

DOLLAR GENERAL SITE IMPROVEMENT & BUILDING PLANS

PREPARED FOR:

DEARBORN LAND INVESTMENT, LLC

14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OHIO 44107 (216)-226-5160

MENDON ROAD
WOONSOCKET, RI

PREPARED BY:

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS

414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

P.O. Box 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

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	EXTERIOR ELEVATIONS

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603-765-1001

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 18 2015 FILE # 15-DWS
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
PROJECT NO. 4519 DATE: 6/20/14

Sheet 1 of 8



1.) THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF WOONSOCKET, PROVIDENCE COUNTY, RHODE ISLAND MAP NUMBER 44007C0088G, HAVING AN EFFECTIVE DATE OF MARCH 2, 2009.

2) THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)

3) HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
VERTICAL DATUM: WOONSOCKET SEWER DATUM ADD 54.73 FEET TO
WOONSOCKET SEWER DATUM TO ACQUIRE NAVD 88 DATUM.

3. SPECIAL EXCEPTIONS:

f) RIGHTS OF OTHERS TO THE WATER OF THE BROOK AND RIGHT OF INGRESS AND EGRESS THERETO TO ALL AS PARTICULARLY SET FORTH IN BOOK 140 AT PAGE 348. (PLOTTED)

G) DRAINPIPE MAINTENANCE EASEMENT TO THE CITY OF WOONSOCKET SET FORTH IN BOOK 220 AT PAGE 119. (PLOTTED)

h) EASEMENT OF RECORD AND RIGHT OF WAY REFERRED TO IN A DEED TO STEPHEN PROVAZZA DATED MAY 12, 2005. (PLOTTED)

i) THIRTY (30') FOOT WIDE RIGHT OF WAY TOGETHER WITH AN AGREEMENT TO MAINTAIN THE RIGHT OF WAY IN A PROPER AND WORKMANLIKE MANNER REFERRED TO IN WARRENTY DEED RECORDED IN BOOK 1488 AT PAGE 124. (PLOTTED)

j) RIGHTS OF WAY SHOWN ON FINAL MAJOR SUBDIVISION FOR LEO BEAUDOIN, JR.
1265 MENDON ROAD WOONSOCKET, RHODE ISLAND RECORDED 1/19/2005 IN PLAN BOOK
22 AT PAGE 56. (PLOTTED)

THIS SURVEY AND PLAN CONFORMS TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BOUNDARY SURVEY:
CULTURE & TOPOGRAPHY

BY: Samuel D. White 1781 8-1-14
PROFESSIONAL LAND SURVEYOR REG. NO. DATE

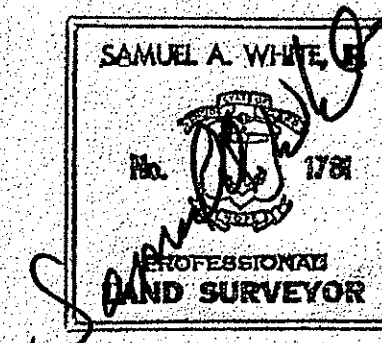
TO: DOLLAR GENERAL CORPORATION, DG STRATEGIC II, LLC,
ZAREMBA PROGRAM DEVELOPMENT LLC, AND STEWART TITLE
GUARANTY COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11(b), 13, 14, 16, 17, AND 18 OF TABLE A HEREOF.

THE FIELD WORK WAS COMPLETED ON MAY 14, 2014.

DATE OF PLAT OR MAP MAY 23, 2014

BY: Samuel A. White, Jr. 1781
SAMUEL A. WHITE, JR. REG. NO. 1781



N/F	NOW OR FORMERLY
S.F.	SQUARE FEET
AC.	ACRES
☒ R/HB	RHODE ISLAND HIGHWAY BOUND

- | | |
|---|---------------|
|  | CATCH BASIN |
|  | DRAIN MANHOLE |
|  | SEWER MANHOLE |
|  | WATER MANHOLE |
|  | HYDRANT |
|  | WATER METER |
|  | WATER VALVE |
|  | GAS VALVE |
|  | TEST PIT |
|  | UTILITY POLE |
|  | BOLLARD |

- LOCUS PROPERTY LINE
- EASEMENT LINE
- ASSESSORS LINE
- CONTOUR (5')
- CONTOUR (1')
- SPOT GRADE
- CHAIN LINK FENCE
- STOKADE FENCE
- CONCRETE WALL
- DRAIN LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- OVERHEAD WIRES
- TREE LINE

MU-2 DISTRICT
MIN. LOT SIZE: 6,000 SF.
MAX. BUILDING COVERAGE:
2.0 FLOOR AREA RATIO
MIN. FRONTAGE: N/A
MIN. FRONT YARD: 20'
MIN. SIDE YARD: 10'
MIN. REAR YARD: 25'
BLDG. HEIGHT: 60'/5 STORIES
PLEASE REFER TO ZONING REGS.
FOR ADDITIONAL INFORMATION.

MAP D6 LOT 49-395
N/F
MARS ENTERPRISES
DEED BK. 1488 / PG. 124
MENDON ROAD
LOT AREA:
51,804 S.F.± OR
1.182 ± ACES

MAP D6 LOT 49-396
N/F
MARS ENTERPRISES
DEED BK. 1549 / PG. 92
MENDON ROAD
LOT AREA:
32,295 S.F. ± OR
0.741 ± ACRES

PROPERTY LINE & EXISTING CONDITIONS SURVEY

FOR
MAP D6 LOTS 49-395 & 49-396

SITUATED ON
MENDON ROAD

WUONSCKET, RI
PREPARED FOR
AYOUB ENGINEERING, INC.

NO.	REVISION	BY	DATE
1.	REVISIONS PER COMMENTS FROM WOONSOCKET ENG	SAW	7-1
2.	VERTICAL DATUM CHANGE	SAW	8-14

GAROFALO

GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Garofalo & Associates © These drawings are the property of the engineer/surveyor and have been prepared for the owner for this project at this site and are not to be used for any other purpose, location or owner without written consent of this owner or one of its directors.

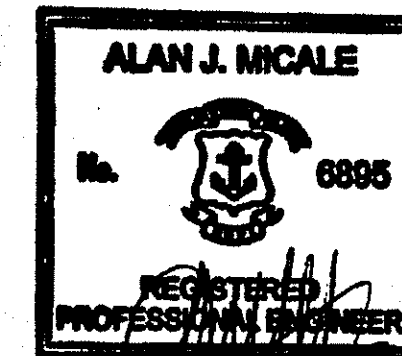
85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-8000

JOB NO. 6948	DRAWN BY MPH
DWG. NO. 6948-EXCON	CALCS BY MPH
SCALE: 1"=20'	APPROVED SAW
	DATE: MAY 201

ENVIRONMENTAL MANAGEMENT
WATER RESOURCES
WETLANDS PROGRAM
WITH CONDITIONS
THE LETTER OF APPROVAL
FILE # 15-D108
ED WITHOUT PRIOR APPROVAL
JUST RE AT CONSTRUCTION SITE

OF 1 SHEETS

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRMED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



REVISIONS		DESCRIPTION
REV	DATE	DESCRIPTION
1	6/12/14	REVISED PARKING & BUILDING LOCATION PER CLIENT COMMENTS
2	6/12/14	ADDED WALK
3	6/19/14	REVISED PER UPDATED DATUM INFORMATION
4	6/18/14	ADDED OVERCROWN WETLAND DEAS
5	12/8/14	REVISED PER DOT REVIEW COMMENTS
6	6/2/15	ADDED DRAINAGE EASEMENT

AYOUB ENGINEERING

ENGINEERS & ARCHITECTS
CORPORATE OFFICE:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533
P.O. BOX 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

DOLLAR GENERAL
DEARBORN LAND INVESTMENT, LLC
14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OHIO 44107 (216)-228-5160

PROJECT ADDRESS
WOONSOCKET, RI
MENDON ROAD

SITE IMPROVEMENT PLAN

PROJECT NO. 4519.114
SCALE: 1"=20'
DRAWN BY: RCD
DATE: 6/11/14

SHEET NO.
C-1



LOCUS MAP
NOT TO SCALE

ZONING DATA

REQUIRED:	PROVIDED: (EXISTING LOT)	PROVIDED: (WITHOUT 30' EASEMENT)
ZONE: MU-2 MIXED USE INDUSTRIAL/COMMERCIAL DISTRICT		
OWNER: MARS ENTERPRISES LLC PO BOX 7179 CUMBERLAND, RI 02864		
EXISTING USE: PARKING LOT		
PROPOSED USE: RETAIL SALES		
BUILDING SETBACKS:		
FRONT - 20'	106'±	106'±
SIDE - 10'	40'±	10'±
REAR - 25'	44'±	44'±
LOT REQUIREMENTS:		
AREA - 6,000 S.F.	51,804 S.F.±	45,138 S.F.±
FLOOR AREA RATIO - 2.0	.18	.20
PARKING REQUIREMENTS:		
RETAIL COMMERCIAL ESTABLISHMENT:		
4 SPACES PER FIRST 1,000 S.F.		
NET FLOOR AREA + 1 SPACE		
PER EACH ADDITIONAL 200 S.F.		
OF NET FLOOR AREA		
NET FLOOR AREA = 7,400 S.F.		
6,400 S.F./200 S.F. = 32 SPACES		
+ 4 SPACES = 36 SPACES TOTAL		
ZONING INFORMATION WAS TAKEN FROM: CITY OF WOONSOCKET		
ZONING ORDINANCE AS REVISED 1994		
NO EXISTING PARKING SPACES		30 SPACES

