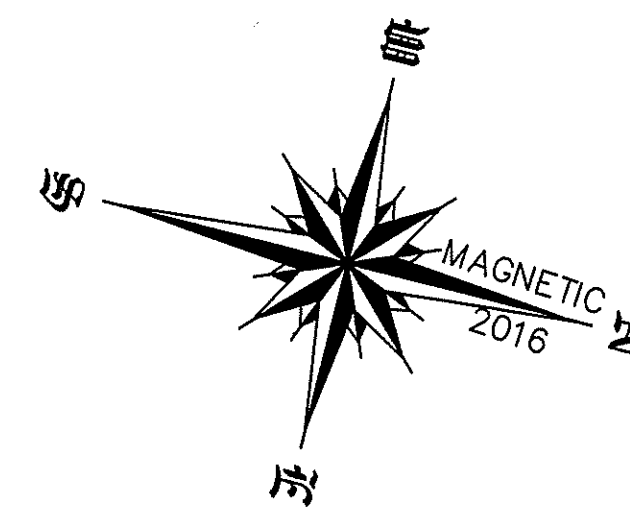
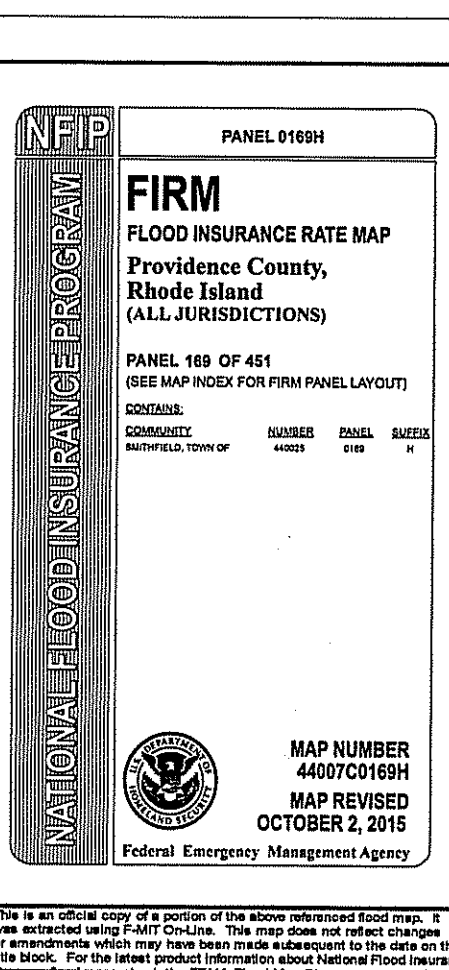


LOCATION MAP



FEMA MAP (NTS)



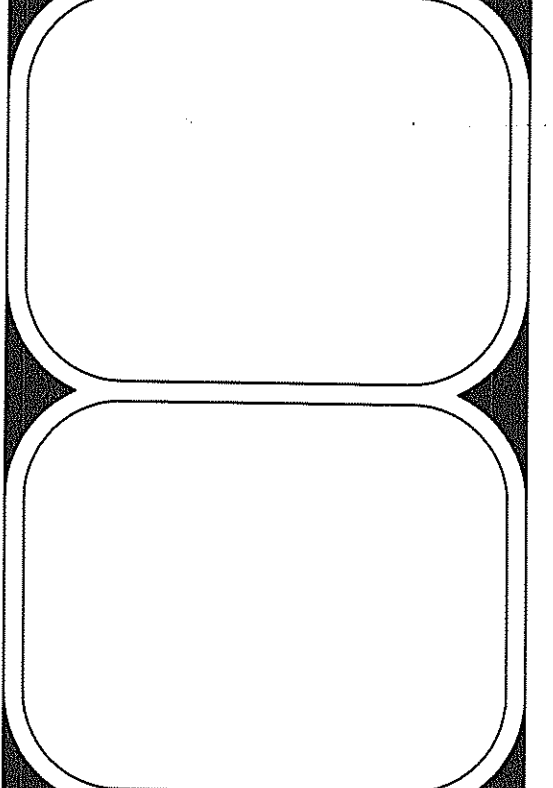
- REFERENCES
1. PLAN IN SUB-DIVISION BERNON MILL PROPERTY OF MANVILLE-JENCKES CORPORATION, SMITHFIELD, RI APRIL, 1935 CHARLES F. PARKER, CIVIL ENGINEER
 2. STATE OF R.I. HIGHWAY PLAT #1841
 3. PLAN SHOWING LAND IN JOHNSTON AND SMITHFIELD RHODE ISLAND TO BE CONVEYED TO THE NARRAGANSETT ELECTRIC COMPANY BY PENN CENTRAL TRANSPORTATION COMPANY
 4. TOWN OF SMITHFIELD, TAX ASSESSORS PLATS 24 & 23
 5. TOWN OF SMITHFIELD SEWER AUTHORITY

