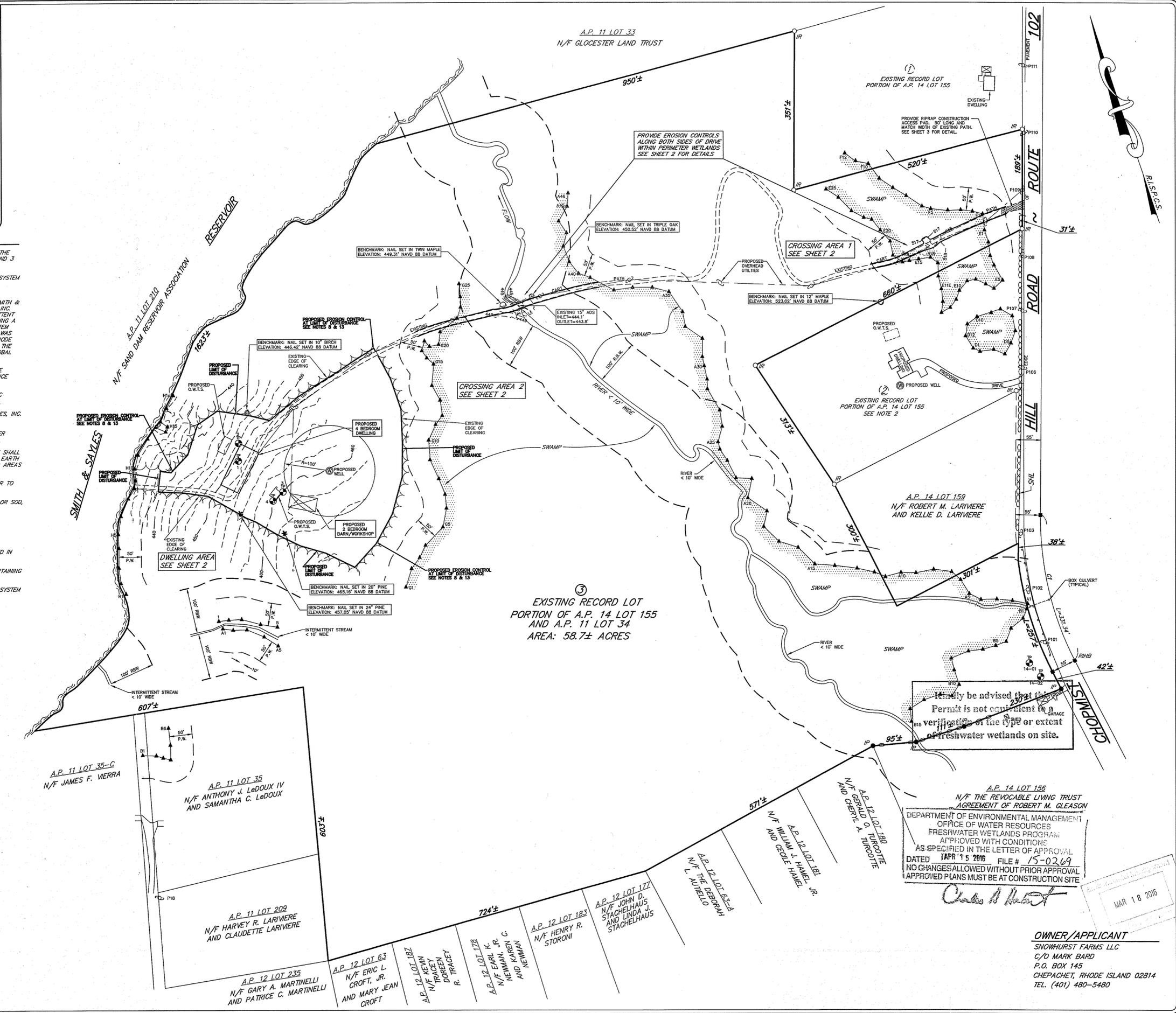


LOCATION PLAN SCALE: 1" = 2000'±

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE AN OVERALL DEPICTION OF THE PROPOSED IMPROVEMENTS ON RECORD LOT 3. PLEASE SEE SHEETS 2 AND 3 FOR DESIGN DETAILS.
2. FOR RECORD LOT 2 SEE APPROVED ON-SITE WASTE WATER TREATMENT SYSTEM APPLICATION NO. 1513-0293 AND APPROVED WETLANDS APPLICATION NO. 15-0117 DATED JUNE 26, 2015.
3. THE TOPOGRAPHY, WETLANDS DELINEATION FLAGS AND SHORE LINE OF SMITH & SAYLES RESERVOIR WERE LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE INTERMITTENT STREAMS, CART PATHS AND OTHER REMOTE FEATURES WERE LOCATED USING A COMBINATION OF CONVENTIONAL METHODS AND GLOBAL POSITIONING SYSTEM TECHNOLOGY BETWEEN OCTOBER 2014 AND SEPTEMBER 2015. LEVELING WAS CONDUCTED TO A CLASS II VERTICAL STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THE DATUM FOR THE PROJECT IS NAVD 88 AND WAS ESTABLISHED USING GLOBAL POSITIONING TECHNOLOGY.
4. THE SITE LIES WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN). SEE FLOOD INSURANCE RATE MAP NUMBER 440700145G DATED MARCH 2, 2009.
5. THE ENTIRETY OF THE SITE IS WOODED. THERE ARE NO KNOWN HISTORIC AREAS OR FEATURES ON THE SITE.
6. WETLANDS DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. OF HARRISVILLE R.I. BETWEEN OCTOBER 2014 AND AUGUST 2015.
7. REFER TO SOIL EVALUATION APPLICATION DATED JULY 9, 2015 FOR WATER TABLE DATA.
8. STRAW BALE EROSION CHECK (R.I. STANDARD 9.1.0) AND/OR SILT FENCE SHALL BE INSTALLED AT ALL DOWNGRADIENT LIMITS OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES, AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
9. ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SO2. PROPOSED SLOPES SHALL BE 3:1 (TYPICAL).
11. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
12. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE R.I.D.E.M. O.W.T.S. PERMIT, WETLANDS PERMIT AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
14. ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.



LEGEND

A.P.	ASSESSOR'S PLAT
N/F	NOW OR FORMERLY
SQ. FT.	SQUARE FEET
RBW	RIVERBANK WETLAND
P.W.	PERMETER WETLAND
---	STONE WALL
---	STONE WALL REMAINS
○	UTILITY POLE
○	PROPOSED UTILITY POLE
●	IRON PIPE FOUND
○	IRON ROD WITH SURVEY CAP SET
○	EXISTING/PROPOSED WELL
▲	FRESHWATER WETLANDS DELINEATION FLAG
⊙	SOIL EVALUATION TEST HOLE
③	RECORD LOT NUMBER

It is hereby advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

A.P. 14 LOT 156
N/F THE REVOCABLE LIVING TRUST AGREEMENT OF ROBERT M. GLEASON
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 15 2016 FILE # 15-0269
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OWNER/APPLICANT
SNOWHURST FARMS LLC
C/O MARK BARD
P.O. BOX 145
CHOPACHET, RHODE ISLAND 02814
TEL. (401) 480-5480

SCITUATE SURVEYS, INC.
410 TILOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401-821-8101
LAND SURVEYING/MAPPING/SITE PLANNING

FOR STREET AND ROAD INDEX FILE UNDER:
CHOPACHET HILL ROAD ~ ROUTE 102

ANGELO M. RAIMONDI
No. 1762
PROFESSIONAL
LAND SURVEYOR

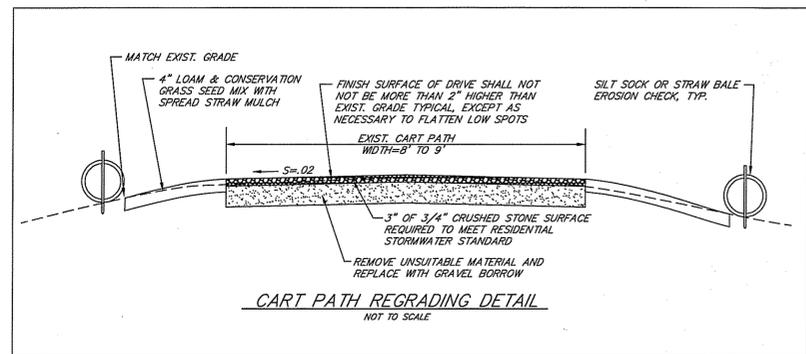
ANGELO M. RAIMONDI, PROFESSIONAL LAND SURVEYOR NO. 1762

PLAN SHOWING PROPOSED IMPROVEMENTS & SOIL EROSION AND SEDIMENT CONTROL
SNOWHURST FARMS ESTATES PHASE 2 RECORD LOT 3
ASSESSOR'S PLAT 11 PORTION LOT 34 & ASSESSOR'S PLAT 14 PORTION LOT 155
CHOPACHET HILL ROAD ~ ROUTE 102
GLOUCESTER, RHODE ISLAND