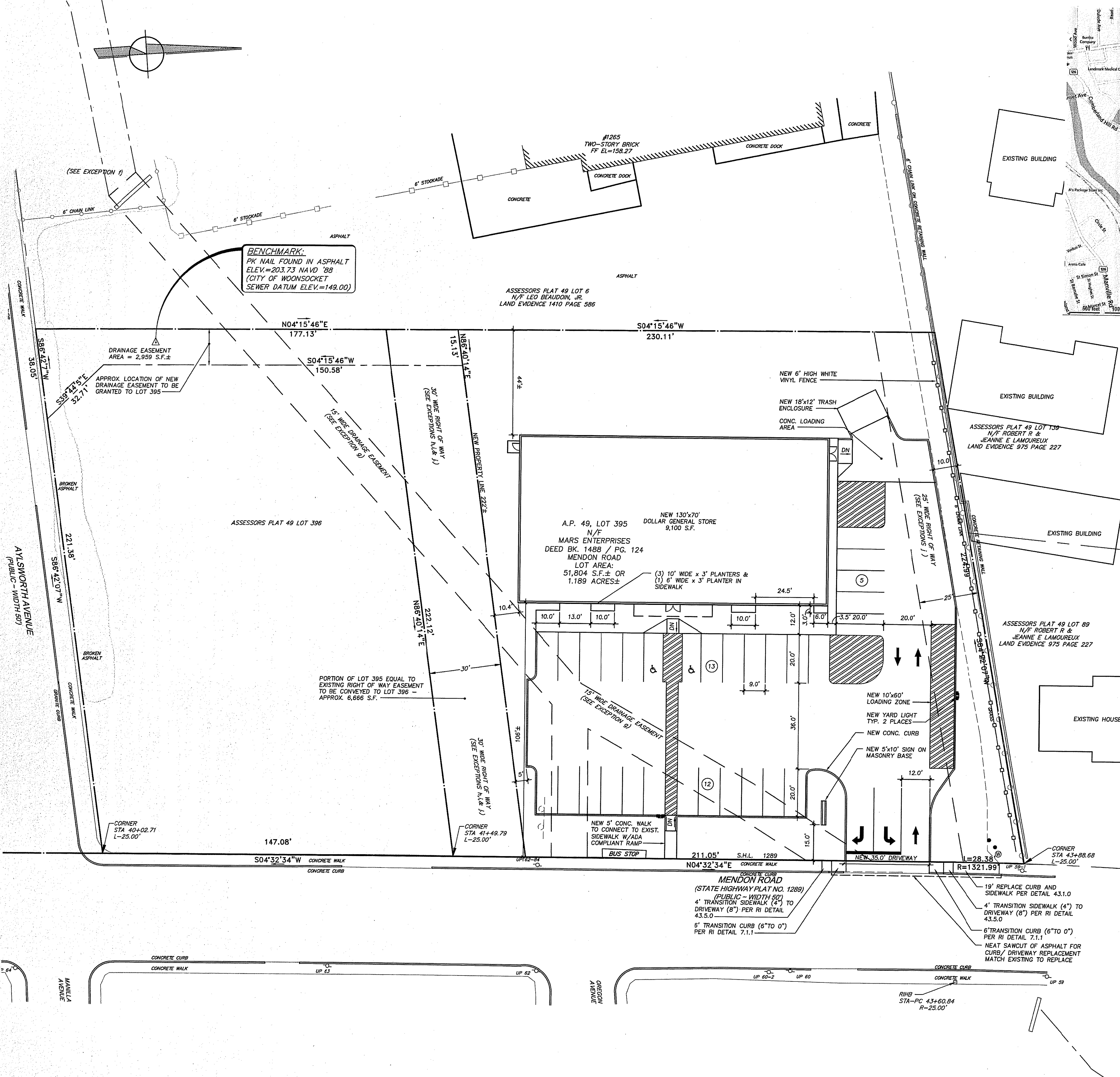
NOTE: TRAFFIC CONTROL MEASURES DURING CONSTRUCTION SHALL CONFORM TO THE M.U.T.C.D.

REDEVELOPMENT OF THIS SITE IS
SUBJECT TO A REMEDIAL ACTION
WORK PLAN CREATED BY WILCOX
& BARTON DATED 1/15/15

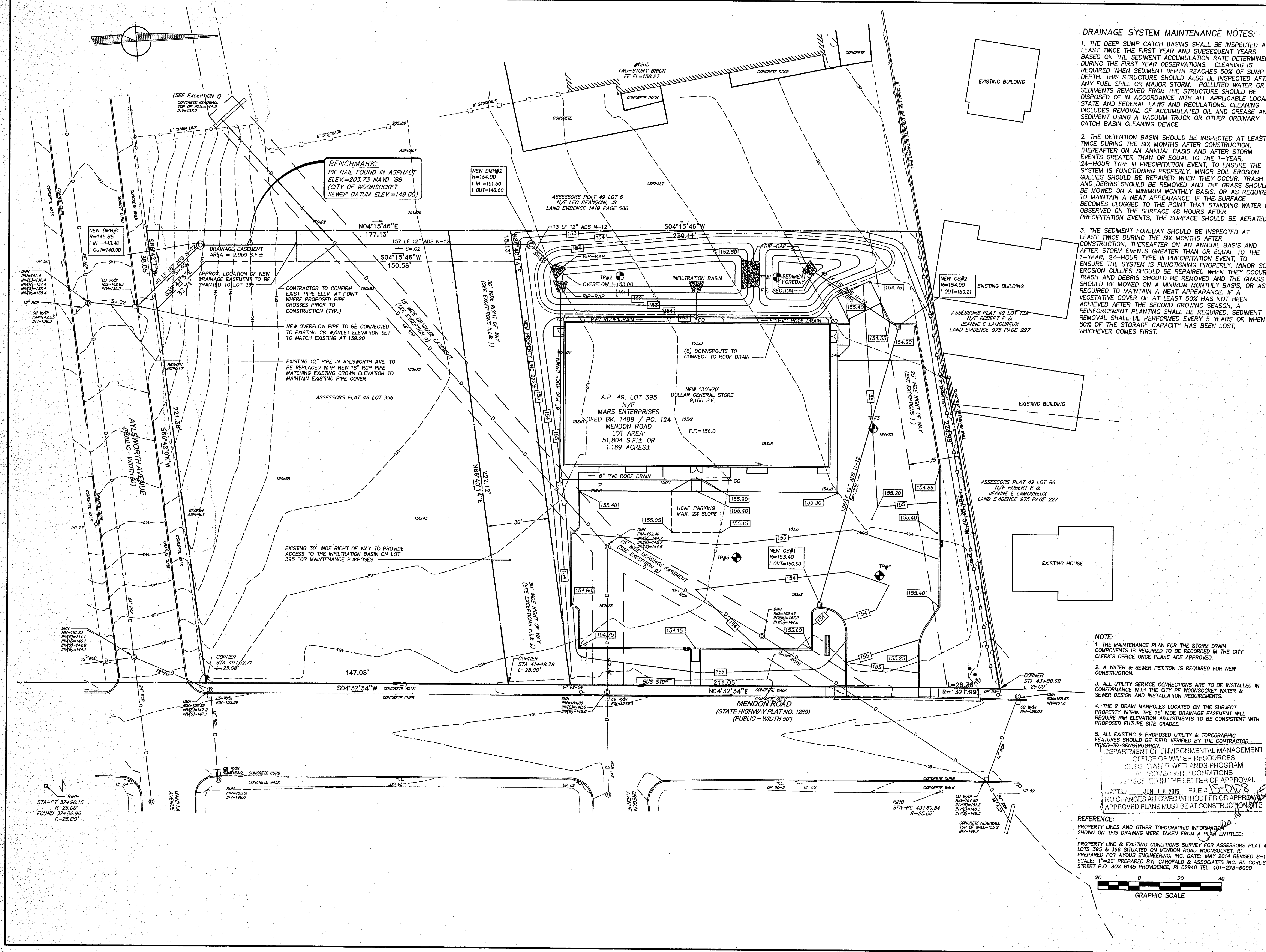
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESH WATER WETLANDS PROGRAM
(FRESH WATER) WITH CONDITIONS
SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 18 2015 FILE # 15-018X
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION
SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:

PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49
LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
SCALE: 1"=20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS
STREET P.O. BOX 6145 PROVIDENCE, RI 02940 TEL. 401-273-6000



SHEET 3 OF 8

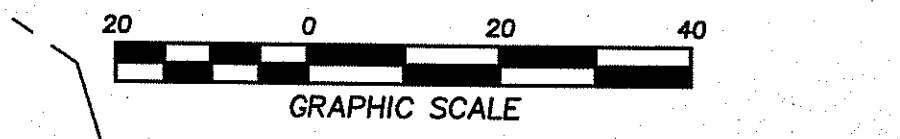


DRAINAGE SYSTEM MAINTENANCE NOTES:

