

# SITE PLAN SET

## FOR

# SINGLE FAMILY HOME

# PHASE II IMPROVEMENTS

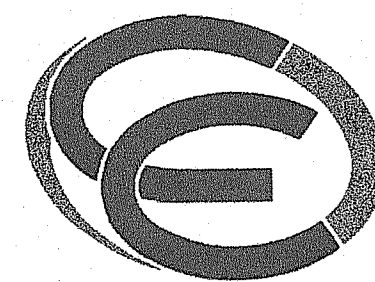
**PLAT MAP D, LOT 205-1**  
**ZONING DISTRICT R10-A**  
**RESIDENTIAL-HIGH DENSITY DISTRICT**

**135 OCEAN ROAD**  
**NARRAGANSETT, RHODE ISLAND**

**OWNER/APPLICANT**

**DAVID and SUSAN TRENTESEAUX**  
**135 OCEAN ROAD**  
**NARRAGANSETT, RI 02882**

**ENGINEERS and LAND SURVEYORS**



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

**CROSSMAN ENGINEERING**

Rhode Island      Massachusetts  
 151 Centerville Road      103 Commonwealth Avenue  
 Warwick, RI 02886      North Attleboro, MA 02763  
 Phone: (401) 738-5660      Phone: (508) 695-1700

Email: [cei@crossmaneng.com](mailto:cei@crossmaneng.com)

**JULY 2018**  
**SHEET 1 of 7**

**WETLAND SCIENTIST**

**NATURAL RESOURCE SERVICES INC.**  
**P.O. BOX 311**  
**HARRISVILLE, RHODE ISLAND 02830**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED AUG 06 2019      FILE # 15-0191  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



**LOCATION MAP**  
 NOT TO SCALE

**INDEX OF DRAWINGS**

<u>DRAWING No.</u>	<u>PLAN</u>
C1	GENERAL NOTES and LEGEND
C2	AERIAL
C3	EXISTING CONDITIONS PLAN
C4	SITE LAYOUT PLAN
C5	GRADING and DRAINAGE PLAN
C6	SOIL EROSION and SEDIMENT CONTROL PLAN

Environmental Management  
 AUG - 6 2019  
 Office of Water Resources

Environmental Management  
 JUL - 6 2019  
 Office of Water Resources

STEVEN M. CABRAL  
 No. 4847  
 REGISTERED  
 PROFESSIONAL ENGINEER

**REVISIONS:**

No.:	DATE:	DESCRIPTION:
1	8/16/18	DRAINAGE CERTIFICATION
2	12/26/18	PROPOSED BASE
3	08/05/19	EXISTING CONDITIONS





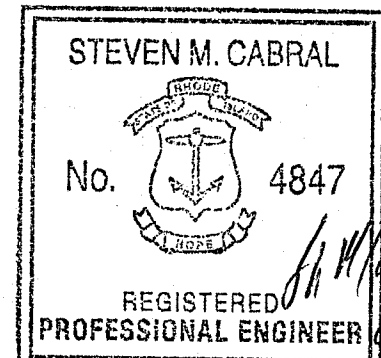
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OWNER:  
**DAVID and SUSAN TRENTSEAU**  
**135 OCEAN ROAD NARRAGANSETT, RI 02882**

PROJECT TITLE:  
**SINGLE FAMILY HOME PHASE II IMPROVEMENTS**  
**PLAT MAP D, LOT 205-1**  
**ZONING DISTRICT R-10A**  
**RESIDENTIAL-HIGH DENSITY (HOTELS)**  
**OCEAN ROAD NARRAGANSETT, RI**

PREPARED FOR:  
**DAVID and SUSAN TRENTSEAU**  
**135 OCEAN ROAD NARRAGANSETT, RI 02882**

DRAWING TITLE:  
**AERIAL**

DATE: JULY 2018 SCALE: 1"=20'

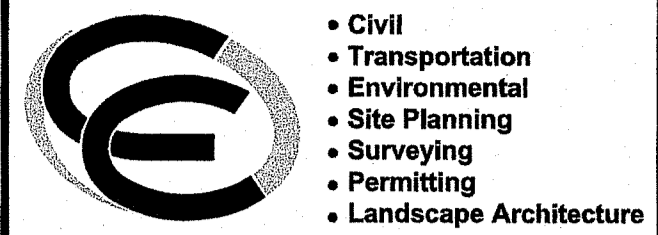
DWG. NAME: 2101-C02-AERIAL-P2-R3.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	DRAINAGE CERTIFICATION	8/16/18
2	PROPOSED BASE	12/26/18
3	EXISTING CONDITIONS	08/05/19

APPROVED WITH COMMENTS  
SPECIFIED IN THE TERMS OF APPROVAL  
FILE # 15-0191  
AUG-06-2019  
APPROVED FOR CONSTRUCTION

DRAWING NUMBER  
**C2**  
SHEET: 3 OF 7



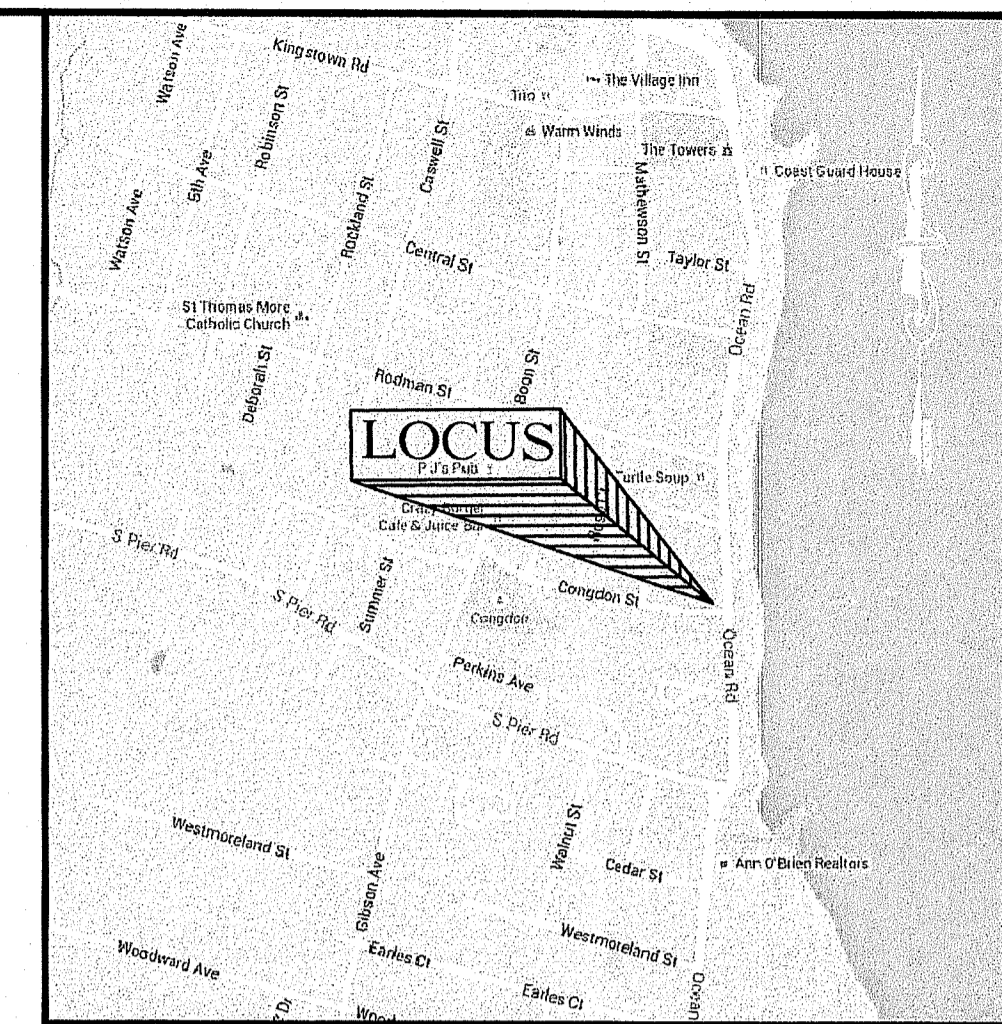
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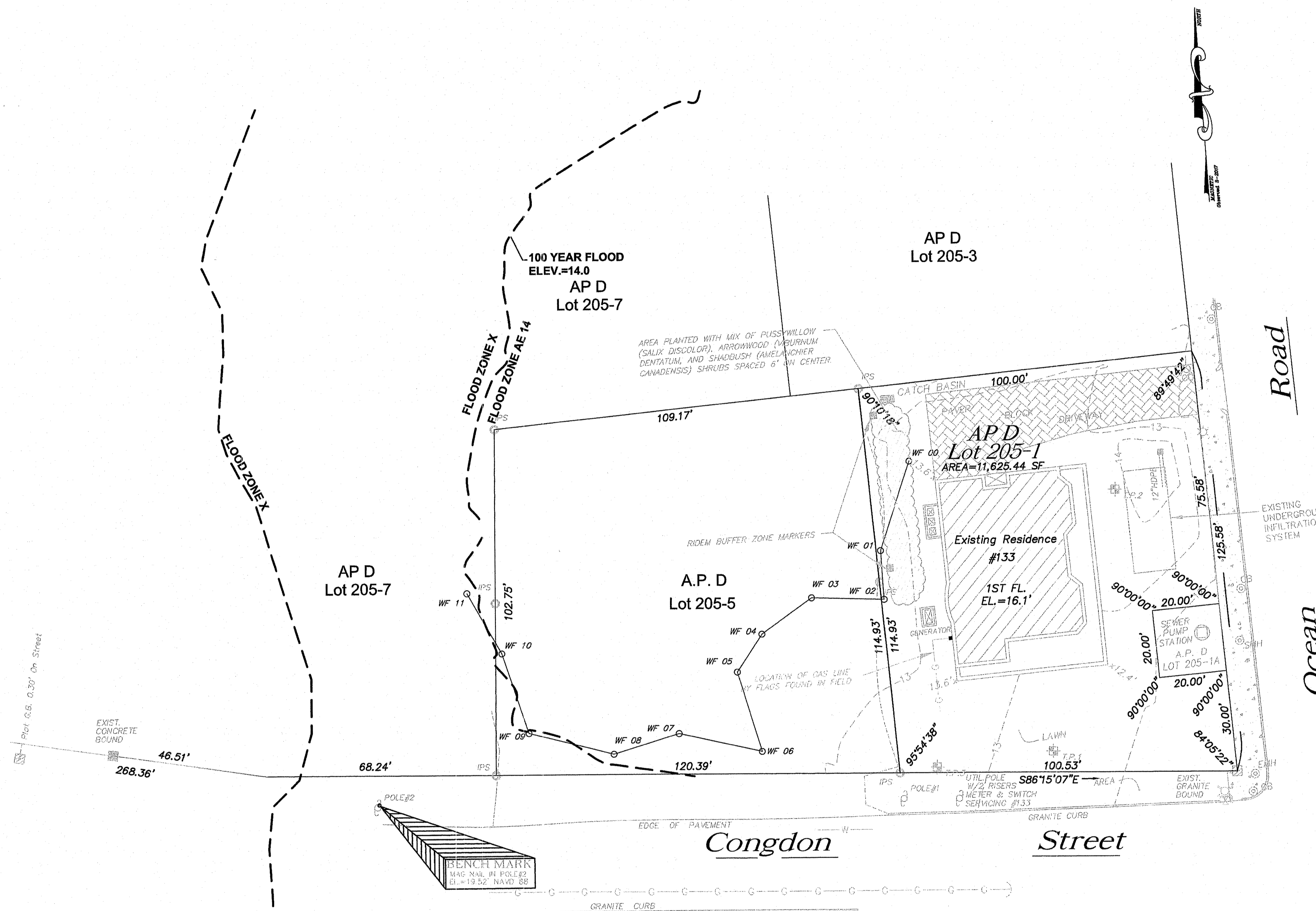
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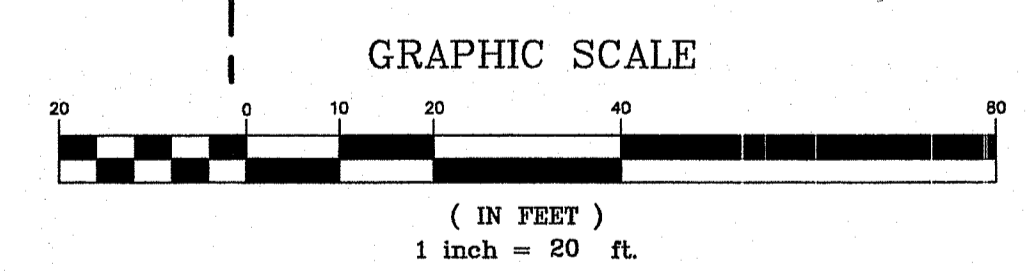


**LOCATION MAP**  
NOT TO SCALE



**LEGEND**

- 102.60' — EXISTING PROPERTY LINE
- C — DISSAFE GAS LINE MARKINGS
- W — DISSAFE WATER LINE MARKINGS
- IPS — LPIN SET
- [Symbol] — EXISTING GRANITE BOUND
- [Symbol] — EXISTING CONCRETE BOUND
- [Symbol] — FLAG POLE



**Dig Safe Notation:**

All utilities shown hereon are taken from visible observations. Contractor is responsible to verify all locations and elevations prior to the start of any construction or excavation. Dig Safe must be notified. 1-888-344-7233

**REFERENCES:**

- 1) Narragansett Court  
Narragansett R.I. Scale 1 in = 40ft  
July 22-1929 Thomas Iverson C.E.  
Revised Aug 15-1929 and Sept. 1931.
- 2) Property Survey of Lots 7, 13, 17 & 18  
Narragansett Court, Narr., R.I.  
for Harry Zisson Date 10-22-90  
Scale 1"=20' Hilbern Land Surveying Inc.

**NOTE:**

1. Wetland flags labeled as WF 00 to WF 11 performed by George Gifford in 2014 (Ridern File No. 14-0116) and field surveyed by David Garrigan, PLS.

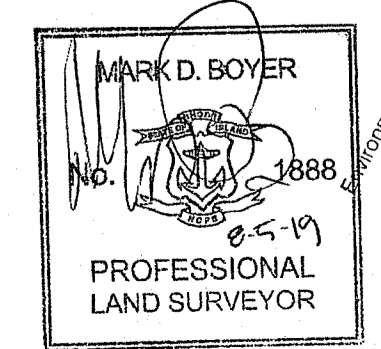
**CERTIFICATION**

This survey has been conducted and the plan has been prepared pursuant to Section 9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors effective as of November 25, 2015 as follows:

TYPE OF SURVEY :	MEASUREMENT SPECIFICATION:
Comprehensive Boundary Survey	I
OTHER TYPE OF SURVEY :	
Data Accumulation Plan	III
Topographic Survey Accuracy	T-2

The purpose for the conduct of this survey and for the preparation of the plan is to establish the deeded property lines, depict the physical location of any improvements & encroachments and the topography on the subject parcel.

