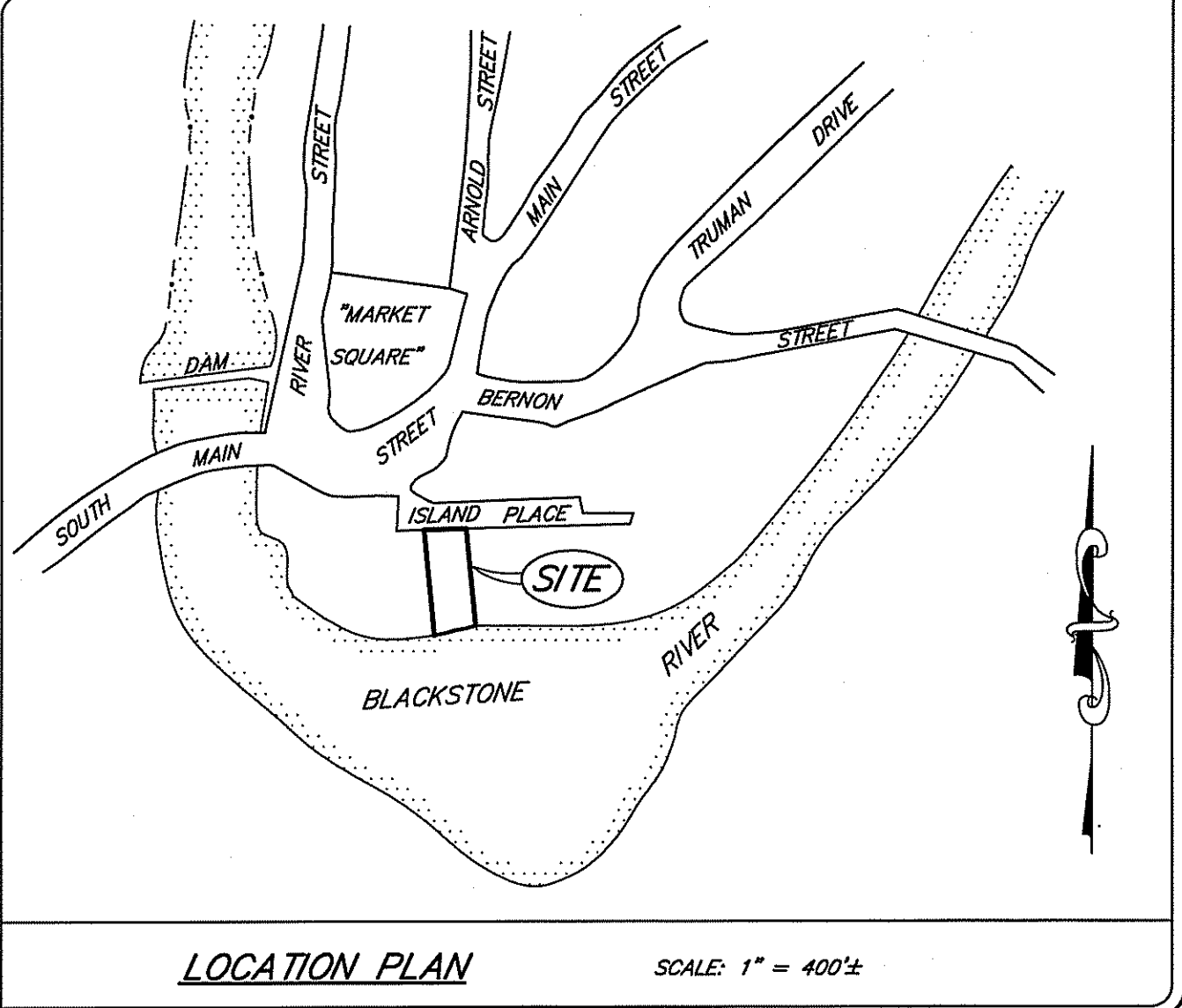




NOTES

1. THE VERTICAL DATUM IS NAVD 88 AND WAS DERIVED FROM A CONTROL SURVEY USING GLOBAL POSITIONING TECHNOLOGY. THE HORIZONTAL DATUM IS ASSUMED.
2. TOPOGRAPHIC AND FEATURE LOCATION DATA IS FROM A GROUND-BASED SURVEY PERFORMED IN FEBRUARY 2012 AND UPDATED IN SEPTEMBER 2015 WITH CONVENTIONAL TOTAL-STATION INSTRUMENTS. VERTICAL CONTROL WAS PERFORMED WITH A LEVEL TO A CLASS II STANDARD.
3. THE PROPERTY LINES SHOWN ARE APPROXIMATE AND ARE SUBJECT TO SUCH CHANGES AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. THESE LINES HAVE BEEN COMPILED FROM MAPS, DEEDS AND LIMITED FILED INVESTIGATIONS, AND COMPLY WITH A CLASS II STANDARD.
4. SURFACE EVIDENCE OF PUBLIC AND PRIVATE UTILITIES IS BASED UPON SURVEY LOCATION OF VISIBLE FEATURES. SUBSURFACE EVIDENCE IS BASED UPON MAPS AND RECORDS PROVIDED BY MUNICIPAL SOURCES, UTILITY COMPANIES, AND OTHER CONTROLLING AUTHORITIES. TOGETHER WITH SUCH REASONABLE ASSUMPTIONS AS MAY BE DRAWN FROM THE FIELD AND RECORD DATA, UTILITY INFORMATION MAY NOT BE ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH REVISIONS AND CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ALL EXCAVATION MUST BE PRECEDED BY CONTRACTING "DIG-SAFE" FOR A MORE RELIABLE LAYOUT OF EXISTING UTILITIES.
5. ZONE: MU-2
6. THE DEED TO THE SUBJECT PARCEL (BOOK 1857 AT PAGE 288) STATES THAT IT IS BOUNDED ON THE SOUTH BY "WATERS OF BERNON POND AT THEIR ORDINARY OR AVERAGE HEIGHT." THE AVERAGE ELEVATION OF THE FORMER BERNON POND HAS NOT BEEN DETERMINED BY THIS SURVEY.
