

NOTES:
ZONING REQUIREMENTS:
ZONE: R60
 MINIMUM LOT AREA: 60,000 SQ. FT.
 MINIMUM LOT WIDTH: 200 FEET
 Chapter 152 - R-60 ZONING CODE MIDDLETOWN, RI (TITLE XV: LAND USAGE)
MINIMUM SETBACKS:
 MINIMUM FRONT YARD: 40 FEET
 MINIMUM SIDE YARD: 30 FEET
 MINIMUM REAR YARD: 60 FEET
LOT COVERAGE:
 MINIMUM LOT COVERAGE: SHALL NOT EXCEED 10%
 MAXIMUM HEIGHT OF BUILDING: 35'

SITE NOTES:
 DATUM IS NAVD 88; COORDINATE SYSTEM IS RI STATE PLANE (RI8300)
 FLOOD MAP NUMBER 44005C0093J

CONTOURS ARE DISPLAYED FROM A MIX OF ON GROUND SHOTS (AREA OF CONCERN) AND RI STATE LIDAR (2011)

NARRAGANSETT ENGINEERING INC.

MAIN OFFICE:
 3102 EAST MAIN ROAD,
 PORTSMOUTH, RI 02871
 TEL : (401) 683-6630

nei-cds.com

SHEET TITLE
EXISTING CONDITIONS SITE PLAN
 FOR WETLAND DELINEATION

OWNER(S) OF RECORD
 JJ NEWPORT GROUP
 PENSICO TRUST COMPANY
 C/O ANDREW F NICOLETTA (PER ASSESSOR)

LOCATION
 GREEN END AVE
 MIDDLETOWN, RI 02842

PLAT: 114 LOT: 812

PROPERTY LINE IS DISPLAYED FROM RECORD PLANS, BUT IS NOT TO A CLASS 1 STANDARD, IT IS DISPLAYED AS AN ACCESSORY COMPONENT FOR WETLANDS DELINEATION.

WETLAND AREA OF CONCERN IS LOT 812 ONLY. LOT 813, IS THE SAME OWNER AS THE SUBJECT LOT, AND CAN BE USED FOR SITE ACCESS. WETLANDS ARE PRESENT ON LOT 178, BUT ARE NOT WITHIN THE AREA OF CONCERN, AND IS OWNED BY A SEPARATE PARTY

