

SITE PLAN SET FOR PROPOSED RESTAURANT



PLAT MAP 32-4, LOT 32
 ZONING DISTRICTS: CN and R-10
 COMMERCIAL NEIGHBORHOOD and
 MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
 and KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT

2089 KINGSTOWN ROAD (ROUTE 108)
 SOUTH KINGSTOWN, R.I.

OWNER

DCH1 REALTY HOLDINGS SOUTH, LLC
 880 VICTORY HIGHWAY
 WEST GREENWICH, RHODE ISLAND
 02817

APPLICANT

DANIEL HEBERT
 880 VICTORY HIGHWAY
 WEST GREENWICH, RHODE ISLAND
 02817

ENGINEERS and LAND SURVEYORS



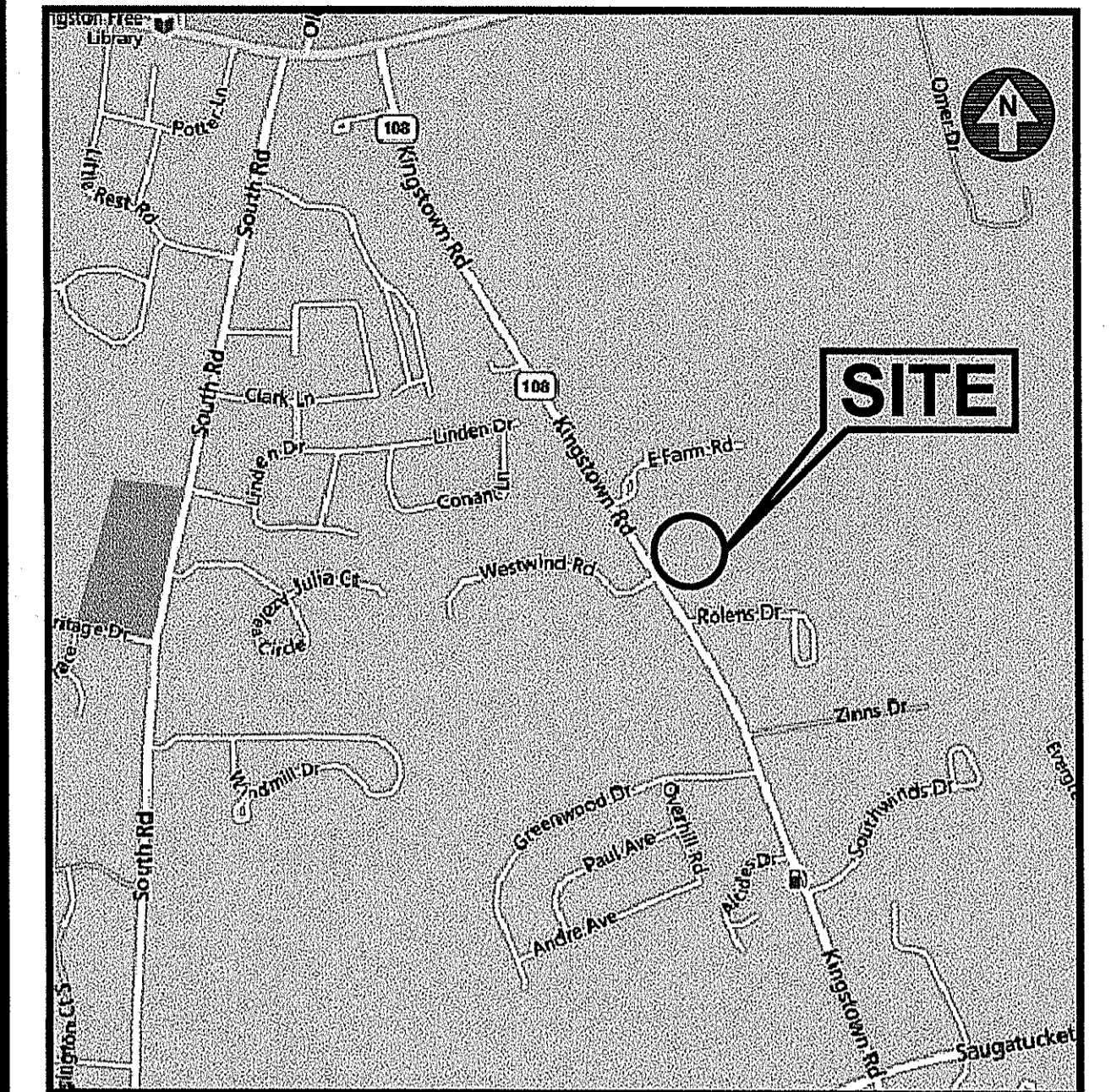
- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700

Email: cei@crossmaneng.com

JUNE 2015
 SHEET 1 of 15

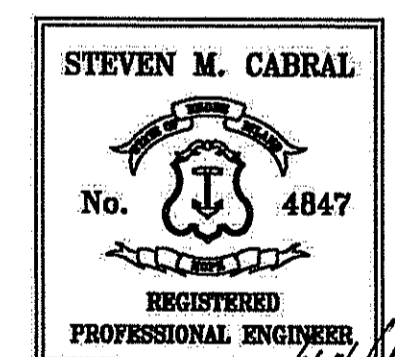


LOCATION MAP
 NOT TO SCALE

INDEX OF DRAWINGS

DRAWING No.	PLAN
C1	GENERAL NOTES and LEGEND
C2	AERIAL MAP
C3	200' ABUTTERS MAP
C4	EXISTING CONDITIONS PLAN
C5	SITE LAYOUT PLAN
C6	GRADING PLAN
C7	UTILITY PLAN
C8	SOIL EROSION and SEDIMENT CONTROL PLAN
C9	MISCELLANEOUS DETAILS PLAN No. 1
C10	MISCELLANEOUS DETAILS PLAN No. 2
C11	MISCELLANEOUS DETAILS PLAN No. 3
E1	SITE LIGHTING PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAIL PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATE: JUN 03 2015 FILE # 16-0120
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



REVISIONS:

No.:	DATE:	DESCRIPTION:
1	08/21/15	RIDOT COMMENTS
2	08/28/15	TOWN SUBMISSION
3	10/30/15	RIDEM COMMENTS
4	04/04/16	DRAINAGE MODIFICATION

Kindly be advised that this
 Permit is not equivalent to a
 verification of the type or extent
 of freshwater wetlands on site.

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY MUNICIPALITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED SEPTEMBER 2013, AND STANDARD DETAILS, AS AMENDED.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

LAYOUT NOTE

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE ROADWAY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2003 EDITION, LATEST REVISIONS.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

CONSTRUCTION NOTES

- THE CONTRACTOR IS REQUIRED TO OBTAIN AND REVIEW ALL ENGINEERING AND PERMIT DOCUMENTS COMPLETED FOR FINAL DESIGN.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF UTILITIES ON SITE. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS AS REQUIRED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL UTILITY INSTALLATION. AS-BUILT INFORMATION INCLUDES MATERIAL LIST, PIPE DEPTH NOTATIONS AND SWING TIE LOCATIONS (2 MINIMUM) FROM NEW PIPE TO PERMANENT STRUCTURES. ALL PIPE BEND/ELBOW LOCATIONS SHALL BE DIMENSIONED.

FLOOD ZONE NOTE

THE SITE IS WITHIN FLOOD ZONE X. AREAS TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP, WASHINGTON COUNTY, RHODE ISLAND, PANEL 185 OF 368, MAP NUMBER 44009C0185H, EFFECTIVE DATE OCTOBER 19, 2010.

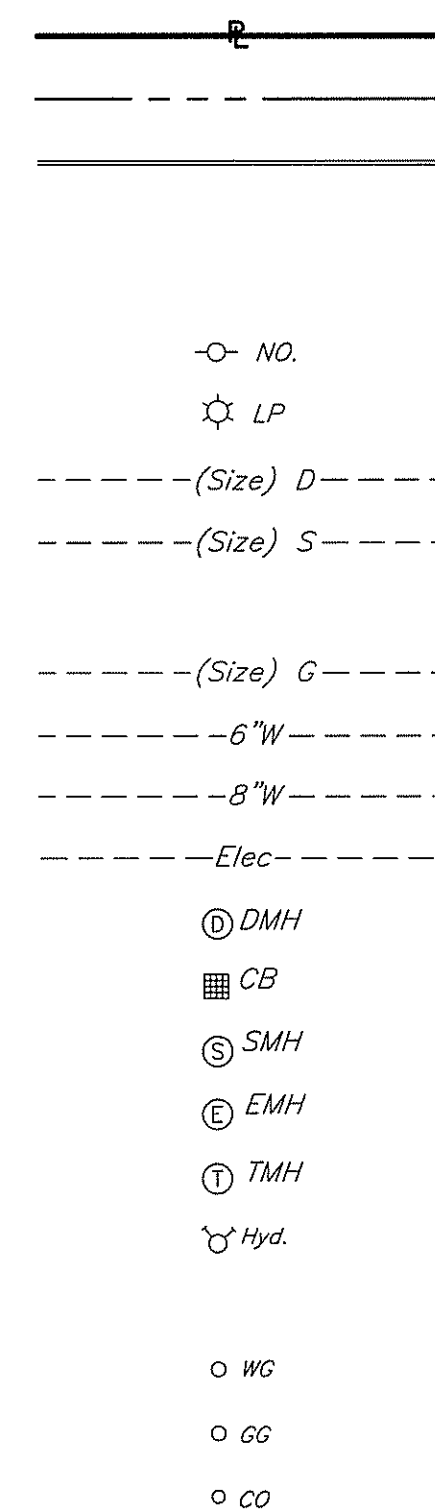
PROPOSED PAVEMENT STRUCTURE

- 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE, CLASS 9.5 HMA
- 1 1/2" BITUMINOUS CONCRETE BASE COURSE, CLASS 12.5 HMA
- 12" GRAVEL BORROW SUBBASE

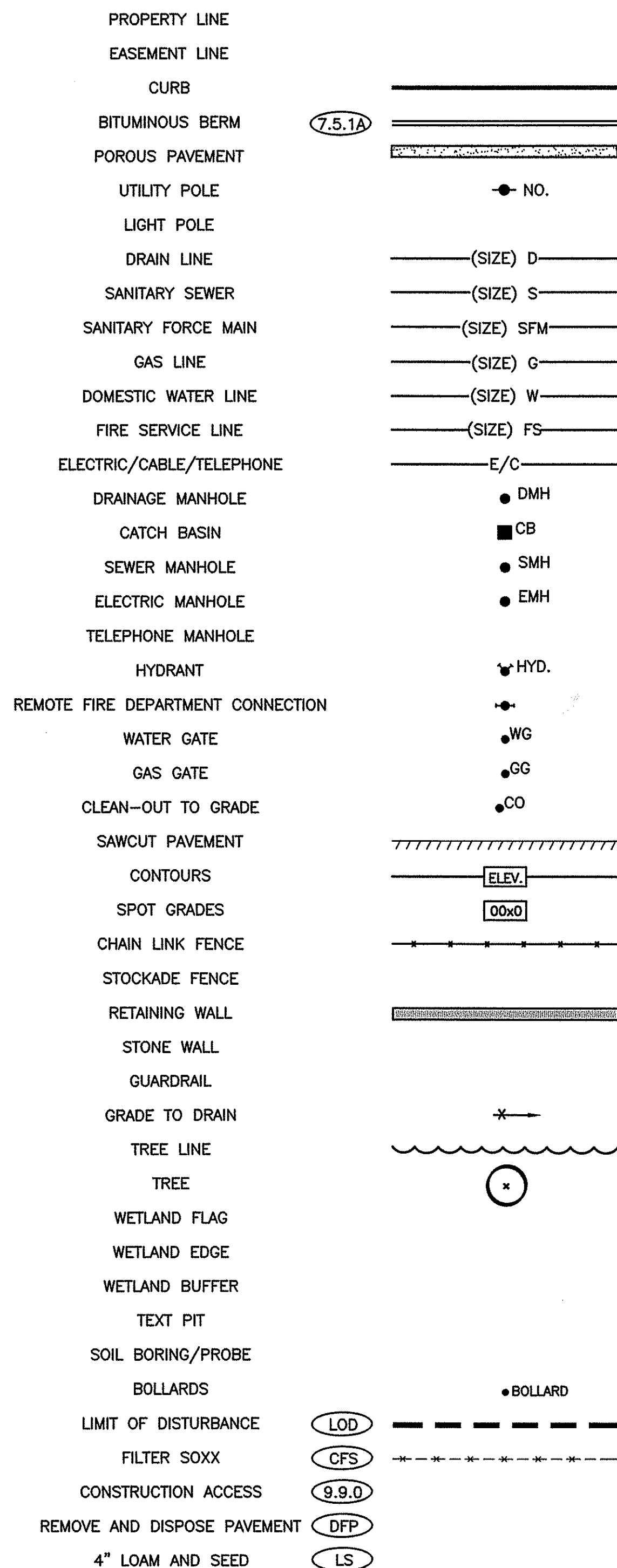
UTILITY NOTES

- PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR MUST PERFORM ADDITIONAL TESTS TO:
 - CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
 - CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNER'S AUTHORIZATION.
 - THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND PIPE MATERIAL OF THE EXISTING WATER, GAS AND SANITARY SERVICES AT THE PROPOSED TIE-IN LOCATION.
- ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO TIE-IN.
- THIS UTILITY PLAN DOES NOT REPRESENT THE SITE ELECTRICAL/TELEPHONE/COMMUNICATION SYSTEM DESIGNS AND DOES NOT DEPICT IRRIGATION PIPING. CONTRACTOR SHALL COORDINATE WITH OWNER TO VERIFY IRRIGATION PIPING REQUIREMENTS.
- THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
- ALL PROPOSED PIPES AND CONDUITS SHALL BE INSTALLED TO MEET H-20 LOADING CAPACITY. ALL MATERIAL AND TRENCHING METHODS SHALL CONFORM TO H-20 LOADING CAPACITIES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/CATALOG CUTS FOR PROPOSED PIPE AND CONDUIT TO ENGINEER FOR APPROVAL.

