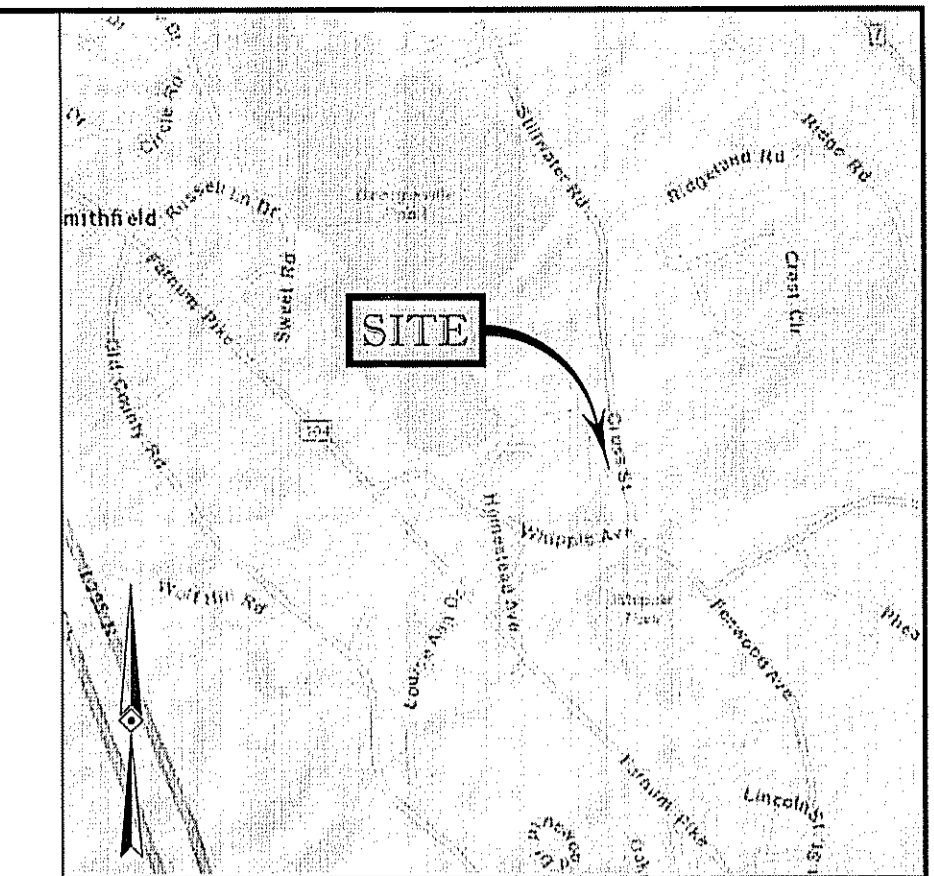
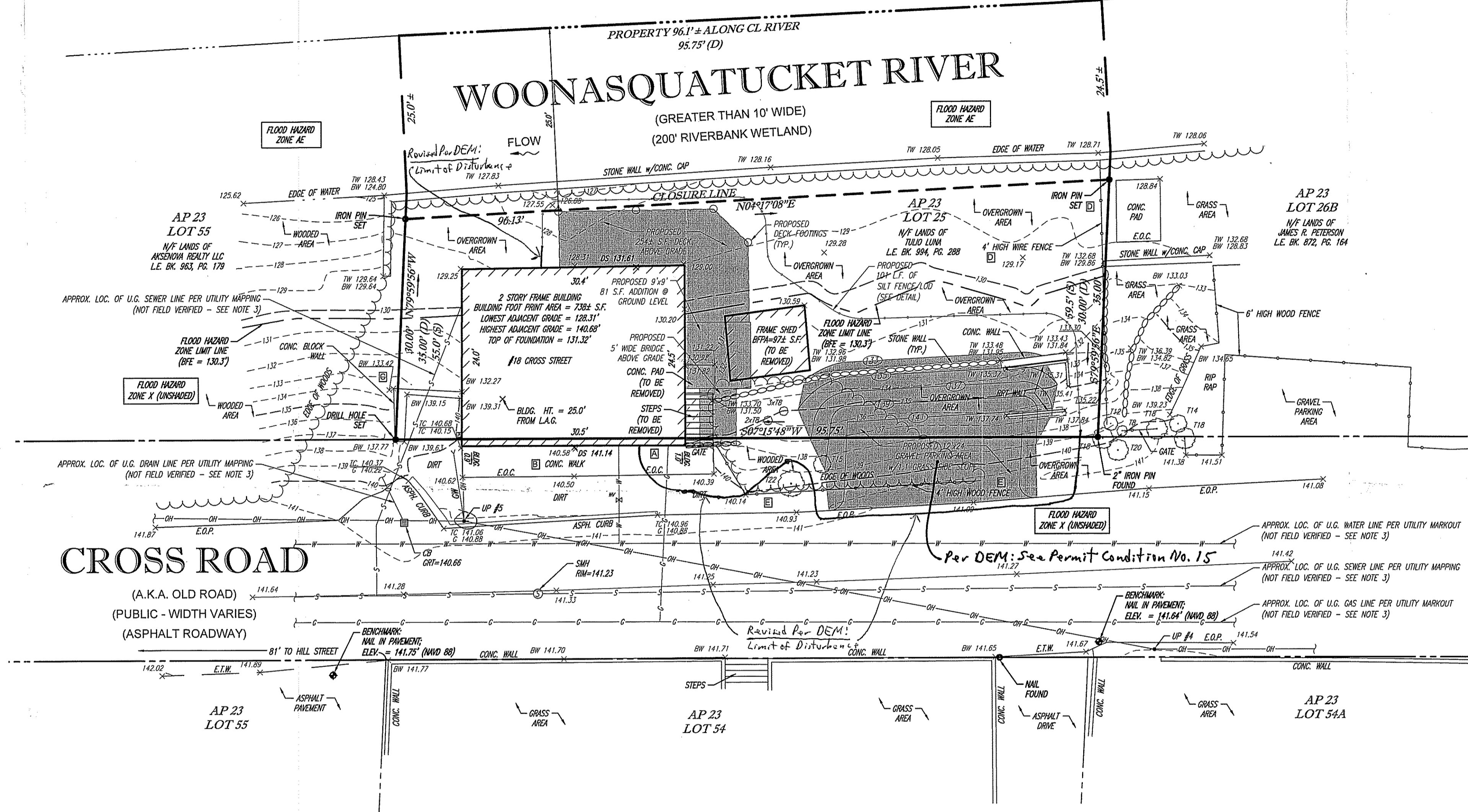