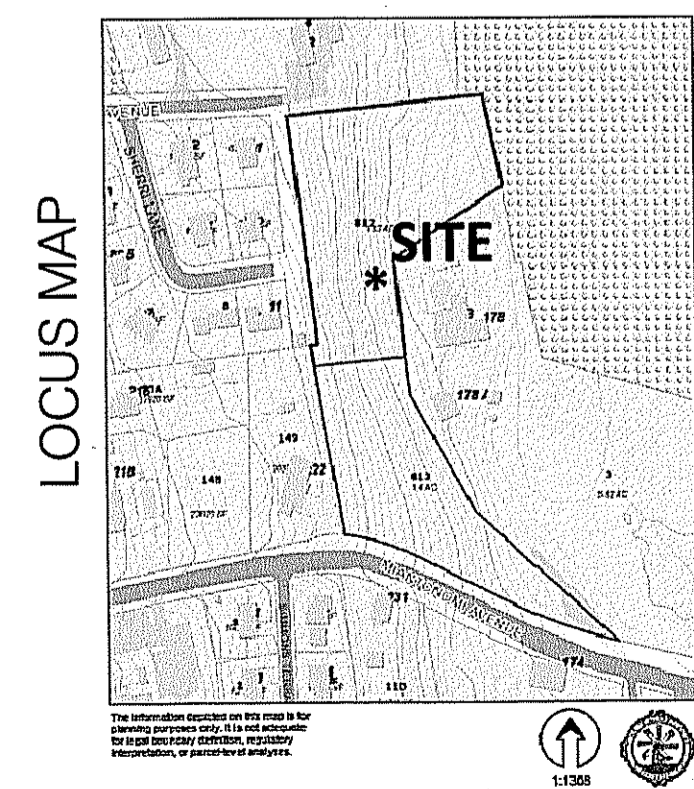
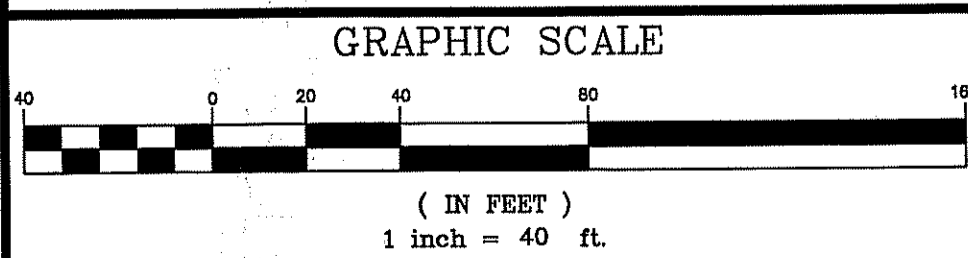
Zoning District and Use	Minimum Lot Size		Maximum Percentage of Lot to be Occupied	Maximum Height of Building		Minimum Yard Dimension				Accessory Buildings Minimum Distance in Feet to		
	Area (S.F.)	Width/ Frontage (Ft.)		Principal (Ft.)	Accessory (Ft.)	Front (Ft.)	Side (Ft.)	Rear (Ft.)	Side Lot Lines	Rear Lot Lines		
R60 Residence District												
Single-family dwelling	60,000	200	15%	35	25	40	30	60	30	15		
Livestock farm or animal husbandry services	100,000	250	10%	35	25	30	30	60	20	15		
Private college or university, preparatory school, elementary or secondary school	1 acre	300	20%	40	40	60	40	60	40	60		
Other permitted uses	60,000	200	15%	35	25	40	30	60	30	15		
R40 Residence District												
Single-family dwelling	40,000	150	15%	35	25	40	30	60	30	15		
Livestock farm or animal husbandry services	100,000	250	10%	35	25	30	30	60	20	15		
Private college or university, preparatory school												

NOTE: Any accessory structure housing livestock requires a rear lot setback of 60 feet. This setback applies to building and accessory structures only.

Zoning District and Use	Minimum Lot Size		Maximum Percentage of Lot to be Occupied	Maximum Height of Building		Minimum Yard Dimension				Accessory Buildings Minimum Distance in Feet to		
	Area (S.F.)	Width/ Frontage (Ft.)		Principal (Ft.)	Accessory (Ft.)	Front (Ft.)	Side (Ft.)	Rear (Ft.)	Side Lot Lines	Rear Lot Lines		
R30 Residence District												
Single-family dwelling	30,000	130	20%	35	20	40	30	30	20	15		

NOTE:
 FLAGGED WETLAND EDGE SHOWN IS BASED ON DELINEATION BY B. FANEUF, PWS, ECOSYSTEM SOLUTIONS INC. DATED DECEMBER 11, 2015

- LEGEND:**
- PROPERTY LINE
 - - - SETBACK LINE
 - STREAM
 - ▨ EXISTING STRUCTURE
 - EXISTING STONE WALL
 - - - PROPOSED SETBACK
 - EDGE OF PAVEMENT
 - WETLAND FLAG
 - WOODEN FENCE
 - 50' PERIMETER WETLAND
 - - - WETLAND EDGE (FLAGGED)
 - - - EASEMENT



LOCUS MAP

SHEET 1 OF 1 SCALE 1"=10'

BA.REV.2

LOCATION OF SUBSURFACE UTILITIES REPRODUCED FROM FIELD SURVEY AND BEST AVAILABLE INFORMATION. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL.#: 1-800-344-7233 (1-800-DIG-SAFE).