7. THE APPROXIMATE LIMIT OF THE ZONE AE SPECIAL FLOOD HAZARD AREA IS DEPICTED BASED ON SCALED LOCATION. THE BASE FLOOD ELEVATION IS 135 NAVD 88, MORE OR LESS. THE ELEVATION OF THE BUILDING FLOOR RELATIVE TO THE BASE FLOOD ELEVATION IS SUBJECT TO VERIFICATION. SEE F.I.R.M. #44007C01576 DATED MARCH 2, 2009.
8. THE LOCATION, SIZE AND MATERIAL OF THE EXISTING PIPES AND OTHER UNDERGROUND STRUCTURES AND/OR UTILITIES SHOWN ON THESE PLANS ARE FROM THE BEST SOURCES AVAILABLE AT THE PRESENT AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. EXACT LOCATIONS SHALL BE CONFIRMED AND DETERMINED BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL CONTRACT DIG-SAFE (1-888-344-7233) AND ALL APPLICABLE UTILITY COMPANIES TO VERIFY UTILITY LOCATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY UTILITY DAMAGE. THE CONTRACTOR SHALL RECORD THE LOCATION OF ANY EXISTING UTILITIES ENCOUNTERED AND NEW UTILITIES INSTALLED.
10. NO FILLING ALLOWED WITHIN THE 100-YEAR FLOOD ZONE.

PLAN REFERENCES

1. "PLAN OF LAND FOR CITY OF WOONSOCKET, R.I. MARCH, 1985 SCALE 1 INCH = 20 FEET" BY BIBECAULT AND FLORENTZ ENGINEERING CO. RECORDED IN PLAT BOOK 16 AT PAGE 21.
2. "TOPOGRAPHIC PLAN OF RIVER ISLAND PARK FOR CITY OF WOONSOCKET, R.I. APRIL, 1980, REVISED: OCTOBER 17, 1991 SCALE: 1 INCH = 40 FEET" BY BIBECAULT AND FLORENTZ ENGINEERING CO., INC. RECORDED IN PLAT BOOK 19 AT PAGE 84.
3. "EXISTING SITE CONDITIONS OF A.P. 14 LOTS 146-147, 14, 291, & 428 SITUATED ON THE CORNER OF SOUTH MAIN STREET, BERNON STREET & ISLAND PLACE, WOONSOCKET, RHODE ISLAND. SCALE: 1"=20' DATE: 6/12/95 REVISED: 8/15/95 (ARCHITECTURAL REMARKS)" BY GAROFALO AND ASSOCIATES INC. PLAN NOT RECORDED.
4. FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND MAP #44007C01576 EFFECTIVE DATE MARCH 2, 2009

