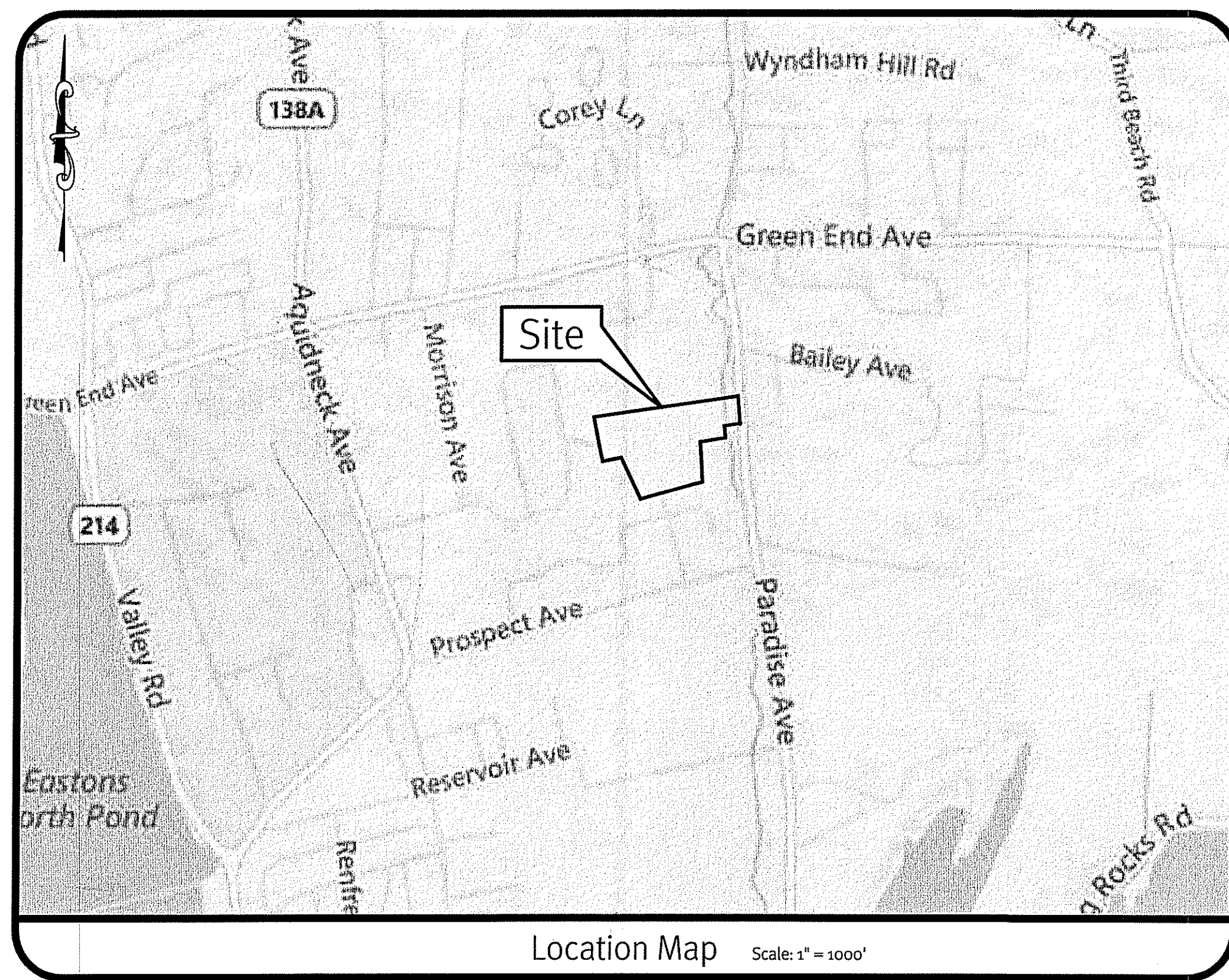


Preliminary & Final Submission

Serenity Farm

Serenity Drive & Paradise Avenue
 Middletown, Rhode Island 02842

Assessor's Plat 120 Lot 68



Sheet Index

1. Cover Sheet
2. Aerial with Location Map
3. Overall Site Plan
4. Grading, Drainage & Utility Plan
5. Detail Sheet
6. Record Plan (Sheet 1 of 1)

Provided for Reference

1. Existing Conditions Plan

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED DEC 11 2015 FILE # 15-0253
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NOV 12 2015

SESC / O&M
 The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

DiPrete Engineering
 Two Steiford Court Cranston, RI 02920
 tel. 401-943-1000 fax. 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

The regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

| No. | Date | Description | Drawn By: ACA | Design By: KD |
|-----|----------|--------------------------------|---------------|---------------|
| 2 | 10-20-15 | Preliminary & Final Submission | | |
| 1 | 6-20-15 | Assessor's Plat Submission | | |
| 1 | 6-20-15 | Assessor's Plat Submission | | |

Cover
Serenity Farm
 Assessor's Plat 120 Lot 68
 Middletown, Rhode Island
 Applicant
John M. Warner Living Trust
 John M. Warner and Deborah H. Warner, Trustees
 150 Diamond Boulevard, Streetsboro, Ohio 44344
 DE EIR No. 2381-001 Copyright 2015 by DiPrete Engineering Associates, Inc.

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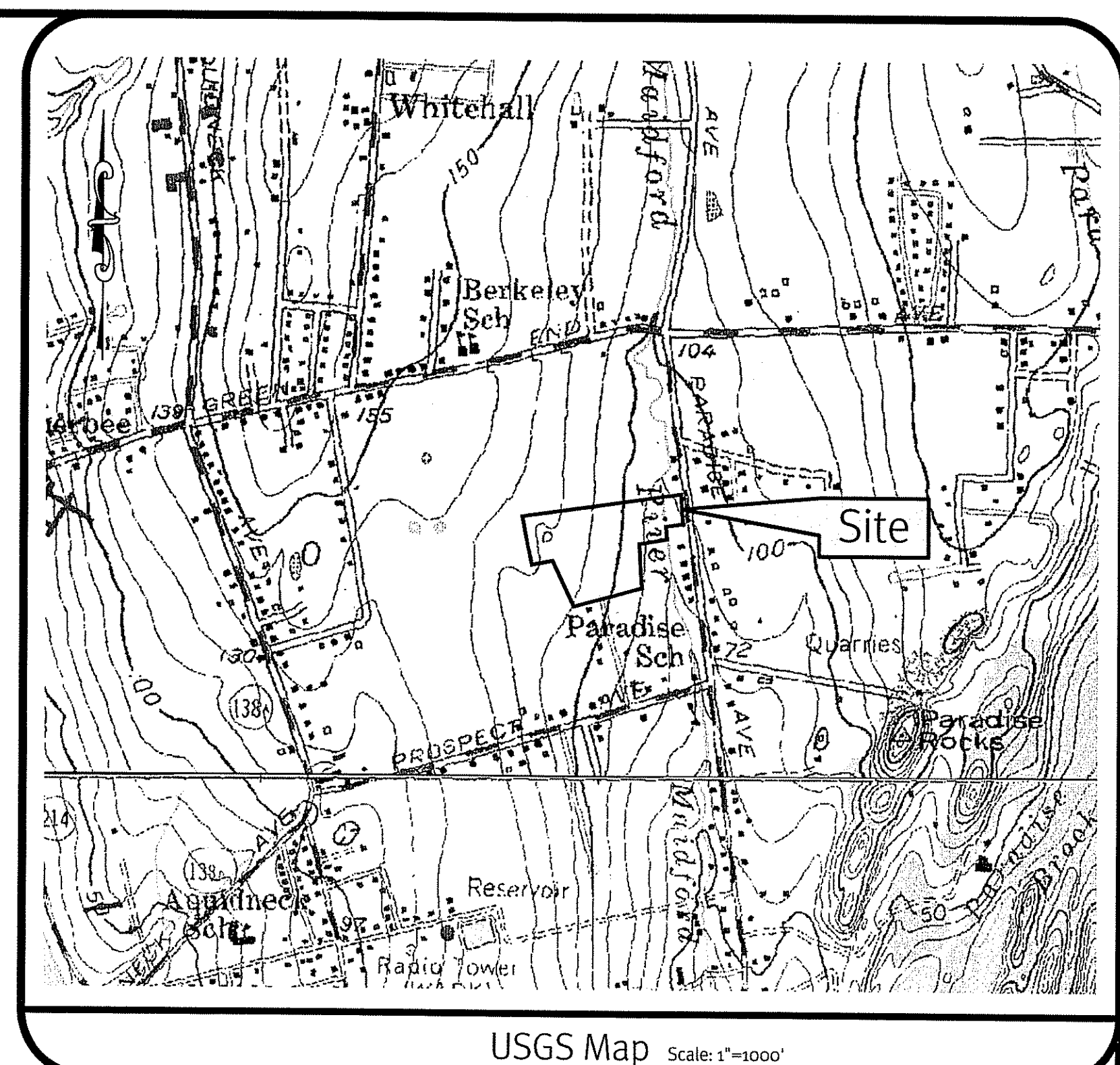
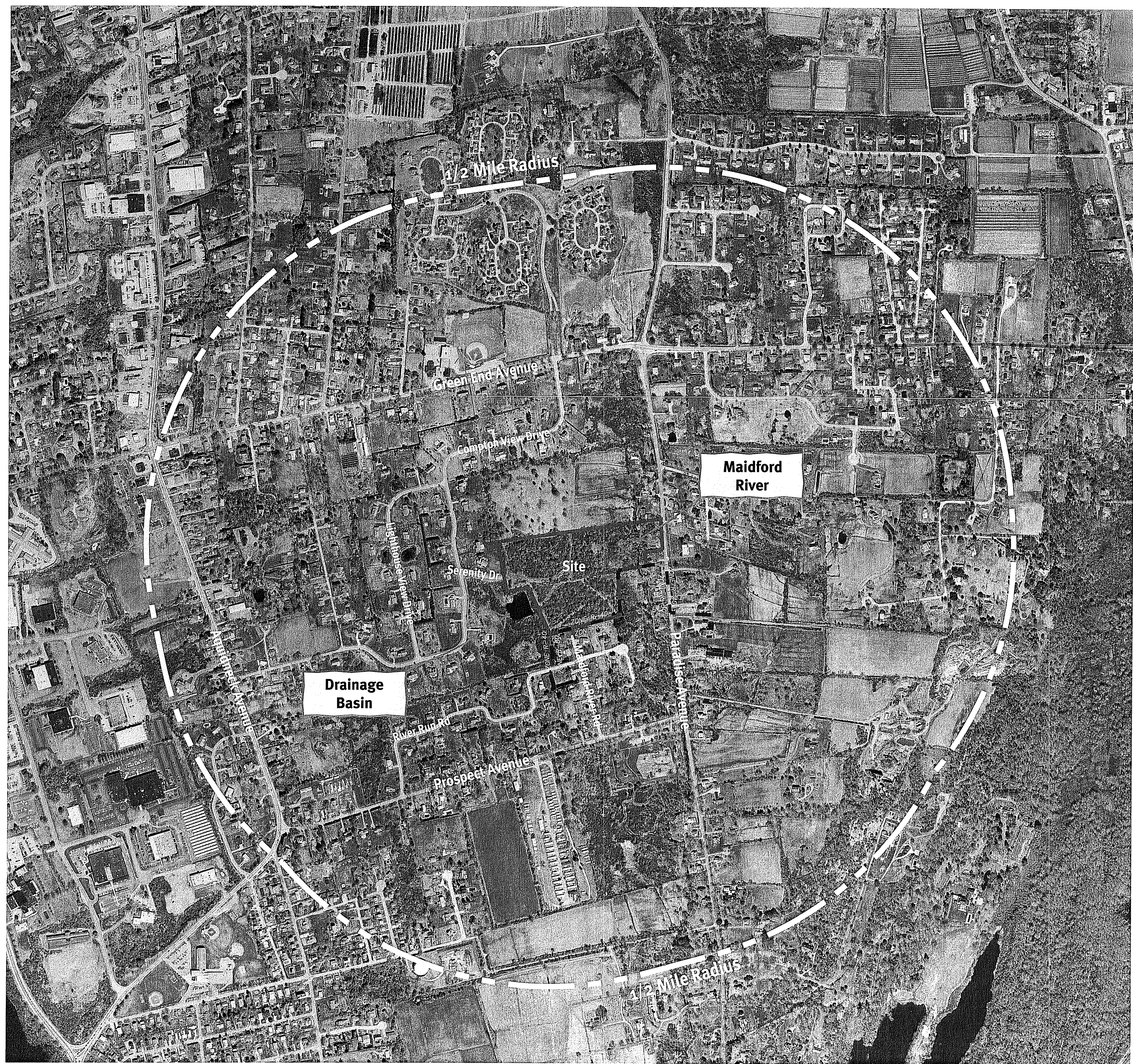
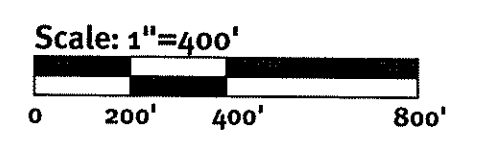


Photo Obtained from the ARCGIS 2008 Orthophotography.