3/23/16 PER R.I.D.E.M. COMMENTS OF 1/15/16

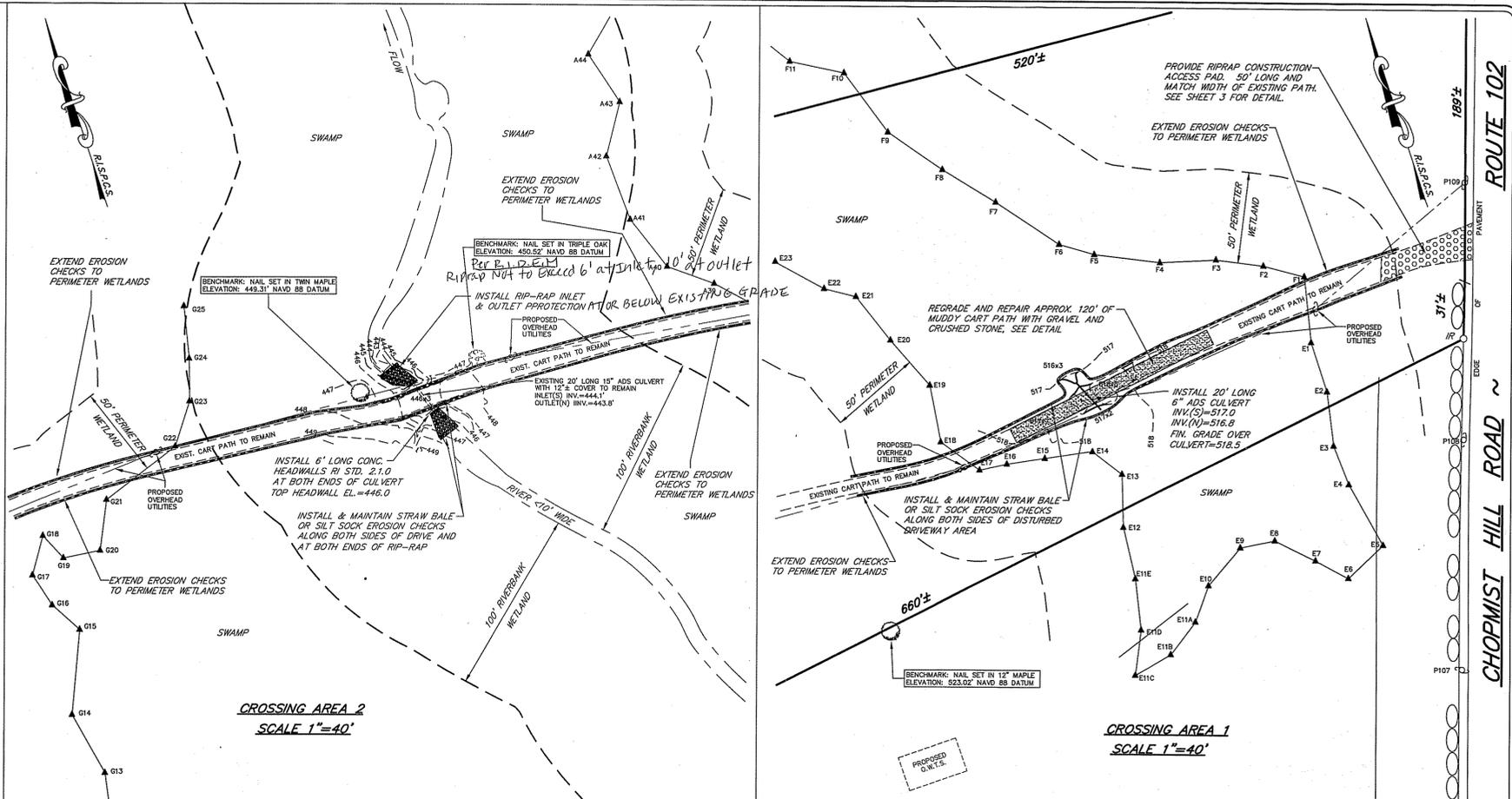
SCALE: 1"=100' DATE: NOVEMBER 23, 2015 REVISION: MARCH 3, 2016

PROJECT NO.: SS2670 SHEET 1 OF 3
DRAWING NO.: SS4220



CROSSING NOTES :

- NO WORK IS ALLOWED WITHIN THE WETLANDS EXCEPT AS SPECIFICALLY SHOWN. ALL WORK SHALL BE ACCURATELY LOCATED AND CONSTRUCTION STAKED PRIOR TO COMMENCEMENT OF ANY WORK.
- INSTALLATION OF THE CULVERT CROSSINGS SHALL BE LIMITED TO THE PERIOD OF LOW FLOW, JULY 1 TO OCTOBER 31 AND SHALL BE SCHEDULED WHEN NO SIGNIFICANT RAIN IS FORECAST.
- EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY EXCAVATION AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED AT WHICH TIME THEY SHALL BE REMOVED.
- ALL DISTURBED AREAS NOT RIP-RAPPED SHALL BE RESTORED WITH 4" LOAM, CONSERVATION GRASS SEED AND STRAW MULCH.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE R.I.D.E.M. WETLAND PERMIT AND REGULATIONS.
- EXCAVATION EQUIPMENT MUST WORK FROM THE EXISTING CART PATH EQUIPMENT IS NOT ALLOWED IN THE WOODED SWAMPS OR STREAM.
- WORK WITHIN THE WOODED SWAMPS FOR CLEARING OR CONSTRUCTION, SHALL BE LIMITED TO THE ABSOLUTE MINIMUM NECESSARY.
- EXCEPT AS SPECIFICALLY NOTED, EXIST. CART PATH WITHIN WETLANDS SHALL REMAIN UNDISTURBED AND SHALL NOT BE WIDENED, MUDDY OR RUTTED AREAS OF THE EXISTING CART PATH MAY BE REPAIRED WITH CRUSHED STONE BUT SHALL NOT RAISED IN GRADE OR WIDENED.
- ALL UNSUITABLE OR EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED IN UPLAND AREAS OF THE SITE OUTSIDE OF ALL WETLANDS AND WETLANDS SETBACK AREAS.
- SEE ADDITIONAL DETAILS ON SHEET 3.