EXISTING



LEGEND

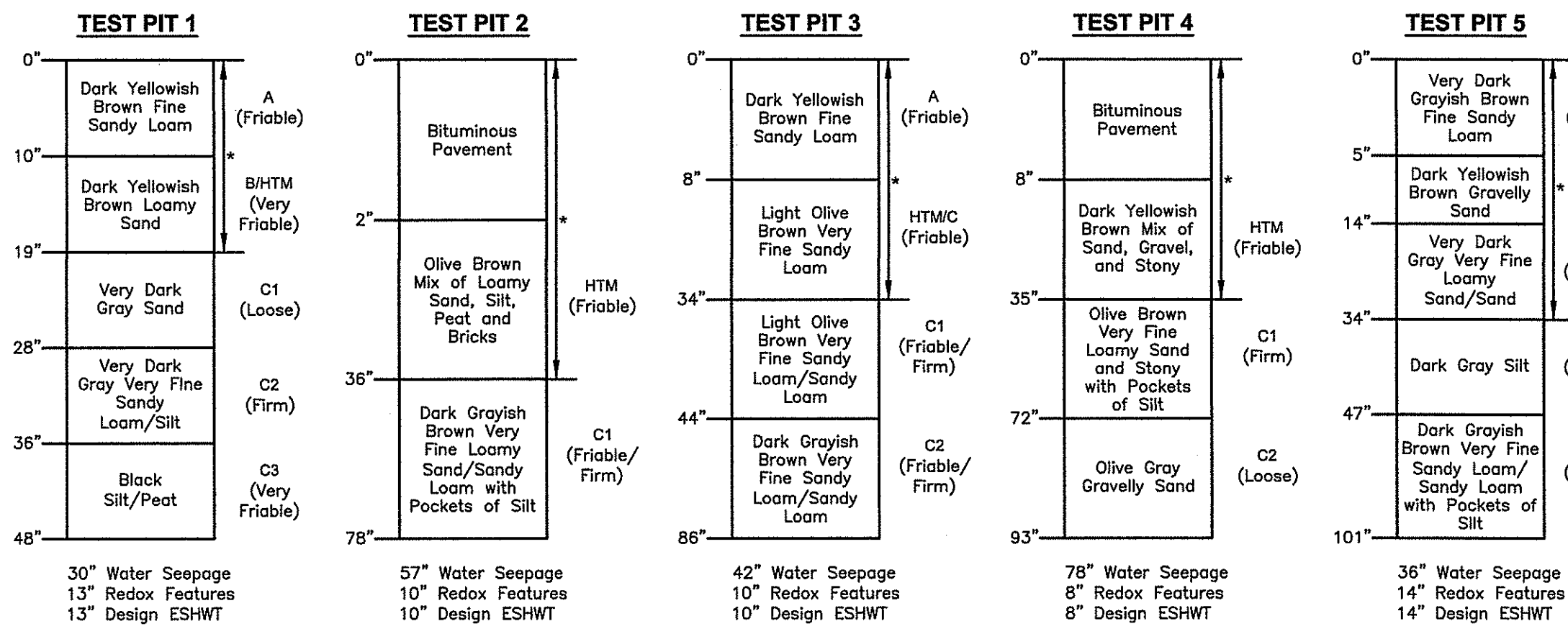


Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 03 2015 FILE # 16-0126
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SOIL EVALUATION DATA

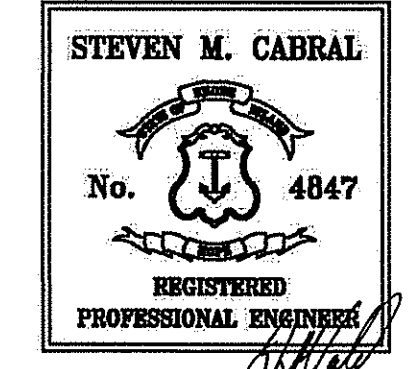
SOIL EVALUATIONS WERE CONDUCTED BY CROSSMAN ENGINEERING ON APRIL 30, 2015



* NOTE: REMOVE UNSUITABLE MATERIAL WITHIN SAND FILTER AND PAVEMENT AREAS.

CROSSMAN ENGINEERING
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5880
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



KEY PLAN

PROPOSED RESTAURANT
PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT and KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108) SOUTH KINGSTOWN, R.I.

DAN'S PLACE
880 VICTORY HIGHWAY WEST GREENWICH, RI

GENERAL NOTES and LEGEND

DATE: JUNE 2015 SCALE: NO SCALE
DWG. NAME: 2072-C01-NOTE-R4.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16



CROSSMAN ENGINEERING
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
 Email: cej@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
 No. 4847
 REGISTERED PROFESSIONAL ENGINEER
S.M. Cabral
 5-10-16

KEY PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATE: JUN 22 2016 FILE # 16-0120
 NO CHANGES ALLOWED WITHOUT WRITTEN APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PROJECT TITLE:
PROPOSED RESTAURANT
 PLAT MAP 32-4, LOT 32
 ZONING DISTRICT: CN and R-10
 COMMERCIAL NEIGHBORHOOD and
 MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
 and KINGSTOWN ROAD
 SPECIAL MANAGEMENT DISTRICT
 2089 KINGSTOWN ROAD (ROUTE 108)
 SOUTH KINGSTOWN, R.I.

PREPARED FOR:
DAN'S PLACE

 880 VICTORY HIGHWAY
 WEST GREENWICH, RI

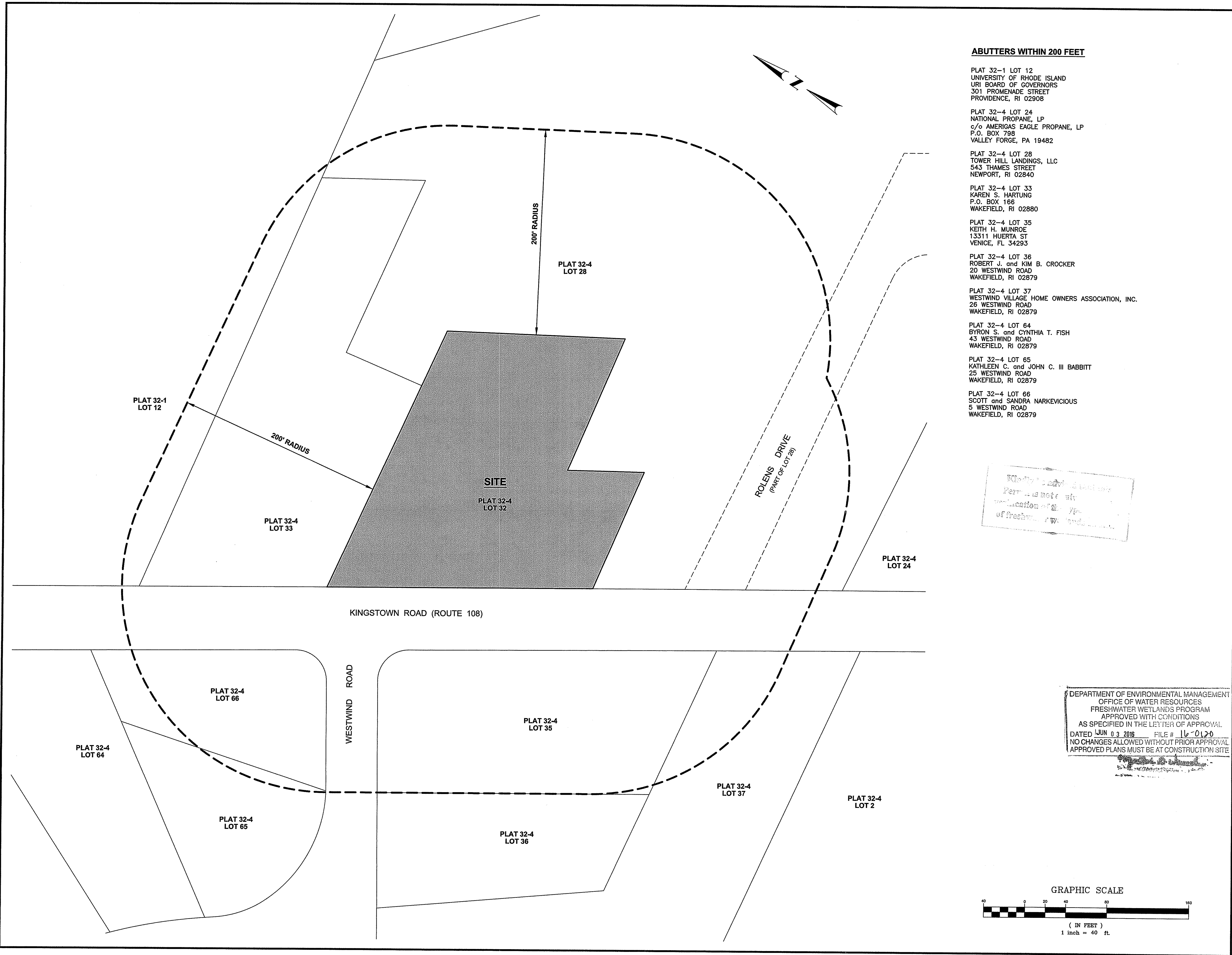
DRAWING TITLE:
AERIAL MAP

DATE: JUNE 2015 SCALE: 1"=20'
 DWG. NAME: 2072-C02-AERIAL-R4.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER
C2
 SHEET: 3 OF 15



ABUTTERS WITHIN 200 FEET

PLAT 32-1 LOT 12
UNIVERSITY OF RHODE ISLAND
URI BOARD OF GOVERNORS
301 PROMENADE STREET
PROVIDENCE, RI 02908

PLAT 32-4 LOT 24
NATIONAL PROPANE, LP
c/o AMERIGAS EAGLE PROPANE, LP
P.O. BOX 798
VALLEY FORGE, PA 19482

PLAT 32-4 LOT 28
TOWER HILL LANDINGS, LLC
543 THAMES STREET
NEWPORT, RI 02840

PLAT 32-4 LOT 33
KAREN S. HARTUNG
P.O. BOX 166
WAKEFIELD, RI 02880

PLAT 32-4 LOT 35
KEITH H. MUNROE
13311 HUERTA ST
VENICE, FL 34293

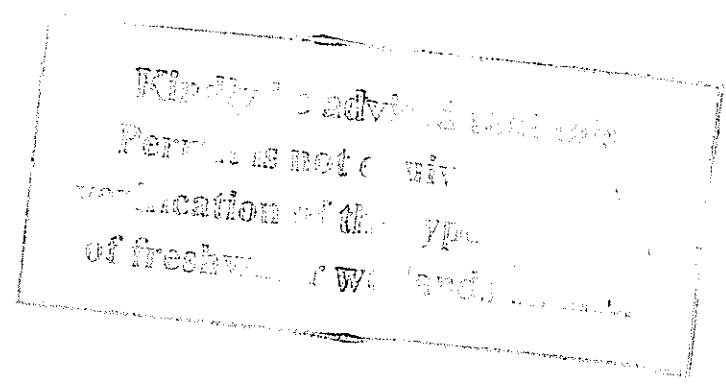
PLAT 32-4 LOT 36
ROBERT J. and KIM B. CROCKER
20 WESTWIND ROAD
WAKEFIELD, RI 02879