- GENERAL NOTES:
1. ALL SEWER AND SOME DRAINAGE INVERTS WERE TAKEN FROM BEST AVAILABLE INFORMATION.
 2. UNABLE TO OBTAIN WATER AS BUILTS FROM THE TOWN OF SMITHFIELD, HOWEVER, ALL WATER PIPES ARE 6" CAST IRON
 3. WHIPPLE AVENUE IS REFERENCED ON R.I. STATE HIGHWAY PLAT #1841.
 4. CHAIN LINK FENCE (NOT SHOWN) BETWEEN THE PROPERTY AND WHIPPLE AVE IS FOR TEMPORARY CONSTRUCTION.

EXISTING CONDITIONS PLAN
 PREPARED FOR
 COVENTRY HOUSING AUTHORITY
 LOCATION
 HIGGINS STREET / WHIPPLE AVENUE
 BEING A.P. 23/LOT 71 &
 A.P. 24/LOTS 66 & 67
 SMITHFIELD, R.I.

Checked By: K.D.A. Drawn By: E.J.I.
 Scale: 1" = 50' Date: 6-28-2016

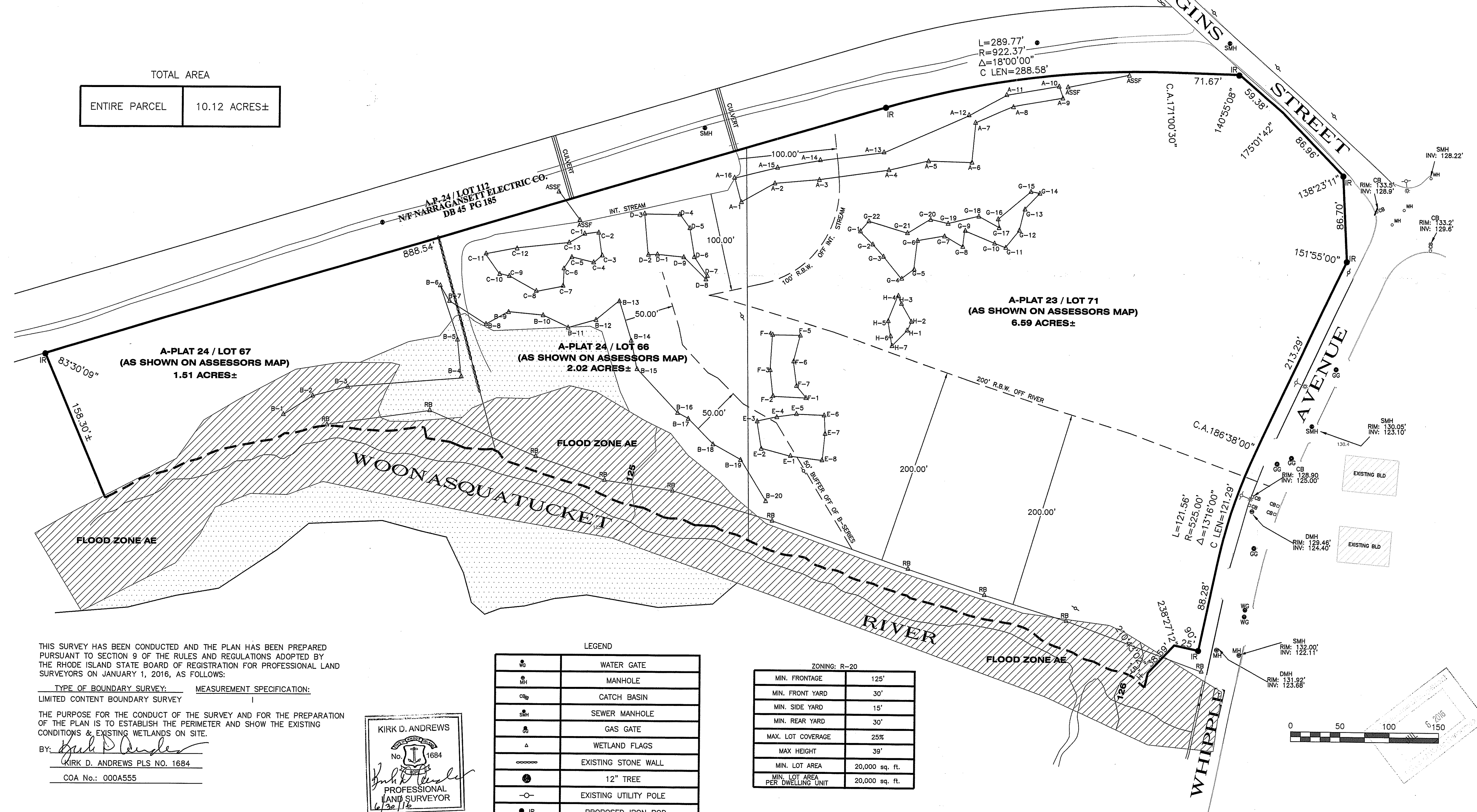
NO.	REVISION	BY	DATE



E. GREENWICH SURVEYORS, LLC
 LAND SURVEYING AND SITE PLANNING
 1050 MAIN STREET SUITE 31
 EAST GREENWICH, RHODE ISLAND 02818
 PHONE (401) 339-2661 PHONE (401) 388-8574