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
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 DATED DEC 11 2015 FILE # 15-0253
 NO CHANGES ALLOWED WITHOUT PREVIOUSLY
 APPROVED PLANS MUST BE AT OWM

NOV 12 2015

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 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-664-6066 www.diprete-eng.com
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KEVIN DEMERS

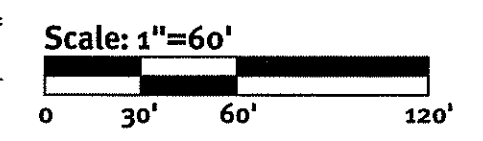
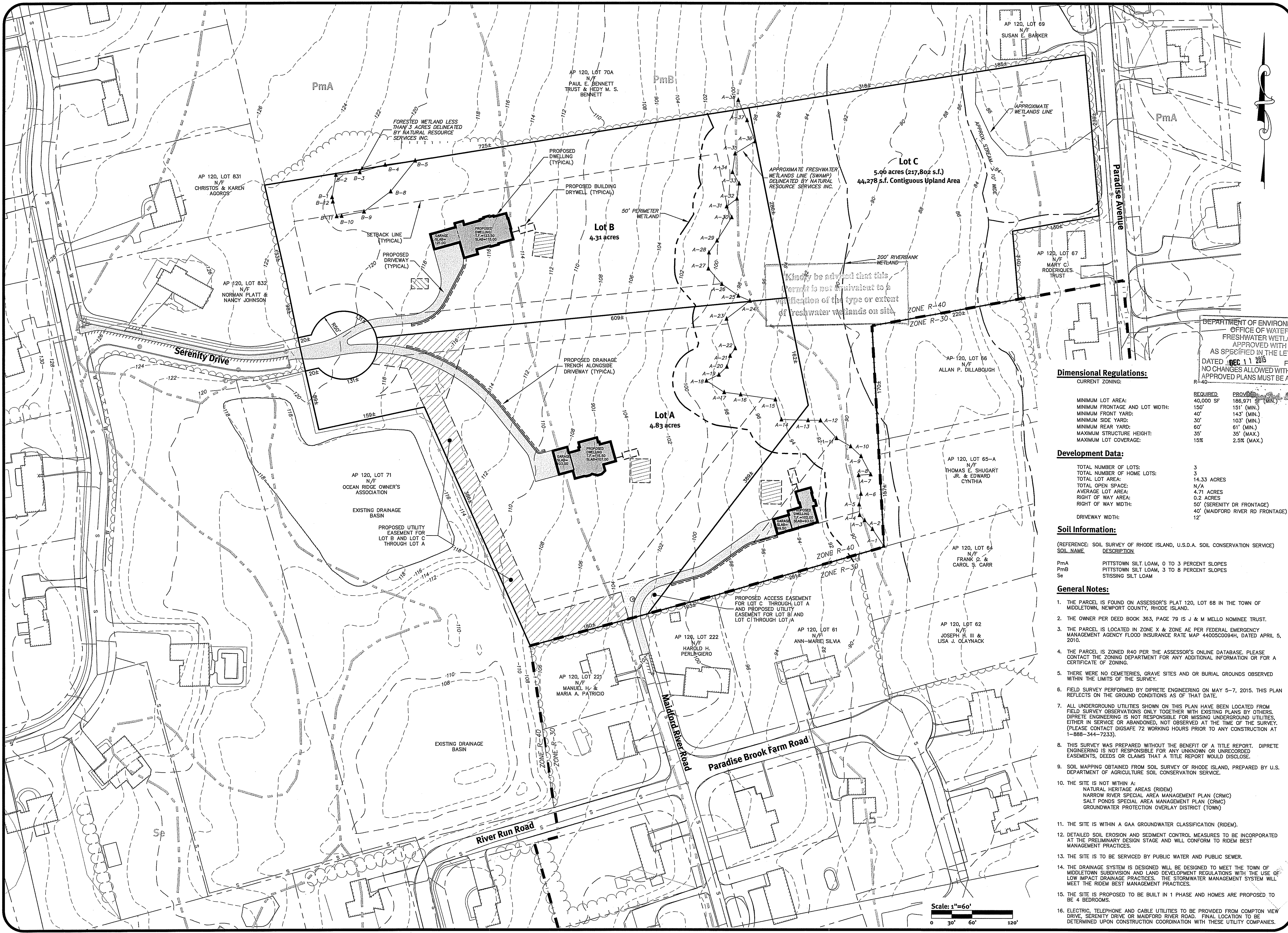
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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 The contractor is responsible for all of the means, methods, safety, and requirements, and OSHA compliance in the implementation of this plan and design.

| No. | Date | Description | By: |
|---------------|----------|--------------------------------|---------------|
| 1 | 02-20-15 | Preliminary & Final Submission | KD |
| 2 | 02-20-15 | Final Submission | KD |
| 3 | 02-20-15 | Master Plan Submission | KD |
| 4 | | | |
| Drawn By: ACA | | | Design By: KD |

Aerial with Location Map
Serenity Farm
 Assessor's Plat 120 Lot 68
 Middletown, Rhode Island
Applicant
John M. Warner Living Trust
 John M. Warner and Deborah H. Warner, Trustees
 150 Diamond Boulevard, Streetsboro, Ohio 44241
 DE-Reg. No. 2281-001 Copyright 2015 by DiPrete Engineering Associates, Inc.

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Dimensional Regulations:

| | REQUIRED | PROVIDED |
|---------------------------------|-----------|-------------|
| MINIMUM LOT AREA: | 40,000 SF | 168,971 SF |
| MINIMUM FRONTAGE AND LOT WIDTH: | 150' | 151' (MIN.) |
| MINIMUM FRONT YARD: | 40' | 143' (MIN.) |
| MINIMUM SIDE YARD: | 30' | 103' (MIN.) |
| MINIMUM REAR YARD: | 60' | 61' (MIN.) |
| MAXIMUM STRUCTURE HEIGHT: | 35' | 35' (MAX.) |
| MAXIMUM LOT COVERAGE: | 15% | 2.5% (MAX.) |

Development Data:

| | |
|----------------------------|----------------------------------|
| TOTAL NUMBER OF LOTS: | 3 |
| TOTAL NUMBER OF HOME LOTS: | 3 |
| TOTAL LOT AREA: | 14.33 ACRES |
| TOTAL OPEN SPACE: | N/A |
| AVERAGE LOT AREA: | 4.71 ACRES |
| RIGHT OF WAY AREA: | 0.2 ACRES |
| RIGHT OF WAY WIDTH: | 50' (SERENITY DR FRONTAGE) |
| DRIVEWAY WIDTH: | 40' (MAIDFORD RIVER RD FRONTAGE) |
| | 12' |

Soil Information:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

| SOIL NAME | DESCRIPTION |
|-----------|--|
| PmA | PITTSBURY SILT LOAM, 0 TO 3 PERCENT SLOPES |
| PmB | PITTSBURY SILT LOAM, 3 TO 8 PERCENT SLOPES |
| Se | STISSING SILT LOAM |

General Notes:

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 120, LOT 68 IN THE TOWN OF MIDDLETOWN, NEWPORT COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 363, PAGE 79 IS J & M MELLO NOMINEE TRUST.
- THE PARCEL IS LOCATED IN ZONE X & ZONE AE PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 440050094H, DATED APRIL 5, 2010.
- THE PARCEL IS ZONED R40 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON MAY 5-7, 2015. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DISSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE SITE IS NOT WITHIN A: NATURAL HERITAGE AREAS (RIDEM) NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC) SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC) GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE SITE IS WITHIN A GAA GROUNDWATER CLASSIFICATION (RIDEM).
- DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED WILL BE DESIGNED TO MEET THE TOWN OF MIDDLETOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF LOW IMPACT DRAINAGE PRACTICES. THE STORMWATER MANAGEMENT SYSTEM WILL MEET THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE AND HOMES ARE PROPOSED TO BE 4 BEDROOMS.
- ELECTRIC, TELEPHONE AND CABLE UTILITIES TO BE PROVIDED FROM COMPTON VIEW DRIVE, SERENITY DRIVE OR MAIDFORD RIVER ROAD. FINAL LOCATION TO BE DETERMINED UPON CONSTRUCTION COORDINATION WITH THESE UTILITY COMPANIES.

DEPARTMENT OF ENVIRONMENTAL AFFAIRS
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **DEC 11 2015** FILE # **15-0253**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
LICENSE # 00000000

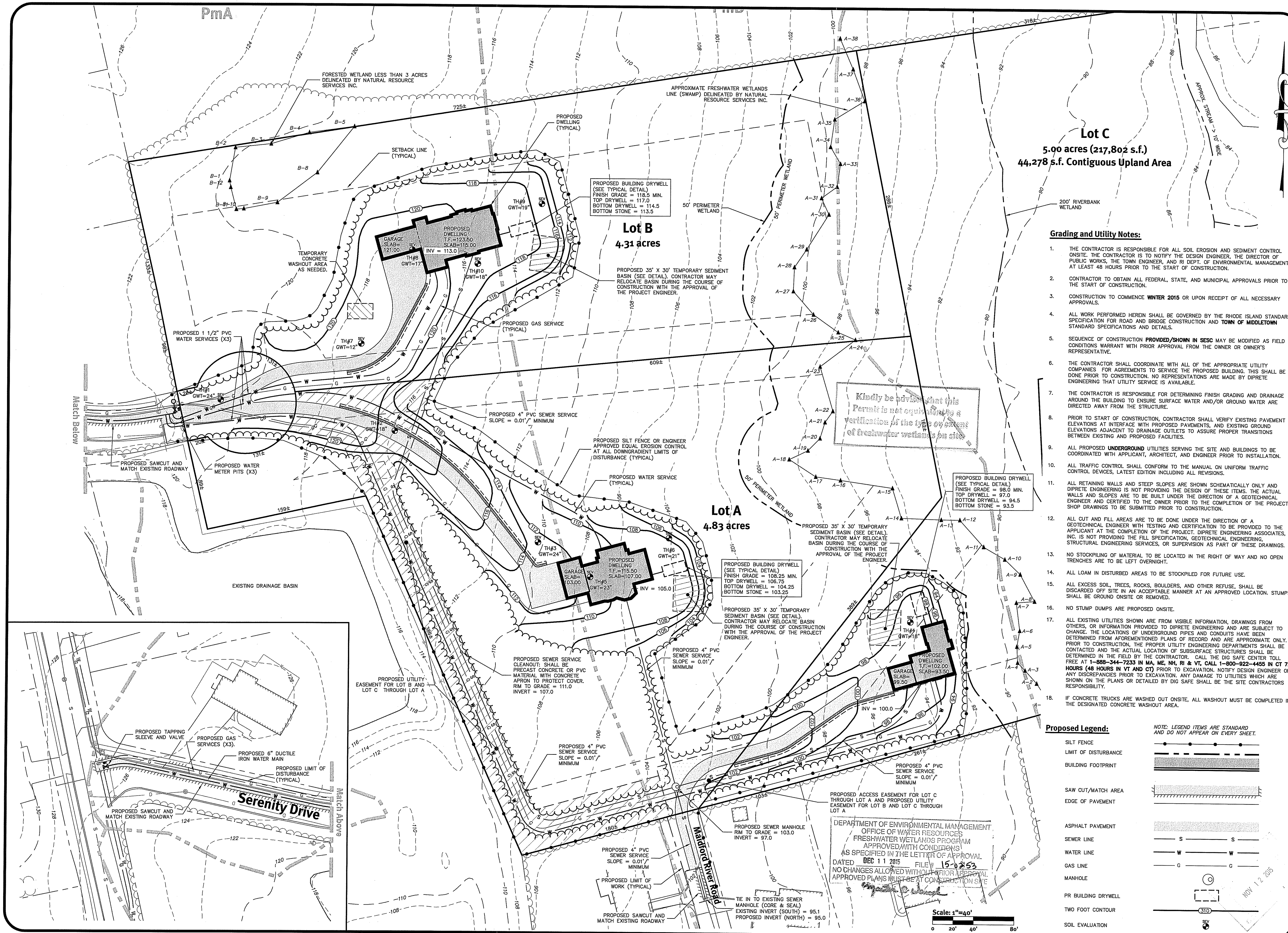
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| No. | Date | Description | Drawn By: ACA | Design By: MD |
|-----|------------|--------------------------------|---------------|---------------|
| 1 | 11/10/2015 | Submittal | MD | MD |
| 2 | 11/10/2015 | Revised Master Plan Submission | MD | MD |
| 3 | 11/10/2015 | Master Plan Submission | MD | MD |

Overall Site Plan
Serenity Farm
Assessor's Plat 120 Lot 68
Middletown, Rhode Island
Applicant: **John M. Warner Living Trust**
John M. Warner and Deborah H. Warner, Trustees
150 Diamond Boulevard, Streetsboro, Ohio 44224
SHEET **3** OF 6

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-943-1000 fax: 401-641-6606 www.diprete-eng.com
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Lot C
5.00 acres (217,802 s.f.)
44,278 s.f. Contiguous Upland Area

Lot B
4.31 acres

Lot A
4.83 acres

Grading and Utility Notes:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON-SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONSTRUCTION TO COMMENCE WINTER 2015 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
4. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF MIDDLETOWN STANDARD SPECIFICATIONS AND DETAILS.
5. SEQUENCE OF CONSTRUCTION PROVIDED/SHOWN IN SESC MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
8. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
9. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
10. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
11. ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
12. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
13. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
14. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
15. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ON-SITE OR REMOVED.
16. NO STUMP DUMPS ARE PROPOSED ON-SITE.
17. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 IN MA, ME, NH, RI & VT, CALL 1-800-822-4455 IN CT 72 HOURS (48 HOURS IN VT AND CT) PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE, SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
18. IF CONCRETE TRUCKS ARE WASHED OUT ON-SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

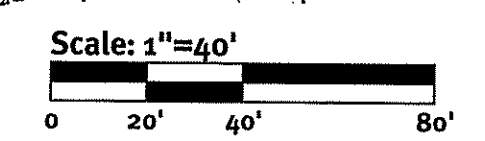
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC 11 2015 FILE # 15-02853
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Proposed Legend:

- SILT FENCE
- LIMIT OF DISTURBANCE
- BUILDING FOOTPRINT
- SAW CUT/MATCH AREA
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- SEWER LINE
- WATER LINE
- GAS LINE
- MANHOLE
- PR BUILDING DRYWELL
- TWO FOOT CONTOUR
- SOIL EVALUATION

NOTE: LEGEND ITEMS ARE STANDARD AND DO NOT APPEAR ON EVERY SHEET.