1. THE DEEP SUMP CATCH BASINS SHALL BE INSPECTED AT LEAST TWICE THE FIRST YEAR AND SUBSEQUENT YEARS BASED ON THE SEDIMENT ACCUMULATION RATE DETERMINED DURING THE FIRST YEAR OBSERVATIONS. CLEANING IS REQUIRED WHEN SEDIMENT DEPTH REACHES 50% OF SUMP DEPTH. THIS STRUCTURE SHOULD ALSO BE INSPECTED AFTER ANY FUEL SPILL OR MAJOR STORM. POLLUTED WATER OR SEDIMENTS REMOVED FROM THE STRUCTURE SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. CLEANING INCLUDES REMOVAL OF ACCUMULATED OIL AND GREASE AND SEDIMENT USING A VACUUM TRUCK OR OTHER ORDINARY CATCH BASIN CLEANING DEVICE.
2. THE DETENTION BASIN SHOULD BE INSPECTED AT LEAST TWICE DURING THE SIX MONTHS AFTER CONSTRUCTION, THEREAFTER ON AN ANNUAL BASIS AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT, TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. MINOR SOIL EROSION GULLIES SHOULD BE REPAIRED WHEN THEY OCCUR. TRASH AND DEBRIS SHOULD BE REMOVED AND THE GRASS SHOULD BE MOWED ON A MINIMUM MONTHLY BASIS, OR AS REQUIRED TO MAINTAIN A NEAT APPEARANCE. IF A VEGETATIVE COVER OF AT LEAST 50% HAS NOT BEEN ACHIEVED AFTER THE SECOND GROWING SEASON, A REINFORCEMENT PLANTING SHALL BE REQUIRED. SEDIMENT REMOVAL SHALL BE PERFORMED EVERY 5 YEARS OR WHEN 50% OF THE STORAGE CAPACITY HAS BEEN LOST, WHICHEVER COMES FIRST.
3. THE SEDIMENT FOREBAY SHOULD BE INSPECTED AT LEAST TWICE DURING THE SIX MONTHS AFTER CONSTRUCTION, THEREAFTER ON AN ANNUAL BASIS AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT, TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. MINOR SOIL EROSION GULLIES SHOULD BE REPAIRED WHEN THEY OCCUR. TRASH AND DEBRIS SHOULD BE REMOVED AND THE GRASS SHOULD BE MOWED ON A MINIMUM MONTHLY BASIS, OR AS REQUIRED TO MAINTAIN A NEAT APPEARANCE. IF A VEGETATIVE COVER OF AT LEAST 50% HAS NOT BEEN ACHIEVED AFTER THE SECOND GROWING SEASON, A REINFORCEMENT PLANTING SHALL BE REQUIRED. SEDIMENT REMOVAL SHALL BE PERFORMED EVERY 5 YEARS OR WHEN 50% OF THE STORAGE CAPACITY HAS BEEN LOST, WHICHEVER COMES FIRST.

- NOTE:**
1. THE MAINTENANCE PLAN FOR THE STORM DRAIN COMPONENTS IS REQUIRED TO BE RECORDED IN THE CITY CLERK'S OFFICE ONCE PLANS ARE APPROVED.
 2. A WATER & SEWER PETITION IS REQUIRED FOR NEW CONSTRUCTION.
 3. ALL UTILITY SERVICE CONNECTIONS ARE TO BE INSTALLED IN CONFORMANCE WITH THE CITY OF WOONSOCKET WATER & SEWER DESIGN AND INSTALLATION REQUIREMENTS.
 4. THE 2 DRAIN MANHOLES LOCATED ON THE SUBJECT PROPERTY WITHIN THE 15' WIDE DRAINAGE EASEMENT WILL REQUIRE RIM ELEVATION ADJUSTMENTS TO BE CONSISTENT WITH PROPOSED FUTURE SITE GRADES.
 5. ALL EXISTING & PROPOSED UTILITY & TOPOGRAPHIC FEATURES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
RIVERWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 18 2015 FILE # 15-008
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:
PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49 LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYVOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
SCALE: 1"=20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS STREET P.O. BOX 6145 PROVIDENCE, RI 02940 TEL. 401-273-6000



AYVOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYVOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

ALAN J. MCALE
REGISTERED PROFESSIONAL ENGINEER
03895

REV	PER	DATE	DESCRIPTION
1	ALM	6/20/14	REVISED ROOF DRAIN PER CLIENT COMMENT
2	ALM	7/18/14	REVISED PER CITY REVIEW COMMENTS
3	ALM	8/04/14	REVISED PER UPDATED DRAIN INFORMATION
4	ALM	9/04/14	REVISED DRAINAGE SYSTEM
5	ALM	12/17/14	REVISED PER REVIEW COMMENTS
6	ALM	2/20/15	REVISED PER DRAIN CONNECTION
7	ALM	3/10/15	REVISED PIPE DRAIN CONNECTION
8	ALM	4/17/15	REVISED STORMWATER DESIGN PER REVIEW COMMENTS
9	ALM	6/22/15	REVISED PER REVIEW COMMENTS
10	ALM	6/27/15	REVISED PER UPDATED STORMWATER SYSTEM DESIGN

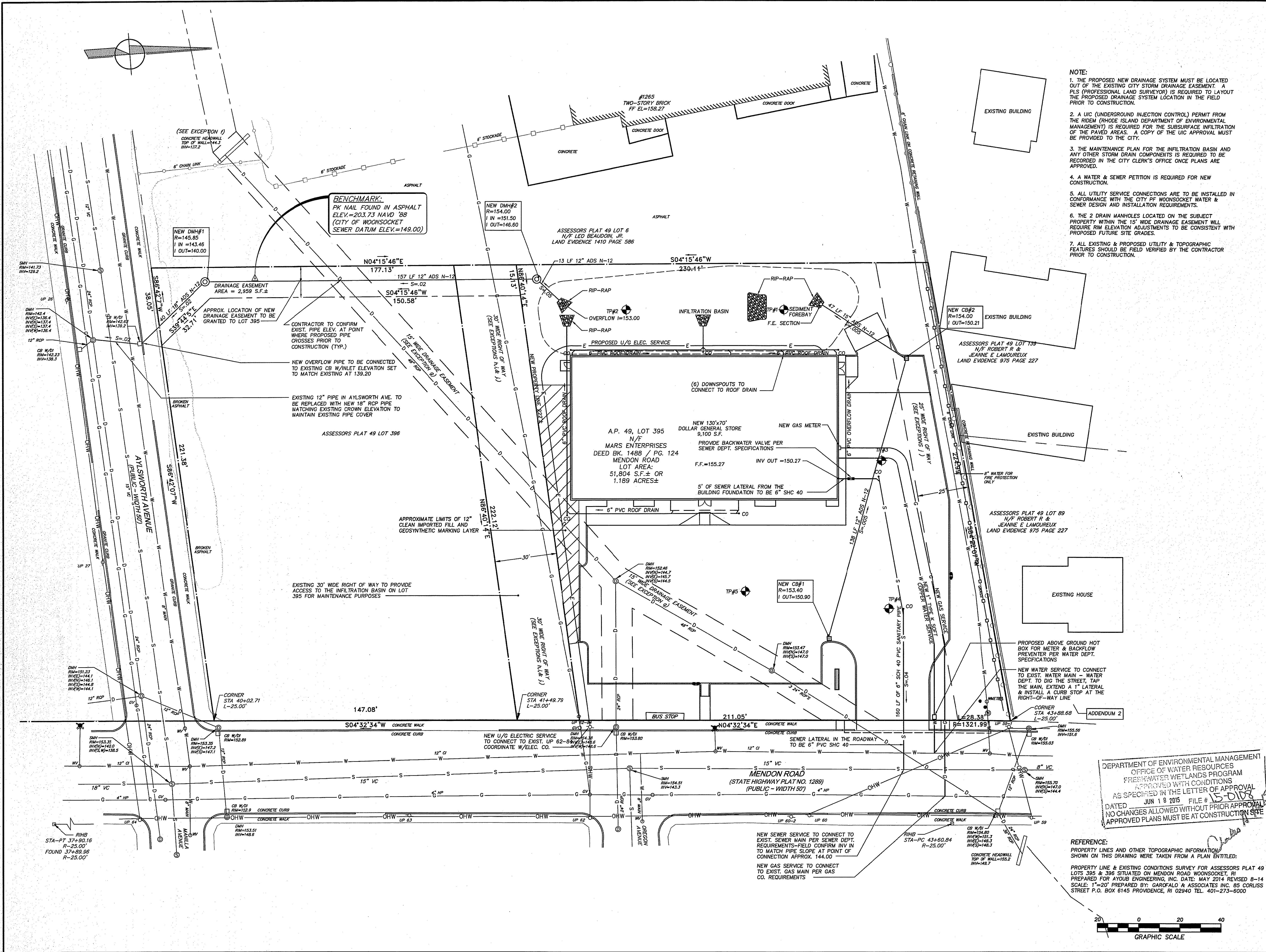
AYVOUB ENGINEERING
ENGINEERS & ARCHITECTS
CORPORATE OFFICE:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533
P.O. BOX 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

