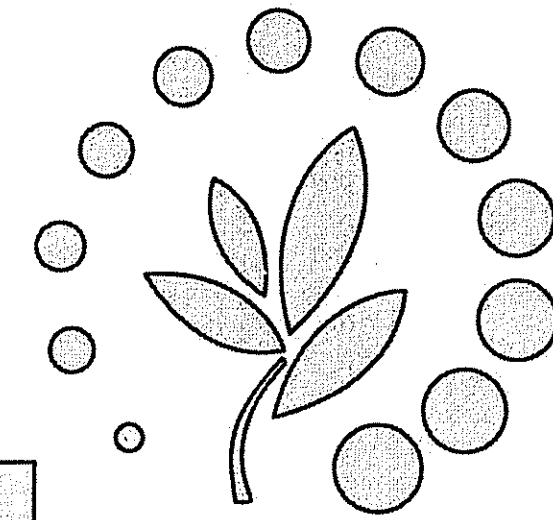


SITE PLANS

FOR A PROPOSED



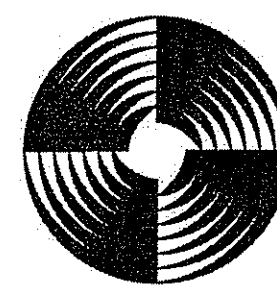
Cumberland F A R M S

SITUATED AT

**744 BRANCH AVENUE
PROVIDENCE, RI**

A.P. 102
LOTS 256 & 258

PREPARED BY:



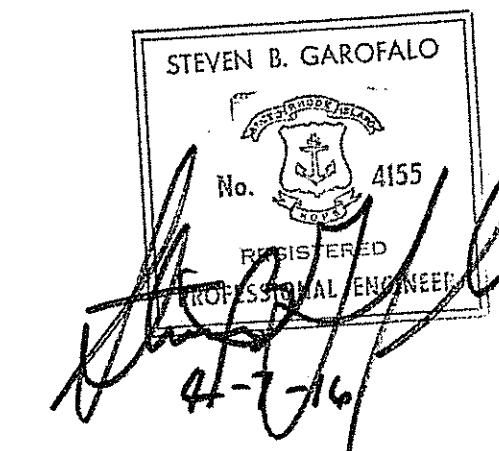
GAROFALO

GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS, SURVEYORS
LAND PLANNERS, ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET, P.O. BOX 6145 PROVIDENCE, RI 02940
401-273-6000

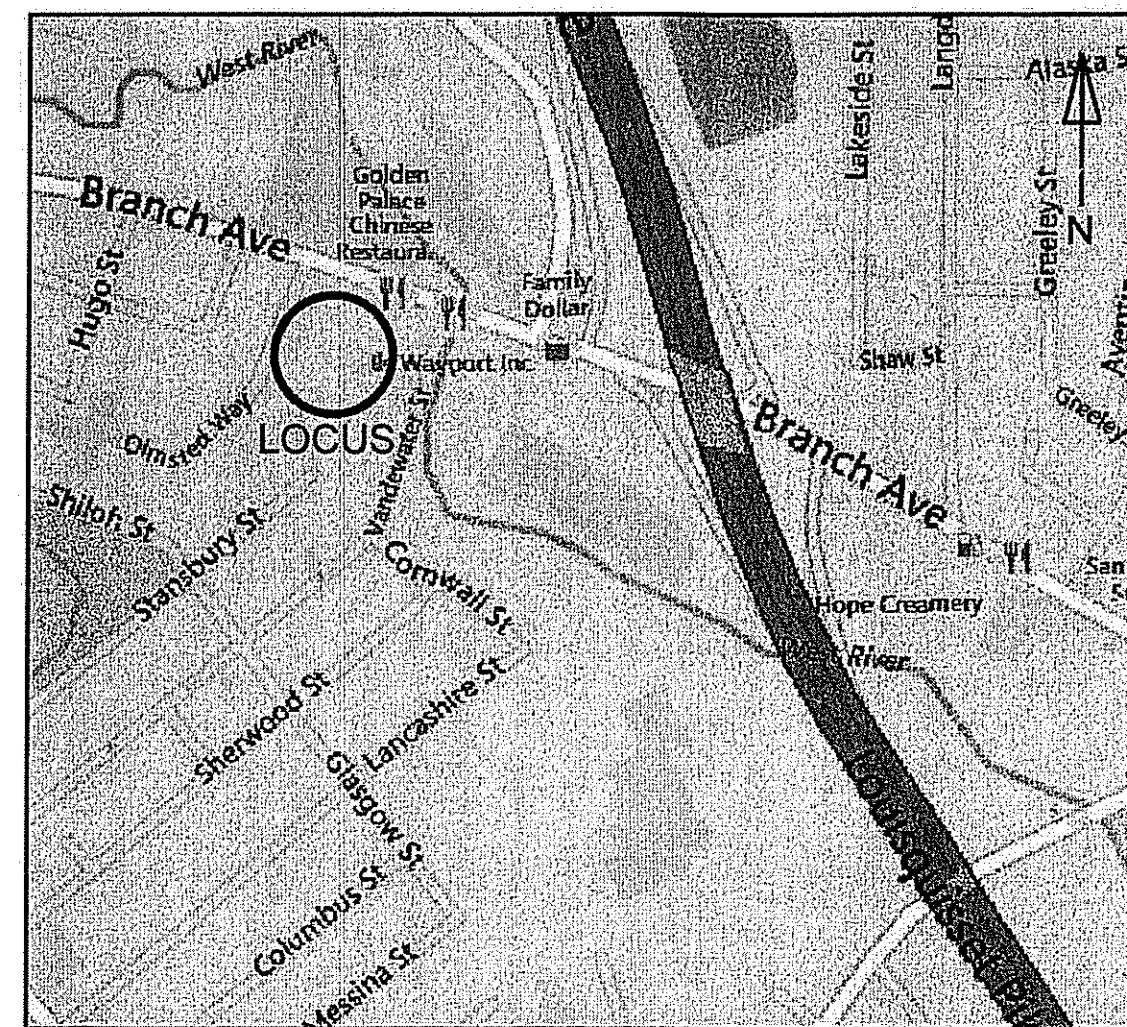
APPLICANT:

FIRST HARTFORD REALTY CORP.
149 COLONIAL ROAD, MANCHESTER, CT 02042

A.P. 102, LOTS 256 & 258 OWNER:
DAVID A. REYNOLDS
83 ROCKRIDGE ROAD
LINCOLN, RI 02865



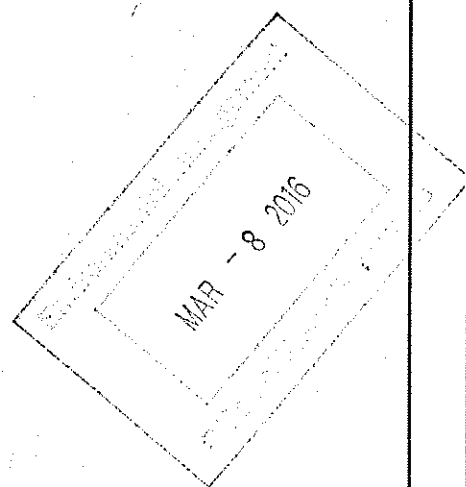
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 20 2016 FILE # 16-0084
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



LOCUS MAP
N.T.S.

SHEET INDEX

No.	TITLE	REVISED
CFG01.0	COVER SHEET	4/7/2016
CFG01.1	GENERAL NOTES & LEGEND	2/15/2016
CFG02.0	EXISTING CONDITIONS PLAN	2/12/2016
CFG03.0	DEMOLITION PLAN	2/15/2016
CFG04.0	SITE PLAN	2/15/2016
CFG05.0	GRADING & DRAINAGE PLAN	2/15/2016
CFG06.0	SOIL EROSION & SEDIMENTATION CONTROL PLAN	2/15/2016
CFG07.0	UTILITY PLAN	2/15/2016
CFG08.0	SITE LANDSCAPE PLAN	2/15/2016
CFG09.0	SITE CONSTRUCTION DETAILS 1	2/15/2016
CFG09.1	SITE CONSTRUCTION DETAILS 2	2/15/2016
CFG09.2	SITE CONSTRUCTION DETAILS 3	2/15/2016
CFG09.3	SITE CONSTRUCTION DETAILS 4	2/15/2016
CFG09.4	SITE CONSTRUCTION DETAILS 5	2/15/2016
CFG10.0	LIGHTING PROPOSAL	2/15/2016
CFG10.1	FIXTURE SPECIFICATION SHEETS	2/16/2016
		BY OTHERS
		BY OTHERS



APRIL 7, 2016

GENERAL CONSTRUCTION NOTES

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- STEWORCK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - DEMOLITION PERMIT
 - PROVIDENCE DEVELOPMENT PLAN REVIEW
 - PROVIDENCE WATER SUPPLY BOARD
 - RIDEM UNDERGROUND STORAGE TANK
 - RIDEM FRESHWATER WETLANDS
 - PROVIDENCE FIRE DEPARTMENT
 - NARRAGANSETT BAY COMMISSION
 - PROVIDENCE DEPARTMENT OF PUBLIC WORKS
 - NATIONAL GRID
 - VERIZON
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS MUST CONFORM TO THE LOCAL CITY/TOWN CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIME THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
- HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC. (REFER TO ELECTRICAL SITE PLANS PREPARED BY OTHERS FOR DETAILS.)
- ALL HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL WORK WITHIN THE STATE HIGHWAY RIGHT OF WAY SHALL CONFORM TO RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- AS NOTED ON FEMA FLOOD INSURANCE RATE MAP FOR PROVIDENCE COUNTY, RHODE ISLAND, NUMBER 44007C0306H, DATED OCTOBER 2, 2015, THE PROJECT LIES WITHIN THE FOLLOWING FLOOD ZONES:
 - ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
 - ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
 - ZONE AE: SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED.

THE 100-YEAR FLOODPLAIN ELEVATION ASSOCIATED WITH THE WEST RIVER IN THE PROJECT AREA RANGES BETWEEN 41.1 AND 41.4 (NAVD 88). THERE IS NO FILL PROPOSED WITHIN FEMA ZONE AE AS A RESULT OF THE PROPOSED PROJECT.

UTILITY NOTES

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
- IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
- ALL WATER SERVICE MATERIALS AND WORKMANSHIP SHALL CONFORM TO PROVIDENCE WATER SUPPLY BOARD REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION. DOMESTIC WATER SERVICE PIPING SIZE SHOWN IS APPROXIMATE ONLY AND SHALL BE SIZED AND VERIFIED BY A LICENSED PLUMBING ENGINEER.
- ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
- SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE. WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN EITHER DUCTILE IRON OR #900 BLUE BRUTE PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
- STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS
- GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
- ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
- TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
- SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO TENANT ELECTRICAL SITE PLANS FOR INSTALLATION REQUIREMENTS.

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
- CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
- EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

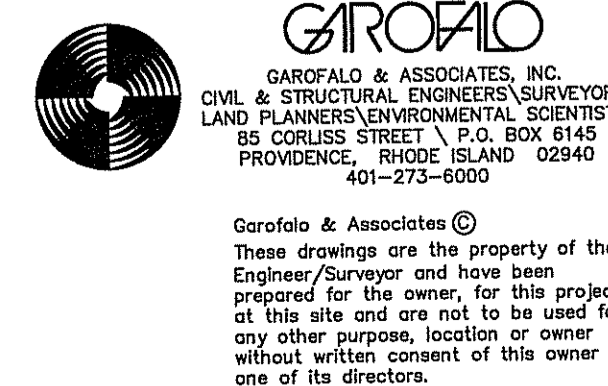
ABBREVIATIONS

CI	CAST IRON PIPE
OLDI	CEMENT LINED DUCTILE IRON PIPE
OLF	CHAINLINK FENCE
CTE	POINT OF CONNECTION TO EXISTING
D.I.	DUCTILE IRON PIPE
ESHWT	ESTIMATED SEASONAL HIGH WATER TABLE
ETR	EXISTING TO REMAIN
EX.	EXISTING
F&I	FURNISH AND INSTALL
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VF	VERIFY IN FIELD
WQS	WATER QUALITY STRUCTURE

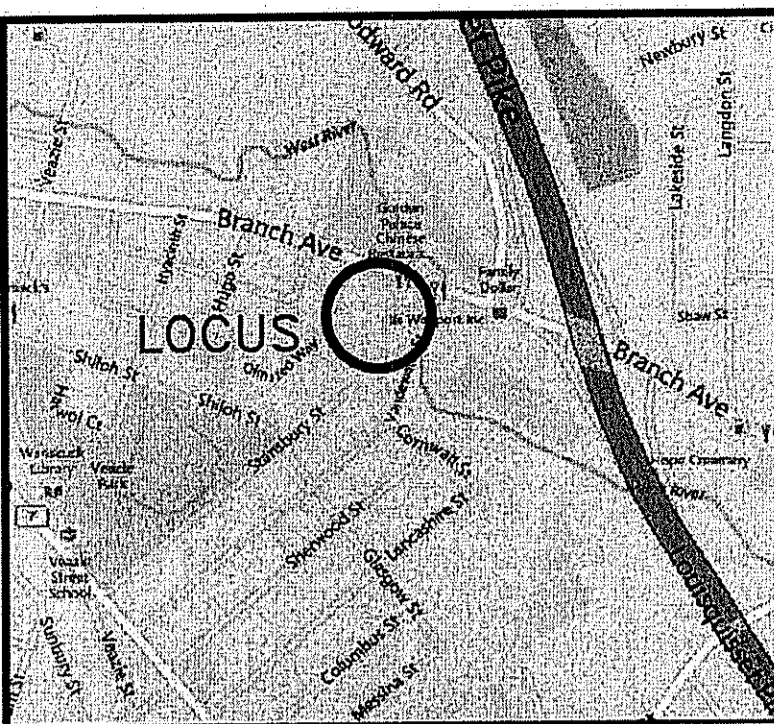
SITE LEGEND

EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		FIRE SERVICE
		FOOTING DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		SITE LIGHTING SERVICE
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		SPOT GRADE (BOT. OF CURB)
		SPOT GRADE (TOP OF CURB)
		SPOT GRADE (BOT. OF WALL)
		SPOT GRADE (TOP OF WALL)
		BITUMINOUS CONC. CURB
		CAPE COD BERM
		PRECAST CONC. CURB
		PRECAST SLOPED MOUNT. CURB
		SLOPED GRANITE CURB
		VERTICAL GRANITE CURB
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STKF)
		BORING LOCATION
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THRUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		HANDICAP SYMBOL (PRKG. SPACE)
		SIGN
		WETLAND
		SOIL EVALUATION LOCATION
		TEST PIT LOCATION
		FIRE DEPARTMENT CONNECTION
		POST INDICATOR VALVE (PIV)
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		GROUND CLEANOUT
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		CONTINUOUS ROW OF HAYBALES
		CONTINUOUS ROW OF SILT FENCE
		PAVEMENT SAWCUT & MATCH TO EXISTING

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



REVISIONS		76,825 Sq. Ft.	744 & 750 BRANCH AVENUE PROVIDENCE, RHODE ISLAND	
1	REVISED PER CFG COMMENTS 2/12/2016	1.76 ACRES	 CUMBERLAND FARMS, INC. 100 Crossing Blvd Frammingham, MA 01702	SCALE: NO SCALE
2	REVISED PER CFG COMMENTS 2/15/2016	V# NEW		DATE: JANUARY 28, 2016
		Store# NEW		DWG: 6969-BASE
		Gas Station# NEW		DRAWN BY: GAA
		Facility# NEW		GENERAL NOTES & LEGEND
				CFG01.1



LOCUS MAP
N.T.S.

NOTES:

- 1.) THE PROJECT SITE IS LOCATED WITHIN ZONE AE (EL. RANGES WEST TO EAST FROM 41.1-41.4) AREAS DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOODPLAIN & ZONE "X" (AREAS OF 0.2% ANNUAL CHANCE FLOODPLAIN & AREAS OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND, COMMUNITY MAP NO. 44007C0306H, HAVING AN EFFECTIVE DATE OF OCTOBER 2, 2015.
- 2.) THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
- 3.) HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
VERTICAL DATUM: NAVD 88
- 4.) ELEVATIONS FOR THIS SITE ESTABLISHED USING RIGS DISK "PRO09" & "PR 012"
- 5.) PROPERTY CORNERS COULD NOT BE SET DUE TO SNOW

PLAN REFERENCES:

- 1.) "PERIMETER SURVEY OF LAND FOR RIVER PLACE PARTNERS OF AP 102, A PORTION OF LOT 172 ON BRANCH AVENUE IN PROVIDENCE, RI DATED 1-24-89 REVISED 8-28-89 BY LOUIS FEDERICI"
- 2.) "DIVISION OF LAND IN PROVIDENCE, RI FOR RIVERPLACE PARTNERS DESIGNATED AS AP 102 LOT 172 BY LOUIS FEDERICI DATED 3-20-86" ~DB 1368 PG 102
- 3.) "PLOT PLAN FOR AP 102 LOT 172(PART) ON BRANCH AVENUE IN PROVIDENCE, RI DATED 6-20-88 BY P.S.M. ASSOCIATES" ~DB 1839 PG 274
- 4.) "WANSKUCK VILLAGE, PROVIDENCE, RI BY WATERMAN ENGINEERING CO, OCT. 1946 ~PB 41 PG 59
- 5.) "PLAT OF VANDEWATER STREET FROM DOUGLAS AVE. TO BRANCH AVE. IN THREE SHEETS, CITY ENGINEERS OFFICE STREET LINE DEPT. PROVIDENCE, RI JAN. 1886
- 6.) STREET LINE PLAN OF BRANCH AVENUE FROM CITY ENGINEERS OFFICE STREET LINE DEPT
- 7.) UTILITY EASEMENT PLAN, ONE PROVIDENCE PLACE IN PROVIDENCE, RHODE ISLAND FOR ATTLEBORO PAWTUCKET SAVINGS BANK BY MARK W. HUTCHINS & ASSOCIATES, INC. DATED 8-29-90

METES & BOUNDS DESCRIPTION:

That certain lot or tract of land, with all buildings and improvements thereon situated on the southerly side of Branch Avenue in the City of Providence, County of Providence, State of Rhode Island, bounded and described as follows;

Beginning on the southerly line of Branch Avenue at the northwesterly corner of land now of formerly Smith Hill (Branch) Property Acquisition and northeasterly corner of the herein described parcel. Said parcel also being N71°20'36"W a distance of one hundred seventy one and 51/100 (171.51') feet from a granite bound at the northeast corner of Branch Avenue and Vandewater Street;

Thence S20°25'41"W a distance of one hundred twenty and 00/100 (120.00') feet to a corner;

Thence N71°20'36"W a distance of one and 00/100 (1.00') foot to a corner;

Thence S20°25'41"W a distance of two hundred thirty three and 63/100 (233.63') feet to a corner;

Thence N51°48'04"W a distance of twenty nine and 64/100 (29.64') feet to a corner;

Thence S50°02'22"W a distance of fourteen and 92/100 (14.92') feet to a corner;

Thence N53°04'35"W a distance of two hundred eight and 08/100 (208.93') feet to a corner;

Thence S20°25'41"W a distance of two hundred ninety one and 08/100 (291.08') feet to the southerly line of said Branch Avenue;

Thence S71°20'36"W along the southerly line of said branch Avenue a distance of two hundred thirty three and 17/100 (233.17') feet to the point and place of beginning;

Said parcel contain an area of 76,825 square feet or 1.76 acres of land, more or less.

ENCROACHMENTS:

- ▲ BUILDING AND OTHER IMPROVEMENTS OVER THE WESTERLY PROPERTY LINE

EXCEPTIONS:

COMMITMENT NO. NCS-707228-HOU1

6. EASEMENT CONTAINED IN DEED RECORDED IN BOOK 2092 PAGE 323. (PLOTTED: 15' WIDE PARKING EASEMENT & 40' WIDE EASEMENT)
7. EASEMENT CONTAINED IN DEED RECORDED IN BOOK 55, PAGE 57; BOOK 66, PAGE 138; (NOT PLOTTED)
8. EASEMENT CONTAINED IN DEED RECORDED IN BOOK 1009, PAGE 448. (PLOTTED: 40' WIDE PRIVATE WAY)
9. EASEMENT CONTAINED IN DEED RECORDED IN BOOK 1368, PAGE 101. (PLOTTED: 5' WIDE EASEMENT)
10. EASEMENT AGREEMENT BY AND AMONG RIVERPLACE PARTNERS, A RHODE ISLAND LIMITED PARTNERSHIP, AND NORTH CAMPUS DEVELOPMENT GROUP, A RHODE ISLAND LIMITED PARTNERSHIP, DATED JUNE 29, 1988 AND RECORDED IN BOOK 1839, PAGE 259. (PLOTTED: 40' WIDE PRIVATE WAY)

EXCEPTIONS:

COMMITMENT NO. NCS-707230-HOU1

6. RIGHTS OF OTHERS IN AND TO THE EASEMENT CONTAINED IN DEED RECORDED IN BOOK 1009, PAGE 448. (PLOTTED: 40' WIDE PRIVATE WAY)
7. RIGHTS OF OTHERS IN AND TO THE EASEMENT CONTAINED IN DEED RECORDED IN BOOK 1368, PAGE 101. (PLOTTED: 5' WIDE EASEMENT)
8. EASEMENT AGREEMENT BY AND AMONG RIVERPLACE PARTNERS, A RHODE ISLAND LIMITED PARTNERSHIP, AND NORTH CAMPUS DEVELOPMENT GROUP, A RHODE ISLAND LIMITED PARTNERSHIP, DATED JUNE 29, 1988 AND RECORDED IN BOOK 1839, PAGE 259. (PLOTTED: 40' WIDE PRIVATE WAY)
9. DECLARATION OF EASEMENT BY AND AMONG RIVERPLACE PARTNERS, A RHODE ISLAND LIMITED PARTNERSHIP, STORAGE PARTNERS, L.P., A RHODE ISLAND LIMITED PARTNERSHIP, AND WANSKUCK STEAM POWER COMPANY, A RHODE ISLAND CORPORATION, DATED DECEMBER 22, 1988 AND RECORDED IN BOOK 1947, PAGE 161. (PLOTTED: 40' WIDE EASEMENT)
11. EASEMENT AGREEMENT BY AND AMONG RIVERPLACE PARTNERS, ONE PROVIDENCE PLACE ASSOCIATES, L.P., A RHODE ISLAND LIMITED PARTNERSHIP, DATED NOVEMBER 2, 1989 AND RECORDED IN BOOK 2133, PAGE 203. (PLOTTED: 40' WIDE EASEMENT)
12. EASEMENT CONTAINED IN DEED RECORDED IN BOOK 4183, PAGE 264. (PLOTTED: 40' WIDE PRIVATE WAY)
13. EASEMENT CONTAINED IN DEED RECORDED IN BOOK 55, PAGE 57; BOOK 66, PAGE 138; (NOT PLOTTED)

PARCEL DATA	
A.P. 102, LOT 256 N/F DAVID A. REYNOLDS DEED BK. 8148 / PG. 180 #744 BRANCH AVENUE LOT AREA: 27,941 S.F.± OR 0.64 ACRES±	
PARCEL DATA	
A.P. 102, LOT 258 N/F WANSKUCK HALL REALTY INC DEED BK. 10605 / PG. 14 #750 BRANCH AVENUE LOT AREA: 48,884 S.F.± OR 1.12 ACRES±	

GENERAL LEGEND & ABBREVIATIONS

N/F	NOW OR FORMERLY	---	80	CONTOUR (10')
S.F.	SQUARE FEET	---	82	CONTOUR (2')
AC.	ACRES	x	84.4	SPOT GRADE
BIT.	BITUMINOUS	D		DRAIN LINE
PVC	POLYVINYL CHLORIDE	V		WATER LINE
INV.	INVERTS	E		ELECTRIC LINE
BTM.	BOTTOM	S		SEWER LINE
P.O.B.	POINT OF BEGINNING	DHW		OVERHEAD WIRES
BK., PG.	BOOK and PAGE			TREES/SHRUBS (VARIOUS SPECIES)
CB	CATCH BASINS	TO		TOP OF GRANITE CURB
DMH	DRAIN MANHOLE	FG		FACE OF GRANITE CURB
SMH	SEWER MANHOLE	TB		TOP OF BERM
WG	WATER GATE/ WATER SHUT-OFF	FB		FACE OF BERM
GG	GAS GATE	TC		TOP OF CONCRETE
MW	MONITORING WELL	FC		FACE OF CONCRETE
SIGN	SIGN			LOCUS PROPERTY LINE
UP	UTILITY POLE			ASSESSORS LINE
BOLLARD	BOLLARD			

TITLE CERTIFICATION:

TO : CUMBERLAND FARMS, INC., HINCKLEY ALLEN AND FIRST AMERICAN TITLE INSURANCE COMPANY.

COMMITMENT NUMBER: NCS- 707228-HOU1 & NCS- 707230-HOU1

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 2005, AND INCLUDES ITEMS 1,2,3,4,5,8,9,10,11B, & 13 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

DATE: FEBRUARY 1, 2015

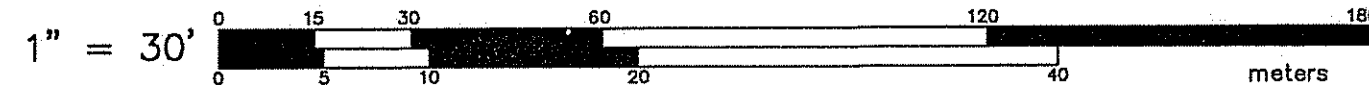
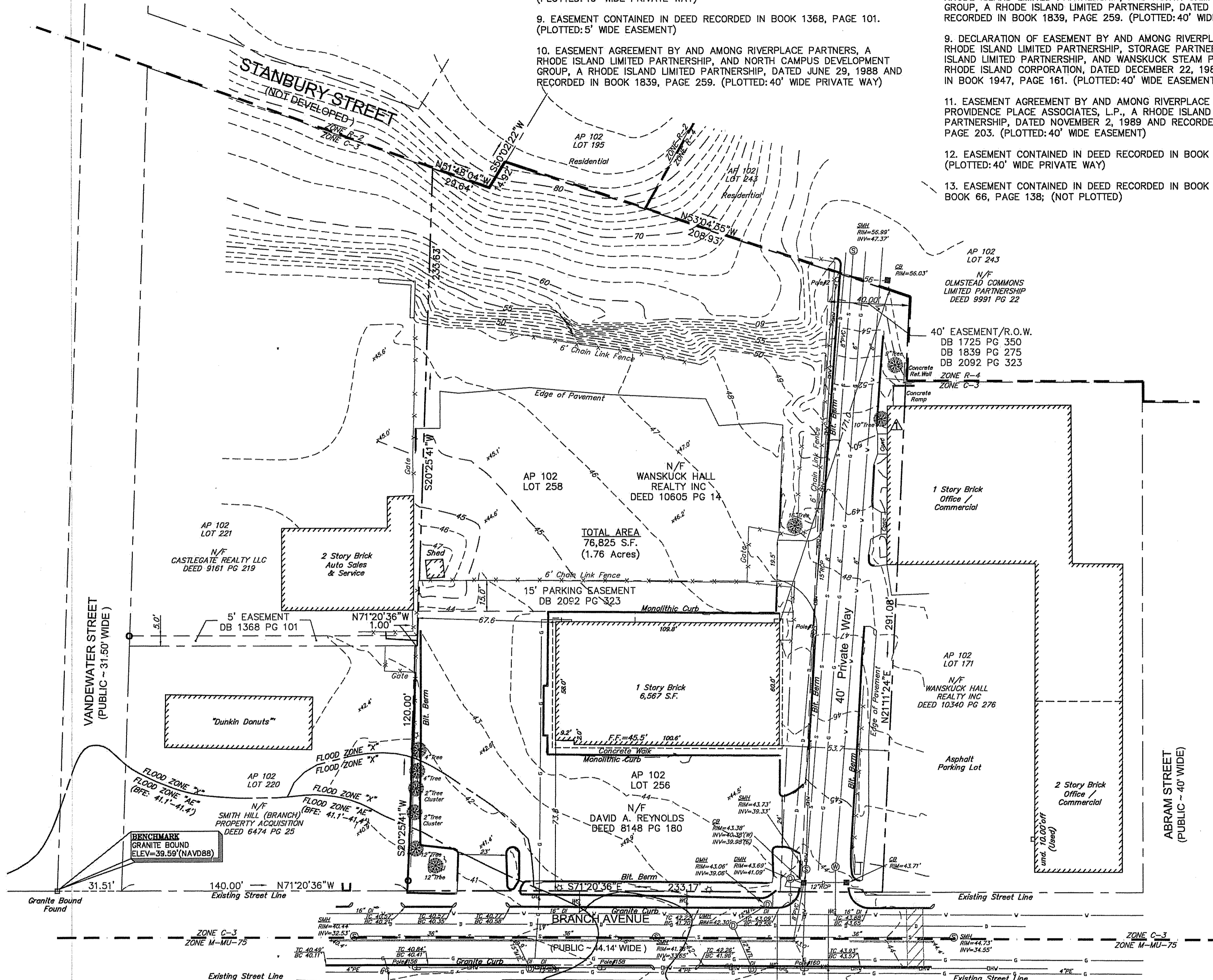
CERTIFICATION

THIS SURVEY AND PLAN CONFORMS TO THE FOLLOWING CLASS STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BOUNDARY SURVEY - CLASS I TOPOGRAPHY - CLASS III

BY: Samuel A. White, 1781
PROFESSIONAL LAND SURVEYOR REG. NO. DATE 2-16-16

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 20 2016 FILE # 16-0054
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
CUMBERLAND FARMS, INC.
100 Crossing Blvd
Framingham, MA 01702
SCALE: 1"=30'
DATE: 1/15/15
DWG: 6990-ECS
DRAWN BY: R.S.E.



GROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
401-273-8000

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SAMUEL A. WHITE
1781
PROFESSIONAL
LAND SURVEYOR

REVISIONS	
1	COMMENTS 3/9/2015
2	COMMENTS 3/27/2015
3	UPDATED FEMA LINES 1/28/2016
4	CFG COMMENTS 2/12/2016

76,825± SQUARE FEET
1.76± ACRES
V# XXXX
Store# NEW
Station# XXXXX

74.4 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND

CUMBERLAND FARMS, INC.
100 Crossing Blvd
Framingham, MA 01702

SCALE: 1"=30'
DATE: 1/15/15
DWG: 6990-ECS
DRAWN BY: R.S.E.

EXISTING CONDITIONS PLAN CFG02.0

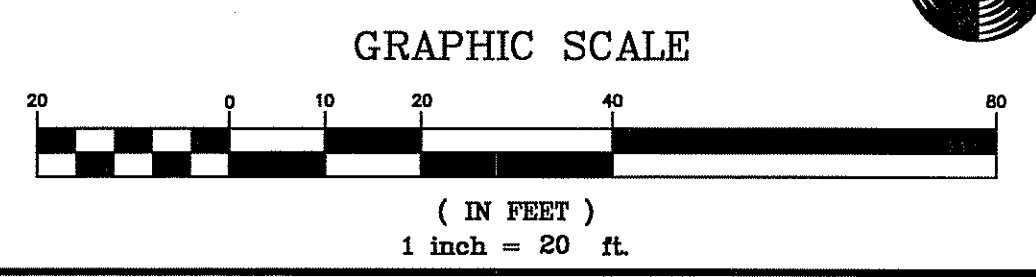
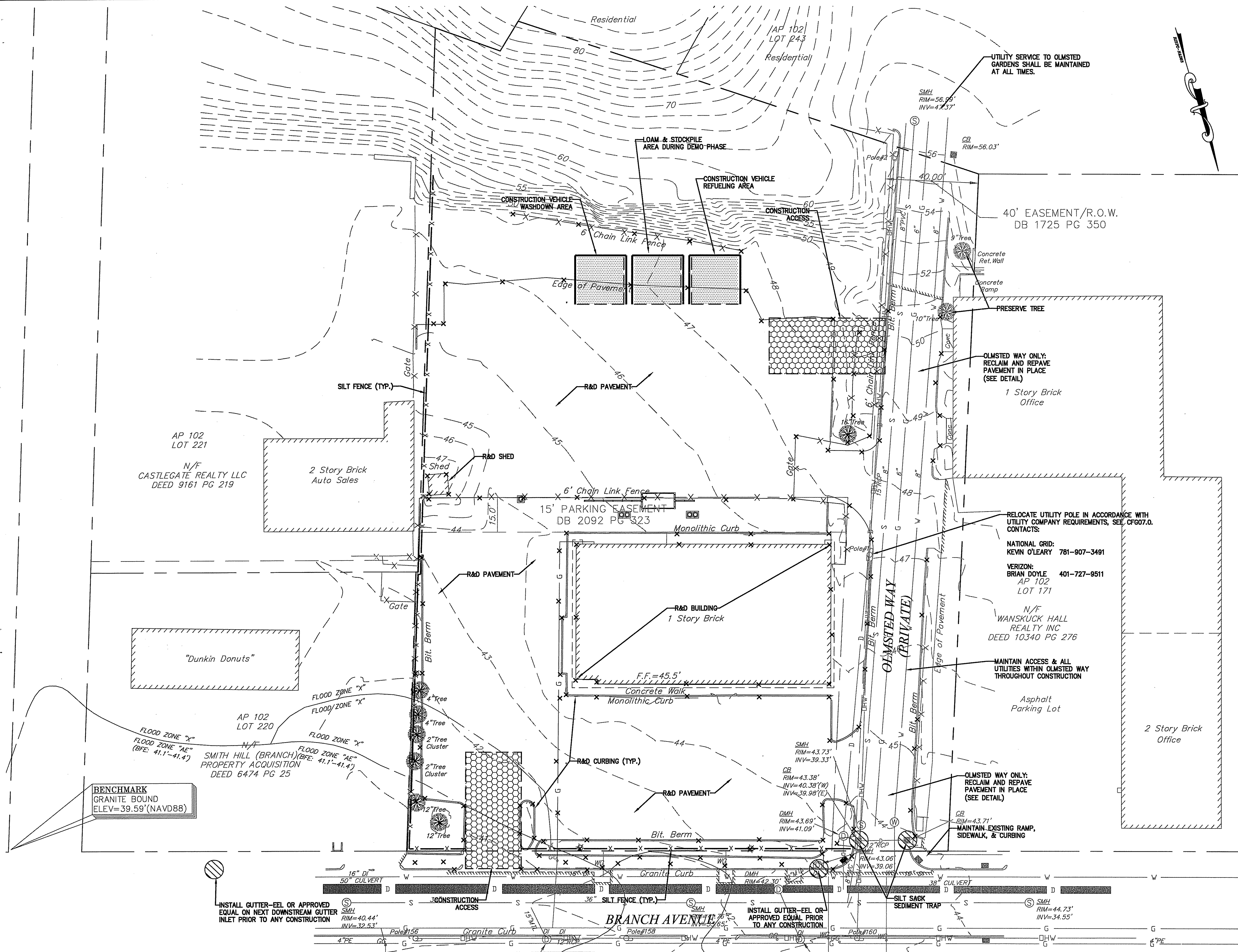
DEMOLITION NOTES

1. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES (I.E. THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA). ALL AREAS SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AS DETERMINED BY THE ENGINEER OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL INSTALL HAYBALES AND/OR OTHER EROSION CONTROL MEASURE SHALL BE PLACED ON ALL DOWNGRADIENT SLOPES, AS WELL AS LOCATIONS INDICATED ON THE SITE PLANS PRIOR TO BEGINNING ANY DEMOLITION WORK.
2. DISPOSAL OF DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS. OFF-SITE DISPOSAL OF UNSUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL MUNICIPAL REQUIREMENTS.
3. CONTRACTOR SHALL OBTAIN ALL DEMOLITION PERMITS AS REQUIRED BY THE CITY OF PROVIDENCE AND THE STATE OF RHODE ISLAND. ALL WORK OUTLINED SHALL ADHERE TO ANY ADDITIONAL CONDITIONS OUTLINED THEREIN.
4. PROTECT OR REMOVE & DISPOSE EXISTING UTILITIES AS SHOWN ON DRAWINGS. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING BUILDING AS REQUIRED DURING NEW UTILITY INSTALLATION. UPON COMPLETE INSTALLATION OF UTILITIES CONTRACTOR SHALL REMOVE & DISPOSE OF UTILITIES AS SHOWN ON DRAWINGS.
5. DISPOSAL OF PAVEMENT MUST BE AT AN APPROVED OFF-SITE LOCATION. BROKEN PAVEMENT MATERIAL SHALL NOT BE DISPOSED OF OR COVERED ON SITE UNLESS IT IS PROPERLY PULVERIZED USING SOILS LABORATORY APPROVED METHODS & ONLY IN AREAS APPROVED BY THE GEO-TECHNICAL ENGINEER.
6. IN AREAS WHERE THE FINISH MATERIAL WILL BE PAVEMENT. REMOVE TO THE INDICATED SUB-GRADE LEVEL, PROOF ROLL, TEST AND PROCEED WITH PLACEMENT OF NEW GRAVEL COURSE TO THE SPECIFIED THICKNESS.
7. IN AREAS TO BE LANDSCAPED, CUT OR FILL OVER THE BASE COURSE TO BRING UP TO THE SUB-GRADE LEVEL.
8. ALL EXISTING BASE COURSE MATERIAL MAY BE USED FOR FILL IN AREAS SPECIFYING ORDINARY BORROW.
9. SIDEWALK REMOVAL SHALL EXTEND TO NEXT CONSTRUCTION JOINT.
10. PERIMETER FENCING SHALL BE INSTALLED AROUND ENTIRE PROJECT UNLESS OTHERWISE AUTHORIZED BY OWNER.
11. CONTRACTOR SHALL TAKE SPECIAL CARE DURING DEMOLITION PHASE OF PROJECT TO INSURE THAT SOILS OR OTHER DEBRIS IS NOT ALLOWED TO ENTER THE SEWER SYSTEM. FAILURE TO DO SO SHALL MAKE THE CONTRACTOR LIABLE TO CLEAN AND FLUSH THE SEWER SYSTEM AT NO ADDITIONAL COST TO THE OWNER OR THE CITY OF PROVIDENCE OR NARRAGANSETT BAY COMMISSION.