TRANSFORMER NOTES

1. THE CONTRACTOR SHALL INSTALL AN OIL CURB AND BOLLARDS AROUND THE TRANSFORMER PAD IN ACCORDANCE WITH NATIONAL GRID REQUIREMENTS.
2. TOP OF TRANSFORMER PAD SHALL MATCH TOP OF EXISTING CONC. PAD.
3. PROVIDE CONDUIT STUBS FOR FUTURE SERVICE TO 15 ISLAND PLACE BUILDING.
4. RESTORE ALL DISTURBED GROUND SURFACES TO PRE-CONSTRUCTION CONDITIONS.

LEGEND

- T.M. TAX MAP
N/F NOW OR FORMERLY
F.E. STEEL FIRE ESCAPE
M.W. MONITORING WELL
S.E. SEWER MANHOLE
E.M. ELECTRIC MANHOLE
S.E. SPOT ELEVATION
W.G. WATER GATE
G.G. GAS GATE
U.P. UTILITY POLE/GUY WIRE
C.L. CHAIN LINK FENCE
U.E. UNDERGROUND ELECTRIC
O.W. OVERHEAD WIRE
E.C.M. EROSION CONTROL MEASURES
L.D. LIMIT OF DISTURBANCE

FLOOR ELEVATION TABLE

(A) OVERHEAD DOOR	137.24' NAVD 88
(B) RAISED CONCRETE SLAB	138.10' NAVD 88
(C) OVERHEAD DOOR	137.99' NAVD 88
(D) THRESHOLD	137.85' NAVD 88
(E) OVERHEAD DOOR	137.51' NAVD 88
(F) OVERHEAD DOOR	138.03' NAVD 88
(G) OVERHEAD DOOR	137.95' NAVD 88