DIPRETE Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com
BOSTON • PROVIDENCE • NEWPORT

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

| NO. | DATE | DESCRIPTION | DESIGN BY: KJD |
|-----|----------|--------------------------------|----------------|
| 1 | 09-20-15 | Preliminary & Final Submission | |
| 2 | 09-29-15 | Work Order/Plan Submission | |
| 3 | 10-01-15 | Final Submission | |

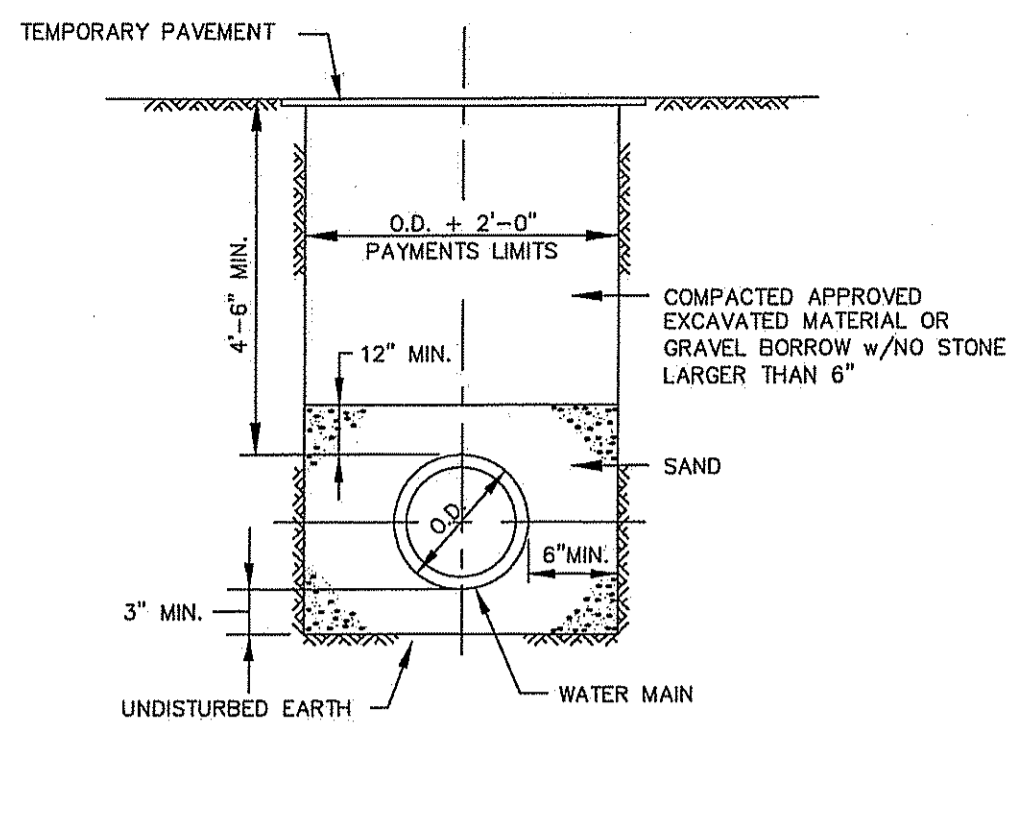
Grading, Drainage & Utility Plan
Serenity Farm
Assessor's Plat 120 Lot 68
Middletown, Rhode Island

John M. Warner Living Trust
John M. Warner and Deborah H. Warner, Trustees
150 Diamond Boulevard, Streetsboro, Ohio 44224

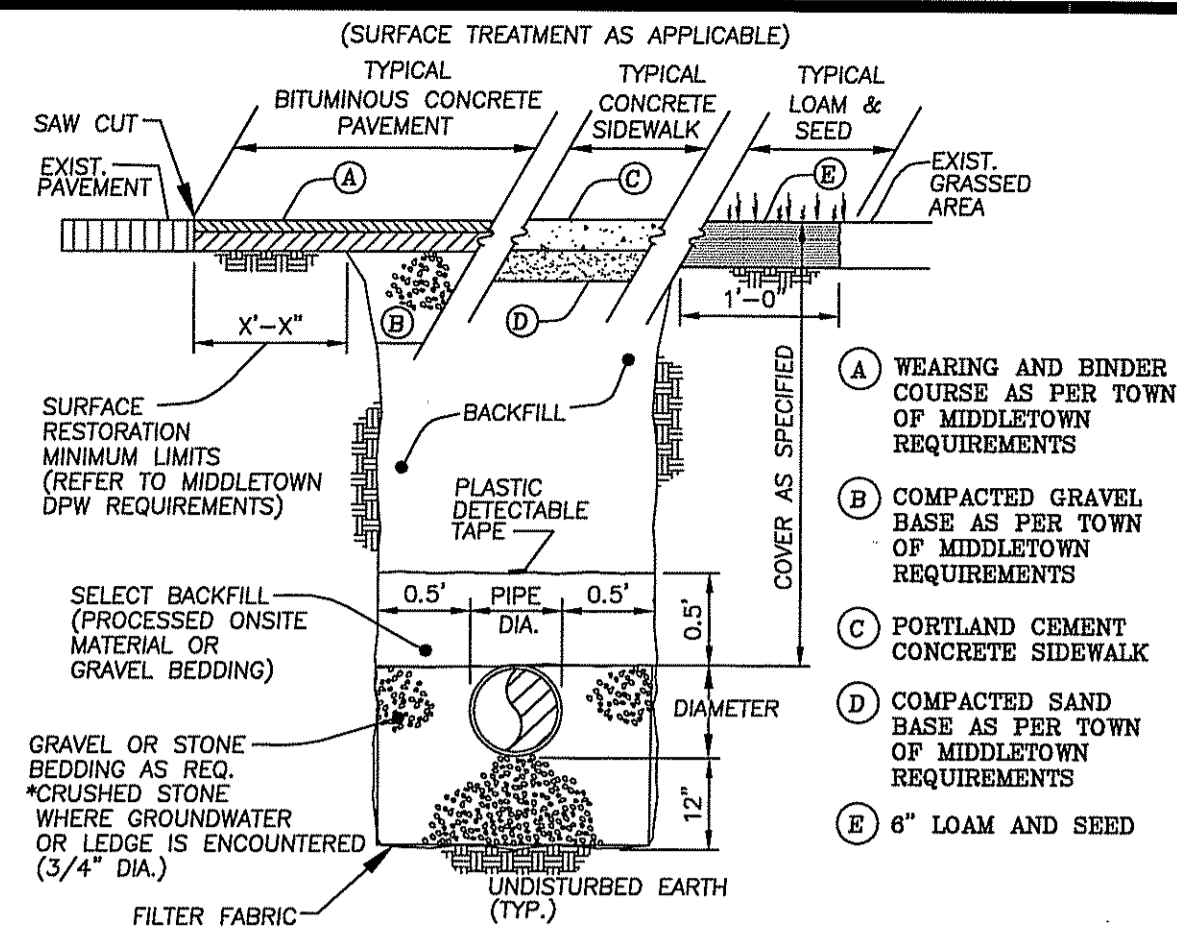
Applicant: John M. Warner and Deborah H. Warner, Trustees
150 Diamond Boulevard, Streetsboro, Ohio 44224

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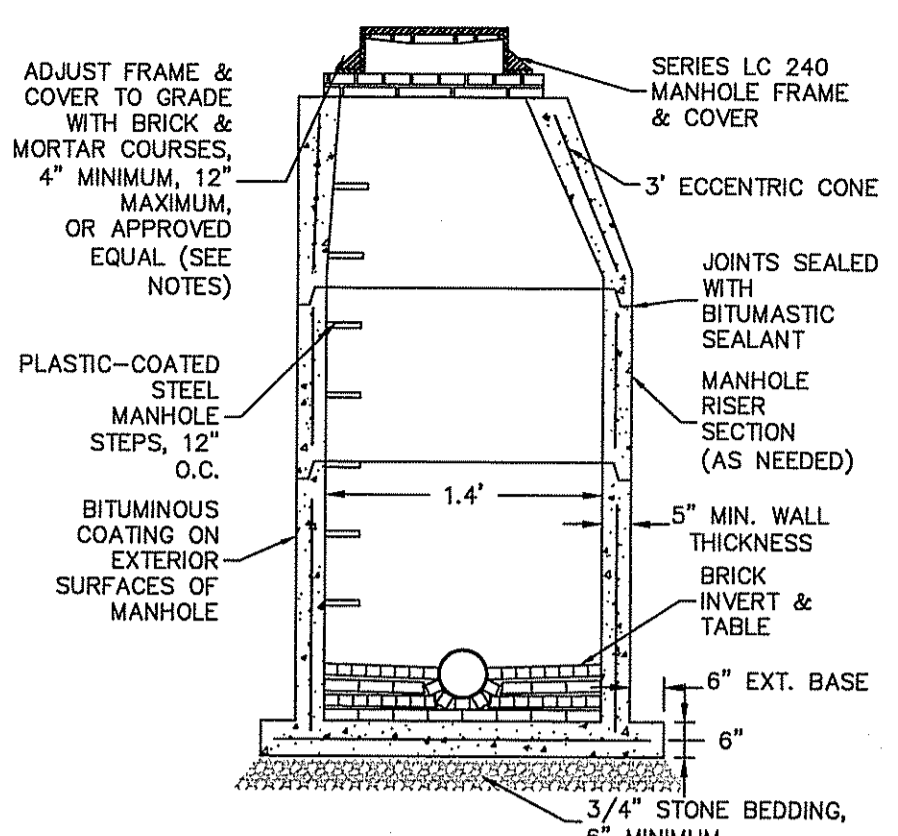
SHEET 4 OF 6



CITY OF NEWPORT DEPARTMENT OF UTILITIES
DETAIL TYPICAL WATER MAIN TRENCH - EARTH
 DRAWN BY: J. GIBLIN
 CHECKED BY: K. MASON
 NO SCALE
 APRIL 28, 2011