SITE DEMOLITION LEGEND

- X R&D REMOVE & DISPOSE
- - - - REMOVE & DISPOSE UTILITY LINE
- ||| ABANDON UTILITY IN PLACE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 20 2016 FILE # 16-0084
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



GROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
401-273-6000

REVISIONS	
1	REVISED PER CFG COMMENTS 2/12/2016
2	REVISED PER CFG COMMENTS 2/15/2016

76,825 Sq. Ft.
1.76 ACRES
V# NEW
Store# NEW
Gas Station# NEW
Facility# NEW

744 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND

Cumberland
CUMBERLAND FARMS, INC.
100 Crossing Blvd
Framingham, MA 01702

SCALE: 1" = 20'
DATE: JANUARY 28, 2016
DWG: 6969-BASE
DRAWN BY: GAA

DEMOLITION PLAN
CFG03.0

CITY OF PROVIDENCE
DEVELOPMENT SUMMARY
ASSESSORS MAP 102, LOTS 256 & 258
ZONING: C-3 HEAVY COMMERCIAL DISTRICT
USE: GAS STATION

DIMENSIONAL REGULATIONS		
DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	12,000 SF	76,825 SF
MINIMUM LOT DEPTH	100 FT	322 FT
MINIMUM LOT WIDTH	120 FT	233 FT
MIN. REAR YARD STRUCTURE & AIR TOWER SETBACK	20 FT	117.97 FT
MIN. SIDE YARD CANOPY SETBACK	10 FT	55.20 FT
MINIMUM FRONT YARD PARKING LOT BUFFER	5 FT	20 FT
MAXIMUM BUILDING HEIGHT	50 FT / 4 STORIES	< 50 FT / < 4 STORIES
MINIMUM BUILDING FIRST FLOOR HEIGHT	11 FT	> 11 FT
MINIMUM PARKING LOT SPACE DIMENSION	8 FT X 18 FT	10 FT X 20 FT
MAXIMUM DRIVEWAY WIDTH TO PUBLIC WAY	25 FT	25 FT
MAXIMUM # OF DRIVEWAYS TO PUBLIC WAY	1 / 200' FRONTAGE	2 DRIVEWAYS*
MINIMUM LOT TREE CANOPY COVERAGE	15%	SEE LANDSCAPE PLAN

* EXISTING PRIVATE DRIVE "OLMSTED WAY" TO REMAIN.

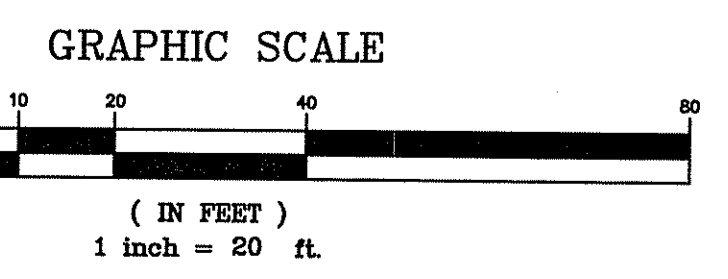
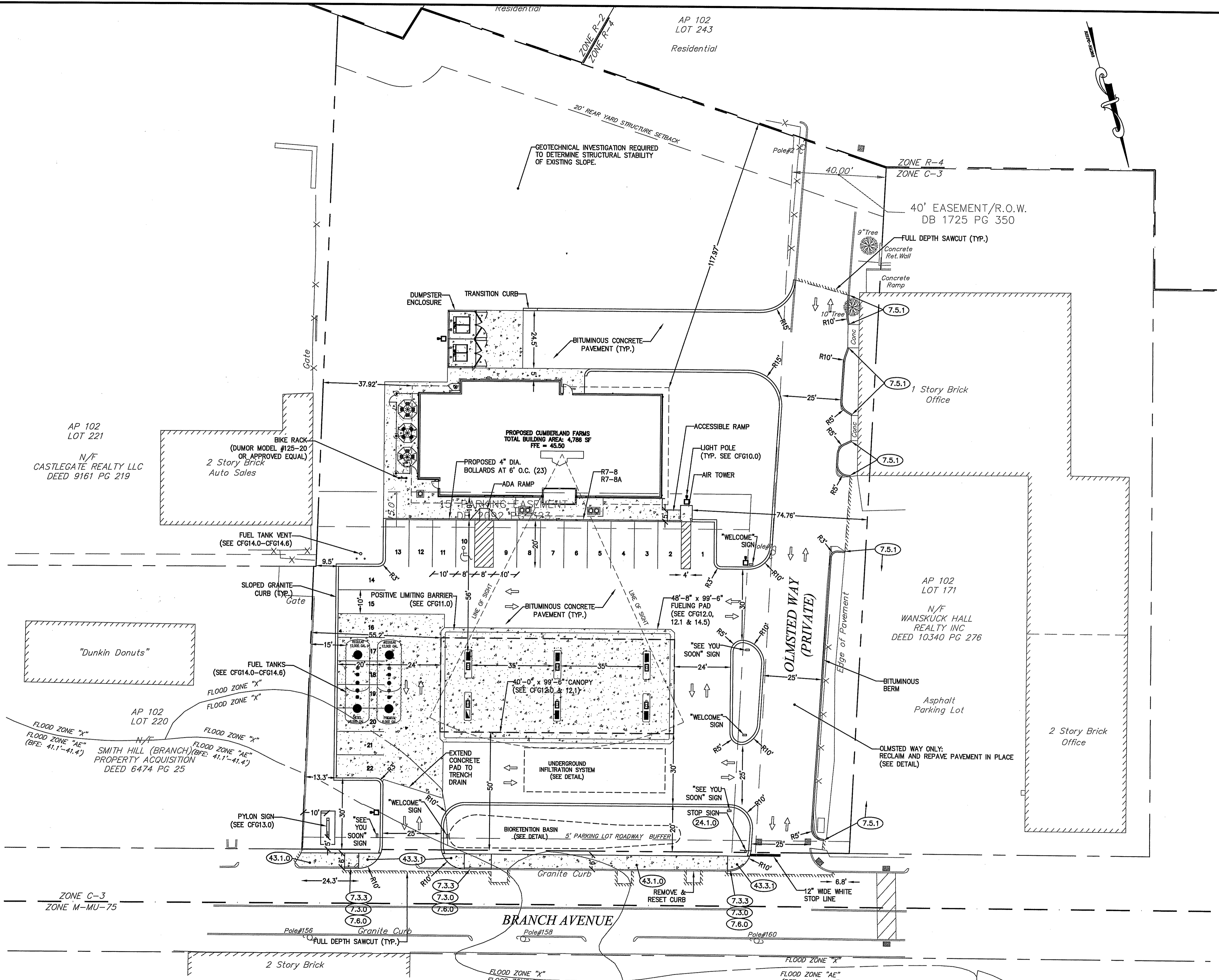
PARKING REQUIREMENTS		
DESCRIPTION	REQUIRED	PROPOSED
GAS STATION	2 SPACES PER PUMP, (IN ADDITION TO PUMP SPACES) + 1 SPACE PER 500 SF GFA OF RETAIL AREA = 2 x 6 PUMPS + 4,786 SF / 500 SF = 22 SPACES	22 SPACES
LOADING SPACES	0 SPACES	1 SPACE

NOTE:
CONTRACTOR MUST MAINTAIN OLMSTED WAY ACCESS AT ALL TIMES FOR OLMSTED GARDENS. ALL PARTIAL ROADWAY CLOSURES MUST BE COORDINATED WITH OLMSTED COMMONS LIMITED PARTNERSHIP.

RIDOT LEGEND

7.3.0	GRANITE CURB
7.3.3	GRANITE WHEELCHAIR RAMP TRANSITION CURB
7.5.1	BITUMINOUS BERM
7.6.0	CURB SETTING DETAIL
24.1.0	SIGN POST SELECTION AND INSTALLATION DETAILS SQUARE POST
43.1.0	CEMENT CONCRETE SIDEWALK
43.3.1	WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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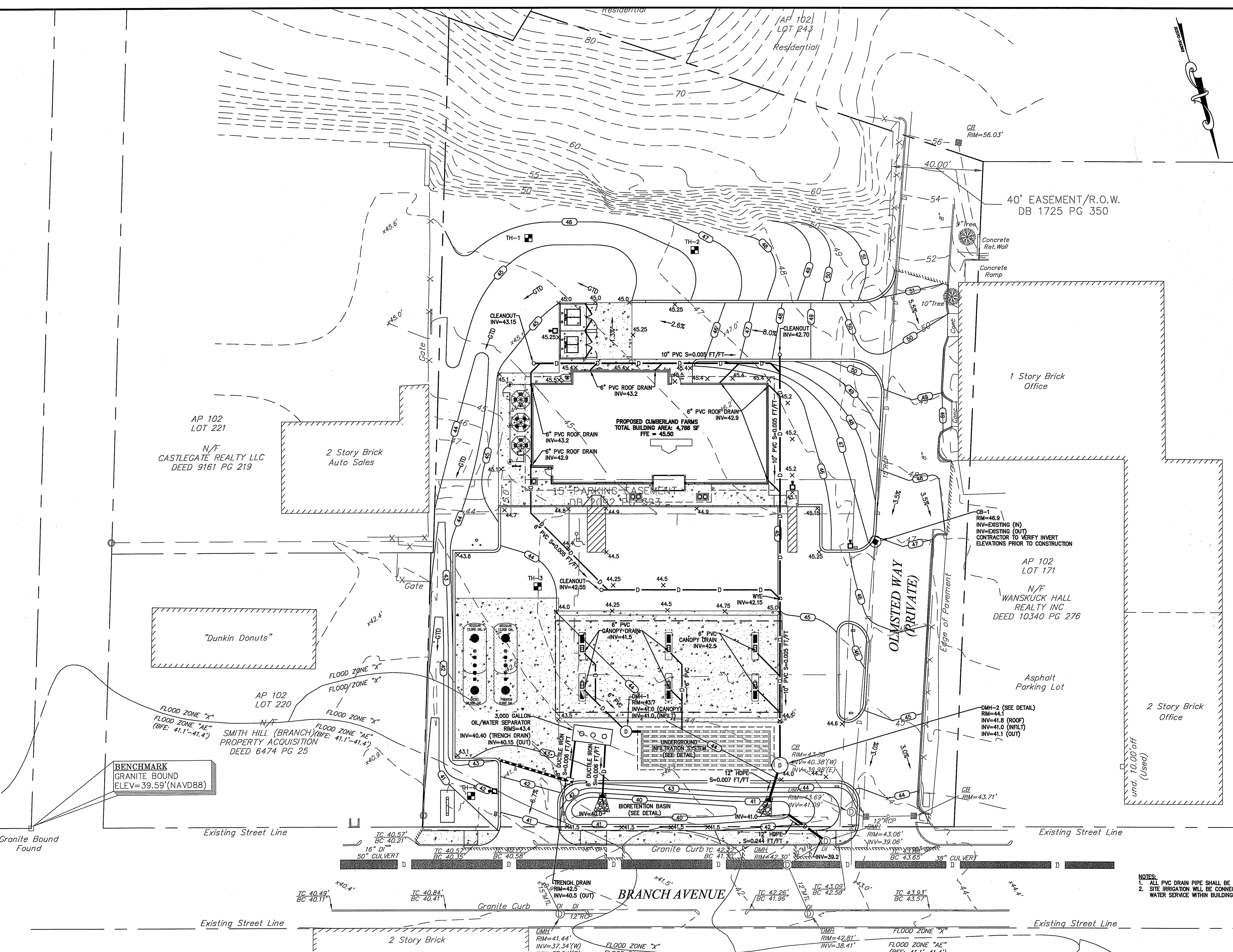
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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNING/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET \ P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
401-273-6000

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REVISIONS		76,825 Sq. Ft.	744 & 750 BRANCH AVENUE
1	REVISED PER CFG COMMENTS	1.76 ACRES	PROVIDENCE, RHODE ISLAND
2	REVISED PER CFG COMMENTS	V# NEW	SCALE: 1" = 20'
		Store# NEW	DATE: JANUARY 28, 2016
		Gas Station# NEW	DWG: 6990-BASE
		Facility# NEW	DRAWN BY: GAA

Cumberland FARMS
CUMBERLAND FARMS, INC.
100 Crossing Blvd
Frammingham, MA 01702

SITE PLAN CFG04.0

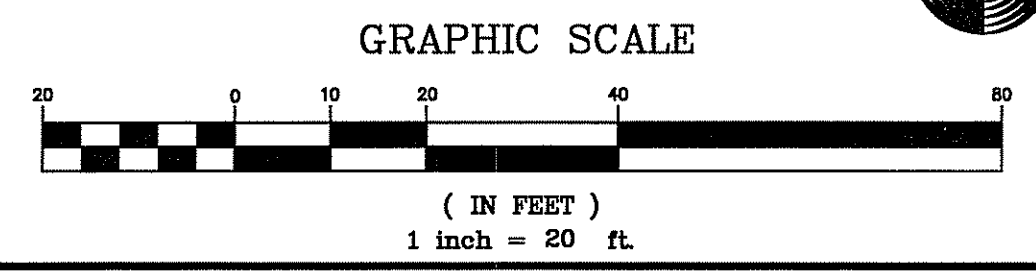


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAY 20 2016 FILE # 16-0084
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BENCHMARK
 GRANITE BOUND
 ELEV=39.59'(NAVD88)

NOTES:
 1. ALL PVC DRAIN PIPE SHALL BE SCHEDULE 80 PVC.
 2. SITE IRRIGATION WILL BE CONNECTED TO DOMESTIC WATER SERVICE WITHIN BUILDING INTERIOR.

NOTE:
 THERE IS NO FILL PROPOSED
 WITHIN FEMA FLOOD ZONE AE.



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 86 CORLISS STREET, P.O. BOX 6145
 PROVIDENCE, RHODE ISLAND 02904
 401-273-6000
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REVISIONS	
1	REVISED PER CFG COMMENTS 2/12/2016
2	REVISED PER CFG COMMENTS 2/15/2016

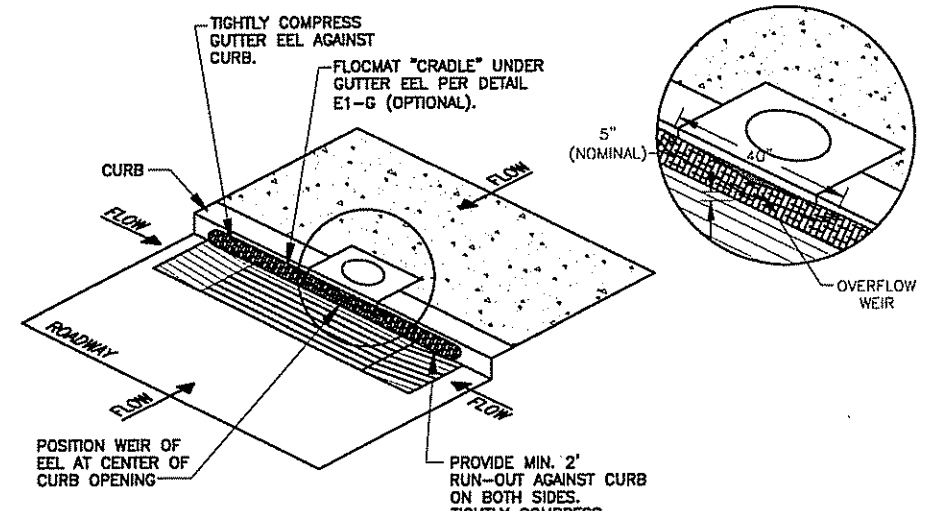
76,825 Sq. Ft.
 1.76 ACRES
 V# NEW
 Store# NEW
 Gas Station# NEW
 Facility# NEW

744 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND

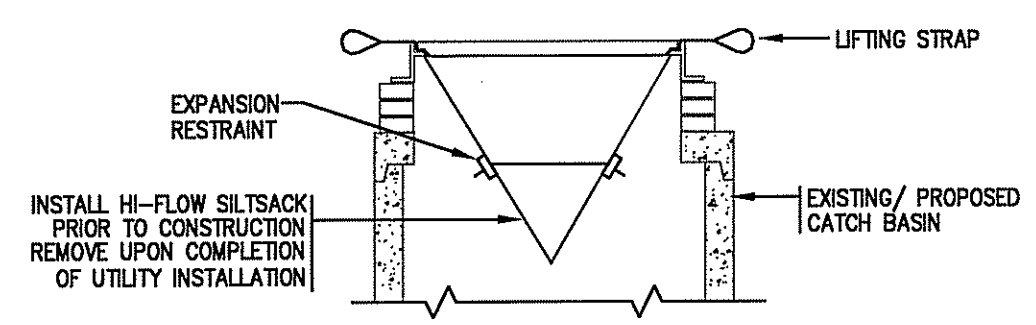
CUMBERLAND FARMS, INC.
 100 Crossing Blvd
 Framingham, MA 01702

SCALE: 1" = 20'
 DATE: JANUARY 28, 2016
 DWS: 6969-BASE
 DRAWN BY: GAA

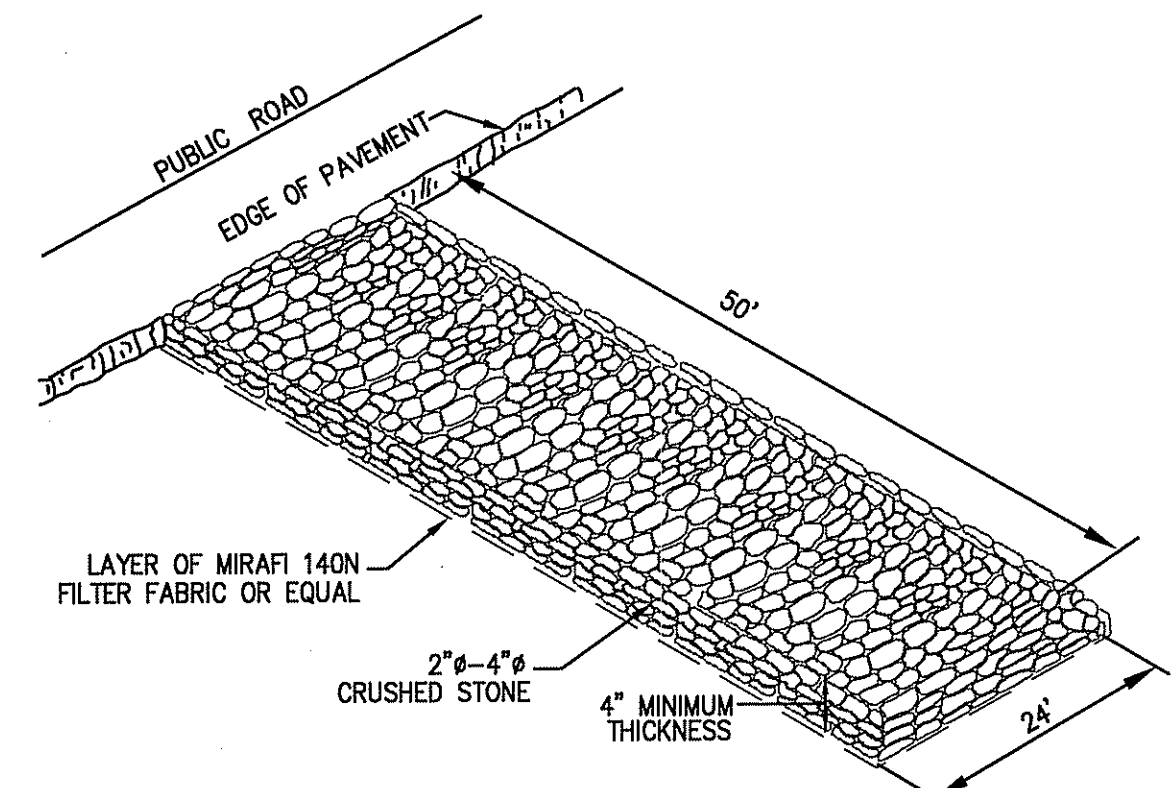
GRADING & DRAINAGE PLAN CFG05.0



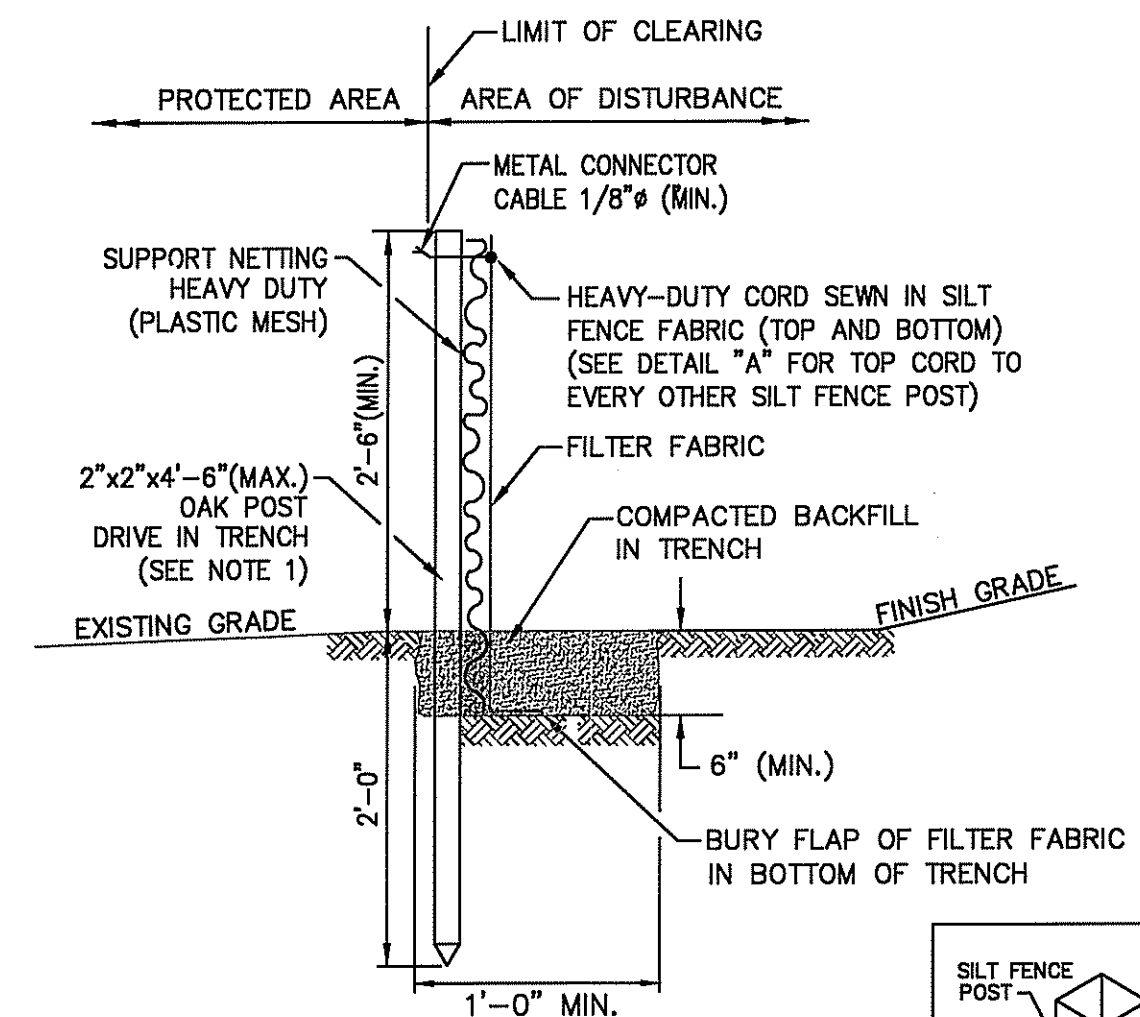
GUTTER EEL
N.T.S.



SILTSACK® AT CATCH BASIN DETAIL
N.T.S.

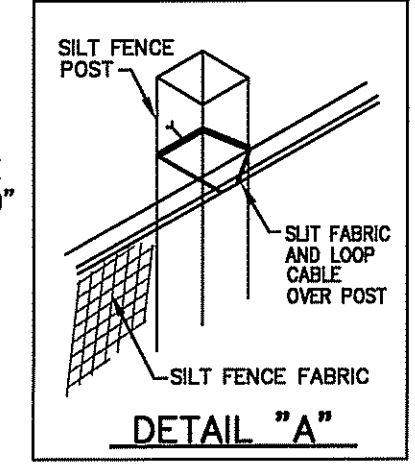


CONSTRUCTION ENTRANCE/EXIT PAD DETAIL
N.T.S.

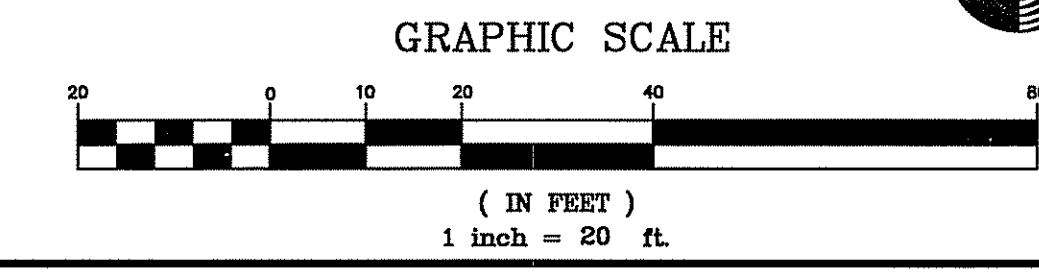
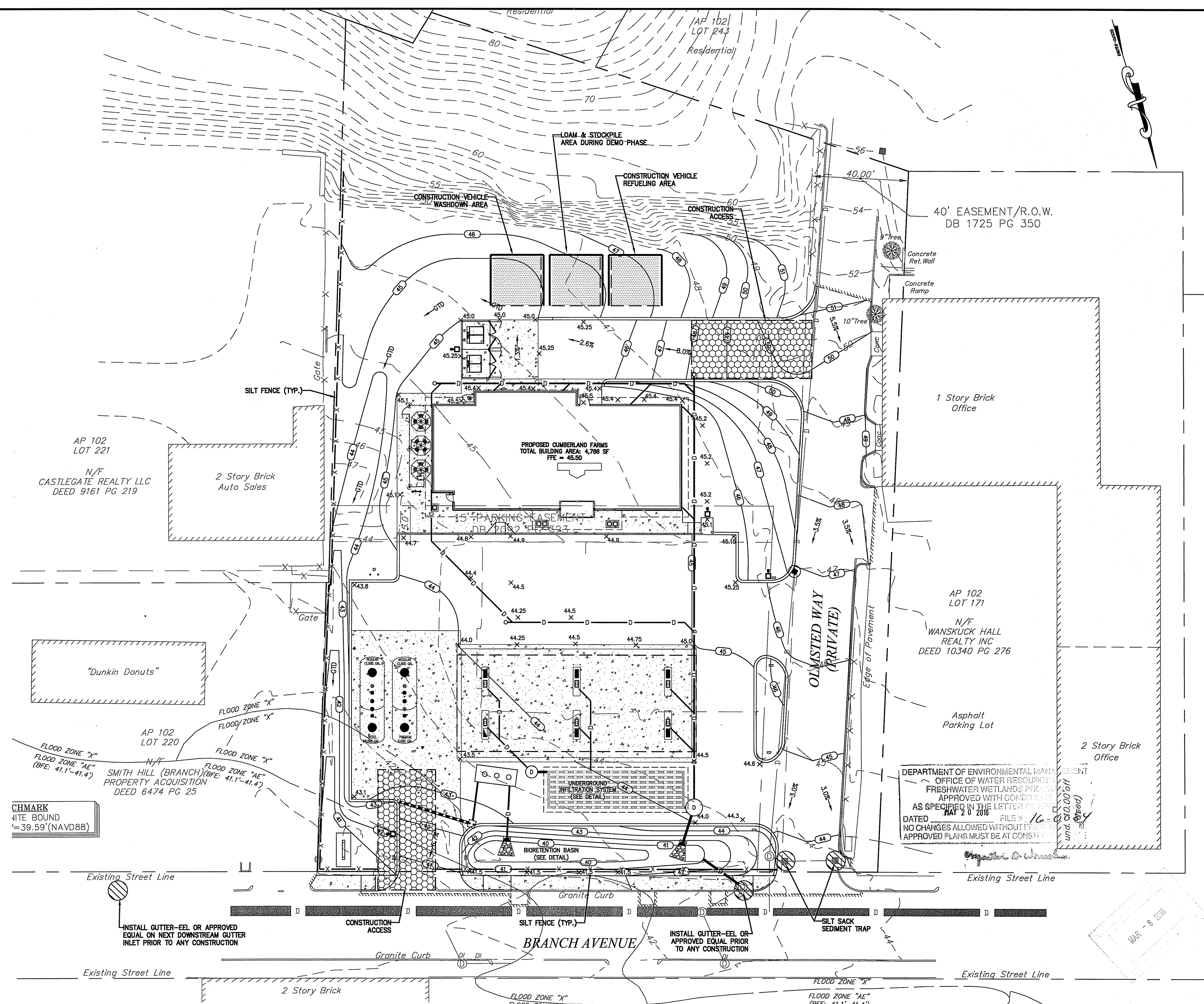


- NOTES:**
- 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

DETAIL OF SILT FENCE
N.T.S.



DETAIL "A"



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PROVIDENCE, RHODE ISLAND 02904
401-273-6000

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REVISIONS		76,825 Sq. Ft.
1	REVISED PER CFG COMMENTS 2/12/2016	1.76 ACRES
2	REVISED PER CFG COMMENTS 2/15/2016	V# NEW
		Store# NEW
		Gas Station# NEW
		Facility# NEW

744 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND

Cumberland
CUMBERLAND FARMS, INC.
100 Crossing Blvd
Framingham, MA 01702

SCALE: 1" = 20'
DATE: JANUARY 28, 2016
DWS: 6969-BASE
DRAWN BY: GAA

EROSION & SEDIMENTATION CONTROL PLAN
CFG06.0

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 20 2016 FILE # 16-0000000000
NO CHANGES ALLOWED WITHOUT PREVIOUS APPROVED PLANS MUST BE AT CONSTRUCTION

MAR - 8 2016

UTILITY CONTACTS

WATER: PROVIDENCE WATER SUPPLY BOARD
401-521-6300

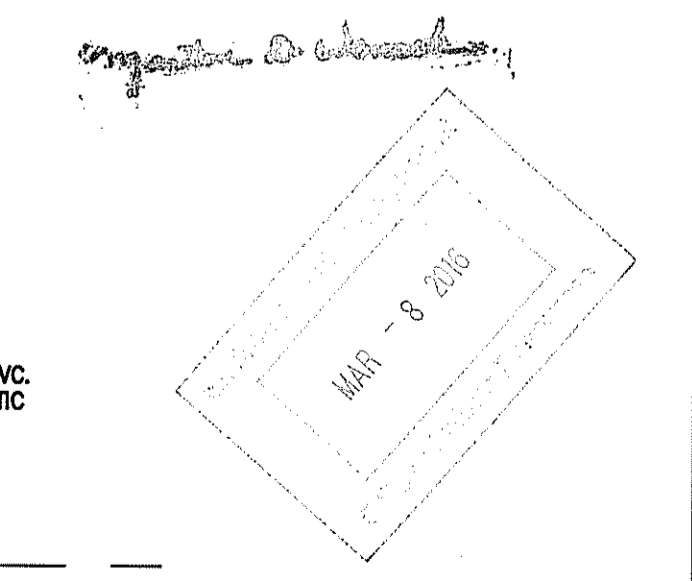
SEWER: NARRAGANSETT BAY COMMISSION
401-461-8848

ELECTRIC: NATIONAL GRID
CONTACT: KEVIN O'LEARY
781-907-3491

GAS: NATIONAL GRID
CONTACT: DEBORAH TIKOIAN
401-784-7521

TELECOMMUNICATIONS: VERIZON
CONTACT: BRIAN DOYLE
401-727-9511

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 21, 2015 FILE # 16-0034
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION

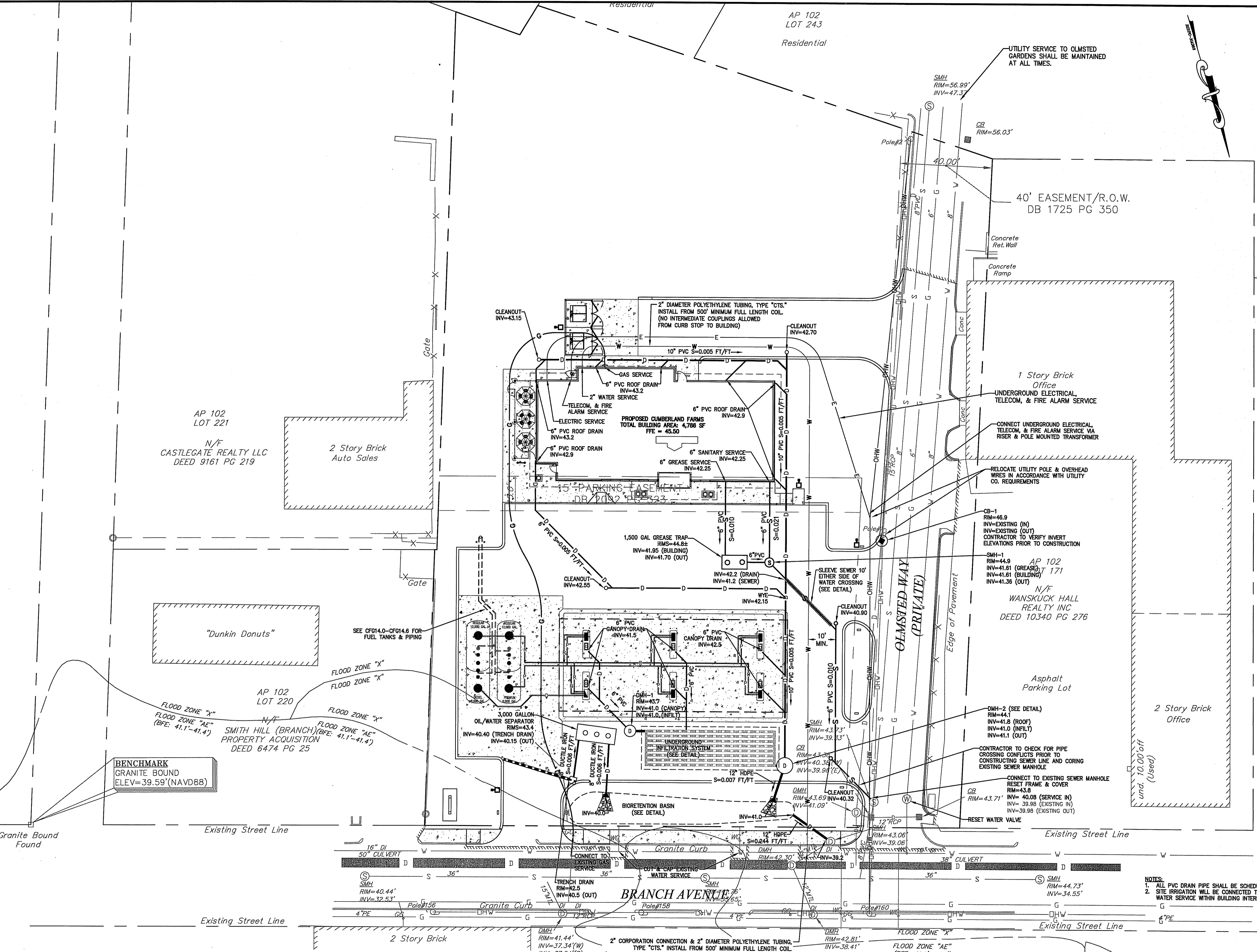
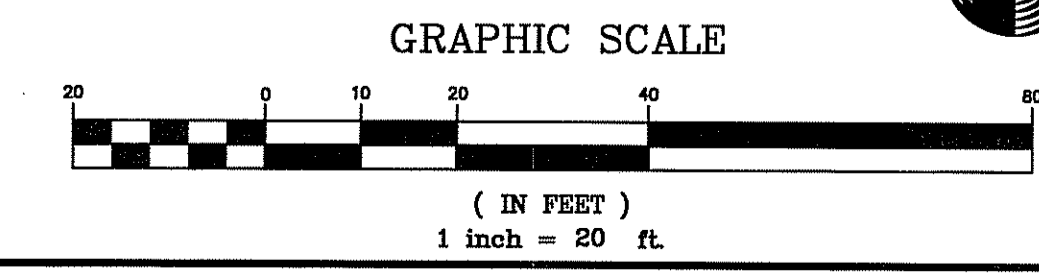