PLAT 32-4 LOT 37
WESTWIND VILLAGE HOME OWNERS ASSOCIATION, INC.
26 WESTWIND ROAD
WAKEFIELD, RI 02879

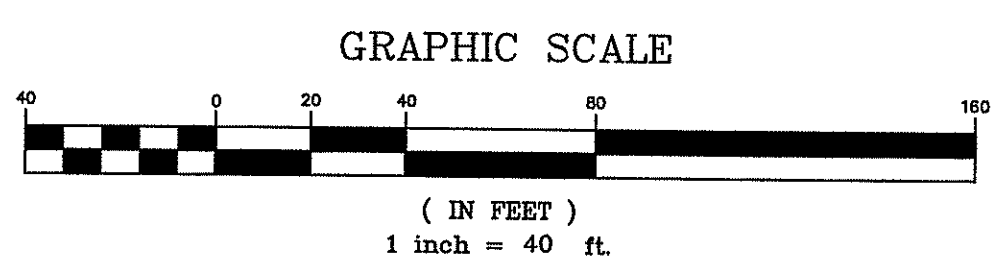
PLAT 32-4 LOT 64
BYRON S. and CYNTHIA T. FISH
43 WESTWIND ROAD
WAKEFIELD, RI 02879

PLAT 32-4 LOT 65
KATHLEEN C. and JOHN C. III BABBITT
25 WESTWIND ROAD
WAKEFIELD, RI 02879

PLAT 32-4 LOT 66
SCOTT and SANDRA NARKEVICIOUS
5 WESTWIND ROAD
WAKEFIELD, RI 02879



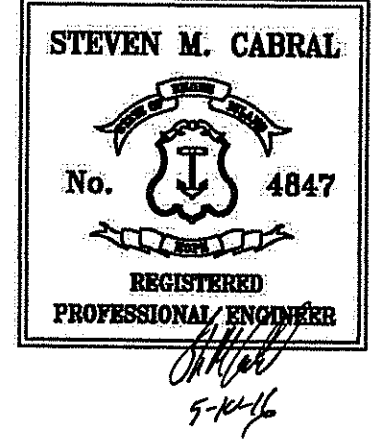
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 03 2016 FILE # 16-0120
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



CROSSMAN ENGINEERING
Rhode Island: 151 Centerville Road, Warwick, RI 02886
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763
Phone: (401) 738-5660, (508) 695-1700
Email: cel@crossmaneng.com

- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



KEY PLAN

PROJECT TITLE:
PROPOSED RESTAURANT
PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
DAN'S PLACE

880 VICTORY HIGHWAY
WEST GREENWICH, RI

DRAWING TITLE:
200' ABUTTERS MAP

DATE: JUNE 2015
SCALE: 1"=40'
DWG. NAME: 2072-C03-RADIUS-R4.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER:
C3
SHEET: 4 OF 15

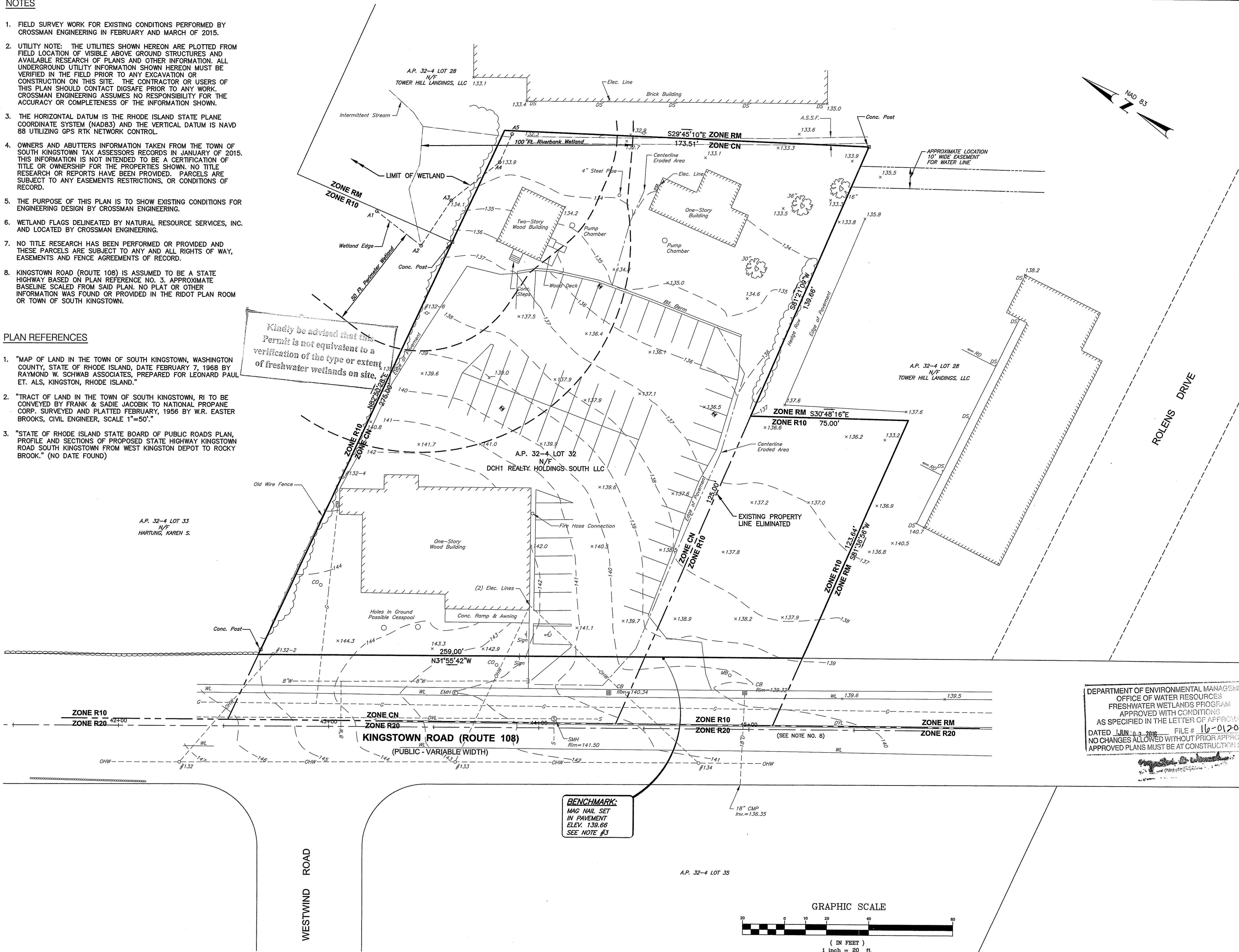
NOTES

- FIELD SURVEY WORK FOR EXISTING CONDITIONS PERFORMED BY CROSSMAN ENGINEERING IN FEBRUARY AND MARCH OF 2015.
- UTILITY NOTE: THE UTILITIES SHOWN HEREON ARE PLOTTED FROM FIELD LOCATION OF VISIBLE ABOVE GROUND STRUCTURES AND AVAILABLE RESEARCH OF PLANS AND OTHER INFORMATION. ALL UNDERGROUND UTILITY INFORMATION SHOWN HEREON MUST BE VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THIS SITE. THE CONTRACTOR OR USERS OF THIS PLAN SHOULD CONTACT DIGSAFE PRIOR TO ANY WORK. CROSSMAN ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
- THE HORIZONTAL DATUM IS THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM (NAD83) AND THE VERTICAL DATUM IS NAVD 88 UTILIZING GPS RTK NETWORK CONTROL.
- OWNERS AND ABUTTERS INFORMATION TAKEN FROM THE TOWN OF SOUTH KINGSTOWN TAX ASSESSORS RECORDS IN JANUARY OF 2015. THIS INFORMATION IS NOT INTENDED TO BE A CERTIFICATION OF TITLE OR OWNERSHIP FOR THE PROPERTIES SHOWN. NO TITLE RESEARCH OR REPORTS HAVE BEEN PROVIDED. PARCELS ARE SUBJECT TO ANY EASEMENTS RESTRICTIONS, OR CONDITIONS OF RECORD.
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS FOR ENGINEERING DESIGN BY CROSSMAN ENGINEERING.
- WETLAND FLAGS DELINEATED BY NATURAL RESOURCE SERVICES, INC. AND LOCATED BY CROSSMAN ENGINEERING.
- NO TITLE RESEARCH HAS BEEN PERFORMED OR PROVIDED AND THESE PARCELS ARE SUBJECT TO ANY AND ALL RIGHTS OF WAY, EASEMENTS AND FENCE AGREEMENTS OF RECORD.
- KINGSTOWN ROAD (ROUTE 108) IS ASSUMED TO BE A STATE HIGHWAY BASED ON PLAN REFERENCE NO. 3. APPROXIMATE BASELINE SCALED FROM SAID PLAN. NO PLAT OR OTHER INFORMATION WAS FOUND OR PROVIDED IN THE RIDOT PLAN ROOM OR TOWN OF SOUTH KINGSTOWN.

PLAN REFERENCES

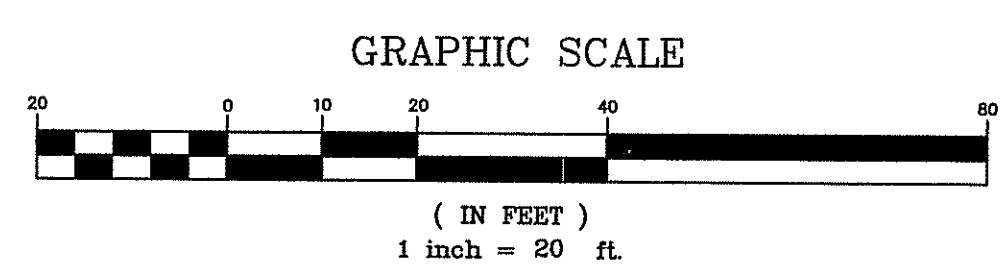
- "MAP OF LAND IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, STATE OF RHODE ISLAND, DATE FEBRUARY 7, 1968 BY RAYMOND W. SCHWAB ASSOCIATES, PREPARED FOR LEONARD PAUL ET. ALS, KINGSTON, RHODE ISLAND."
- "TRACT OF LAND IN THE TOWN OF SOUTH KINGSTOWN, RI TO BE CONVEYED BY FRANK & SADIE JACOBK TO NATIONAL PROPANE CORP. SURVEYED AND PLATTED FEBRUARY, 1956 BY W.R. EASTER BROOKS, CIVIL ENGINEER, SCALE 1"=50'."
- "STATE OF RHODE ISLAND STATE BOARD OF PUBLIC ROADS PLAN, PROFILE AND SECTIONS OF PROPOSED STATE HIGHWAY KINGSTOWN ROAD SOUTH KINGSTOWN FROM WEST KINGSTON DEPOT TO ROCKY BROOK." (NO DATE FOUND)

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



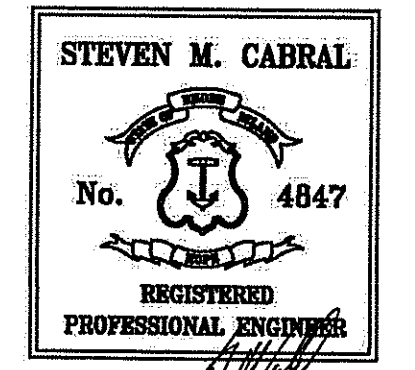
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 03 2016 FILE # 16-0120
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

BENCHMARK:
MAG NAIL SET
IN PAVEMENT
ELEV. 139.66
SEE NOTE #3



CROSSMAN ENGINEERING
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



KEY PLAN

PROJECT TITLE:
PROPOSED RESTAURANT
PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