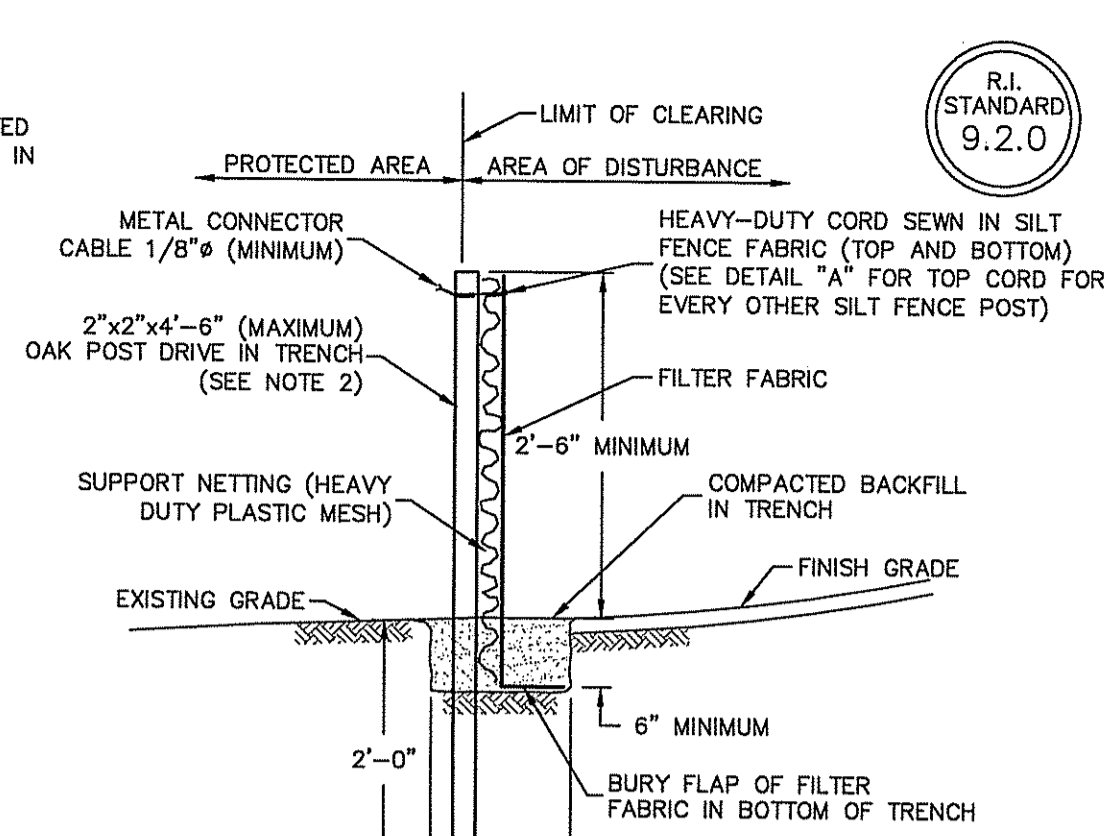
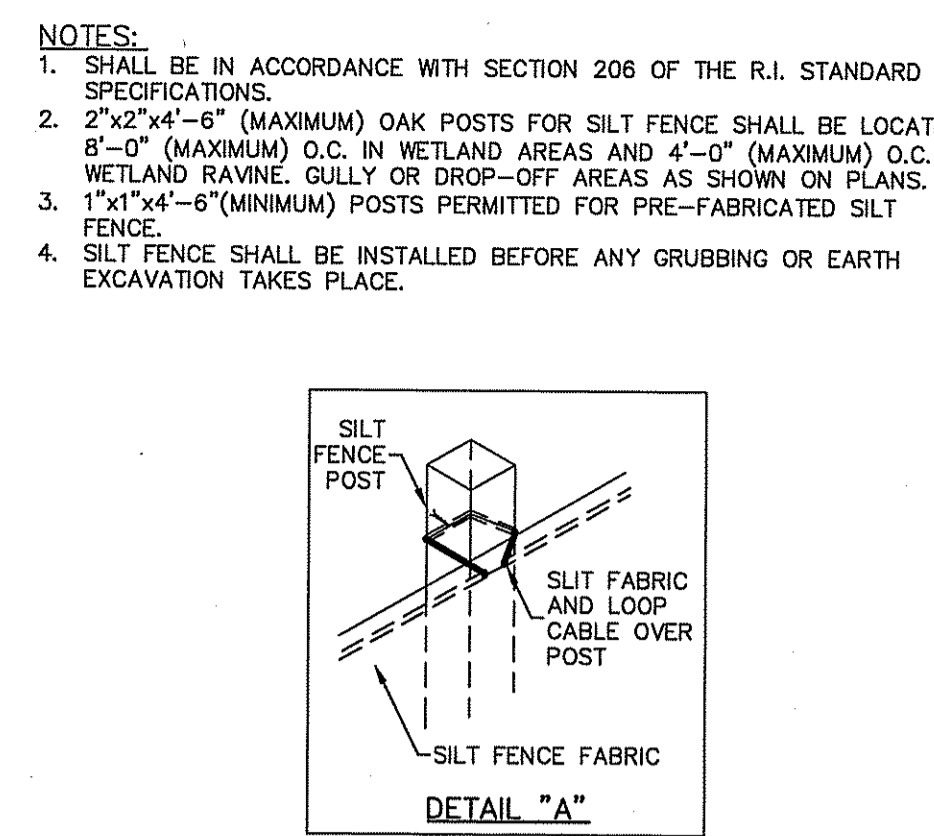


Sewer Utility Trench
 NOT TO SCALE



Sewer Manhole
 NOT TO SCALE

- NOTES:**
- MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478.
 - INVERT & TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR. NO SAND FILLER SHALL BE ALLOWED.
 - MANHOLES SHALL BE VACUUM TESTED PRIOR TO ACCEPTANCE, IN ACCORDANCE WITH THE SEWER AUTHORITY SANITARY RULES AND REGULATIONS. UNDER NO CIRCUMSTANCES WILL INFILTRATION TESTING BE ACCEPTED.
 - BOLTED & GASKETED COVERS SHALL BE USED ON MANHOLES IN OFF-ROAD AREAS.
 - TAPPING OF MANHOLES MUST BE AUTHORIZED AND INSPECTED BY THE SEWER AUTHORITY. THE ONLY APPROVED METHOD FOR TAPPING MANHOLES SHALL BE BY CORE-DRILLING THE MANHOLE AND INSTALLING A "KOR-N-SEAL" BOOT.
 - PRECAST CONCRETE GRADE RINGS, HDPE GRADE RINGS, OR OTHER RIM ADJUSTMENT PRODUCTS MAY BE USED IN LIEU OF BRICK AND MORTAR WITH THE PERMISSION OF THE SEWER AUTHORITY.



Silt Fence Detail
 NOT TO SCALE

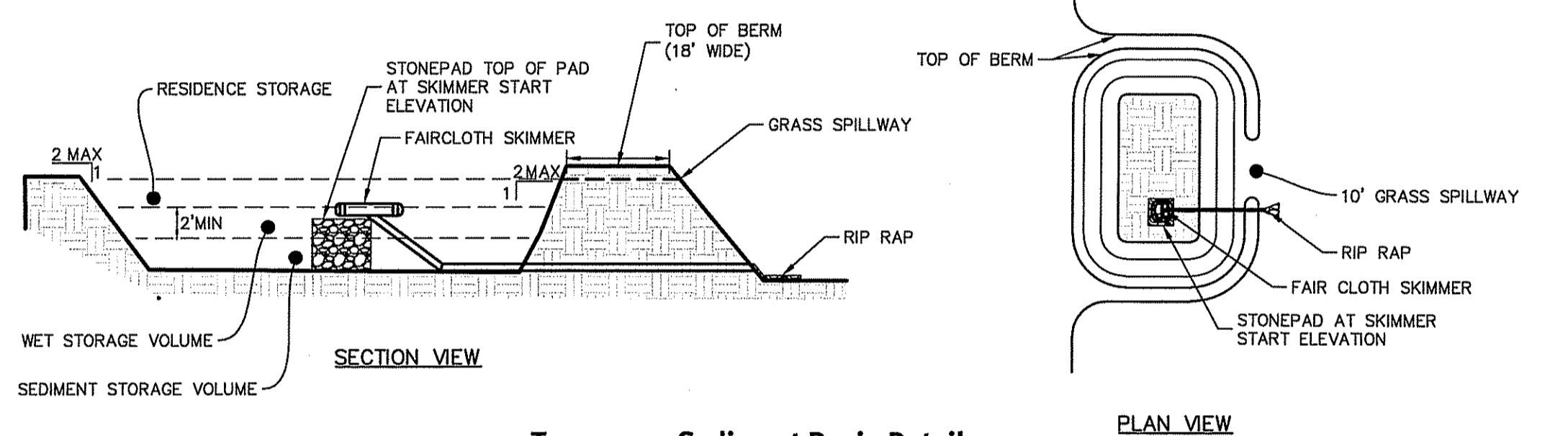
R.I. STANDARD 9.2.0

TEMPORARY SEDIMENT BASIN STORAGE

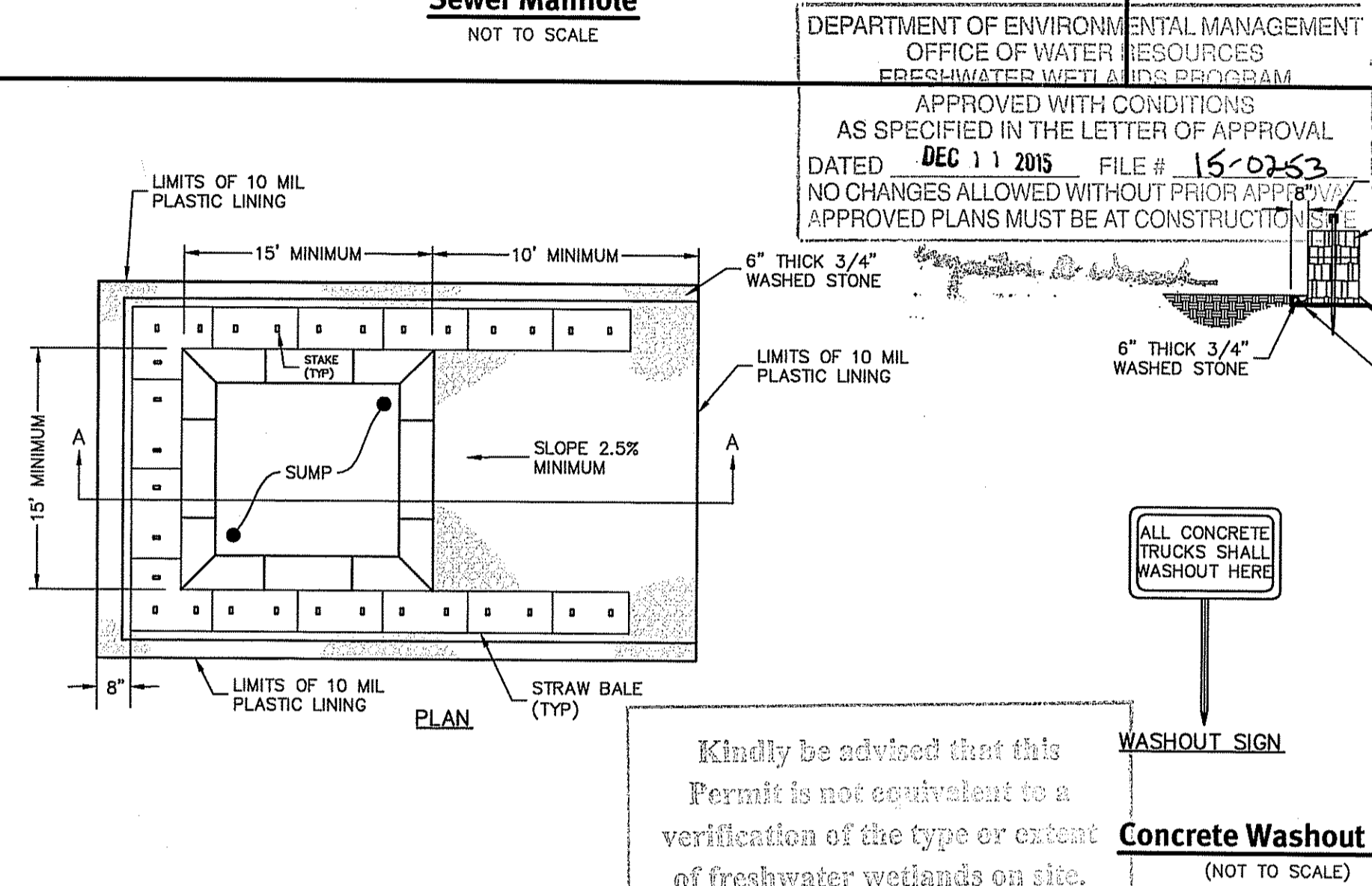
| REQUIRED SEDIMENT STORAGE | REQUIRED TOTAL STORAGE | TOTAL STORAGE PROVIDED |
|------------------------------|------------------------|------------------------|
| TO BE STORED WITHIN 3 BASINS | 3,760 C.F. | 11,280 C.F. |
| | | 12,600 C.F. |

TEMPORARY SEDIMENT BASIN ELEVATIONS

| BASIN | BOTTOM | SKIMMER START | BOTTOM SPILLWAY | TOP OF BERM |
|---------|--------|---------------|-----------------|-------------|
| BASIN A | 102.00 | 103.20 | 106.00 | 106.75 |
| BASIN B | 111.50 | 112.70 | 115.50 | 116.25 |
| BASIN C | 93.00 | 94.20 | 97.00 | 97.75 |