744 & 750 BRANCH AVENUE PROVIDENCE, RHODE ISLAND		SCALE: 1" = 20'	
CUMBERLAND FARMS, INC. 100 Crossing Blvd Franklinham, MA 01702		DATE: JANUARY 28, 2016	
Cumberland FARMS		DWG: 6969-BASE	
UTILITY PLAN		DRAWN BY: GAA	
CFG07.0			

REVISIONS		76,825 Sq. Ft.
1	REVISED PER CFG COMMENTS 2/12/2016	1.76 ACRES
2	REVISED PER CFG COMMENTS 2/15/2016	V# NEW
		Store# NEW
		Gas Station# NEW
		Facility# NEW

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GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET, P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
401-273-6000

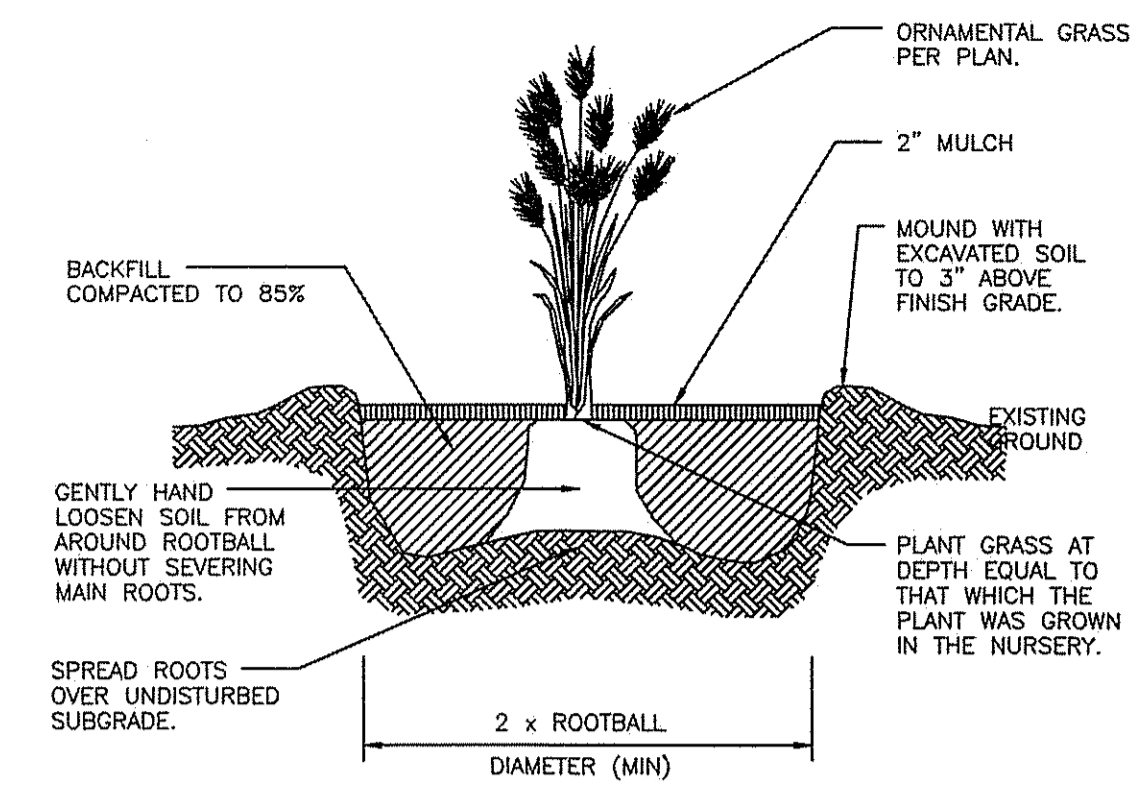
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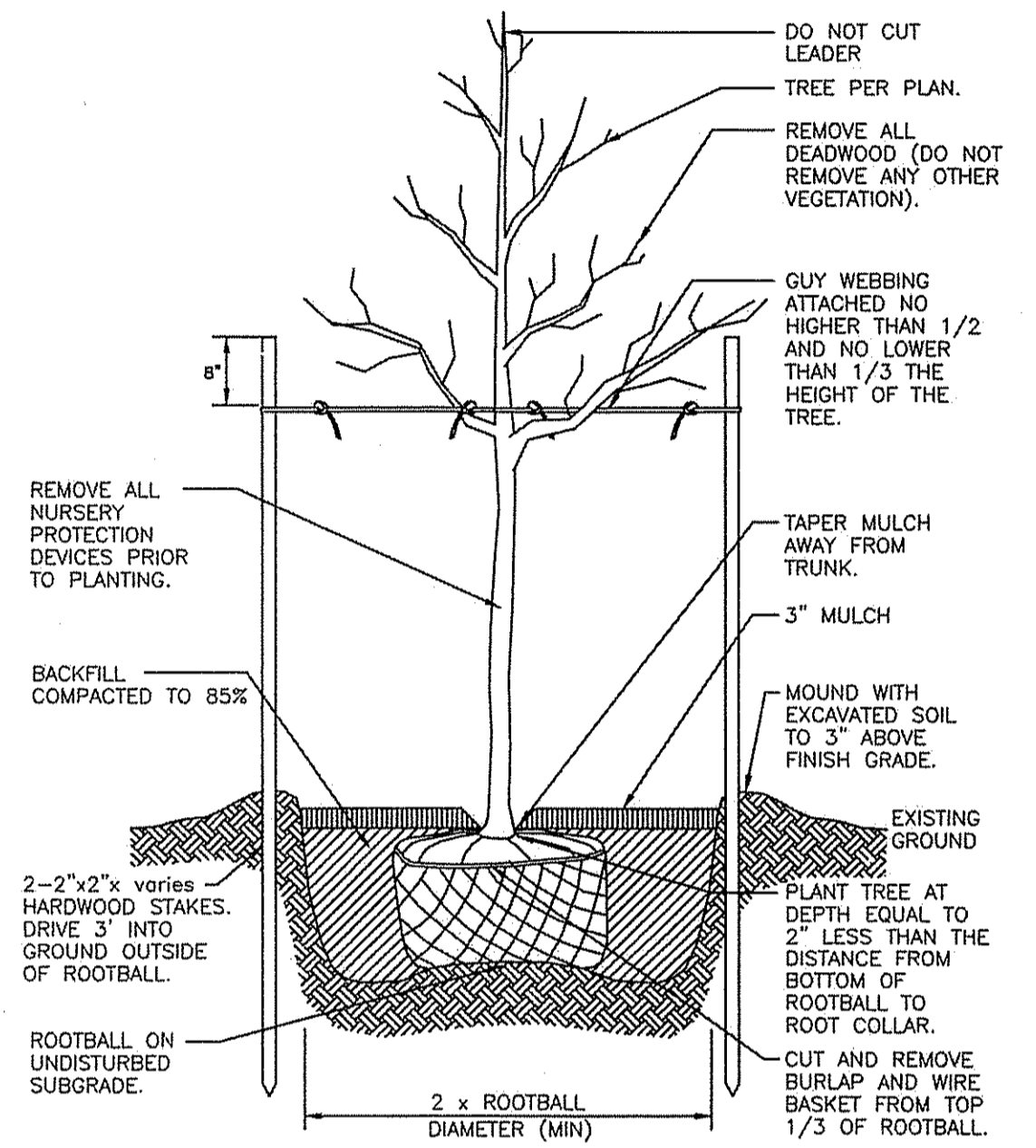
NOTES:
1. ALL PVC DRAIN PIPE SHALL BE SCHEDULE 80 PVC.
2. SITE IRRIGATION WILL BE CONNECTED TO DOMESTIC WATER SERVICE WITHIN BUILDING INTERIOR.

GENERAL LANDSCAPE NOTES

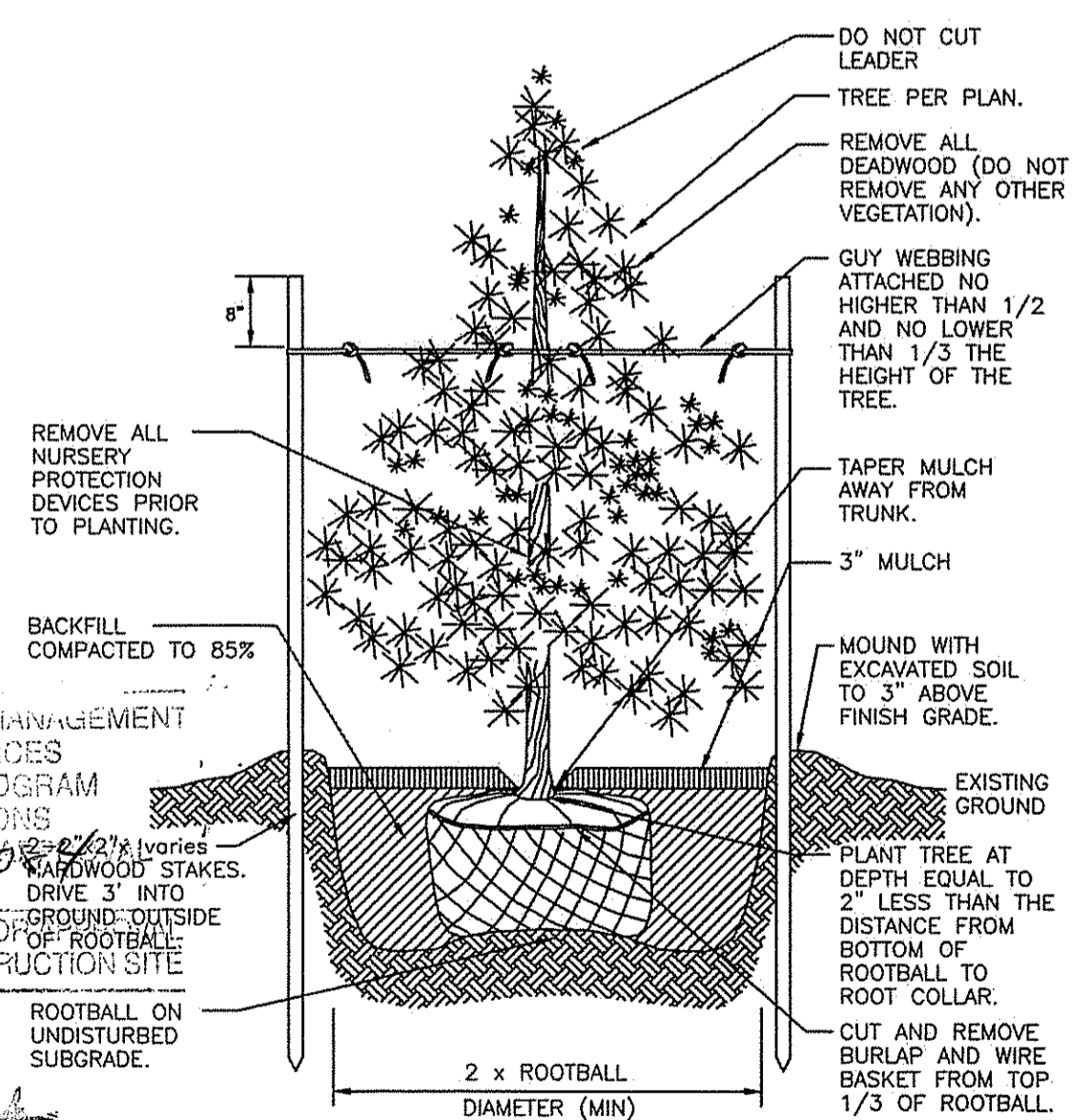
1. ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
3. INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
4. STAKE ALL TREES OVER 5' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
5. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFFSET LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
6. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
7. LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR ON CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
8. PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
9. PRUNING: THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.
10. DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.
11. DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.
12. IRRIGATION SHALL BE PROVIDED FOR ALL PROPOSED LANDSCAPING DESIGN BY OTHERS.



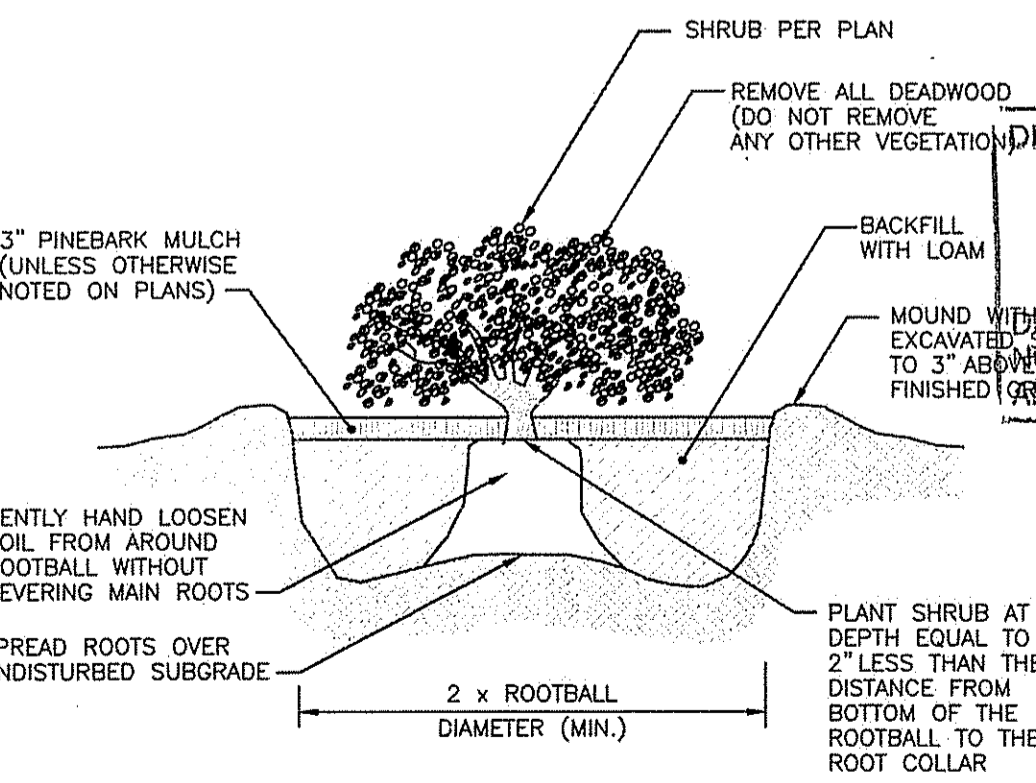
Perennial Planting Detail
NOT TO SCALE



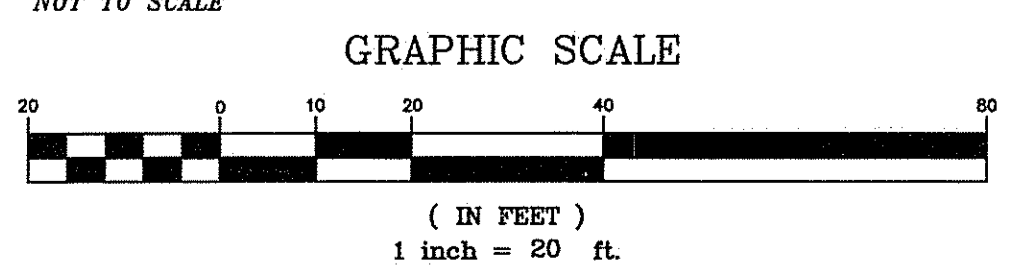
Canopy Tree Planting Detail
NOT TO SCALE



Evergreen Tree Planting Detail
NOT TO SCALE

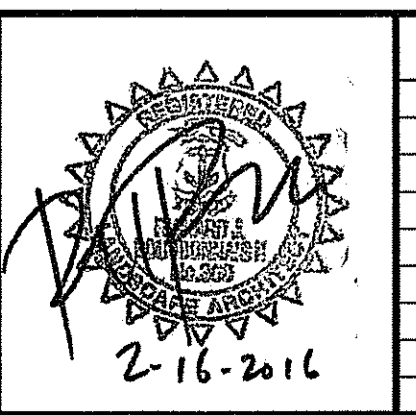


Container Grown Shrub and Perennial Planting Detail
NOT TO SCALE



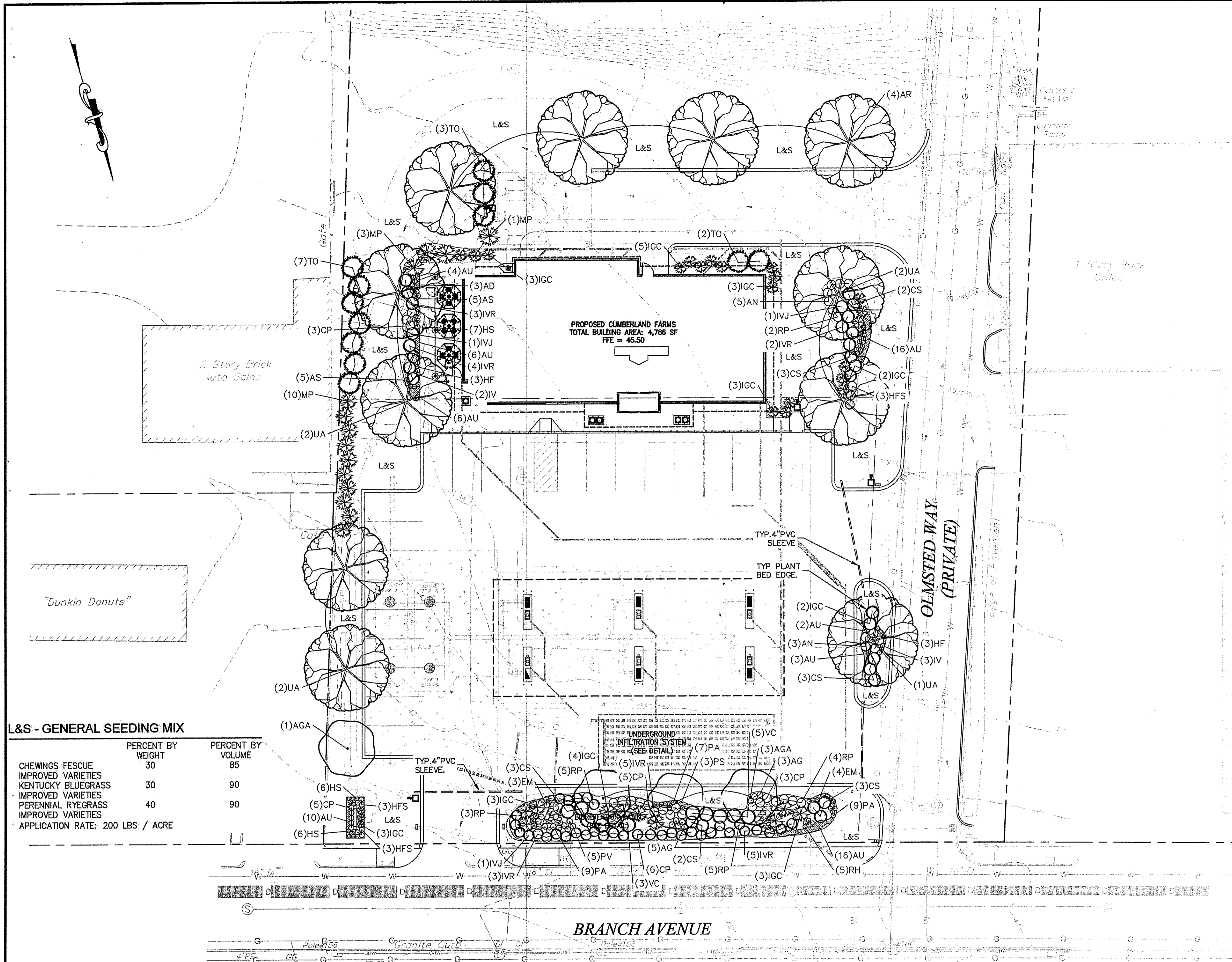
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER # 2016-000000
MAY 20 2016

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GROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 COLLIS STREET, P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
401-273-6000



REVISIONS		76,825 Sq. Ft.	744 & 750 BRANCH AVENUE
1	REVISED PER CFG COMMENTS 2/12/2016	1.76 ACRES	PROVIDENCE, RHODE ISLAND
2	REVISED PER CFG COMMENTS 2/15/2016	V# NEW	SCALE: 1" = 20'
		Store# NEW	DATE: JANUARY 28, 2016
		Gas Station# NEW	DWG: 6969-LANDSCAPE
		Facility# NEW	DRAWN BY: GAA

Cumberland
LANDSCAPE PLAN
CFG08.0



L&S - GENERAL SEEDING MIX

	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90

APPLICATION RATE: 200 LBS / ACRE

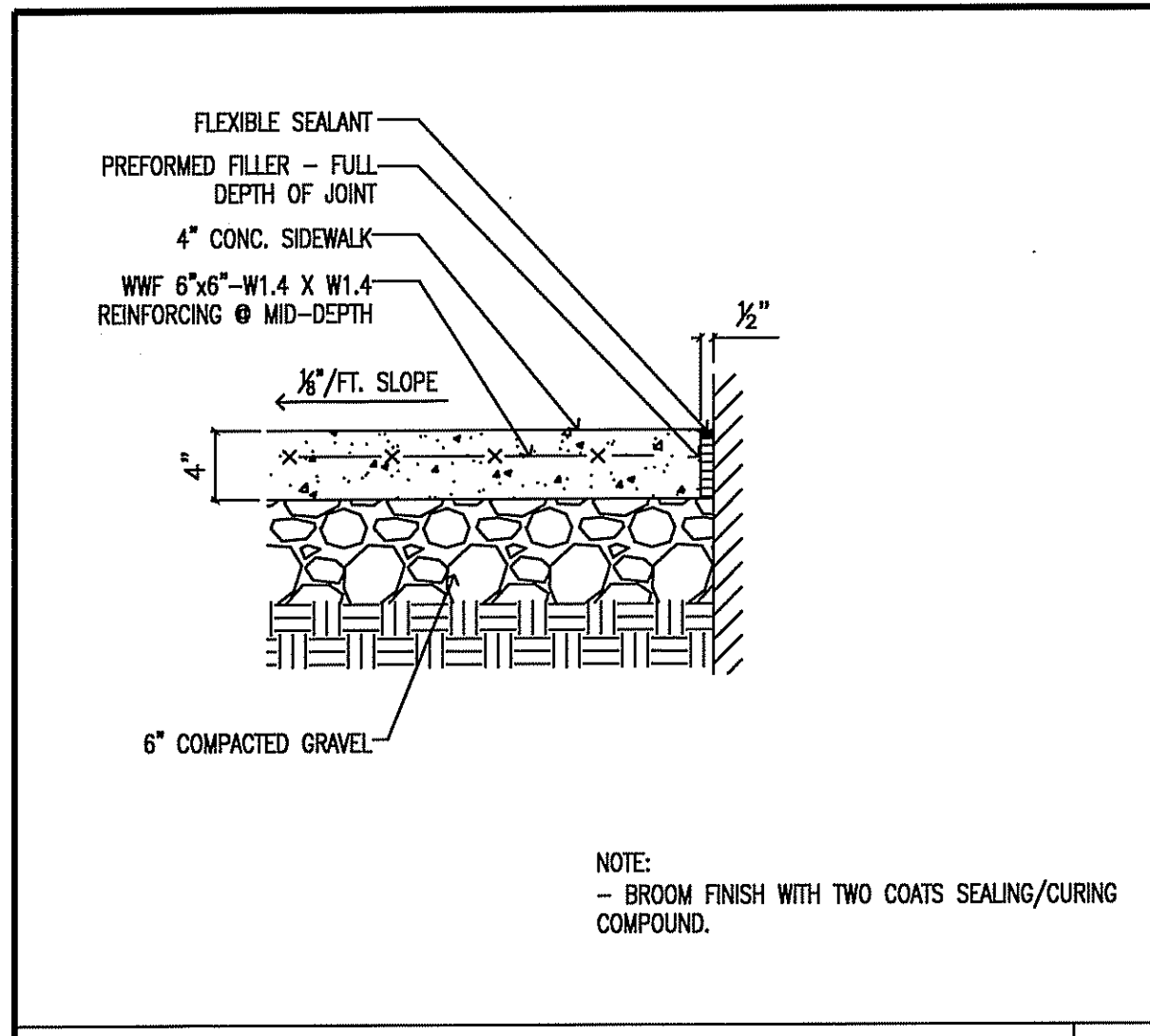
PLANT LIST:

CANOPY TREES, FLOWERING TREES, AND EVERGREENS				
AR	ACER RUBRUM 'FRANKSRED' RED SUNSET SWAMP MAPLE	4	2'-2.5" B&B	
AGA	AMELANCHIER x GRANDIFLORA 'AUT. BRILL.' AUTUMN BRILLIANCE SERVICEBERRY	4	8'-9" B&B	CLUMP
TO	THUJA OCCIDENTALIS 'NIGRA' DARK GREEN AMERICAN ARBORVITATE	12	6'-7" B&B	
UA	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	7	2'-2.5" B&B	
SHRUBS				
AN	AZALEA 'NANCY OF ROBIN HILL' EVERGREEN PALE PINK AZALEA	8		#3 CONTAINER
CP	COMPTONIA PERGRINA SWEET FERN	22		#3 CONTAINER
CS	CORNUS SERICEA RED TWIG DOGWOOD	16		#3 CONTAINER
HFS	HYPERICUM FRONDOSUM 'SUNBURST' GOLDEN ST JOHN'S WORT	12		CONTAINER
IGC	ILEX GLABRA 'COMPACTA' COMPACT INKBERRY	31		#5 CONTAINER
IVJ	ILEX VERTICILLATA 'JIM DANDY' JIM DANDY WINTERBERRY MALE	3		#3 CONTAINER
IVR	ILEX VERTICILLATA 'RED SPRITE' RED SPRITE WINTERBERRY FEMALE	22		#3 CONTAINER
MP	MYRTICA PANNSILVANICA NORTHERN BAYBERRY	14		#5 CONTAINER
RP	ROSA PALUSTRIS SWAMP ROSE	19		#5 CONTAINER
VC	VACCINIUM CORYMBOSUM HIGHBUSH BLUEBERRY	8		CONTAINER

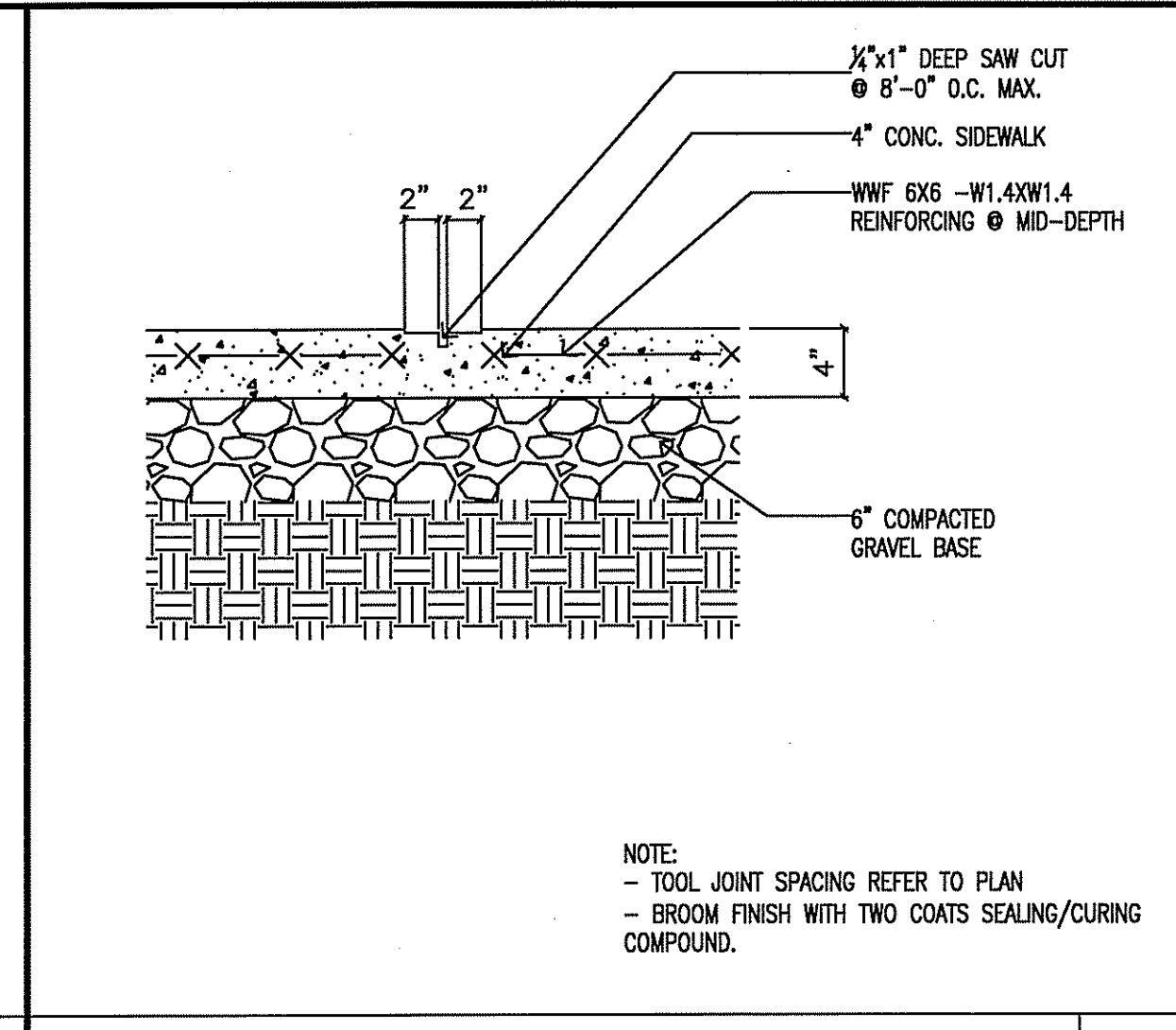
GROUNDCOVERS, PERENNIALS, AND VINES				
AD	ASTER DIVARICATUS WHITE WOOD ASTER	3	#2 CONTAINER	18" O.C.
AG	ANDROPOGON GERARDII BIG BLUE STEM	8	#1 CONTAINER	6" O.C.
AS	ANEMONE SYLVESTRIS SNOWCROP ANEMONE	10	CONTAINER	6" O.C.
AU	ARCTOSTAPHYLOS UVA-URSI BEARBERRY	63	#1 CONTAINER	18" O.C.
EM	EUPATORIUM MACULATUM JOE-PYE WEED	7	#2 CONTAINER	24" O.C.
HF	HOSTA 'FIRE AND ICE' PLANTAIN LILY	6	CONTAINER	12" O.C.
HS	HEMEROCALLIS 'STELLA DE ORO' STELLA DE ORO DAYLILY	19	#2 CONTAINER	12" O.C.
IV	IRIS VERSICOLOR BLUE FLAG	5	CONTAINER	6" O.C.
PV	PANICUM VIRGATUM SWITCH GRASS	5	CONTAINER	12" O.C.
PA	PENNISETUM ALOPECUROIDES LITTLE BUNNY FOUNTAIN GRASS	25	#2 CONTAINER	6" O.C.
PS	PHLOX STOLONIFERA PHLOX WHITE	3	#1 CONTAINER	12" O.C.
RH	RUDEBECKIA HIRTA BLACK EYED SUSAN	5	CONTAINER	12" O.C.

