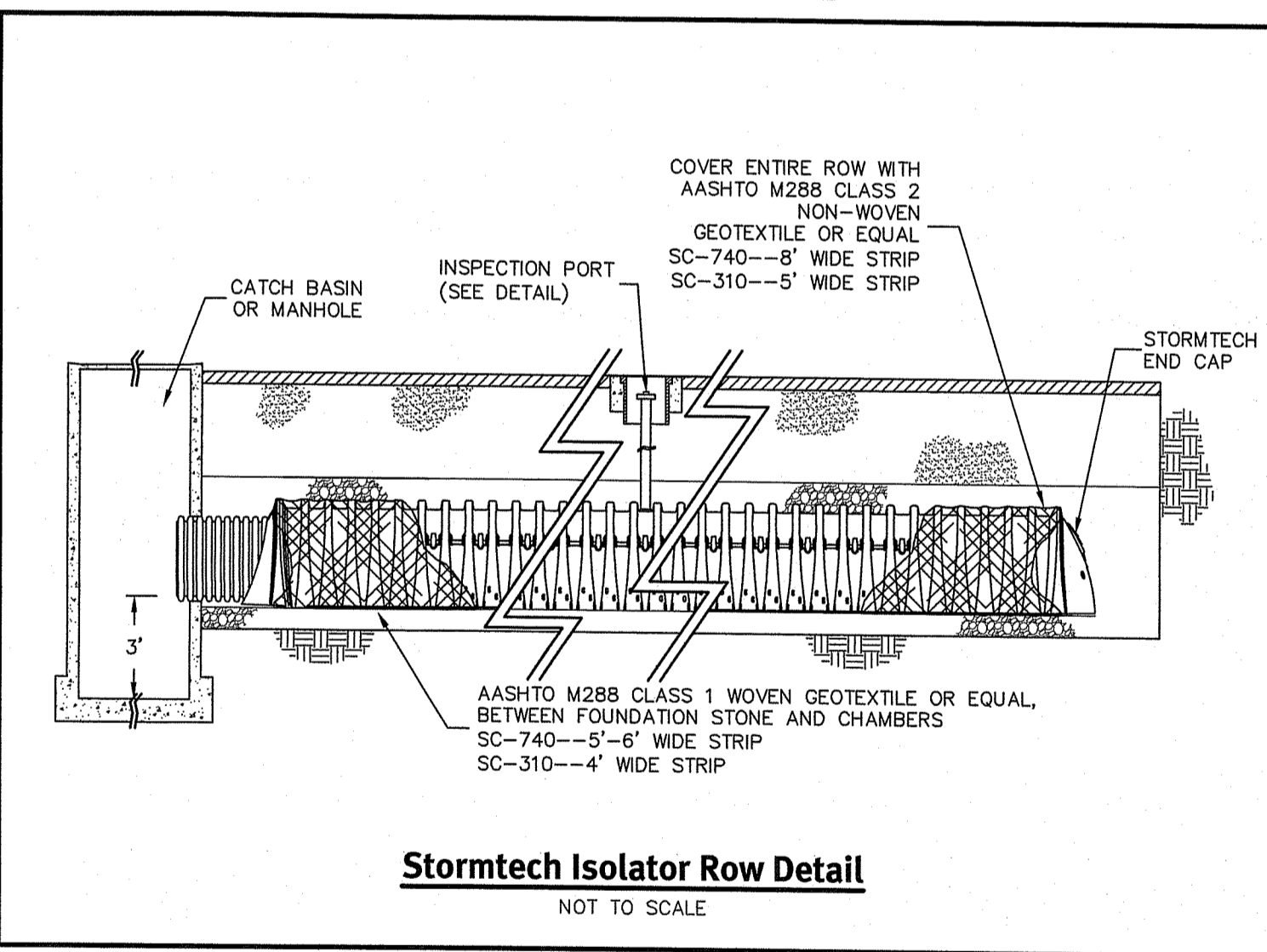
Trash Rack Detail for UDS-B
NOT TO SCALE