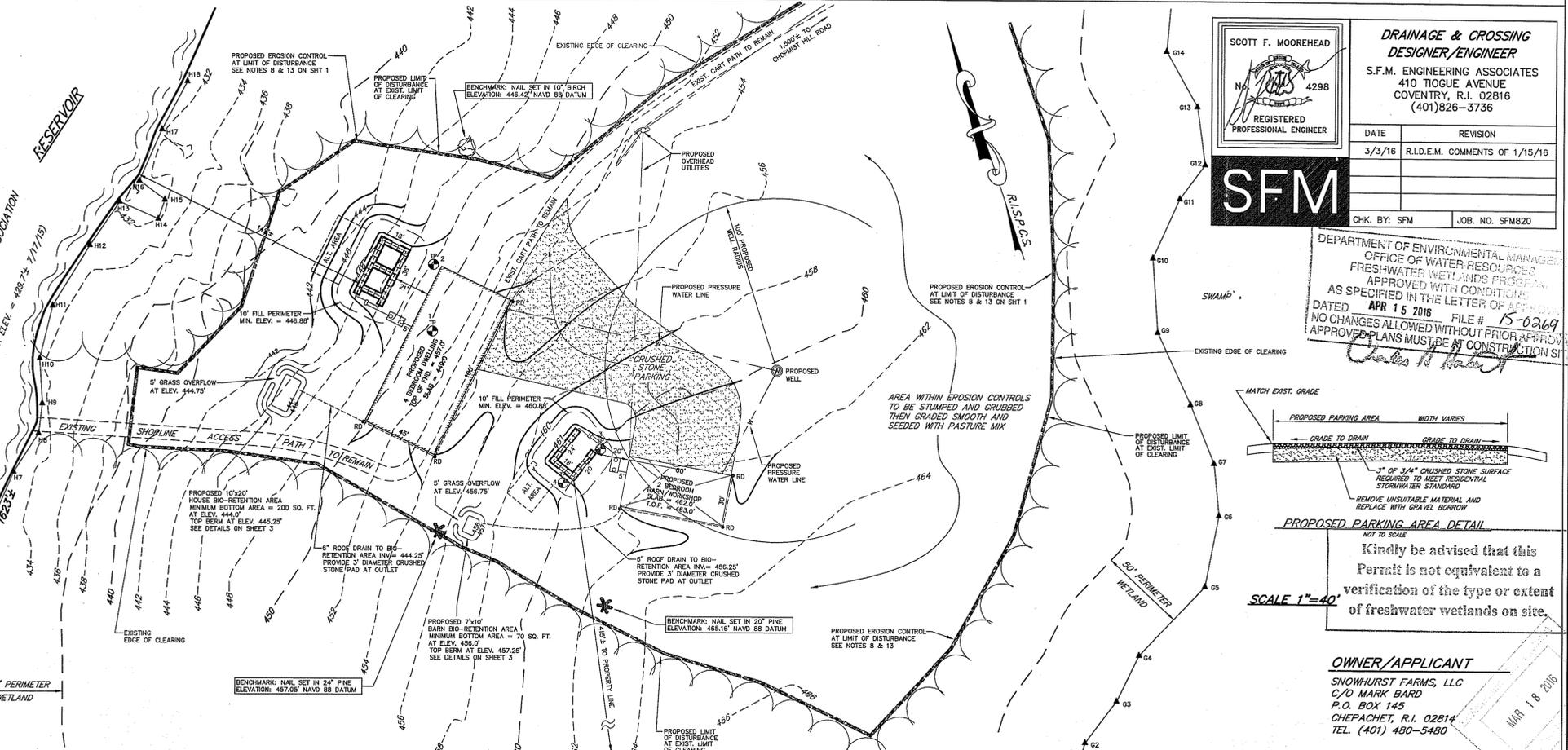
GROUND WATER & LEDGE DEPTH TABLE

TEST PIT	GROUND ELEVATION	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
1	451.1'	3.0'	448.1'	9.0'	442.1'
2	448.2'	2.7'	445.5'	9.3'	438.9'
3	460.4'	2.7'	457.7'	8.5'	451.9'
4	459.7'	2.8'	456.9'	9.0'	450.7'

DESIGN CRITERIA-BARN/WORKSHOP
 SEWAGE FLOW - 2 BEDROOMS - 115 GALLONS PER BEDROOM UNIT
 PERCOLATION RATE - SOIL CATEGORY 6 - .61 GALLONS/SQ. FT./DAY
 TOTAL DAILY FLOW:
 115 GALLONS/DAY/BEDROOM - 115 X 2 = 230 GALLONS PER DAY
 MINIMUM REQUIRED LEACH FIELD AREA:
 230 GALLONS PER DAY (MAX.) ÷ .61 GALS./SQ. FT./DAY = 377.1 SQ. FT.
 LEACH FIELD AREA PROVIDED: 27 ELEM UNITS X 4 X 7 = 392 SQ. FT.
 LEACH FIELD DESIGN POINT: ELEVATION 461.0±