CALCULATION OF TREE CANOPY COVERAGE:

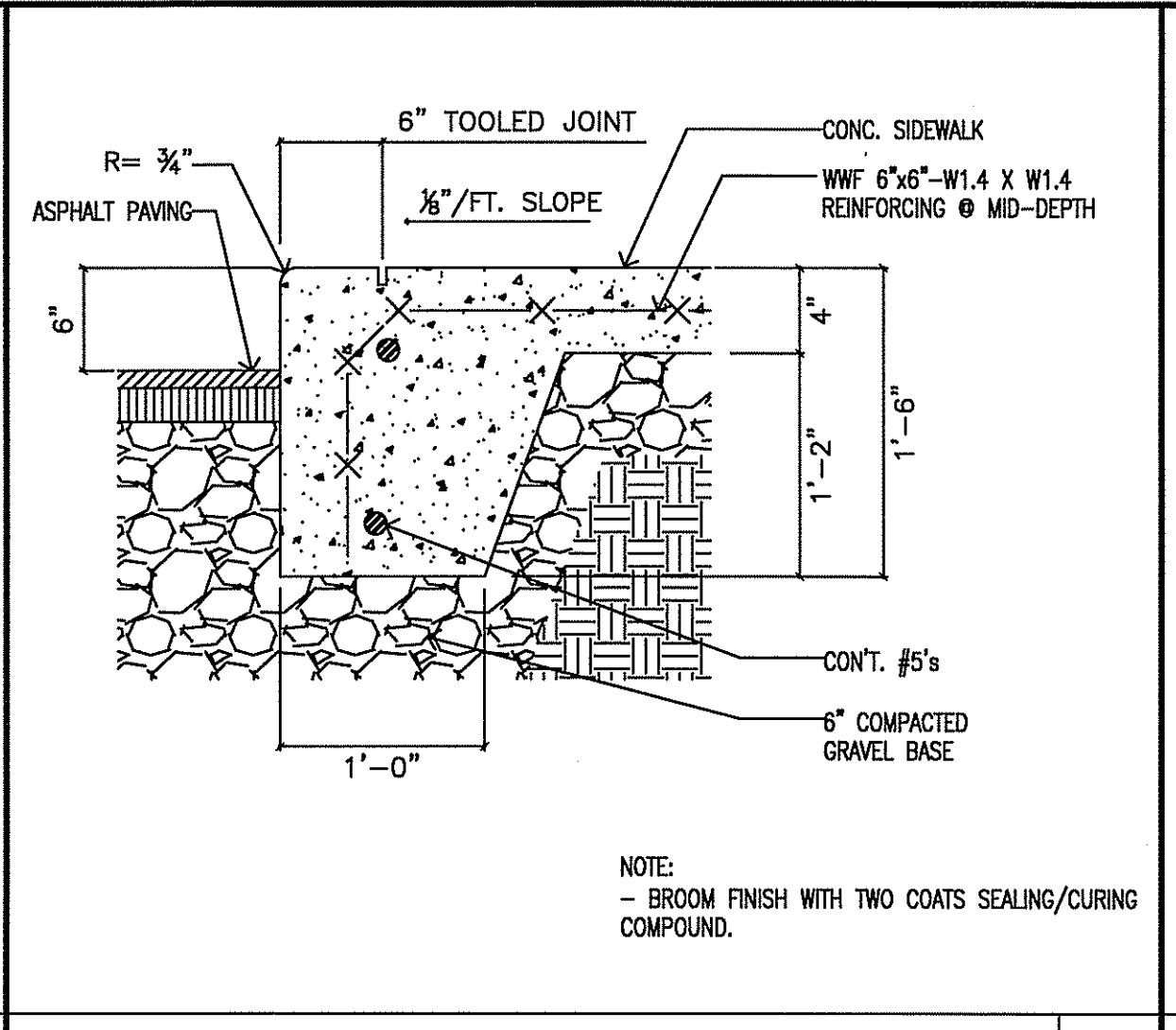
CANOPY COVERAGE:	NUMBER:	TOTAL SF:	LOT COVERAGE:
LARGE	11	11,000 SF	---
SMALL	4	1,200 SF	---
TOTAL:		12,200 SF	15.88%



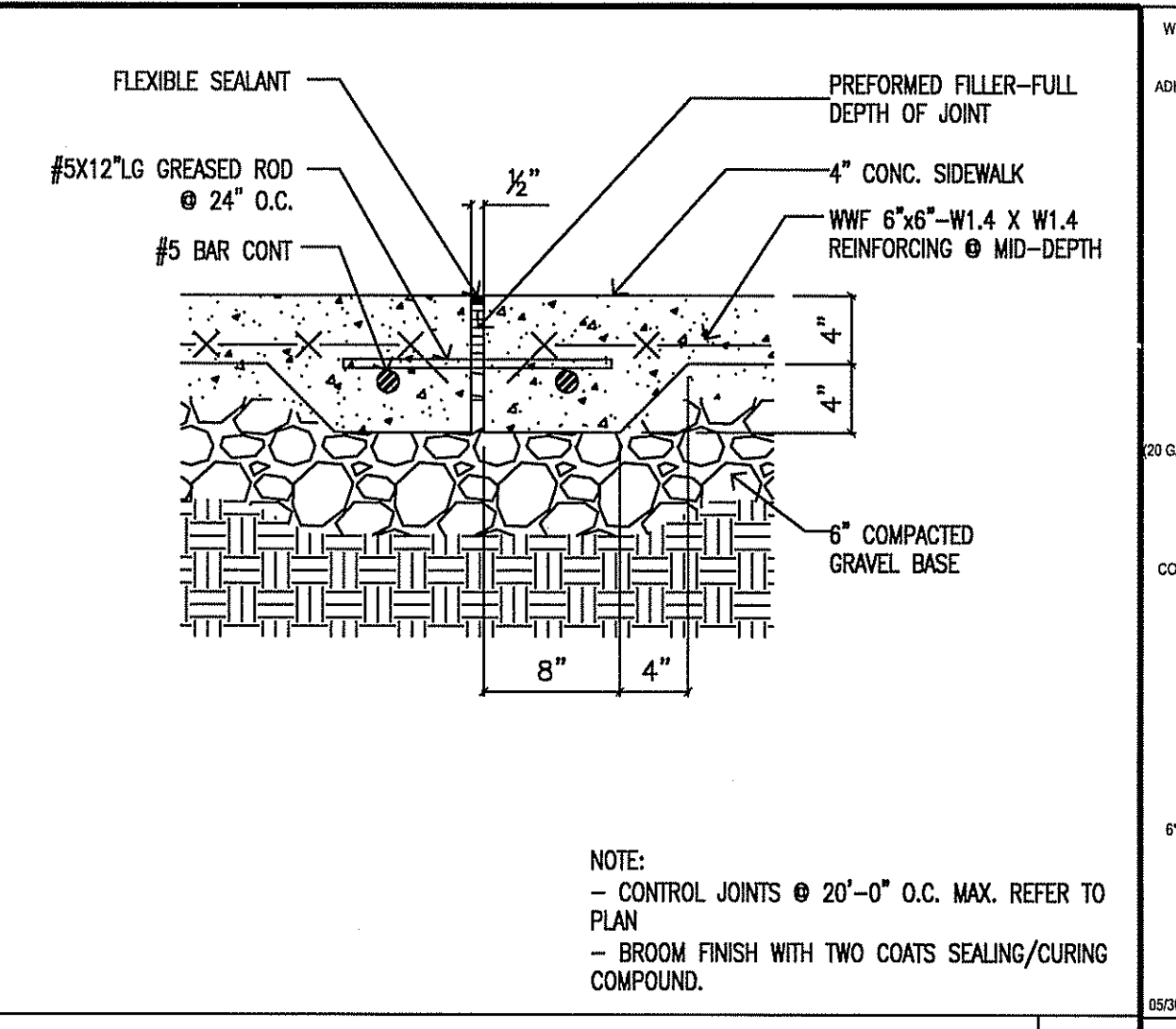
DETAIL @ SIDEWALK / BLD. WALL



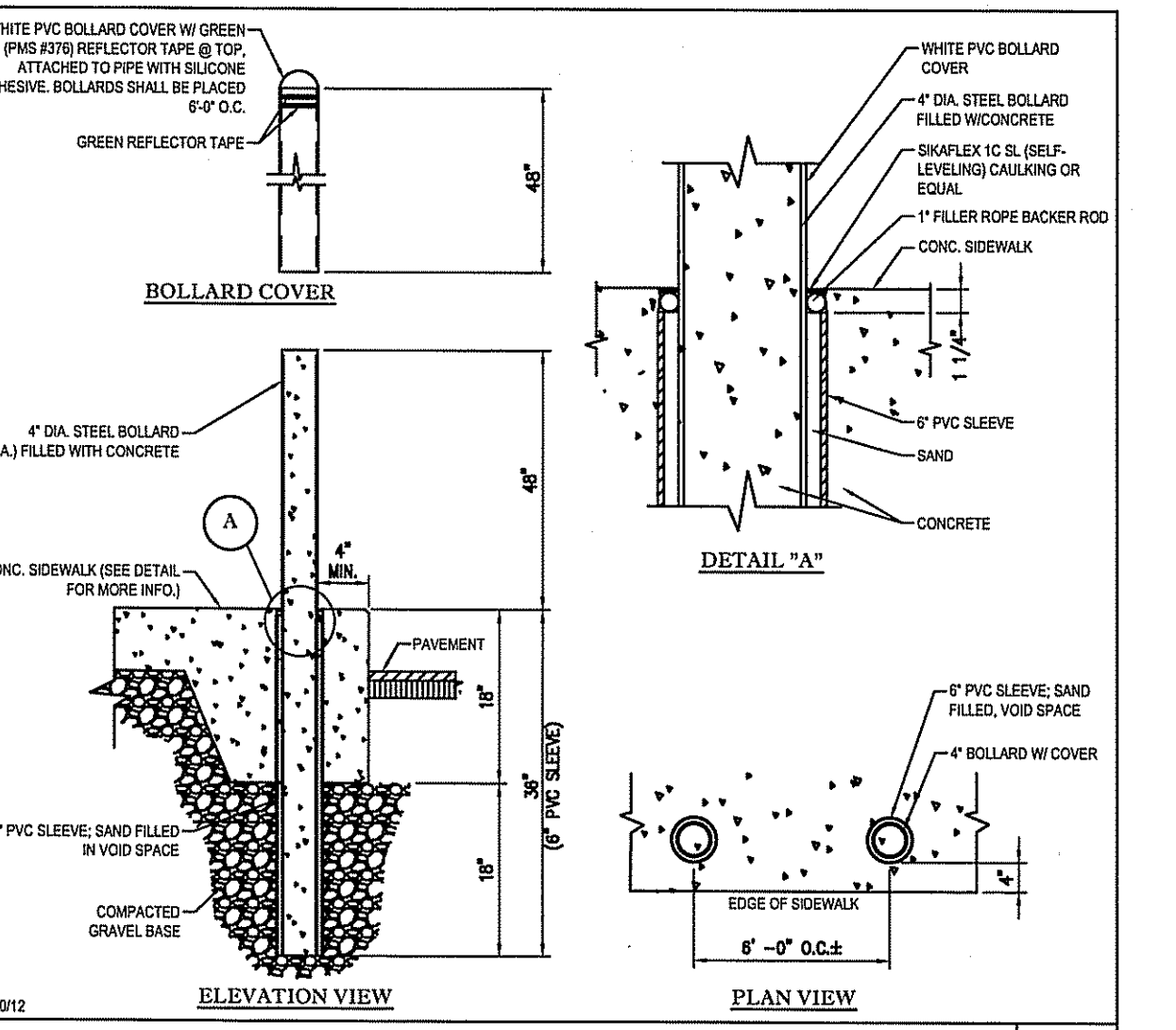
DETAIL @ SIDEWALK CONTROL JOINT



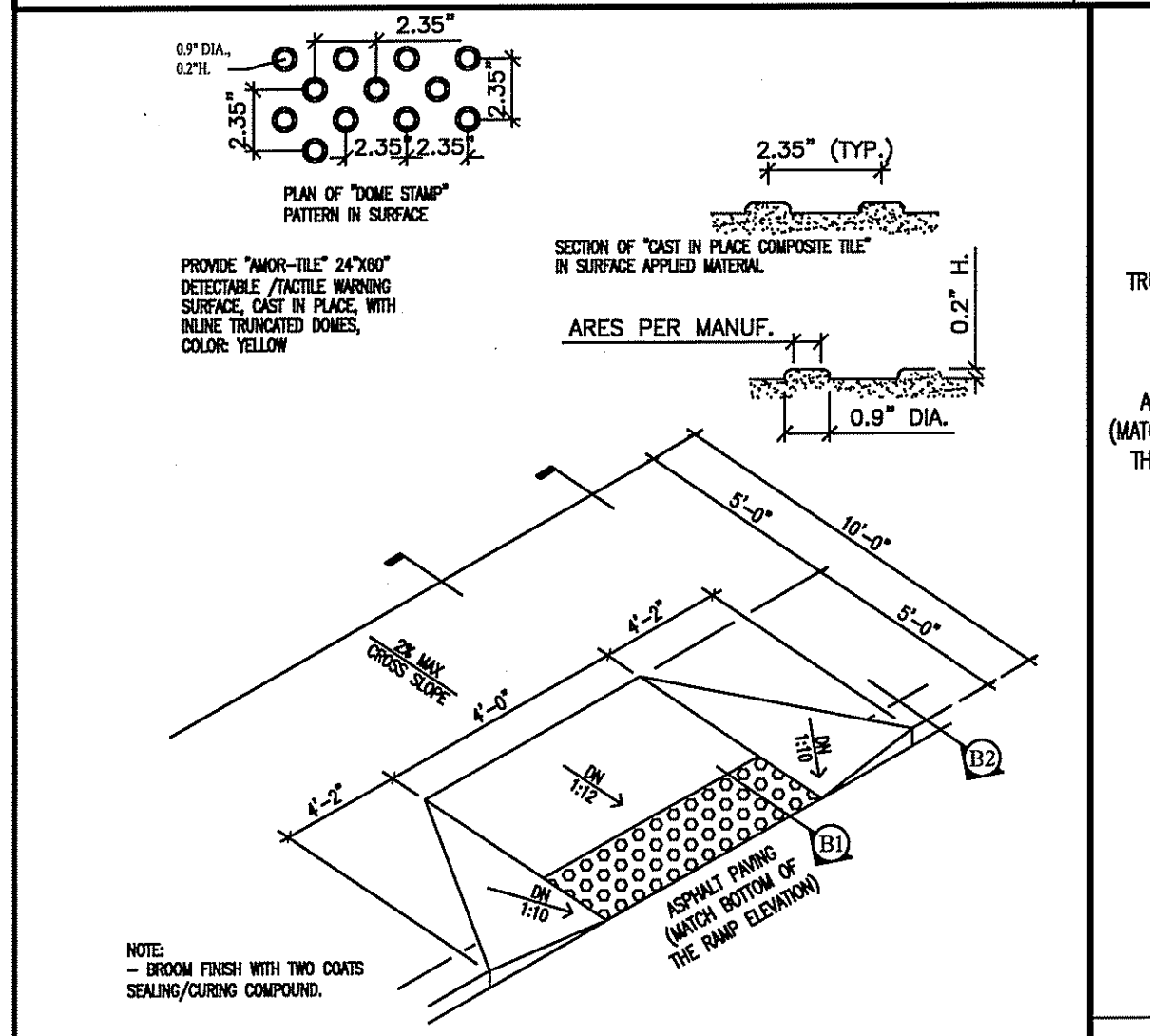
DETAIL @ SIDEWALK & CURB



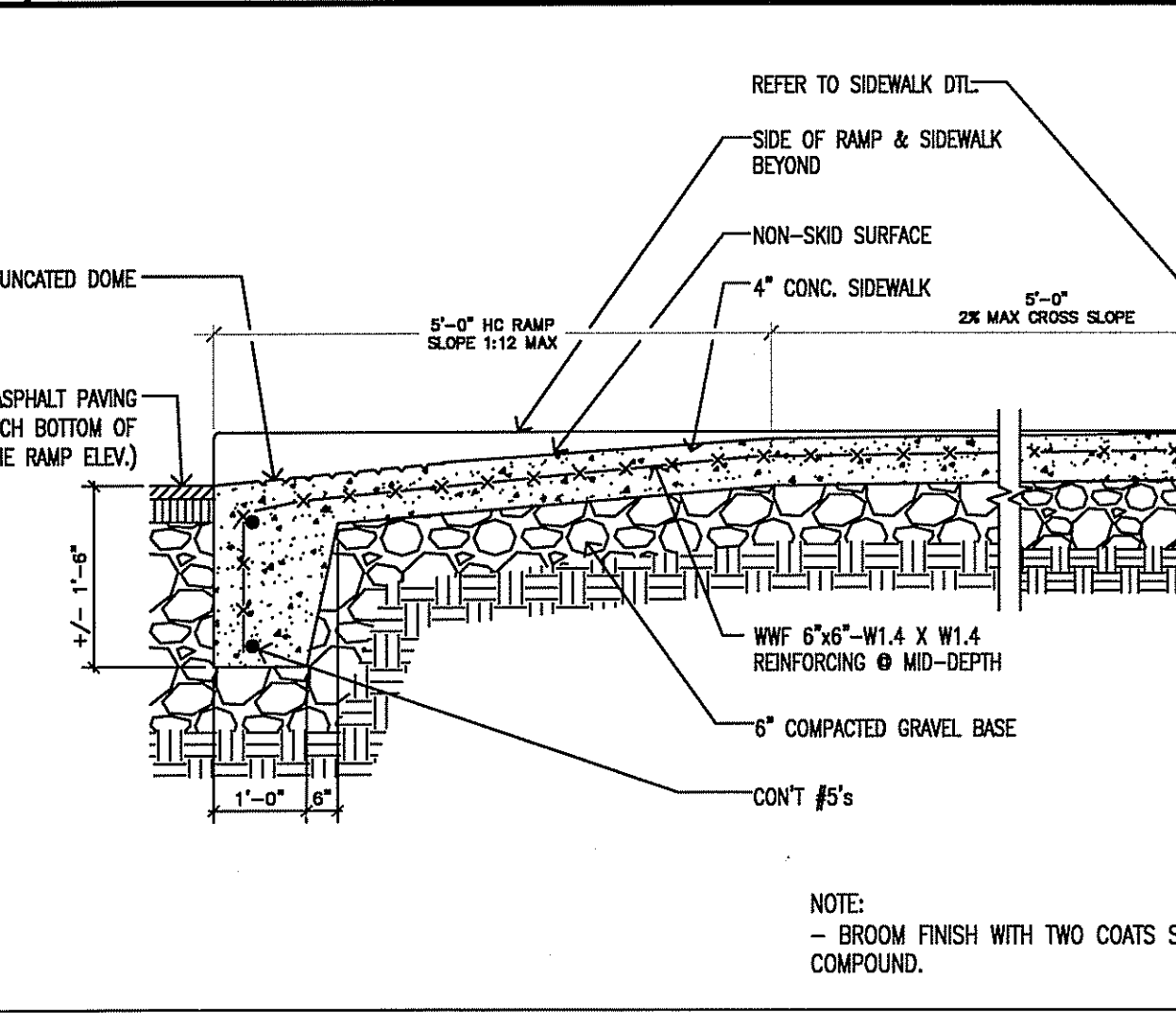
DETAIL @ SIDEWALK EXPANSION JOINT



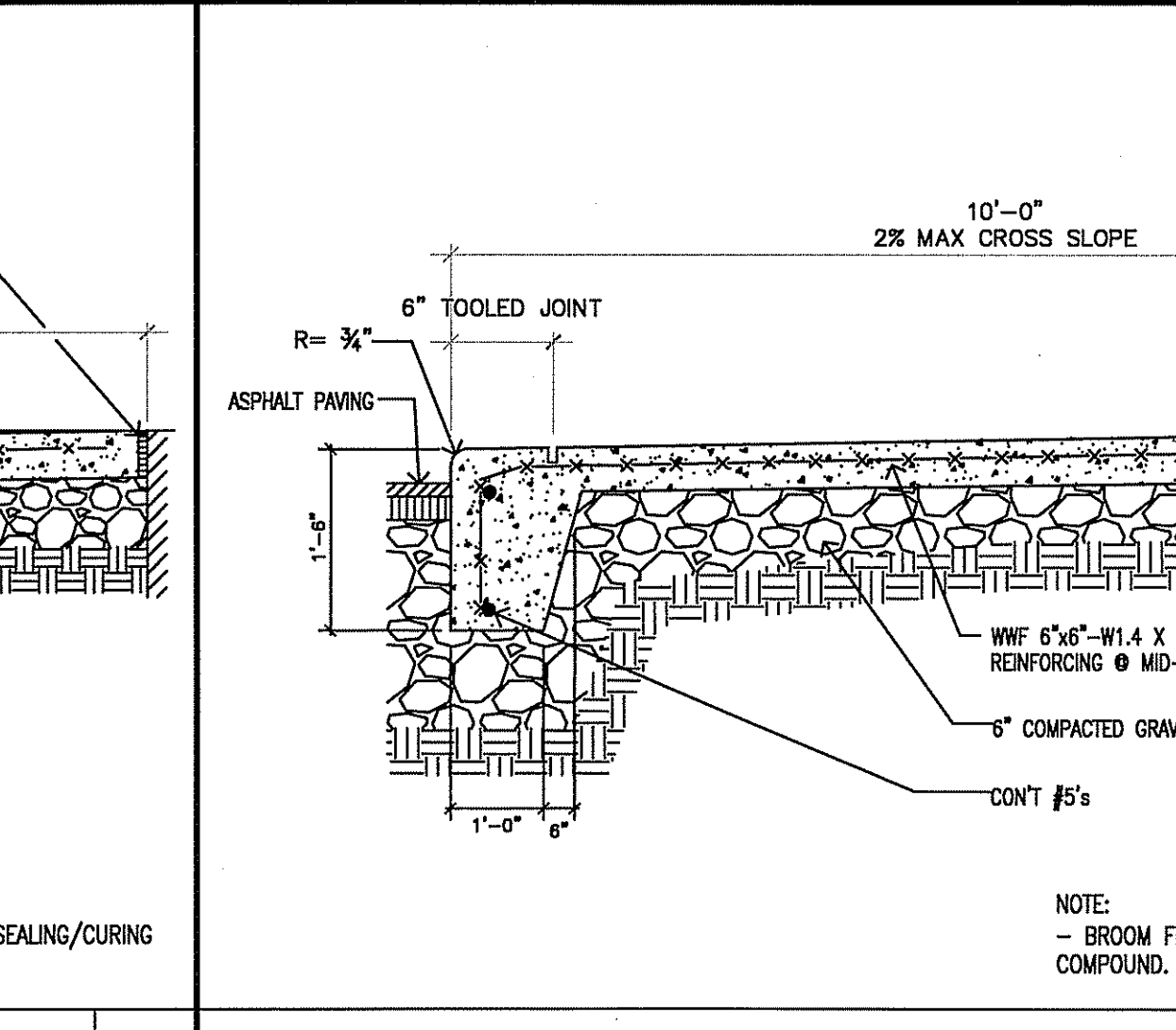
BOLLARD SET IN CONCRETE WALK



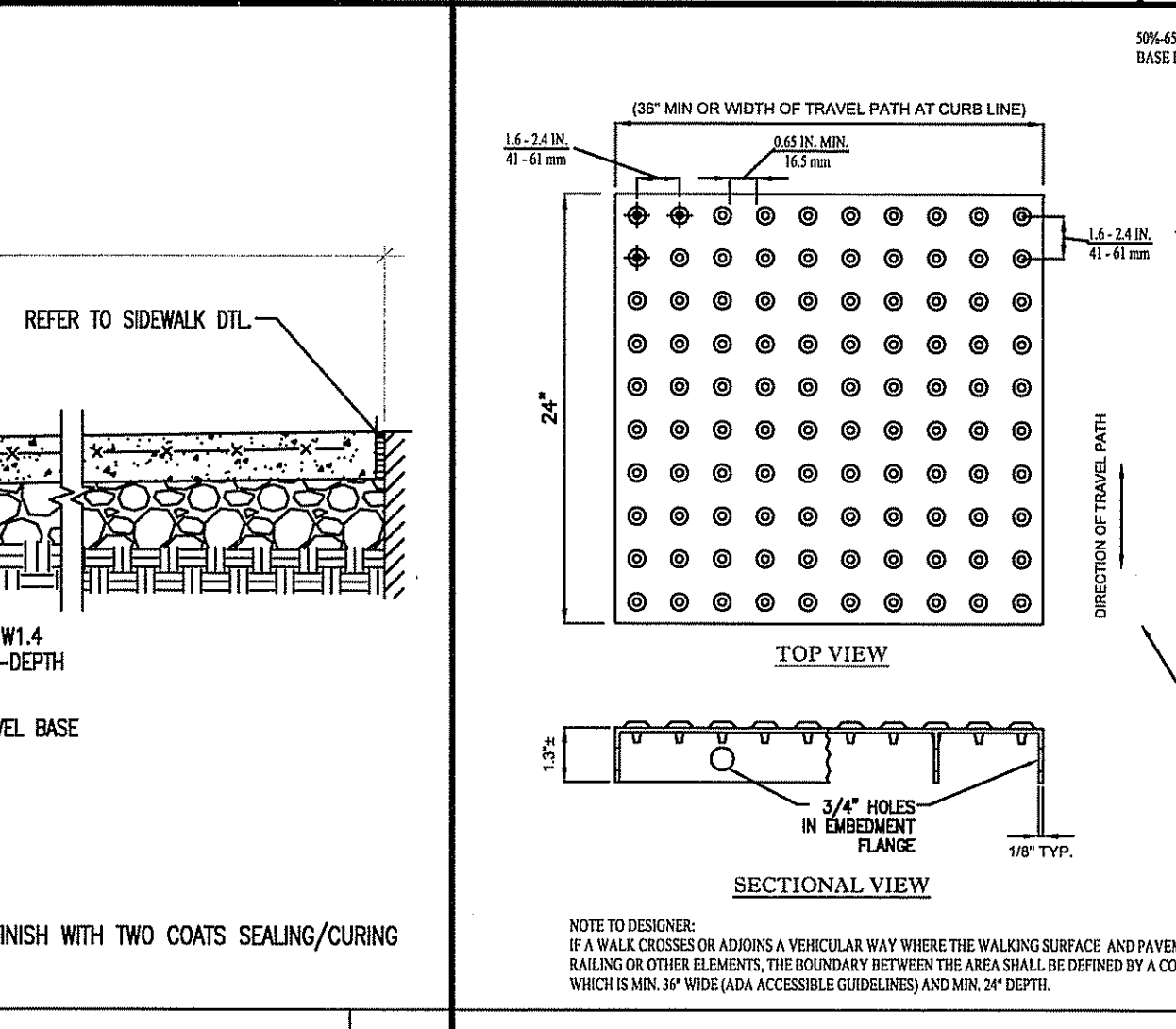
ADA ACCESSIBLE RAMP DETAIL @ STOREFRONT



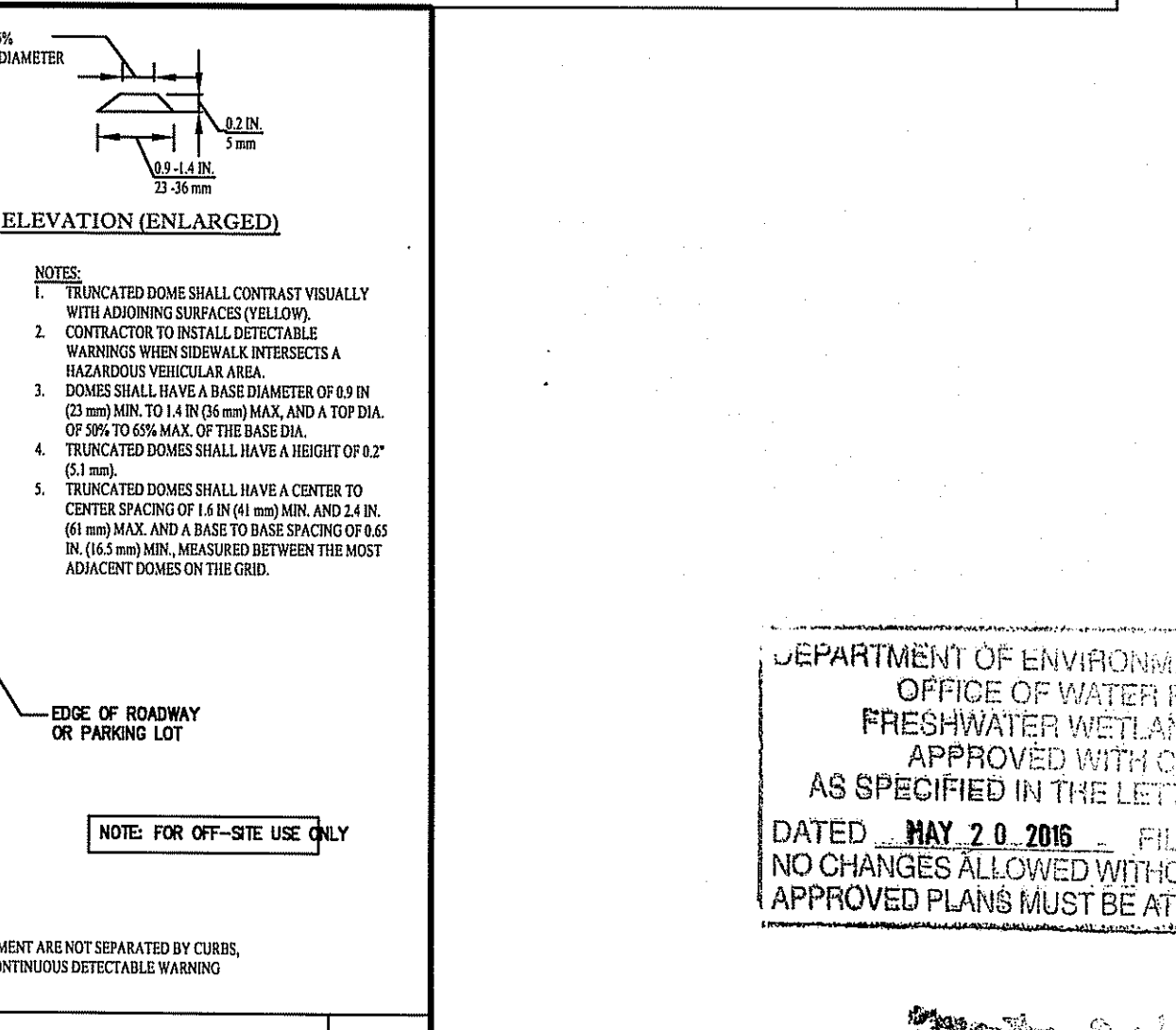
DETAIL @ RAMP - "B1"



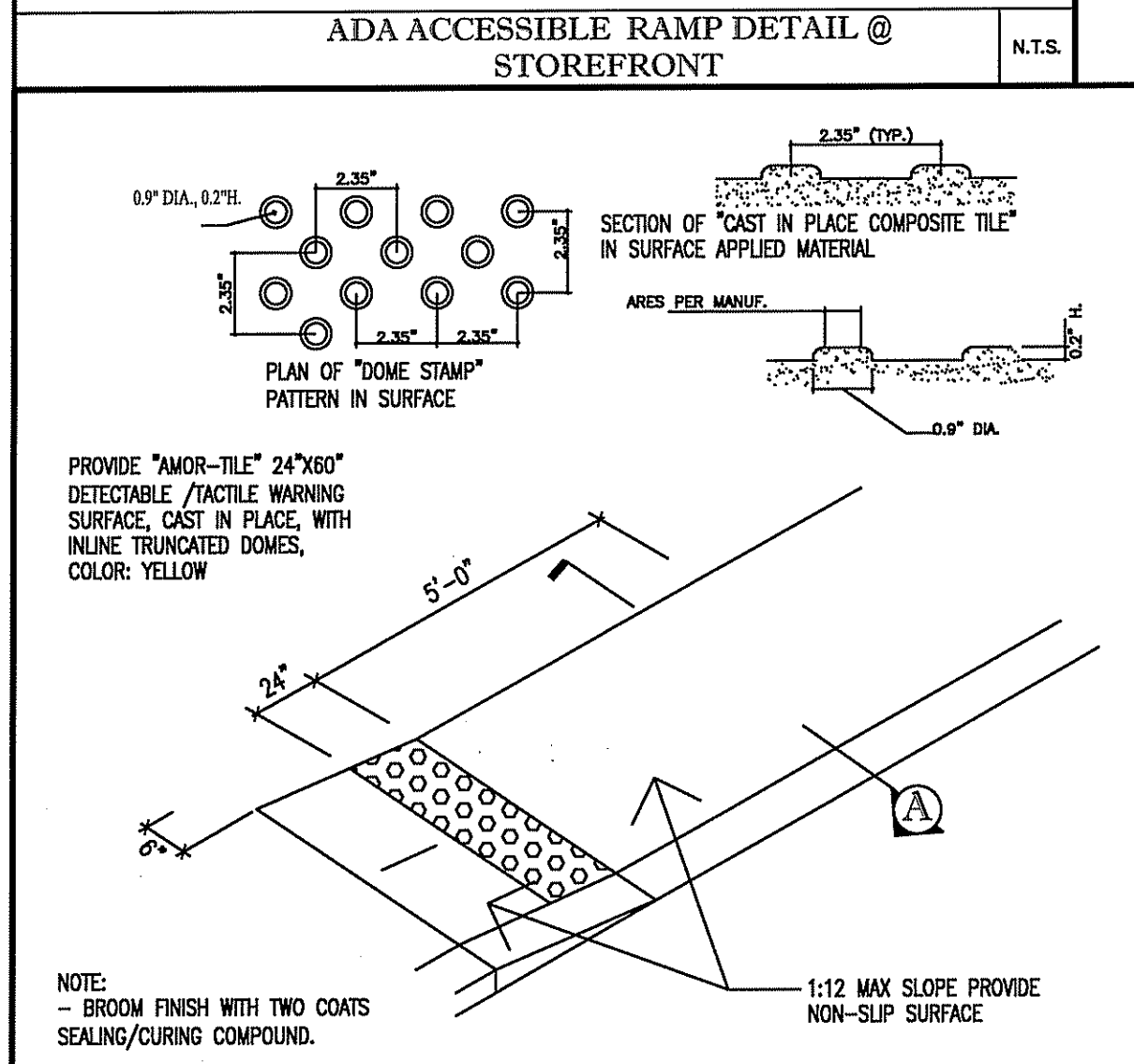
DETAIL @ RAMP - "B2"