By:   
Mark D. Boyer #1888  
Crossman Engineering COA #A257



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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*Christopher D. Johnson*

**OWNER:**

**DAVID and SUSAN  
TRENTESEAUX**

**135 OCEAN ROAD  
NARRAGANSETT, RI  
02882**

**PROJECT TITLE:**

**SINGLE FAMILY HOME  
PHASE II IMPROVEMENTS**  
PLAT MAP D, LOT 205-1  
ZONING DISTRICT R-10A  
RESIDENTIAL-HIGH DENSITY  
(HOTELS)  
OCEAN ROAD  
NARRAGANSETT, RI

**PREPARED FOR:**

**DAVID and SUSAN  
TRENTESEAUX**

**135 OCEAN ROAD  
NARRAGANSETT, RI  
02882**

**DRAWING TITLE:**

**EXISTING CONDITIONS PLAN**

DATE:	JULY 2018	SCALE:	1"=20'
DWG. NAME:	2101-C03-EXCN-P2-R3.dwg		

**REVISIONS**

NUMBER	REMARKS	DATE
1	DRAINAGE CERTIFICATION	8/16/18
2	PROPOSED BASE	12/26/18
3	EXISTING CONDITIONS	08/05/19

**DRAWING NUMBER**

**C3**

SHEET: 4 OF 7



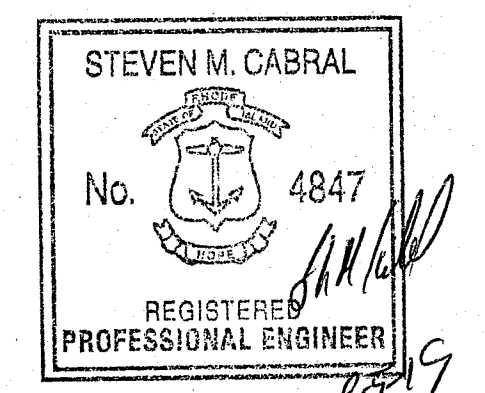
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(HOTELS)  
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PREPARED FOR:  
**DAVID and SUSAN TRENTESEAU**

**135 OCEAN ROAD  
NARRAGANSETT, RI  
02882**

DRAWING TITLE:  
**SITE LAYOUT PLAN**

DATE: JULY 2018  
SCALE: 1"=20'

DWG. NAME: 2101-C04-SITE-P2-R3.dwg

NUMBER	REVISIONS	DATE
1	DRAINAGE CERTIFICATION	8/16/18
2	PROPOSED BASE	12/26/18
3	EXISTING CONDITIONS	08/05/19

NUMBER	REVISIONS	DATE

DRAWING NUMBER  
**C4**  
SHEET: 5 OF 7

**FLOOD ZONE NOTE**

THE SITE IS LOCATED IN ZONE AE, SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BAS FLOOD ELEVATION = 14.00, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, WASHINGTON COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 212 OF 368, MAP NUMBER 44009C0212J, EFFECTIVE DATE OCTOBER 16, 2013.

**NARRAGANSETT ZONING REQUIREMENTS**

MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	10,000 S.F.	11,626 S.F.
MINIMUM LOT WIDTH	100'	115'
FRONT YARD SETBACK	25'	35'
SIDE YARD SETBACK	10'	27' (BUILDING) 10' (POOL)
REAR YARD SETBACK	20'	20'
MAXIMUM STRUCTURE HEIGHT	35'	<35'
MAXIMUM BUILDING COVERAGE	25%	25%*

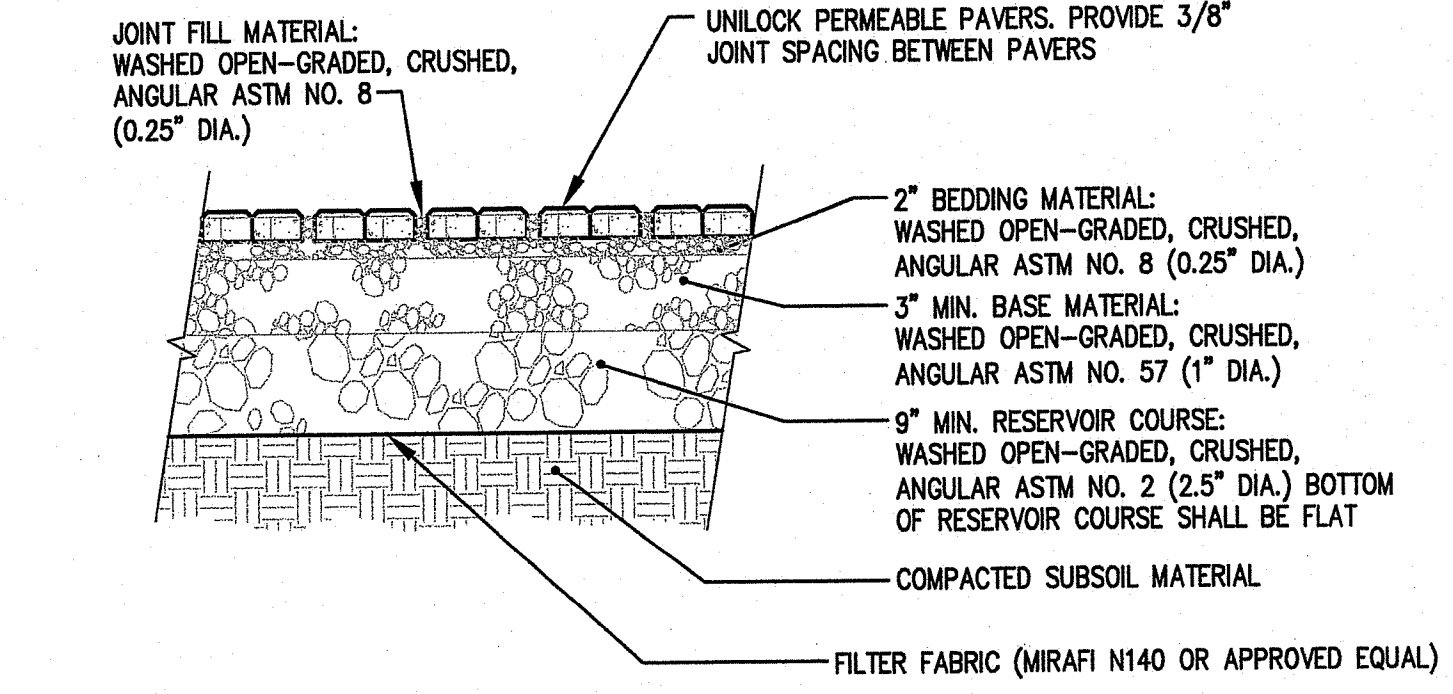
\*MAXIMUM BUILDING COVERAGE INCLUDES ALL PRINCIPAL AND ACCESSORY BUILDINGS AND STRUCTURES, WHICH INCLUDES THE HOUSE AND GENERATOR PAD

**SITE COVERAGE SUMMARY**

HOUSE (WITH 10" OVERHANG ALL SIDES) = 61.67' X 46.67' = 2,878.14 SF  
GENERATOR = 24.72 SF

TOTAL = 2,902.86 SF  
PERCENT COVERAGE = 2,902.86 SF / 11,626 SF = 25%

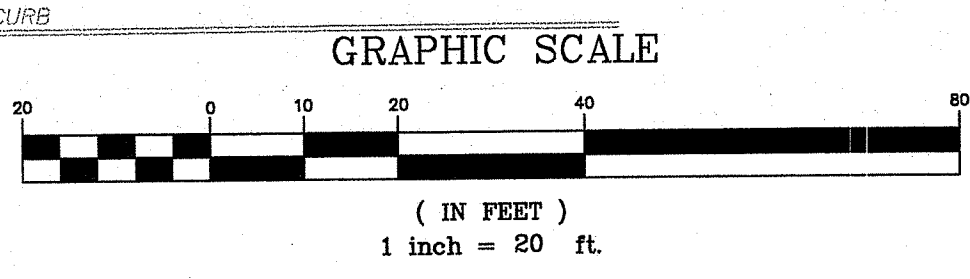
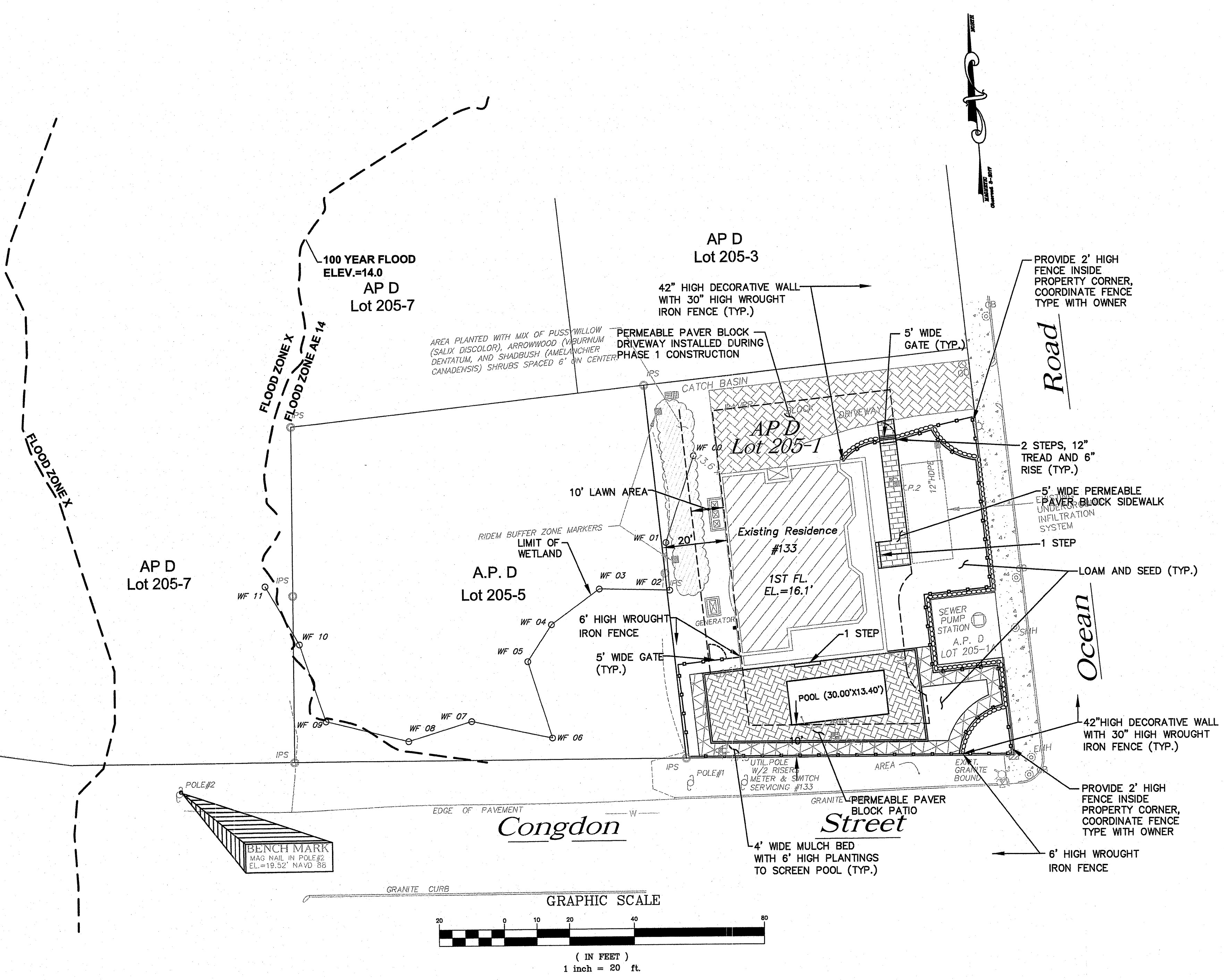
ZONING CODE SECTION
SECTION 4.3 (3-a,b,d) COASTAL AND FRESHWATER WETLANDS OVERLAY DISTRICT- SPECIAL USE PERMIT
SECTION 4.4 (b-1.3) COASTAL RESOURCES OVERLAY DISTRICT- SPECIAL USE PERMIT
SECTION 4.5 (d) HIGH WATER TABLE LIMITATIONS OVERLAY DISTRICT- SPECIAL REVIEW



**PERMEABLE PAVER BLOCK DETAIL**  
NOT TO SCALE

**PERMEABLE PAVER BLOCK NOTES:**

- 1) PRODUCT STYLE AND COLOR SHALL BE COORDINATED WITH OWNER. ALL INSTALLATION SHALL MEET MANUFACTURERS RECOMMENDATIONS/STANDARDS.
- 2) ALL AGGREGATE MATERIAL SHALL BE WASHED, CRUSHED, ANGULAR STONE AND FREE OF FINES.
- 3) REMOVE ALL FILL AND ORGANIC MATERIAL TO NATIVE SOILS, REPLACE WITH GRAVEL BORROW (GRAVEL BORROW: <0% PASSING 200 SIEVE).
- 4) THE PROVIDED AGGREGATE THICKNESSES ARE AFTER COMPACTION.
- 5) CONTRACTOR SHALL COORDINATE WITH MANUFACTURER TO HAVE A REPRESENTATIVE ONSITE FOR THE FIRST WEEK OF PAVER INSTALLATION.
- 6) CONTRACTOR SHALL TOP DRESS STONE IN VOIDS AFTER BLOCKS ARE COMPACTIONED AND 3-6 MONTHS AFTER INITIAL INSTALLATION.
- 7) RECOMMENDATION - PERMEABLE PAVER BLOCK SURFACE SHALL BE SWEEP FREQUENTLY. REFER TO MANUFACTURER'S MAINTENANCE GUIDE FOR ADDITIONAL MAINTENANCE RECOMMENDATIONS.



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Environmental Management  
AUG - 6 2018  
Prepared by: Victor H. ...



**GENERAL PROJECT WIDE NOTES**

1. THE LIMIT OF DISTURBANCE SHALL BE MARKED AND STRAW WATTLES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. STRAW WATTLES SHALL BE MAINTAINED ON A REGULAR BASIS AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY, ROADWAY, AND WETLANDS.
2. WHERE APPLICABLE THE CONTRACTOR MUST REPLACE AND/OR RESEED ANY VEGETATION THAT DOES NOT DEVELOP/SURVIVE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE TO OR THE OWNER.
3. ALL STRAW WATTLES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AREA IS STABILIZED WHICH INCLUDES ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. AREAS SHALL BE STABILIZED WITH CRUSHED STONE OR LOAM AND SEED, AS APPROVED BY THE OWNER.
4. EXISTING VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE.
5. IF SEDIMENT IS TRACKED INTO STREET, STRAW WATTLES SHALL BE PLACED AT CURB INLETS IN THE VICINITY OF CONSTRUCTION AND SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND SITE IS STABLE.
6. AREAS DAMAGED DURING CONSTRUCTION SHALL BE STABILIZED, OR OTHERWISE RESTORED AT THE CONTRACTOR'S EXPENSE.
7. UNLESS REFERENCED ON THE PLANS, STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STRAW WATTLES.
8. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, FIBER MATTING OR APPROVED EQUAL.
9. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF STRAW WATTLES.
10. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. DAILY PATROL OF THE CONSTRUCTION SITE IS REQUIRED TO PICK UP AND DISPOSE OF TRASH.
11. POTENTIAL CONSTRUCTION MATERIAL THAT MAY BE STOCKPILED ONSITE INCLUDE SOIL AND STONE STOCKPILES AND PIPE AND STRUCTURE STOCKPILES. HAZARDOUS MATERIALS MAY NOT BE STORED ONSITE WITHOUT APPROVAL OF ENGINEER.
12. PREVIOUSLY INSTALLED BUFFER ZONE MARKERS MUST BE MAINTAINED DURING CONSTRUCTION. THE MARKERS PROVIDE PERMANENT REFERENCE POINTS ON SITE THAT ARE CLEAR TO PRESENT AND FUTURE PROPERTY OWNERS AND REFERENCE THE LIMIT OF DISTURBANCE. NO ALTERATIONS OF ANY KIND ARE PERMITTED BEYOND THESE MARKERS WITHOUT FIRST OBTAINING THE NECESSARY PERMIT FROM RIDEM.