DOLLAR GENERAL
DEARBORN LAND INVESTMENT, LLC
14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OHIO 44107 (216)-226-5160

WOONSOCKET, RI
MENDON ROAD
SHEET DESCRIPTION
SITE GRADING PLAN
JUN - 2 2015

PROJECT NO.	4519.114	SHEET NO.	C-2
SCALE:	1"=20'		
DRAWN BY:	RCD		
DATE:	6/19/14		

SHEET 4 of 8



- NOTE:
1. THE PROPOSED NEW DRAINAGE SYSTEM MUST BE LOCATED OUT OF THE EXISTING CITY STORM DRAINAGE EASEMENT. A PLS (PROFESSIONAL LAND SURVEYOR) IS REQUIRED TO LAYOUT THE PROPOSED DRAINAGE SYSTEM LOCATION IN THE FIELD PRIOR TO CONSTRUCTION.
 2. A UIC (UNDERGROUND INJECTION CONTROL) PERMIT FROM THE RIEM (RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT) IS REQUIRED FOR THE SUBSURFACE INFILTRATION OF THE PAVED AREAS. A COPY OF THE UIC APPROVAL MUST BE PROVIDED TO THE CITY.
 3. THE MAINTENANCE PLAN FOR THE INFILTRATION BASIN AND ANY OTHER STORM DRAIN COMPONENTS IS REQUIRED TO BE RECORDED IN THE CITY CLERK'S OFFICE ONCE PLANS ARE APPROVED.
 4. A WATER & SEWER PETITION IS REQUIRED FOR NEW CONSTRUCTION.
 5. ALL UTILITY SERVICE CONNECTIONS ARE TO BE INSTALLED IN CONFORMANCE WITH THE CITY OF WOONSOCKET WATER & SEWER DESIGN AND INSTALLATION REQUIREMENTS.
 6. THE 2' DRAIN MANHOLES LOCATED ON THE SUBJECT PROPERTY WITHIN THE 15' WIDE DRAINAGE EASEMENT WILL REQUIRE RIM ELEVATION ADJUSTMENTS TO BE CONSISTENT WITH PROPOSED FUTURE SITE GRADES.
 7. ALL EXISTING & PROPOSED UTILITY & TOPOGRAPHIC FEATURES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

AYOUB ENGINEERING

ENGINEERS & ARCHITECTS

CORPORATE OFFICE:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533
P.O. BOX 514
EXETER, NEW HAMPSHIRE 03833
603-5765-1001

PROJECT ADDRESS
WOONSOCKET, RI
MENDON ROAD

SHEET DESCRIPTION
SITE UTILITY PLAN

PREPARED FOR
DOLLAR GENERAL
DEARBORN LAND INVESTMENT, LLC
14600 DETROIT AVE., SUITE 1500
LAKELAND, OHIO 44107 (216)-226-5160

DATE: 6/19/14

PROJECT NO. 4519.114

SCALE: 1"=20'

DRAWN BY: RCD

DATE: 6/19/14

SHEET NO.
C-3

ALAN J. MCALE

REGISTERED PROFESSIONAL ENGINEER

6885

REV	PER	DATE	DESCRIPTION
1	AM	7/20/14	REVISED ROOF DRAIN PER CLIENT COMMENT
2	AM	7/20/14	REVISED PER CITY REVIEW COMMENTS
3	AM	8/04/14	REVISED PER DATUM INFORMATION
4	AM	12/01/14	REVISED PER REVIEW COMMENTS
5	AM	12/01/14	REVISED WATER SERVICE NOTE (ADDENDUM 2)
6	AM	12/01/14	REVISED PER UPDATED STORMWATER SYSTEM DESIGN

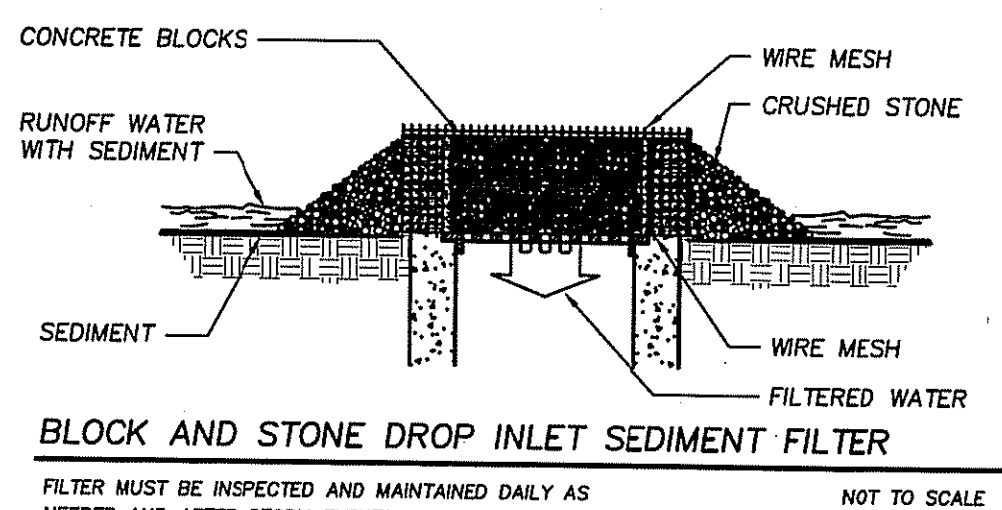
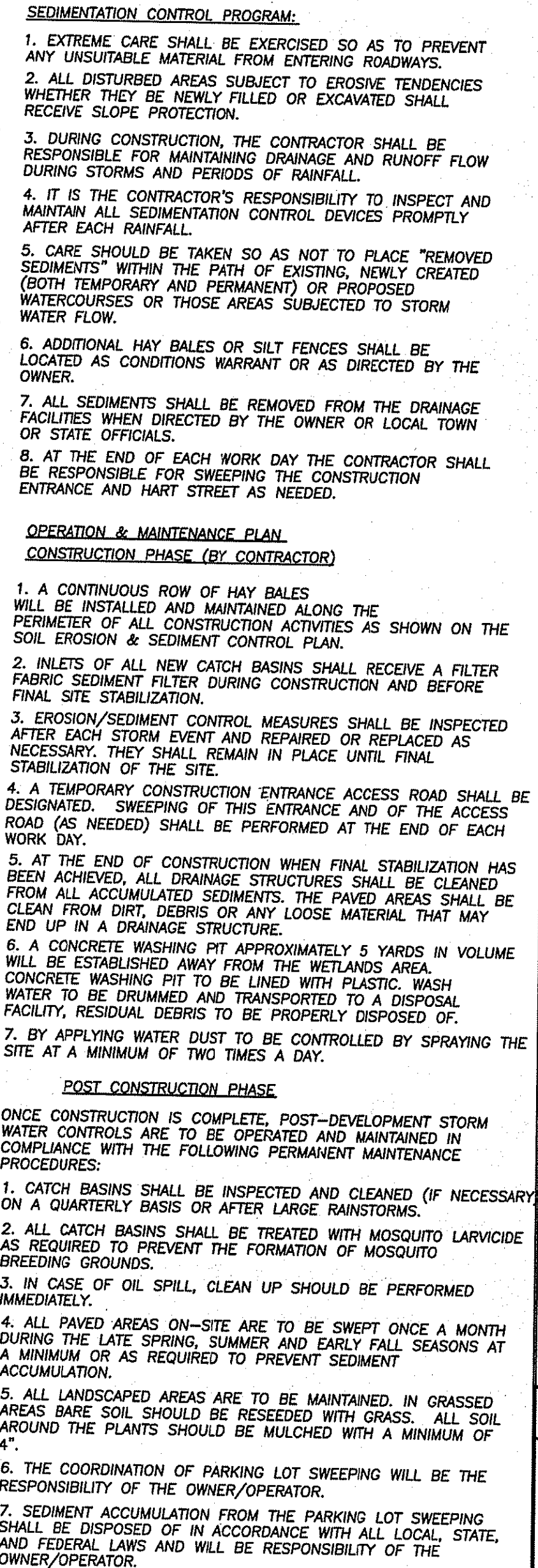
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
JUN 18 2015 FILE # 15-0108
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION
SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:
PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49
LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
SCALE: 1"=20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS
STREET P.O. BOX 6145 PROVIDENCE, RI 02940 TEL. 401-273-6000

GRAPHIC SCALE

0 20 40

SQ 5 of 8



PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION
SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:

PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49
LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI
PREPARED BY AYUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14
SCALE: 1" = 20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS
STREET P.O. BOX 414 BROWNFIELD, RI 02821



SION/SEDIMENT CONTROL BARRIER NOTES

BALES SHOULD BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE
OUTSLOPE, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE
ANOTHER.

BALES SHOULD BE EITHER WIRE-BOUND OR STRING-TIED. BALES
SHOULD BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE
BALES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES TO
PREVENT THE BINDINGS FROM DETACHING.

A BARRIER SHOULD BE ENTRENCHED AND BACKFILLED. A TRENCH
SHOULD BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF
A PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER
THE BALES ARE STAKED AND CHINNED, THE EXCAVATED SOIL SHOULD
CONFORM TO THE GROUND LEVEL ON THE DOWNSLOPE SIDE AND SHOULD
BE BUILT UP TO 4 INCHES AGAINST THE UPSLOPE SIDE OF THE
BARRIER.