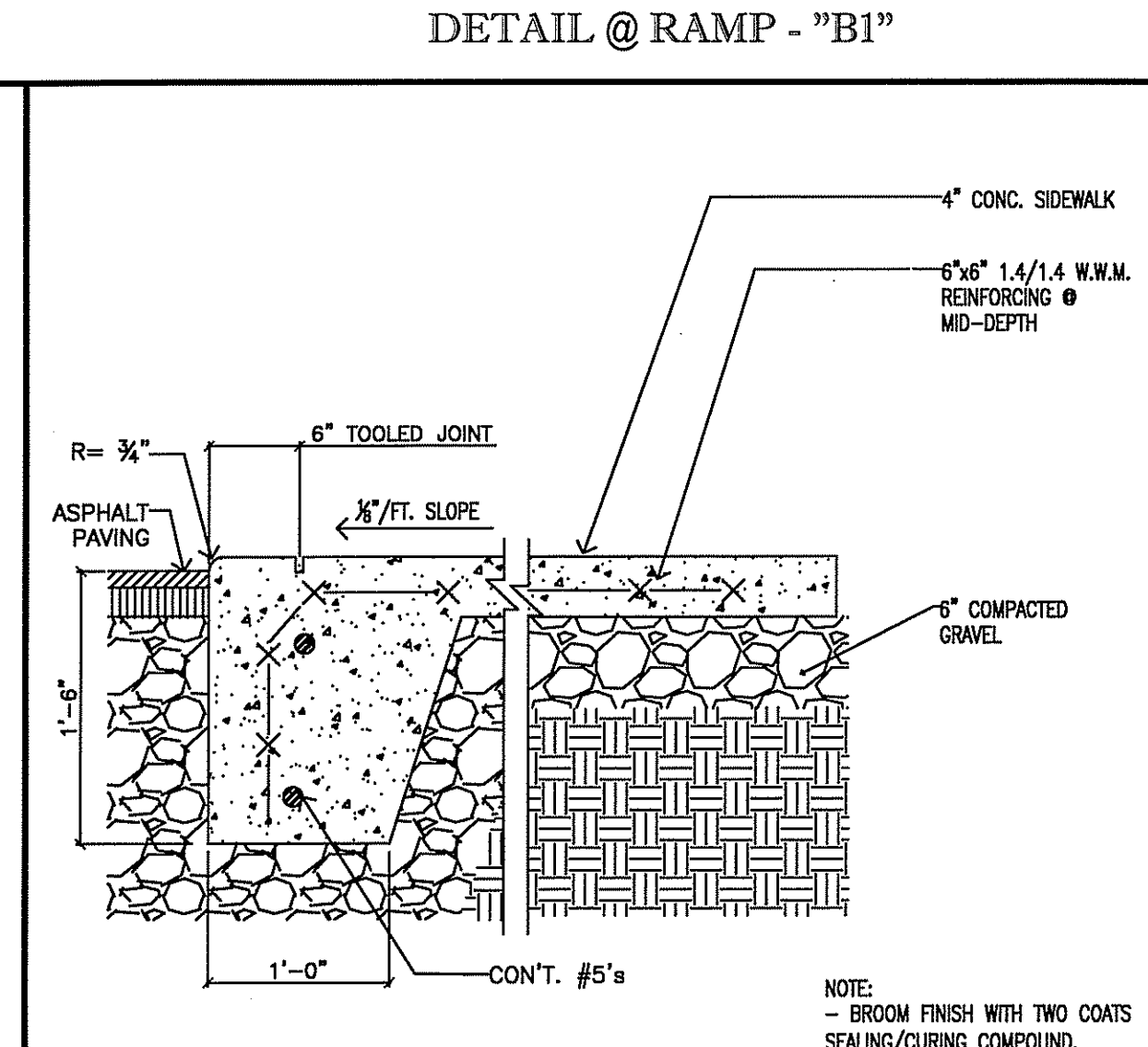
CAST-IN-PLACE DETECTABLE WARNING



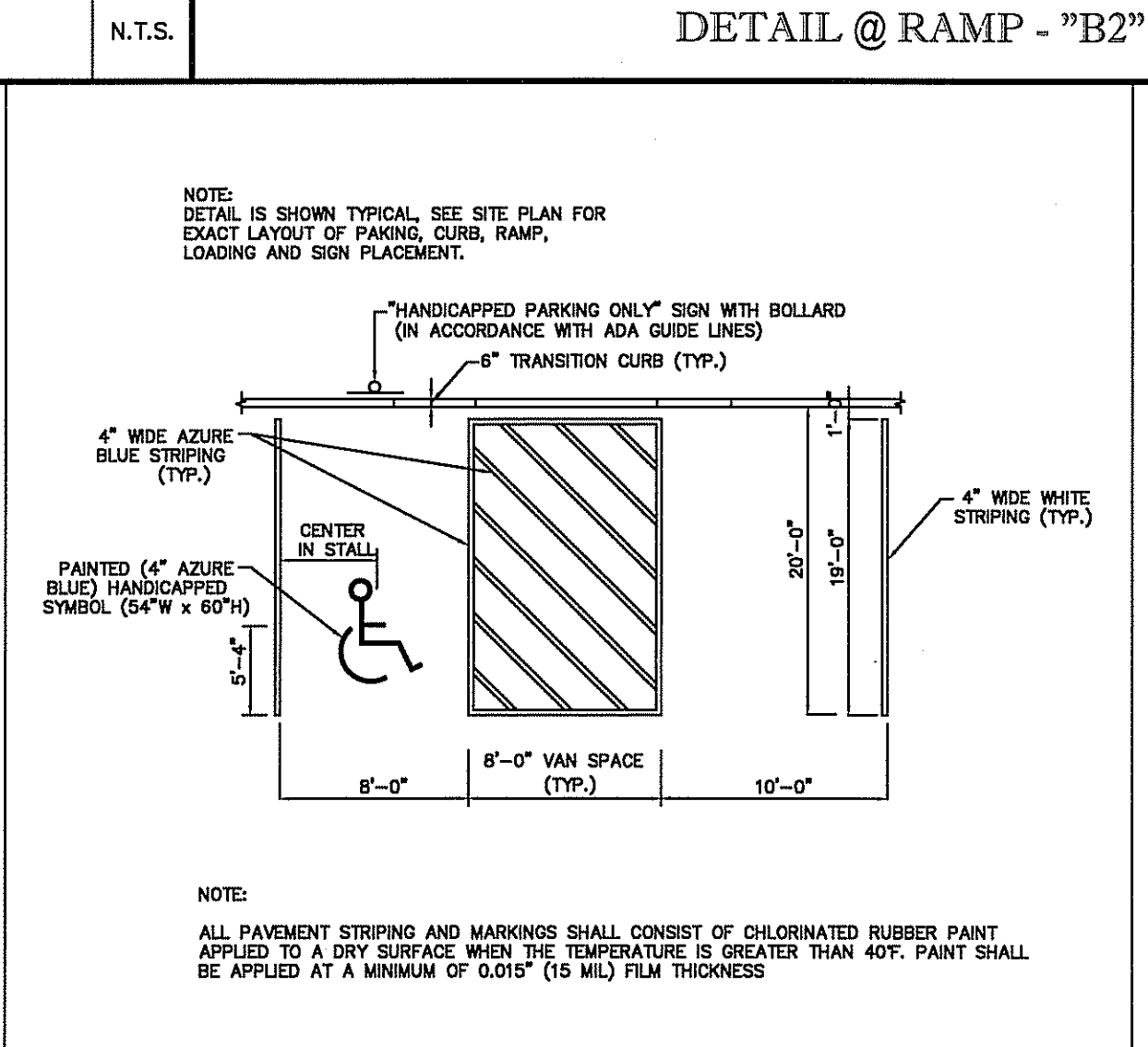
BOLLARD SET IN CONCRETE WALK



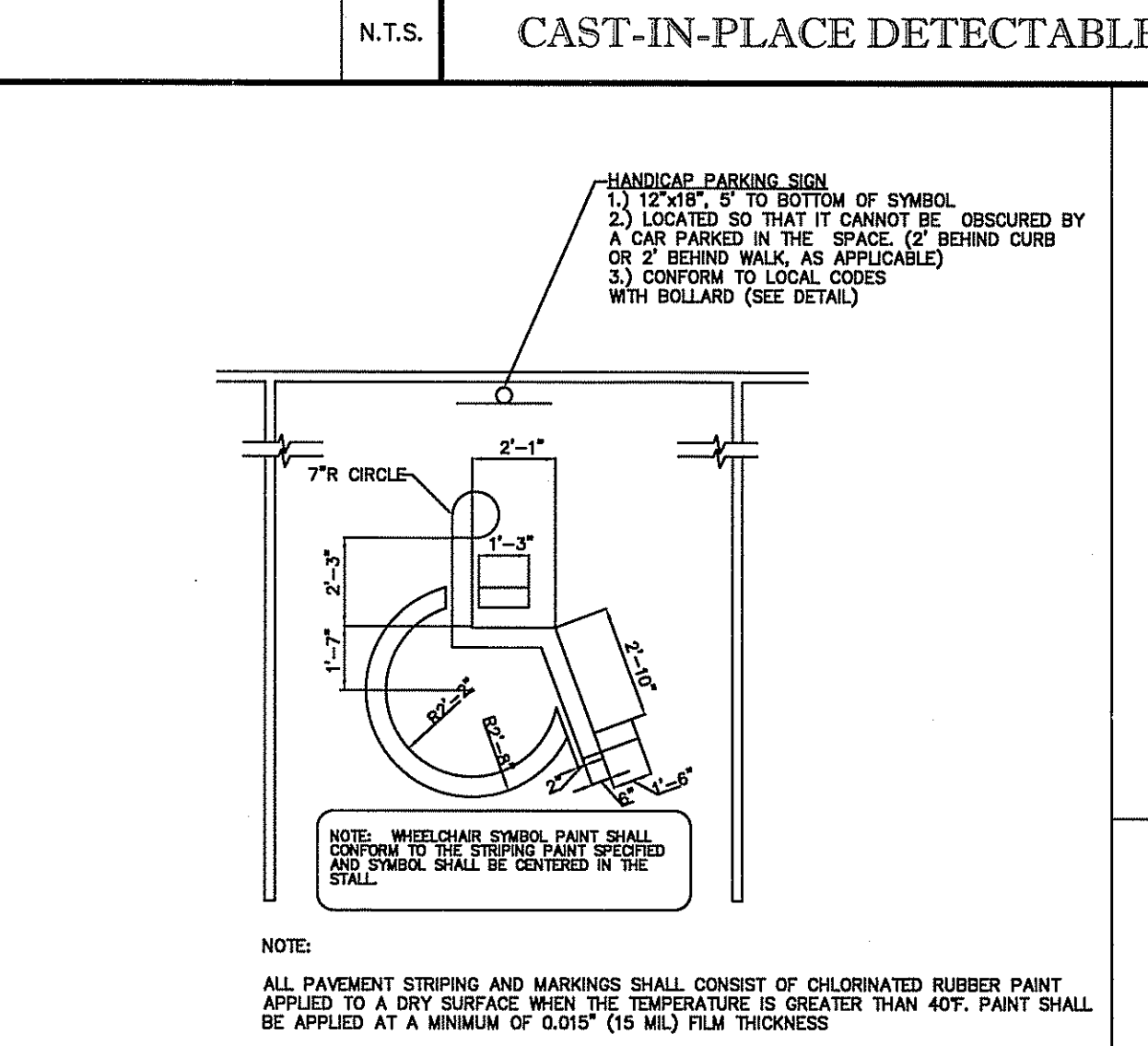
ADA ACCESSIBLE RAMP DETAIL



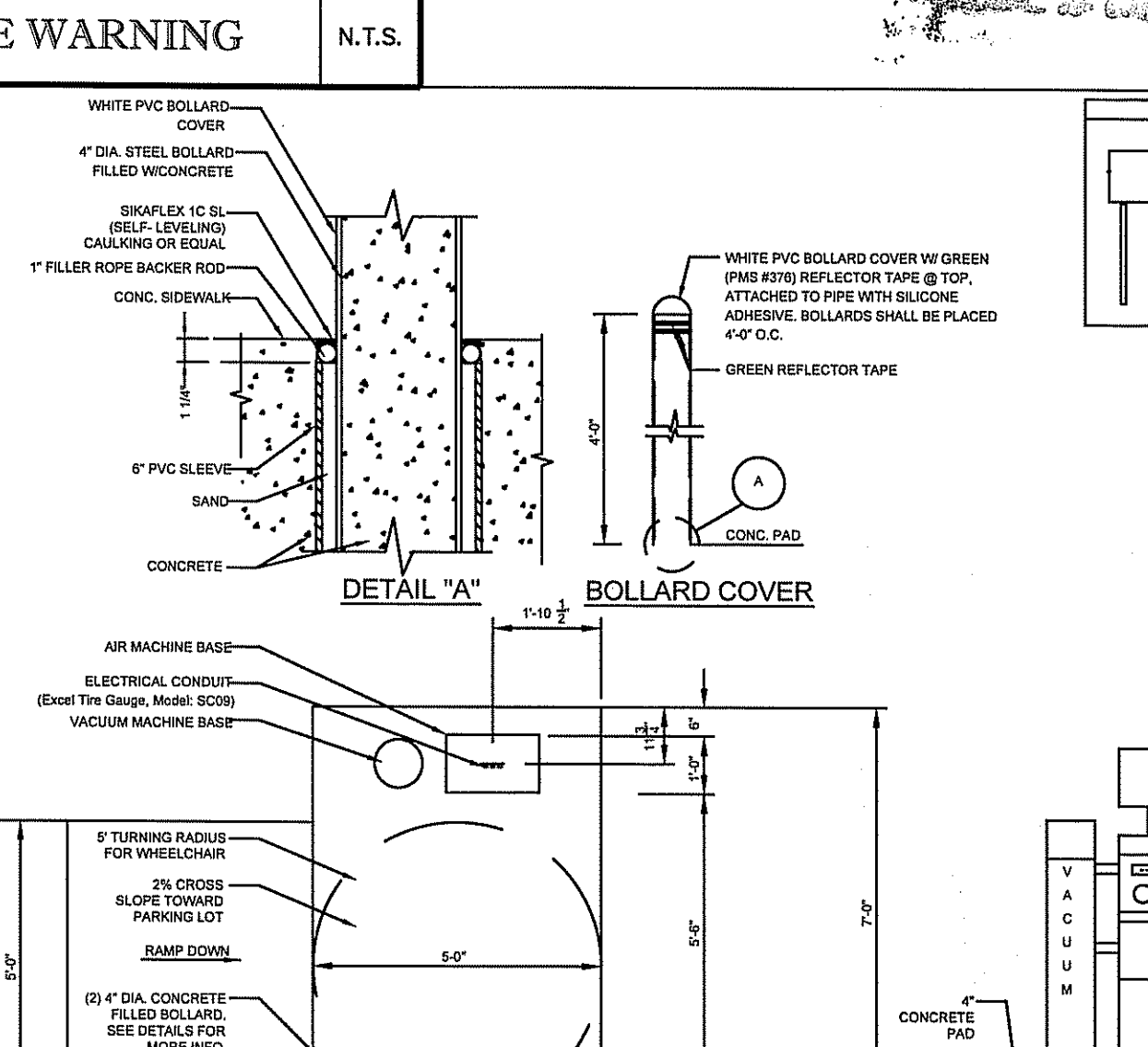
ADA ACCESSIBLE RAMP SECTION - "A"



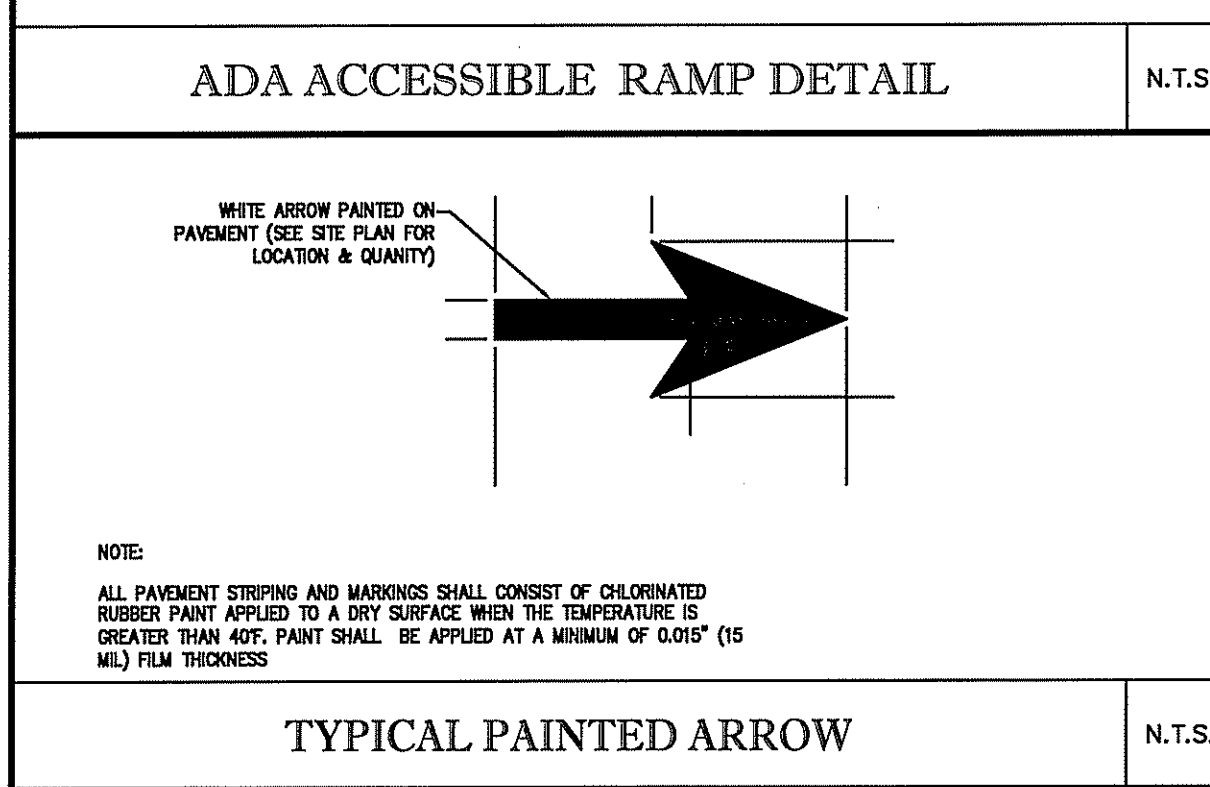
ADA ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL



ADA ACCESSIBLE PARKING STALL PAINTING DETAIL



CFI AIR MACHINE DETAIL



TYPICAL PAINTED ARROW

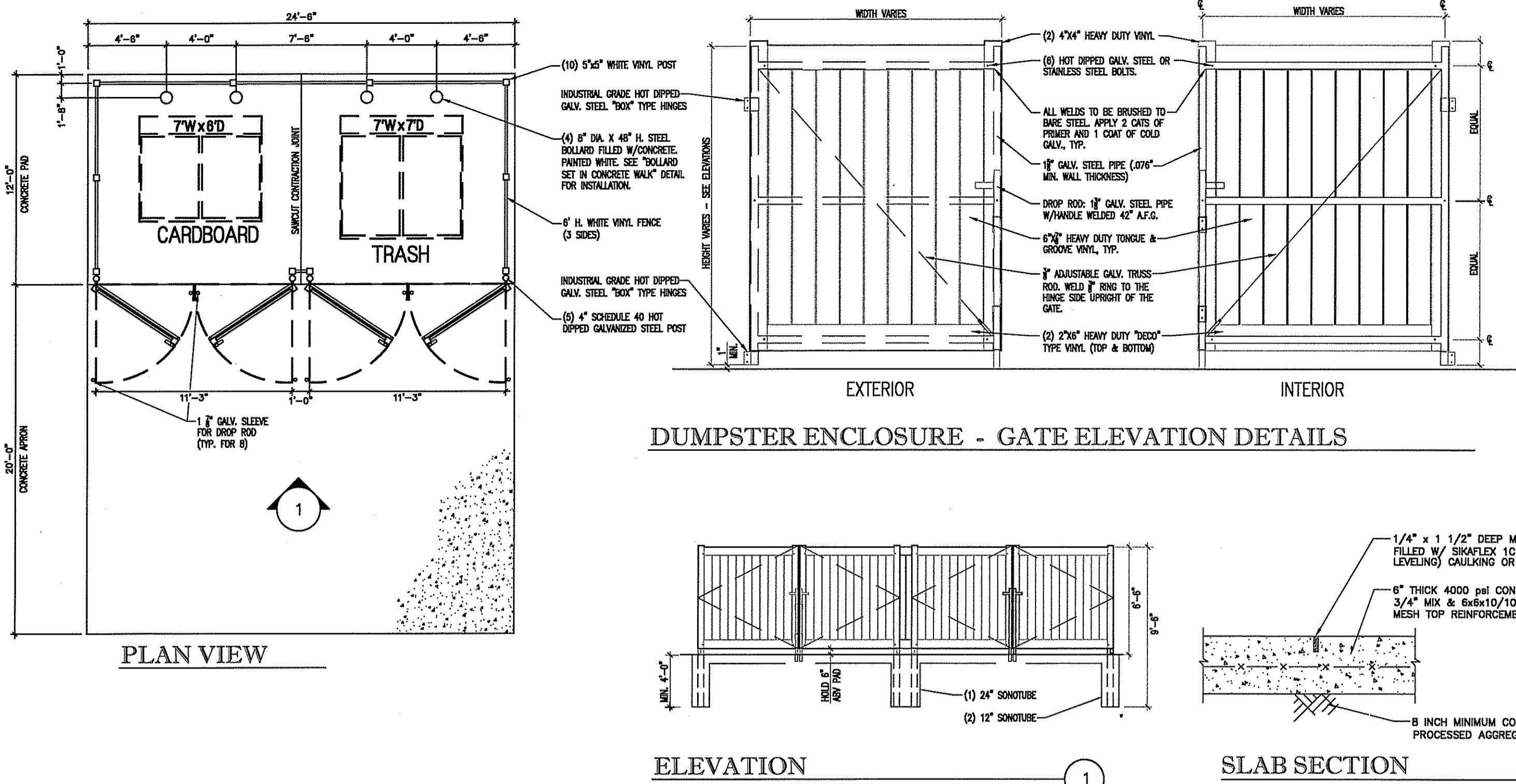
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 20 2016 FILE # 16-008
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

GROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
88 CORLISS STREET, P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
401-273-6000
Garofalo & Associates ©
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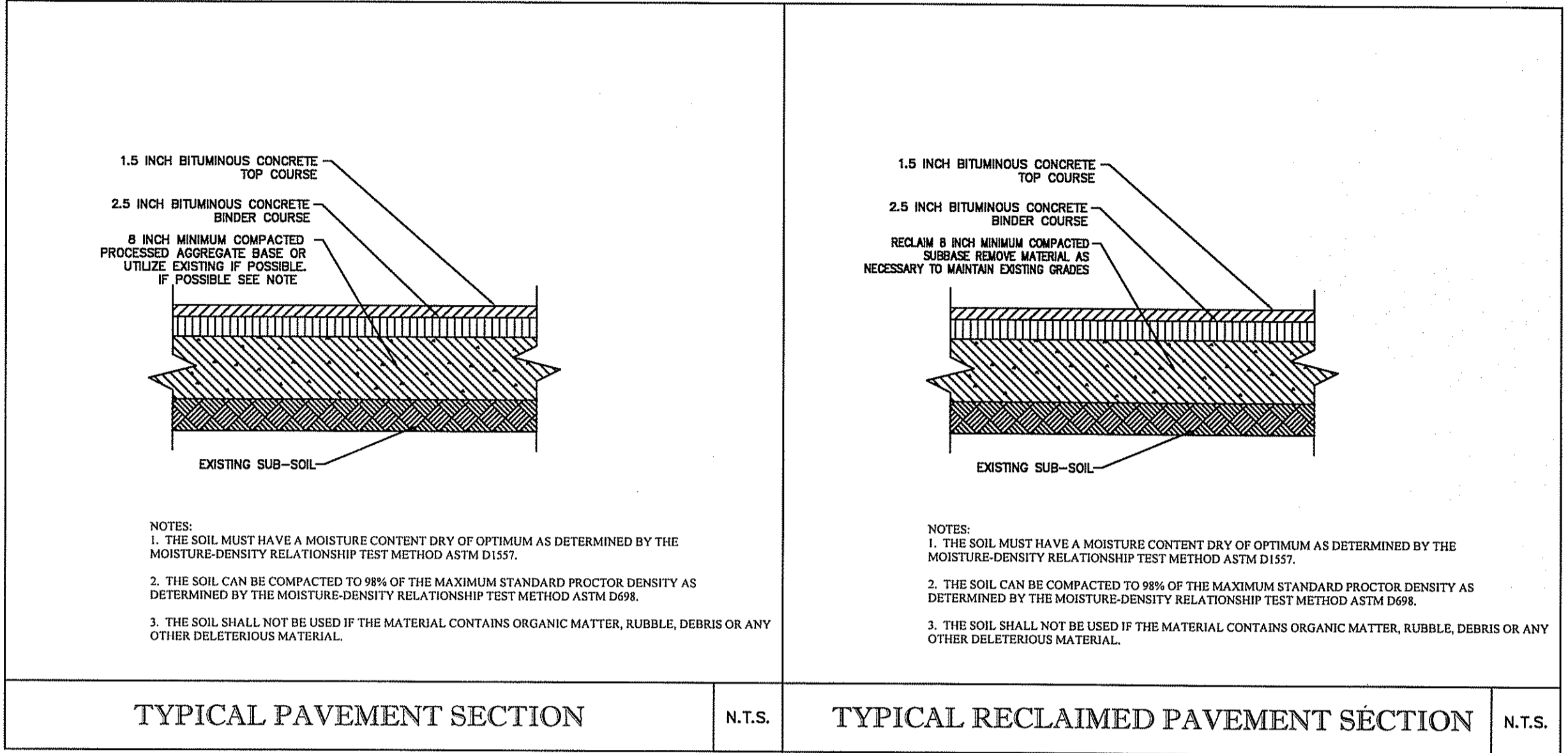
REVISIONS	
1	REVISED PER CFG COMMENTS 2/12/2016
2	REVISED PER CFG COMMENTS 2/15/2016

76,825 Sq. Ft.
1.76 ACRES
V# NEW
Store# NEW
Gas Station# NEW
Facility# NEW

744 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND
Cumberland
CUMBERLAND FARMS, INC.
100 Crossing Blvd
Frammingham, MA 01702
SCALE: AS SHOWN
DATE: JANUARY 28, 2016
DWG: 6899-DETAILS
DRAWN BY: GAA
SITE CONSTRUCTION DETAILS 1
CFG09.0



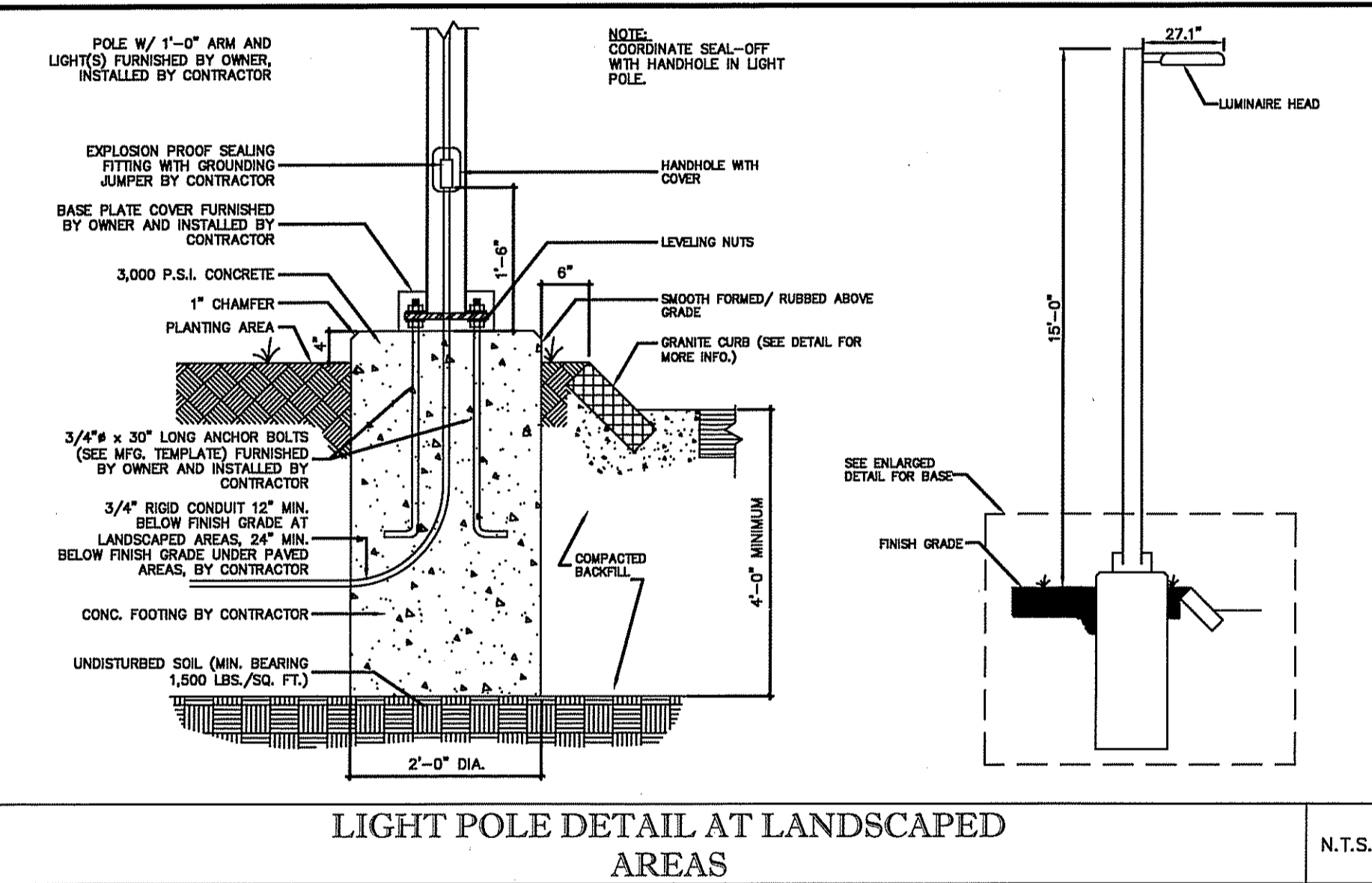
DUMPSTER ENCLOSURE - GATE ELEVATION DETAILS



TYPICAL PAVEMENT SECTION N.T.S. TYPICAL RECLAIMED PAVEMENT SECTION N.T.S.

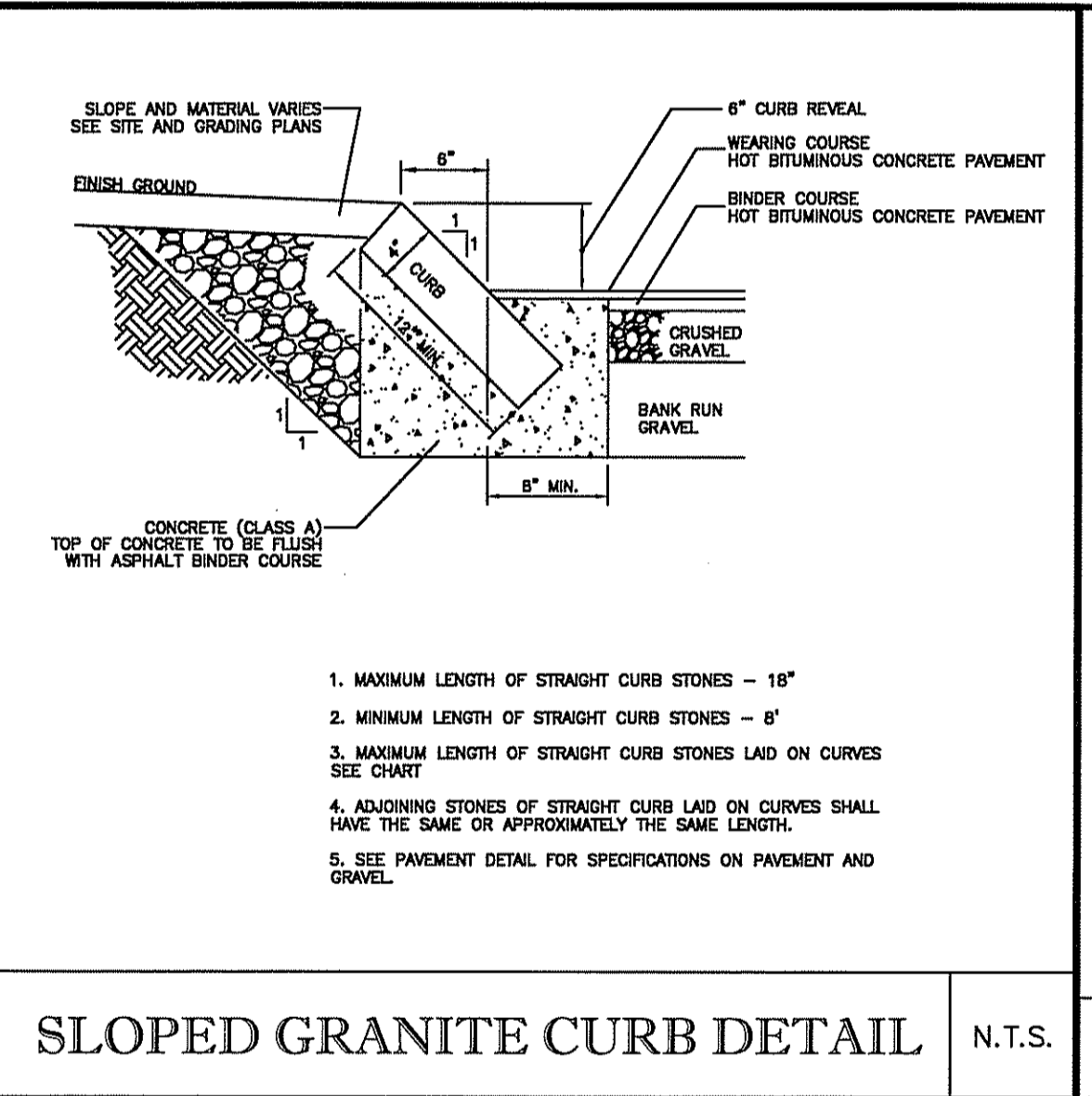
DUMPSTER ENCLOSURE - 24'-6"

N.T.S.



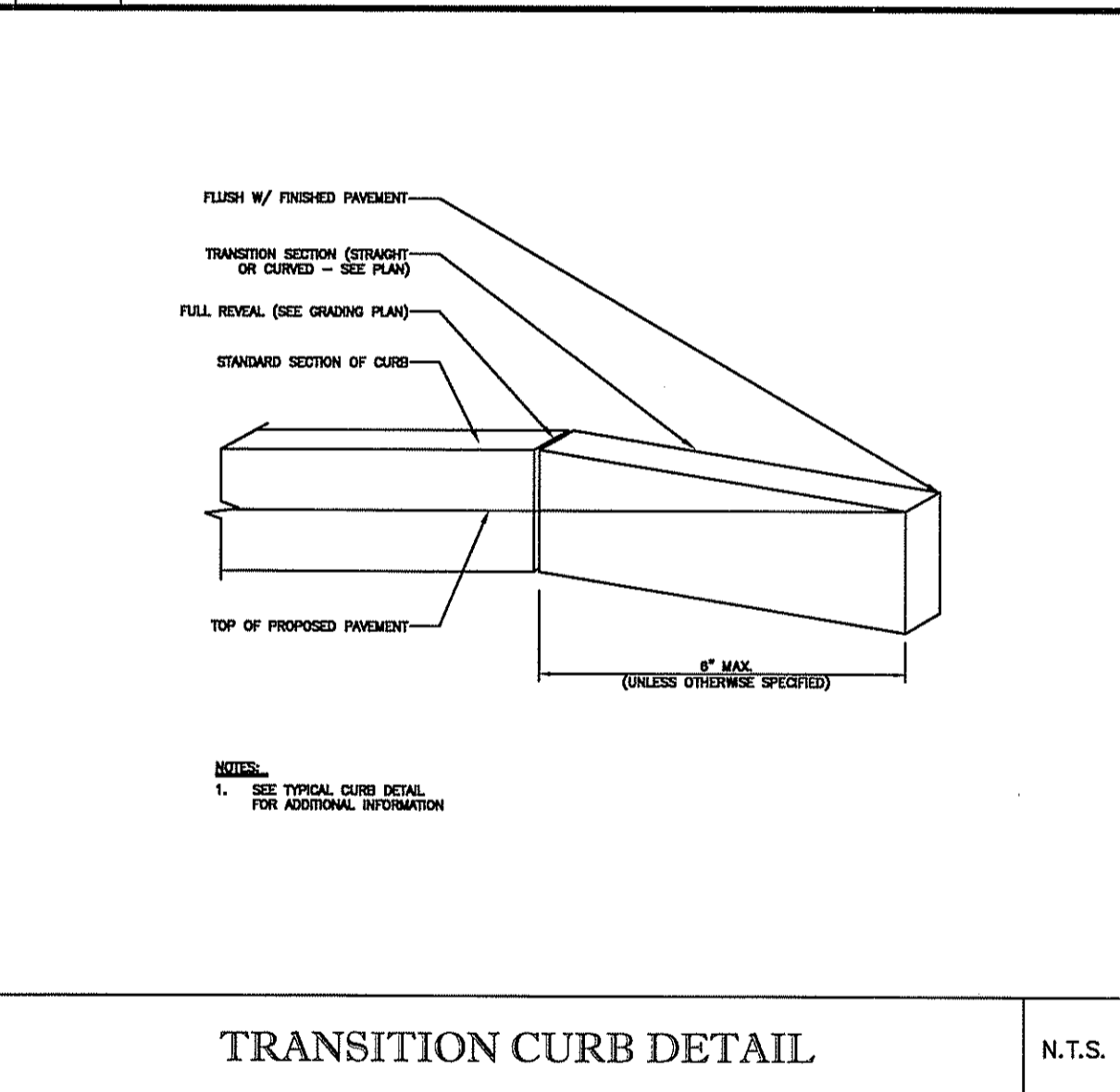
LIGHT POLE DETAIL AT LANDSCAPED AREAS

N.T.S.



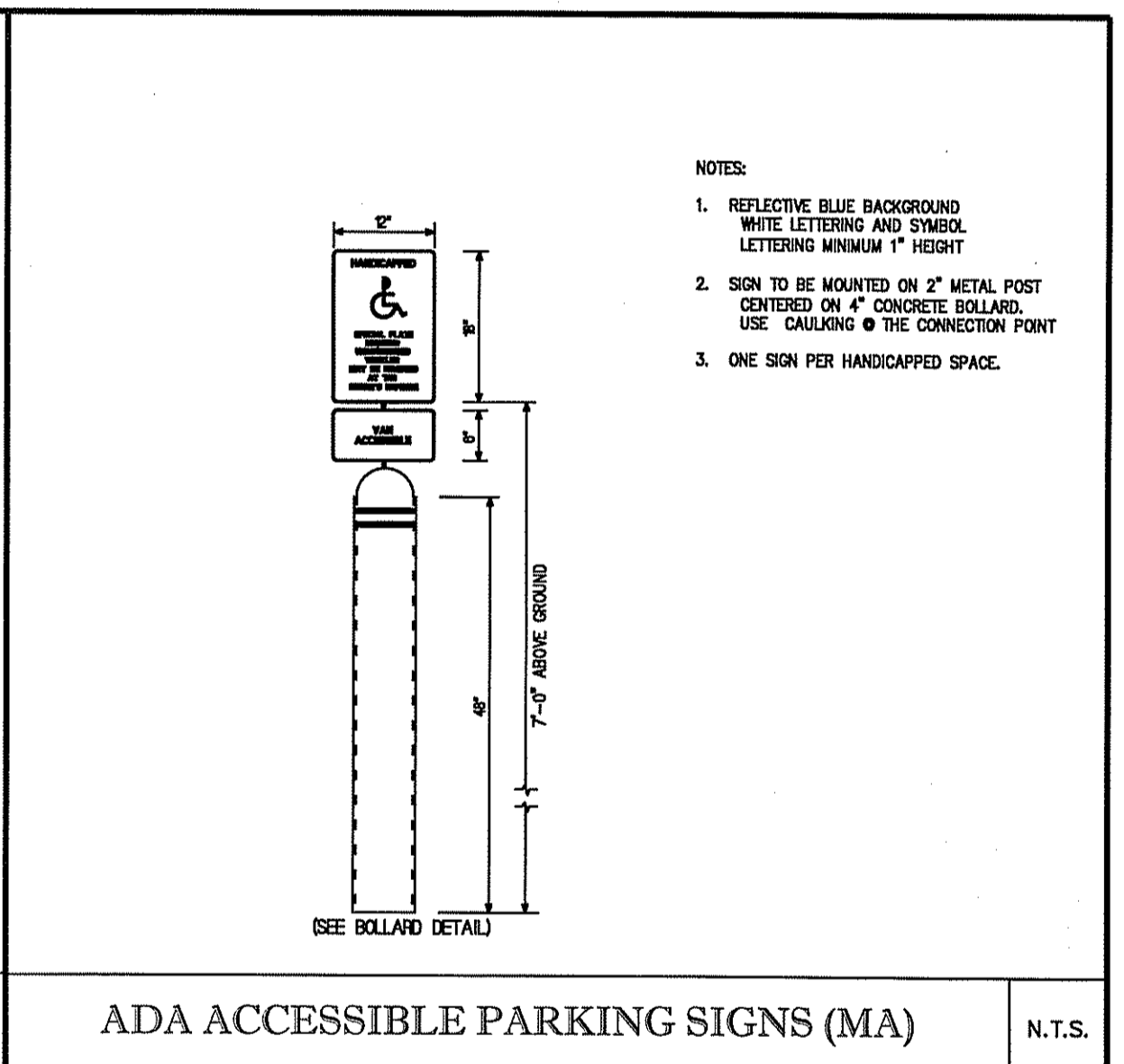
SLOPED GRANITE CURB DETAIL

N.T.S.