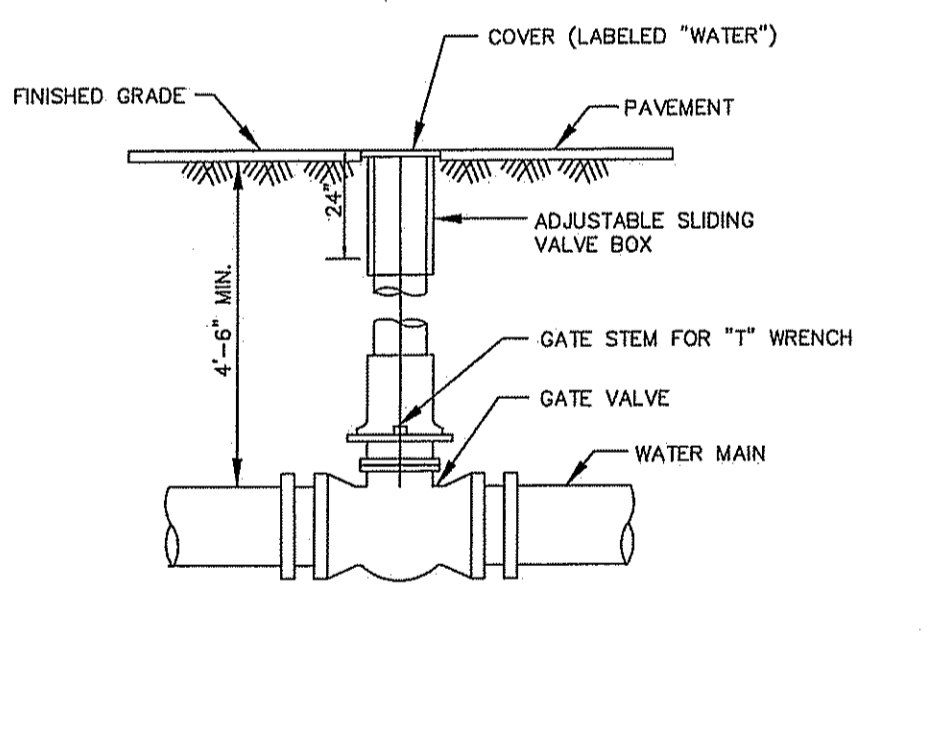
Temporary Sediment Basin Detail
 NOT TO SCALE



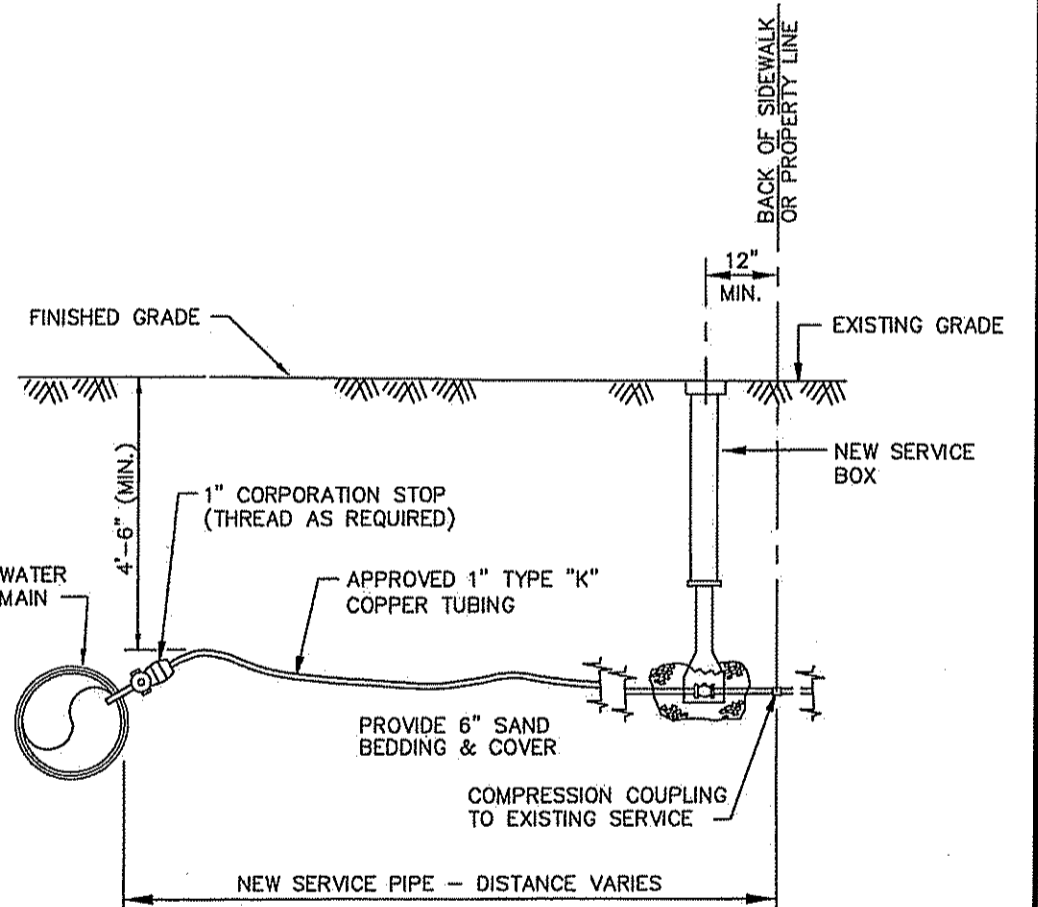
Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Concrete Washout Area
 (NOT TO SCALE)

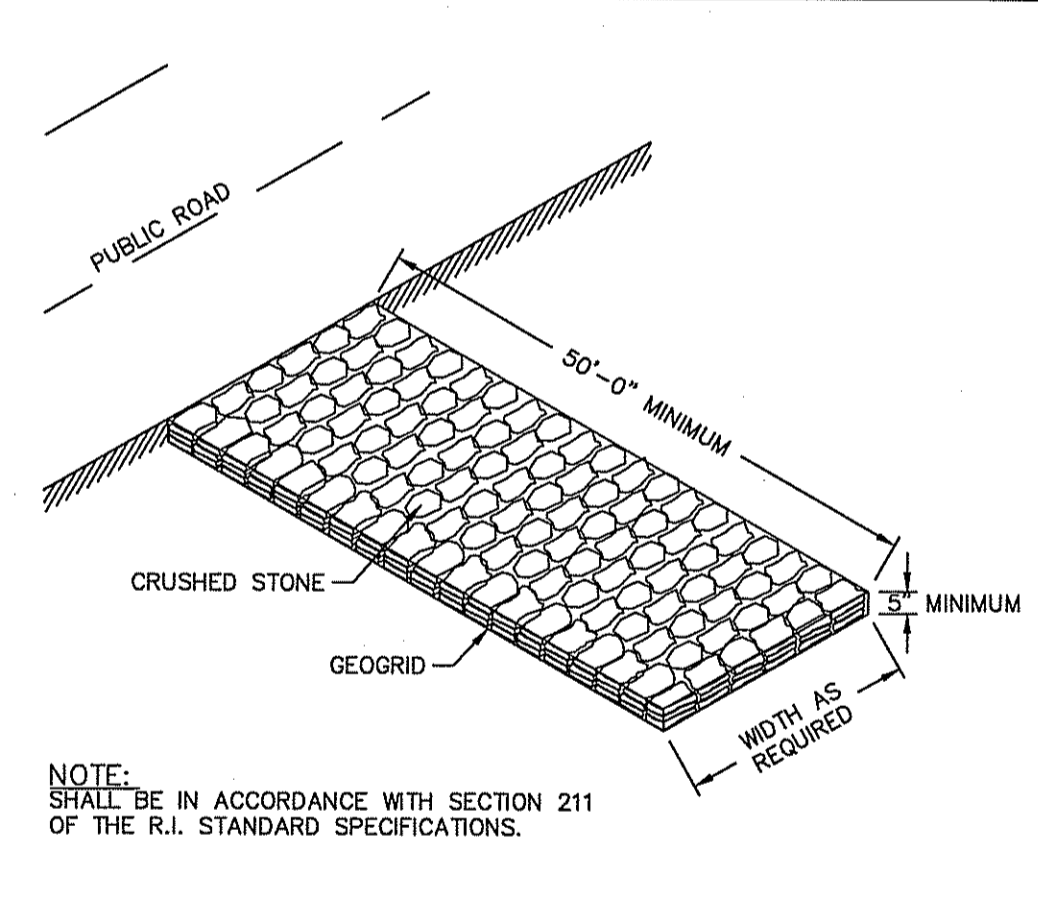
- NOTES:**
- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 - FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 - FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 - SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 - CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 - MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



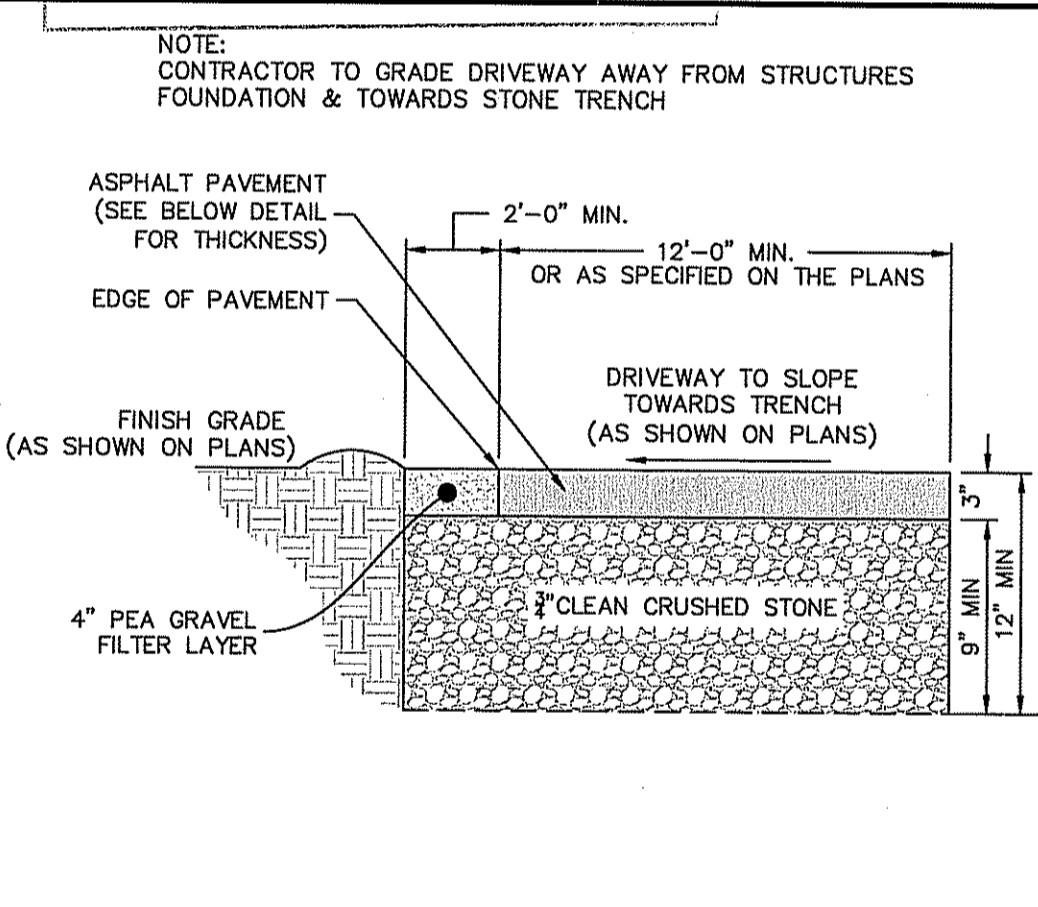
CITY OF NEWPORT DEPARTMENT OF UTILITIES
DETAIL TYPICAL GATE VALVE
 DRAWN BY: J. GIBLIN
 CHECKED BY: K. MASON
 NO SCALE
 APRIL 28, 2011