**INSPECTION/MAINTENANCE NOTES**

1. PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES, THE LIMIT OF DISTURBANCE SHALL BE MARKED AND STRAW WATTLES SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ADJUTING PROPERTIES.
2. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP, OR APPROVED EQUAL.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING STORM EVENTS WHICH GENERATE GREATER THAN 0.25 INCHES OF RAINFALL, AND WEEKLY DURING NON CONSTRUCTION PERIODS. SOIL EROSION AND SEDIMENT CONTROL INSPECTIONS SHALL BE RECORDED ON SITE SPECIFIC SESC INSPECTION REPORT FORMS PROVIDED BY THE ENGINEER. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL GIVE ALL NOTES AND RECORDS TO THE OWNER AND THE OWNER SHALL RETAIN THESE NOTES AND RECORDS ONSITE FOR A PERIOD OF 5 YEARS FROM THE DATE OF THE REPORT.
5. ADDITIONAL STRAW WATTLES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER. EROSION CONTROL MAINTENANCE AND REPLACEMENT SHALL BE INCLUDED IN THE BASE BID PRICE.
6. THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, REVISED 2014, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.
8. SOIL EROSION CONTROL WATTLE SHALL BE 12" DIA. SUBMITTALS OF STRAW WATTLE WILL BE REQUIRED FOR REVIEW AND APPROVAL.
9. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
10. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.

**STORMWATER MANAGEMENT SYSTEM CONSTRUCTION NOTES**

1. STORMWATER MAY BE DIRECTED TO THE EXISTING INFILTRATION SYSTEM AFTER CONSTRUCTION IS COMPLETE AND ALL AREAS ONSITE ARE STABILIZED.
2. CONTRACTOR SHALL RESTORE DESIGN INFILTRATION CAPACITIES AT PROPOSED PERMEABLE PAVER BLOCK AREAS PRIOR TO INSTALLATION.

**STORMWATER MANAGEMENT SYSTEM - MAINTENANCE OPERATION**

1. UPON PROJECT COMPLETION, THE SITE OWNER SHALL ADHERE TO THE MAINTENANCE RECOMMENDATIONS AS LISTED IN THE LONG TERM OPERATION AND MAINTENANCE PLAN.

**CONSTRUCTION NOTES**

THE PROPOSED VEGETATIVE AND STRUCTURAL PRACTICES TO BE IMPLEMENTED DURING CONSTRUCTION ARE DESCRIBED AND ILLUSTRATED WITHIN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR SHOULD INITIATE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. IF CONSTRUCTION CANNOT BEGIN WITHIN TWENTY-ONE (21) DAYS OF COMPLETING SITE PREPARATION ACTIVITIES, ALL DISTURBED AREAS SHALL RECEIVE TEMPORARY STABILIZATION.

**ADDITIONAL CONTROLS**

- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS REQUIRED TO NOTIFY LOCAL AUTHORITIES AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WASTE MANAGEMENT, OF ANY HAZARDOUS MATERIAL SPILL.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN THE SITE IN AN ORDERLY AND CLEAN STATE. ALL CONSTRUCTION WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS PRIOR TO REMOVAL AND CONTACT WITH PRECIPITATION SHALL BE KEPT TO A MINIMUM.
- GENERAL MAINTENANCE PROCEDURES ARE OUTLINED IN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR AND CONTRACTOR ARE REQUIRED TO INSPECT ALL EROSION CONTROLS ON THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER A RAIN EVENT, WHICH GENERATES 0.25 INCHES OF RAIN IN A TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.

**SEQUENCE OF CONSTRUCTION**

CONSTRUCTION ACTIVITIES WILL INCLUDE EARTHWORK, DRAINAGE INSTALLATION AND EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE. IN GENERAL, THE SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS:

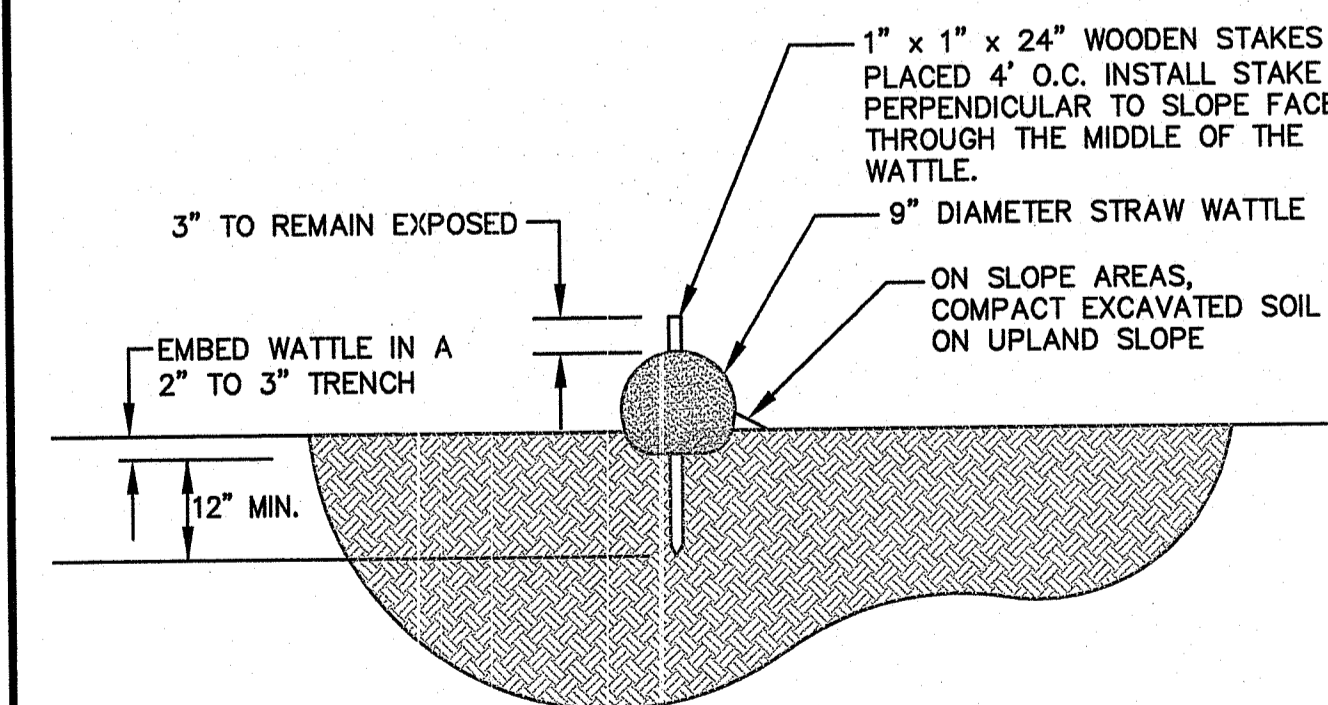
- INSTALLATION OF EROSION CONTROLS SUCH AS STRAW WATTLES. INSTALL TEMPORARY CONSTRUCTION FENCE AROUND PERIMETER OF SITE.
- EARTHWORK ACTIVITIES
- INSTALLATION OF POOL
- INSTALLATION OF DECORATIVE WALL AND FENCE AND PAVER BLOCK AREAS.
- GROUND COVER TREATMENT/STABILIZATION.

**DUST CONTROL NOTES**

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS (AS RECOMMENDED BY THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK") TO CONTROL DUST:

- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

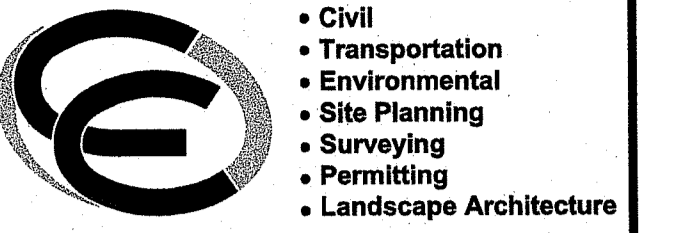
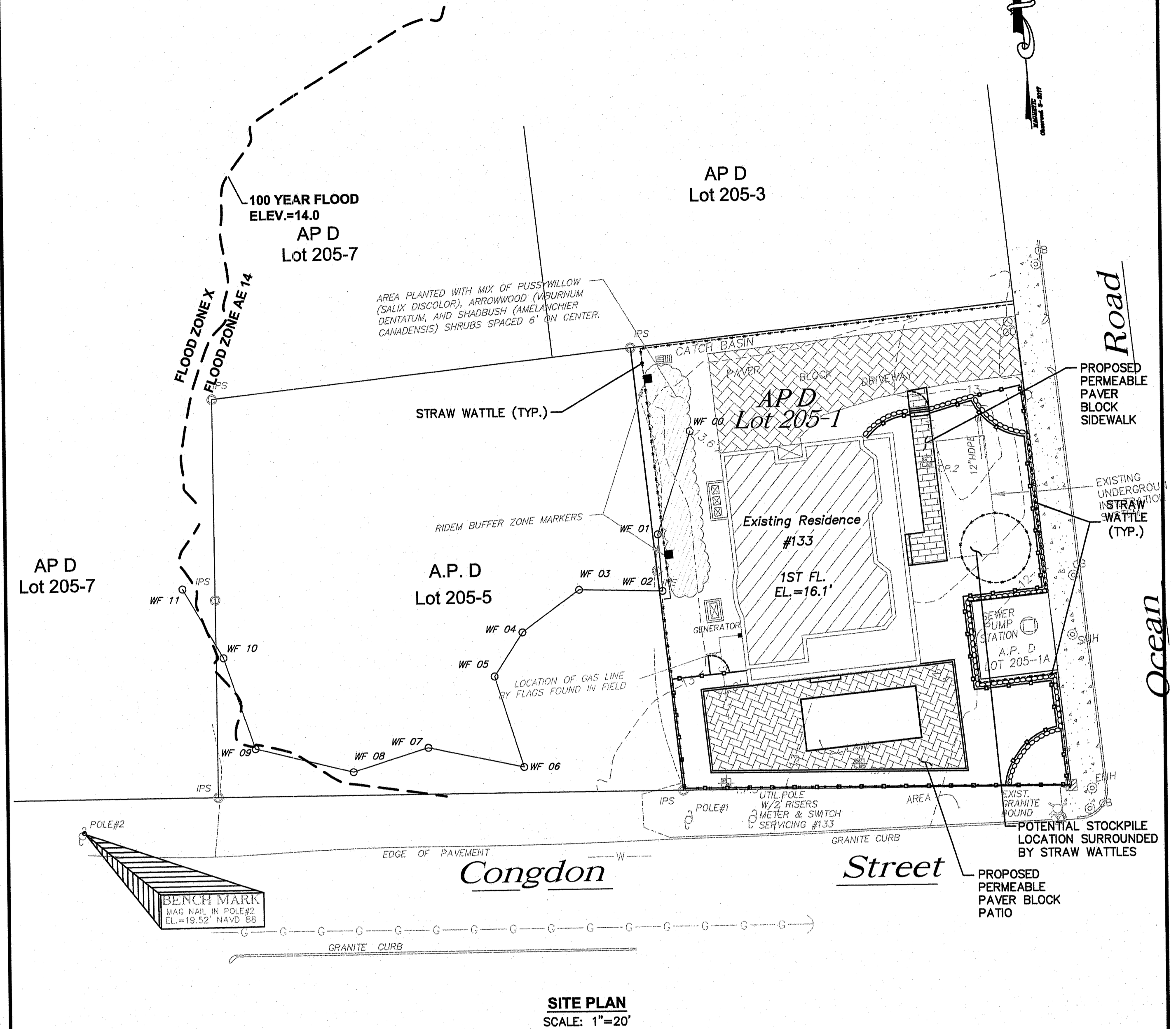
THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.



**NOTES**

1. INSTALLATION OF THE STRAW WATTLE SHALL CONFORM TO ALL THE MANUFACTURER'S RECOMMENDATIONS. AN "OR EQUAL" PRODUCT MUST BE APPROVED BY THE ENGINEER OR OWNER PRIOR TO CONSTRUCTION.
2. A COMPOST FILTER SOCK CAN BE USED AS AN ACCEPTABLE "OR EQUAL". THE COMPOST FILTER SOCK SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE RHODE ISLAND STANDARD SPECIFICATIONS.