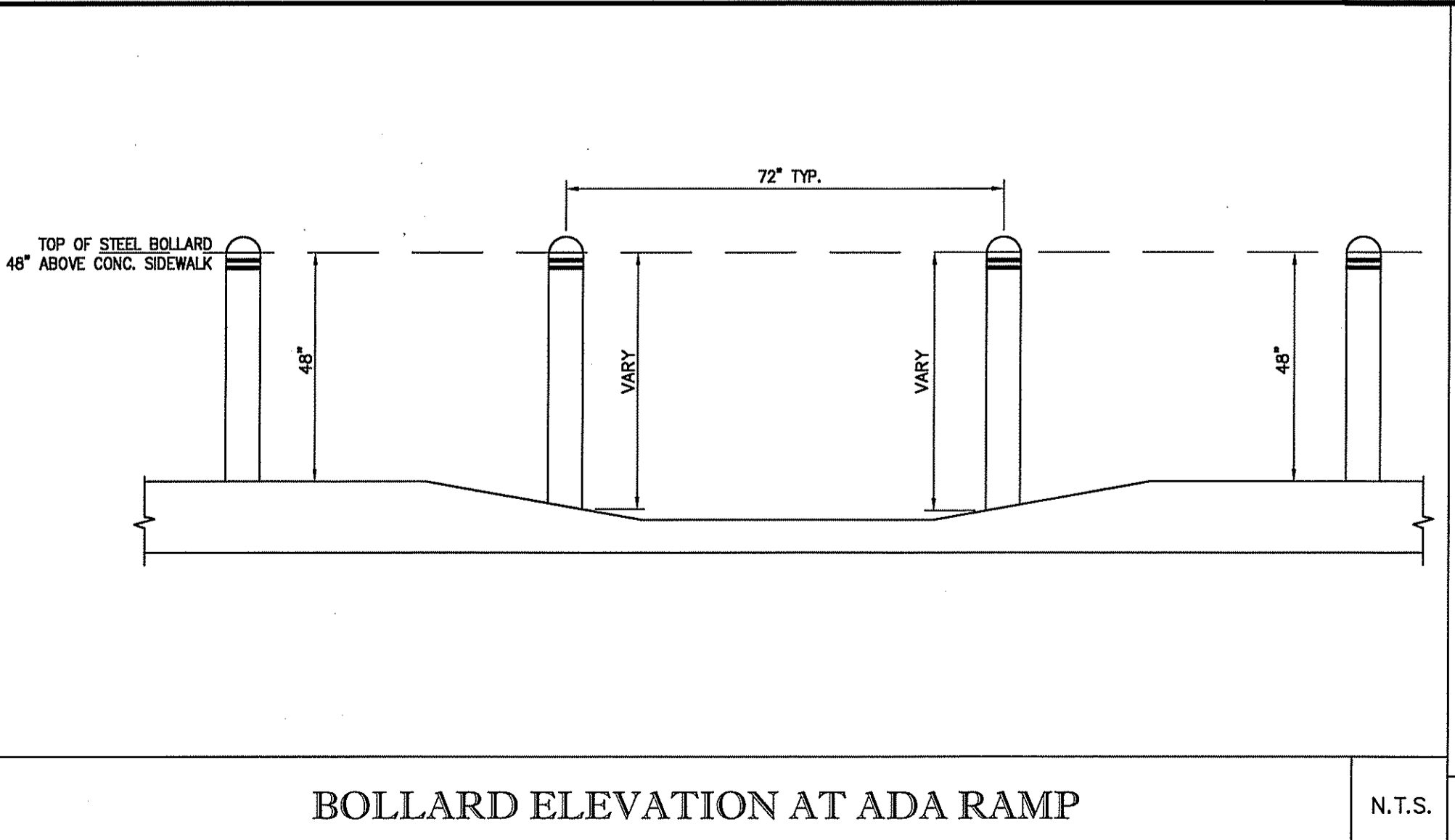
TRANSITION CURB DETAIL

N.T.S.



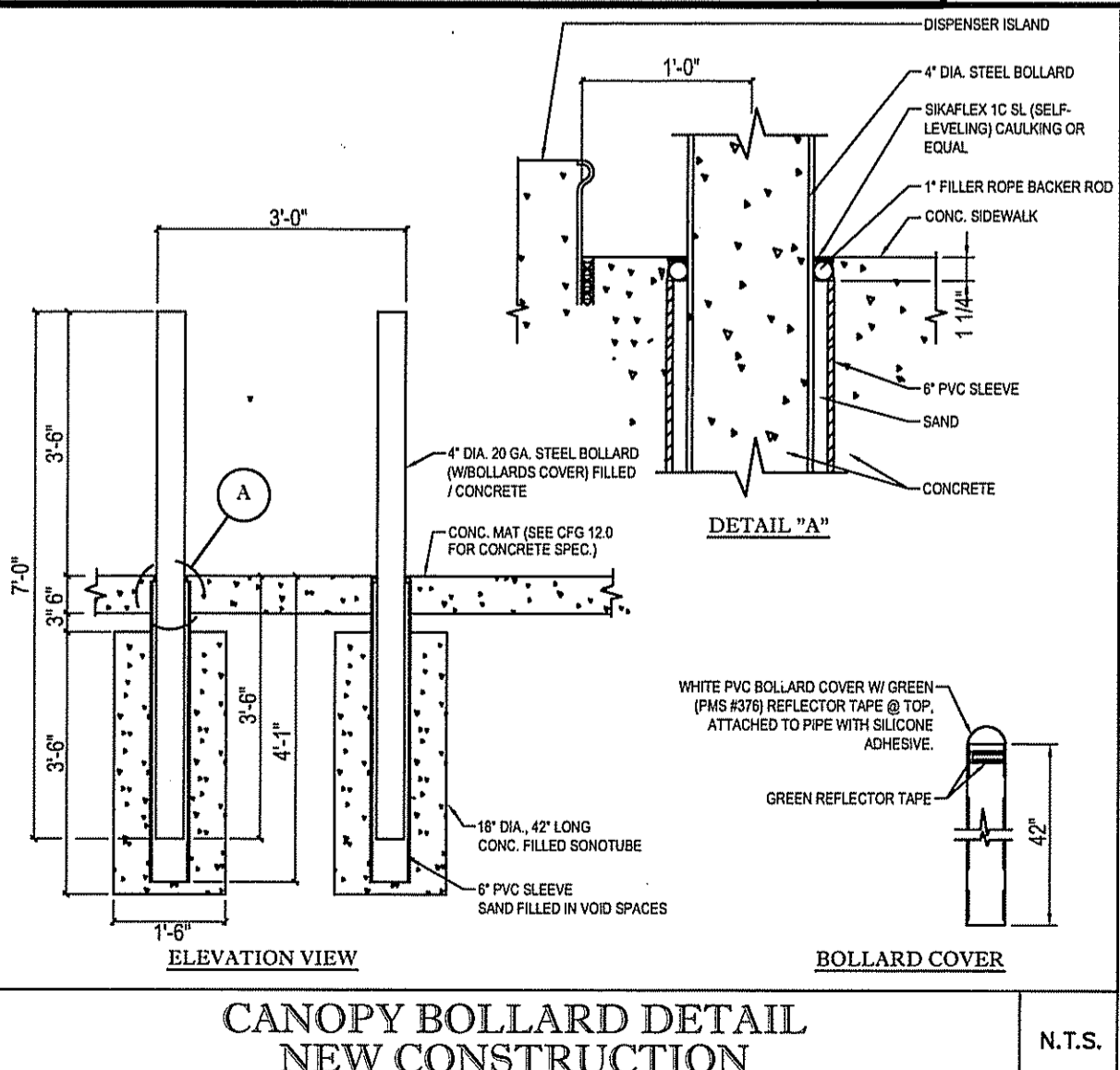
ADA ACCESSIBLE PARKING SIGNS (MA)

N.T.S.



BOLLARD ELEVATION AT ADA RAMP

N.T.S.



CANOPY BOLLARD DETAIL NEW CONSTRUCTION

N.T.S.

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 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
 85 CORLISS STREET, P.O. BOX 8145
 PROVIDENCE, RHODE ISLAND 02940
 401-273-8000

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REVISIONS	
1	REVISED PER CFG COMMENTS 2/12/2016
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76,825 Sq. Ft.
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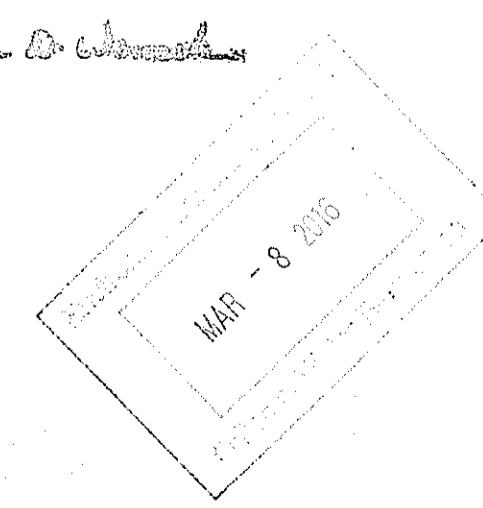
SCALE: AS SHOWN
 DATE: JANUARY 28, 2016
 DWG: 6899-DETAILS
 DRAWN BY: GAA

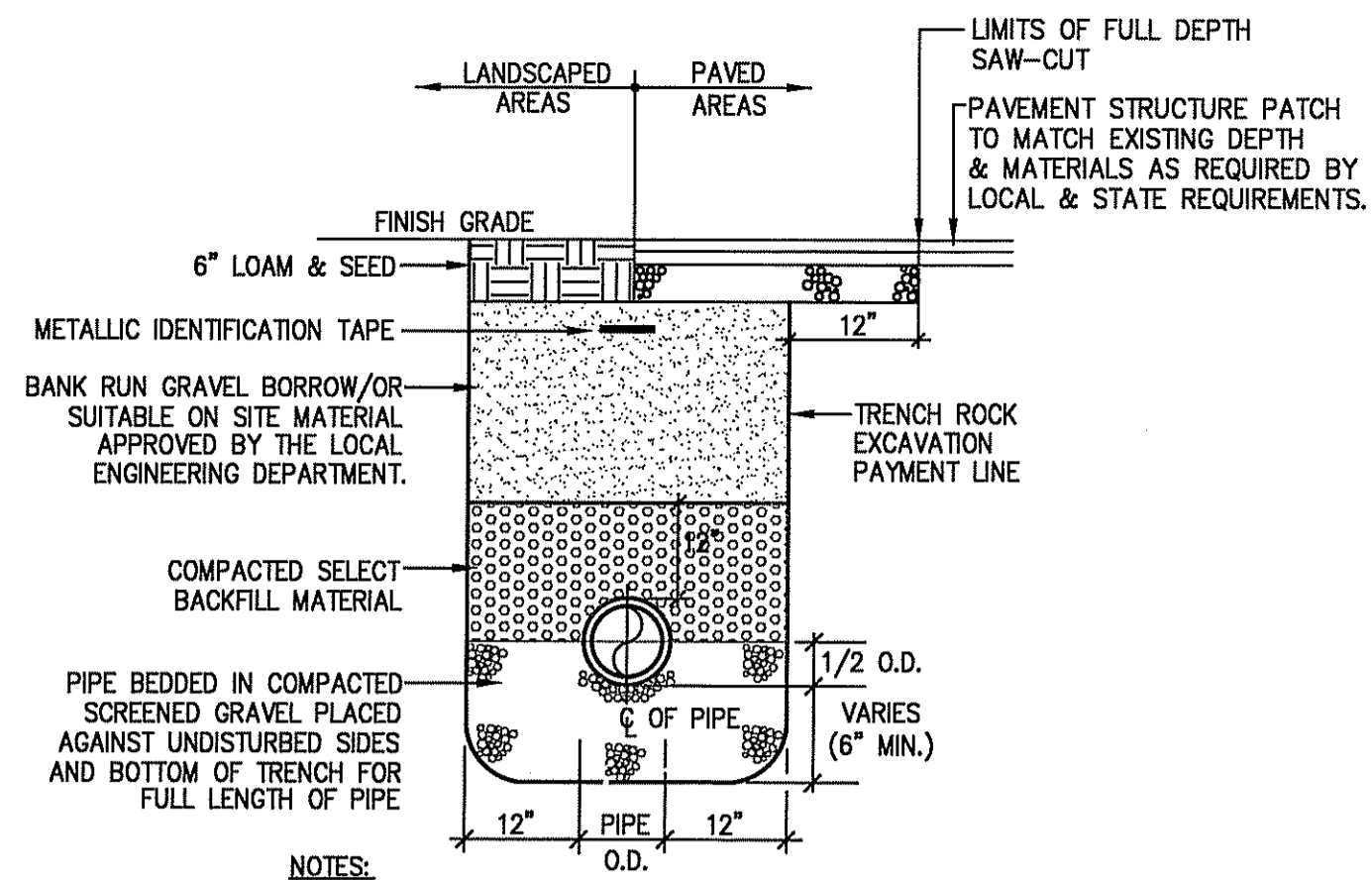
Cumberland

SITE CONSTRUCTION DETAILS 2

CFG09.1

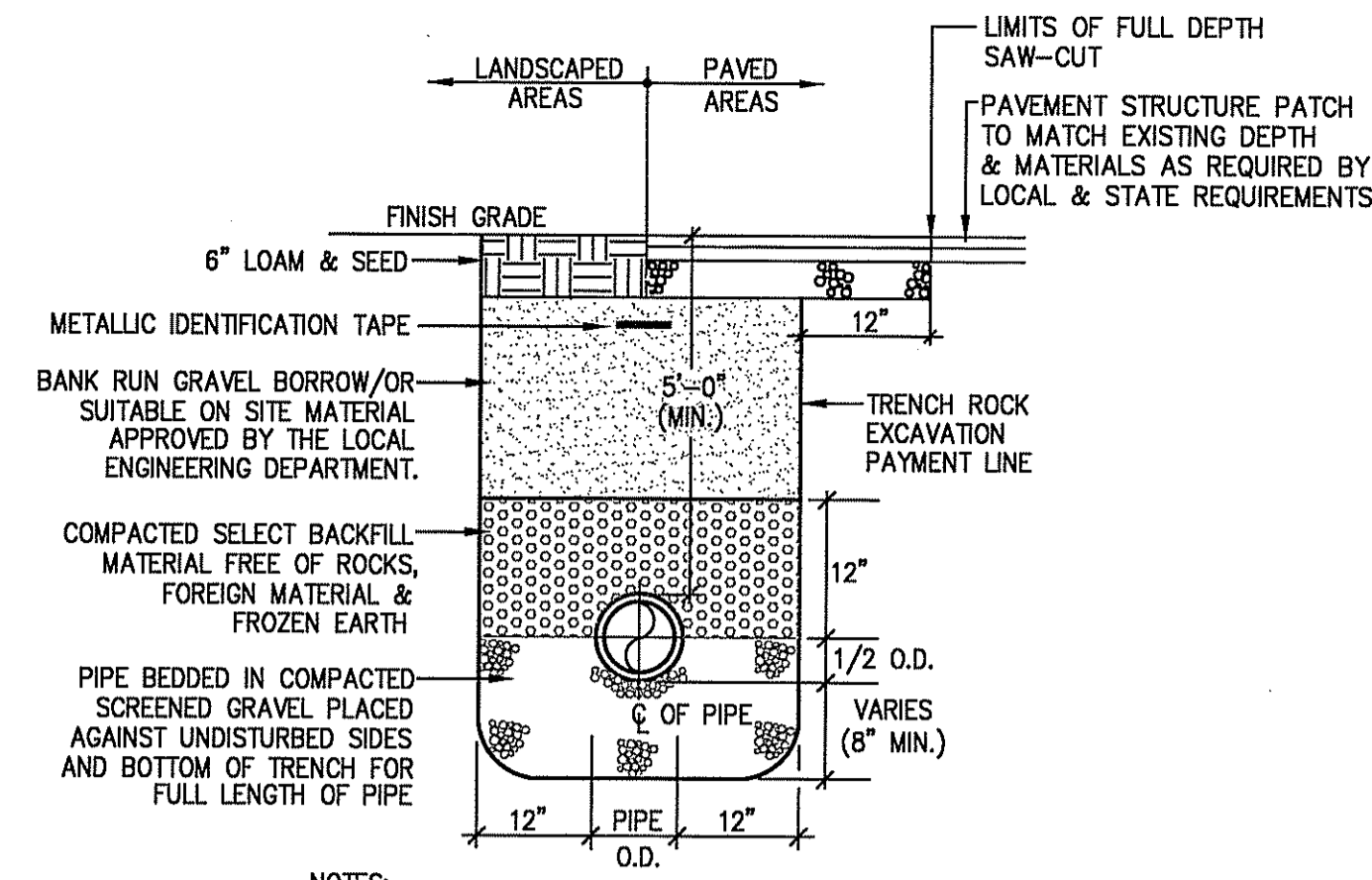
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAY 20 2016 FILE # 16-0084
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
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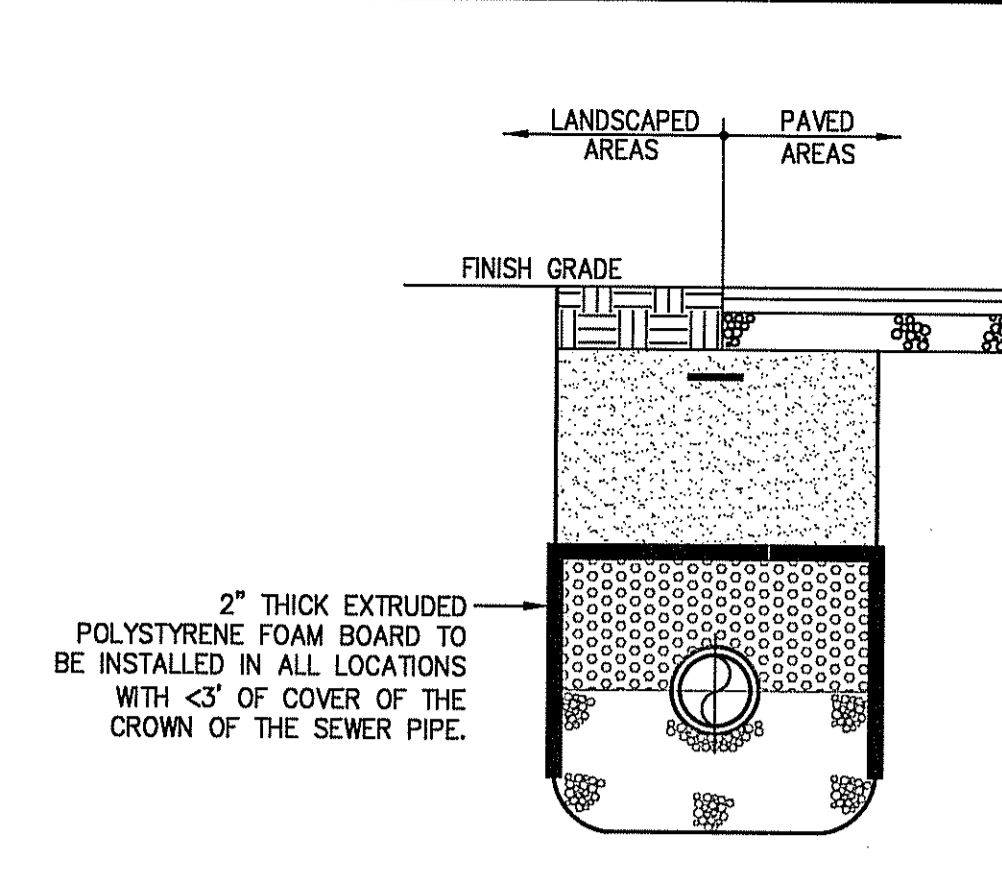
NOTES:
1. METALIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED OVER ALL UTILITY LINES 12" BELOW FINISH GRADE.

TRENCH SECTION
N.T.S.



NOTES:
1. METALIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED OVER WATER LINES 12" BELOW FINISH GRADE.

TRENCH SECTION WATER
N.T.S.



NOTES:
1. SEE TRENCH SECTION FOR INSTALLATION REQUIREMENTS.

INSULATED PVC SEWER PIPE TRENCH SECTION
N.T.S.

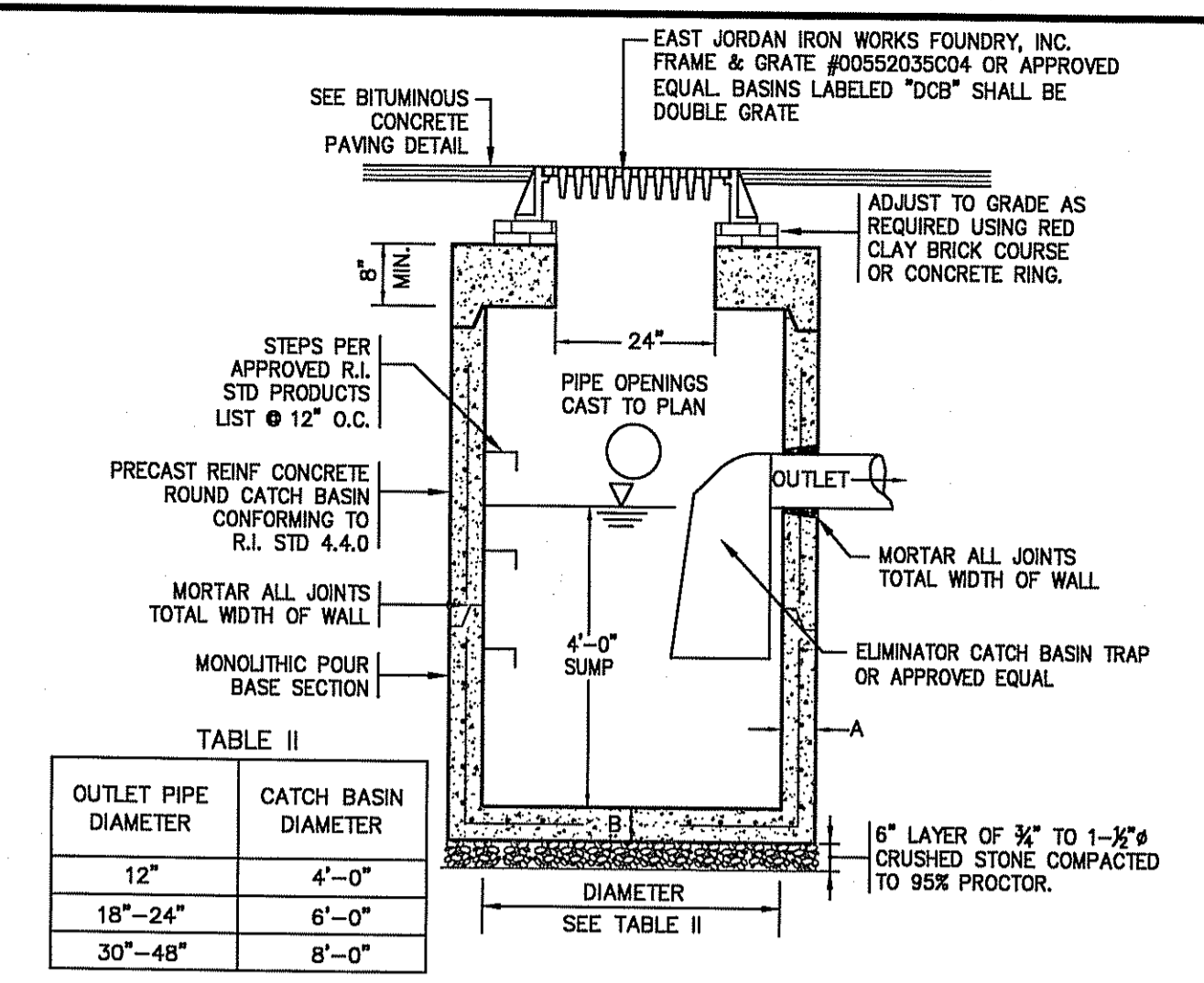


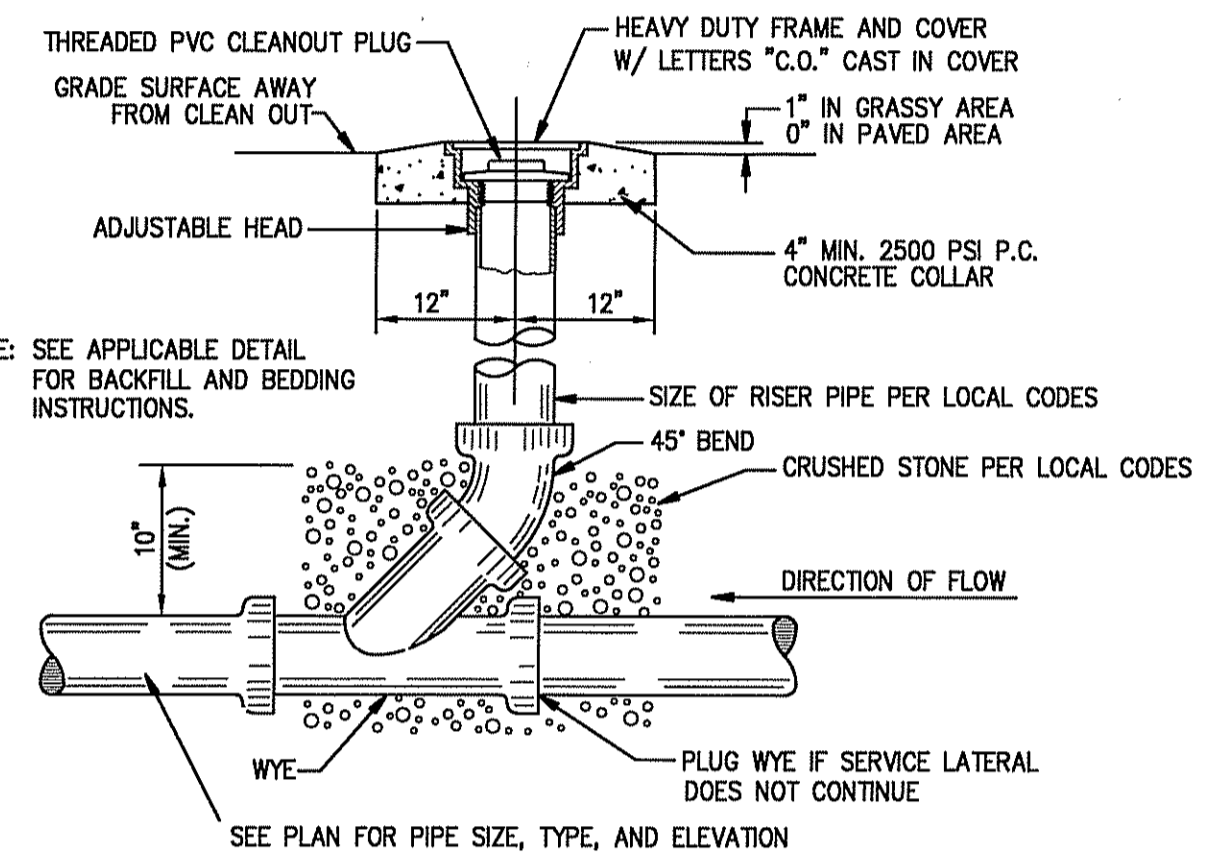
TABLE II

OUTLET PIPE DIAMETER	CATCH BASIN DIAMETER
12"	4'-0"
18"-24"	6'-0"
30"-48"	8'-0"

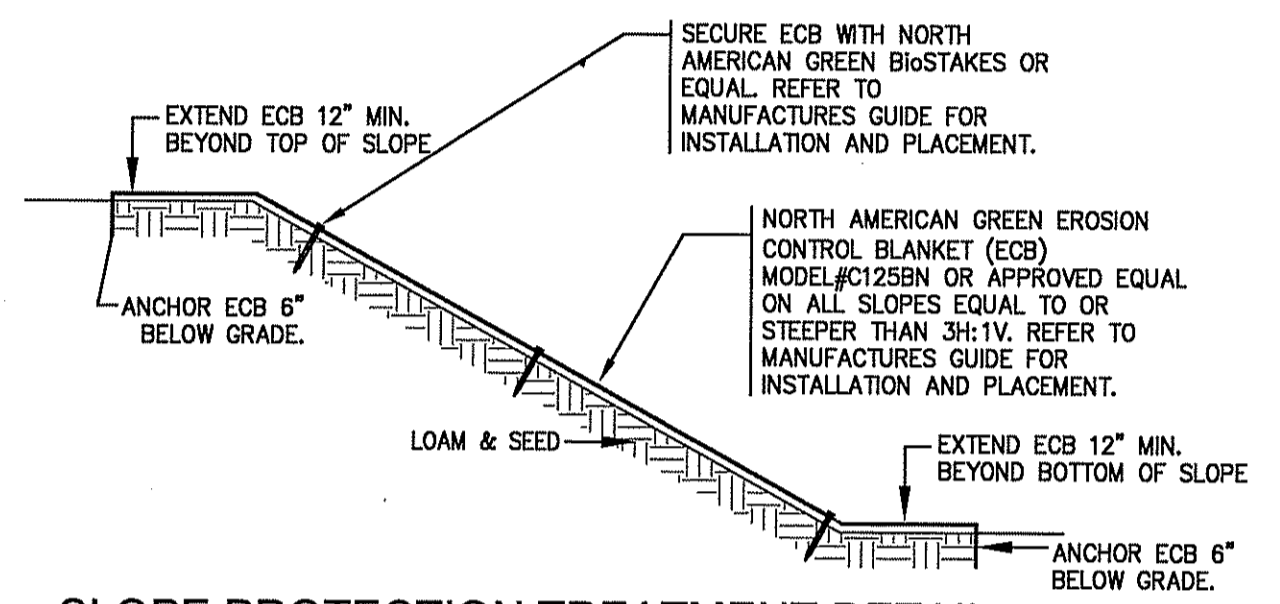
TABLE I

CATCH BASIN DIAMETER	A	B	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED *
4'-0"	5"	6"	0.12 SQ. IN./LINEAL FT
5'-0"	6"	7"	0.15 SQ. IN./LINEAL FT
6'-0"	7"	8"	0.18 SQ. IN./LINEAL FT

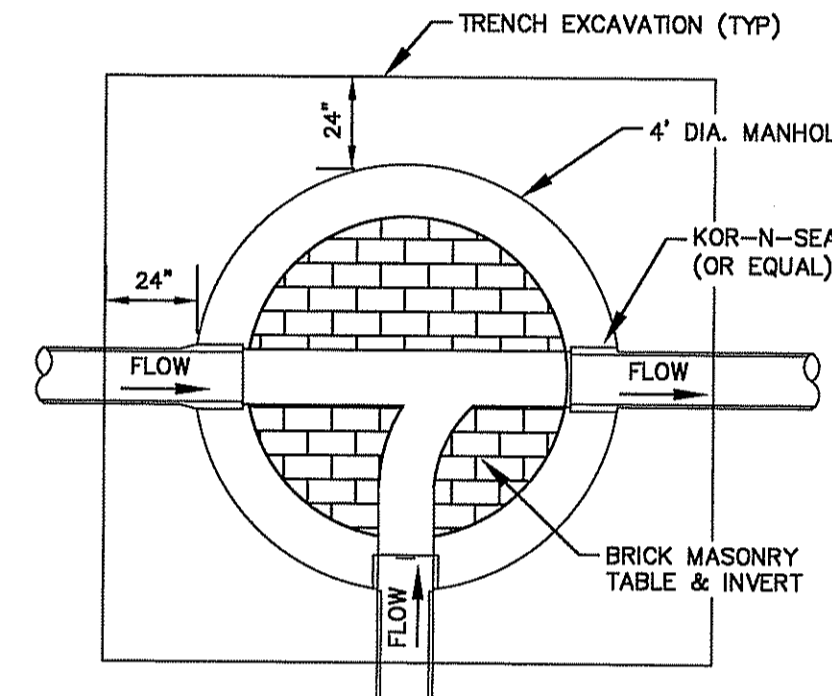
* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2
PRECAST CONCRETE CATCH BASIN DETAIL WITH OIL & WATER SEPARATOR
N.T.S.



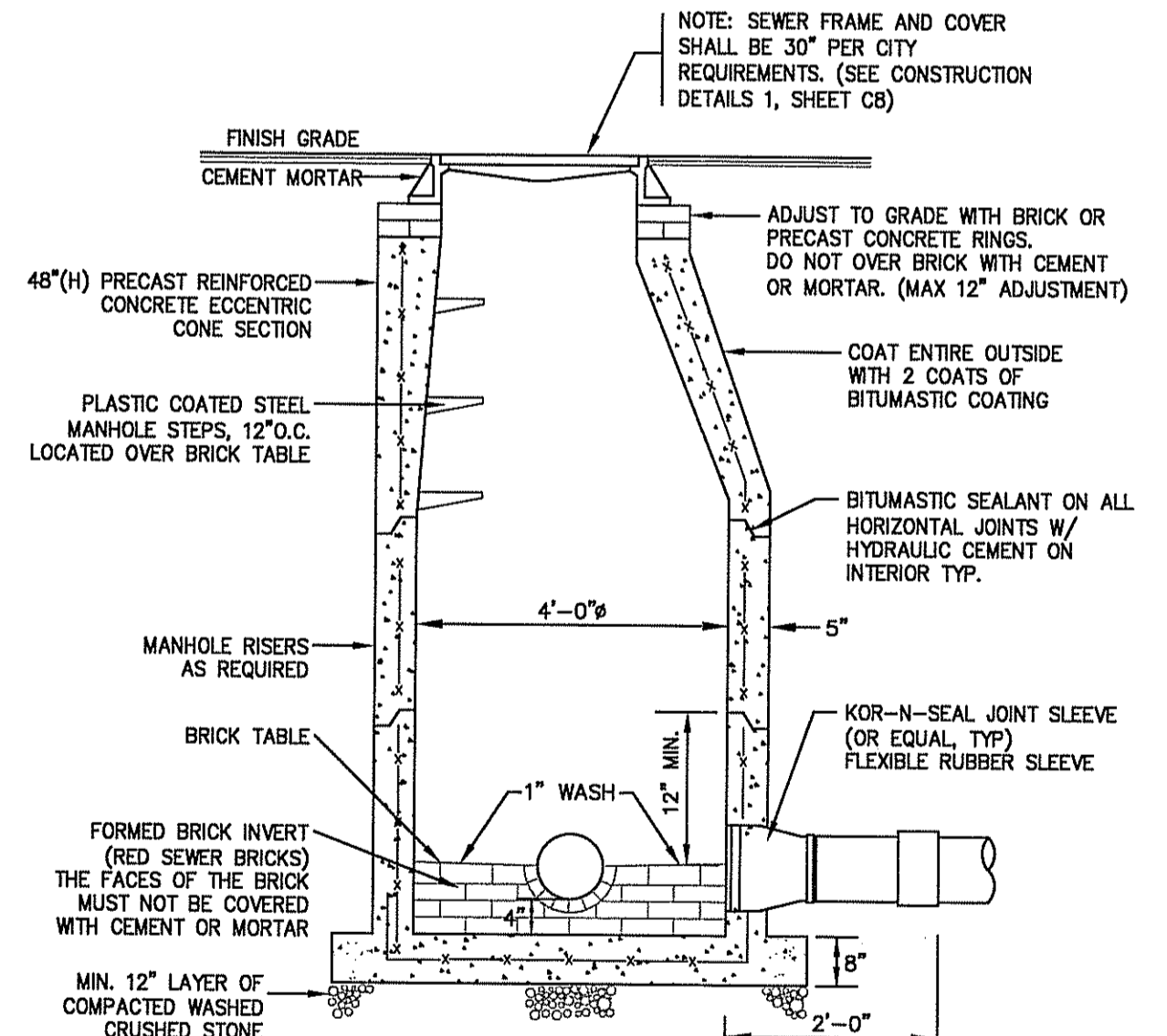
GROUND CLEAN-OUT DETAIL
N.T.S.



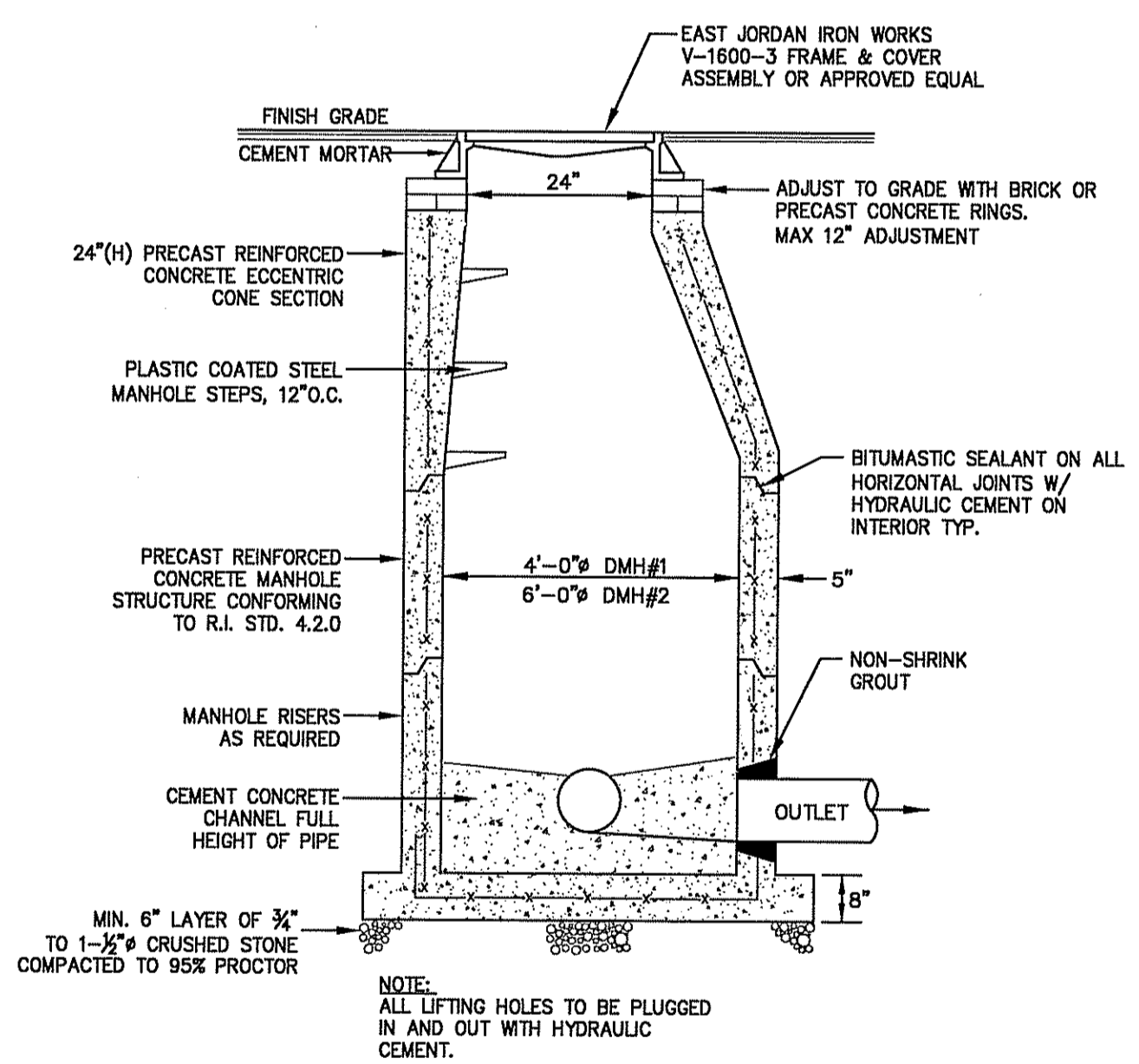
SLOPE PROTECTION TREATMENT DETAIL
N.T.S.