DESIGN CRITERIA-4 BEDROOM DWELLING
 SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER BEDROOM UNIT
 PERCOLATION RATE - SOIL CATEGORY 6 - .61 GALLONS/SQ. FT./DAY
 TOTAL DAILY FLOW:
 115 GALLONS/DAY/BEDROOM - 115 X 4 = 460 GALLONS PER DAY
 MINIMUM REQUIRED LEACH FIELD AREA:
 460 GALLONS PER DAY (MAX.) ÷ .61 GALS./SQ. FT./DAY = 754.1 SQ. FT.
 LEACH FIELD AREA PROVIDED: 27 ELEM UNITS X 4 X 7 = 756 SQ. FT.
 LEACH FIELD DESIGN POINT: ELEVATION 448.0±

- LEGEND**
- A.P. ASSESSOR'S PLAT
 - - - EXISTING CONTOUR ELEVATION
 - - - PROPOSED CONTOUR ELEVATION
 - 52800 SPOT ELEVATION
 - x x x PROPOSED EROSION CONTROL
 - P109 EXISTING UTILITY POLE
 - PROPOSED UTILITY POLE
 - ▲ H12 WETLAND DELINEATION FLAG
 - SOIL EVALUATION TEST PIPE
 - RD ROOF DRAIN



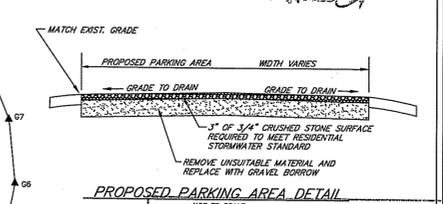
SCOTT F. MOOREHEAD
 REGISTERED PROFESSIONAL ENGINEER
 No. 4298

DRAINAGE & CROSSING DESIGNER/ENGINEER
 S.F.M. ENGINEERING ASSOCIATES
 410 TIOGUE AVENUE
 COVENTRY, R.I. 02816
 (401)826-3736

DATE: 3/3/16 REVISION: R.I.D.E.M. COMMENTS OF 1/15/16

CHK. BY: SFM JOB. NO. SFM820

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED APR 15 2016 FILE # 15-0269
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

SCALE 1"=40'

OWNER/APPLICANT
 SNOWHURST FARMS, LLC
 C/O MARK BARD
 P.O. BOX 145
 CHEPACHET, R.I. 02814
 TEL. (401) 480-5480

SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401-821-8101
 LAND SURVEYING/MAPPING/SITE PLANNING

SCOTT F. MOOREHEAD
 REGISTERED PROFESSIONAL ENGINEER
 No. 4298

ANGELO M. RAIMONDI
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 1762

PROPOSED IMPROVEMENTS TO SNOWHURST FARMS ESTATES PHASE 2 RECORD LOT 3
 ASSESSOR'S PLAT 11 PORTION LOT 34 & ASSESSOR'S PLAT 14 PORTION LOT 155
 CHOPMIST HILL ROAD ~ ROUTE 102
 GLOUCESTER, RHODE ISLAND

DATE: OCTOBER 6, 2015 REVISION: MARCH 3, 2016

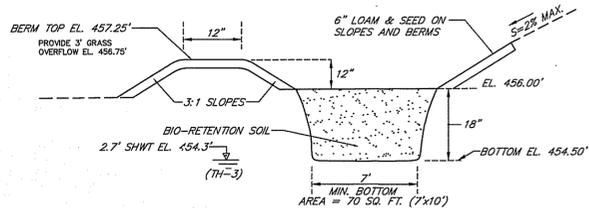
PROJECT NO.: SS2670 SHEET 2 OF 3
 DRAWING NO.: SS4220