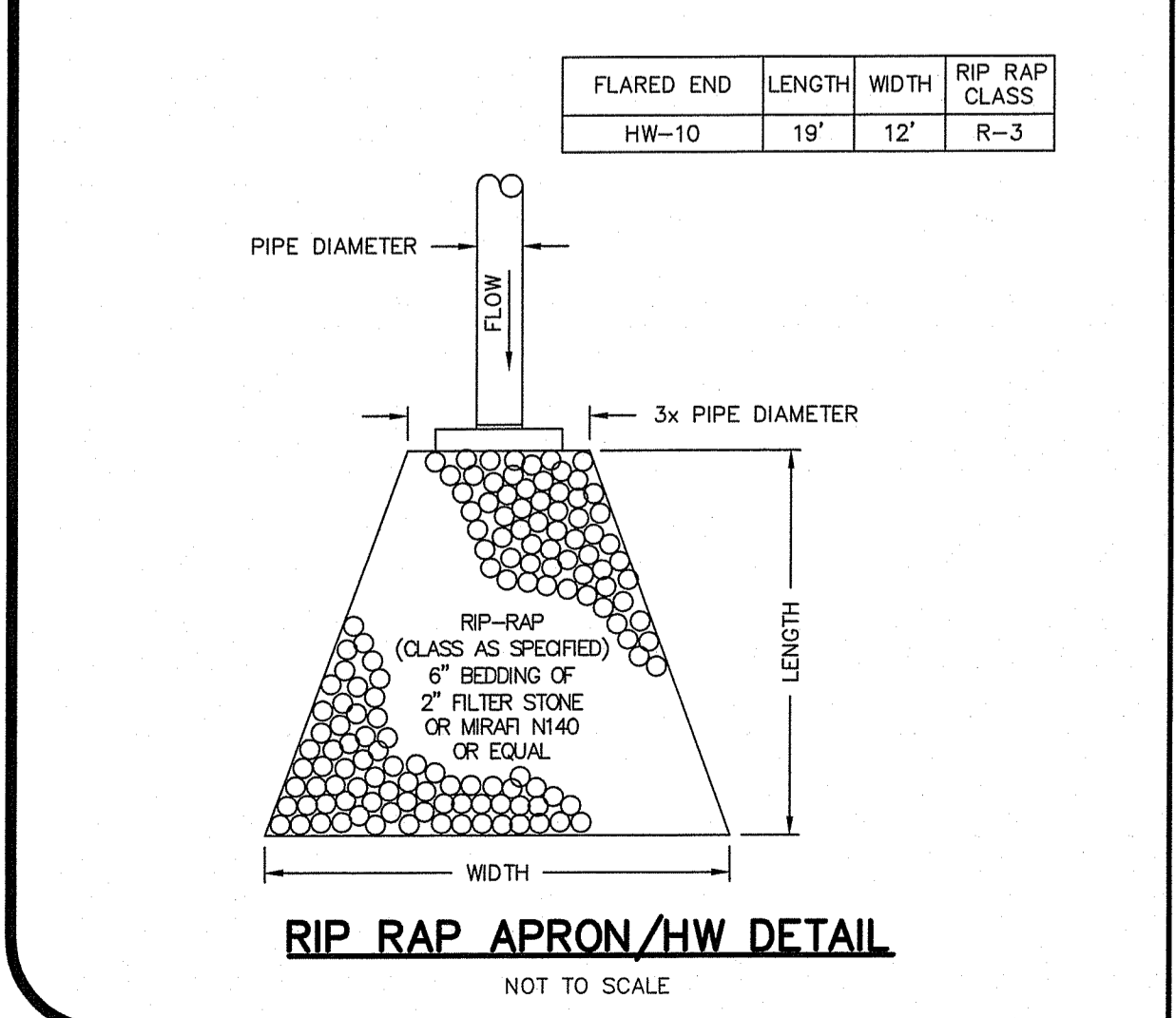
WQ Bypass DMH-7 (6\"/>



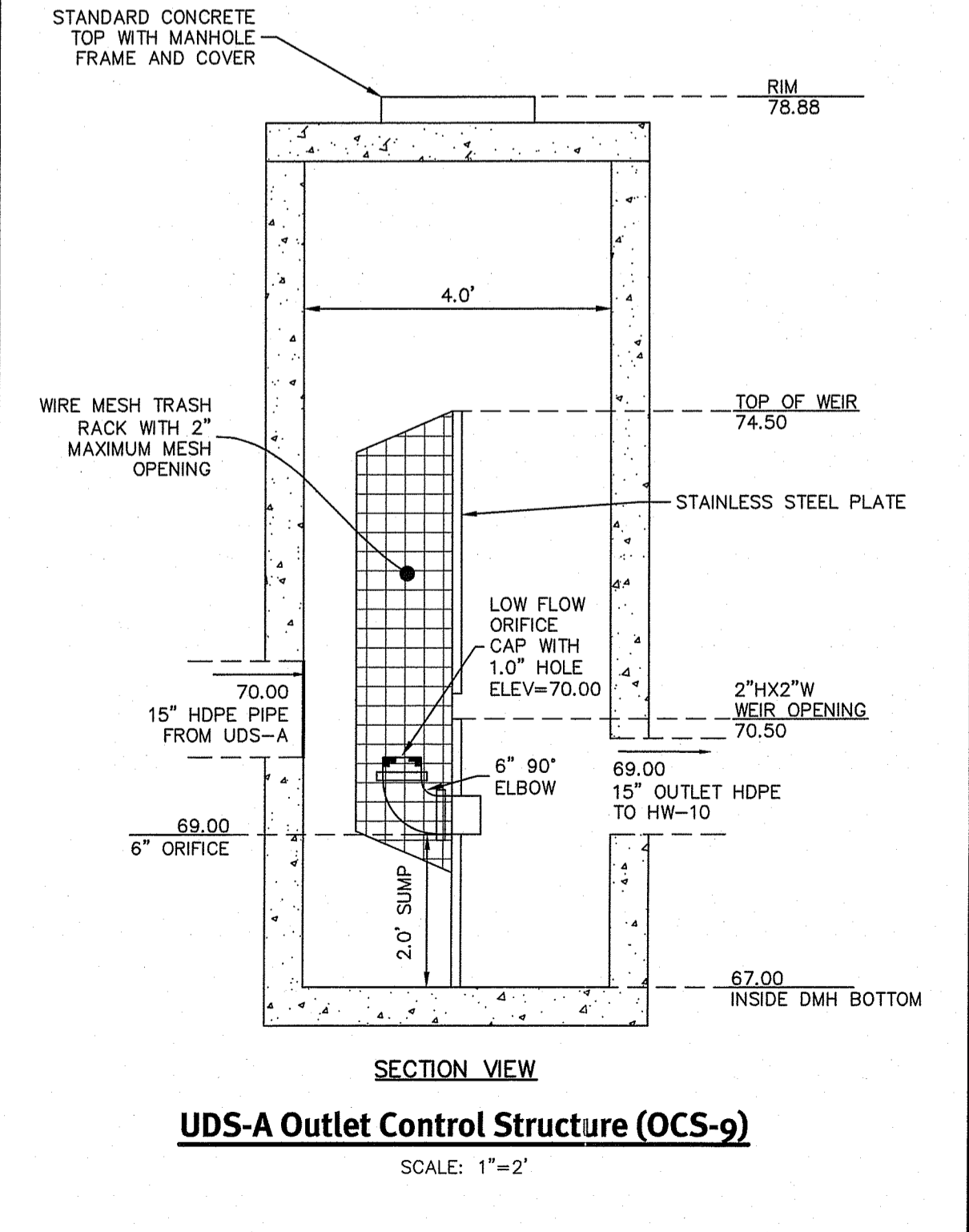
Stormtech Inspection Port Detail
NOT TO SCALE



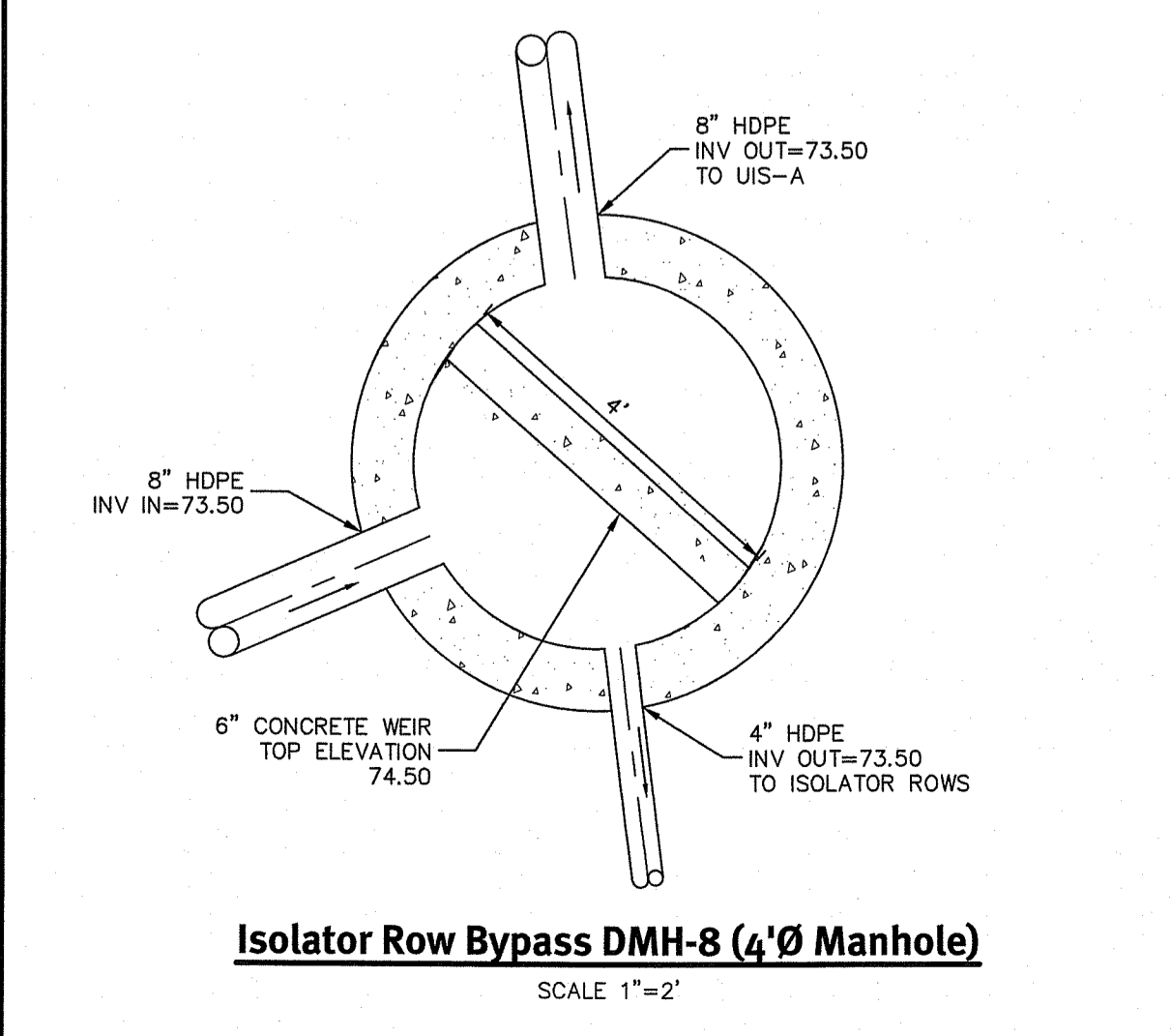
Stormtech Isolator Row Detail
NOT TO SCALE