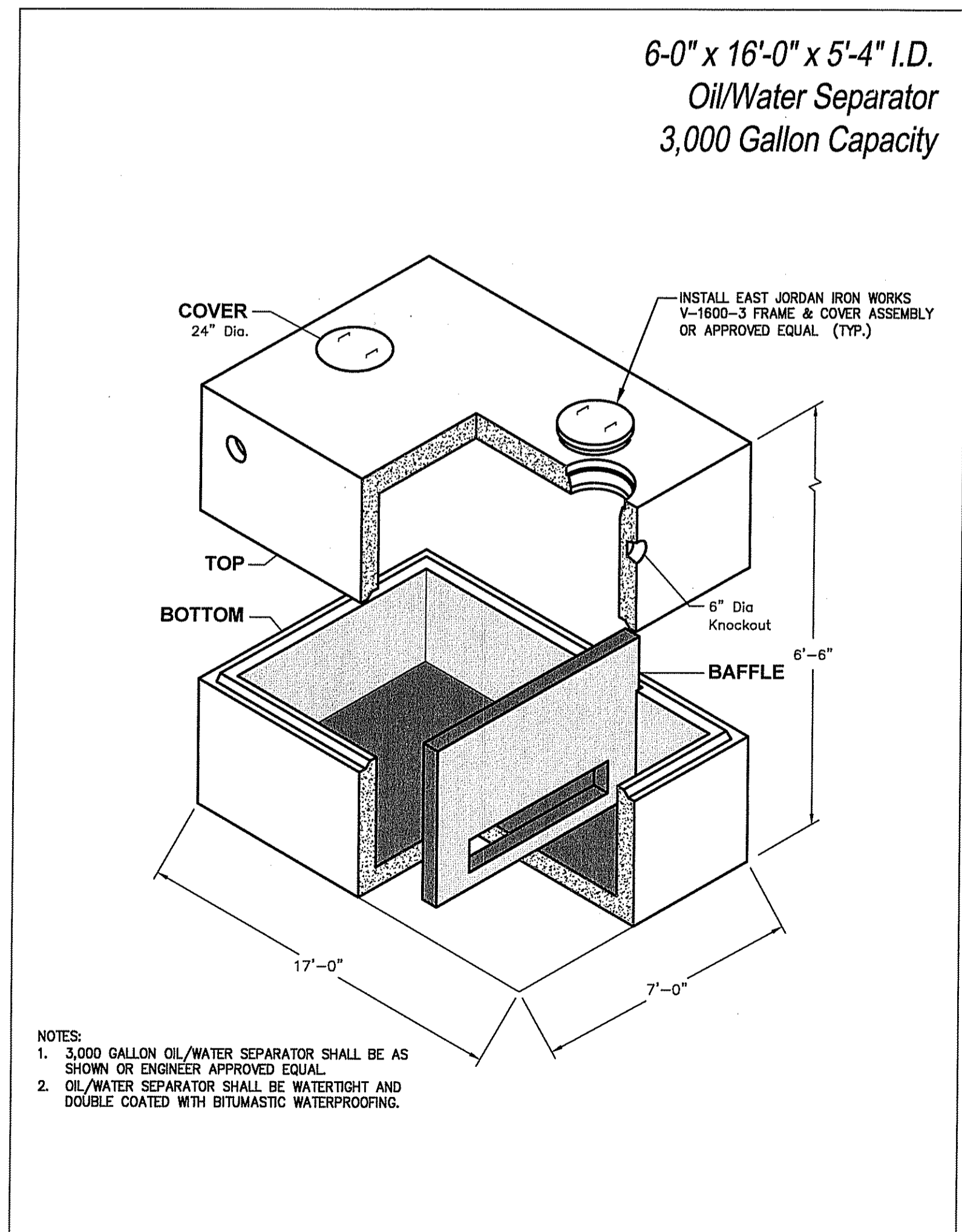
PLAN-INVERT TABLE
NOT TO SCALE



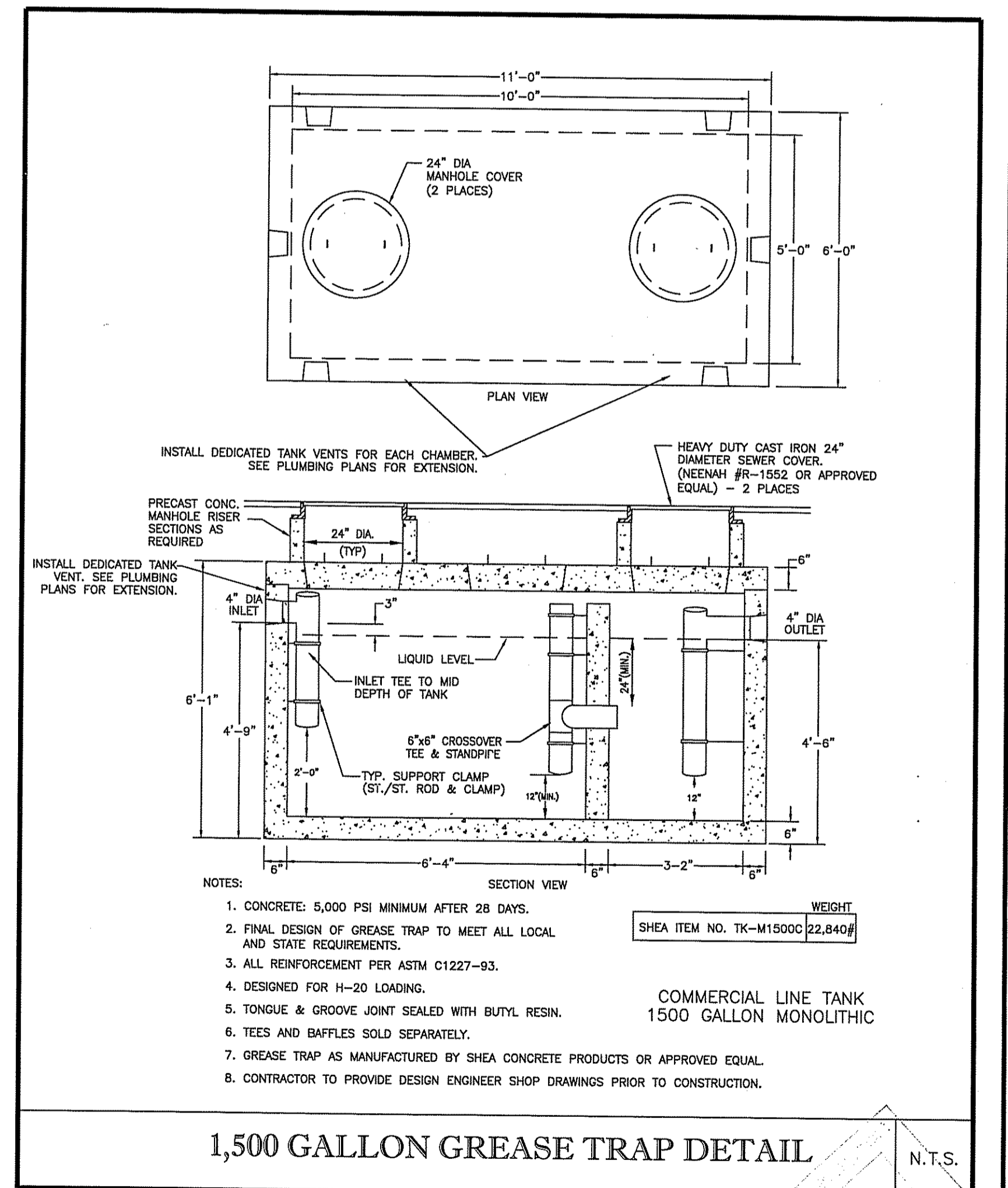
SEWER MANHOLE DETAIL
NOT TO SCALE



STANDARD DRAIN MANHOLE
N.T.S.

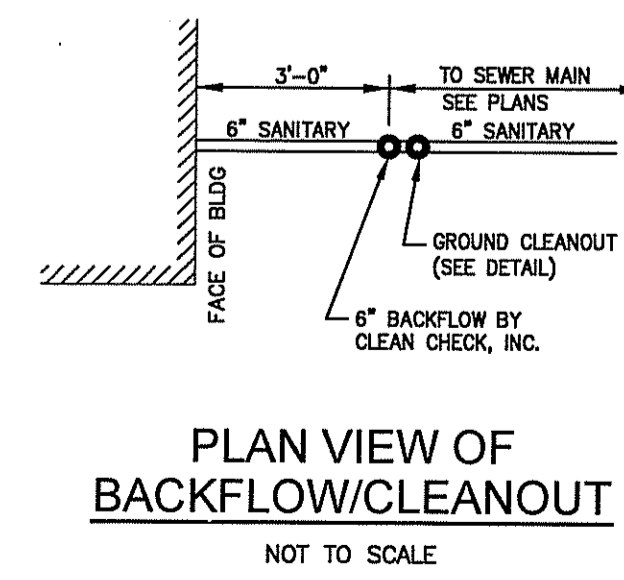


NOTES:
1. 3,000 GALLON OIL/WATER SEPARATOR SHALL BE AS SHOWN OR ENGINEER APPROVED EQUAL.
2. OIL/WATER SEPARATOR SHALL BE WATERTIGHT AND DOUBLE COATED WITH BITUMASTIC WATERPROOFING.



1,500 GALLON GREASE TRAP DETAIL
N.T.S.

NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. FINAL DESIGN OF GREASE TRAP TO MEET ALL LOCAL AND STATE REQUIREMENTS.
3. ALL REINFORCEMENT PER ASTM C1227-93.
4. DESIGNED FOR H-20 LOADING.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
6. TEES AND Baffles SOLD SEPARATELY.
7. GREASE TRAP AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR APPROVED EQUAL.
8. CONTRACTOR TO PROVIDE DESIGN ENGINEER SHOP DRAWINGS PRIOR TO CONSTRUCTION.



PLAN VIEW OF BACKFLOW/CLEANOUT
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 28, 2016 FILE # 16-0054
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

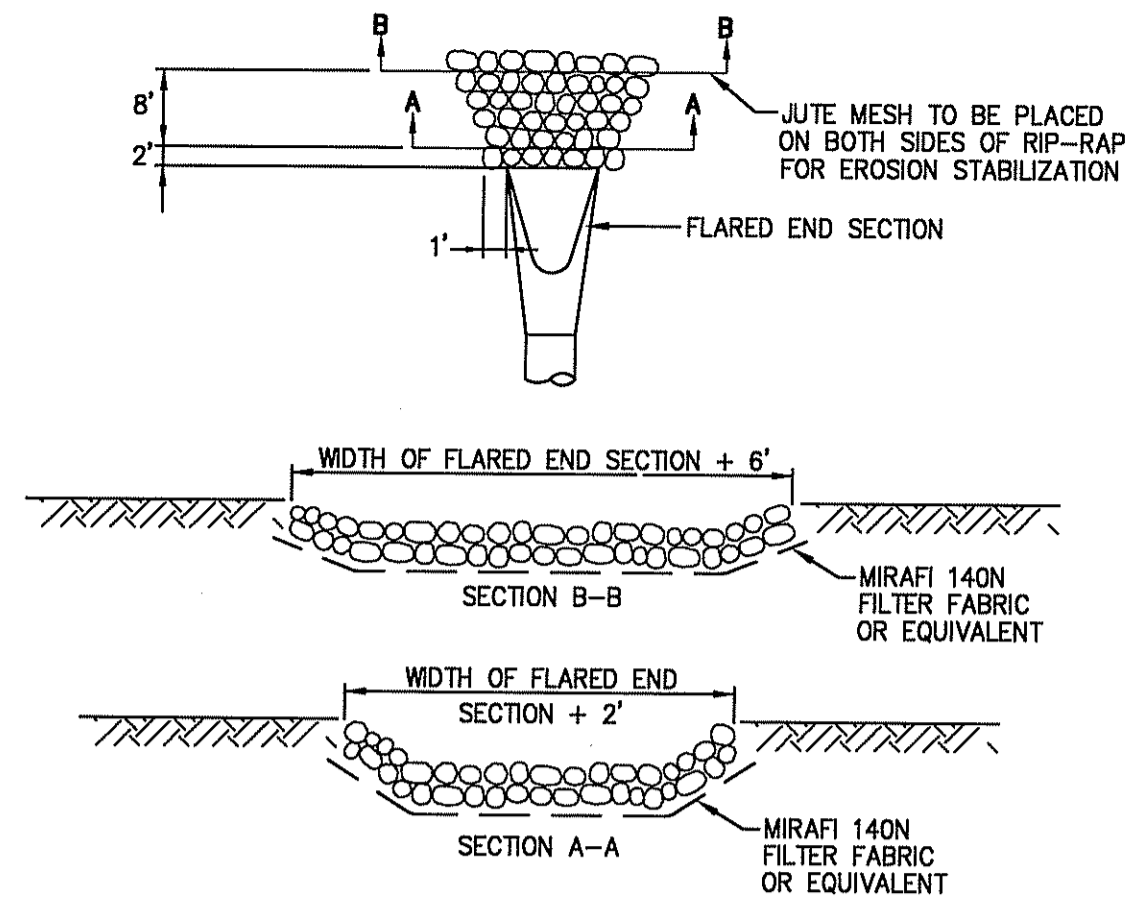
GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET P.O. BOX 6140
PROVIDENCE, RHODE ISLAND 02940
401-273-6000

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER CFG COMMENTS	2/12/2016
2	REVISED PER CFG COMMENTS	2/15/2016

76,825 Sq. Ft.
1.76 ACRES
V# NEW
Store# NEW
Gas Station# NEW
Facility# NEW

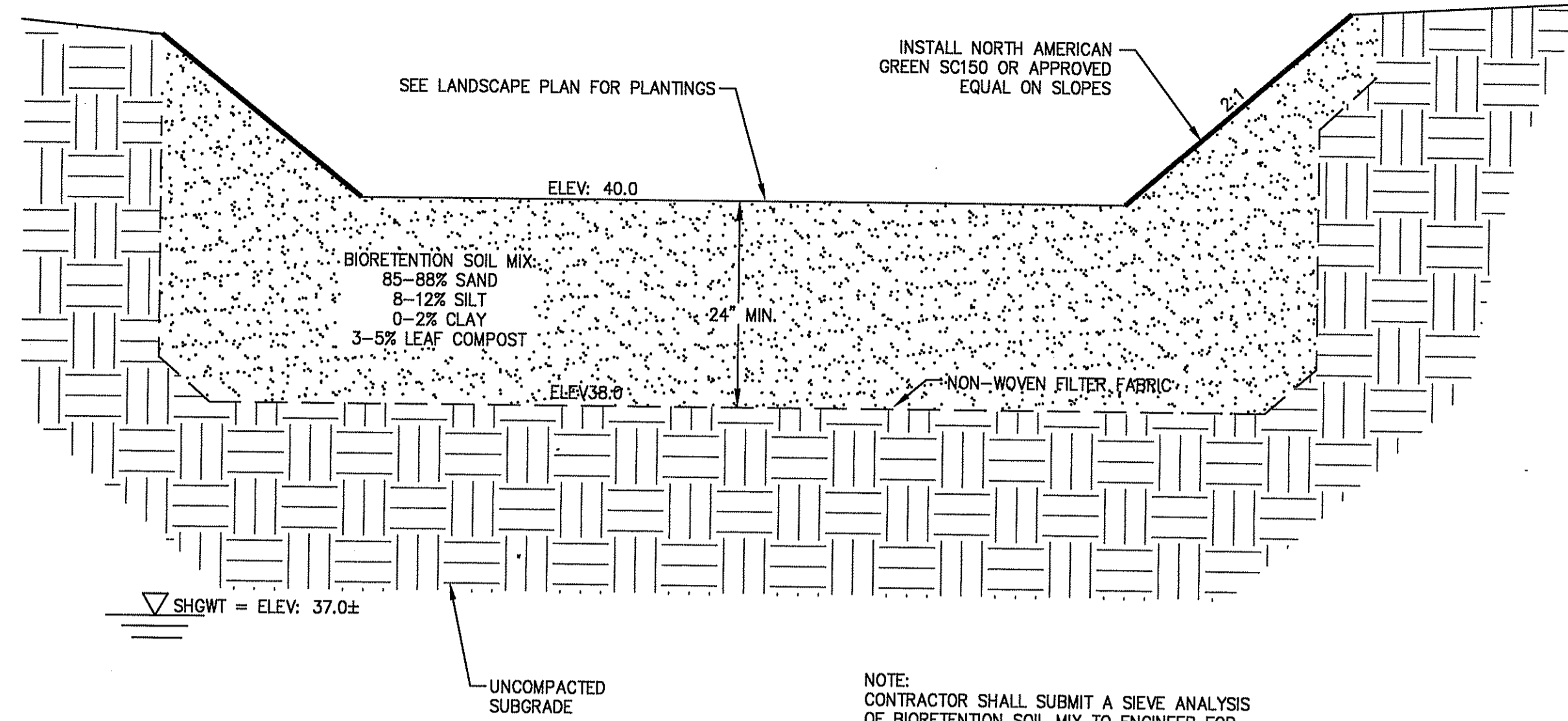
744 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND
CUMBERLAND FARMS, INC.
100 Crossing Blvd
Framingham, MA 01702
DATE: JANUARY 28, 2016
DWS: 6899-DETAILS
DRAWN BY: GAA
SITE CONSTRUCTION DETAILS 3
CFG09.2



- NOTES:
1. UNLESS OTHERWISE SPECIFIED, CLASS "C" RIP-RAP IS TO BE USED FOR ALL FLARED ENDS.
 2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
 3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.
 4. USE ONLY SECTION A-A FOR ROOF DRAINS.

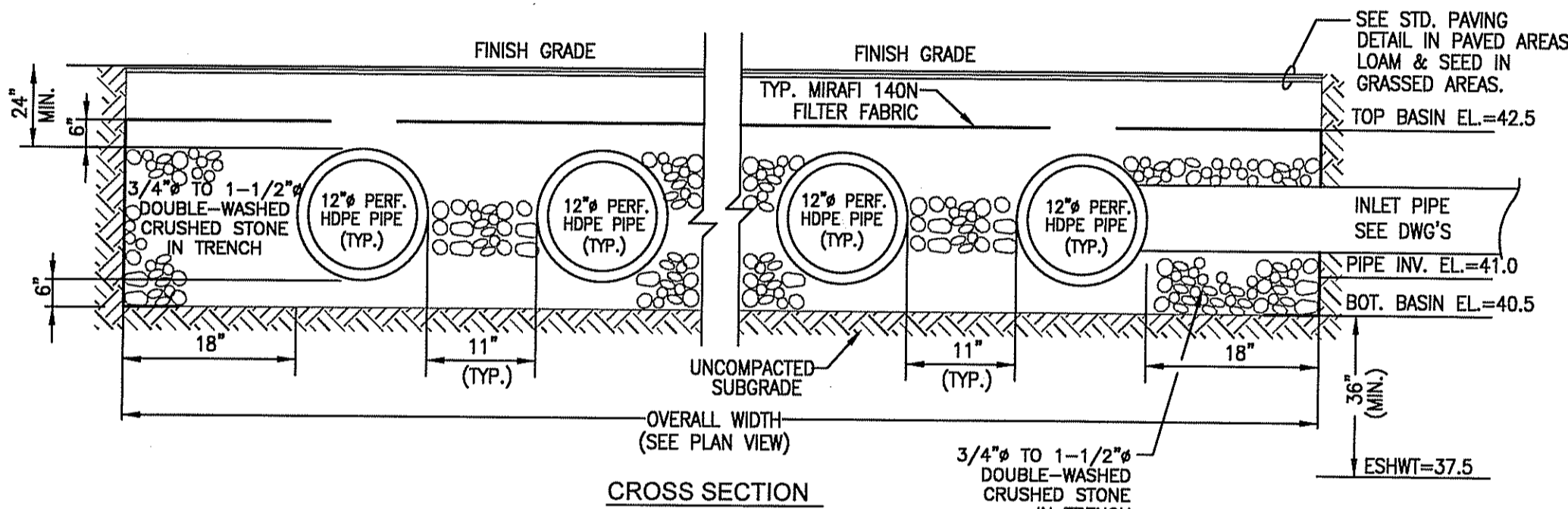
RIP RAP AT FLARED END SECTION

NOT TO SCALE



BIORETENTION BASIN DETAIL

N.T.S.

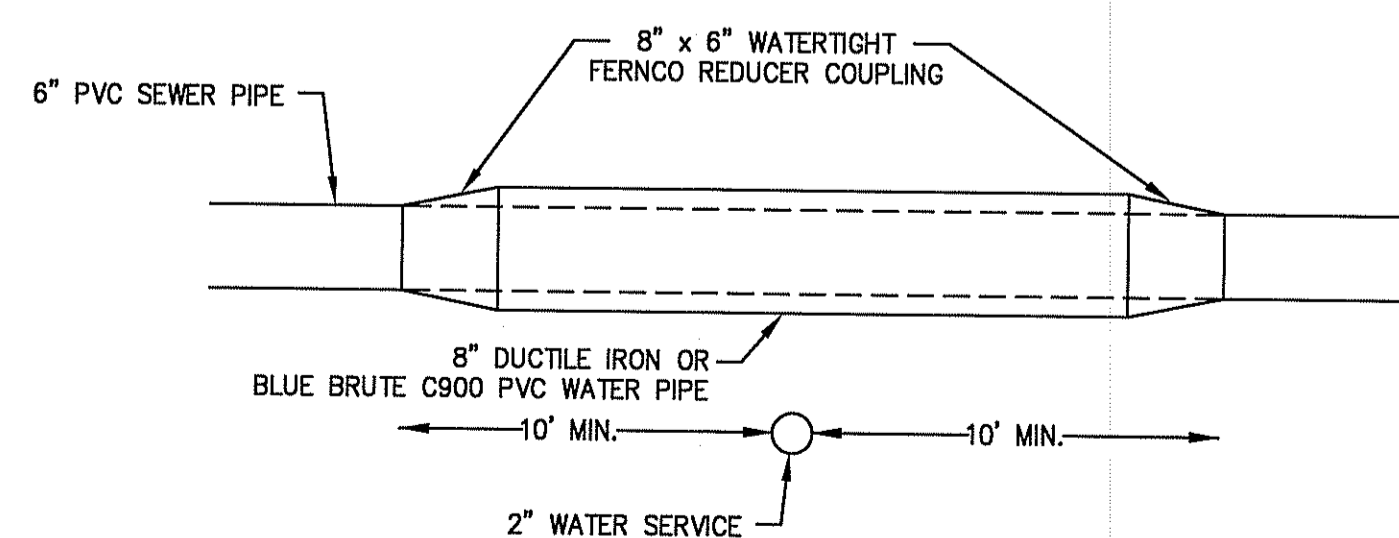
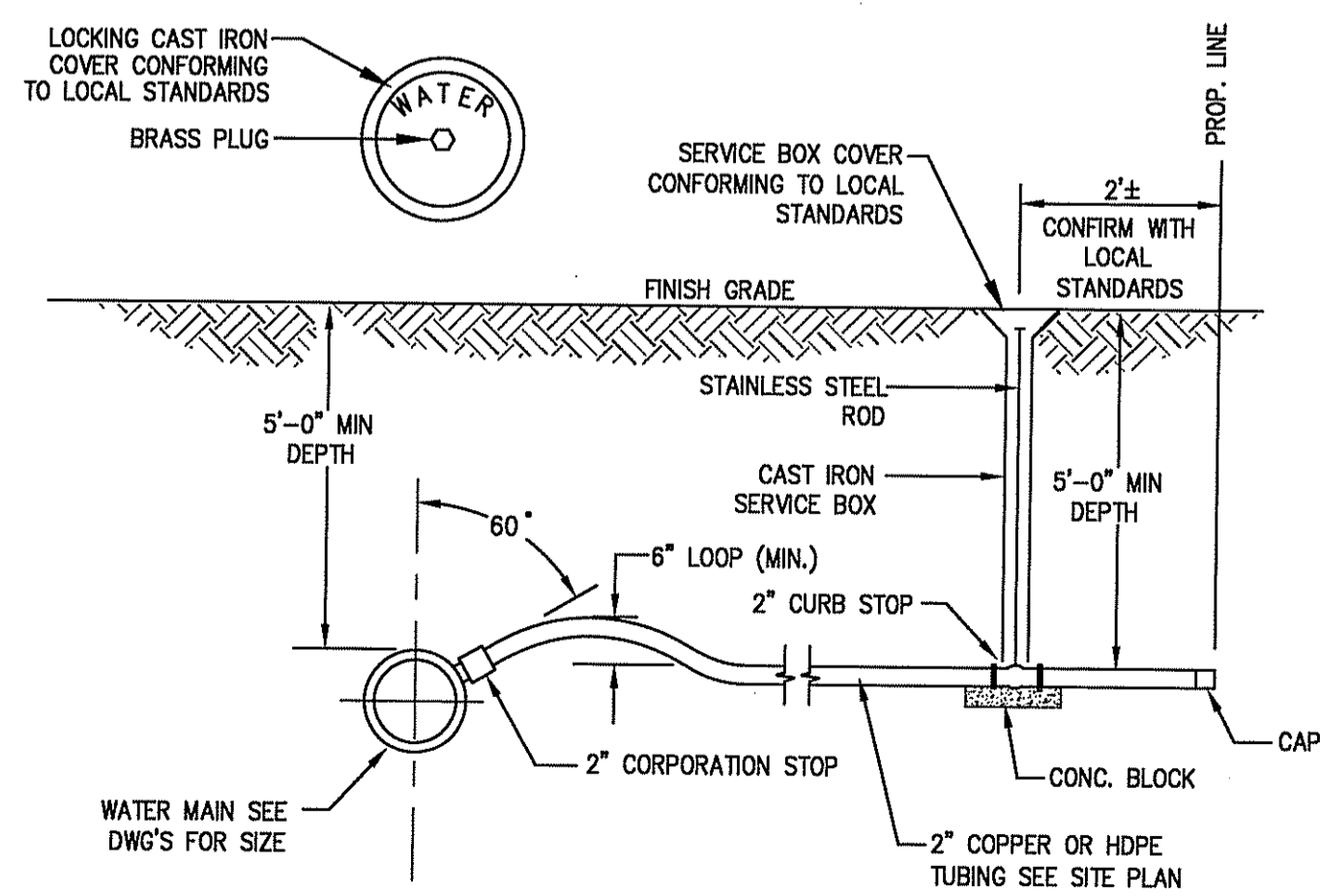


CONSTRUCTION:

1. CARE SHOULD BE TAKEN DURING CONSTRUCTION TO MINIMIZE THE RISK OF PREMATURE FAILURE OF THE INFILTRATION TRENCH.
2. HEAVY EQUIPMENT SHOULD NOT OPERATE ON THE SURFACE LOCATION WHERE THE INFILTRATION SYSTEM IS PLANNED. SOIL COMPACTION WILL ADVERSELY EFFECT THE PERFORMANCE OF THE SYSTEM AND INFILTRATION TRENCH SITES SHOULD BE ROPED OFF AND FLAGGED.
3. THE INFILTRATION SYSTEM SHOULD NOT BE CONSTRUCTED UNTIL AFTER THE SITE HAS BEEN STABILIZED. TRENCHES SHOULD NEVER BE USED AS TEMPORARY SEDIMENT TRAPS FOR CONSTRUCTION ACTIVITIES.
4. DIVERSION BERMS OR STAKED AND LINED HAYBALES SHOULD BE UTILIZED AROUND THE PERIMETER OF THE INFILTRATION SYSTEM DURING ITS CONSTRUCTION. FOR THE EXCAVATION AND CONSTRUCTION OF THE TRENCH, MANUAL REMOVAL OR LIGHT EARTH - MOVING EQUIPMENT IS RECOMMENDED. ALL EXCAVATED MATERIAL FROM THE TRENCH SITE SHOULD BE LOCATED DOWN GRADIENT TO PREVENT REDEPOSITION OF THIS MATERIAL IN THE TRENCH DURING RUNOFF EVENTS.
5. IF THE CONTRACTOR ENCOUNTERS THAT THE SEASONAL HIGH GROUND WATER TO BE CLOSER THAN 3' SEPARATION TO THE BOTTOM OF THE SYSTEM THEN WORK SHALL BE STOPPED IMMEDIATELY AND THE ENGINEER NOTIFIED.
6. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIALS USED WITHIN THE PROPOSED INFILTRATION FACILITY.

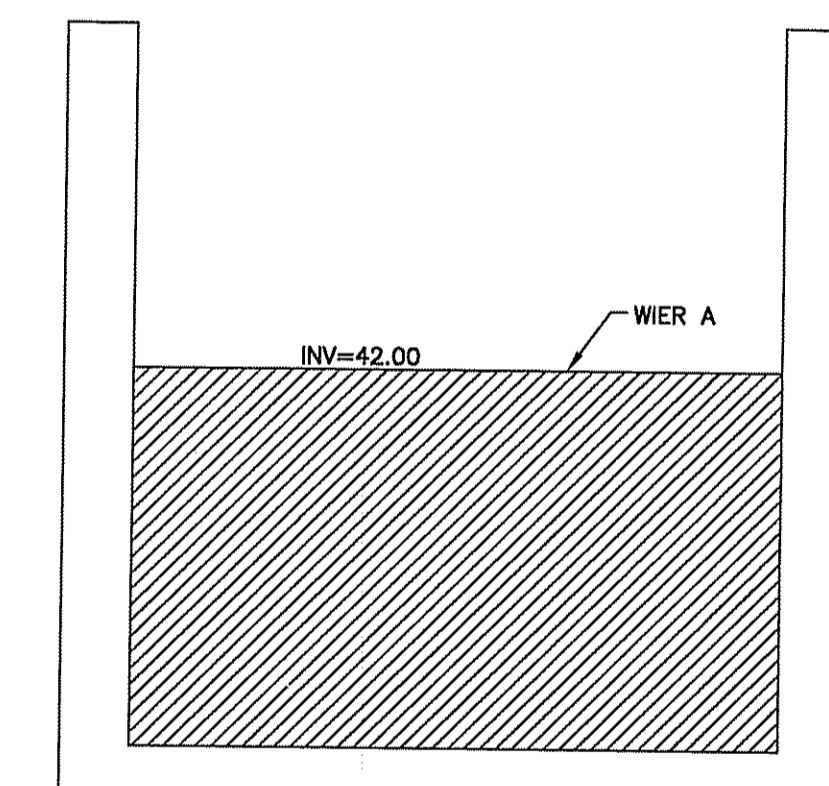
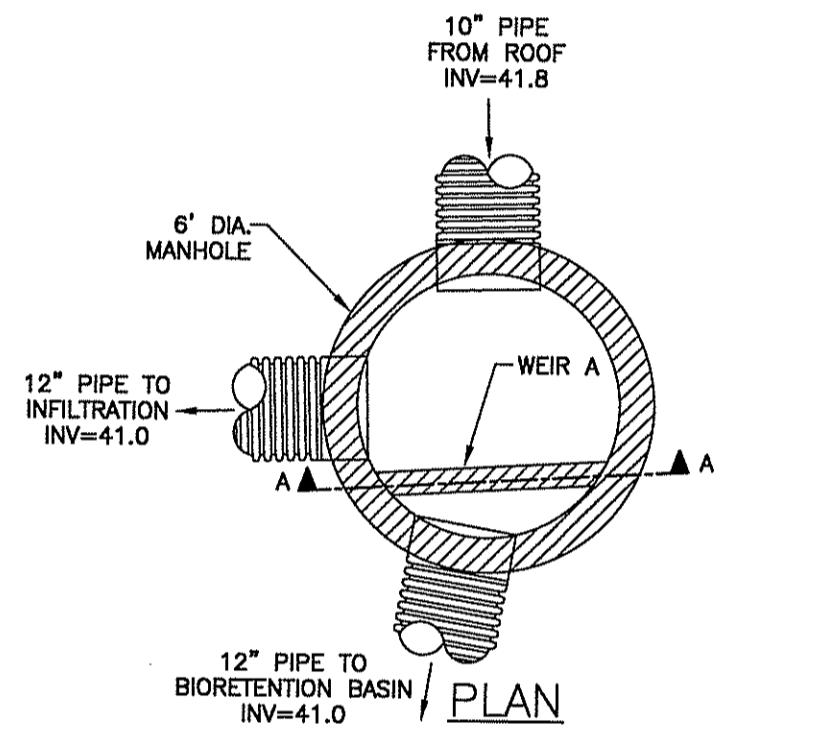
SUBSURFACE INFILTRATION SYSTEM "A" (30" DIAMETER PIPE)

N.T.S.



SEWER SLEEVE @ WATER SERVICE CROSSING

N.T.S.



WEIR A SECTION A-A

DMH-2 FLOW DIVERSION DETAIL

N.T.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED MAY 20 2016 FILE # 16-0084
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ACO DRAIN
3x3 Polyester polymer concrete catch basin

Grate: 8.25" (210 mm) x 8.25" (210 mm) 64 Slots

Base: 38.10" (968 mm) x 40.47" (1028 mm)

Grate is classified as Heavy Duty and meets the requirements of ASTM M306.

Grate provides 47% open area - 683 sq. in.

ASTM M306 requires that castings bear a minimum of 40,000 pounds on a 9" x 9" area. This represents a 2.5 safety factor over the 160,000 pound requirement of H20 and H202. This load designation is appropriate for general traffic applications. Loading criteria is 40,000 - 100,000 pounds.