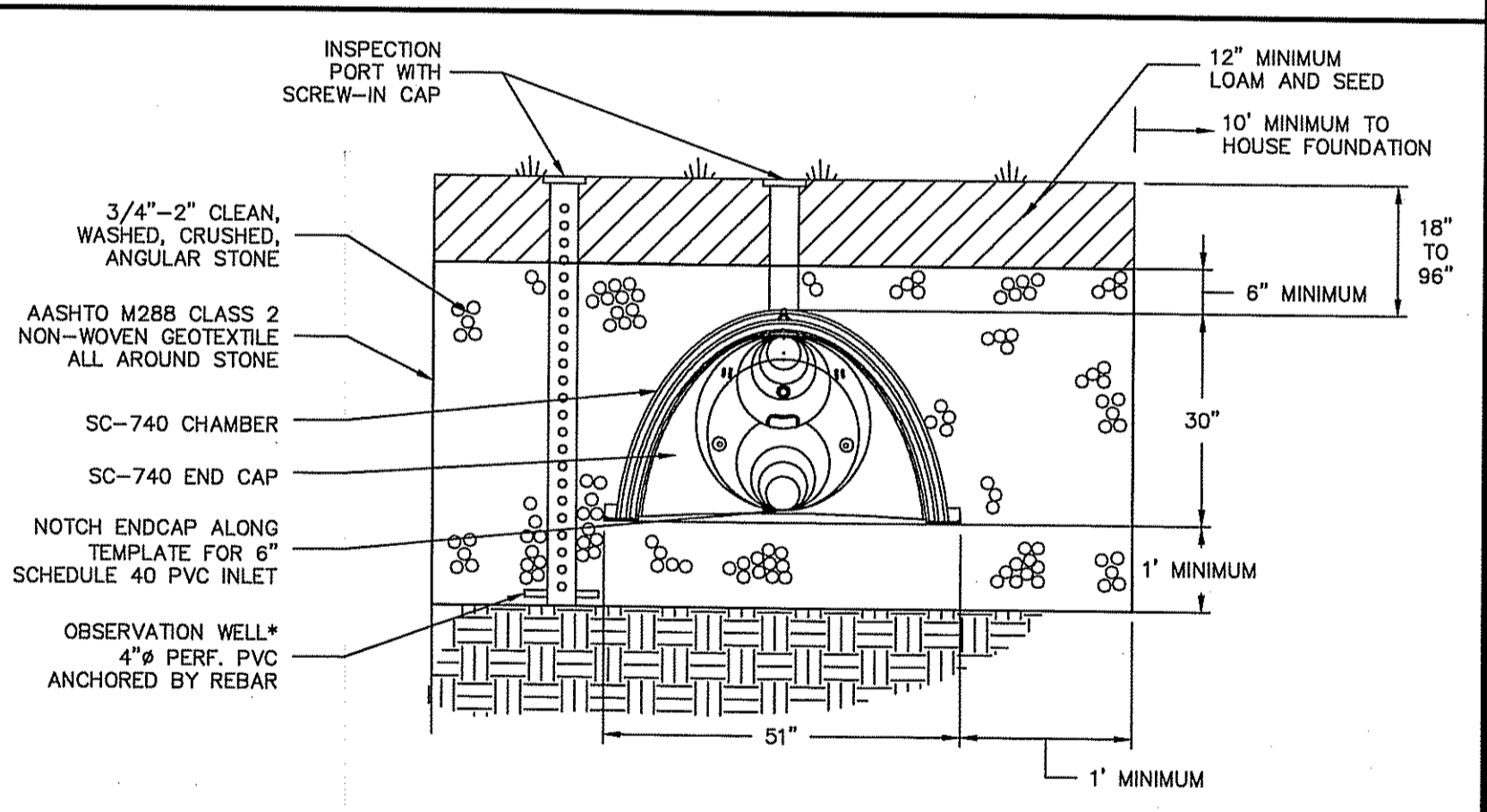
CITY OF NEWPORT DEPARTMENT OF UTILITIES
DETAIL TYPICAL WATER SERVICE CONNECTION
 DRAWN BY: J. GIBLIN
 CHECKED BY: K. MASON
 NO SCALE
 APRIL 28, 2011



Construction Access
 NOT TO SCALE

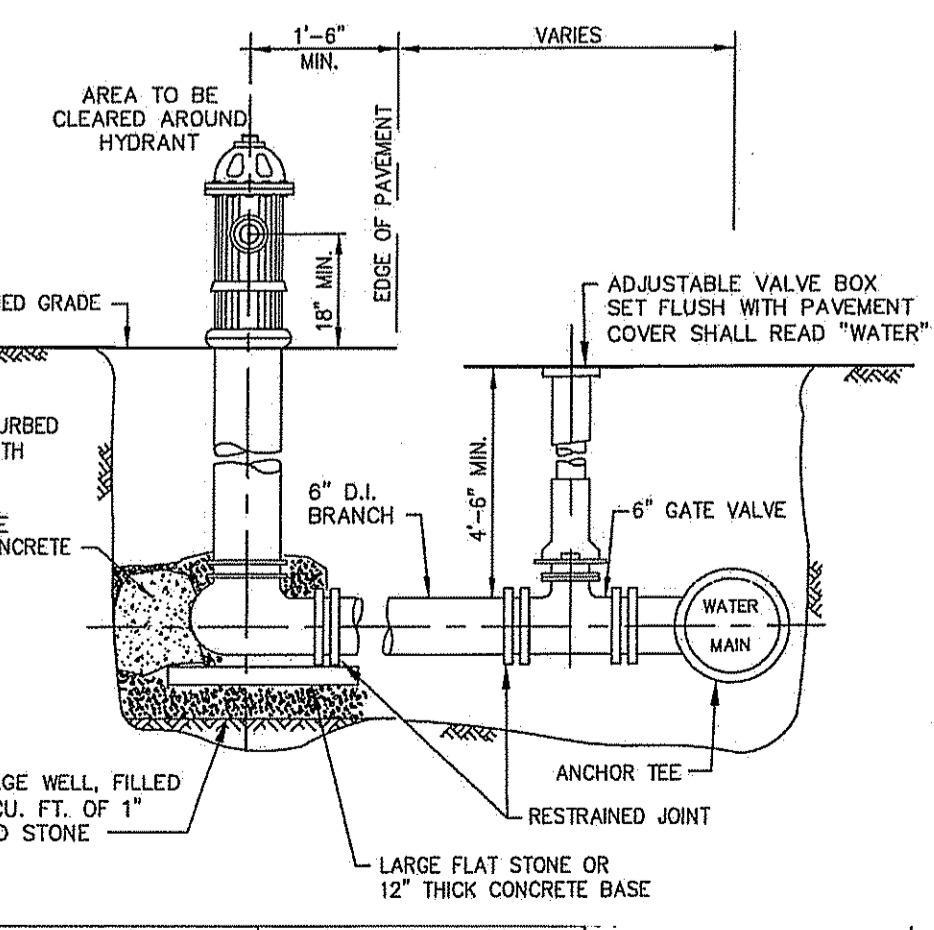


Typical Driveway Pavement & Stone Trench Cross Section
 NOT TO SCALE

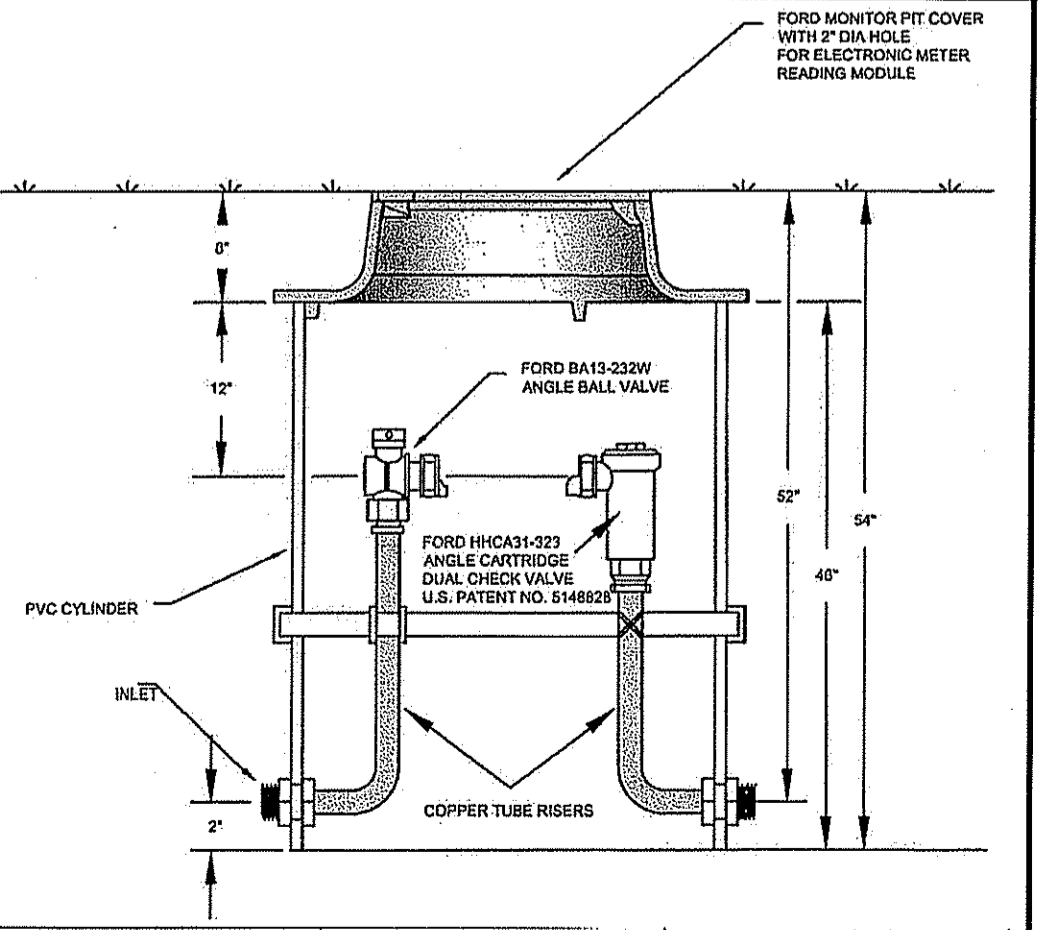


- CONSTRUCTION, MAINTENANCE, & INSPECTION NOTES:**
- UNDERGROUND DRAINAGE AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
 - STAKE CORNERS OF INFILTRATION BASINS.
 - PLACE FILTER FABRIC ALONG THE BOTTOM AND SIDES OF TRENCH AND FILL WITH SPECIFIED ϕ FILTER STONE. THE DEPTH OF STONE BELOW THE PIPE WILL BE A MINIMUM OF 1'.
 - SET STRUCTURES AT THE INVERT ELEVATION ALONG WITH INSPECTION/ MAINTENANCE PORTS AS INDICATED ON THE PLANS. BACKFILL SIDES AND TOP OF STRUCTURE WITH FILTER STONE. THERE SHALL BE A MINIMUM OF 12" OF FILTER STONE ALL SIDES OF THE STRUCTURE.
 - OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACKFILL WITH CLEAN FILL TO FINISH GRADE.
 - (*) MONITORING WATER LEVELS WITHIN THE CLEANOUTS AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN INFILTRATION SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM. THE OWNER WILL MAINTAIN THE DRAINAGE COMPONENTS.
- INSTALLATION NOTES:**
- CHAMBERS SHALL BE STORMTECH SC-740 OR APPROVED EQUAL.
 - INSPECTION PORT TO BE ATTACHED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
 - ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
 - THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.
 - CONTACT STORMTECH LLC ("STORMTECH") WITH ANY QUESTIONS ON THE STORMTECH CHAMBER SYSTEM REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 1-888-892-2694 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE INSTALLATION INSTRUCTIONS.

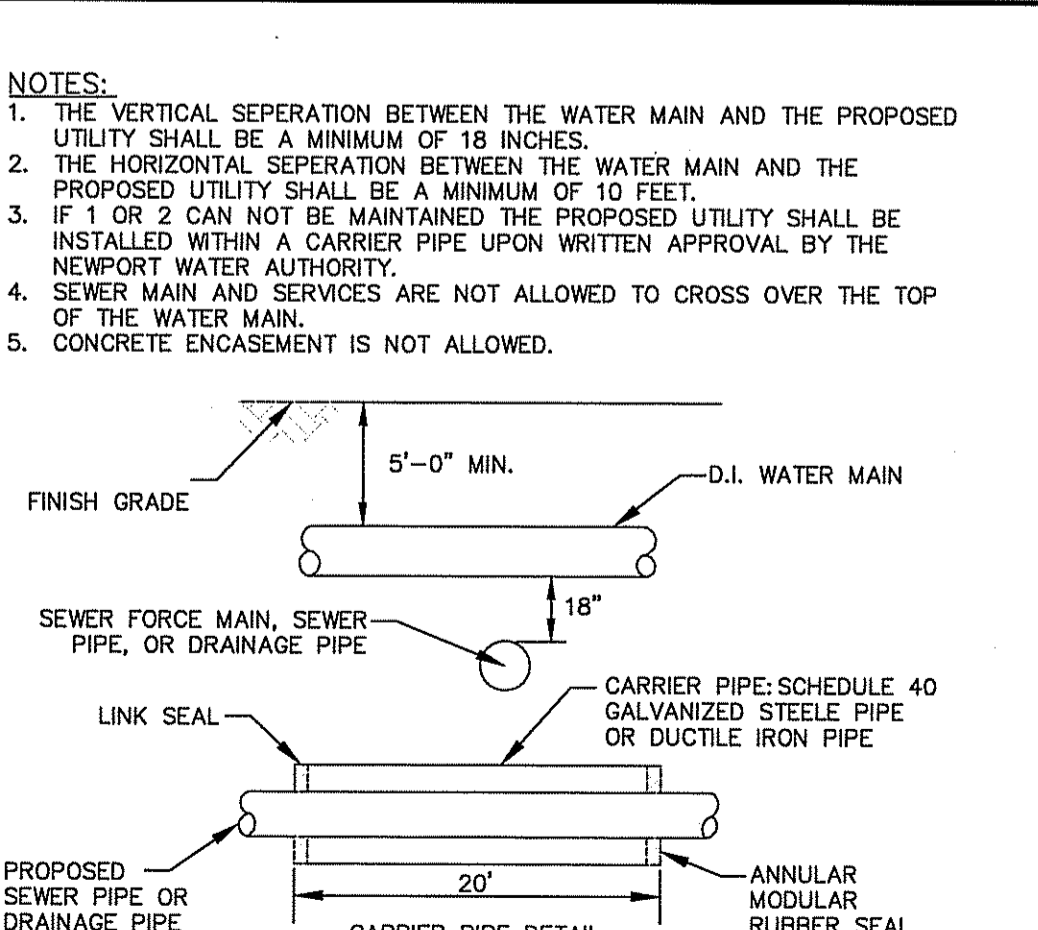
Stormtech SC-740 Drywell Detail (Profile)
 NOT TO SCALE