**LEGEND**

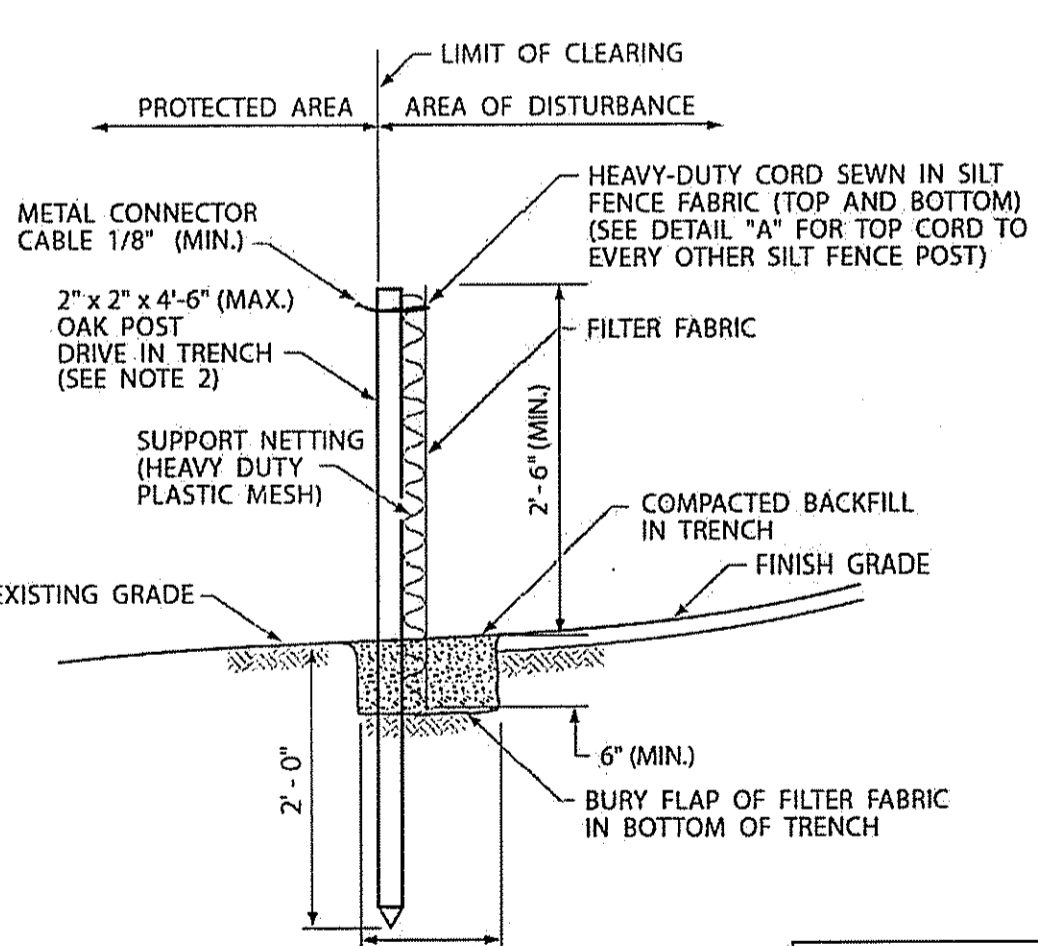
|          |   |
|----------|---|
| ---      | EXISTING CONTOUR  |
| ---      | EXISTING SPOT ELEVATION                                       |
| X 10     | EXISTING TOP OF CURB ELEVATION                                |
| X G      | EXISTING GUTTER ELEVATION                                     |
| X TW     | EXISTING TOP OF WALL ELEVATION                                |
| X BW     | EXISTING BOTTOM OF WALL ELEVATION                             |
| X OS     | EXISTING DOOR SILL ELEVATION                                  |
| WV       | WATER VALVE   |
| EM       | ELECTRIC METER  |
| OW       | OVERHEAD WIRES  |
| G        | APPROX. LOC. UNDERGROUND GAS LINE                             |
| D        | APPROX. LOC. UNDERGROUND DRAINAGE LINE                        |
| S        | APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE                |
| W        | APPROX. LOC. UNDERGROUND WATER LINE                           |
| UP #     | UTILITY POLE  |
| GW       | GUY WIRE  |
| SMH      | SANITARY/SEWER MANHOLE  |
| CB       | CATCH BASIN OR INLET  |
| DT       | DECIDUOUS TREE & TRUNK SIZE                                   |
| CLF      | CHAIN LINK FENCE  |
| E.O.C.   | EDGE OF CONCRETE  |
| E.O.P.   | EDGE OF PAVEMENT  |
| RT WALL  | RAILROAD TIE WALL   |
| SK       | SOLID YELLOW LINE   |
| HT       | HEIGHT  |
| BLDG.    | BUILDING  |
| B.F.P.A. | BUILDING FOOTPRINT AREA                                       |
| GR       | GRATE ELEVATION   |
| L.A.G.   | LOWEST ADJACENT GRADE   |
| CONC.    | CONCRETE  |
| ASPH.    | ASPHALT   |