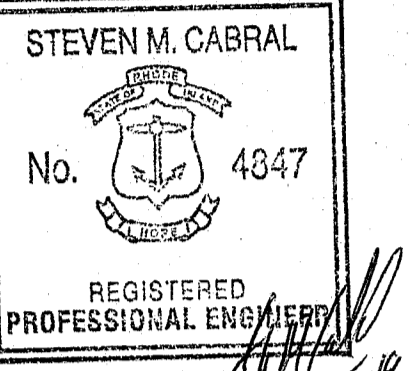
**STRAW WATTLE DETAIL**  
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OWNER: **DAVID and SUSAN TRENTSEAU**

**135 OCEAN ROAD NARRAGANSETT, RI 02882**

PROJECT TITLE: **SINGLE FAMILY HOME PHASE II IMPROVEMENTS PLAT MAP D, LOT 205-1 ZONING DISTRICT R-10A RESIDENTIAL-HIGH DENSITY (HOTELS) OCEAN ROAD NARRAGANSETT, RI**

PREPARED FOR: **DAVID and SUSAN TRENTSEAU**

**135 OCEAN ROAD NARRAGANSETT, RI 02882**

**DRAWING TITLE: SOIL EROSION AND SEDIMENT CONTROL PLAN**

DATE: JULY 2018 SCALE: 1"=20'

DFG. NAME: 2101-C06-SOIL-P2-R3.dwg

REVISIONS	NUMBER	REMARKS	DATE
1	1	DRAINAGE CERTIFICATION	8/16/18
2	2	PROPOSED BASE	12/26/18
3	3	EXISTING CONDITIONS	08/05/19

DRAWING NUMBER

**C6**

SHEET: 7 OF 7

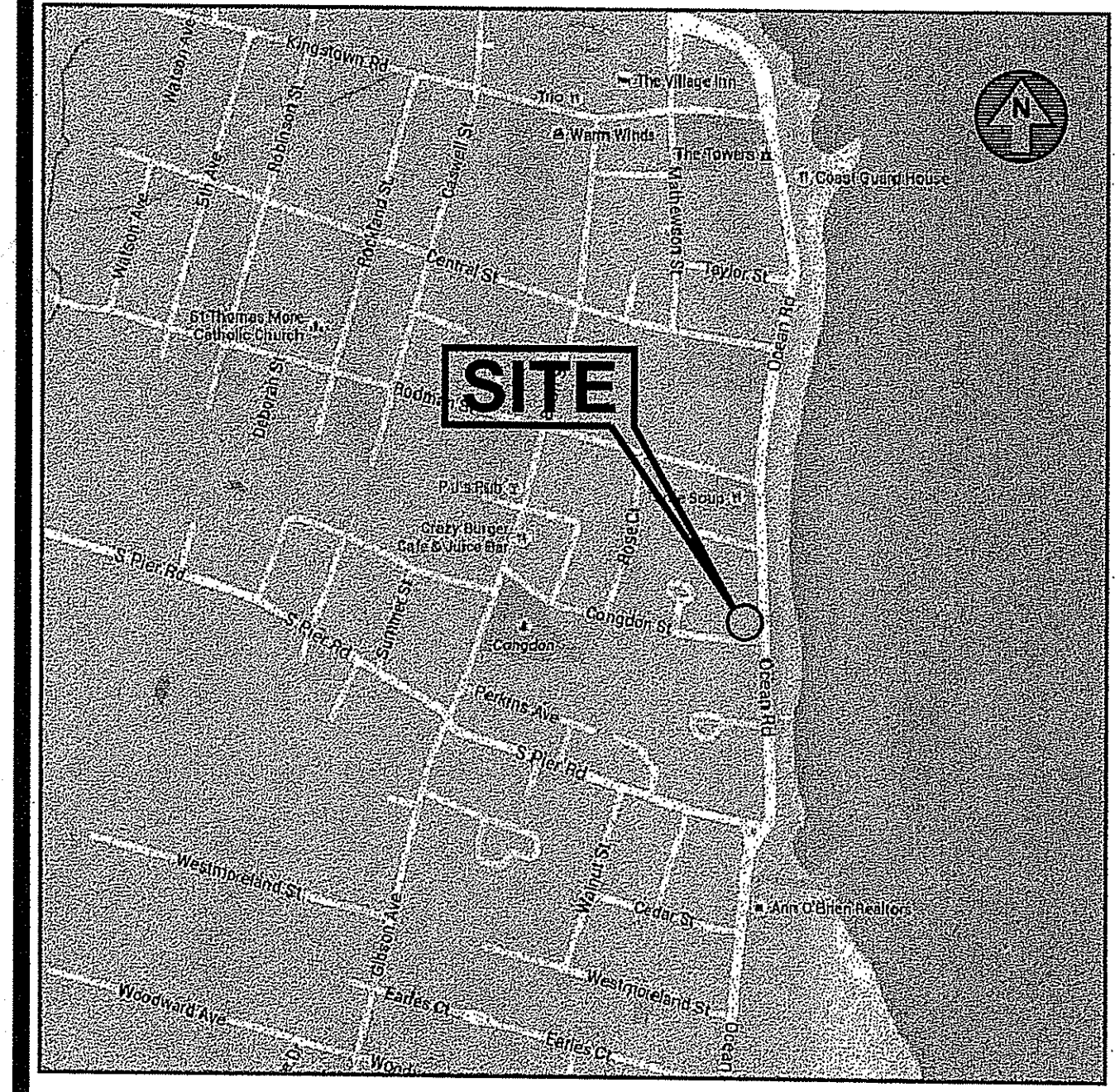
APPROVED FOR CONSTRUCTION  
 AUG 06 2019  
 FILE # 15-0191  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Environmental Management  
 AUG - 6 2019  
 Office of Wetland Resources

# SITE PLAN SET FOR PROPOSED SINGLE FAMILY HOME

**PLAT MAP D, LOT 205-1  
ZONING DISTRICT R10-A  
RESIDENTIAL-HIGH DENSITY DISTRICT**

**OCEAN ROAD  
NARRAGANSETT, RHODE ISLAND**



**LOCATION MAP**  
NOT TO SCALE

## INDEX OF DRAWINGS

DRAWING No.	PLAN
C1	GENERAL NOTES and LEGEND
C2	AERIAL
C3	EXISTING CONDITIONS PLAN
C4	SITE LAYOUT PLAN
C5	GRADING and DRAINAGE PLAN
C6	SOIL EROSION and SEDIMENT CONTROL PLAN

**OWNER / APPLICANT**

**MARY LOUISE AND RAFAEL FONSECA  
P.O. BOX 515  
HARMONY, RHODE ISLAND 02829**

**ENGINEERS and LAND SURVEYORS**



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

**CROSSMAN ENGINEERING**

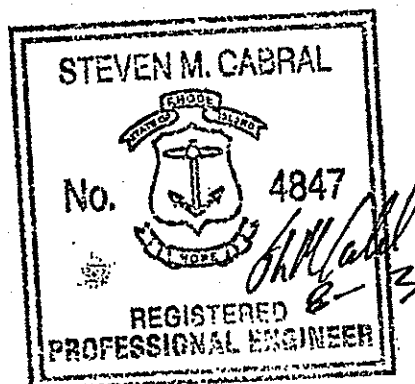
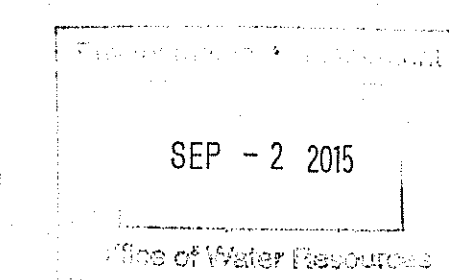
Rhode Island	Massachusetts
151 Centerville Road Warwick, RI 02886 Phone: (401) 738-5660	103 Commonwealth Avenue North Attleboro, MA 02763 Phone: (508) 695-1700

Email: [cei@crossmaneng.com](mailto:cei@crossmaneng.com)

**AUGUST 2015  
SHEET 1 of 7**

**WETLAND SCIENTIST**

**NATURAL RESOURCE SERVICES INC.  
P.O. BOX 311  
HARRISVILLE, RHODE ISLAND 02830**



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED Oct 01 2015 FILE # 15-0191  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

*Signature of Steven M. Cabral*

**REVISIONS:**

No.:	DATE:	DESCRIPTION:

**GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY MUNICIPALITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE PLANS MAY NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS.
- ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED SEPTEMBER 2013, AND STANDARD DETAILS, AS AMENDED.
- FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED MAY 20, 2015, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

**LAYOUT NOTE**

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO ACCURATELY LOCATE ALL ITEMS WITHIN THE PROPERTY AS NOTED ON THE PLANS.

**EXISTING UTILITY NOTES**

- THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANIES AND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS THE ARE NO LONGER NEEDED.
- ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.

**MAINTENANCE AND PROTECTION OF TRAFFIC NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN ANY ROADWAY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
- SPECIAL CARE SHALL BE GIVEN TO THE CONSTRUCTION OF THE TOWN SIDEWALK AREA. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROTECTION AROUND WORK AREAS.

**STORMWATER MANAGEMENT SYSTEM - MAINTENANCE OPERATION**

UPON PROJECT COMPLETION, THE SITE OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE RECOMMENDATIONS.

**1. UNDERGROUND INFILTRATION SYSTEM:**

INFILTRATION FACILITIES SHALL BE INSPECTED ANNUALLY OR AS NEEDED TO ENSURE THAT DESIGN INFILTRATION RATES ARE BEING MET. IF SEDIMENT, LITTER, OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES OR CLOGGED THE OUTLET STRUCTURES, THE ACCUMULATED MATERIAL SHALL BE DISPOSED OF AT AN APPROVED AND PERMITTED UPLAND LOCATION. ANY OIL OR GREASE FOUND AT THE TIME OF THE INSPECTION SHALL BE CLEANED WITH OIL ABSORPTION PADS AND DISPOSED OF IN AN APPROVED LOCATION. THE UNDERGROUND INFILTRATION SYSTEMS SHALL ALSO BE INSPECTED ANNUALLY FOR STRUCTURAL INTEGRITY. IF UNCLOGGING DEBRIS AND LITTER FROM THE INFILTRATION SYSTEMS DOES NOT RESTORE DESIGN INFILTRATION RATES, THE INFILTRATION SYSTEM MUST BE REPAIRED AND/OR REPLACED.

**2. PERMEABLE PAVER BLOCK SYSTEMS**

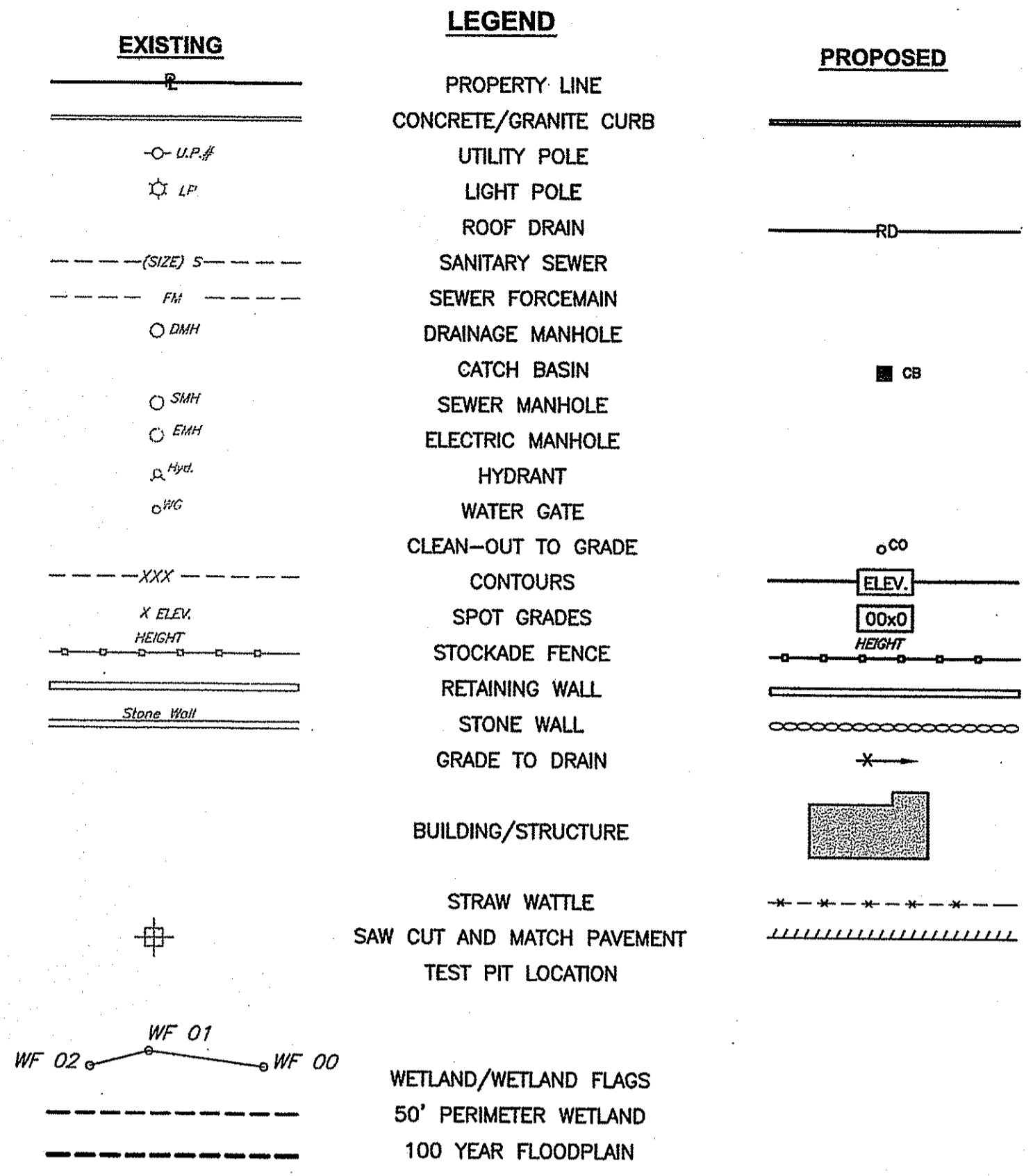
THE PERMEABLE PAVER BLOCK SYSTEMS SHALL BE INSPECTED REGULARLY TO ENSURE THAT THE SURFACE DRAINS PROPERLY AND THAT SURFACE IS NOT CLOGGED. THE PAVER BLOCK SURFACE SHALL BE INSPECTED ANNUALLY FOR DETERIORATION AND REPAIRED WITH NEW BLOCKS AS NECESSARY. THE PERMEABLE PAVER BLOCK SYSTEM WILL REQUIRE REGULAR VACUUM SWEEPING OR HOSEING TO KEEP THE SURFACE FROM CLOGGING. THE PAVER BLOCK AREA SHALL NOT BE SEALED WITH IMPERMEABLE MATERIALS. MAINTENANCE ACTIVITIES AND PREVENTATIVE MEASURES INCLUDE MINIMIZING THE USE OF SAND AND SALT IN WINTER MONTHS, MAINTAINING AND STABILIZING ADJACENT LANDSCAPE AREAS, ADDING JOINT MATERIAL, AND REPLACING PAVING STONES/BRICKS IF NEEDED.