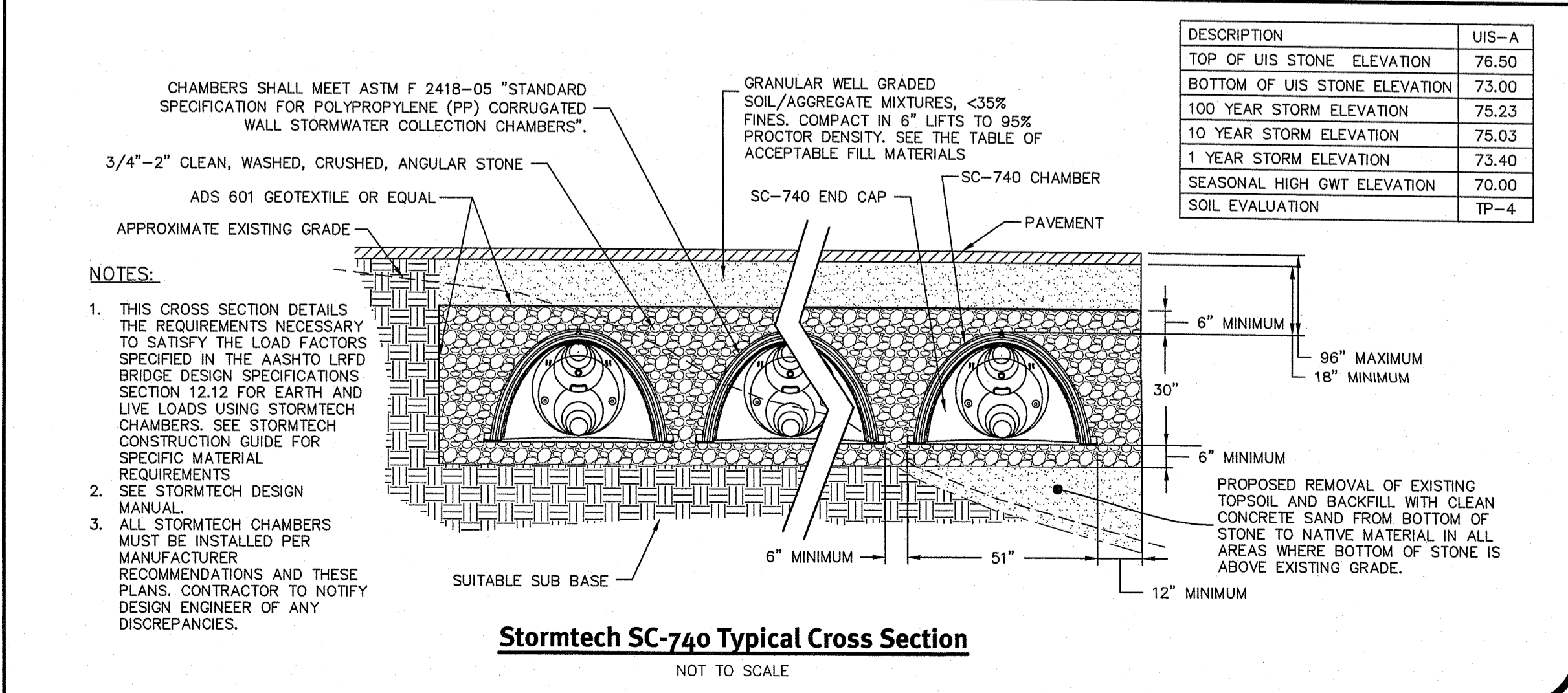
RIP RAP APRON/HW DETAIL
NOT TO SCALE



UDS-A Outlet Control Structure (OCS-9)
SCALE: 1"=2'



Isolator Row Bypass DMH-8 (4\"/>



Stormtech SC-740 Typical Cross Section
NOT TO SCALE

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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No.	Date	Description	By	Design By: K.J.D.
1	05/12/2018	REVISION	K.J.D.	
2	05/22/2018	REVISION	K.J.D.	
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100	05/22/2018	REVISION	K.J.D.	

Underground Systems A & B Details
Gooding Avenue Development

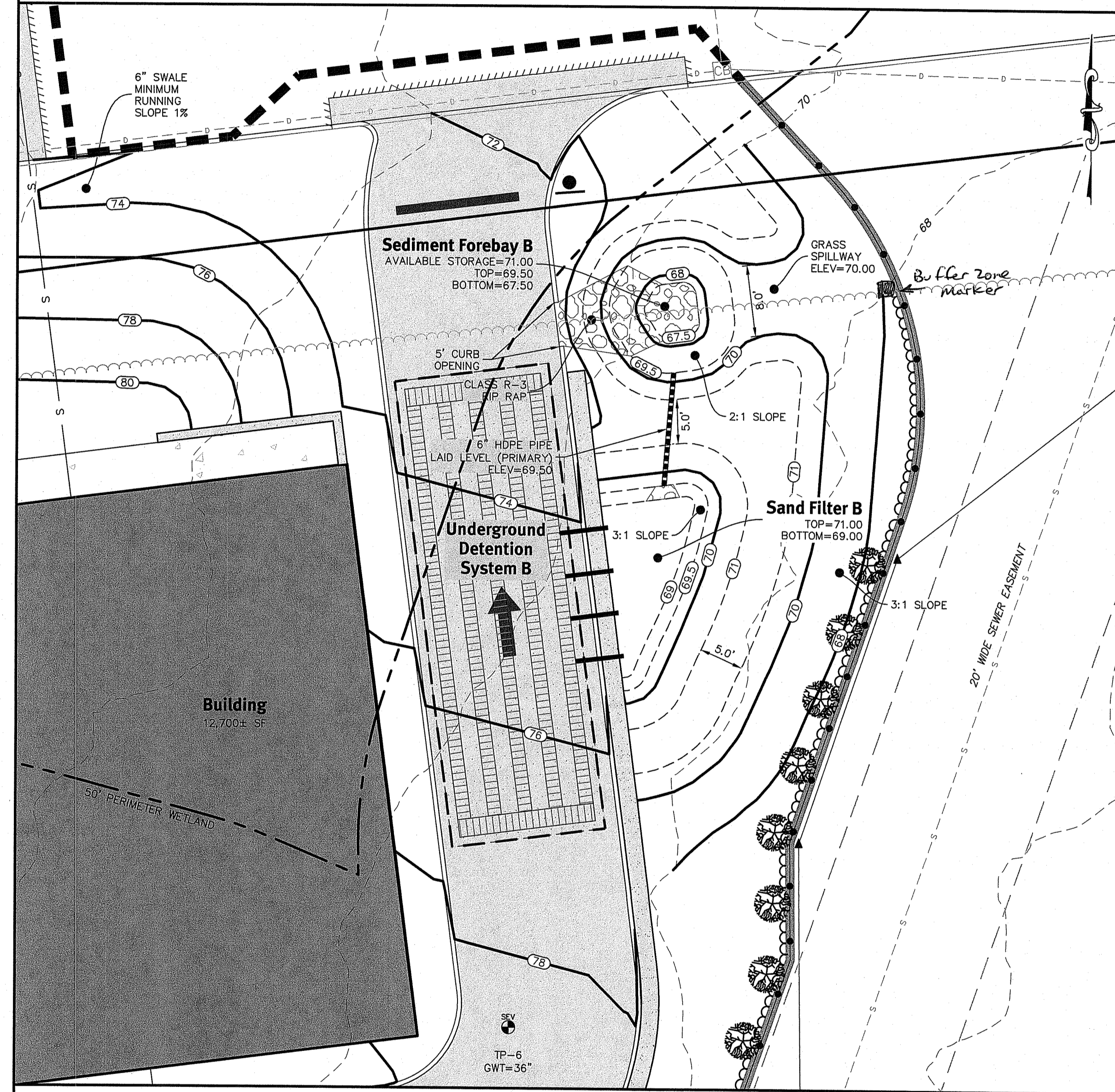
AP-111 Lot 1
Disc:1, Rhode Island
Applicant
Kandau, LLC.
613 Aquidneck Avenue, Middletown, Rhode Island 02842
tel:401-846-3486

DE Job No: 2536-001. Copyright 2018 by DiPrete Engineering Associates, Inc.