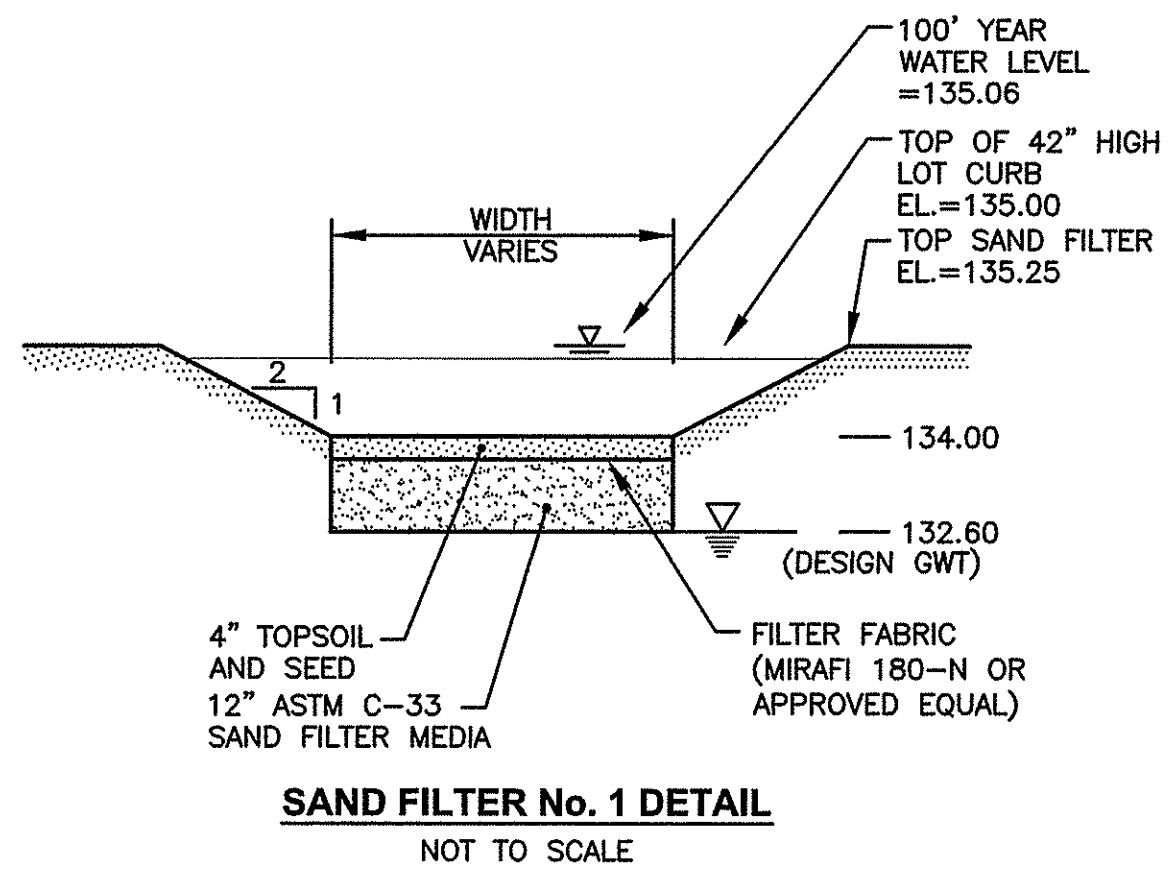
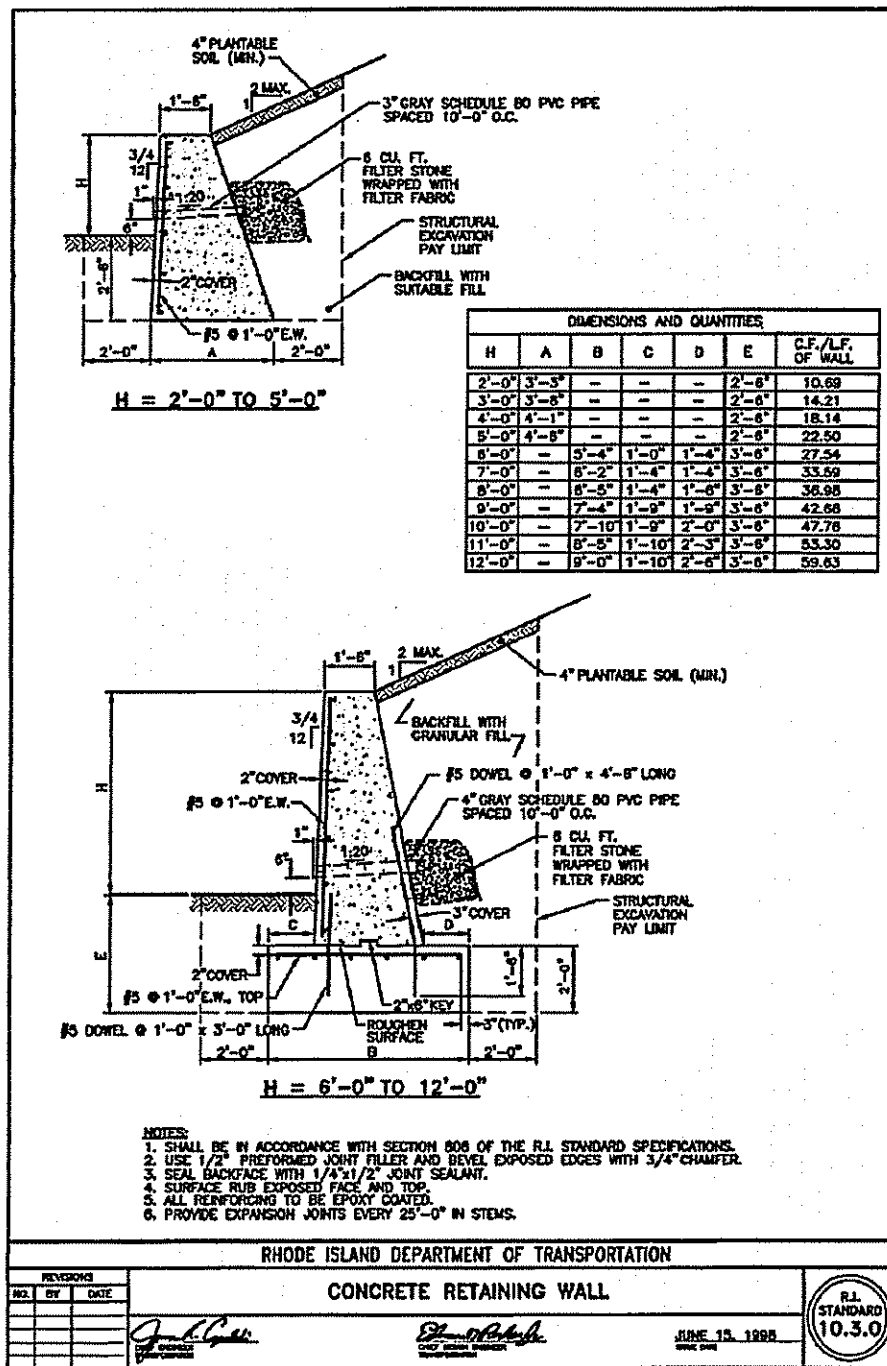
PREPARED FOR:
DAN'S PLACE
880 VICTORY HIGHWAY
WEST GREENWICH, RI

DRAWING TITLE:
EXISTING CONDITIONS PLAN

DATE: JUNE 2015 SCALE: 1"=20'
DWG. NAME: 2072-C04-EXCN-R4.dwg

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER
C4
SHEET: 5 OF 15

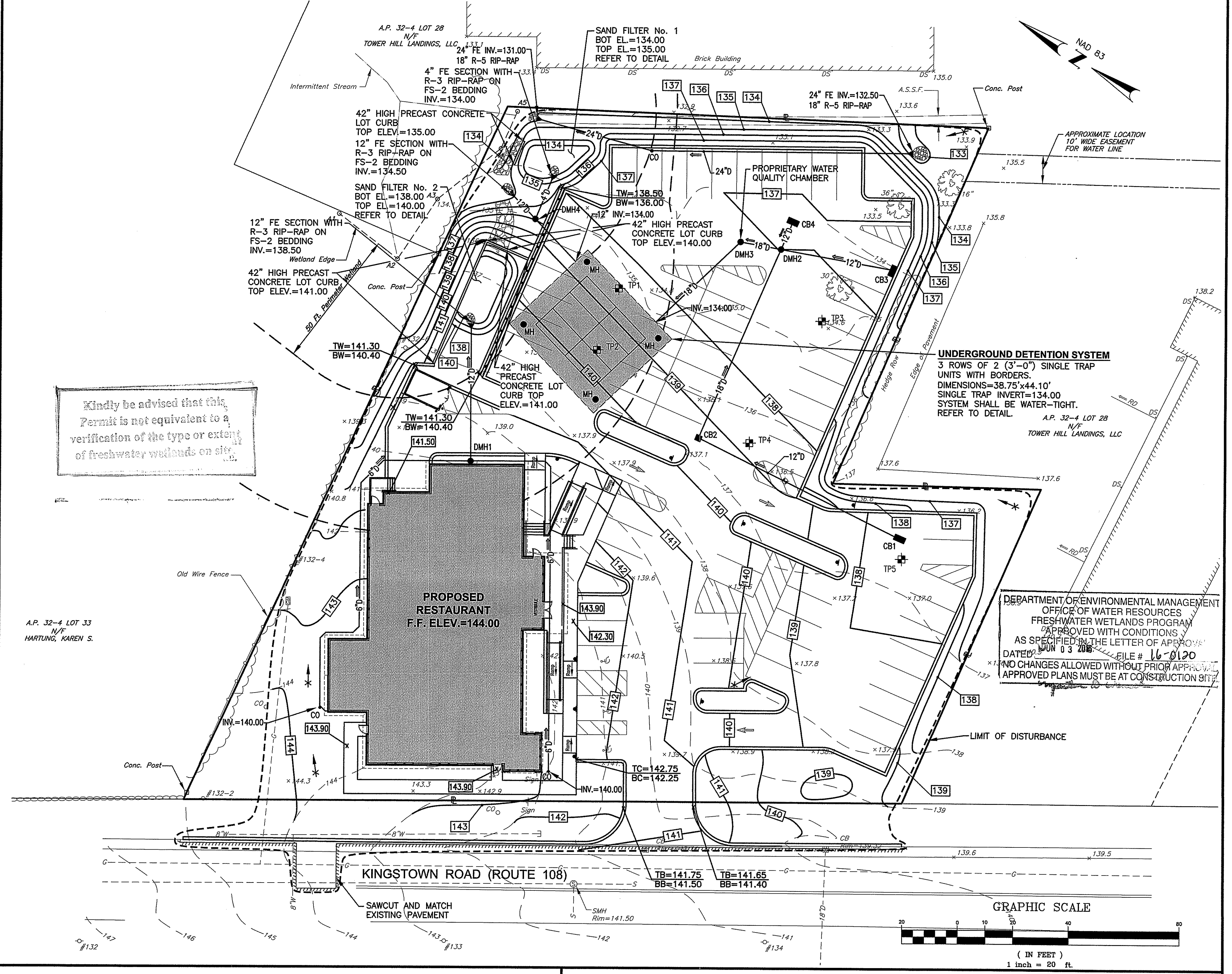


- NOTES:**
- PREPARE THE 4" TOPSOIL WITH THE FOLLOWING SAND, LOAM AND ORGANIC SOIL MIX: USDA LOAMY SAND OR SANDY LOAM SOIL TYPE MEETING THE FOLLOWING SPECIFICATION:
 - ORGANIC MATTER: 2-5%
 - CLAY: 0-2%
 - SILT: 0-12%
 - SAND: 85-88%
 FILTER FABRIC PLACED BETWEEN SAND AND TOPSOIL LAYERS SHALL BE MIRAFI 180-N OR APPROVED EQUAL.
 - SAND FILTER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, APPENDIX F.5, CONSTRUCTION STANDARDS/SPECIFICATIONS FOR FILTER BMP'S.
 - MATERIAL USED FOR SAND FILTER SHALL MEET THE REQUIREMENTS OF TABLE F-16 IN APPENDIX F.5.
 - THE CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE ABOVE REFERENCED MANUAL. THE MANUAL CAN BE FOUND AT [HTTP://WWW.DEM.RI.GOV/PUBS/REGS/WATER/SWMANUAL.PDF](http://www.dem.ri.gov/PUBS/REGS/WATER/SWMANUAL.PDF).
 - CONTRACTOR IS RESPONSIBLE TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR SAND FILTER MATERIAL PRIOR TO START OF CONSTRUCTION.