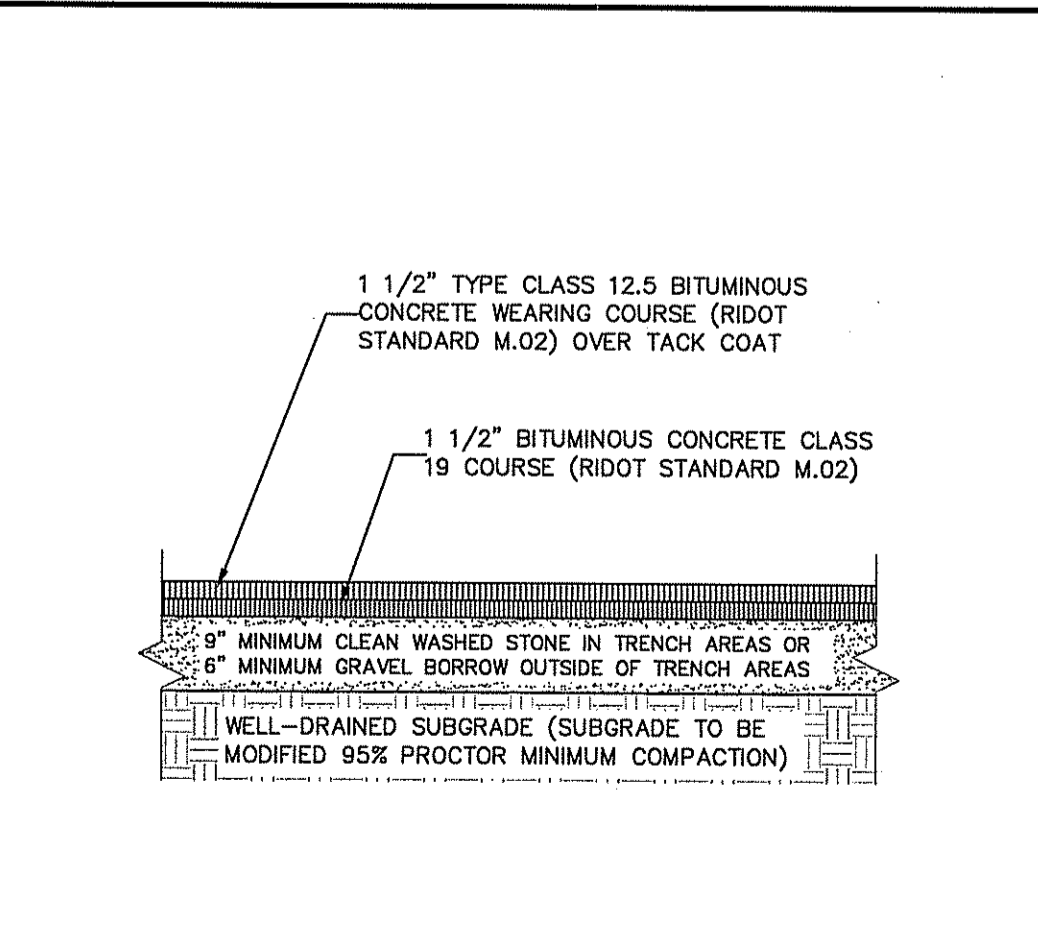
CITY OF NEWPORT DEPARTMENT OF UTILITIES
DETAIL TYPICAL HYDRANT AND VALVE
 DRAWN BY: J. GIBLIN
 CHECKED BY: K. MASON
 NO SCALE
 APRIL 28, 2011



CITY OF NEWPORT DEPARTMENT OF UTILITIES
DETAIL WATER METER PIT
 DRAWN BY: J. GIBLIN
 CHECKED BY: K. MASON
 NO SCALE
 APRIL 28, 2011



Utility Separation
 NOT TO SCALE



Typical Driveway Pavement Section
 NOT TO SCALE

Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-664-6006 www.diprete-eng.com
 BOSTON • PROVIDENCE • NEWPORT

KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

| No. | Date | Description | Design By: KJD |
|-----|----------|--------------------------------|----------------|
| 1 | 10-20-15 | Preliminary & Final Submission | |
| 2 | 6-29-15 | Revised Final Submission | |
| 3 | 6-29-15 | Revised Final Submission | |

Detail Sheet
Serenity Farm
 Assessor's Plat 120 Lot 68 Middletown, Rhode Island
 Applicant: **John M. Warner Living Trust**
 John M. Warner and Deborah H. Warner, Trustees
 150 Diamond Boulevard, Streetsboro, Ohio 44244
 DE 205 Reg. 2281-001 Copyright 2015 by Diprete Engineering Associates, Inc.

General Notes

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 120, LOT 68 IN THE TOWN OF MIDDLETOWN, NEWPORT COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 363, PAGE 79 IS J & M MELLO NOMINEE TRUST.
- THE PARCEL IS LOCATED IN ZONE X & ZONE AE PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44005C0094H, DATED APRIL 5, 2010.
- THE PARCEL IS ZONED R40 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON MAY 5-7, 2015. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

Dimensional Regulations:

| | |
|---------------------------------|-----------|
| CURRENT ZONING: | R-40 |
| MINIMUM LOT AREA: | 40,000 SF |
| MINIMUM FRONTAGE AND LOT WIDTH: | 150' |
| MINIMUM FRONT YARD: | 40' |
| MINIMUM SIDE YARD: | 30' |
| MINIMUM REAR YARD: | 60' |
| MAXIMUM STRUCTURE HEIGHT: | 35' |
| MAXIMUM LOT COVERAGE: | 15% |

Development Data:

| | |
|-----------------------|-------------|
| TOTAL SITE AREA: | 14.33 ACRES |
| TOTAL NUMBER OF LOTS: | 3 |
| TOTAL LOT AREA: | 14.13 ACRES |
| AVERAGE LOT AREA: | 4.71 ACRES |
| RIGHT OF WAY AREA: | 0.20 ACRES |
| RIGHT OF WAY WIDTH: | 50' |
| LENGTH OF ROAD: | 110' |

Plan References:

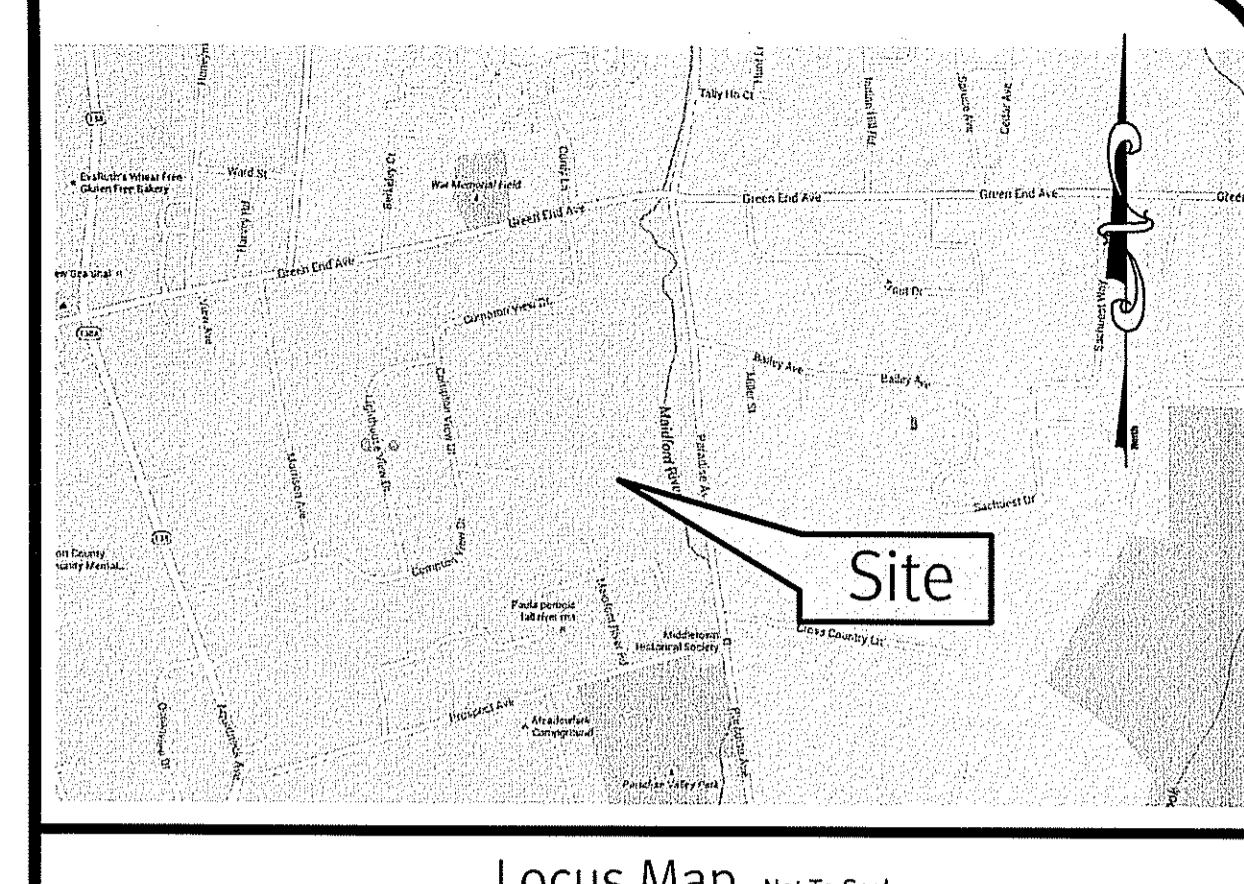
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| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|------------|--------|---------|---------|--------------|---------------|
| C1 | 150°00'00" | 50.00' | 130.90' | 186.60' | 96.59' | S87°21'26"E |
| C2 | 150°00'00" | 50.00' | 130.90' | 186.60' | 96.59' | N62°38'34"E |
| C3 | 300°00'00" | 50.00' | 261.80' | -28.87' | 50.00' | S12°21'26"E |
| C4 | 45°43'54" | 50.00' | 39.91' | 21.09' | 38.86' | N10°30'31"E |

Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

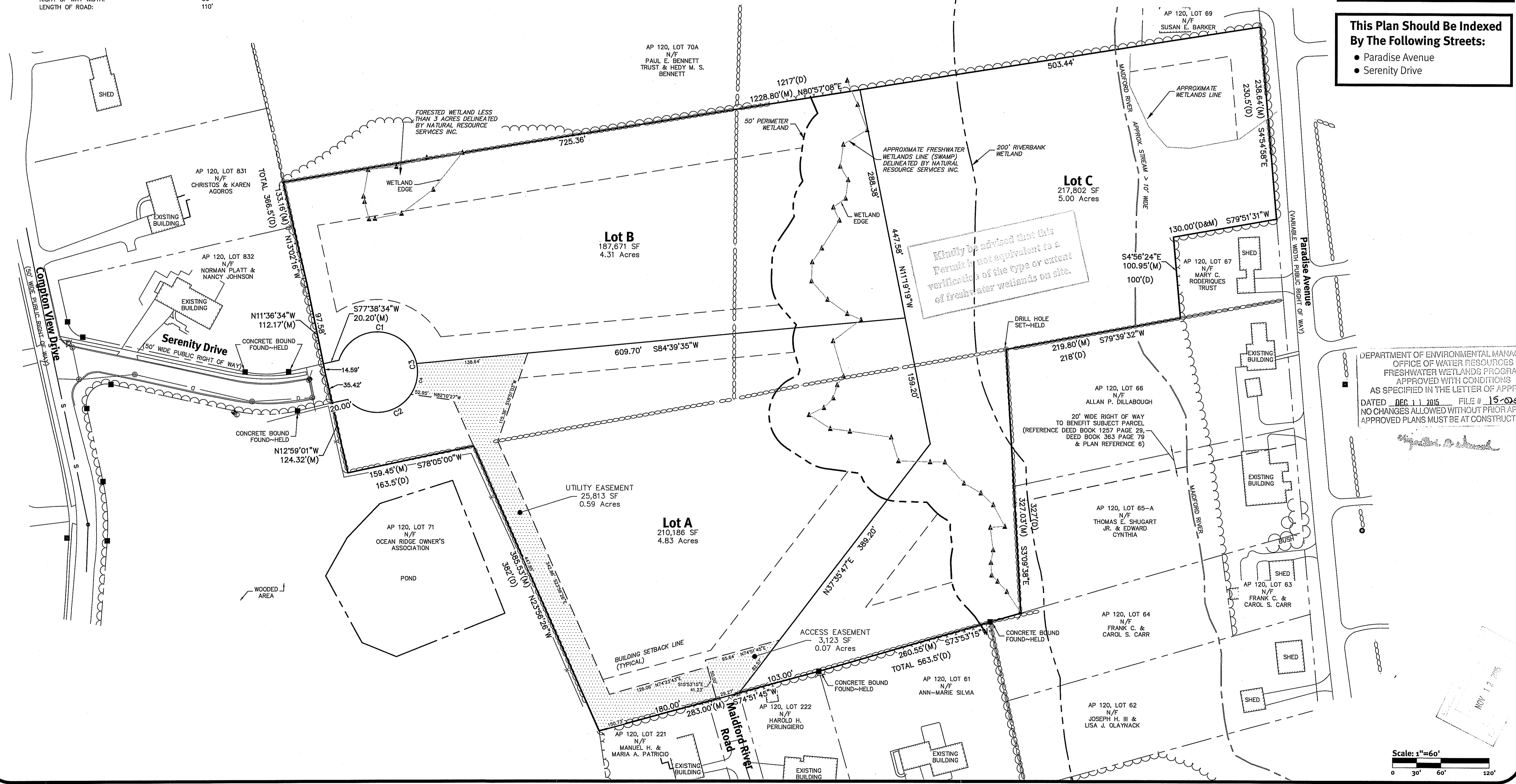
| | | | |
|--------------------|--------------------|-----|---------------------------|
| BUILDING | | ▲/△ | NAIL FOUND/SET |
| ASPHALT | | ⊙/⊗ | DRILL HOLE FOUND/SET |
| AP | ASSESSOR'S PLAT | ⊠/⊡ | IRON ROD/PIPE FOUND/SET |
| N/F | NOW OR FORMERLY | □ | BOUND FOUND/SET |
| (D) | DEED | ○ | SIGN |
| (M) | MEASURED | ⊙ | BOLLARD |
| (C) | CALCULATED | ⊙ | SOIL EVALUATION |
| (CA) | CHORD ANGLE | ⊙ | CATCH BASIN |
| HC | HANDICAPPED | ⊙ | DOUBLE CATCH BASIN |
| PROPERTY LINE | PROPERTY LINE | ⊙ | DRAINAGE MANHOLE |
| ASSESSOR'S LINE | ASSESSOR'S LINE | ⊙ | FLARED END SECTION |
| TREELINE | TREELINE | ⊙ | GUY POLE |
| GUARDRAIL | GUARDRAIL | ⊙ | EMH |
| FENCE | FENCE | ⊙ | ELECTRIC MANHOLE/HANDHOLE |
| RETAINING WALL | RETAINING WALL | ⊙ | UTILITY/POWER POLE |
| STONE WALL | STONE WALL | ⊙ | LIGHTPOST |
| MINOR CONTOUR LINE | MINOR CONTOUR LINE | ⊙ | SMH |
| MAJOR CONTOUR LINE | MAJOR CONTOUR LINE | ⊙ | SEWER/SEPTIC MANHOLE |
| W | WATER LINE | ⊙ | SEWER VALVE |
| S | SEWER LINE | ⊙ | CLEANOUT |
| SFM | SEWER FORCE MAIN | ⊙ | HYDRANT |
| G | GAS LINE | ⊙ | IRRIGATION VALVE |
| E | ELECTRIC LINE | ⊙ | WATER VALVE |
| OHW | OVERHEAD WIRES | ⊙ | WELL |
| D | DRAINAGE LINE | ⊙ | MONITORING WELL |
| | | ⊙ | UNKNOWN MANHOLE |
| | | ⊙ | GAS VALVE |
| | | ⊙ | WETLAND FLAG |
| | | ⊙ | BENCH MARK |
| | | ⊙ | BUSH |
| | | ⊙ | TREE |



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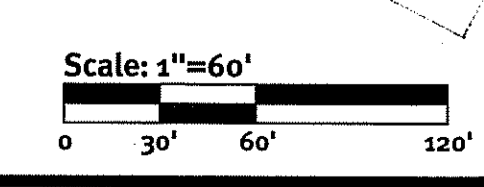
This Plan Should Be Indexed By The Following Streets:

- Paradise Avenue
- Serenity Drive



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED DEC 11 2015 FILE # 15-053
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Diprete Engineering
 90 Broadway Newport, RI 02840
 Tel: 401-619-5890 Fax: 401-641-6606 www.diprete-eng.com

ROBERT G. BABCOCK
 No. 2504
 PROFESSIONAL LAND SURVEYOR

CERTIFICATION:
 THIS SURVEY AND PLAN CONFORMS TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE APRIL 1, 1994.
 BOUNDARY SURVEY: CLASS I
 TOPOGRAPHIC SURVEY: N/A

| No. | Date | Description | Drawn By | ELT | Br. |
|-----|---------|-------------|----------|-----|-----|
| 0 | 0-18-15 | Record Plan | | | |

Record Plan
Serenity Farm
 Middletown, Rhode Island

CLIENT
John M. Warner Living Trust
 John M. Warner and Deborah H. Warner, Trustees
 150 Diamond Boulevard, Streetsboro, Ohio 44241, tel 330-650-655-8325

SHEET 6 OF 6

Z:\DEMMAIN\Projects\2281-001 Paradise Avenue\AutoCAD Drawings\2281-001-REC.Dwg, 10/21/2015 8:27:56 AM

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- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

Datum Note:

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS AND STATE OF RHODE ISLAND LIDAR DATA.

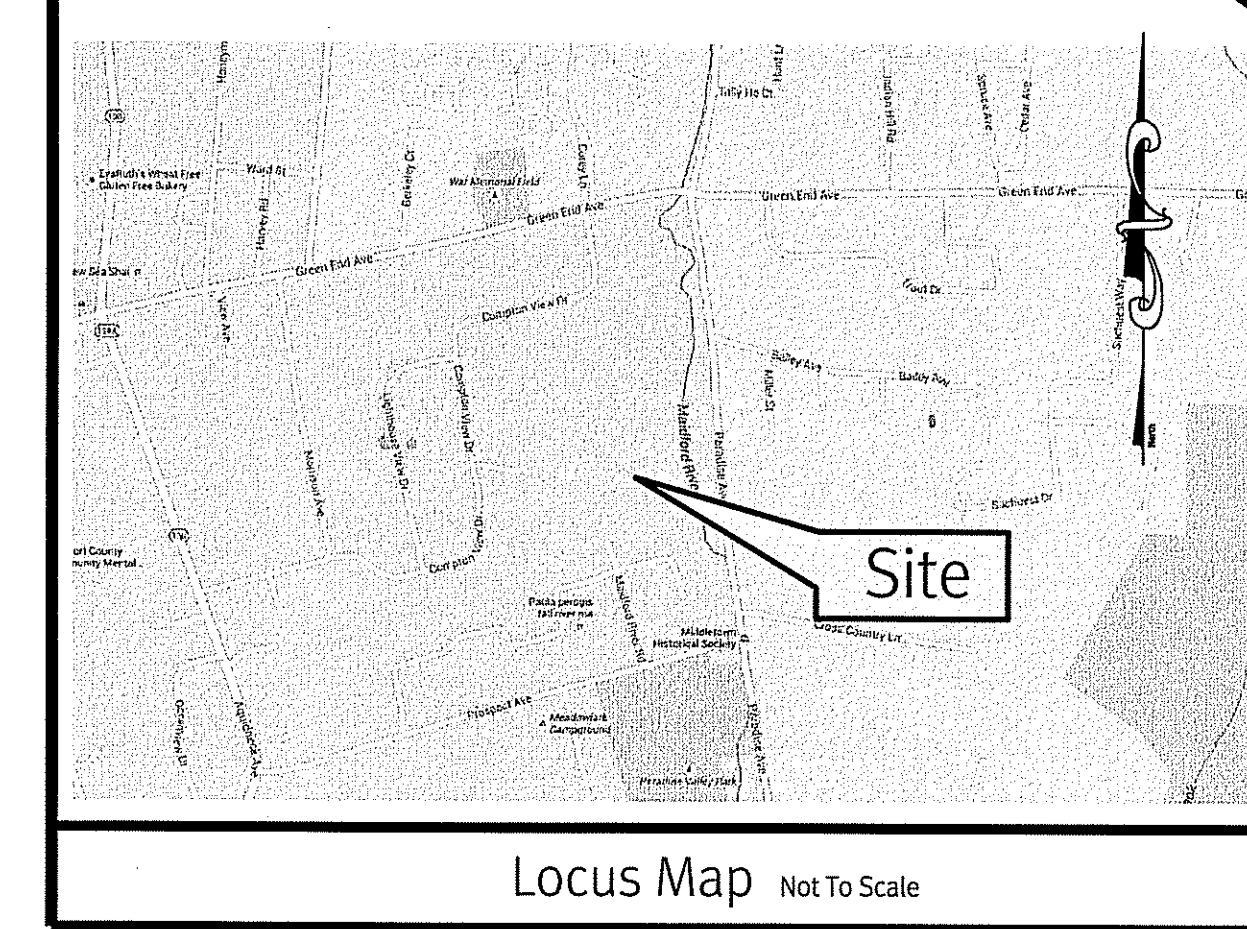
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Legend

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| | | | |
|--------------------|------------------|-------|---------------------------|
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| ASPHALT | | ●/◎ | DRILL HOLE FOUND/SET |
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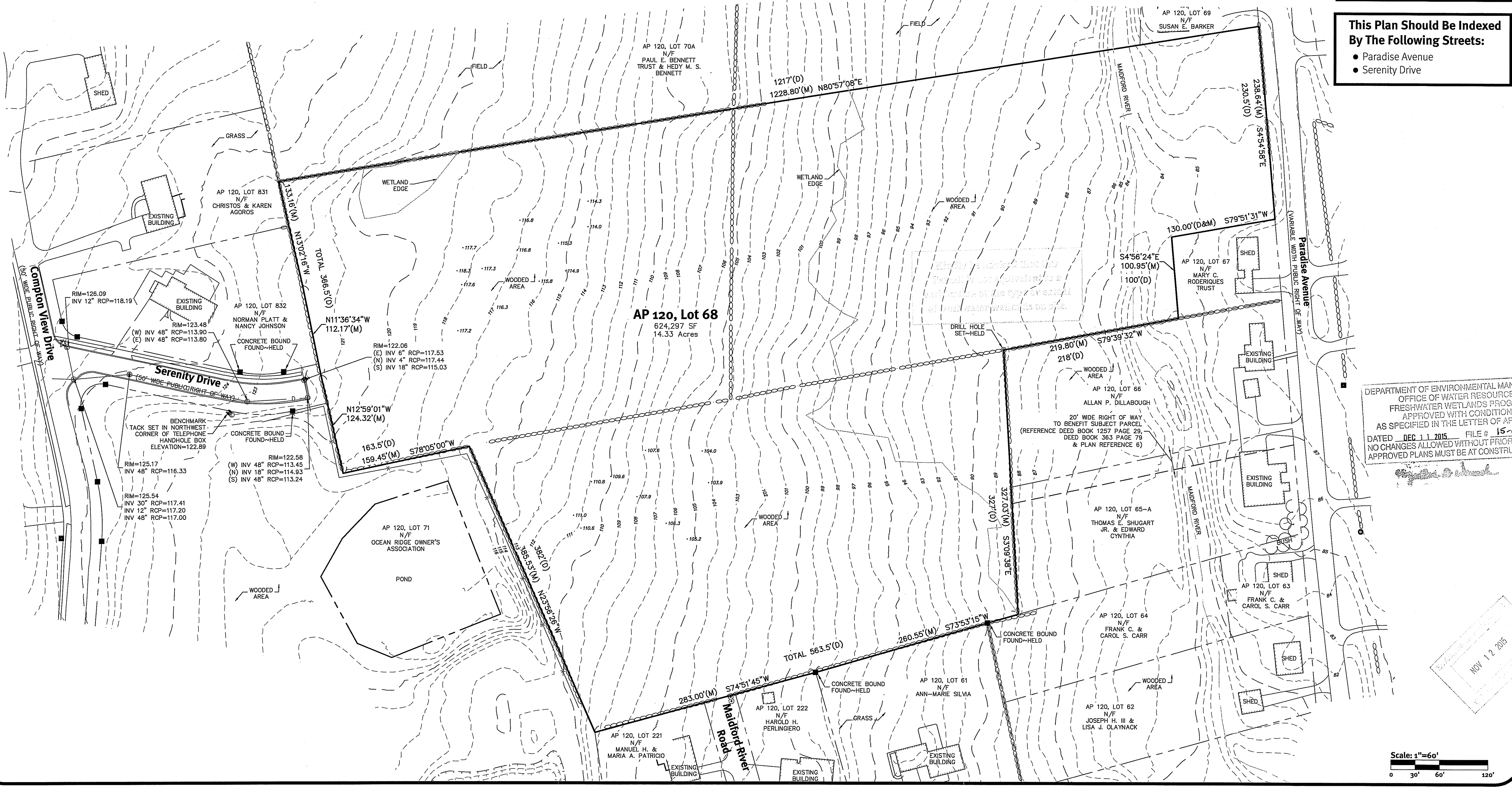


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MICHAEL E. GAWTT
PROFESSIONAL LAND SURVEYOR
No. 12215

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OFFICE OF WATER RESOURCES
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AS SPECIFIED IN THE LETTER OF APPROVAL
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NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Existing Conditions Plan
Paradise Avenue
Middletown, Rhode Island

Client: **John Warner**
150 Diamond Boulevard, Streetsboro, Ohio 44241
tel 330-655-9325

Drawn By: ELT
Date: 12-15-15
Scale: 1"=60'