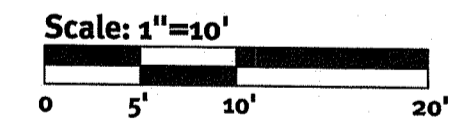
SHEET 8 OF 10

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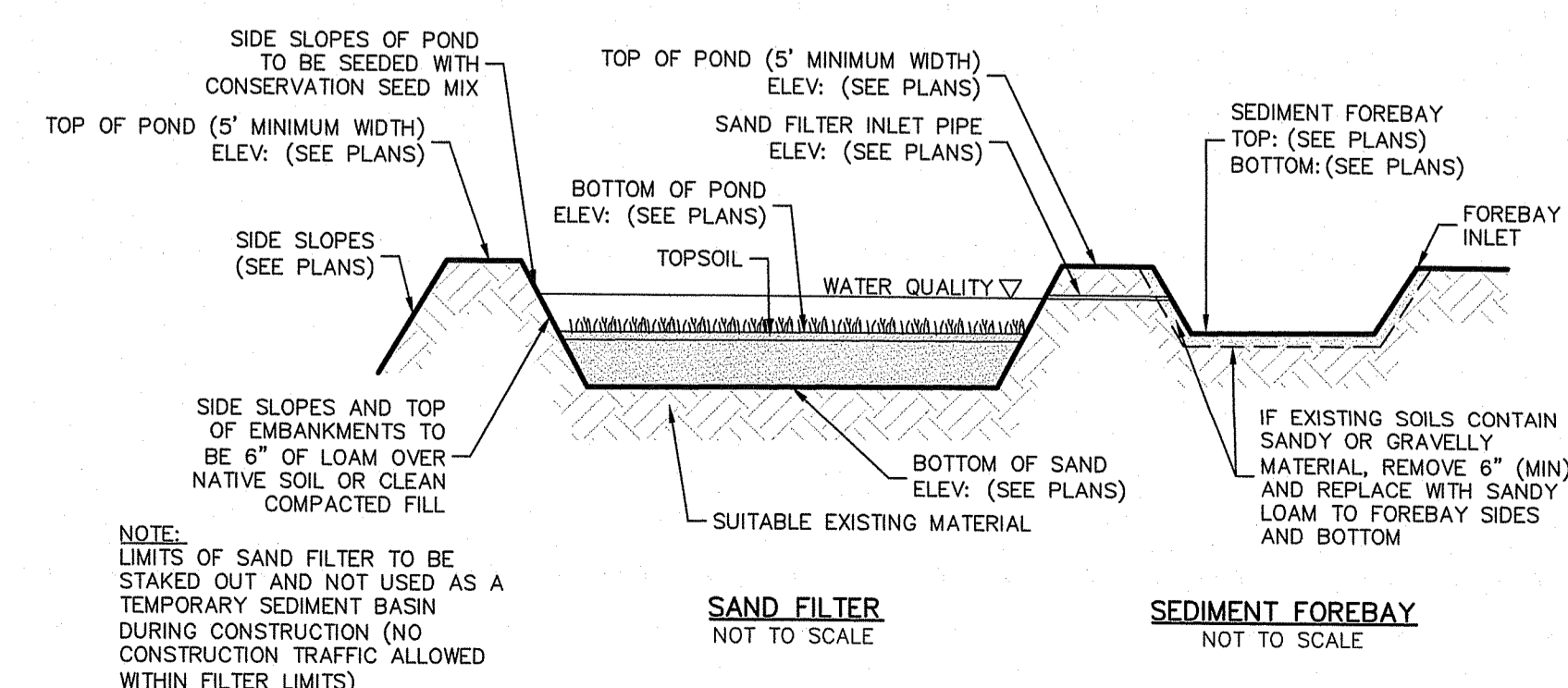
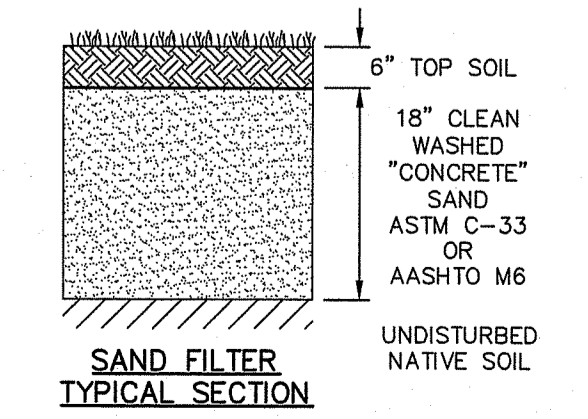
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 22 2018 FILE # 15-0033
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Sand Filter B



DESCRIPTION	SF-A
TOP OF POND ELEVATION	71.00
100 YEAR STORM ELEVATION	70.23
10 YEAR STORM ELEVATION	70.15
1 YEAR STORM ELEVATION	70.04
WQ STORM ELEVATION	70.00
BOTTOM OF POND ELEVATION	69.00
TOP SOIL DEPTH	6"
SAND DEPTH	18"
BOTTOM OF SAND ELEVATION	67.00
SEASONAL HIGH GWT ELEVATION	66.00
SOIL EVALUATION	TH-6



Sand Filter BMP System NOT TO SCALE

DiPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 tel: 401-943-1000 fax: 401-464-6066 www.diprete-eng.com

KEVIN DEMERS

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By:
1	03/28/2017	Design	KL
2	03/28/2018	Design	KL
3	03/28/2018	Design	KL
4	03/28/2018	Design	KL

Drawn By: D.R.N. Design By: K.I.D.

Sand Filter B Details
Gooding Avenue Development
 Applicant: **Kendan, LLC.**
 633 Aquidneck Avenue, Middletown, Rhode Island 02842
 tel: 401-546-3466
 DE Proj No: 2536-001 Copyright 2018 by DiPrete Engineering Associates, Inc.

GENERAL NOTES:

1. THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
2. THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES SHALL NOT EXCEED 1.5:1.
4. THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
6. TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
7. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET.
8. SIDE SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
9. MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
10. FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.

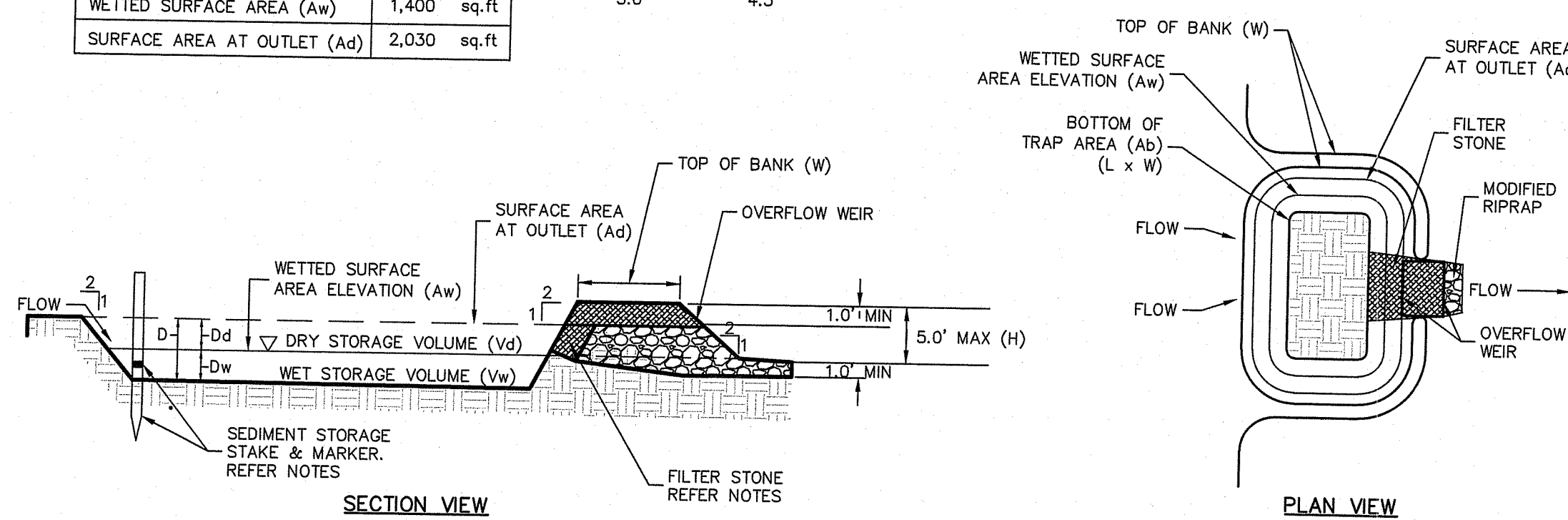
INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

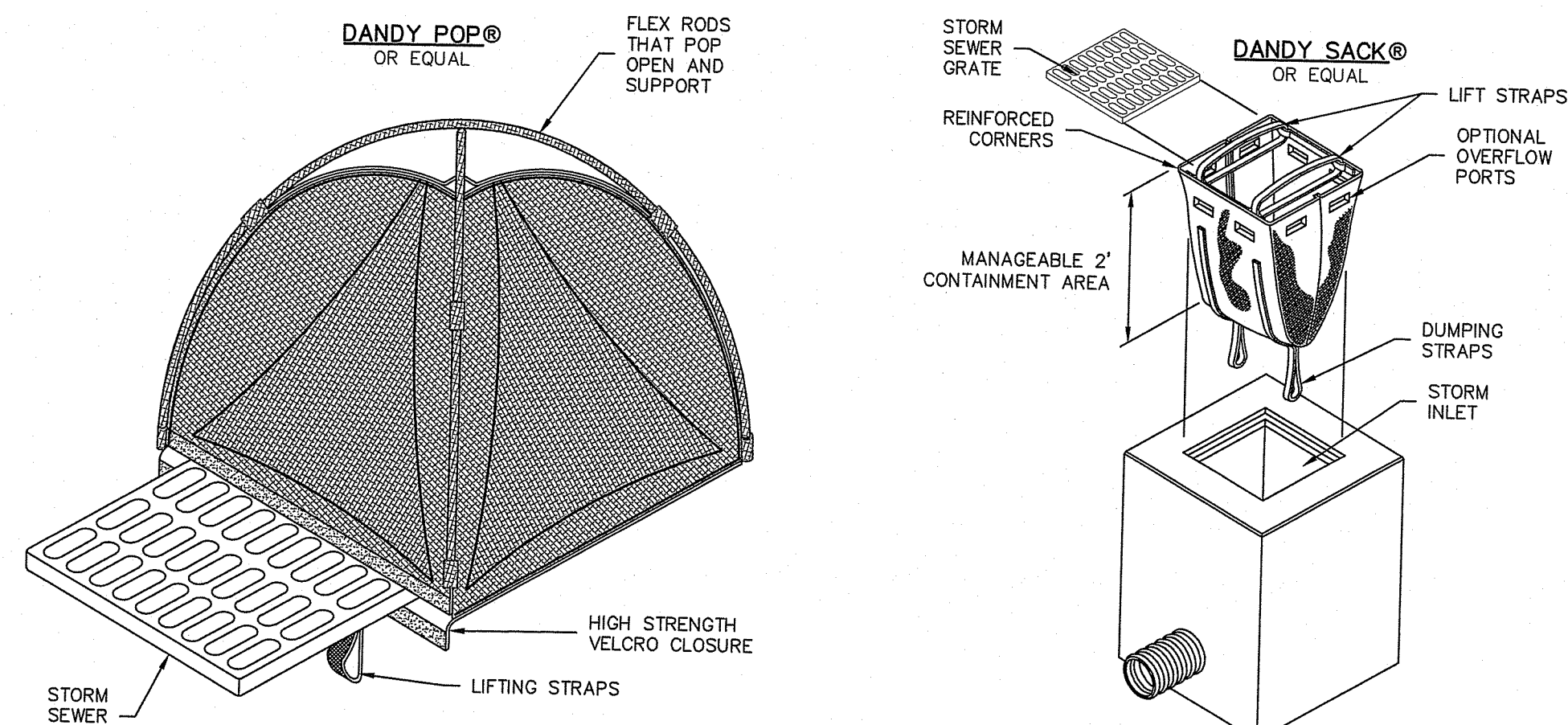
1. CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
5. STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.