DRAINAGE STRUCTURE TABLE

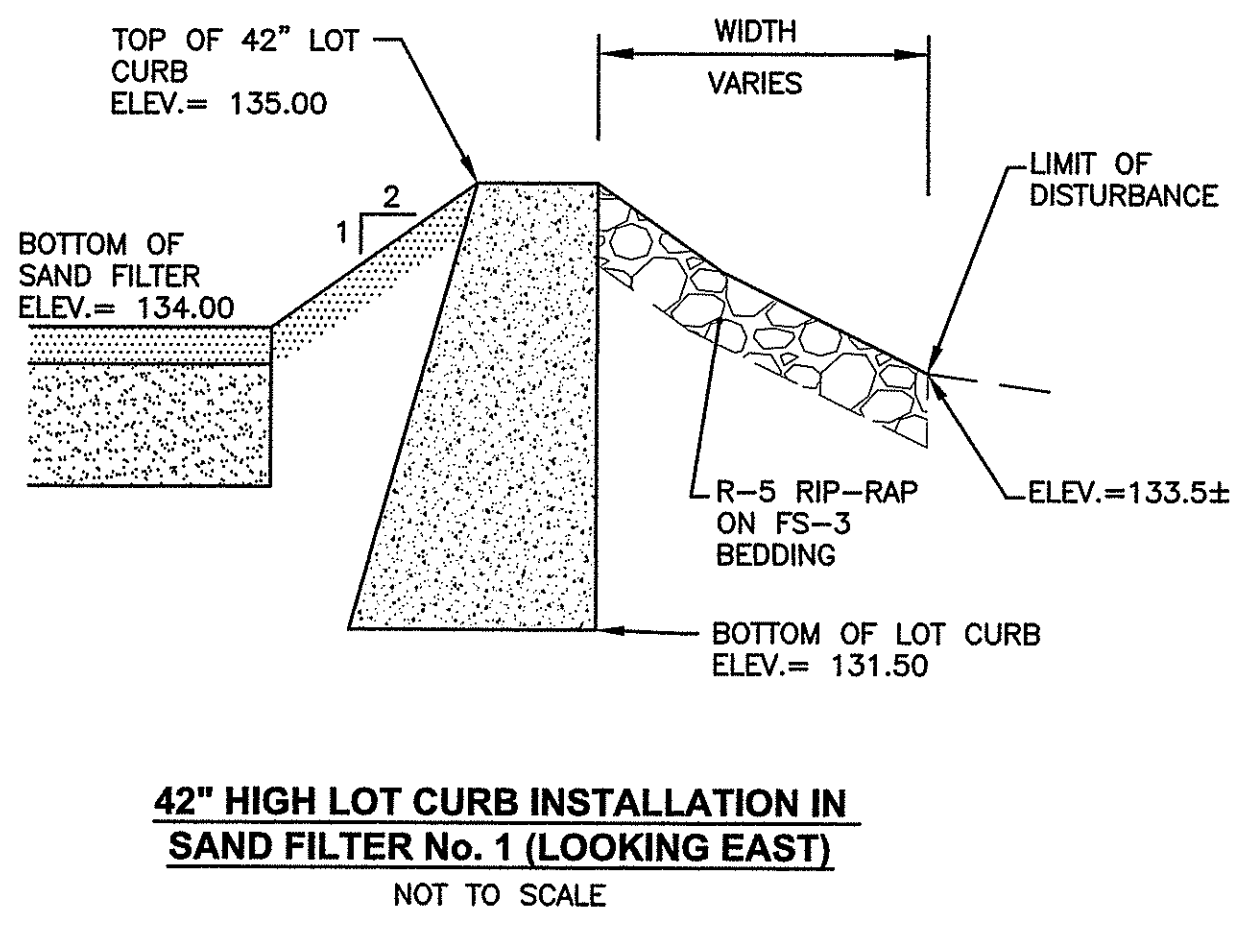
NUMBER	STRUCTURE	FRAME AND GRATE/COVER	RIM	INVERT (IN)	INVERT (OUT)
CB 1*	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	137.65	---	135.50 (12')
CB 2	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0	139.15	134.80 (12')	134.75 (18')
CB 3*	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	136.80	---	134.70 (12')
CB 4*	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	136.80	---	134.70 (12')
DMH 1	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.2.1	141.90	139.00 (6") 139.00 (6")	139.00 (12')
DMH 2*	PRECAST CONCRETE (6' DIA.)	R.I. STD. 6.2.1	137.00	134.35 (12") 134.35 (12") 134.35 (18")	134.30 (18')
DMH 3	STORMCEPTOR STC 2400	---	137.20	134.20 (18")	134.12 (18')
DMH 4	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.2.1	138.00	134.00 (12")	134.00 (4") 135.00 (12')

* PRECAST TOP SLAB CANNOT BE UTILIZED DUE TO PIPE CLEARANCE

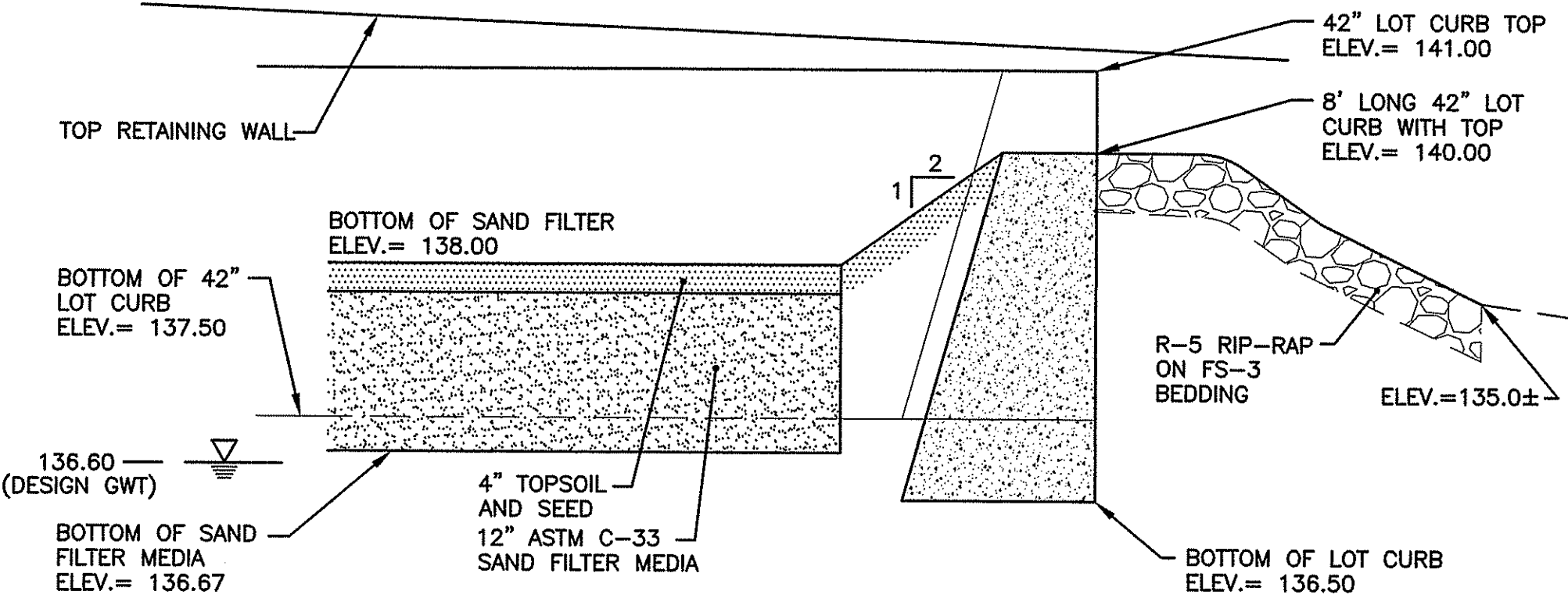


Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 03/08/15 FILE # 16-0120
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



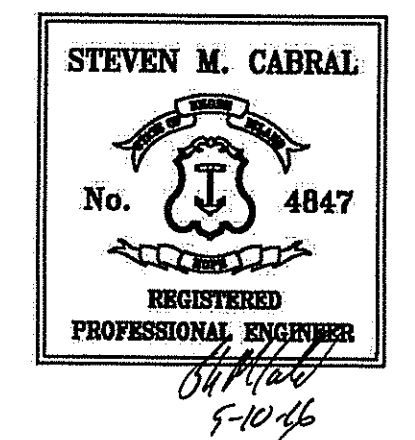
42" HIGH LOT CURB INSTALLATION IN SAND FILTER No. 1 (LOOKING EAST)
NOT TO SCALE



42" HIGH LOT CURB INSTALLATION IN SAND FILTER No. 2 (LOOKING NORTH)
NOT TO SCALE

Crossman Engineering
Rhode Island: 151 Centerville Road, Warwick, RI 02886
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763
Phone: (401) 738-5660 Fax: (508) 695-1700
Email: ce@crosmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



KEY PLAN

PROJECT TITLE:
PROPOSED RESTAURANT
PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
DAN'S PLACE
880 VICTORY HIGHWAY
WEST GREENWICH, RI

DRAWING TITLE:
GRADING and DRAINAGE PLAN
DATE: JUNE 2015 SCALE: 1"=20'
DWG. NAME: 2072-C06-GRADE-R4.dwg

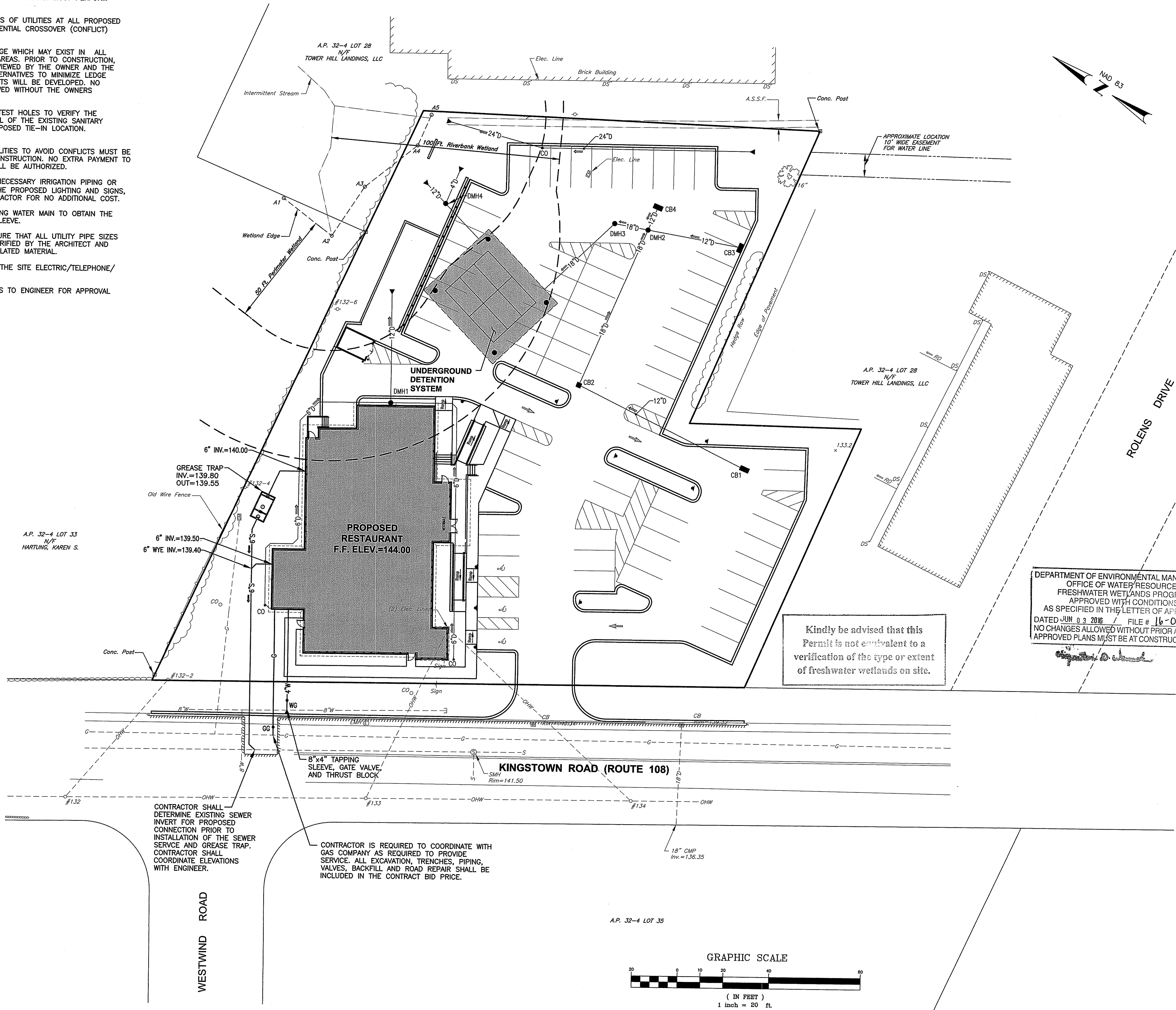
REVISIONS

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER:
C6
SHEET: 7 OF 15

UTILITY NOTES

1. PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR MUST PERFORM ADDITIONAL TESTS TO:
 - A. CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
 - B. CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNERS AUTHORIZATION.
 - C. THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND PIPE MATERIAL OF THE EXISTING SANITARY SERVICE LATERAL AT THE PROPOSED TIE-IN LOCATION.
2. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
3. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY IRRIGATION PIPING OR ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
4. THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE.
5. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT AND ENGINEER PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
6. THE "UTILITY PLAN" DOES NOT REPRESENT THE SITE ELECTRIC/TELEPHONE/COMMUNICATION SYSTEM DESIGNS.
7. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO ORDERING ANY MATERIAL.