**3. SEDIMENT REMOVAL:**

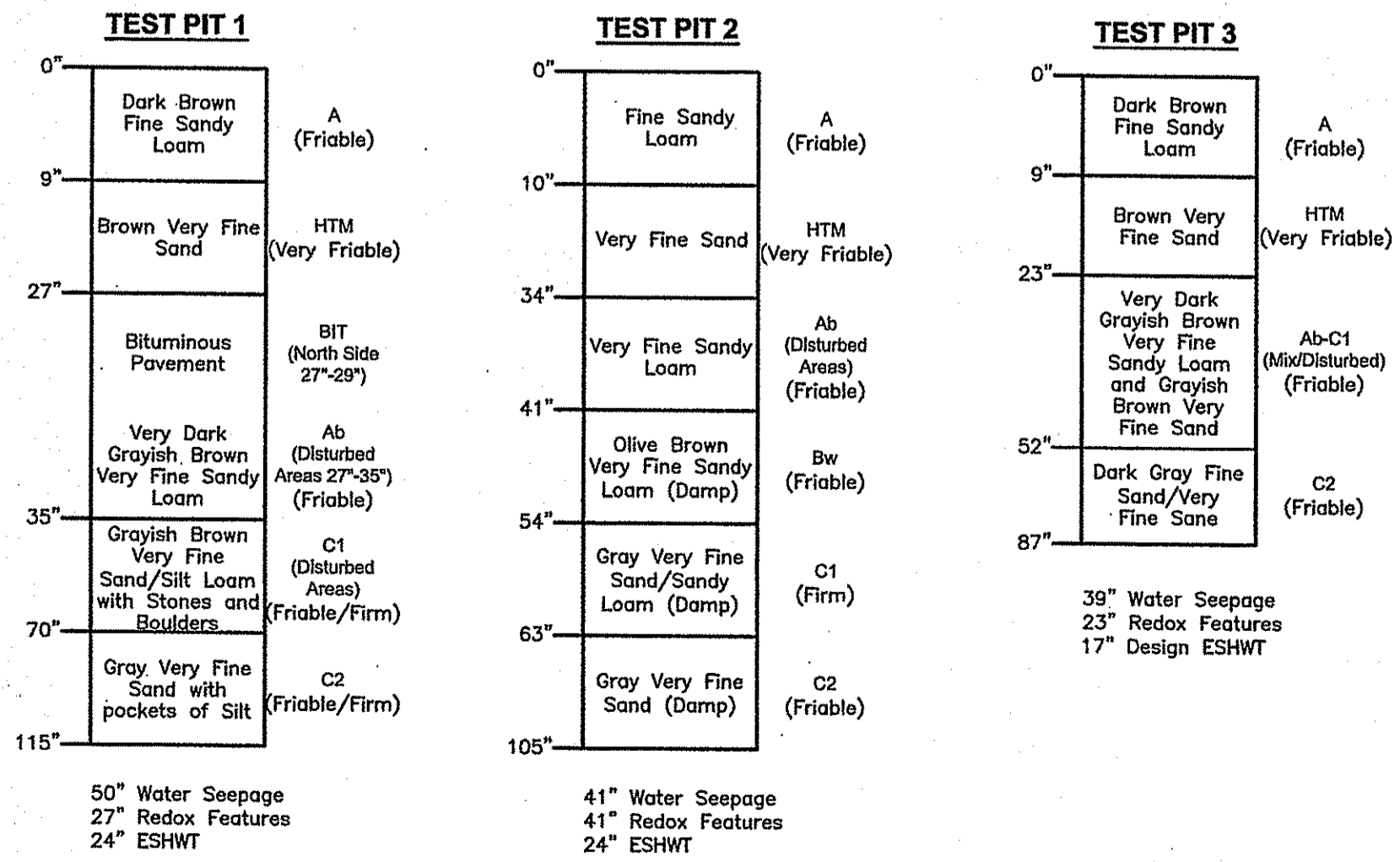
FOLLOWING CONSTRUCTION, SEDIMENT REMOVAL SHALL BE CONDUCTED AS DEEMED NECESSARY BY THE SYSTEM INSPECTIONS. ALL REMOVED SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

**FLOOD ZONE NOTE**

THE SITE IS LOCATED IN ZONE AE, SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BAS FLOOD ELEVATION = 14.00, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, WASHINGTON COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 212 OF 368, MAP NUMBER 44009C0212J, EFFECTIVE DATE OCTOBER 16, 2013.



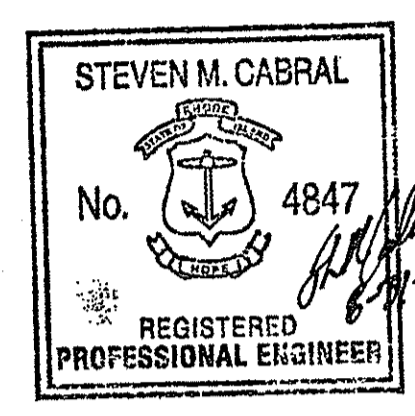
**SOIL EVALUATION DATA**  
SOIL EVALUATIONS WERE CONDUCTED BY CROSSMAN ENGINEERING ON JULY 23, 2015



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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DATED OCT 01 2015 FILE # 15-0191  
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**Crossman Engineering**  
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5680  
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OWNER:  
**MARY LOUISE and RAFAEL FONSECA**  
P.O. BOX 515  
HARMONY, RI 02829

PROJECT TITLE:  
**PROPOSED SINGLE FAMILY HOME**  
PLAT MAP D, LOT 205-1  
ZONING DISTRICT R-10A  
RESIDENTIAL-HIGH DENSITY (HOTELS)  
OCEAN ROAD  
NARRAGANSETT, RI

PREPARED FOR:  
**DAVID and SUSAN TRENTSEAU**  
133 OCEAN ROAD  
NARRAGANSETT, RI 02882

**GENERAL NOTES AND LEGEND**

DATE:	SCALE:	
AUGUST 2015	NO SCALE	
DWG. NAME:	2101-C01-NOTE.dwg	
REVISIONS		
NUMBER	REMARKS	DATE
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DRAWING NUMBER  
**C1**  
SHEET: 2 OF 7



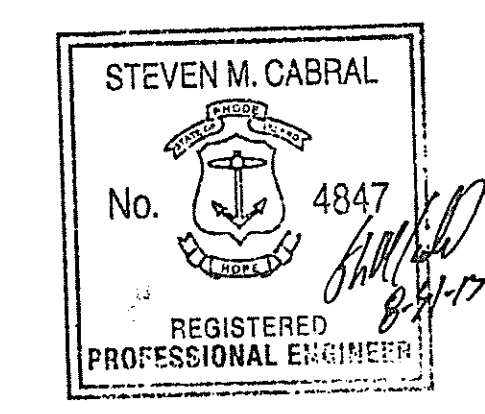
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESH WATER WETLANDS PROGRAM  
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- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

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 PLAT MAP D, LOT 205-1  
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 RESIDENTIAL-HIGH DENSITY (HOTELS)  
 OCEAN ROAD  
 NARRAGANSETT, RI

PREPARED FOR:  
**DAVID and SUSAN TRENTESEAU**  
 133 OCEAN ROAD  
 NARRAGANSETT, RI 02882

DRAWING TITLE:  
**AERIAL**

DATE: AUGUST 2015  
 SCALE: 1"=20'  
 DWG. NAME: 2101-C02-AERIAL.dwg

REVISIONS

NUMBER	REMARKS	DATE
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**C2**  
 SHEET: 3 OF 7

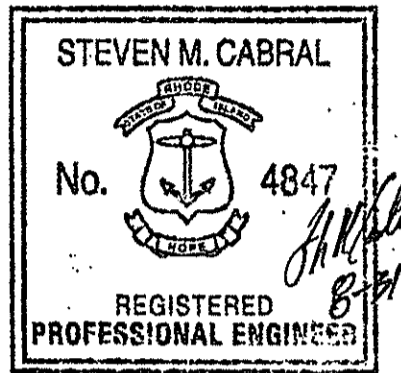


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PREPARED FOR:  
**DAVID and SUSAN TRENTSEAU**  
  
133 OCEAN ROAD  
NARRAGANSETT, RI  
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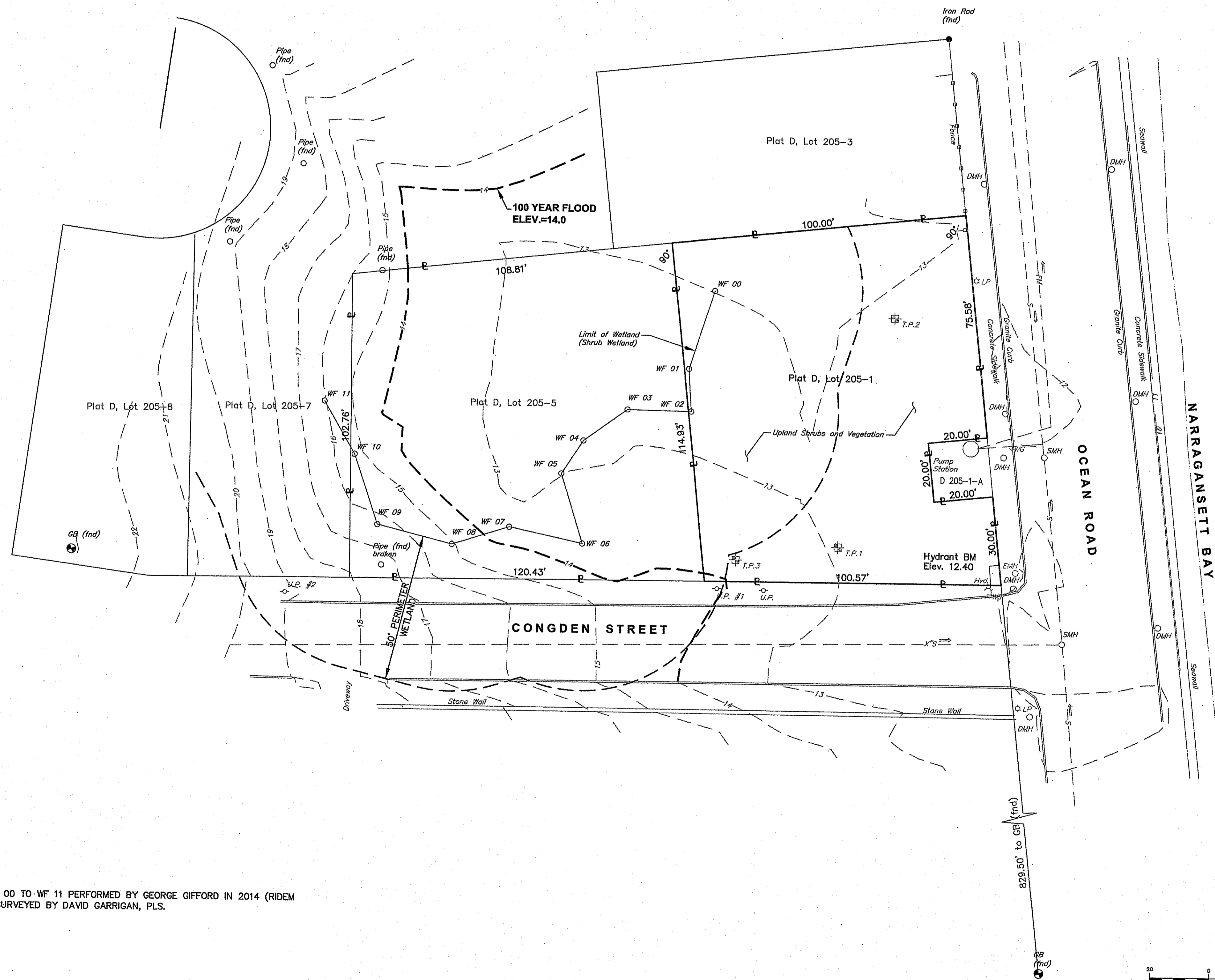
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DATE: AUGUST 2015 SCALE: 1"=20'

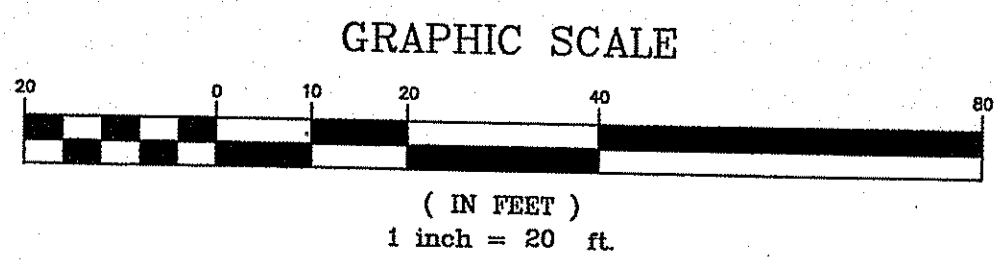
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REVISIONS		
NUMBER	REMARKS	DATE

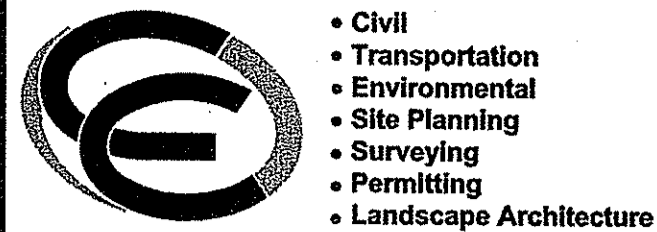
DRAWING NUMBER  
**C3**  
SHEET: 4 OF 7



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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*Michael D. Wozniak*



**NOTE:**  
WETLAND FLAGS LABLED AS WF 00 TO WF 11 PERFORMED BY GEORGE GIFFORD IN 2014 (RIDEM FILE NO. 14-0116) AND FIELD SURVEYED BY DAVID GARRIGAN, PLS.

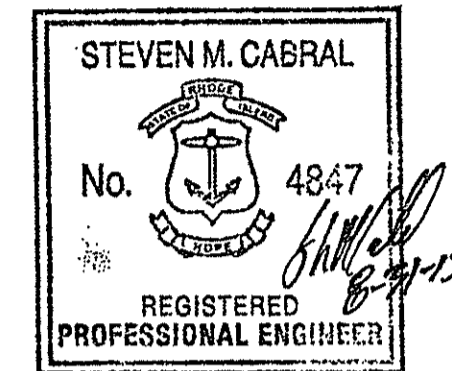


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NARRAGANSETT, RI

PREPARED FOR:  
**DAVID and SUSAN TRENTESEAU**  
133 OCEAN ROAD  
NARRAGANSETT, RI  
02882

DRAWING TITLE:  
**SITE LAYOUT PLAN**

DATE: AUGUST 2015  
SCALE: 1"=20'