 E-MAIL: KANDREWST1684@AOL.COM FAX: 401-884-0017

TOTAL AREA

ENTIRE PARCEL	10.12 ACRES±
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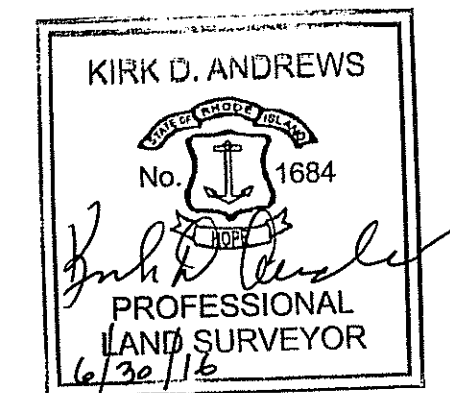


THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: LIMITED CONTENT BOUNDARY SURVEY

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO ESTABLISH THE PERIMETER AND SHOW THE EXISTING CONDITIONS & EXISTING WETLANDS ON SITE.

BY: *Kirk D. Andrews*
 KIRK D. ANDREWS PLS NO. 1684
 COA No.: 000A555



LEGEND

W	WATER GATE
MH	MANHOLE
CB	CATCH BASIN
SMH	SEWER MANHOLE
G	GAS GATE
Δ	WETLAND FLAGS
—	EXISTING STONE WALL
○	12" TREE
—○—	EXISTING UTILITY POLE
● IR	PROPOSED IRON ROD

ZONING: R-20

MIN. FRONTAGE	125'
MIN. FRONT YARD	30'
MIN. SIDE YARD	15'
MIN. REAR YARD	30'
MAX. LOT COVERAGE	25%
MAX. HEIGHT	39'
MIN. LOT AREA	20,000 sq. ft.
MIN. LOT AREA PER DWELLING UNIT	20,000 sq. ft.