CONTRACTOR SHALL DETERMINE EXISTING SEWER INVERT FOR PROPOSED CONNECTION PRIOR TO INSTALLATION OF THE SEWER SERVICE AND GREASE TRAP. CONTRACTOR SHALL COORDINATE ELEVATIONS WITH ENGINEER.

CONTRACTOR IS REQUIRED TO COORDINATE WITH GAS COMPANY AS REQUIRED TO PROVIDE SERVICE. ALL EXCAVATION, TRENCHES, PIPING, VALVES, BACKFILL AND ROAD REPAIR SHALL BE INCLUDED IN THE CONTRACT BID PRICE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 03 2016 FILE # 16-0120
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

CROSSMAN ENGINEERING
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
No. 4847
REGISTERED PROFESSIONAL ENGINEER
5-10-16

KEY PLAN

PROJECT TITLE:
PROPOSED RESTAURANT
PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
DAN'S PLACE
880 VICTORY HIGHWAY
WEST GREENWICH, RI

DRAWING TITLE:
UTILITY PLAN

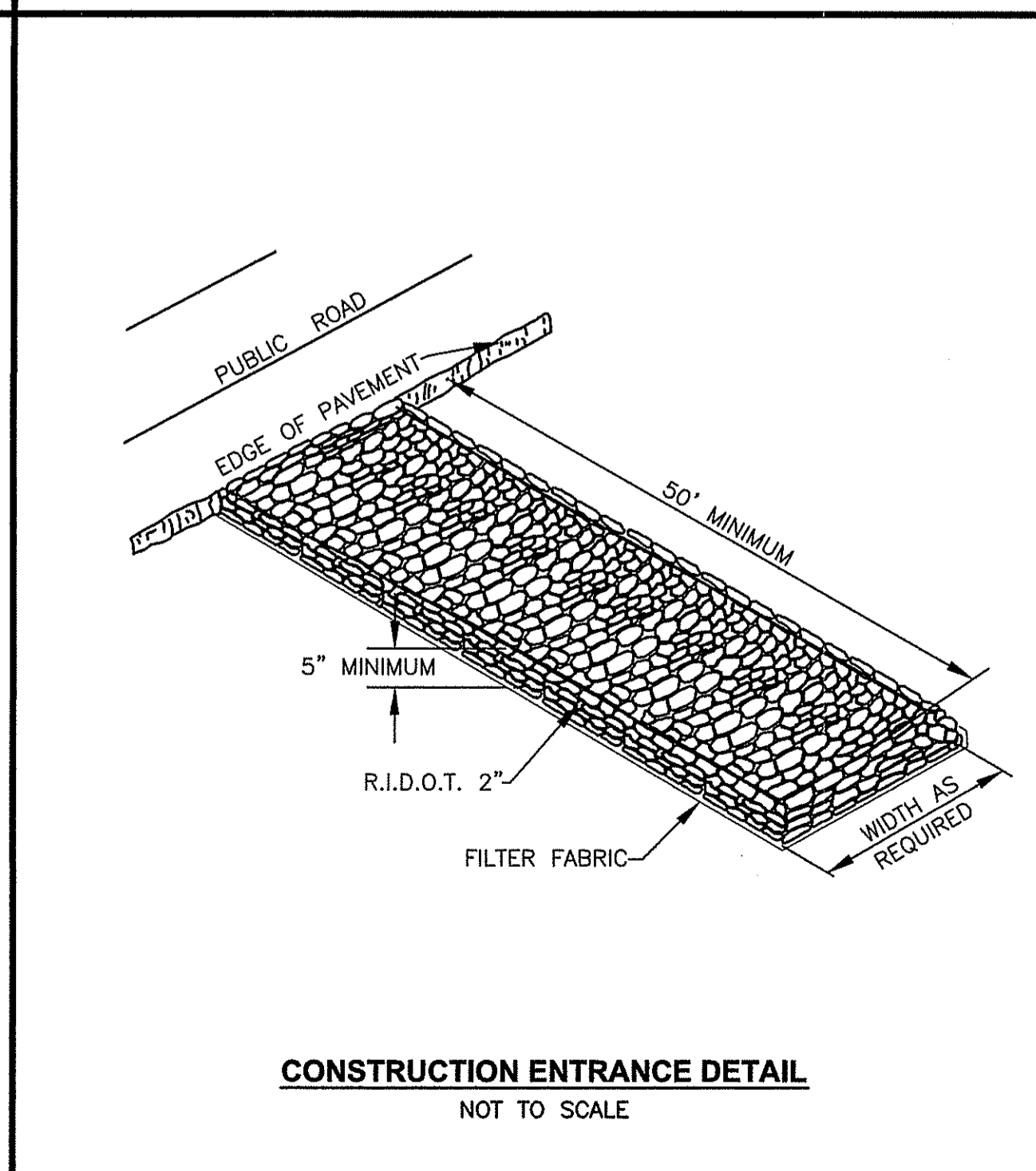
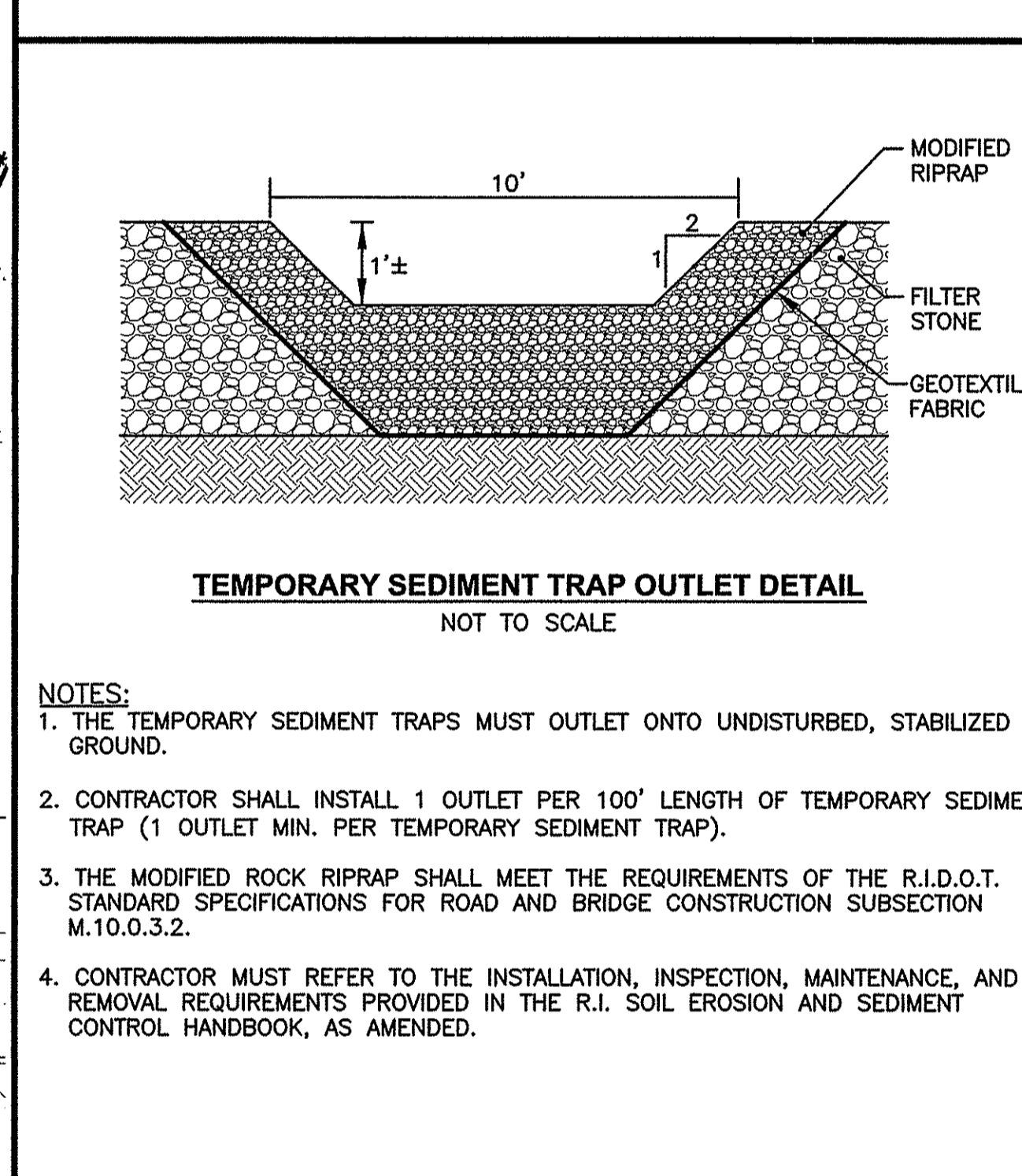
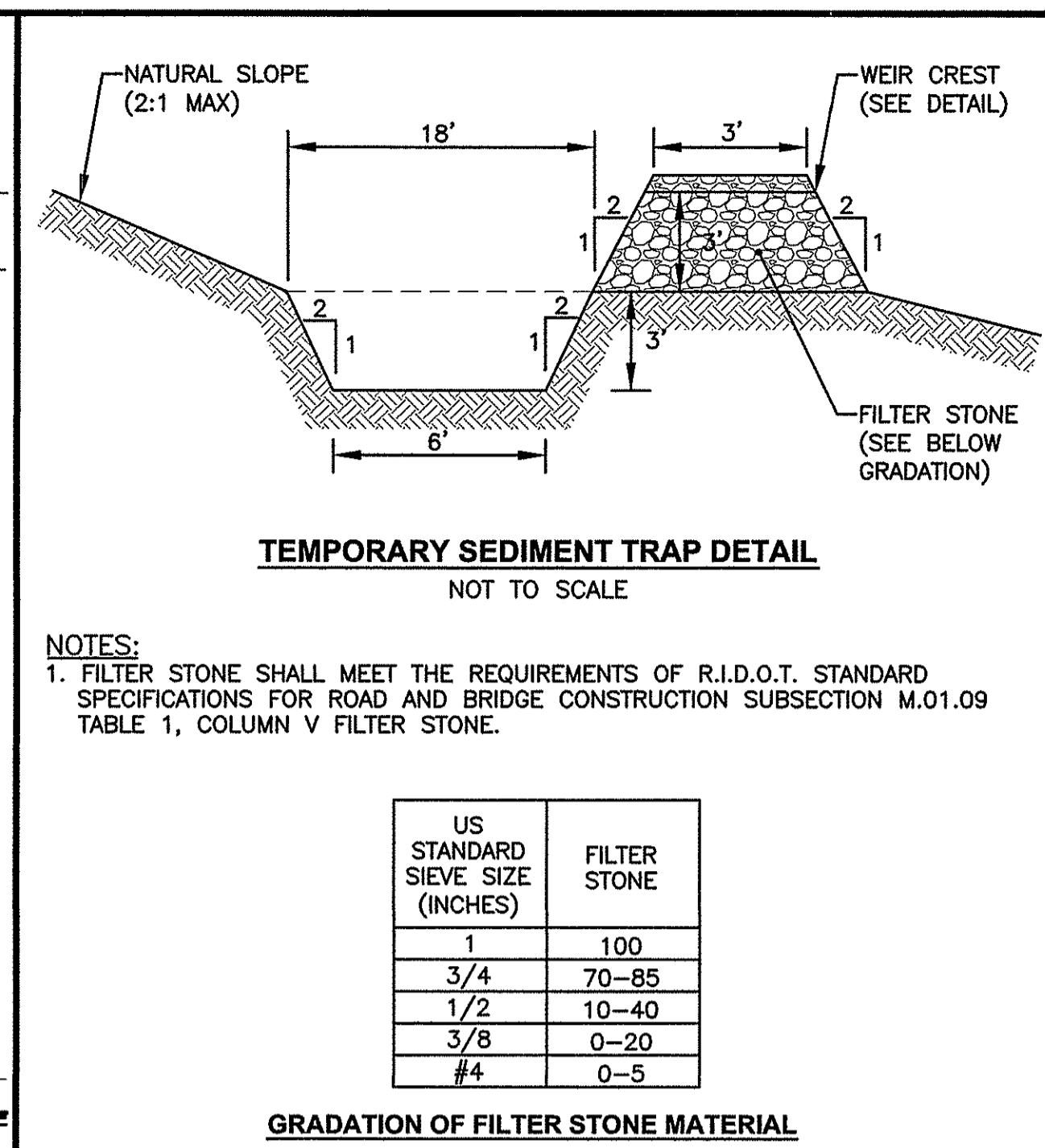
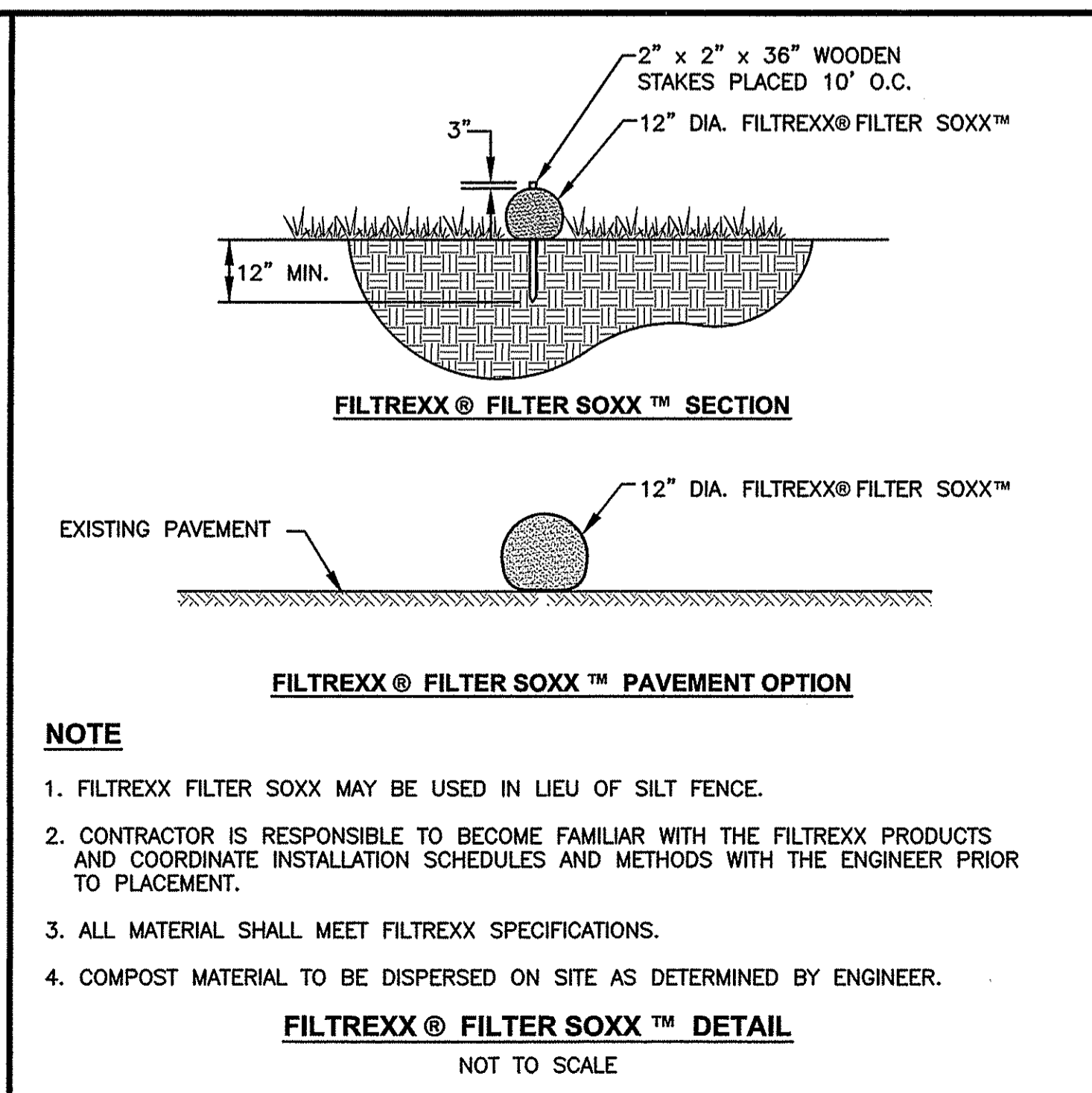
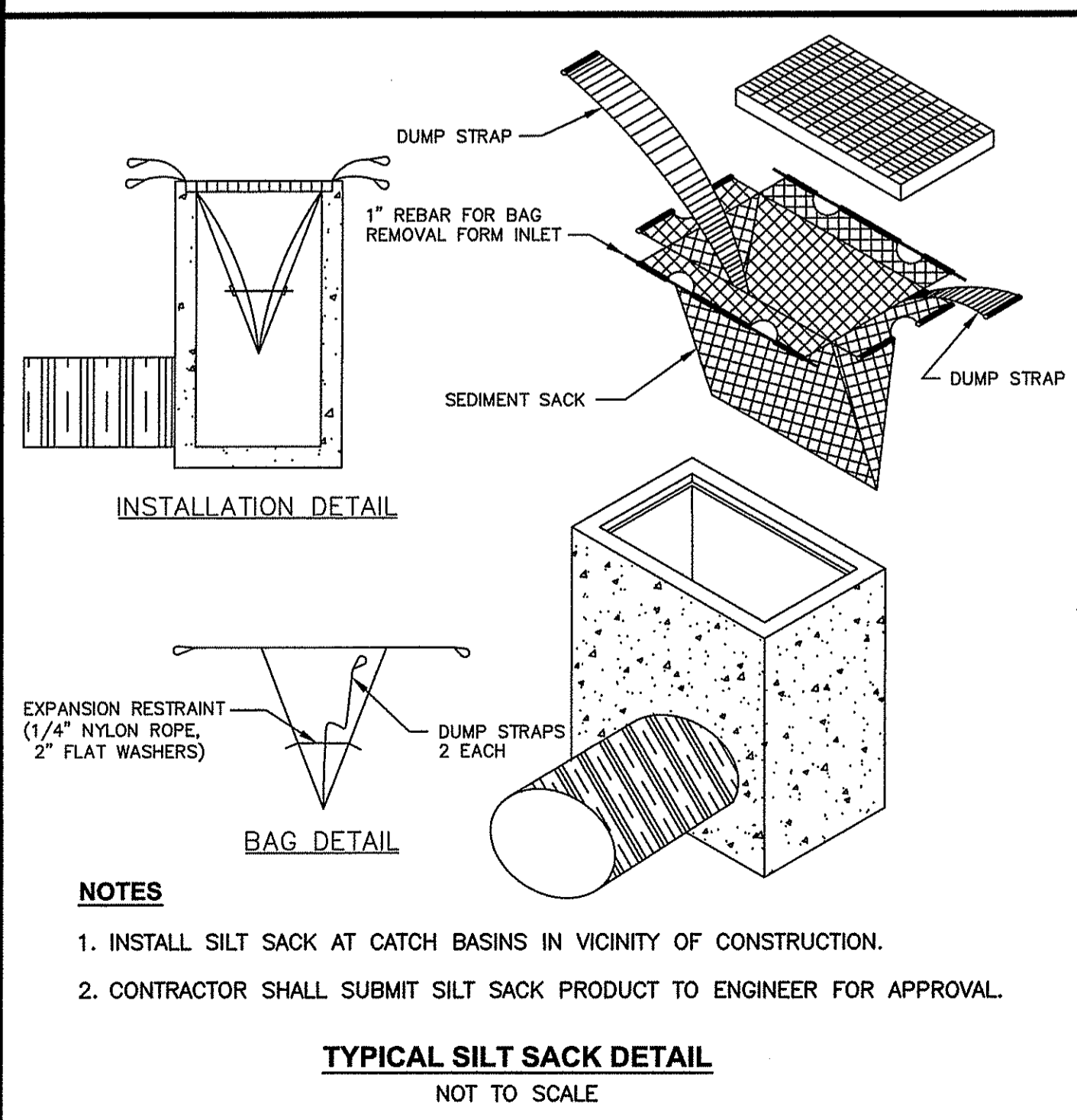
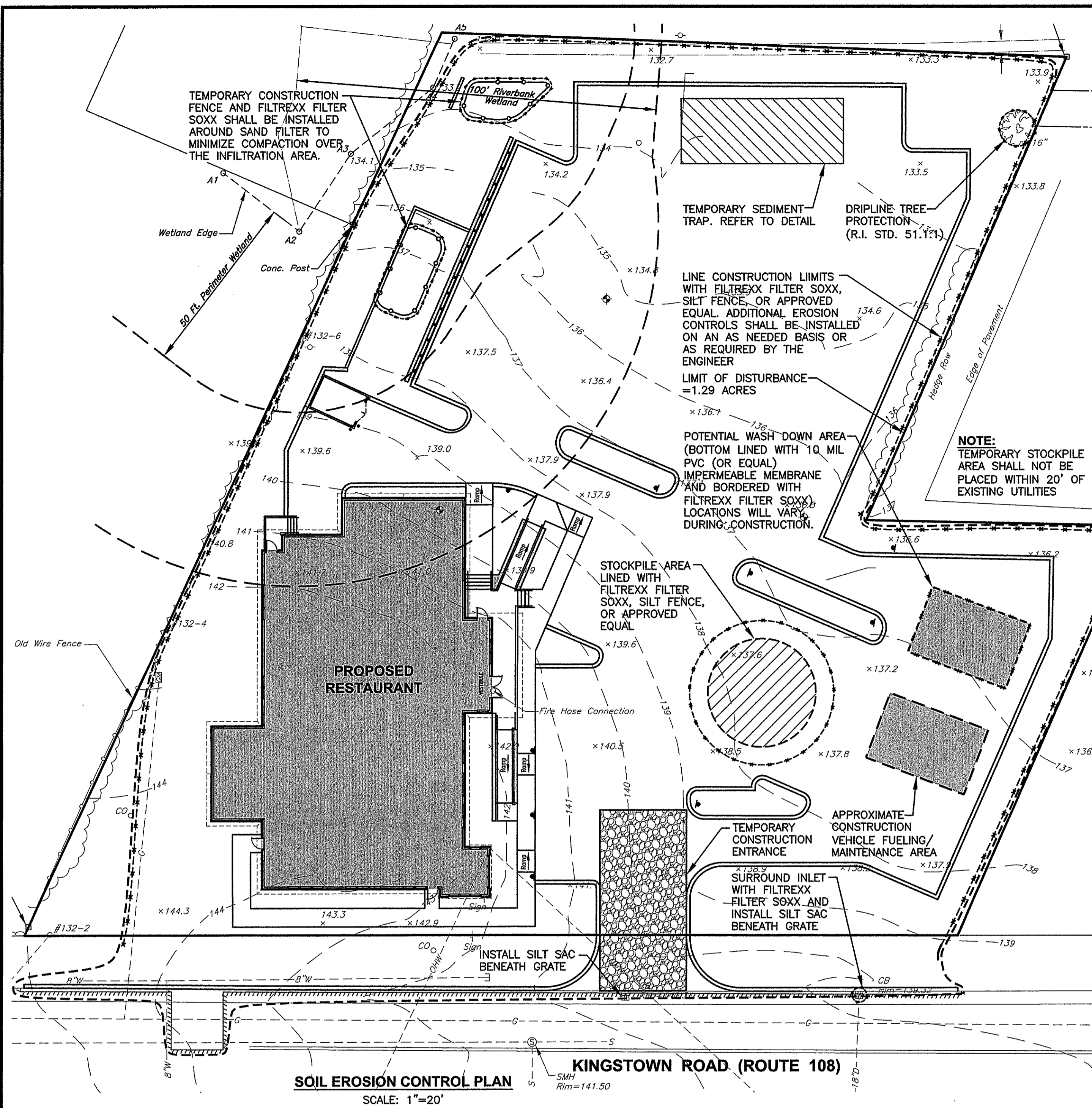
DATE: JUNE 2015 SCALE: 1"=20'

DWG. NAME: 2072-C07-UTILITY-R4.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER
C7
SHEET: 8 OF 15



DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

1. PRIOR TO COMMENCING GRUBBING OPERATIONS AND EARTHWORK, FILTERSOX SHALL BE PLACED INSIDE SAWCUT EDGE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM, WETLAND AREAS AND ADJUTING PROPERTIES.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
6. ADDITIONAL FILTERSOX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE RHODE ISLAND STATE CONSERVATION COMMITTEE (REVISION 2014), MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

1. CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
2. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
3. FILTER SOXX (OR SILT FENCE OR STAKED HAYBALES) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
4. IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE TOWN OR ENGINEER DURING CONSTRUCTION.
5. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
6. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTING CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

FILTREXX SOXX NOTE

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, WETLAND AREAS, ADJACENT PROPERTY, WETLANDS AND ROADWAYS.
2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL D.O.T.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
9. ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS.
10. ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
11. THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
12. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF FILTREXX FILTER SOXX.
13. AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.
14. RUNOFF SHALL NOT BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM UNTIL THE SITE IS STABLE.