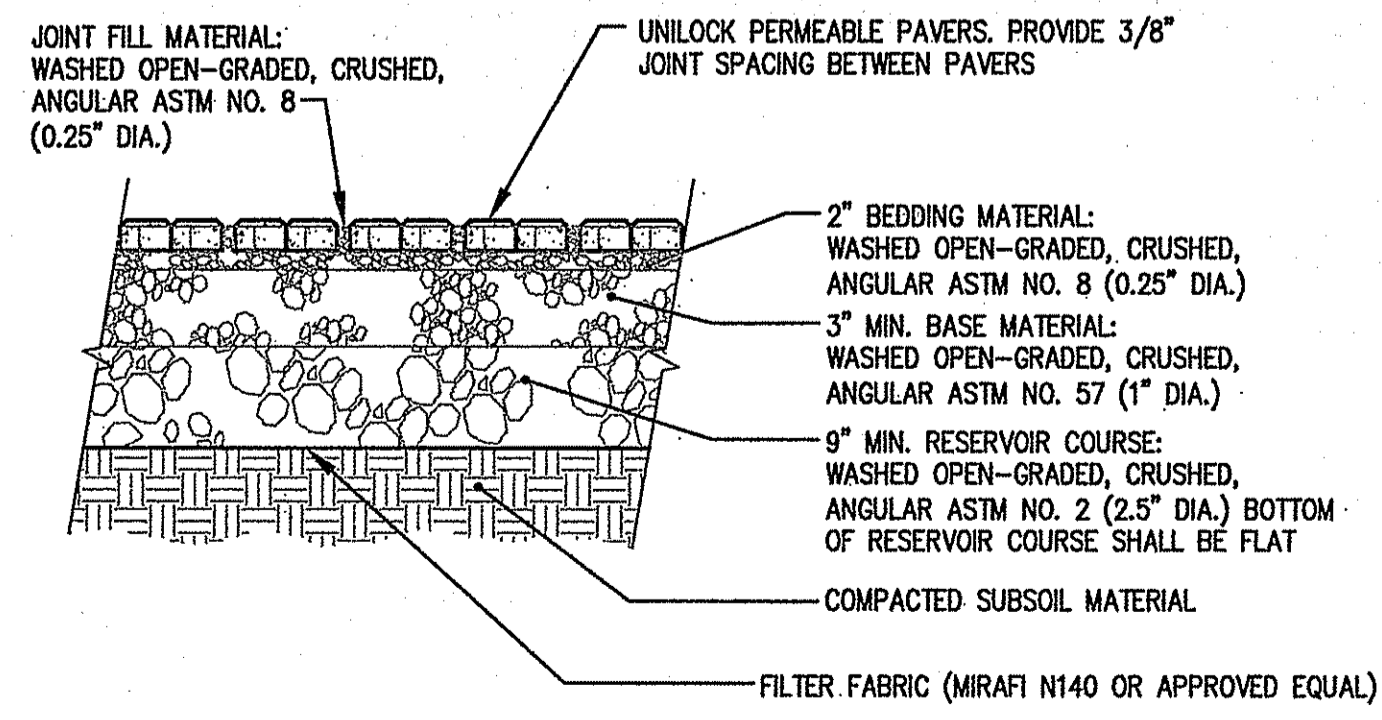
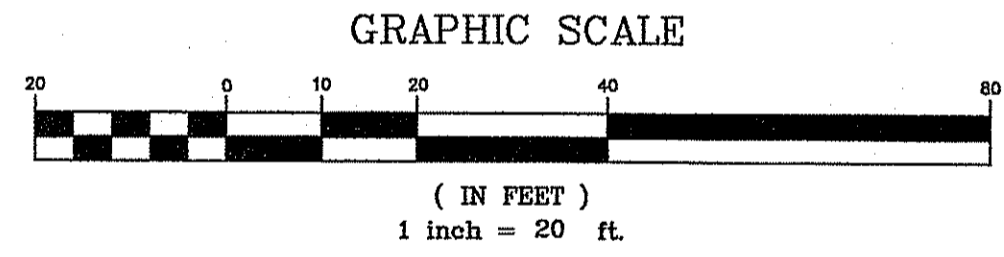
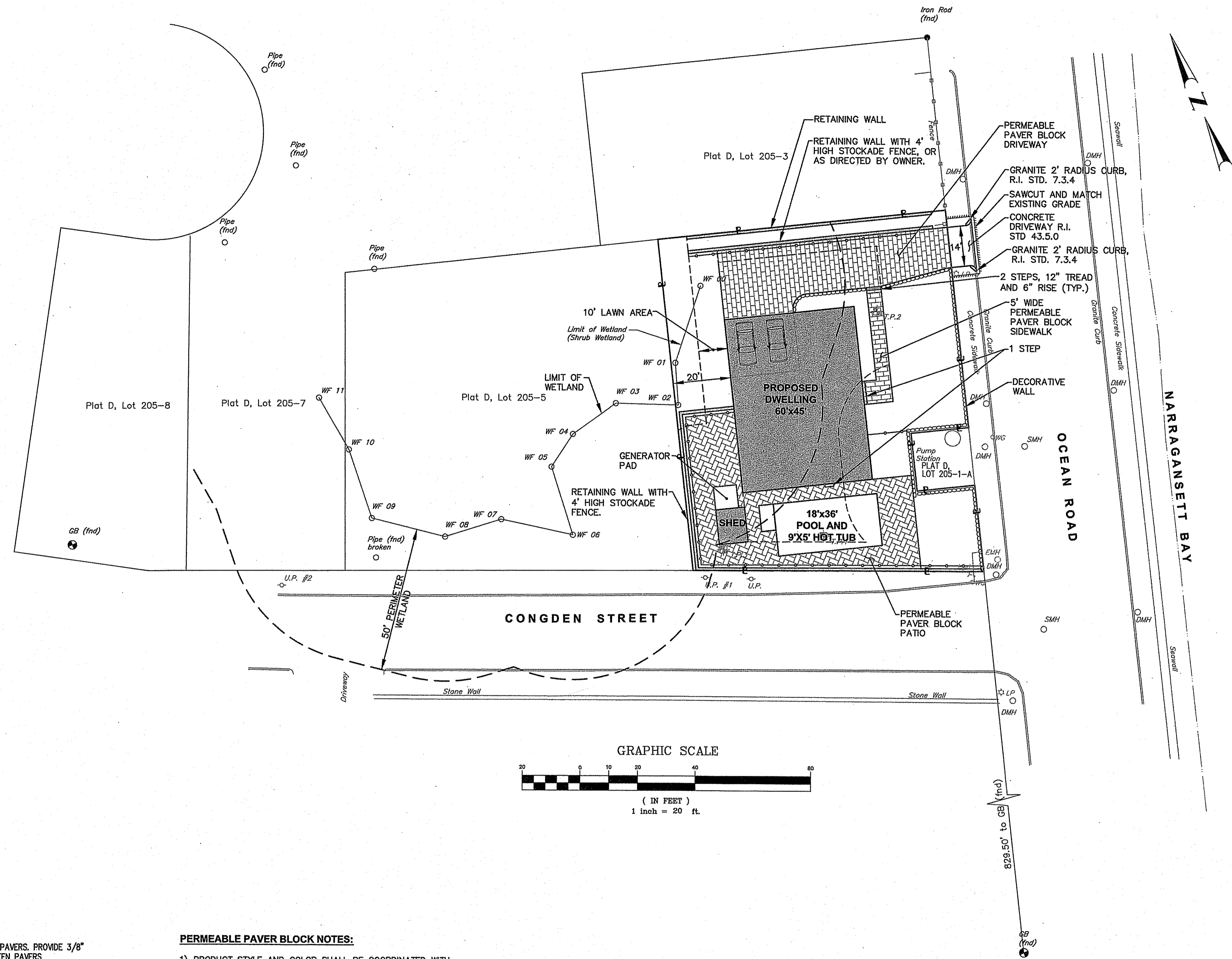
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REVISIONS	NUMBER	REMARKS	DATE
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DRAWING NUMBER

**C4**

SHEET: 5 OF 7

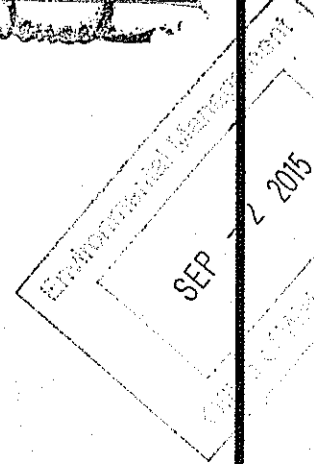


**PERMEABLE PAVER BLOCK DETAIL**  
NOT TO SCALE

- PERMEABLE PAVER BLOCK NOTES:**
- 1) PRODUCT STYLE AND COLOR SHALL BE COORDINATED WITH OWNER. ALL INSTALLATION SHALL MEET MANUFACTURERS RECOMMENDATIONS/STANDARDS.
  - 2) ALL AGGREGATE MATERIAL SHALL BE WASHED, CRUSHED, ANGULAR STONE AND FREE OF FINES.
  - 3) REMOVE ALL FILL AND ORGANIC MATERIAL TO NATIVE SOILS, REPLACE WITH GRAVEL BORROW (GRAVEL BORROW: <0% PASSING 200 SIEVE).
  - 4) THE PROVIDED AGGREGATE THICKNESSES ARE AFTER COMPACTION.
  - 5) CONTRACTOR SHALL COORDINATE WITH MANUFACTURER TO HAVE A REPRESENTATIVE ONSITE FOR THE FIRST WEEK OF PAVER INSTALLATION.
  - 6) CONTRACTOR SHALL TOP DRESS STONE IN VOIDS AFTER BLOCKS ARE COMPACTED AND 3-6 MONTHS AFTER INITIAL INSTALLATION.
  - 7) RECOMMENDATION - PERMEABLE PAVER BLOCK SURFACE SHALL BE SWEEPED FREQUENTLY. REFER TO MANUFACTURER'S MAINTENANCE GUIDE FOR ADDITIONAL MAINTENANCE RECOMMENDATIONS.

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*Martin D. Woneker*



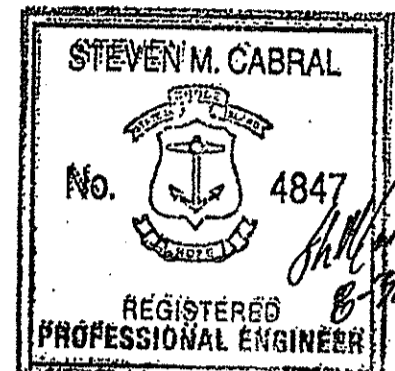


**CROSSMAN ENGINEERING**

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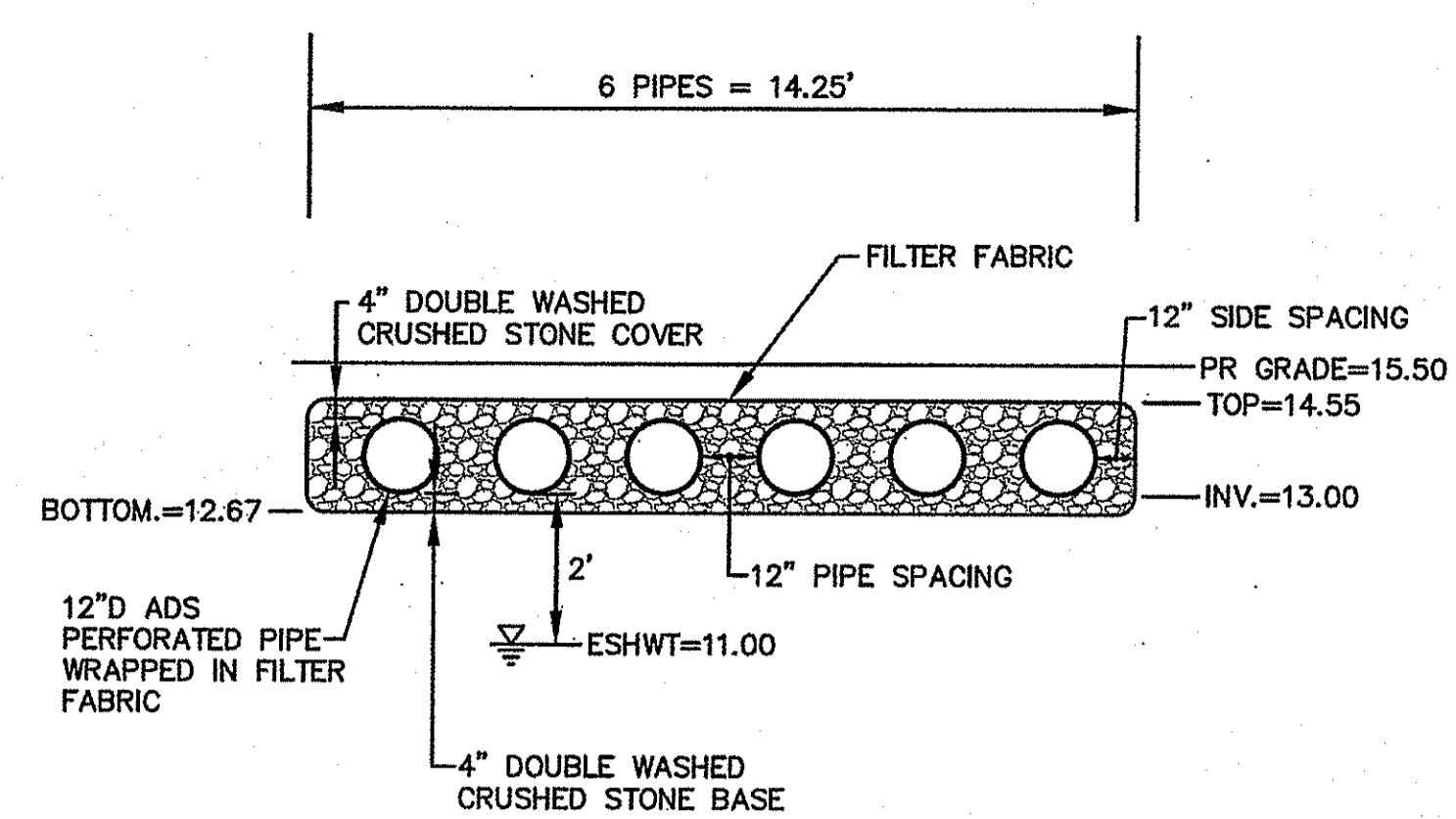
PREPARED FOR:  
**DAVID and SUSAN TRENTSEAU**  
133 OCEAN ROAD  
NARRAGANSETT, RI  
02882

DRAWING TITLE:  
**GRADING AND DRAINAGE PLAN**

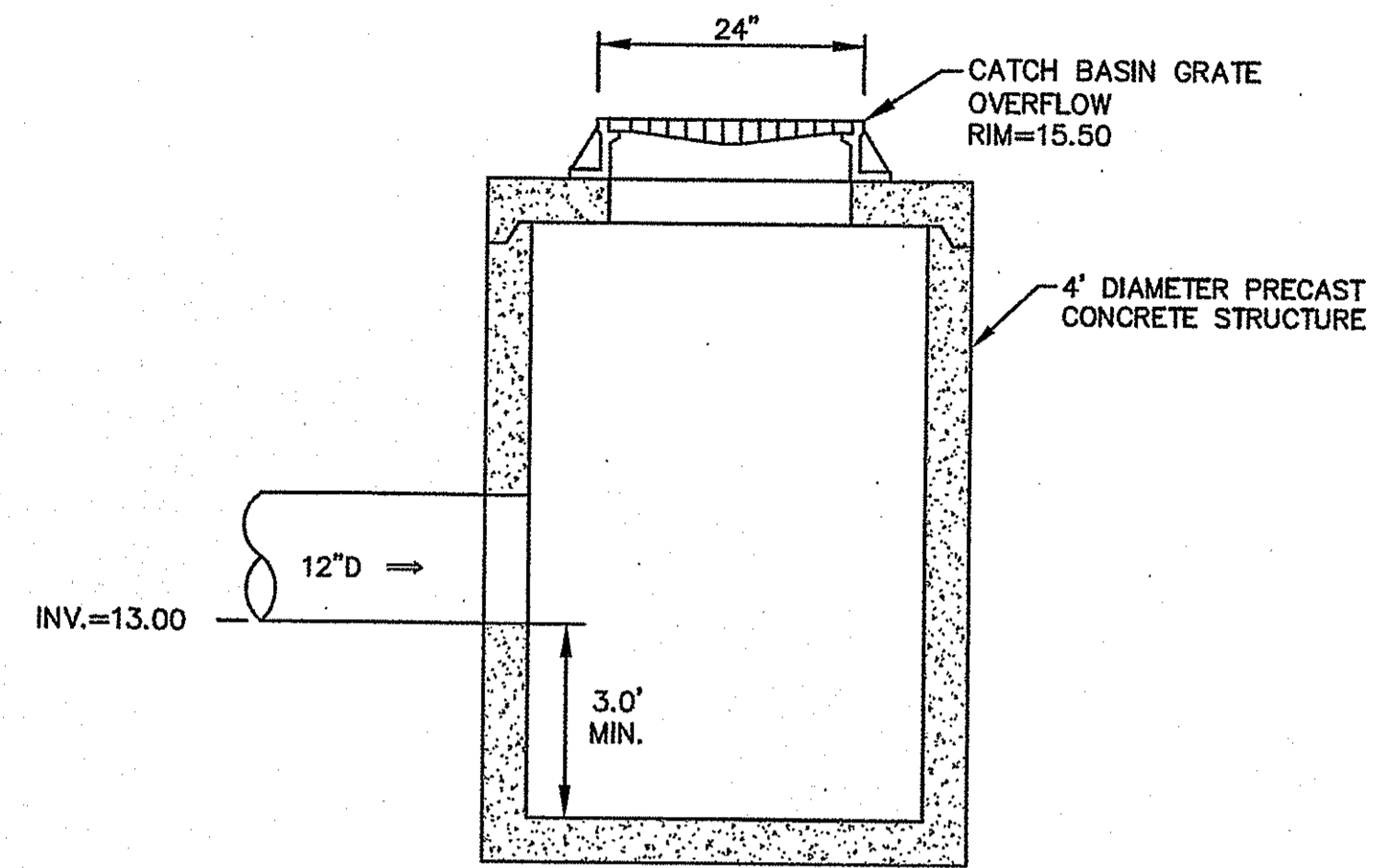
DATE: AUGUST 2015 SCALE: 1"=20'  
DWG. NAME: 2101-C05-GRADE.dwg