STAKES SHOULD BE SECURELY ANCHORED BY AT LEAST TWO
"X" STAKES DRIVEN THROUGH THE BALE. THE FIRST STAKE IN
A ROW SHOULD BE DRIVEN TOWARD THE PREVIOUSLY Laid BALE
TO FORCE THE BALES TOGETHER. STAKES SHOULD BE DRIVEN DEEP
ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.

NOTE:

THE PROPOSED NEW DRAINAGE SYSTEM MUST BE LOCATED
OUTSIDE OF THE EXISTING CITY STORM DRAINAGE EASEMENT.
(PROFESSIONAL LAND SURVEYOR) IS REQUIRED TO LAYOUT
THE PROPOSED DRAINAGE SYSTEM LOCATION IN THE FIELD
OR TO CONSTRUCTION.

A UIC (UNDERGROUND INJECTION CONTROL) PERMIT FROM
THE ARIZONA (HIGHS AND WEIGHTS) DEPARTMENT OF ENVIRONMENTAL
MANAGEMENT IS REQUIRED FOR ANY SURFACE INFILTRATION
IN THE PAVED AREAS. A COPY OF THE UIC APPROVAL MUST
BE PROVIDED TO THE CITY.

THE MAINTENANCE PLAN FOR THE INFILTRATION BASIN AND
FOR OTHER STORM DRAIN COMPONENTS IS REQUIRED TO BE
RECORDED IN THE CITY CLERK'S OFFICE (ONCE PLANS ARE
APPROVED).

A WATER & SEWER PETITION IS REQUIRED FOR NEW
CONSTRUCTION.

ALL UTILITY SERVICE CONNECTIONS ARE TO BE INSTALLED IN
CONFORMANCE WITH THE CITY OF MOONSCOPE WATER &
SEWER DESIGN AND INSTALLATION REQUIREMENTS.

THE 2 DRAIN MANHOLES LOCATED ON THE SUBJECT
PROPERTY WITHIN THE 15' WIDE DRAINAGE EASEMENT WILL
REQUIRE RISE ELEVATION ADJUSTMENTS TO BE CONSISTENT WITH
PROPOSED FUTURE SITE GRADES.

ALL EXISTING & PROPOSED UTILITY & TOPOGRAPHIC
FEATURES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR
BEFORE CONSTRUCTION.

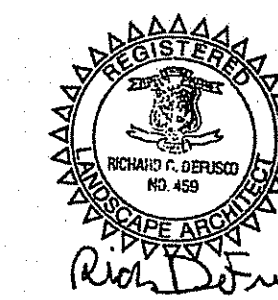
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FREEWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL

DATED JUN 18 2015. FILE # 15-0068

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

[illegible]

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REV	PER	DATE	DESCRIPTION
1	AW	6/20/14	ADDED BASIN SEED MIX
2	AW	7/18/14	REVISED PER CITY REVIEW COMMENTS
3	AW	8/04/14	REVISED PER UPDATED DATUM INFORMATION
4	AW	8/04/14	REVISED DRAINAGE SYSTEM
5	AW	12/11/14	REVISED PER REVIEW COMMENTS
6	AW	1/23/15	REVISED PLANTINGS AROUND MASONRY BASE SIGN

AYOUB
ENGINEERING

ENGINEERS & ARCHITECTS
CORPORATE OFFICE:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533
P.O. BOX 514
EXETER, NEW HAMPSHIRE 03833
603-765-1001

DOLLAR GENERAL
PEARLBORN LAND INVESTMENT, LLC
14600 DETROIT AVE., SUITE 1500
KNEEWOOD, OHIO 44107 (216)-226-5160

PROJECT ADDRESS
WOONSOCKET, RI
MENDON ROAD

SHEET DESCRIPTION
SITE LANDSCAPE PLAN

PROJECT NO. 4518.114
SCALE: 1"=20'
DRAWN BY: RCD
DATE: 6/19/14

SHEET NO.
L-1

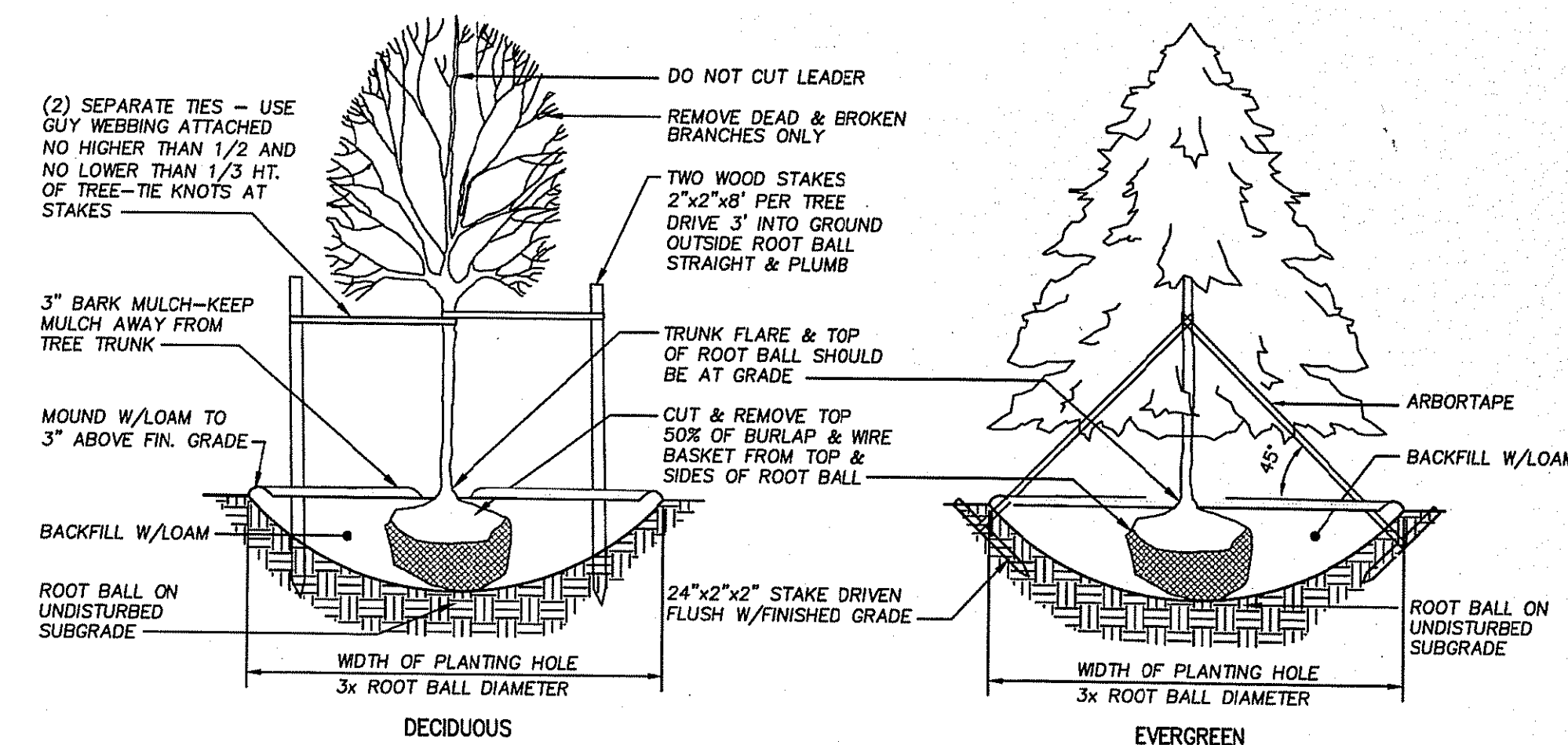
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	ROOT
JV	JUNIPERUS VIRGINIANA	GREY OWL JUNIPER	7	1 1/2'-2' HT.	2 GAL.
TC	TAXUS CUSPIDATA DENSIFORMIS	DENSE YEW	7	2'-2 1/2' HT.	B + B
PJM	RHODODENDRON PJM	PJM	6	2'-2 1/2' HT.	2 GAL.
TP	THUJA (STANDISHII x PLICATA) 'GREEN GIANT'	GREEN GIANT ARBORVITAE	12	6'-8' HT.	B + B
GT	GLEDITZIA TRIACANTHOS	HONEY LOCUST	4	2-2 1/2" CAL.	B + B
AZ	AZALEA HINOCRIMSON	AZALEA	10	1 1/2'-2' HT.	1 GAL.
AZD	AZALEA DELAWARE VALLEY WHITE	AZALEA	6	1 1/2'-2' HT.	1 GAL.
PGC	PICEA GLAUCA CONICA	DWARF WHITE SPRUCE	2	3' HT.	2 GAL.
PMM	PINUS MUGO MUGO	DWARF MUGO PINE	6	1 1/2'-2' HT.	2 GAL.
SA	SEDUM TELEPHIUM 'AUTUMN JOY'	STONECROP	6	12"	1 GAL.