Core Ø 8 1/2" 6" outlet where needed

Total capacity = 161.2 gallons

Feb 13/1 www.ACODrain.us

ACO Polymer Products, Inc.
825 W. Beechcraft St. Casa Grande, AZ 85122
Tel: 520-421-9989 Fax: 520-421-9989
9470 Pinecone Dr. Mentor, OH 44060
Tel: 440-639-7230 Fax: 440-639-7230
4211 Pleasant Rd. Fort Mill, SC 29708
Tel: 440-639-7230 Fax: 903-802-1063

Arizona Tel: 888-490-9552 e-mail: sales@acousa.com Ohio Tel: 800-543-4764 www.acousa.com South Carolina Tel: 800-543-4764

ACO

ACO Specification Information

GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
401-273-8000

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REVISIONS		76,825 Sq. Ft.
1	REVISED PER CFG COMMENTS 2/12/2016	1.76 ACRES
2	REVISED PER CFG COMMENTS 2/15/2016	V# NEW
		Store# NEW
		Gas Station# NEW
		Facility# NEW

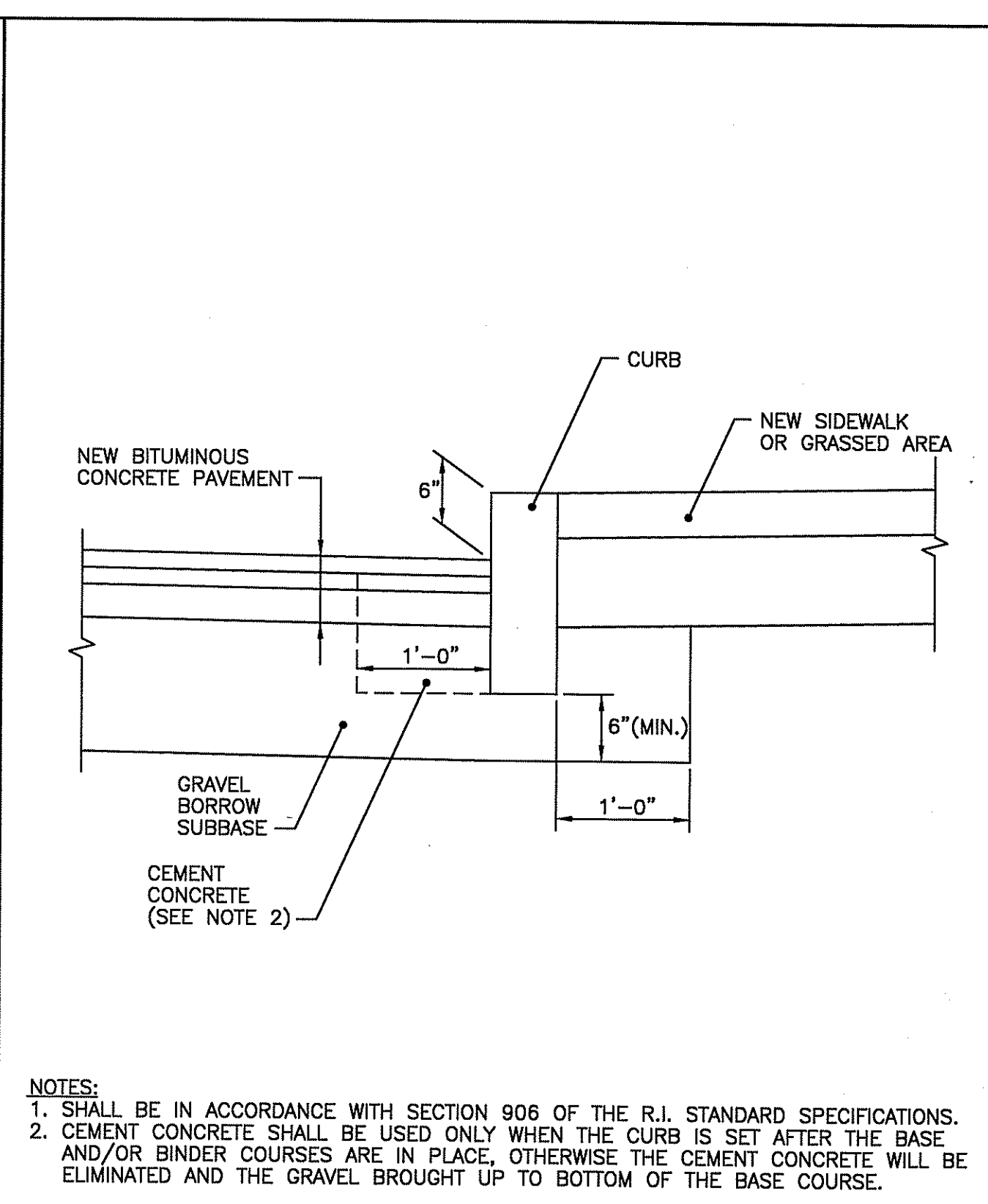
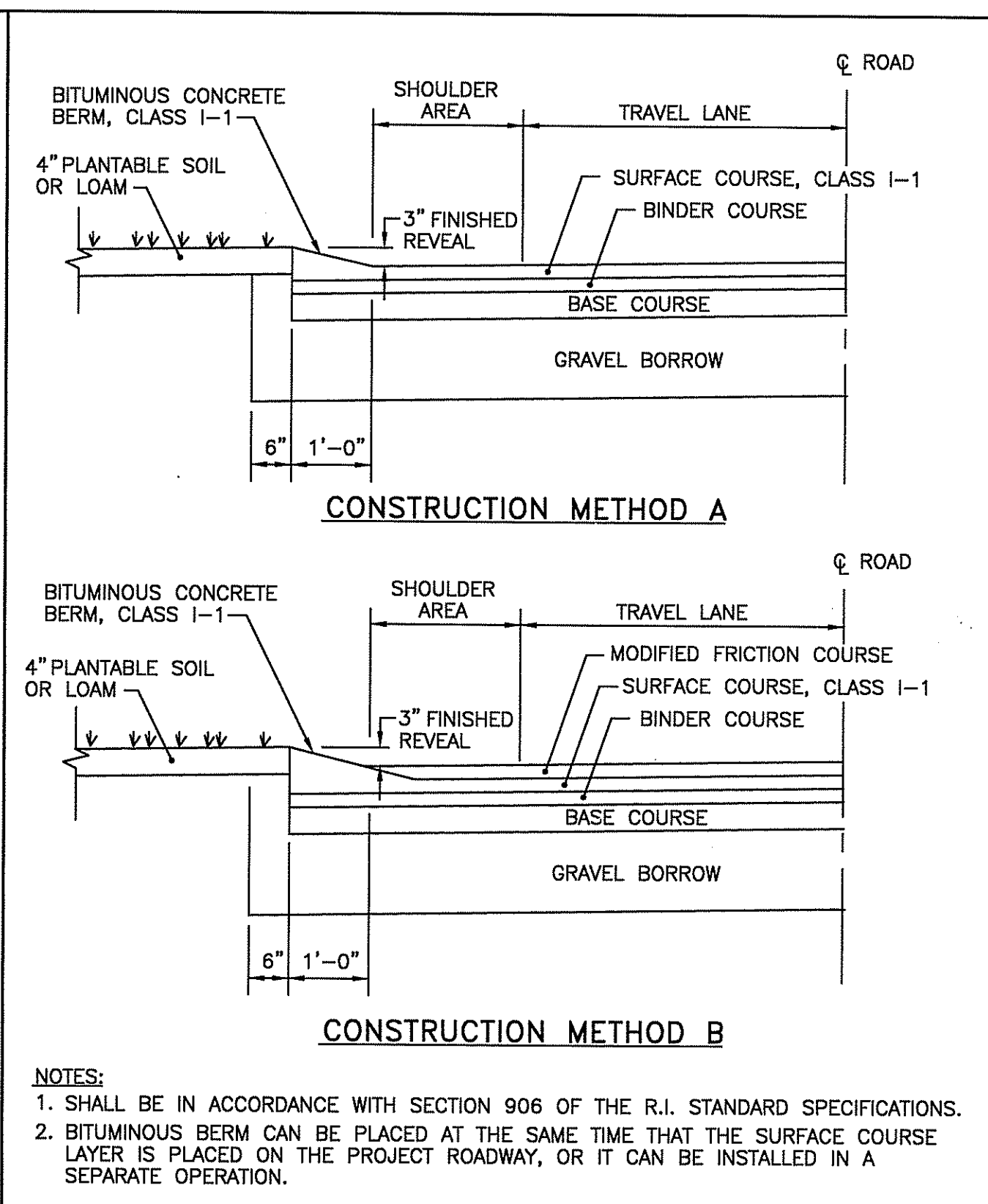
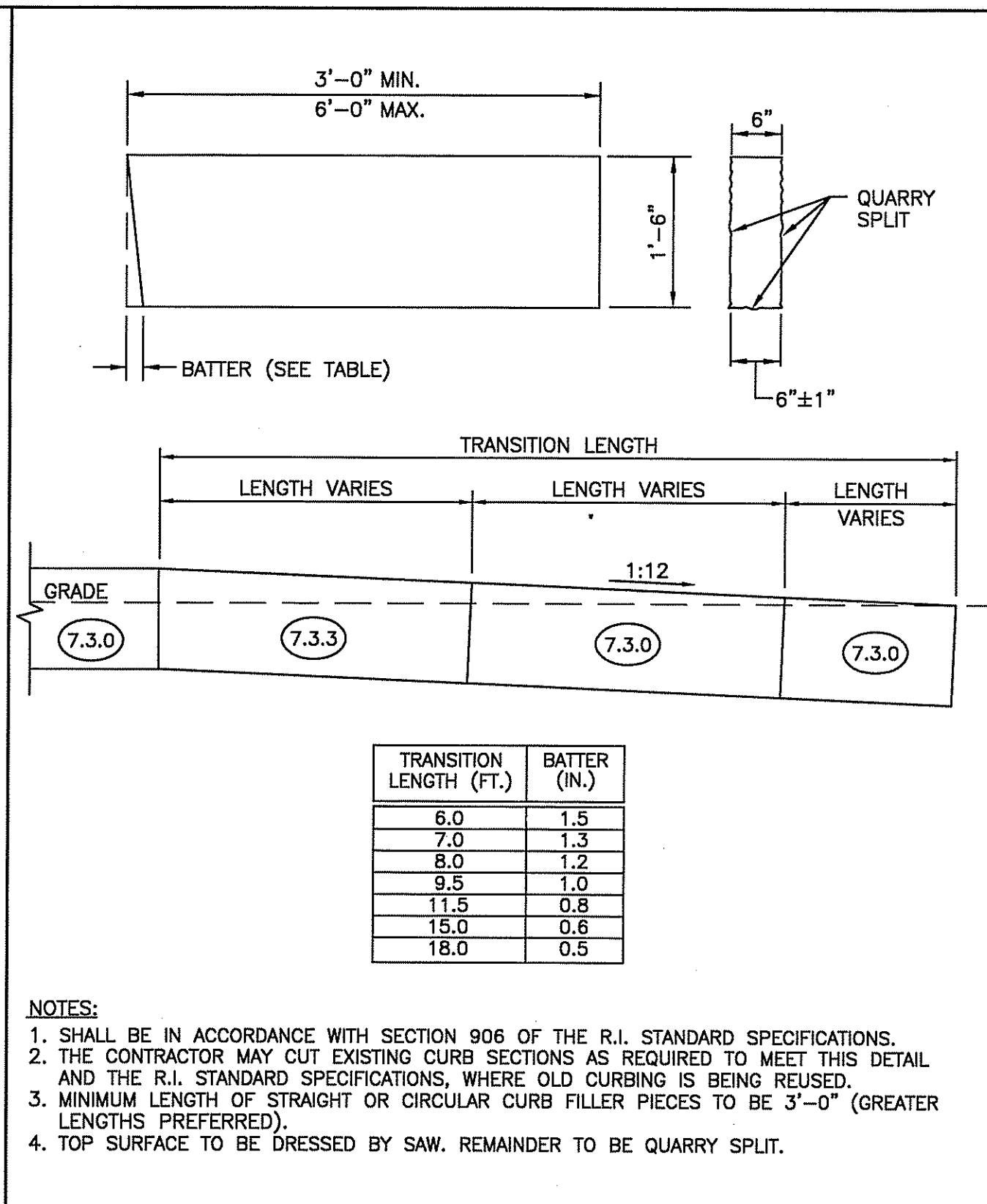
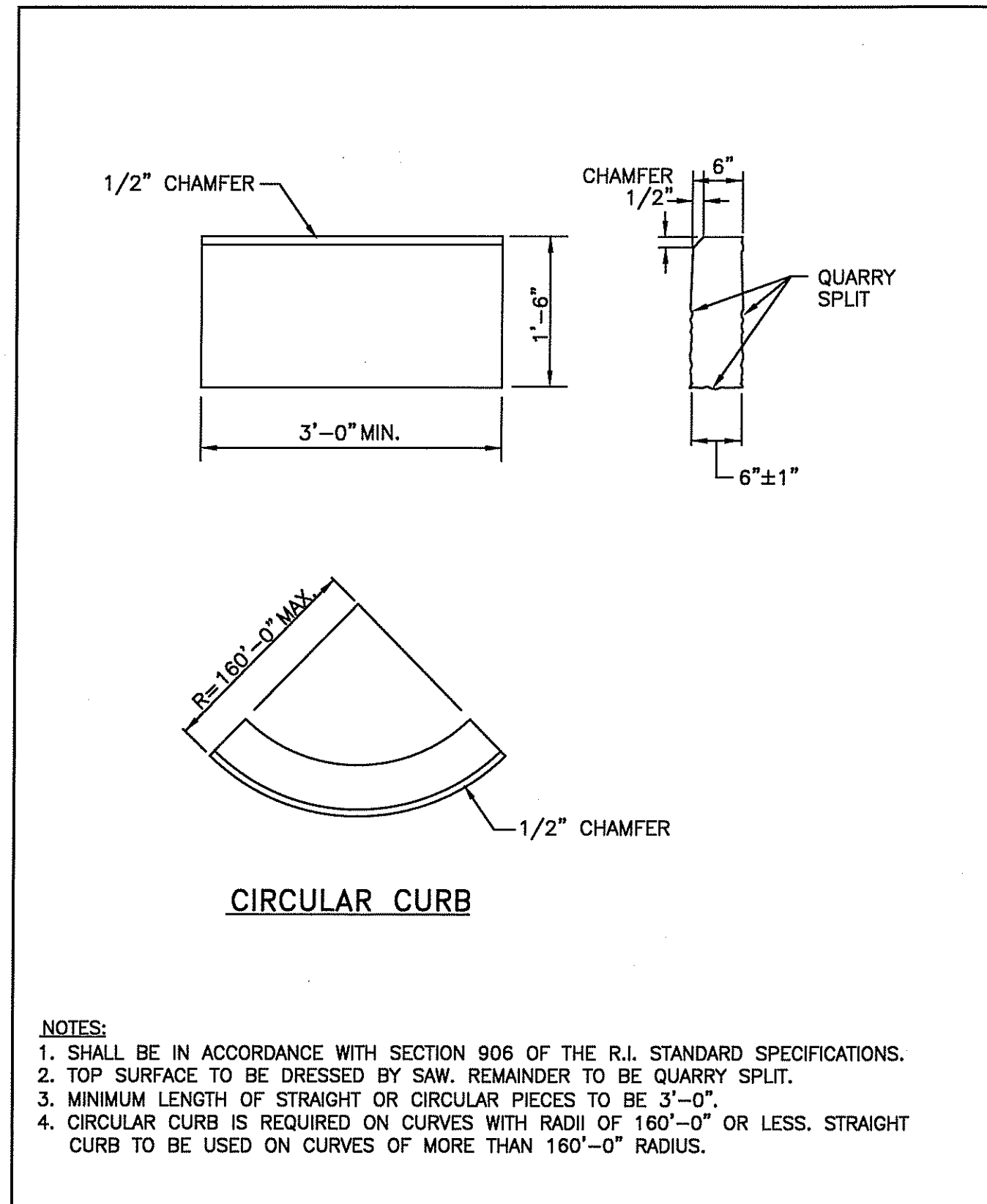
744 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND

Cumberland FARMS

CUMBERLAND FARMS, INC.
100 Crossing Blvd
Frammingham, MA 01702

SCALE: AS SHOWN
DATE: JANUARY 28, 2016
DWG: 6899-DETAILS
DRAWN BY: GAA

SITE CONSTRUCTION DETAILS 4 CFG09.3



REVISIONS		
NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

GRANITE CURB

JUNE 15, 1998

R.I. STANDARD 7.3.0

REVISIONS		
NO.	BY	DATE
1	MLP	3/01/05

GRANITE WHEELCHAIR RAMP TRANSITION CURB

JUNE 15, 1998

R.I. STANDARD 7.3.3

REVISIONS		
NO.	BY	DATE
1	MLP	Mar 05

BITUMINOUS BERM

JUNE 15, 1998

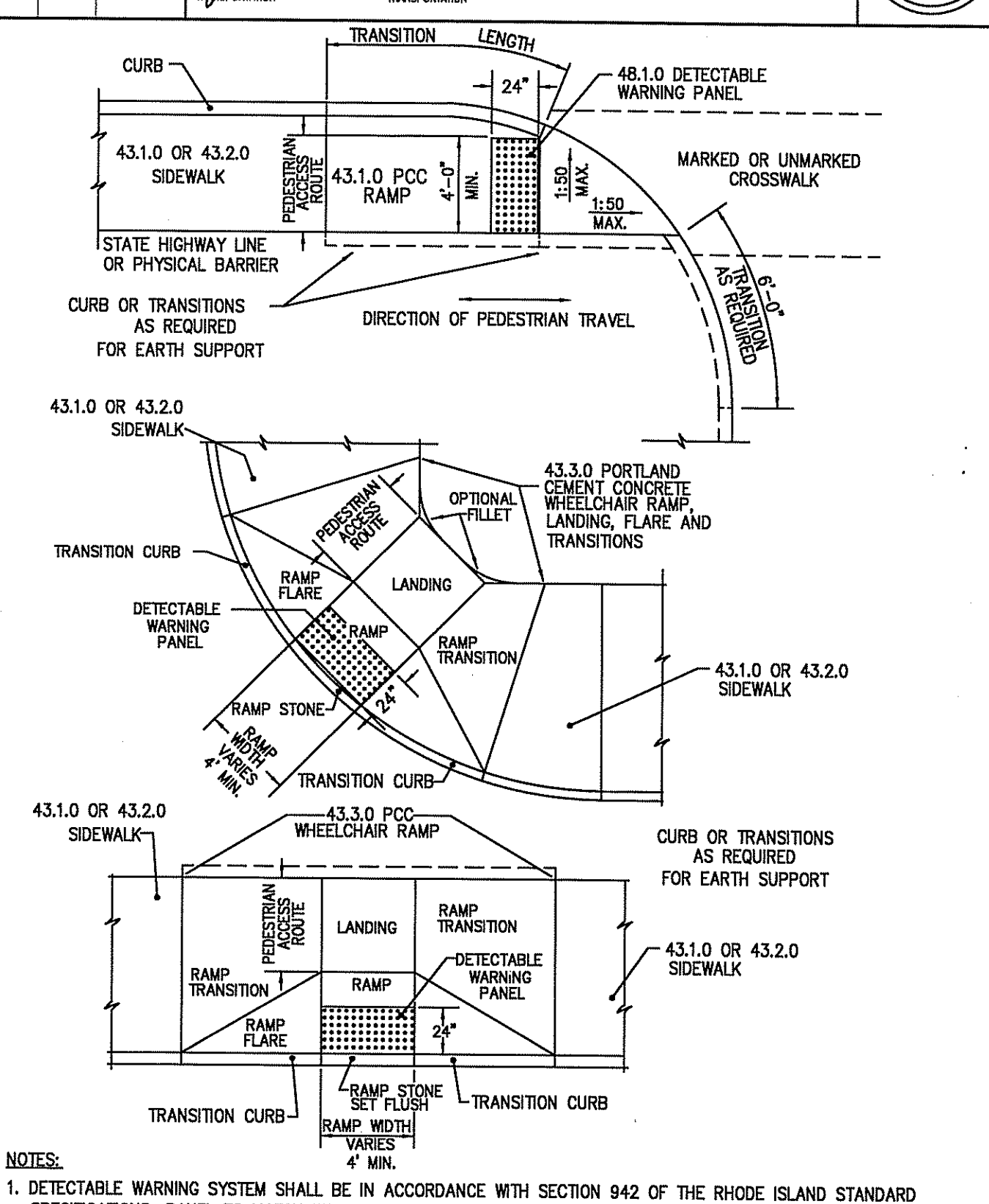
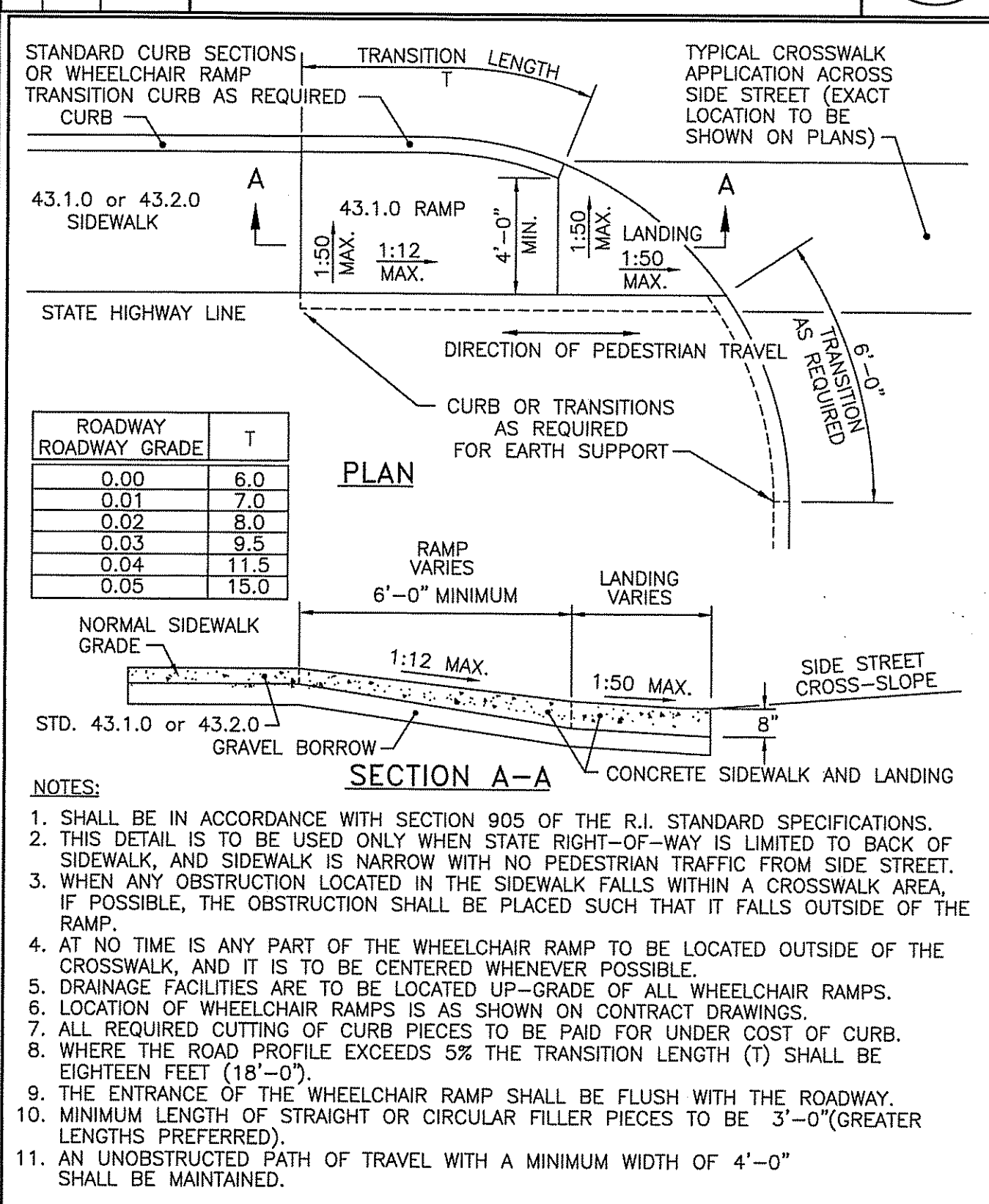
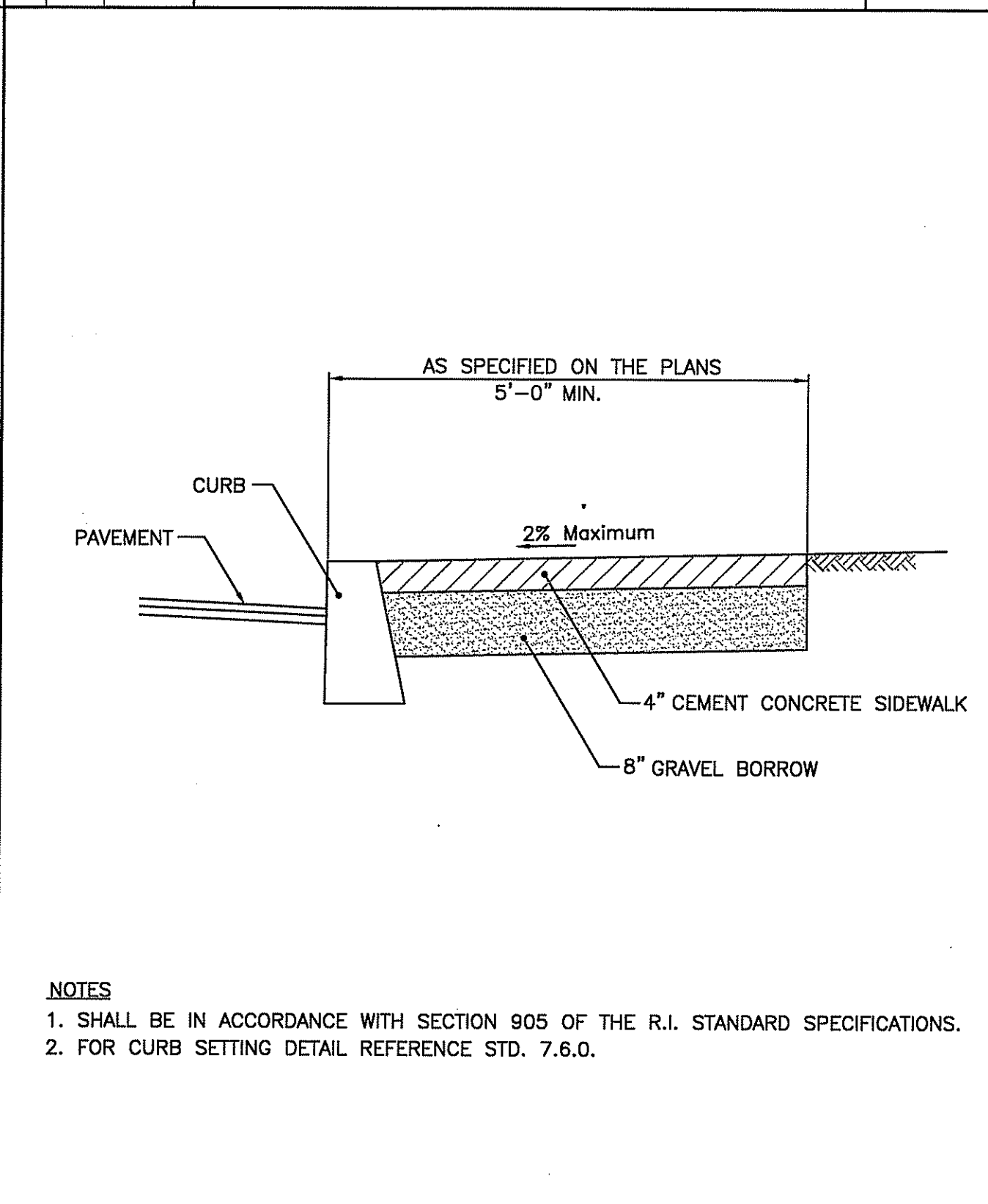
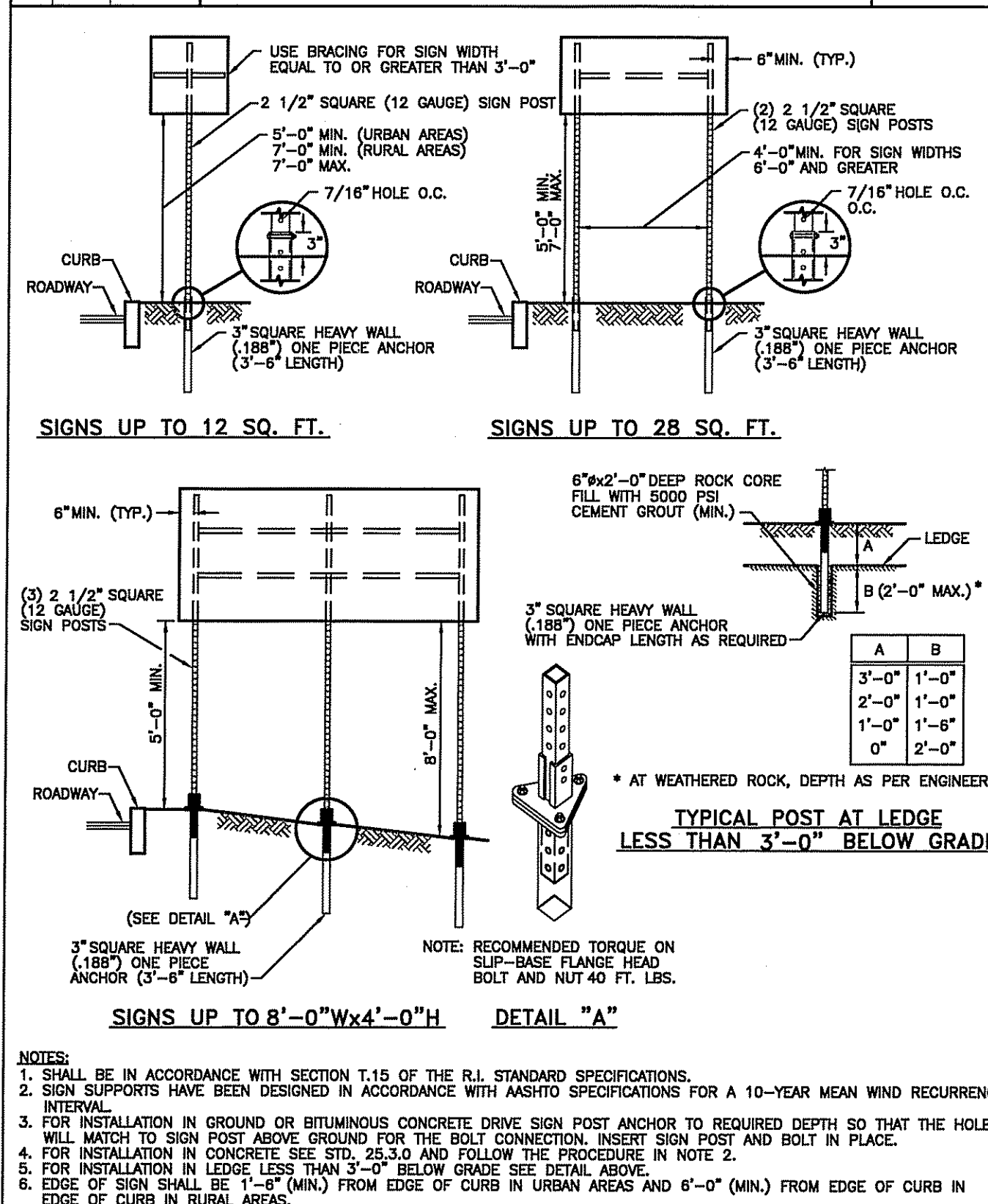
R.I. STANDARD 7.5.1

REVISIONS		
NO.	BY	DATE
1	MLP	Mar 05

CURB SETTING DETAIL

JUNE 15, 1998

R.I. STANDARD 7.6.0



REVISIONS		
NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

SIGN POST SELECTION AND INSTALLATION DETAILS

JUNE 15, 1998

R.I. STANDARD 24.1.0

REVISIONS		
NO.	BY	DATE
1	MLP	Mar 05
2	MLP	06/01/10

CEMENT CONCRETE SIDEWALK

JUNE 15, 1998

R.I. STANDARD 43.1.0

REVISIONS		
NO.	BY	DATE
1	MLP	Dec 2005
2	MLP	Sep 2012

WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS

JUNE 15, 1998

R.I. STANDARD 43.3.1

REVISIONS		
NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

DETECTABLE WARNING PANEL PLACEMENT

JUNE 15, 1998

R.I. STANDARD 48.1.0

76,825 Sq. Ft.
 1.76 ACRES
 V# NEW
 Store# NEW
 Gas Station# NEW
 Facility# NEW

744 & 750 BRANCH AVENUE
PROVIDENCE, RHODE ISLAND

SCALE: AS SHOWN
 DATE: JANUARY 28, 2016
 DWG: 6899-DETAILS
 DRAWN BY: GAA

GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
 86 CORLISS STREET, P.O. BOX 6145
 PROVIDENCE, RHODE ISLAND 02904
 401-273-6000

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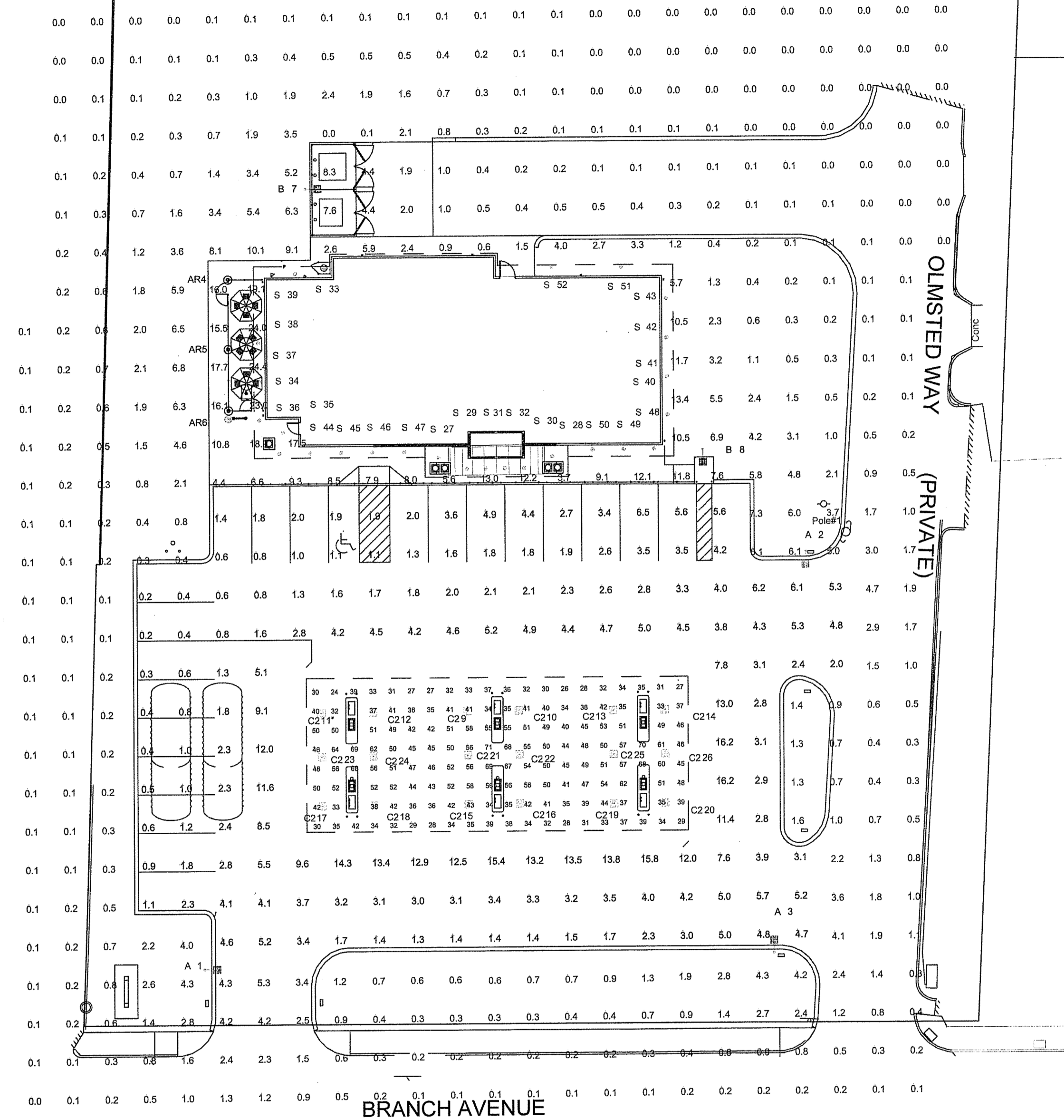
Cumberland
 CUMBERLAND FARMS, INC.
 100 Crossing Blvd
 Framingham, MA 01702

SITE CONSTRUCTION DETAILS 5

CFG09.4

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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MAR 8 2016



NOTE:
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES
- EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.
- TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LumNo	Label	MTG. HGT.
1	A	15
2	A	15
3	A	15
4	AR	8
5	AR	8
6	AR	8
7	B	15
8	B	15
9	C2	14
10	C2	14
11	C2	14
12	C2	14
13	C2	14
14	C2	14
15	C2	14
16	C2	14
17	C2	14
18	C2	14
19	C2	14
20	C2	14
21	C2	14
22	C2	14
23	C2	14
24	C2	14
25	C2	14
26	C2	14

LUM NO.	LABEL	MTG. HT.
27	S	12
28	S	12
29	S	16.228
30	S	16.228
31	S	16.945
32	S	16.945
33	S	12
34	S	12
35	S	12
36	S	12
37	S	12
38	S	12
39	S	12
40	S	12
41	S	12
42	S	12
43	S	12
44	S	12
45	S	12
46	S	12
47	S	12
48	S	12
49	S	12
50	S	12
51	S	12
52	S	12

CALCULATION SUMMARY

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	43.91	71	24	1.83	2.96
PAVED	4.05	16.2	0.2	20.25	81.00
UNDEFINED	1.85	24.4	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	3	A	SINGLE	10706	1.040	132.5	387	CREE, INC.	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
	3	AR	SINGLE	7985	1.040	92	276	CREE INC.	ARE-EDR-5M-R5-04-E-UL-XX-700-57K
	2	B	SINGLE	11257	1.040	134	268	CREE, INC.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
	18	C2	SINGLE	13251	1.040	134	2412	CREE, INC.	CAN-304-SL-RS-06-E-UL-XX-700-57K
	26	S	SINGLE	1757	1.000	19.8	514.8	Cree Lighting - Recessed Downlight	LR618L-40K-120V-A-DR+RC6 HOUSING

REV	BY	DATE	DESCRIPTION
R1	TAS	2/18/16	UPDATED SITE PLAN AND DELETED ONE AREA LIGHT AT ENTRANCE
R2	TAS	2/22/16	ROTATE SITE PLAN AND ADDED LIGHT AT ENTRANCE

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SCALE: 1" = 20'
LAYOUT BY: TAS
DATE: 4/30/15
DRAWING NUMBER: RL-2836-S1-R2

PROJECT NAME:
**CUMBERLAND FARMS
PROVIDENCE, R1**
CFG 10.0



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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AS SPECIFIED IN THE LETTER OF OPINION
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