REVISIONS		
NUMBER	REMARKS	DATE

DRAWING NUMBER  
**C5**  
SHEET: 6 OF 7

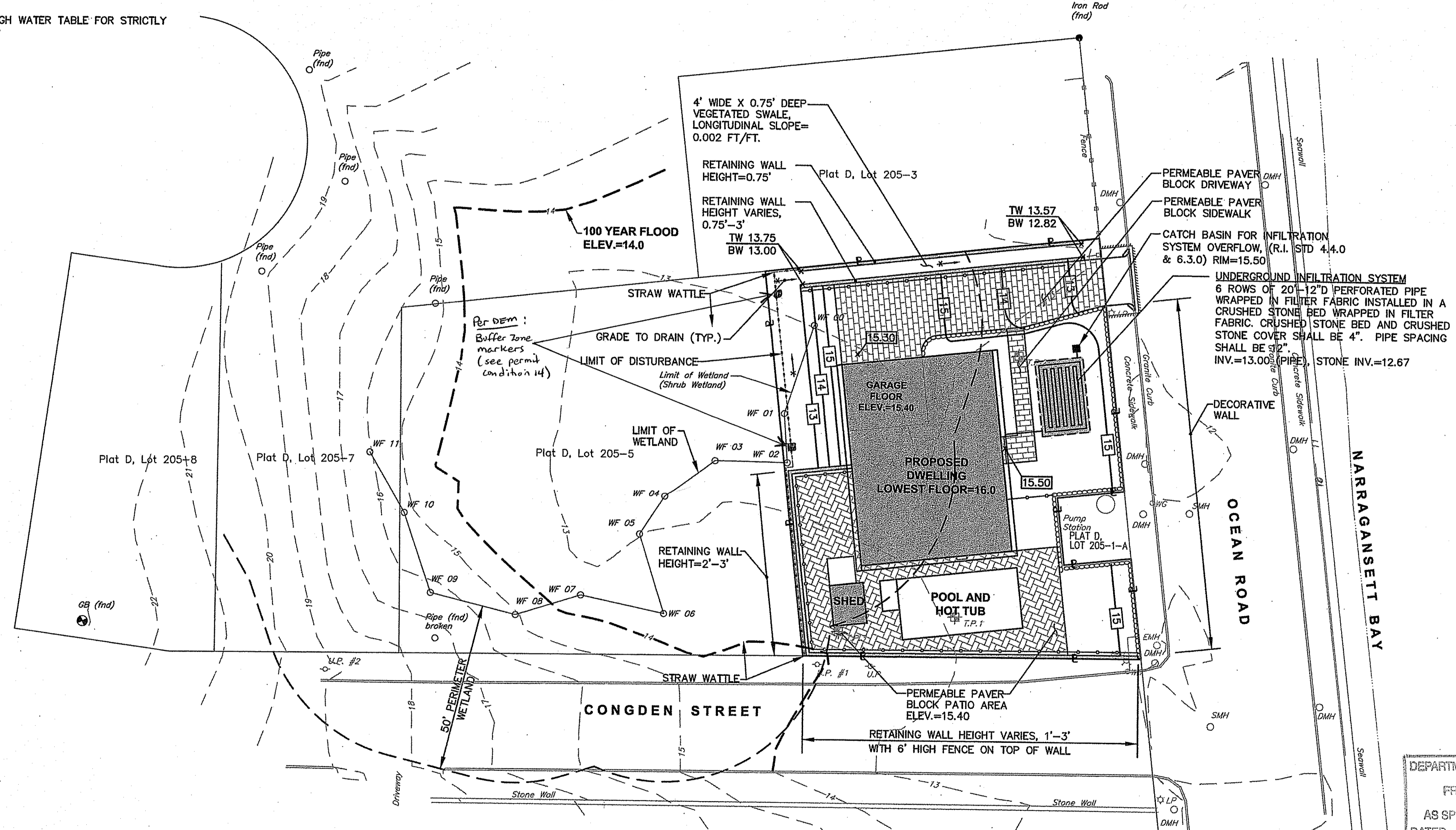


**TYPICAL UNDERGROUND INFILTRATION SYSTEM SECTION**  
NOT TO SCALE



**INFILTRATION SYSTEM OUTLET STRUCTURE DETAIL**  
NOT TO SCALE

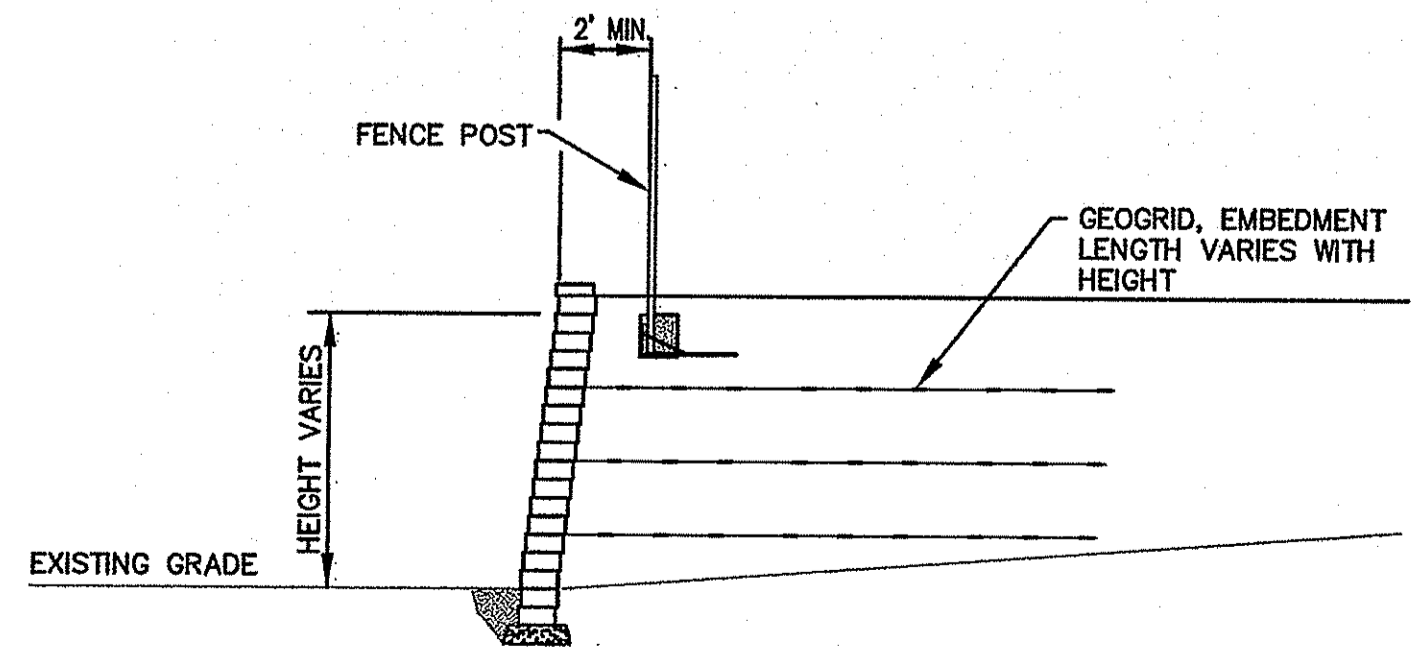
NOTE: SEPARATION TO SEASONAL HIGH WATER TABLE FOR STRICTLY RESIDENTIAL LAND USES = 2'



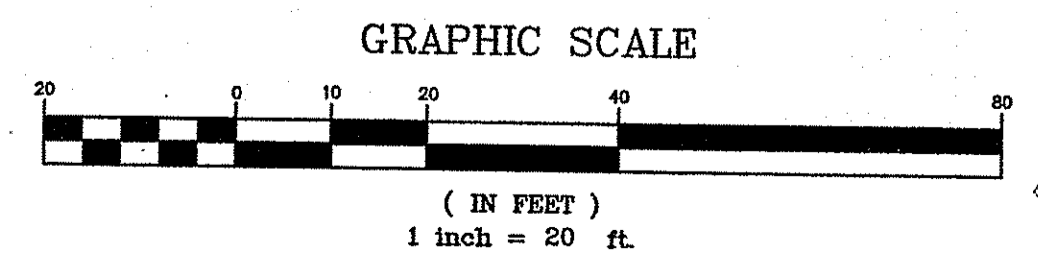
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED OCT. 01, 2015 FILE # 15-0191  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**MSE RETAINING WALL NOTES**

1. THE WALL SUPPLIER SHALL RETAIN THE SERVICES OF A LICENSED RHODE ISLAND STRUCTURAL ENGINEER FOR THE FINAL WALL DESIGN. DESIGN SHALL BE SUBMITTED TO OWNER AND ENGINEER FOR APPROVAL OF MATERIALS. THE CONTRACTOR SHALL INCLUDE THE COST FOR THIS SERVICE IN THE PROJECT BID PRICE.
2. RETAINING WALL SHALL BE MSE REINFORCED WALL OR APPROVED EQUAL.
3. UPON APPROVAL BY THE OWNER, THE CONTRACTOR MAY SUBMIT ALTERNATE WALL DESIGNS BY A RHODE ISLAND PROFESSIONAL ENGINEER FOR USE ON THE SITE.
4. THE WALL SECTION SHOWN IS CONCEPTUAL AND DOES NOT REPRESENT A FINAL DESIGN.



**MSE REINFORCED RETAINING WALL**  
NOT TO SCALE



**GENERAL PROJECT WIDE NOTES**

1. THE LIMIT OF DISTURBANCE SHALL BE MARKED AND STRAW WATTLES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. STRAW WATTLES SHALL BE MAINTAINED ON A REGULAR BASIS AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY, ROADWAY, AND WETLANDS.
2. WHERE APPLICABLE THE CONTRACTOR MUST REPLACE AND/OR RESEED ANY VEGETATION THAT DOES NOT DEVELOP/SURVIVE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE TO OR THE OWNER.
3. ALL STRAW WATTLES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AREA IS STABILIZED WHICH INCLUDES ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. AREAS SHALL BE STABILIZED WITH CRUSHED STONE OR LOAM AND SEED, AS APPROVED BY THE OWNER.
4. EXISTING VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE.
5. IF SEDIMENT IS TRACKED INTO STREET, STRAW WATTLES SHALL BE PLACED AT CURB INLETS IN THE VICINITY OF CONSTRUCTION AND SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND SITE IS STABLE.
6. AREAS DAMAGED DURING CONSTRUCTION SHALL BE STABILIZED, OR OTHERWISE RESTORED AT THE CONTRACTOR'S EXPENSE.
7. UNLESS REFERENCED ON THE PLANS, STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STRAW WATTLES.
8. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, FIBER MATTING OR APPROVED EQUAL.
9. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF STRAW WATTLES.
10. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. DAILY PATROL OF THE CONSTRUCTION SITE IS REQUIRED TO PICK UP AND DISPOSE OF TRASH.
11. POTENTIAL CONSTRUCTION MATERIAL THAT MAY BE STOCKPILED ONSITE INCLUDE SOIL AND STONE STOCKPILES AND PIPE AND STRUCTURE STOCKPILES. HAZARDOUS MATERIALS MAY NOT BE STORED ONSITE WITHOUT APPROVAL OF ENGINEER.

**DUST CONTROL NOTES**

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS (AS RECOMMENDED BY THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK") TO CONTROL DUST:

- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

**INSPECTION/MAINTENANCE NOTES**

1. PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES, THE LIMIT OF DISTURBANCE SHALL BE MARKED AND STRAW WATTLES SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ADJUTING PROPERTIES.
2. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP, OR APPROVED EQUAL.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING STORM EVENTS WHICH GENERATE GREATER THAN 0.25 INCHES OF RAINFALL, AND WEEKLY DURING NON CONSTRUCTION PERIODS. SOIL EROSION AND SEDIMENT CONTROL INSPECTIONS SHALL BE RECORDED ON SITE SPECIFIC SESC INSPECTION REPORT FORMS PROVIDED BY THE ENGINEER. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL GIVE ALL NOTES AND RECORDS TO THE OWNER AND THE OWNER SHALL RETAIN THESE NOTES AND RECORDS ONSITE FOR A PERIOD OF 5 YEARS FROM THE DATE OF THE REPORT.
5. ADDITIONAL STRAW WATTLES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER. EROSION CONTROL MAINTENANCE AND REPLACEMENT SHALL BE INCLUDED IN THE BASE BID PRICE.
6. THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, REVISED 2014, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.
8. SOIL EROSION CONTROL WATTLE SHALL BE 12" DIA. SUBMITTALS OF STRAW WATTLE WILL BE REQUIRED FOR REVIEW AND APPROVAL.
9. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
10. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.

**STORMWATER MANAGEMENT SYSTEM CONSTRUCTION NOTES**

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FENCE OFF PROPOSED INFILTRATION FACILITY LOCATIONS (UNDERGROUND INFILTRATION SYSTEM). CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED ON AREAS INTENDED FOR INFILTRATION.
2. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY SEDIMENT TRAPS FOR CONSTRUCTION ACTIVITIES.
3. CONTRACTOR SHALL USE LIGHT EARTH MOVING EQUIPMENT TO EXCAVATE INFILTRATION AREAS.
4. STORMWATER MAY BE DIRECTED TO THE INFILTRATION SYSTEMS AFTER CONSTRUCTION IS COMPLETE AND ALL AREAS ONSITE ARE STABILIZED.

**STORMWATER MANAGEMENT SYSTEM - MAINTENANCE OPERATION**

1. UPON PROJECT COMPLETION, THE SITE OWNER SHALL ADHERE TO THE MAINTENANCE RECOMMENDATIONS AS LISTED IN THE LONG TERM OPERATION AND MAINTENANCE PLAN.

**CONSTRUCTION NOTES**

THE PROPOSED VEGETATIVE AND STRUCTURAL PRACTICES TO BE IMPLEMENTED DURING CONSTRUCTION ARE DESCRIBED AND ILLUSTRATED WITHIN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR SHOULD INITIATE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. IF CONSTRUCTION CANNOT BEGIN WITHIN TWENTY-ONE (21) DAYS OF COMPLETING SITE PREPARATION ACTIVITIES, ALL DISTURBED AREAS SHALL RECEIVE TEMPORARY STABILIZATION.