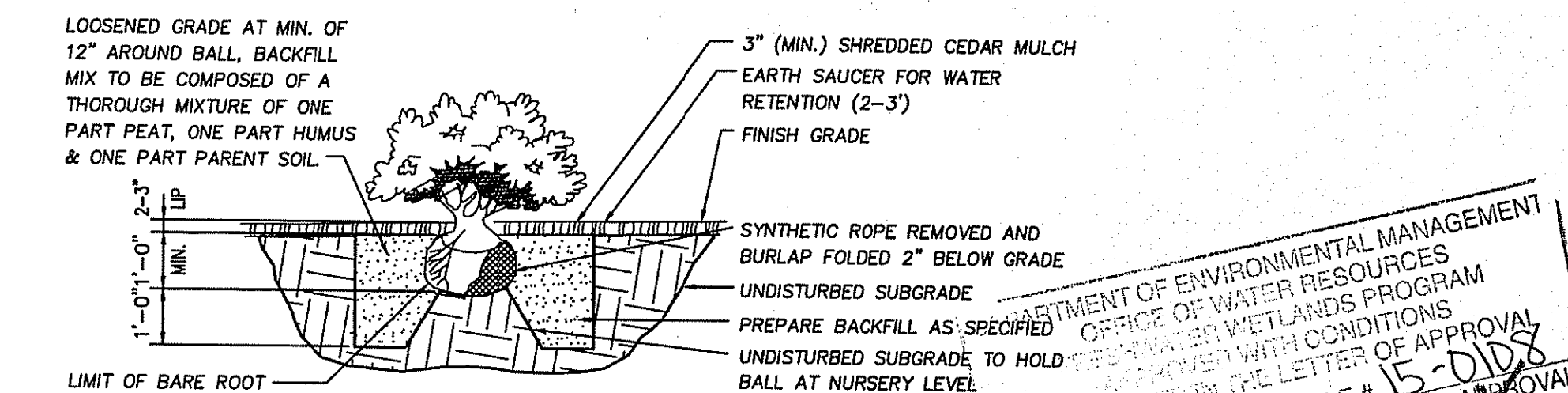
GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE.
- ALL NEW TREES ARE TO BE STAKED WITH TWO 8 FT. HARDWOOD STAKES, GUYED PER DETAIL.
- AREAS SHOWN MULCHED ARE TO BE MULCHED WITH A MINIMUM 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR TWO (2) YEARS TO BE IN HEALTHY AND VIGOROUS CONDITION. IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD.
- ALL PLANTING PITS ARE TO RECEIVE 3 AGRIFORM TABS (3-YEAR FERTILIZER) AT TIME OF PLANTING.
- PLANTS ARRANGED IN CONTINUOUS GROUPING ARE TO BE SET IN MULCHED BEDS. MULCH WILL BE A MIN. 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
- ANY TREES OR SHRUBS DISTURBED FOR NEW WORK ARE TO BE PROTECTED AND OR REPLACED.
- ALL EXISTING TREES AND SHRUBS INDICATED ON DRAWING ARE TO REMAIN UNLESS NOTED.

BASIN SEED MIX	POUNDS PER 1000 S.F.
MIXTURE	
BIRDSFOOT TREFLOIL	0.25
REDTOP	0.10
REED CANARYGRASS	0.35
	0.70



TREE PLANTING DETAILS

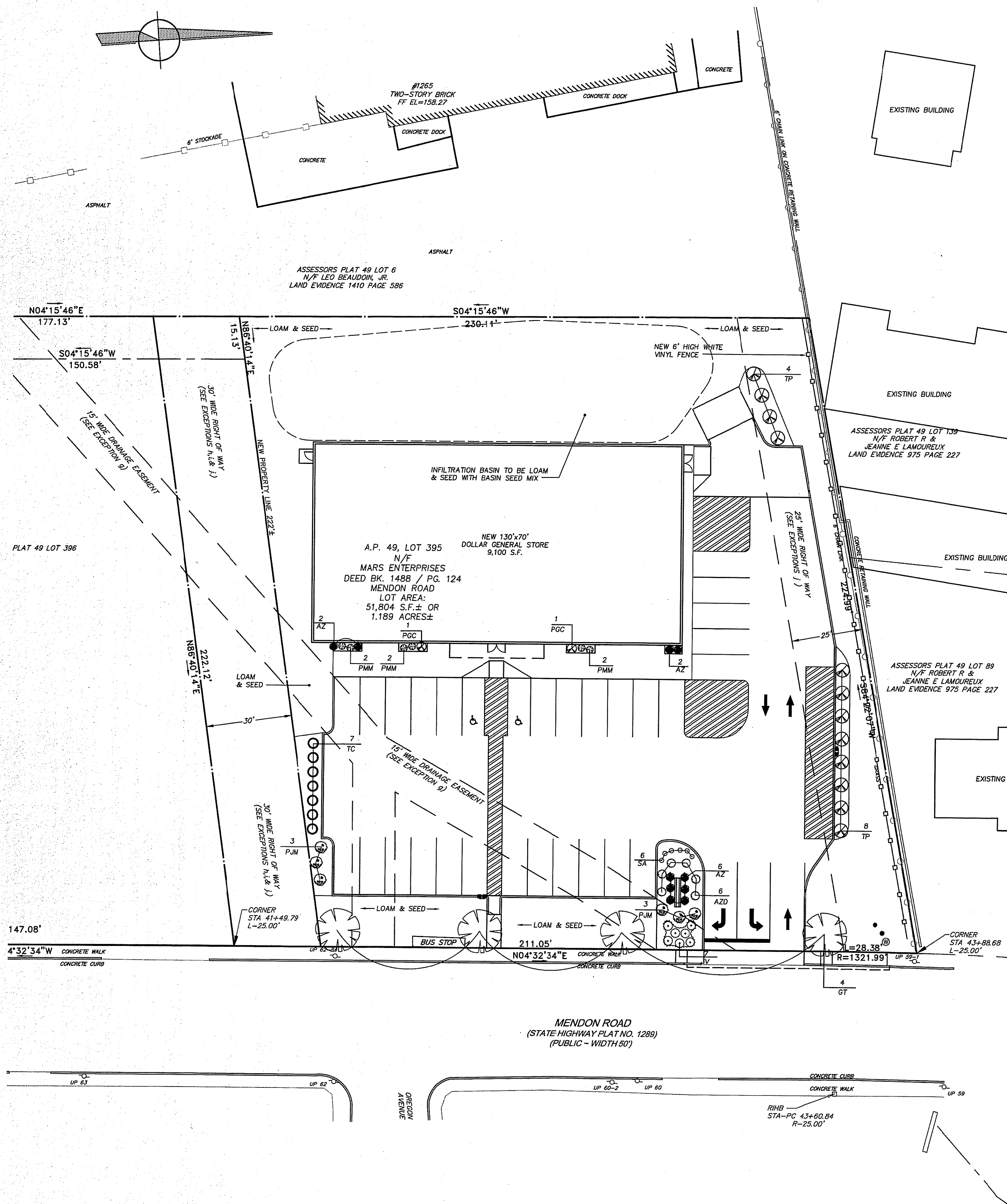
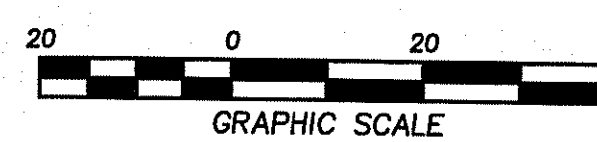


SHRUB PLANTING DETAIL

REFERENCE:

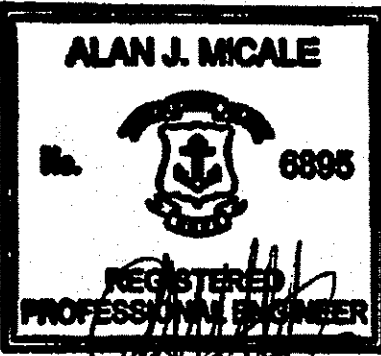
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:

PROPERTY LINE & EXISTING CONDITIONS SURVEY FOR ASSESSORS PLAT 49 LOTS 395 & 396 SITUATED ON MENDON ROAD WOONSOCKET, RI PREPARED FOR AYOUB ENGINEERING, INC. DATE: MAY 2014 REVISED 8-14 SCALE: 1"=20' PREPARED BY: GAROFALO & ASSOCIATES INC. 85 CORLISS STREET P.O. BOX 6145 PROVIDENCE, RI 02940 TEL. 401-273-6000