SEDIMENT TRAP DIMENSIONS	TRAP 1	TOP WIDTH VS HEIGHT
TRIBUTARY DRAINAGE AREA	1.15 ac	H=HEIGHT OF EMBANKMENT W=TOP WIDTH OF EMBANKMENT
WET STORAGE DEPTH (Dw)	2.00 ft	H (ft) W (ft)
DRY STORAGE DEPTH (Dd)	2.00 ft	1.5 2.0
TOTAL DEPTH (D)	4.00 ft	2.0 2.5
BOTTOM OF TRAP AREA (Ab)	850 sq.ft	2.5 3.0
WETTED SURFACE AREA (Aw)	1,400 sq.ft	3.0 2.5
SURFACE AREA AT OUTLET (Ad)	2,030 sq.ft	3.5 3.0
		4.0 3.0
		4.5 4.0
		5.0 4.5



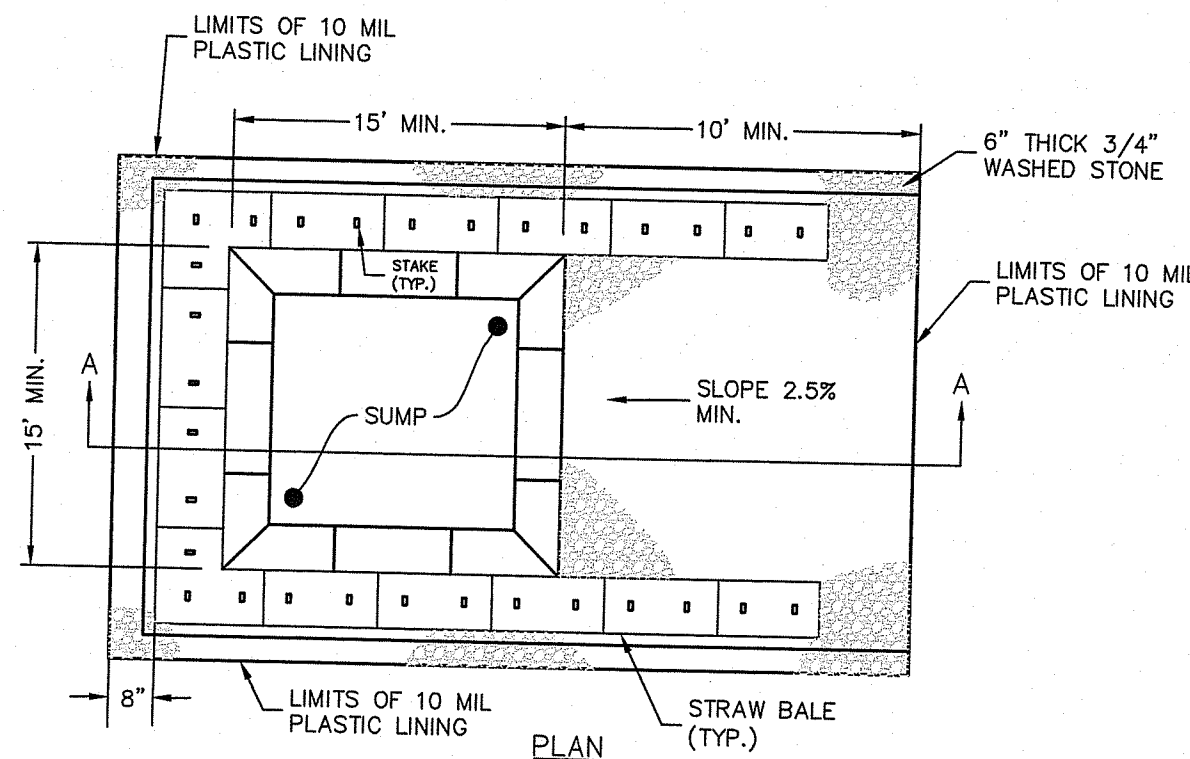
Temporary Sediment Trap Details

NOT TO SCALE



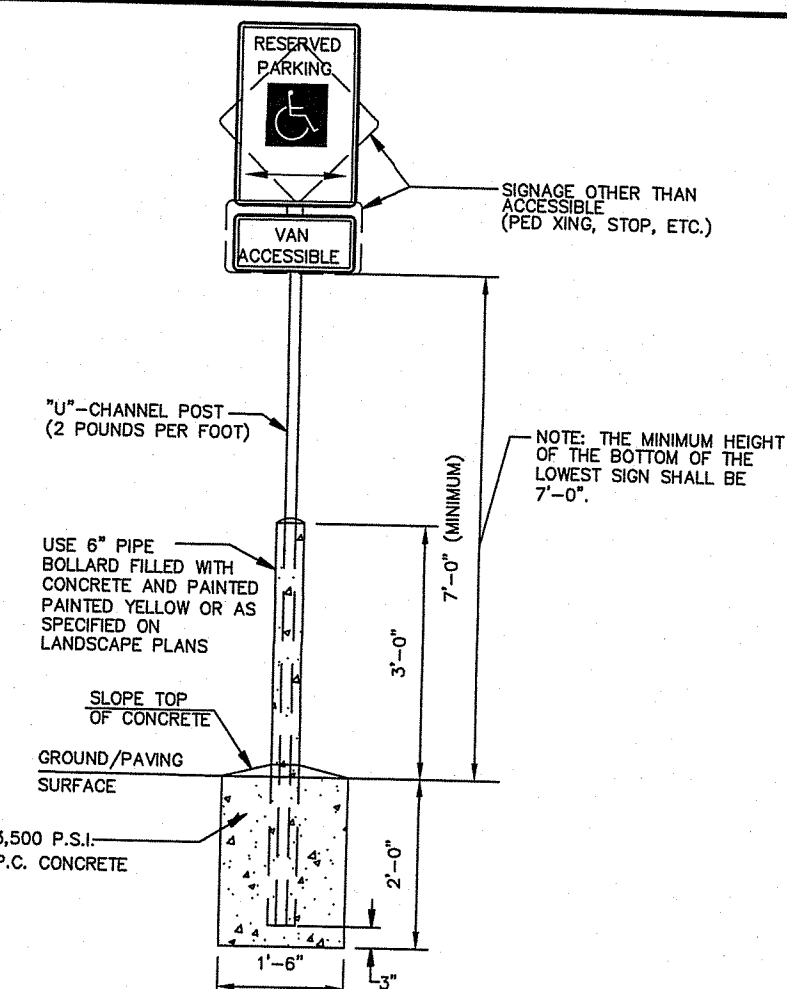
Inlet Sediment Control Devices

NOT TO SCALE



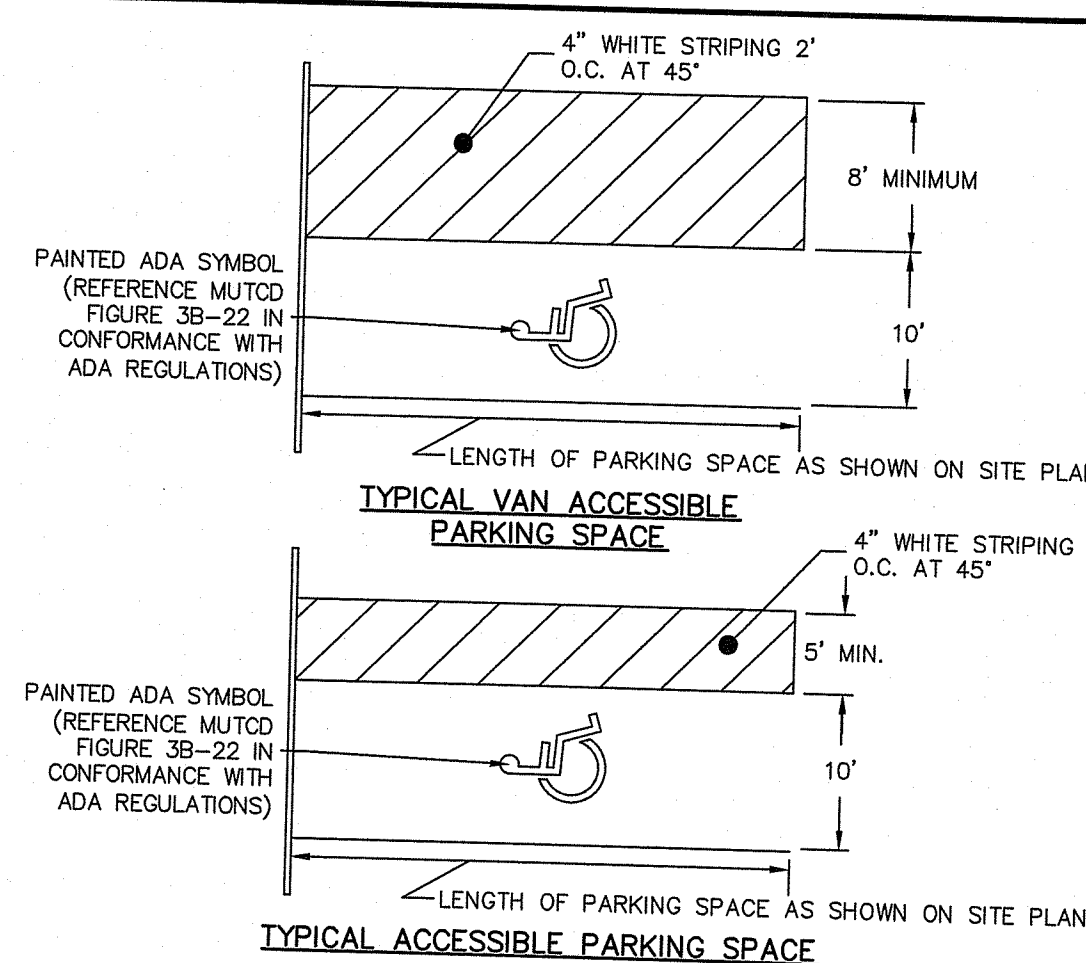
CONCRETE WASHOUT AREA

(NOT TO SCALE)