BENCHMARK:
NAIL SET IN U.POLE NO. 2-30
ELEVATION=137.12'
NAVD 88 DATUM

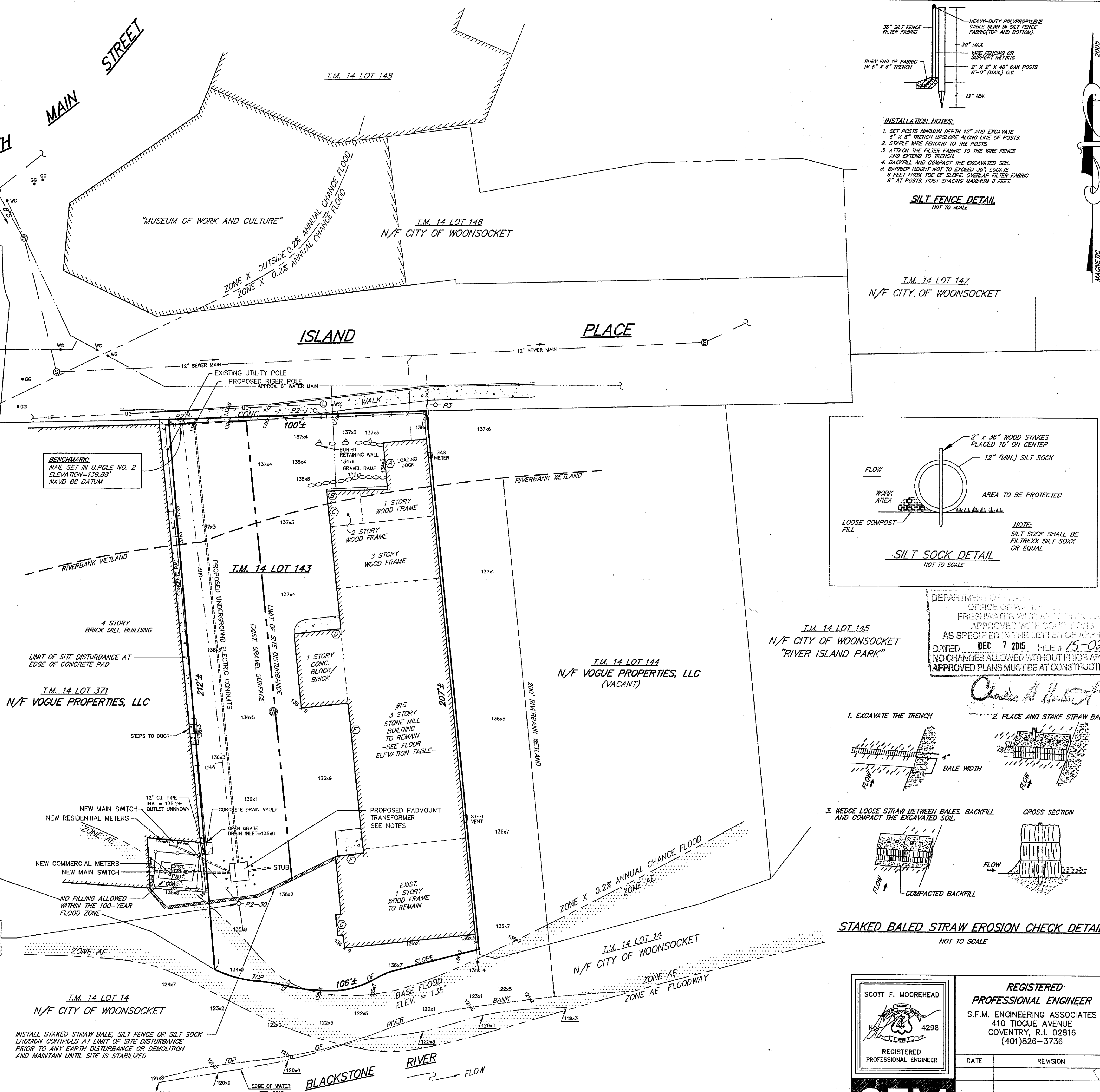
T.M. 14 LOT 371
N/F VOGUE PROPERTIES, LLC

T.M. 14 LOT 14
N/F CITY OF WOONSOCKET

INSTALL STAKED STRAW BALE, SILT FENCE OR SILT SOCK
EROSION CONTROLS AT LIMIT OF SITE DISTURBANCE
PRIOR TO ANY EARTH DISTURBANCE OR DEMOLITION
AND MAINTAIN UNTIL SITE IS STABILIZED

BLACKSTONE RIVER FLOW

OWNER
THE WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORPORATION
d/b/a NEIGHBORWORKS BLACKSTONE RIVER VALLEY



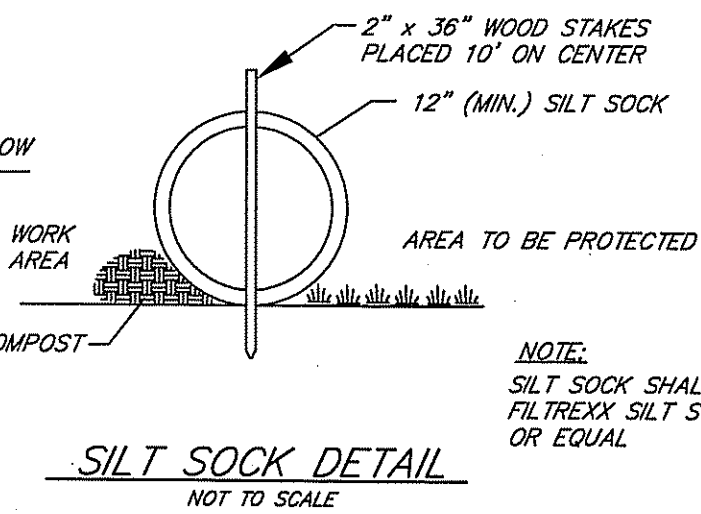
INSTALLATION NOTES:

1. SET POSTS MINIMUM DEPTH 12" AND EXCAVATE 6" X 6" TRENCH UNLESS ALONG LINE OF POSTS.
2. STAPLE WIRE FENCING TO THE POSTS.
3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND TO TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.
5. BARRIER HEIGHT NOT TO EXCEED 30". LOCATE 6 FEET FROM 1/2 OF SLOPE. OVERLAP FILTER FABRIC 6" AT POSTS. POST SPACING MAXIMUM 8 FEET.