BIO-RETENTION AREA NOTES

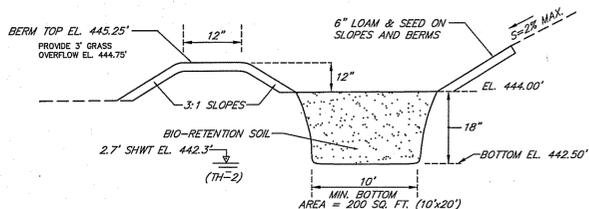
- BIO-RETENTION AREA SHALL BE PROTECTED FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION.
- ALL LOAM & SUBSOIL SHALL BE STRIPPED AND THE AREA EXCAVATED TO DESIGN BOTTOM GRADE. BIO-RETENTION SOIL SHALL BE PLACED TO A DEPTH OF 18".
- BIO-RETENTION AREA BASIN BOTTOM AREA SHALL BE SEED WITH "MIXED HEIGHT PRAIRIE SEED MIX", CODE MDM, FROM PRAIRIE MOON NURSERY, (1-800-417-0150), OR APPROVED EQUAL.
- PLANTINGS SHALL BE SELECTED BY A LANDSCAPE ARCHITECT TO COMPLY WITH APPENDIX B.3.3 OF THE R.I. STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (DECEMBER 2010).
- BIO-RETENTION AREA PLANTINGS SHALL BE INSTALLED BY A LANDSCAPE CONTRACTOR. SURVIVAL SHALL BE GUARANTEED FOR ONE YEAR.
- BIO-RETENTION SOIL SHALL HAVE A LOAMY SAND TEXTURE AND CONFORM TO THE FOLLOWING GRADATION:
SAND 85 - 88%
SILT 6 - 12%
CLAY 0 - 2%
ORGANIC MATTER 3 - 5%
- ROOF DRAIN SHALL BE 6" PVC OR ADS AT S=.01 MINIMUM. ALL ROOF RUNOFF SHALL BE DIRECTED TO THE BIO-RETENTION AREA.
- BIO-RETENTION AREAS SHALL BE LOCATED AT LEAST 50 FEET FROM PRIVATE WELLS, 15 FEET FROM O.W.T.'S AND 10 FEET FROM BUILDINGS.

BIO-RETENTION AREA MAINTENANCE PLAN

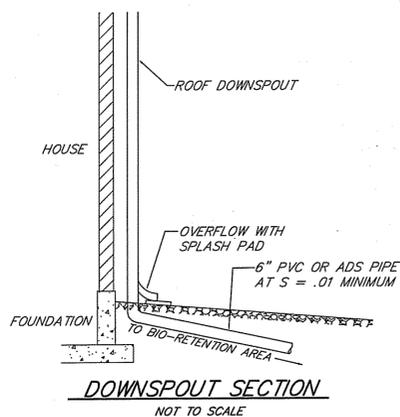
- BIO-RETENTION AREA SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL APPROVAL OF CONSTRUCTION. AFTER FINAL APPROVAL, THE AREA SHALL BE MAINTAINED BY THE PROPERTY OWNERS.
- BIO-RETENTION AREA SHALL BE INSPECTED TWICE PER YEAR.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- IF STANDING WATER REMAINS 48 HOURS AFTER A RAINFALL EVENT, THE BOTTOM SHALL BE ROTO-TILLED THEN RE-SEED.
- PRUNING OR REPLACEMENT OF VEGETATION SHOULD OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- GRASS SHALL BE MOWED THREE (3) TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOWED HEIGHT OF VEGETATION SHALL NOT BE LESS THAN TWO INCHES.



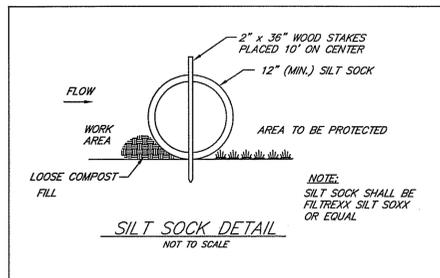
BIO-RETENTION AREA CROSS-SECTION TWO BEDROOM BARN-WORKSHOP
NOT TO SCALE



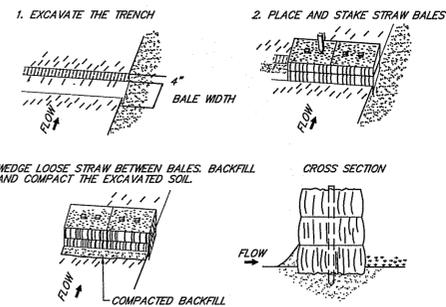
BIO-RETENTION AREA CROSS-SECTION FOUR BEDROOM DWELLING
NOT TO SCALE



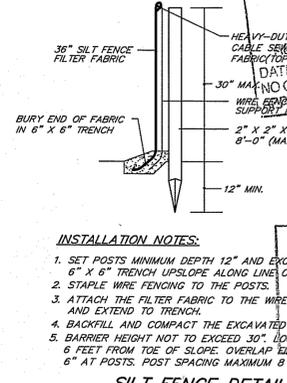
DOWNSPOUT SECTION
NOT TO SCALE



SILT SOCK DETAIL
NOT TO SCALE



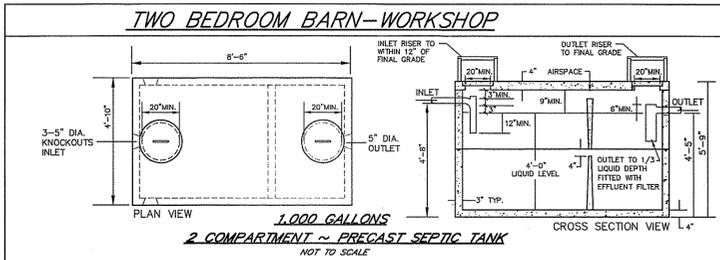
STAKED BALED STRAW EROSION CHECK DETAIL
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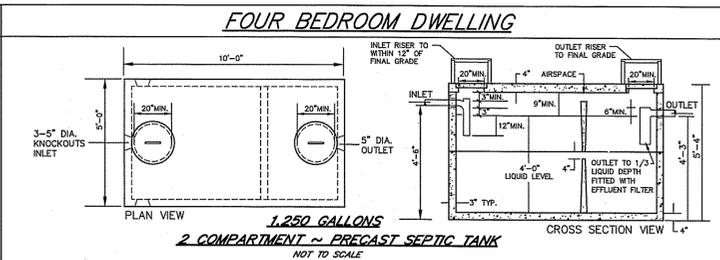
SILT FENCE DETAIL
NOT TO SCALE