| TYP.     | TYPICAL   |
| B.F.E.   | BASE FLOOD ELEVATION  |
| S.F.     | SQUARE FEET   |
| L.F.     | LINEAR FEET   |
| L.O.     | OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE |
| (S)      | SURVEY DIMENSION  |
| (D)      | DEED DIMENSION  |



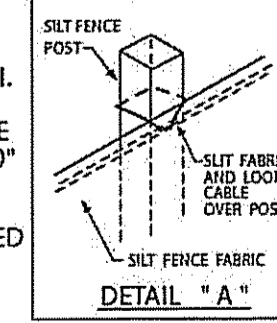
LOCUS MAP  
©2013 ESRI WORLD STREET MAPS



### Installation of Silt Fence

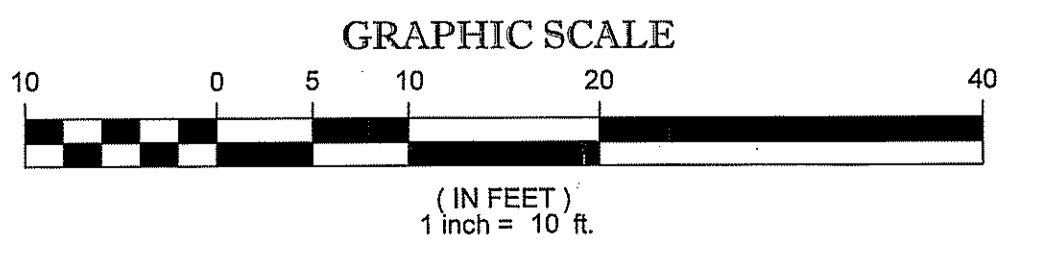


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  - 2" x 2" x 4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  - 1" x 1" x 4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AUG 06 2015 FILE # 15-0135  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



- NOTES:**
- PROPERTY KNOWN AS LOT 25 ON THE TOWN OF SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND TAX ASSESSORS MAP NO. 23.
  - AREA = 5,478 SQUARE FEET OR 0.126 ACRES (INCLUDING RIVER).
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. SARDELLI SURVEY, LLC DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY SARDELLI SURVEY, LLC AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN PARTIALLY IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AND PARTIALLY IN FLOOD HAZARD ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATION DETERMINED - 130.3) PER REF. #2.
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARK "M 32" (PID RLW1464), NAVD88 ELEVATION = 201.31 FEET.
  - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - THE WOONASQUATUCKET RIVER IS GREATER THAN 10' WIDE AND HAS A 200' RIVERBANK WETLAND ASSOCIATED WITH ITS EDGE, PER THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.

- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF THE TOWN OF SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND, SHEET #23.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 169 OF 451, MAP NUMBER 44007C0169G, EFFECTIVE DATE: MARCH 2, 2009.
  - MAP ENTITLED "PLAN OF SUB-DIVISION, BERNON MILL PROPERTY OF MANVILLE-JENCKES CORPORATION, SMITHFIELD, R.I.," PREPARED BY CHARLES F. PARKER, DATED APRIL 1935, FILED IN THE TOWN OF SMITHFIELD AS PLAT CARD #65.
  - MAP ENTITLED "PLAT SHOWING LOTS IN SMITHFIELD RHODE ISLAND, TAKEN IN FEE SIMPLE FOR STATE HIGHWAY PURPOSES ON BEHALF OF THE STATE OF RHODE ISLAND & PROVIDENCE PLANTATIONS," PREPARED BY METCALF & EDDY, INC., DATED OCTOBER 1979, FILED WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION AS STATE HIGHWAY PLAT #1841.
  - STORM/SANITARY SEWER UTILITY MAPPING PROVIDED BY THE TOWN OF SMITHFIELD ENGINEERING DEPARTMENT.

**ZONING INFORMATION**  
R20 (RESIDENTIAL) DISTRICT  
SOURCE: SMITHFIELD ZONING REGS (SEC. 5.4, TABLE 1)

| ITEMS               | REQUIRED       | EXISTING      | PROPOSED     |
|---------------------|----------------|---------------|--------------|
| MIN LOT AREA        | 20,000 SQ. FT. | 5,478 SQ. FT. | -            |
| MIN FRONTAGE        | 125'           | 95.76'        | -            |
| MIN FRONT YARD      | 30'            | -1.0'         | -            |
| MIN SIDE YARD       | 15'            | 8.0'          | -            |
| MIN REAR YARD       | 30'            | 32.2'         | 25.0' (DECK) |
| MAX BUILDING HEIGHT | 3'             | 25.0'         | 36.9'        |
| MAX LOT COVERAGE    | 25%            | 14.7%         | 19.0%        |

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

\*CALCULATION FOUND TO BE NON-COMFORMING TO CURRENT ZONING REGULATIONS.

- TABLE OF APPARENT ENCROACHMENTS**
- FACE OF BUILDING IN RIGHT OF WAY.
  - CONCRETE WALK IN RIGHT OF WAY.
  - CONCRETE BLOCK WALL IN LOT 55.
  - METAL FENCE MEANDORS LINE WITH LOT 26B.
  - PICKET FENCE IN RIGHT OF WAY.

THIS PLAN CONFORMS TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLACK INK SEAL.

**JAMIE L. SARDELLI**  
Rhode Island Professional Land Surveyor #2505

**JAMIE L. SARDELLI**  
No. 2505  
PROFESSIONAL LAND SURVEYOR

6-24-15  
DATE

**SITE PLAN**  
TULIO LUNA  
18 CROSS STREET  
A.P. 23, LOT 25  
TOWN OF SMITHFIELD, PROVIDENCE COUNTY  
STATE OF RHODE ISLAND

Sardelli Survey, LLC  
& Environmental Services  
WWW.SARDELLISURVEY.COM  
355 BLACKROCK ROAD  
COVENTRY, R. 02816  
OFFICE - (401)615-2883

|            |        |                |       |                |         |            |                |        |        |           |        |           |        |      |         |       |        |          |         |          |        |
|------------|--------|----------------|-------|----------------|---------|------------|----------------|--------|--------|-----------|--------|-----------|--------|------|---------|-------|--------|----------|---------|----------|--------|
| FIELD DATE | 8-2-15 | FIELD BOOK NO. | 15-01 | FIELD BOOK PG. | 113-134 | FIELD CREW | M.V.S., J.L.S. | DRAWN: | J.L.S. | REVIEWED: | J.L.S. | APPROVED: | J.L.S. | DATE | 6-24-15 | SCALE | 1"=10' | FILE NO. | SS15030 | DWG. NO. | 1 OF 1 |
|------------|--------|----------------|-------|----------------|---------|------------|----------------|--------|--------|-----------|--------|-----------|--------|------|---------|-------|--------|----------|---------|----------|--------|

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THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.