Sheet 7 of 8

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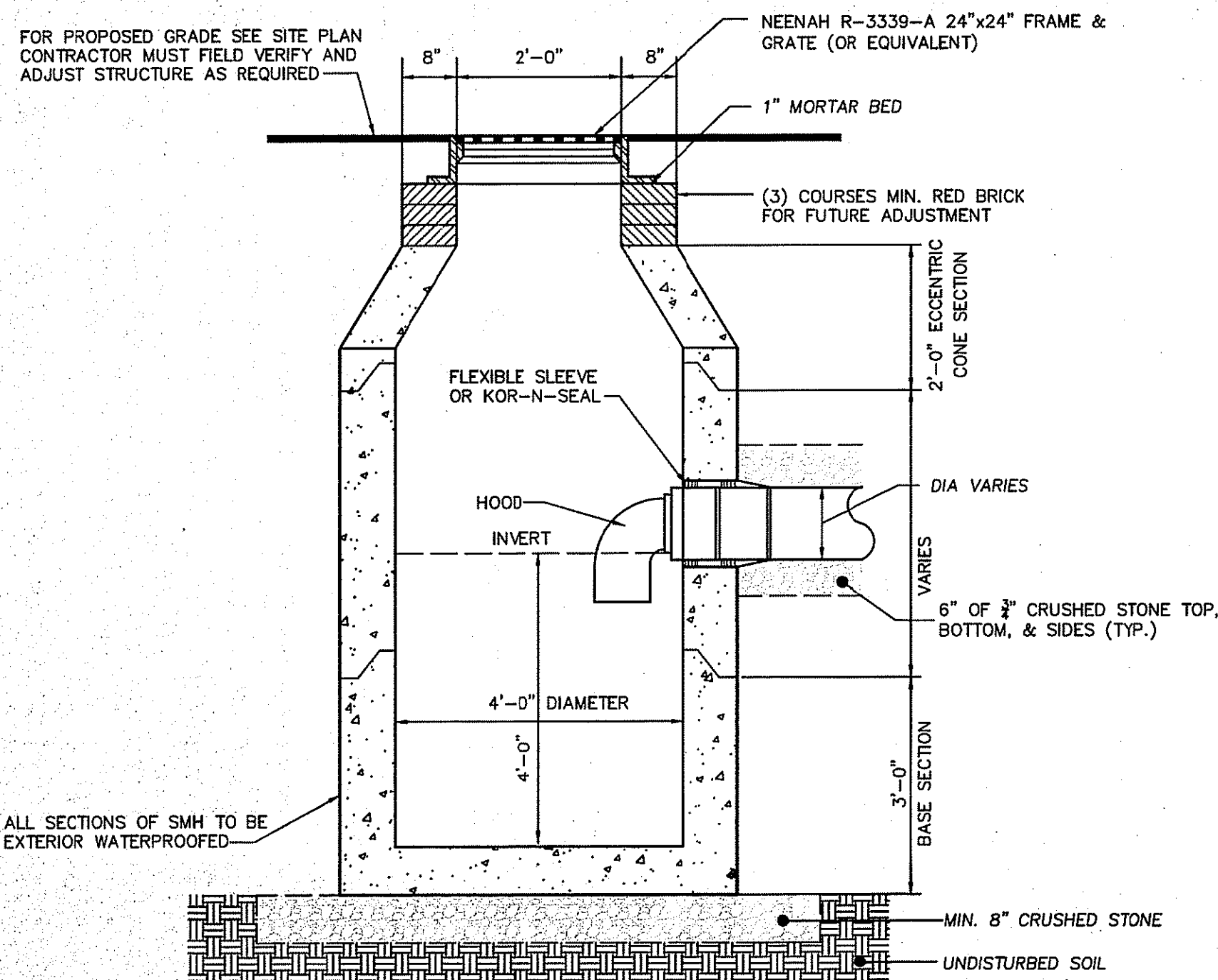
REVISIONS		DESCRIPTION
BY	DATE	REVISION
RCD	7/18/14	REVISED PER CITY REVIEW COMMENTS
HAL	8/04/14	REVISED PER UPDATED DATUM INFORMATION
RCD	11/11/14	REVISED PER DEM REVIEW COMMENTS
RCD	6/2/15	REVISED PER UPDATED STORMWATER SYSTEM DESIGN

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
CORPORATE OFFICE:
4114 BENEFIT STREET
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401-728-5533
P.O. BOX 514
EXETER, NEW HAMPSHIRE 03833
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DOLLAR GENERAL
CARBORN LAND INVESTMENT, LLC
14600 DETROIT AVE., SUITE 1300
LAKESIDE, OHIO 44107 (216)-228-5160
PROJECT ADDRESS:
WOONSOCKET, RI
MENDON ROAD
SHEET DESCRIPTION
SITE DETAIL SHEET