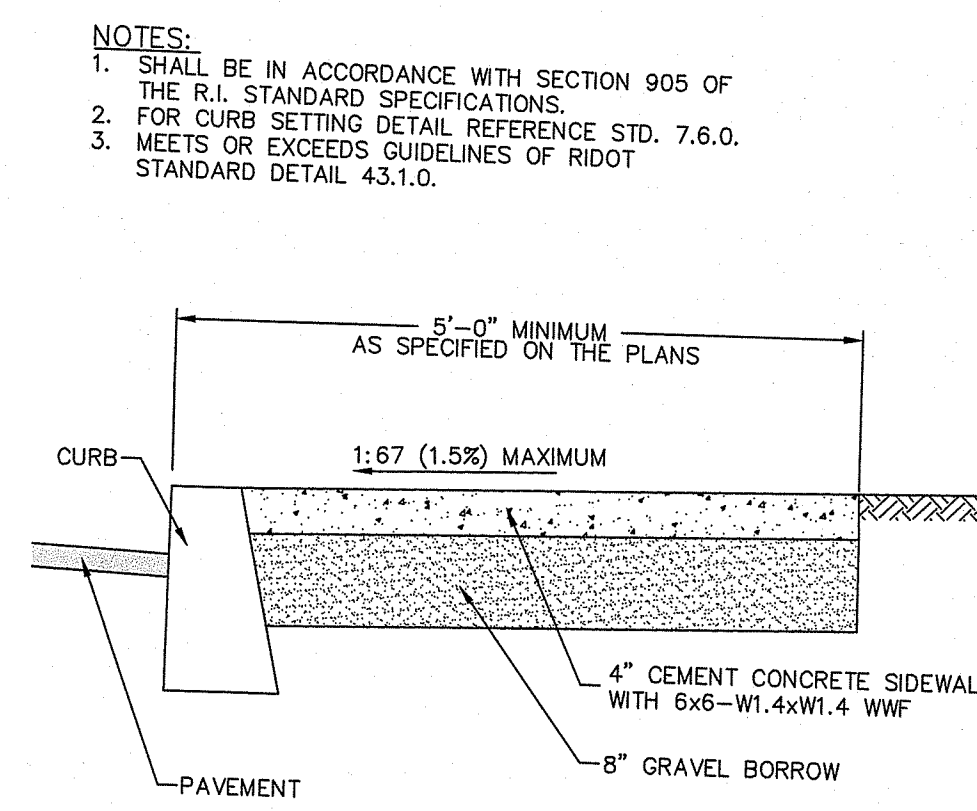
Bollard Mounted Sign Detail

NOT TO SCALE



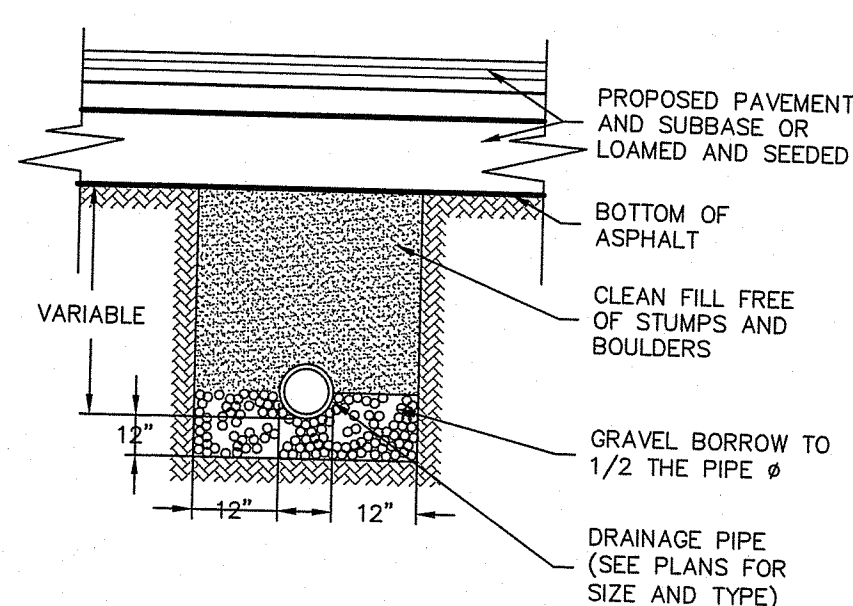
Typical Accessible Parking Spaces

NOT TO SCALE



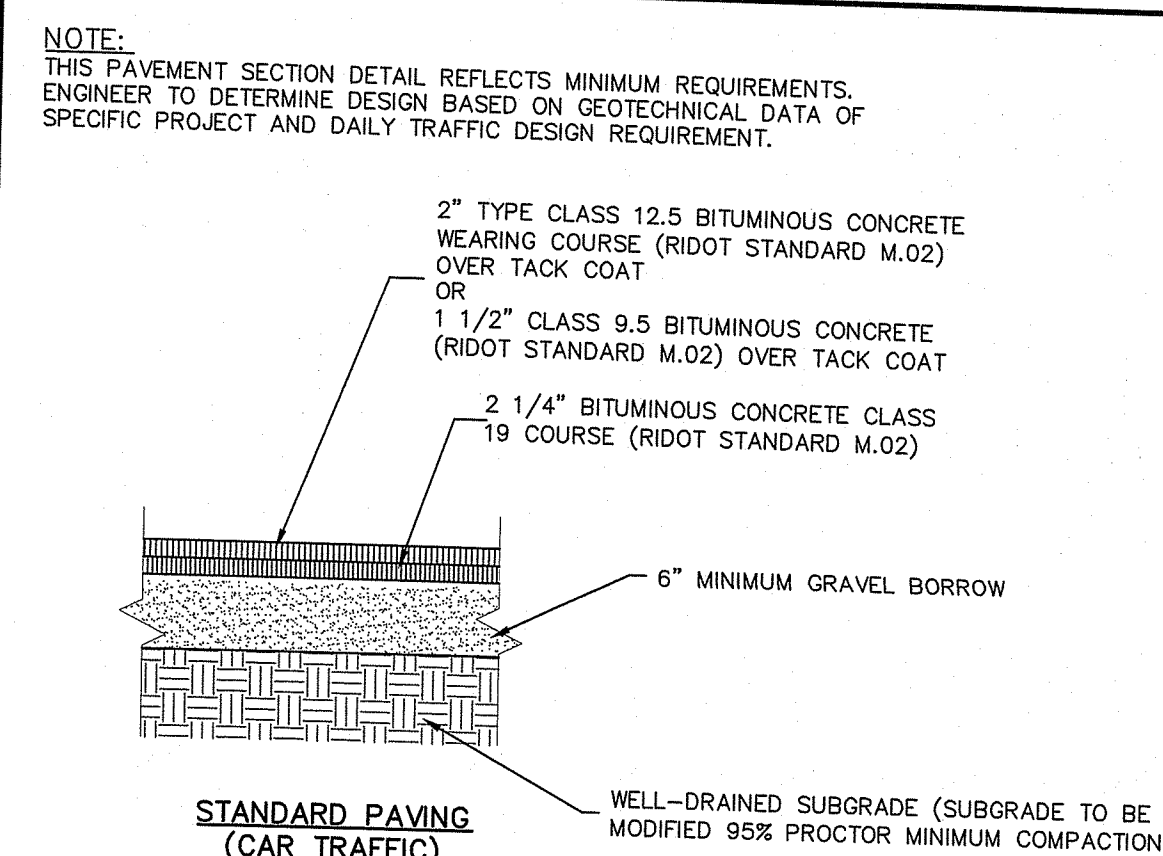
Cement Concrete Sidewalk

NOT TO SCALE



HDPE Trench Detail

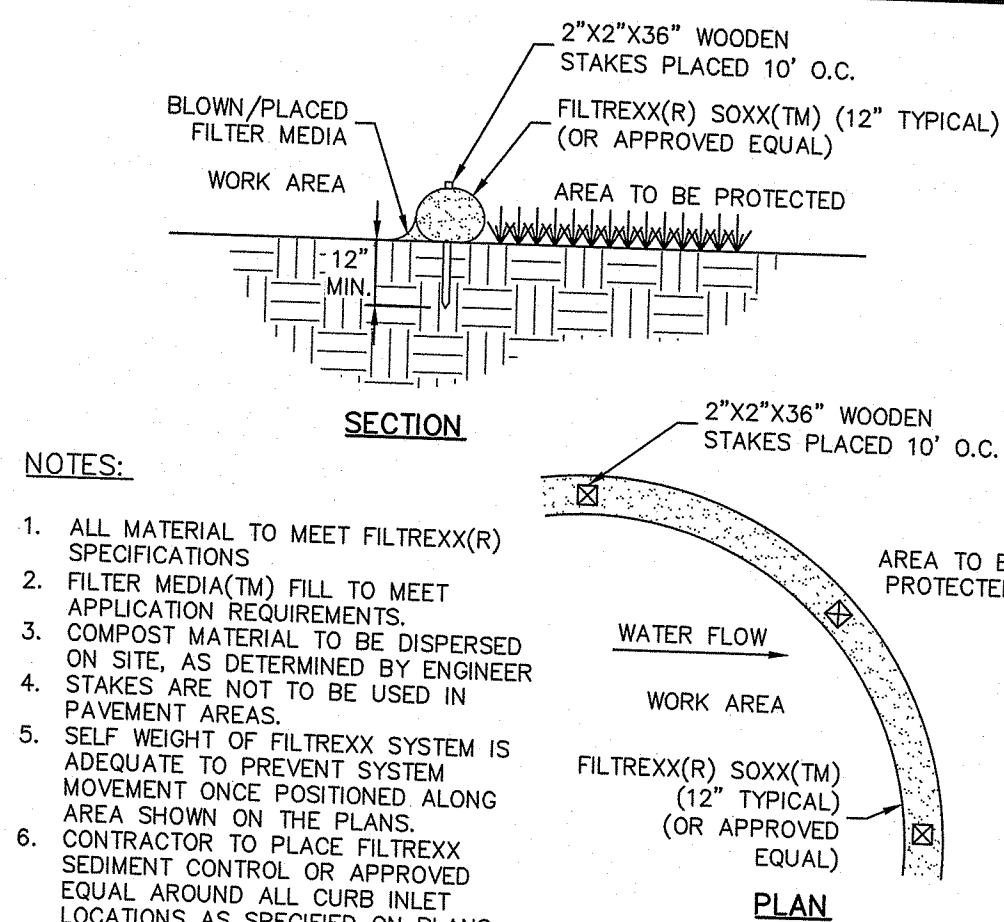
NOT TO SCALE



Typical Pavement Section

NOT TO SCALE

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Filtrexx Sediment Control (or Approved Equal)

NOT TO SCALE

NOTES:

1. ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS
2. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
4. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
5. SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS.
6. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel: (401) 949-1000 fax: (401) 464-6066 www.diprete-eng.com

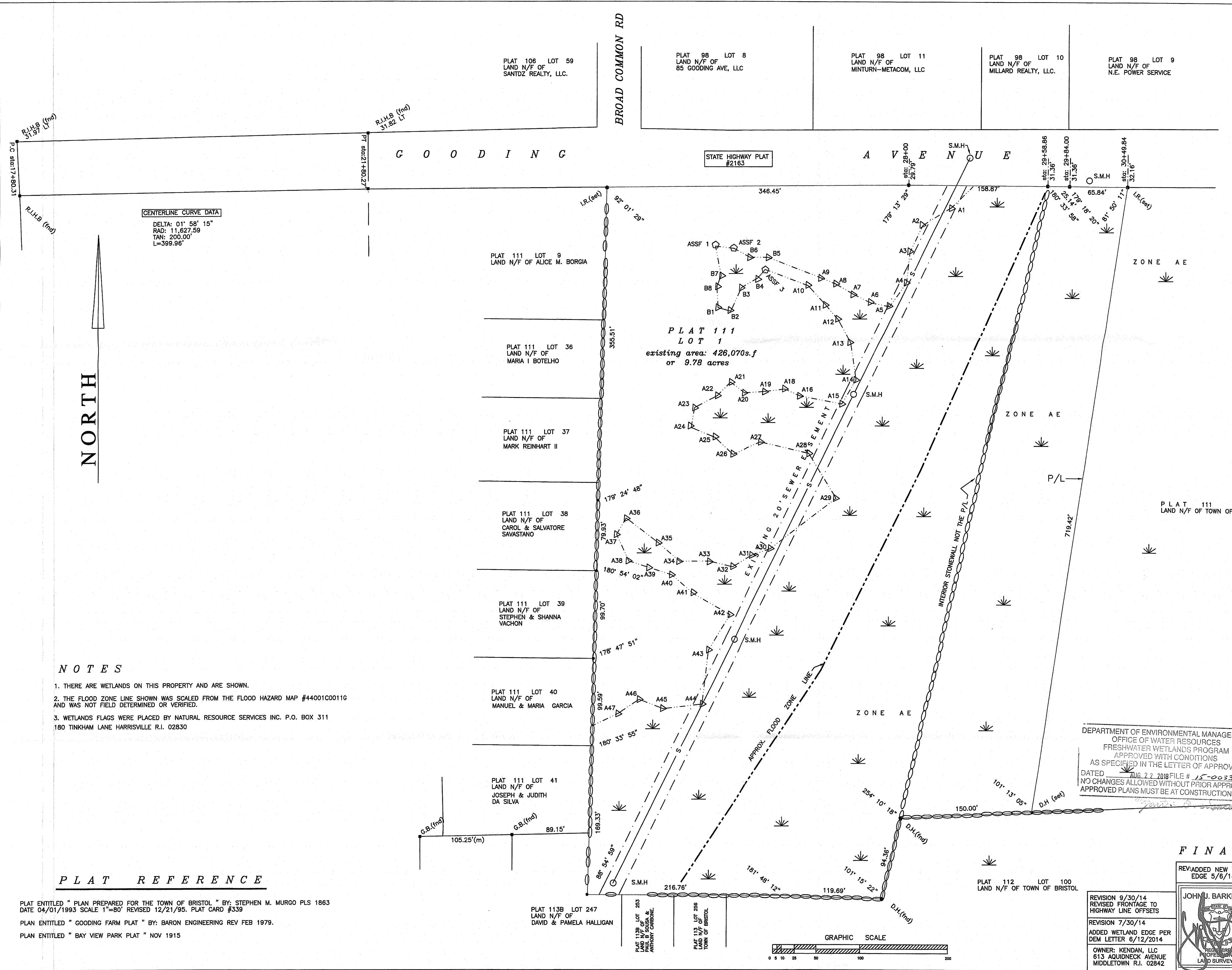
KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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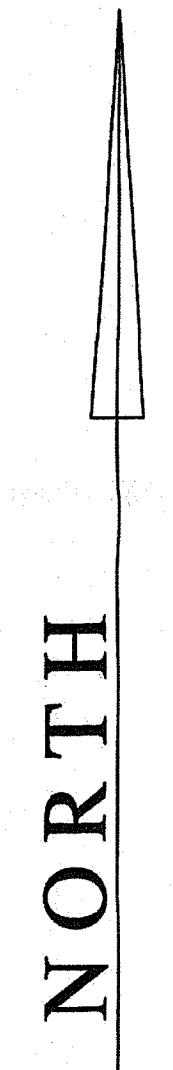
NO.	DATE	DESCRIPTION	BY
1	5-31-2018	RIDOT Resubmission	K.I.D.
2	5-02-2018	RIDOT Resubmission	K.I.D.
3	01-22-2018	RIDOT Resubmission	D.S.N.
4	11-23-2017	RIDOT Resubmission	D.S.N.