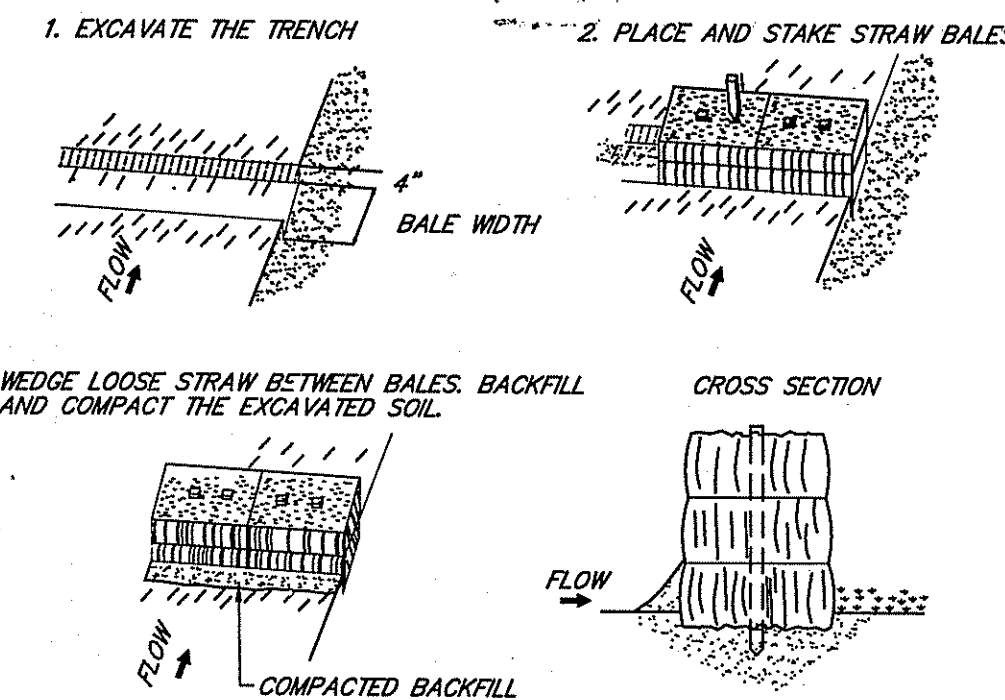
SILT FENCE DETAIL

NOT TO SCALE

T.M. 14 LOT 147
N/F CITY OF WOONSOCKET



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLAND PROGRAM
APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC 7 2015 FILE # 15-0235
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



 SCOTT F. MOOREHEAD REGISTERED PROFESSIONAL ENGINEER 4298 S.F.M. ENGINEERING ASSOCIATES 410 TIOGUE AVENUE COVENTRY, R.I. 02816 (401)826-3736	DATE	REVISION
	CHK. BY: SFM	JOB. NO. SFM785

410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401.821.8101
 LAND SURVEYING / MAPPING / SITE PLANNING

FOR STREET AND ROAD INDEX, FILE UNDER:
ISLAND PLACE

JOHN MENSINGER
No. 1806
PROFESSIONAL LAND SURVEYOR

JOHN MENSINGER, PROFESSIONAL LAND SURVEYOR NO. 1806

SITE PLAN
FOR
GRID D3 TAX MAP 14 LOT 143
15 ISLAND PLACE
WOONSOCKET, RHODE ISLAND
PREPARED FOR: THE WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORPORATION
d/b/a NEIGHBORWORKS BLACKSTONE RIVER VALLEY

DATE: FEBRUARY 27, 2012 REVISION: SEPT. 16, 2015
SCALE: 1" = 20'

PROJECT NO.: SS2099.01
DRAWING NO.: SS3846

SHEET 1 OF 1