INSTALLATION NOTES:

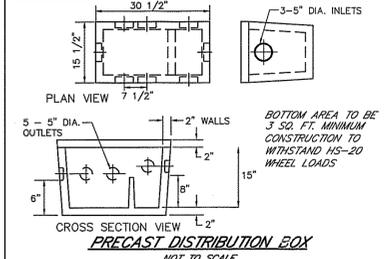
- SET POSTS MINIMUM DEPTH 12" AND EXCAVATE 6" X 6" TRENCH UPSLOPE ALONG LINES OF POSTS.
- STAPLE WIRE FENCING TO THE POSTS.
- ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND TO TRENCH.
- BACKFILL AND COMPACT THE EXCAVATED SOIL TO BARRIER HEIGHT NOT TO EXCEED 30". LOCATE 6 FEET FROM TOE OF SLOPE. OVERLAP FILTER FABRIC 6" AT POSTS. POST SPACING MAXIMUM 8 FEET.



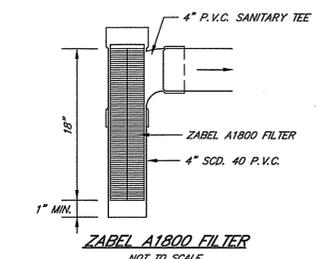
TWO BEDROOM BARN-WORKSHOP
2 COMPARTMENT ~ PRECAST SEPTIC TANK
NOT TO SCALE



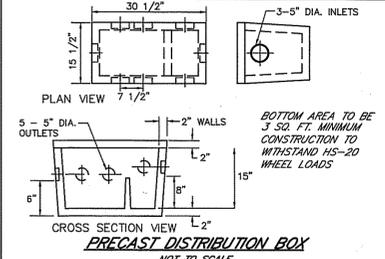
FOUR BEDROOM DWELLING
2 COMPARTMENT ~ PRECAST SEPTIC TANK
NOT TO SCALE



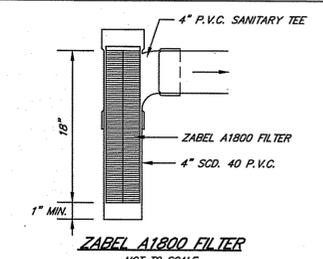
PRECAST DISTRIBUTION BOX
NOT TO SCALE



ZABEL A1800 FILTER
NOT TO SCALE



PRECAST DISTRIBUTION BOX
NOT TO SCALE



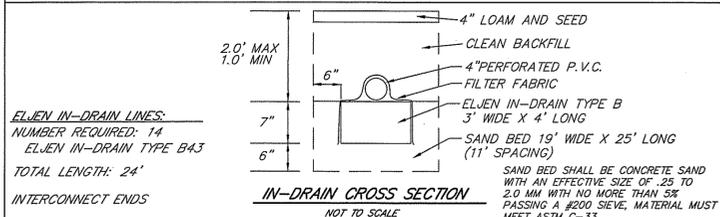
ZABEL A1800 FILTER
NOT TO SCALE

DESIGN AND CONSTRUCTION NOTES:

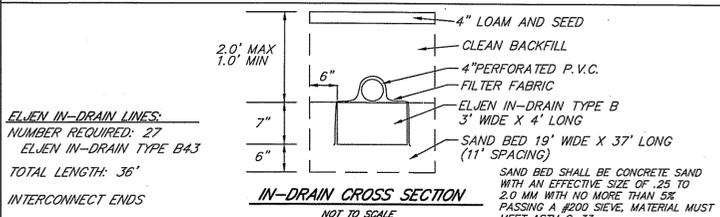
- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
- THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
- THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
- ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
- THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
- ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
- MAINTAIN TRENCH INVERT ELEVATION FOR 10" BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
- INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
- SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 22.1.
- ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 300' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
- ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
- WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-CONFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
- ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.