Design By: K.I.D.
Drawn By: D.R.N.

Detail Sheet
Gooding Avenue Development
AP 111 Lot 1
Bristol, Rhode Island
Applicant: **Kendall LLC**
613 Aqueduct Avenue, Middletown, Rhode Island 02842
tel: (401) 846-3486



CENTERLINE CURVE DATA
DELTA: 01° 58' 15"
RAD: 11,627.59
TAN: 200.00'
L=399.96'



NOTES

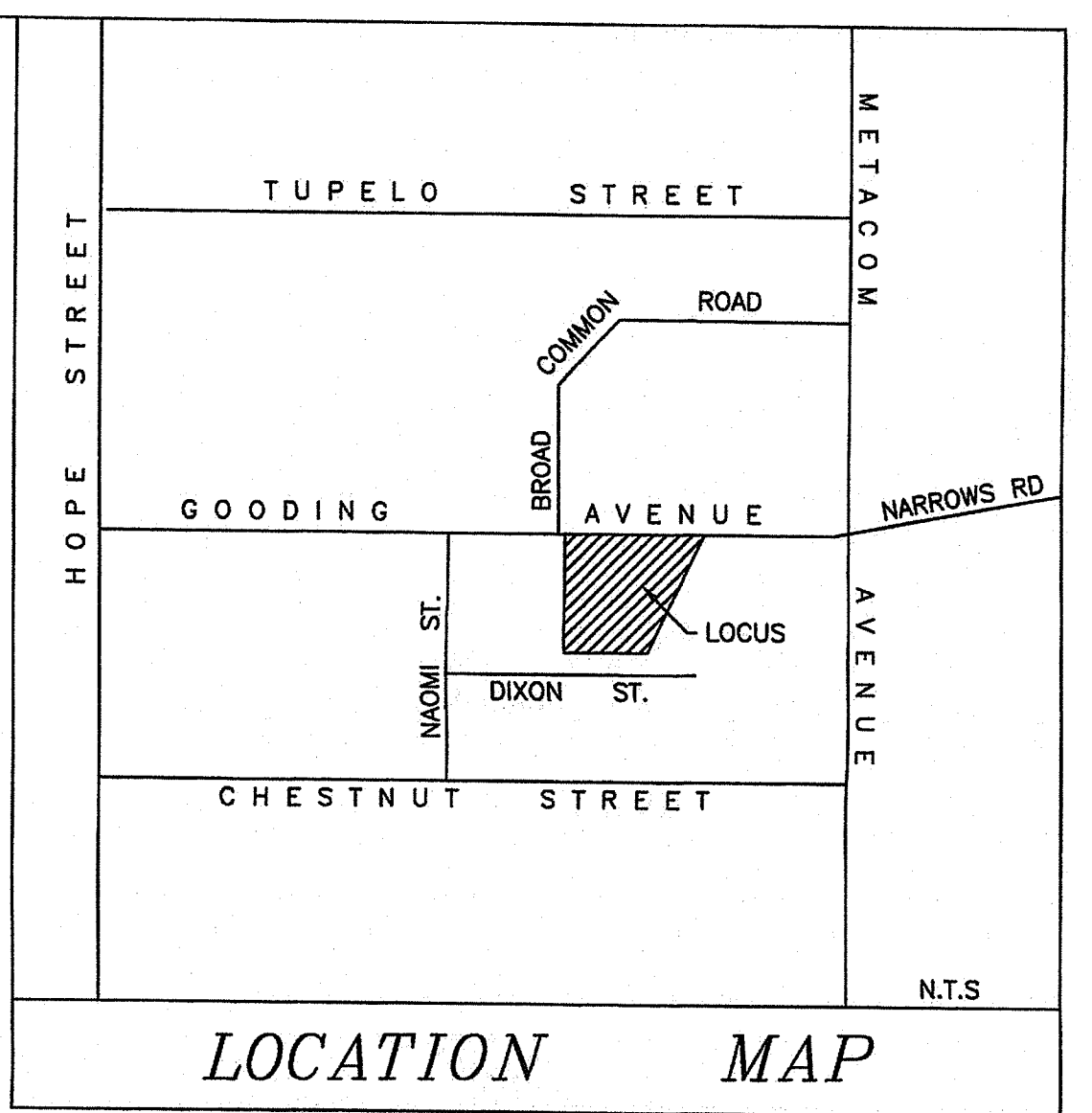
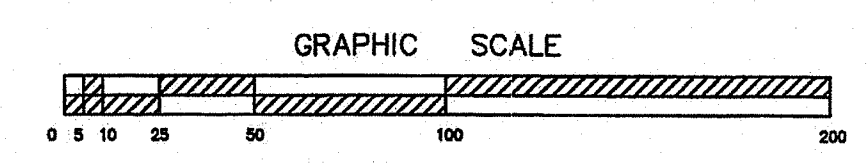
- THERE ARE WETLANDS ON THIS PROPERTY AND ARE SHOWN.
- THE FLOOD ZONE LINE SHOWN WAS SCALED FROM THE FLOOD HAZARD MAP #44001C00116 AND WAS NOT FIELD DETERMINED OR VERIFIED.
- WETLANDS FLAGS WERE PLACED BY NATURAL RESOURCE SERVICES INC. P.O. BOX 311 180 TINKHAM LANE HARRISVILLE R.I. 02830

PLAT REFERENCE

PLAT ENTITLED "PLAN PREPARED FOR THE TOWN OF BRISTOL" BY: STEPHEN M. MURGO PLS 1863
DATE 04/01/1993 SCALE 1"=80' REVISED 12/21/95. PLAT CARD #339

PLAN ENTITLED "GOODING FARM PLAT" BY: BARON ENGINEERING REV FEB 1979.

PLAN ENTITLED "BAY VIEW PARK PLAT" NOV 1915



LEGEND

- I.R. IRON ROD
- G.B. GRANITE BOUND
- R.I.H.B. RHODE ISLAND HIGHWAY BOUND
- S- SEWER LINE
- S.M.H. SEWER MANHOLE
- P/L PROPERTY LINE
- STONEWALL
- WETLAND AREA
- WETLAND FLAG
- (M) MEASURED DISTANCE
- D.H. DRILL HOLE

ZONING

G.B. ZONE
MINIMUM LOT AREA: 10,000 S.F.
MINIMUM LOT WIDTH: 100'
MINIMUM LOT FRONTAGE: 100'
BUILDING SETBACKS
FRONT: 25'
SIDE: 10'
REAR: 30'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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THIS PLAN AND SURVEY CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY:
JOHN J. BARKER, JR. PLS #1885

FINAL PLAN

REV: ADDED NEW WETLAND EDGE 5/6/14 JUB

BARKER LAND SURVEYING, INC.
168 HIGH ST., BRISTOL, R.I. 02809 (401) 254-0824

JOHN J. BARKER, JR.
STATE ID # 1385
PROFESSIONAL LAND SURVEYOR

PROPERTY LINE SURVEY
for
KENDAN, LLC

PLAT 111 LOT 1 GOODING AVENUE BRISTOL R.I. 02809

DWG NO.	SCALE	DATE	DRAWN BY	SHEET
110409WEST	1"=50'	3/19/13	JUB	1 OF 1

REVISION 9/30/14
REVISED FRONTAGE TO HIGHWAY LINE OFFSETS

REVISION 7/30/14
ADDED WETLAND EDGE PER DEM LETTER 6/12/2014

OWNER: KENDAN, LLC
613 AQUIDNECK AVENUE
MIDDLETOWN R.I. 02842