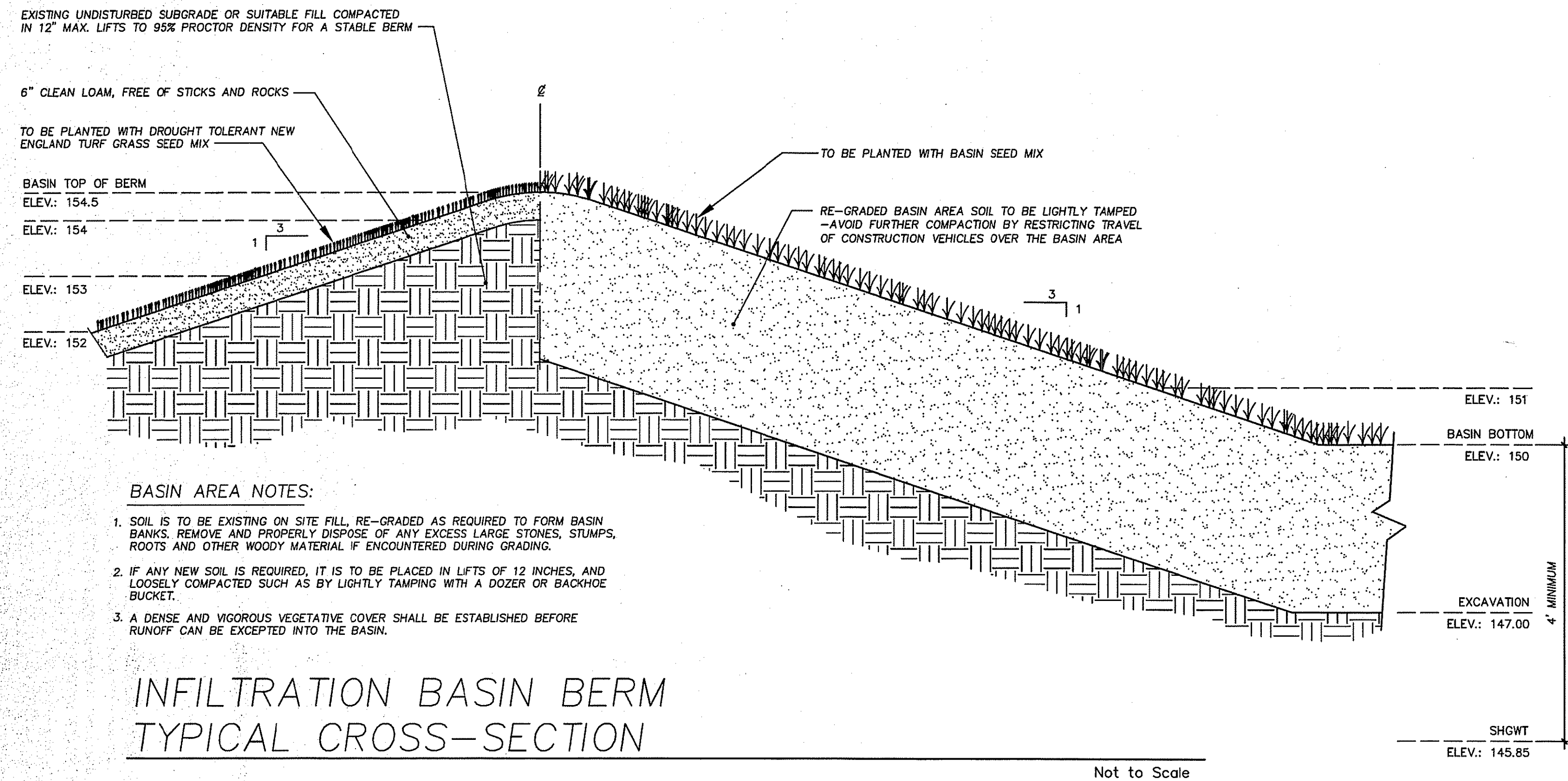
PREPARED FOR
PROJECT NO. 0514.114P
SCALE: AS NOTED
DRAWN BY: RCD
DATE: 6/18/14

SHEET NO.
SD-1



CATCH BASIN WITH HOOD
Not to Scale

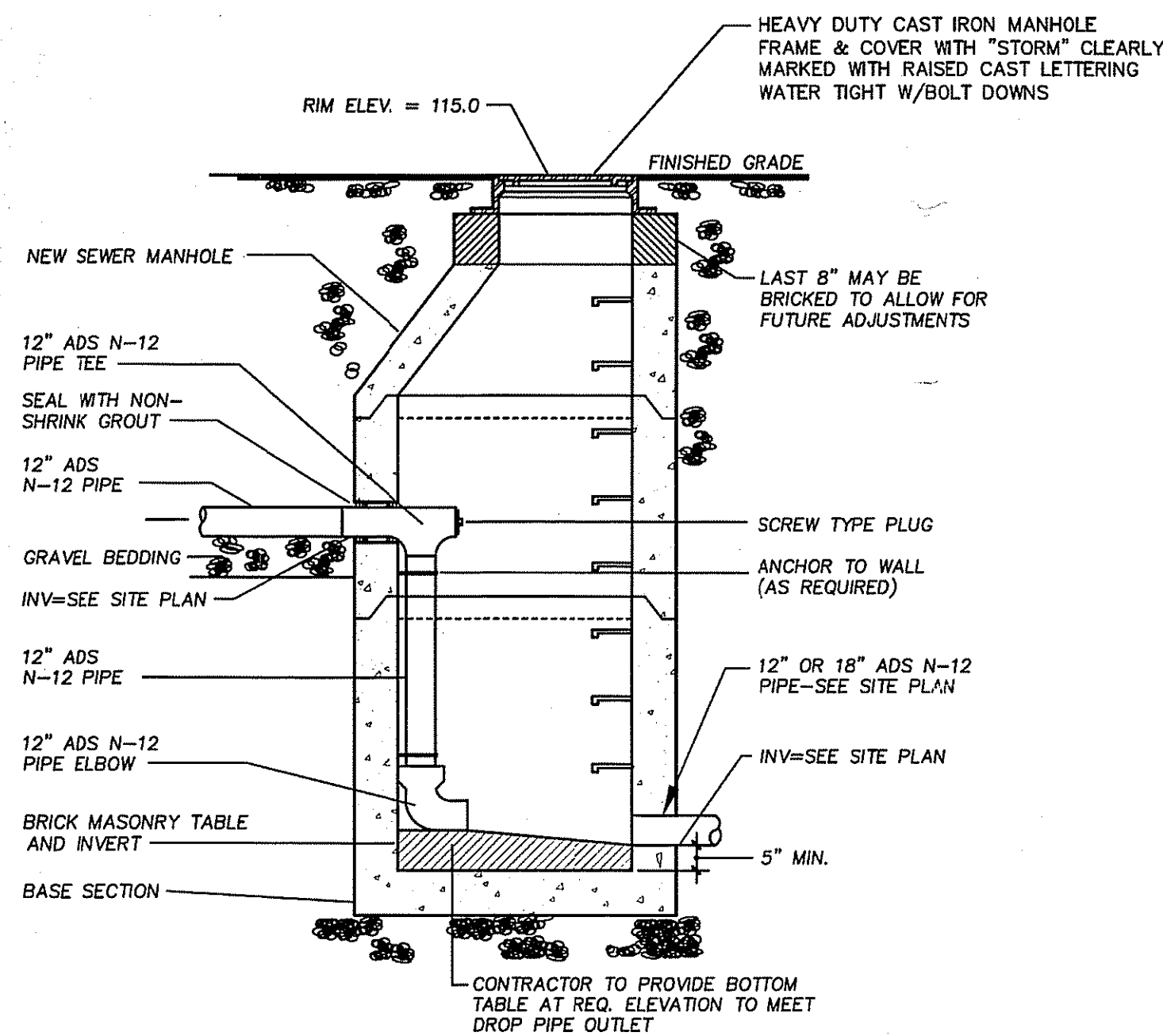
NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING



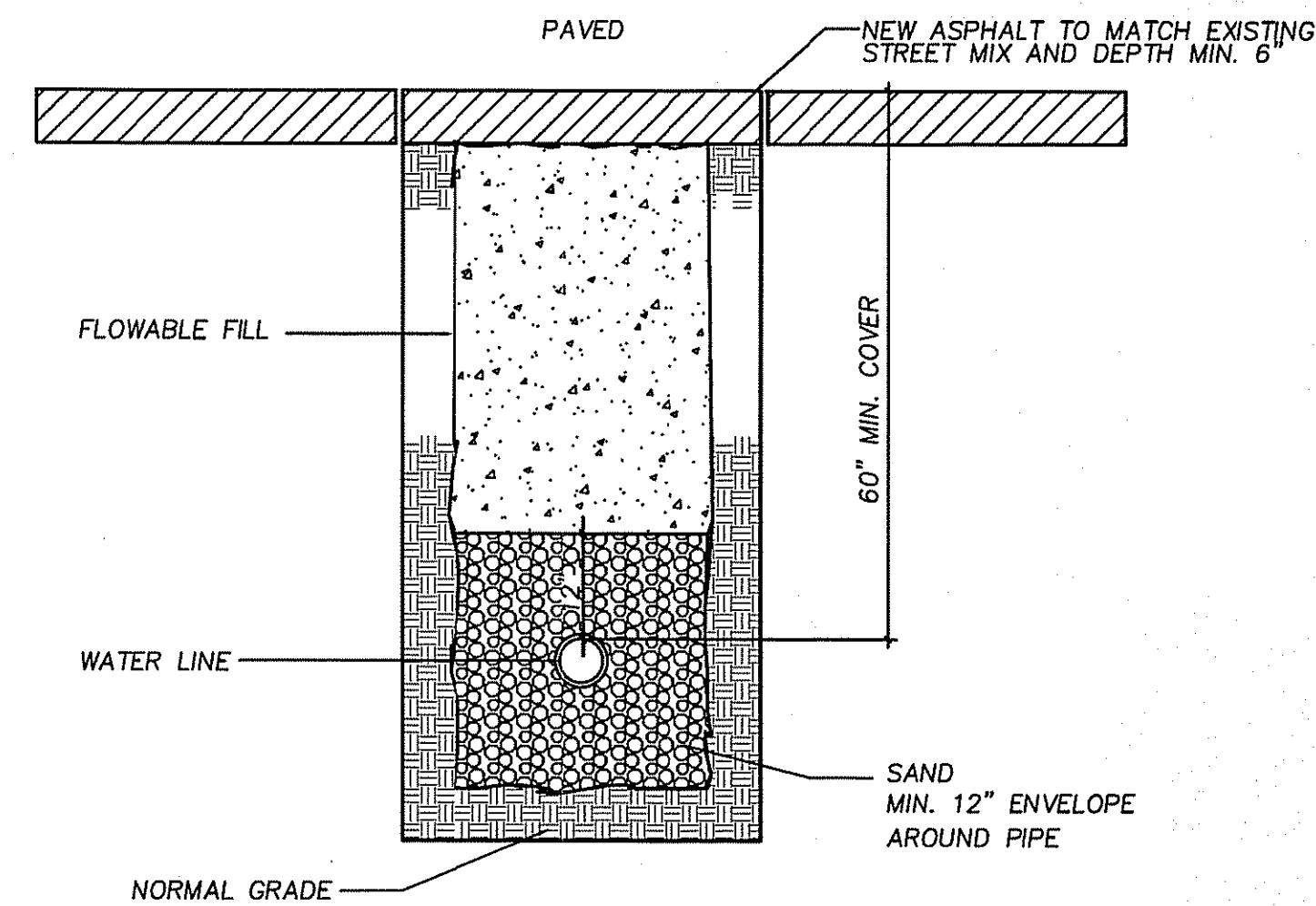
BASIN AREA NOTES:

- SOIL IS TO BE EXISTING ON SITE FILL, RE-GRADED AS REQUIRED TO FORM BASIN BANKS. REMOVE AND PROPERLY DISPOSE OF ANY EXCESS LARGE STONES, STUMPS, ROOTS AND OTHER WOODY MATERIAL IF ENCOUNTERED DURING GRADING.
- IF ANY NEW SOIL IS REQUIRED, IT IS TO BE PLACED IN LIFTS OF 12 INCHES, AND LOOSELY COMPACTED SUCH AS BY LIGHTLY TAMPING WITH A DOZER OR BACKHOE BUCKET.
- A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED BEFORE RUNOFF CAN BE EXPECTED INTO THE BASIN.

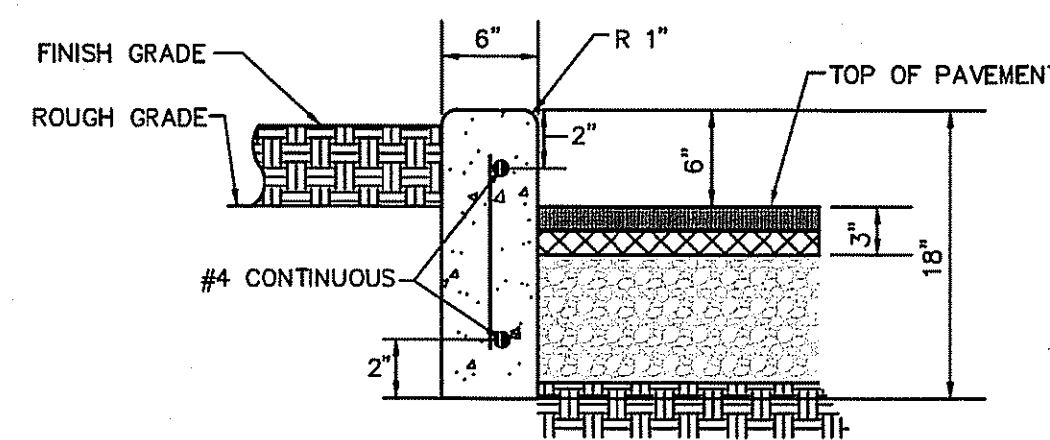
INFILTRATION BASIN BERM
TYPICAL CROSS-SECTION
Not to Scale



DROP MANHOLE DETAIL
NO SCALE



WATER TRENCH SECTION
Not to Scale



6" x 18" CONCRETE CURB
Not to Scale

NOTE:
PROVIDE EXPANSION JOINTS @ 20'-0" O.C. (MAX)