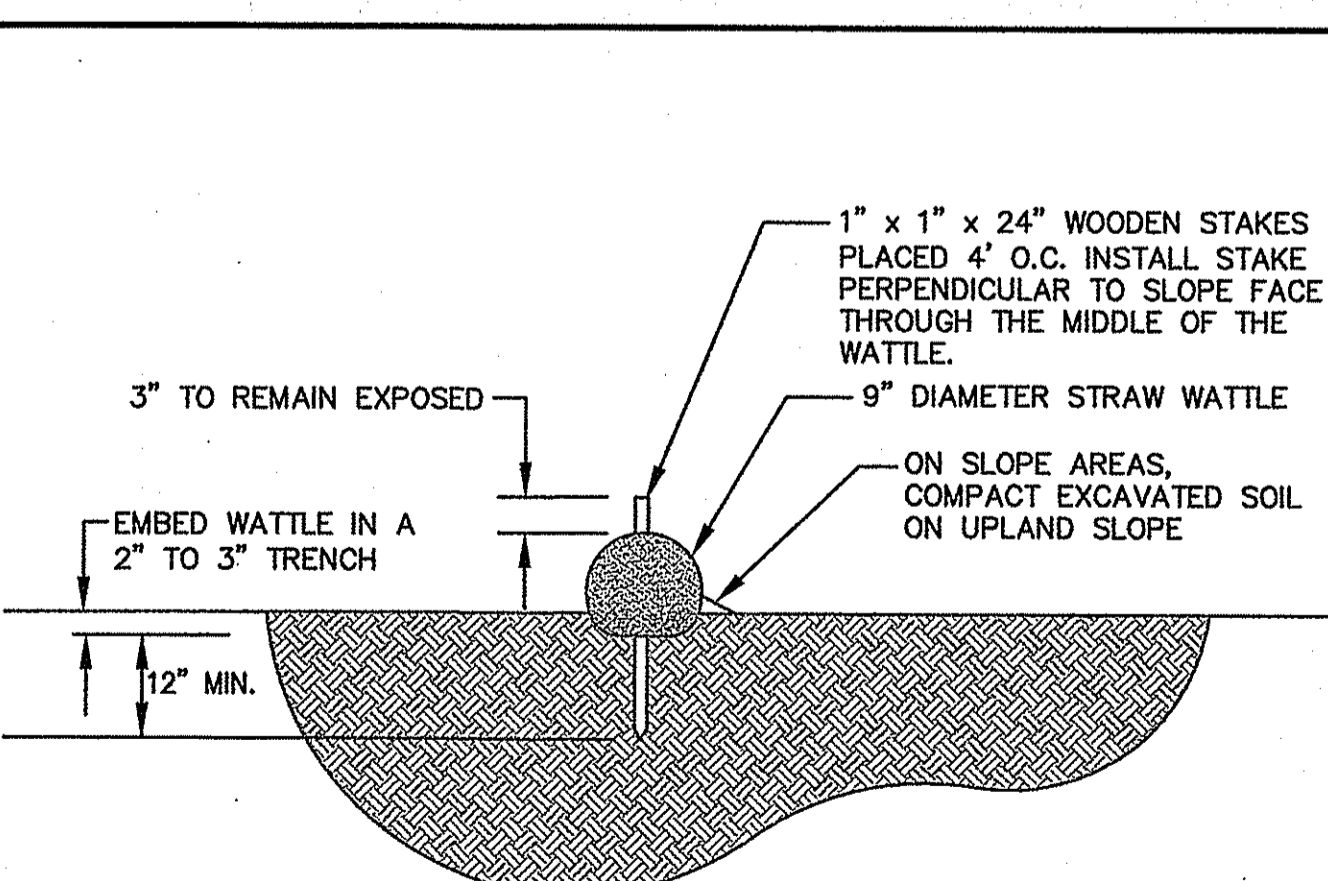
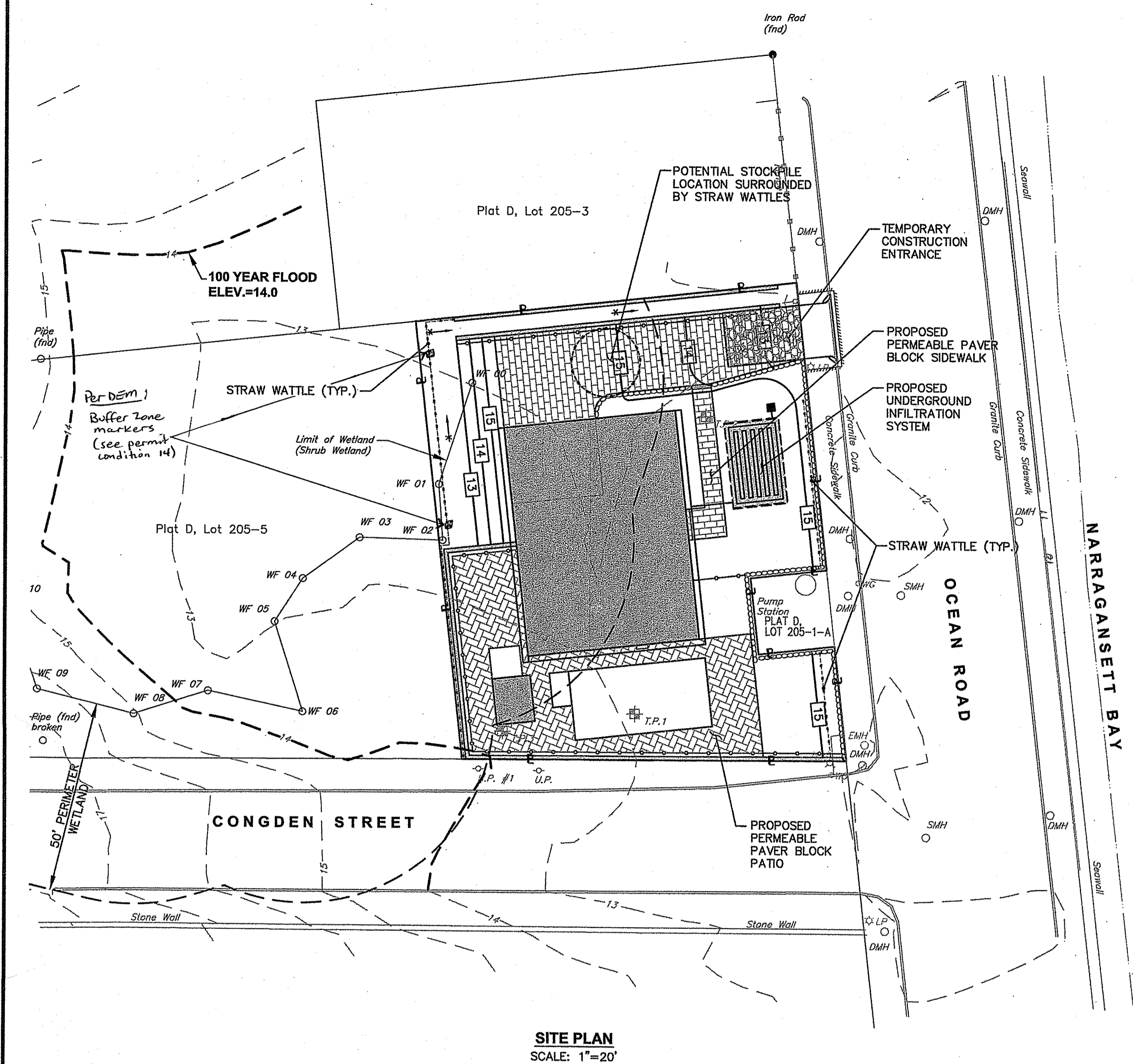
**ADDITIONAL CONTROLS**

- A CRUSHED-STONE CONSTRUCTION ENTRANCE WILL BE LOCATED AT THE SITE'S PRIMARY ACCESS POINT. THE ENTRANCE WILL BE APPROXIMATELY 20 FEET LONG AND 14 FEET WIDE. ALL CONSTRUCTION VEHICLES WILL BE REQUIRED TO ENTER AND EXIT VIA THIS ENTRANCE.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS REQUIRED TO NOTIFY LOCAL AUTHORITIES AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WASTE MANAGEMENT, OF ANY HAZARDOUS MATERIAL SPILL.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN THE SITE IN AN ORDERLY AND CLEAN STATE. ALL CONSTRUCTION WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS PRIOR TO REMOVAL AND CONTACT WITH PRECIPITATION SHALL BE KEPT TO A MINIMUM.
- GENERAL MAINTENANCE PROCEDURES ARE OUTLINED IN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR AND CONTRACTOR ARE REQUIRED TO INSPECT ALL EROSION CONTROLS ON THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER A RAIN EVENT, WHICH GENERATES 0.25 INCHES OF RAIN IN A TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.

**SEQUENCE OF CONSTRUCTION**

CONSTRUCTION ACTIVITIES WILL INCLUDE SITE DEMOLITION, EARTHWORK, LEDGE REMOVAL IF REQUIRED, DRAINAGE/UTILITY INSTALLATION AND EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE. IN GENERAL, THE SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS:

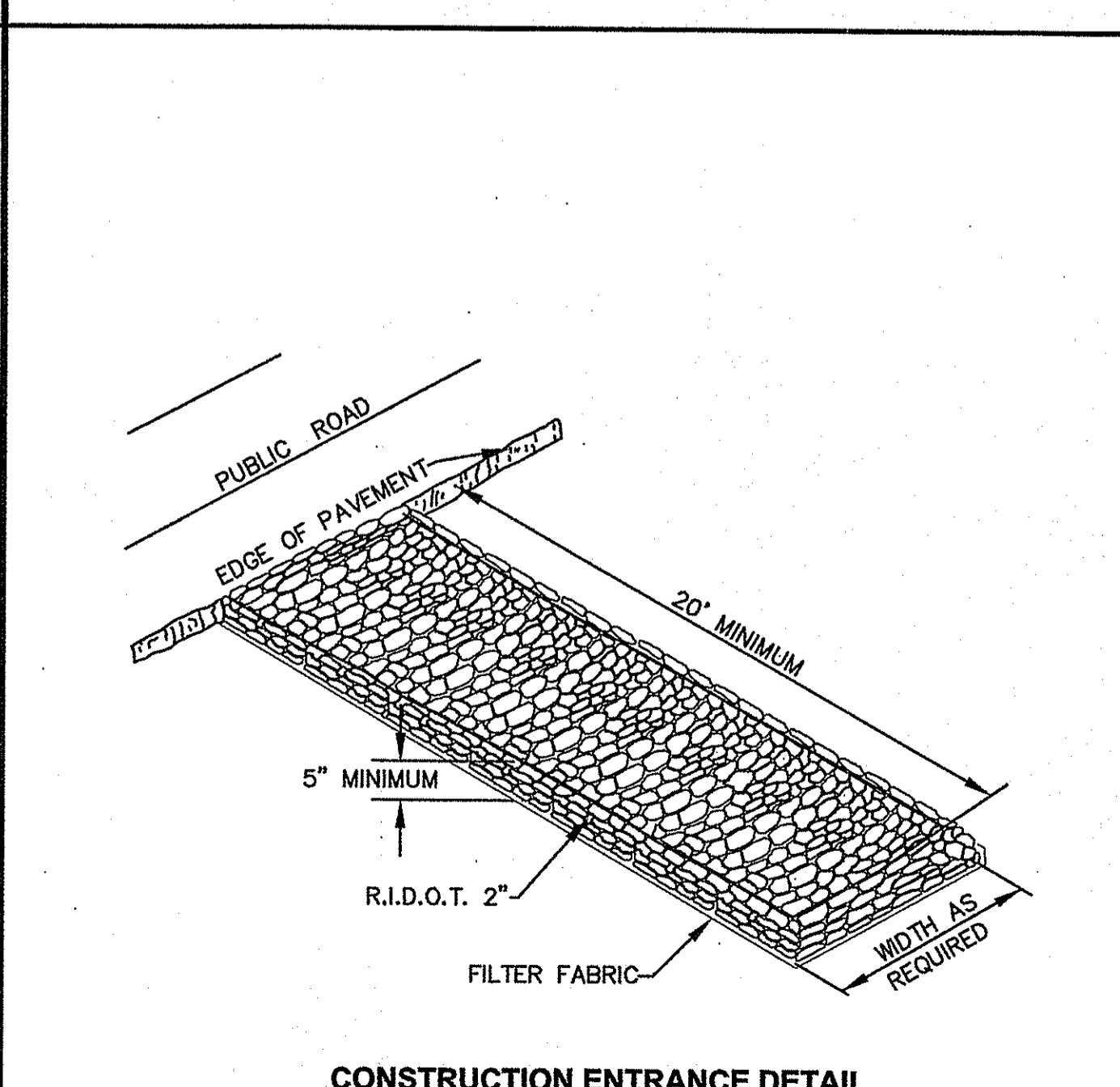
- INSTALLATION OF EROSION CONTROLS SUCH AS STRAW WATTLES AND THE CONSTRUCTION ENTRANCE. INSTALL TEMPORARY CONSTRUCTION FENCE AROUND PERIMETER OF SITE AND FENCE OFF INFILTRATION FACILITIES.
- EARTHWORK ACTIVITIES CONSISTING OF PREPARING THE SITE FOR CONSTRUCTION AND INSTALLATION OF RETAINING WALLS.
- UTILITY INSTALLATION AND BUILDING CONSTRUCTION.
- UNDERGROUND INFILTRATION SYSTEM CONSTRUCTION.
- INSTALLATION OF PAVEMENT DRIVEWAY, SIDEWALK, AND PATIO.
- INSTALL FENCE AND LANDSCAPING.
- GROUND COVER TREATMENT/STABILIZATION.



**NOTES**

1. INSTALLATION OF THE STRAW WATTLE SHALL CONFORM TO ALL THE MANUFACTURER'S RECOMMENDATIONS. AN "OR EQUAL" PRODUCT MUST BE APPROVED BY THE ENGINEER OR OWNER PRIOR TO CONSTRUCTION.
2. A COMPOST FILTER SOCK CAN BE USED AS AN ACCEPTABLE "OR EQUAL". THE COMPOST FILTER SOCK SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE RHODE ISLAND STANDARD SPECIFICATIONS.

**STRAW WATTLE DETAIL**  
NOT TO SCALE



**CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED OCT 01 2015 FILE # 15-019  
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**CROSSMAN ENGINEERING**  
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**STEVEN M. CABRAL**  
No. 4847  
REGISTERED PROFESSIONAL ENGINEER

OWNER:  
**MARY LOUISE and RAFAEL FONSECA**  
P.O. BOX 515  
HARMONY, RI 02829

PROJECT TITLE:  
**PROPOSED SINGLE FAMILY HOME**  
PLAT MAP D, LOT 205-1  
ZONING DISTRICT R-10A  
RESIDENTIAL-HIGH DENSITY (HOTELS)  
OCEAN ROAD  
NARRAGANSETT, RI

PREPARED FOR:  
**DAVID and SUSAN TRENTSEAU**  
133 OCEAN ROAD  
NARRAGANSETT, RI 02882

DRAWING TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN**

DATE: AUGUST 2015 SCALE: 1"=20'

DWG. NAME: 2101-C06-SOIL.dwg

REVISIONS

NUMBER	REMARKS	DATE

DRAWING NUMBER: **C6**  
SHEET: 7 OF 7