DESIGN AND CONSTRUCTION NOTES:

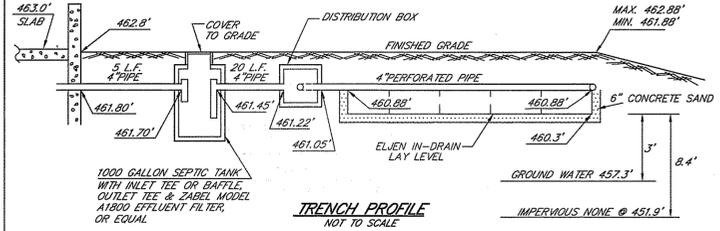
- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
- THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
- THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
- ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
- THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
- ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
- MAINTAIN TRENCH INVERT ELEVATION FOR 10" BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
- INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
- SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 22.1.
- ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 300' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
- ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
- WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-CONFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
- ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



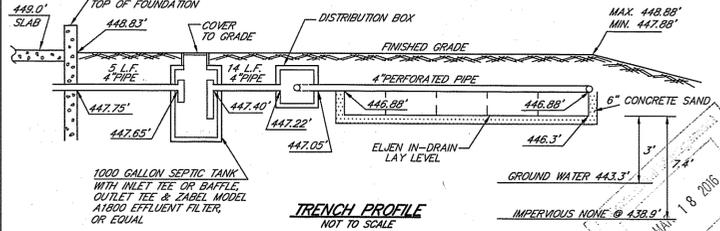
ELIJAH IN-DRAIN LINES
NUMBER REQUIRED: 14
ELIJAH IN-DRAIN TYPE B43
TOTAL LENGTH: 24'
INTERCONNECT ENDS
IN-DRAIN CROSS SECTION
NOT TO SCALE



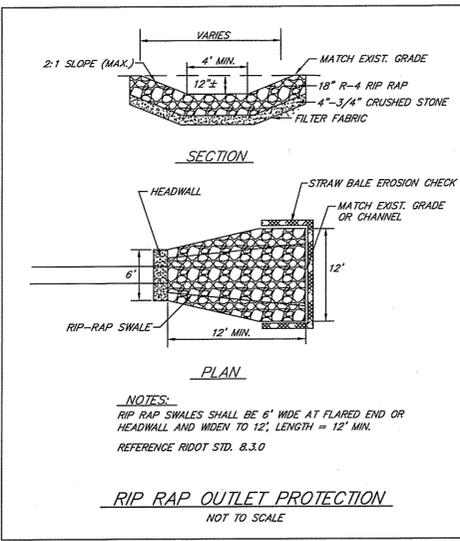
ELIJAH IN-DRAIN LINES
NUMBER REQUIRED: 27
ELIJAH IN-DRAIN TYPE B43
TOTAL LENGTH: 36'
INTERCONNECT ENDS
IN-DRAIN CROSS SECTION
NOT TO SCALE



TRENCH PROFILE
NOT TO SCALE



TRENCH PROFILE
NOT TO SCALE



SECTION
PLAN
NOTES:
RIP RAP SWALES SHALL BE 6" WIDE AT FLARED END OR HEADWALL AND WIDEN TO 12", LENGTH = 12" MIN.
REFERENCE RIDOT STD. 8.3.0

ROCK STABILIZATION PAD AT CONSTRUCTION ENTRANCE
NOT TO SCALE

4" (MIN.) OF CRUSHED STONE	SQUARE MESH SIEVES	RIDOT 2" CRUSHED STONE OR GRAVEL	% FINER
	2 1/2"		100
	2"		95-100
	1 1/2"		30-55
	1 1/4"		0-25
	1"		0-5

REFERENCE R.I. SOIL EROSION & SEDIMENT CONTROL HANDBOOK CHAPTER 5 SECTION D

ROCK STABILIZATION PAD AT CONSTRUCTION ENTRANCE
NOT TO SCALE

SCOTT F. MOOREHEAD
REGISTERED PROFESSIONAL ENGINEER
No. 4298

DRAINAGE & CROSSING DESIGNER/ENGINEER
S.F.M. ENGINEERING ASSOCIATES
410 TIOGUE AVENUE
COVENTRY, R.I. 02816
(401) 826-3736

DATE: 3/3/16
REVISION: R.I.D.E.M. COMMENTS OF 1/15/16

CHK. BY: SFM
JOB NO. SFM820

SURVEYING, INC.
401 WEST COVENTRY AVENUE
COVENTRY, R.I. 02816
LAND SURVEYING/MAPPING/SITE PLANNING

FOR STREET AND ROAD INDEX FILE UNDER:
CHOPMIST HILL ROAD ~ ROUTE 102

ANGIELO M. RAIMONDI
1762
PROFESSIONAL LAND SURVEYOR

BY: *Angelo M. Raimondi*
ANGIELO M. RAIMONDI, PROFESSIONAL LAND SURVEYOR NO. 1762

PROPOSED IMPROVEMENTS TO SNOWHURST FARMS ESTATES PHASE 2
RECORD LOT 3
ASSESSOR'S PLAT 11 PORTION LOT 34 & ASSESSOR'S PLAT 14 PORTION LOT 155
CHOPMIST HILL ROAD ~ ROUTE 102
GLOUCESTER, RHODE ISLAND

PROJECT NO.: SS2670
DRAWING NO.: SS4220
SHEET 3 OF 3

SCALE IN FEET:
0 20 40 80 120

DATE: 1/15/16
COMMENTS OF 1/15/16

DATE: OCTOBER 6, 2015
REVISION: MARCH 3, 2016