CROSSMAN ENGINEERING
Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-5660
Email: cel@crossmaneng.com

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR YOUR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
No. 4847
REGISTERED PROFESSIONAL ENGINEER

KEY PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 03 2016 FILE # 16-0120
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PROJECT TITLE:
PROPOSED RESTAURANT

PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
DAN'S PLACE
880 VICTORY HIGHWAY
WEST GREENWICH, RI

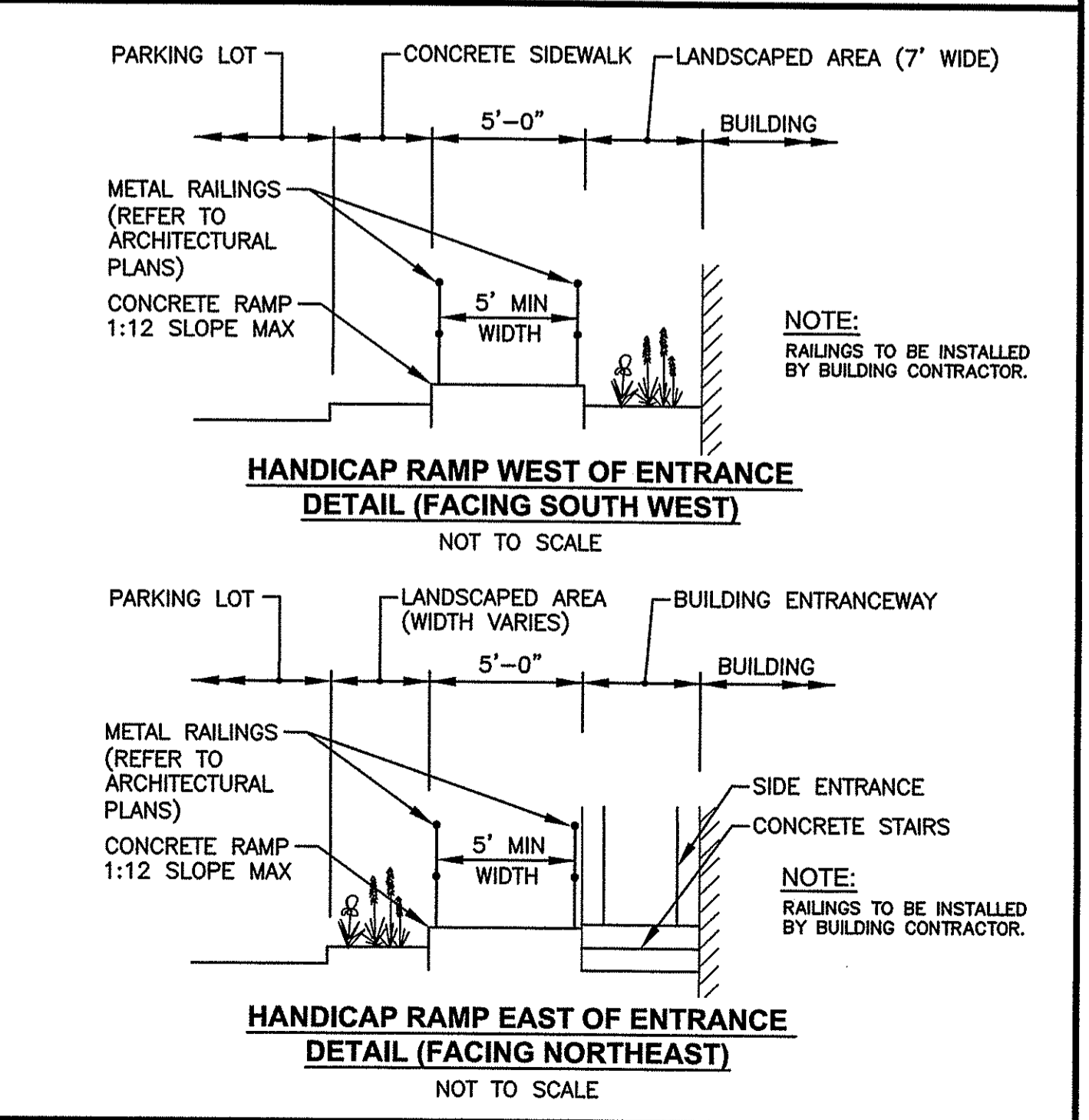
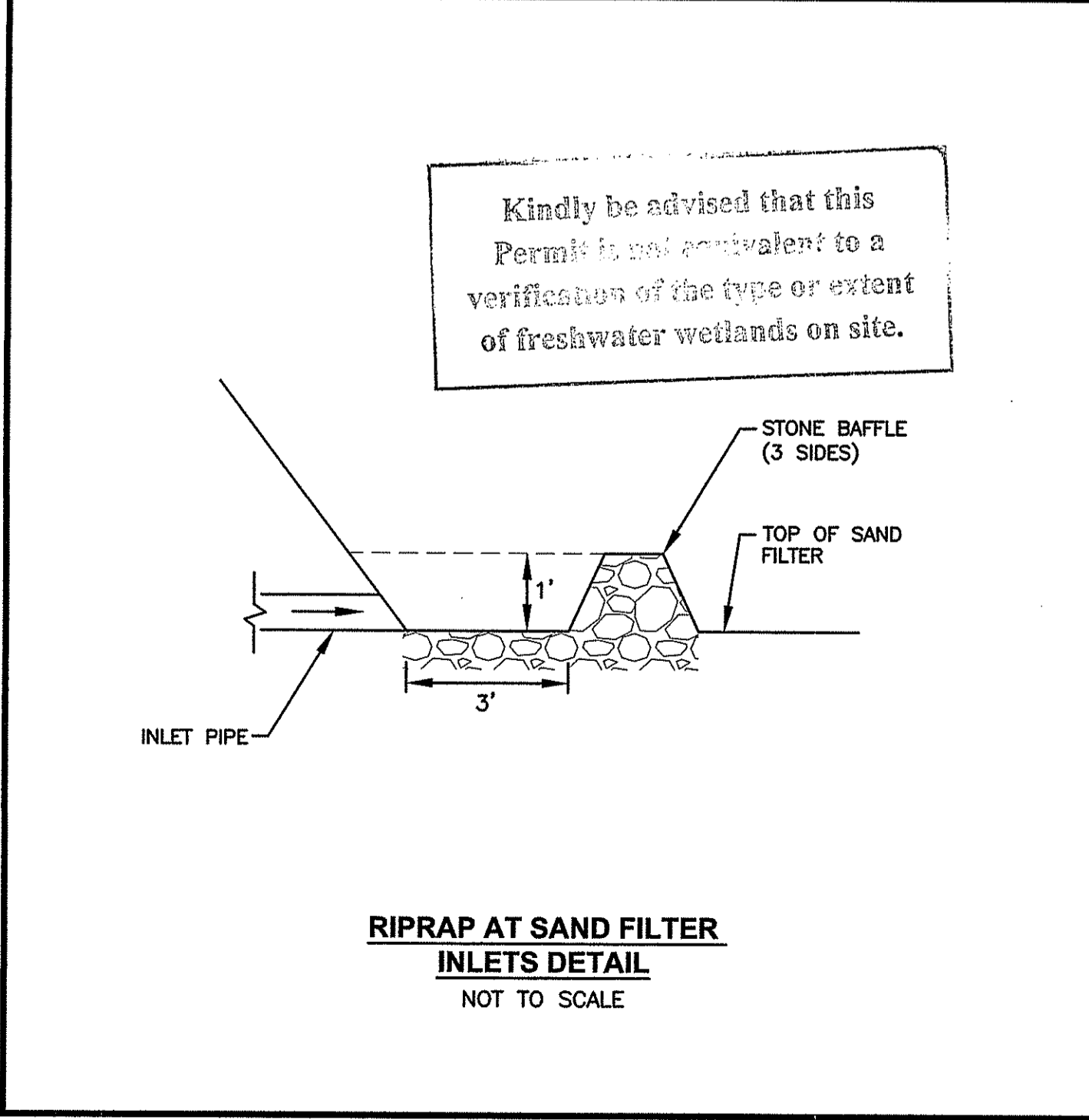
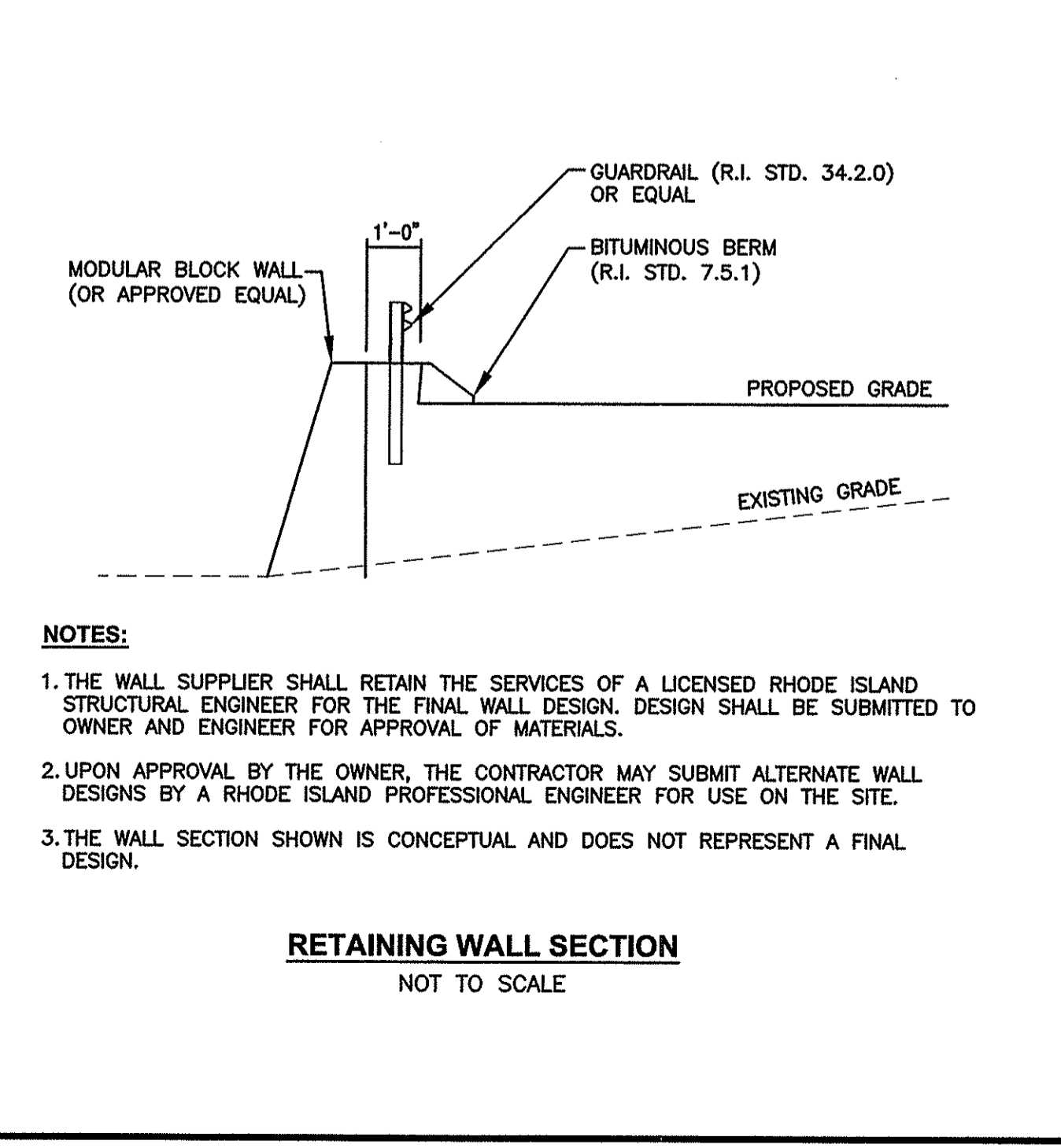
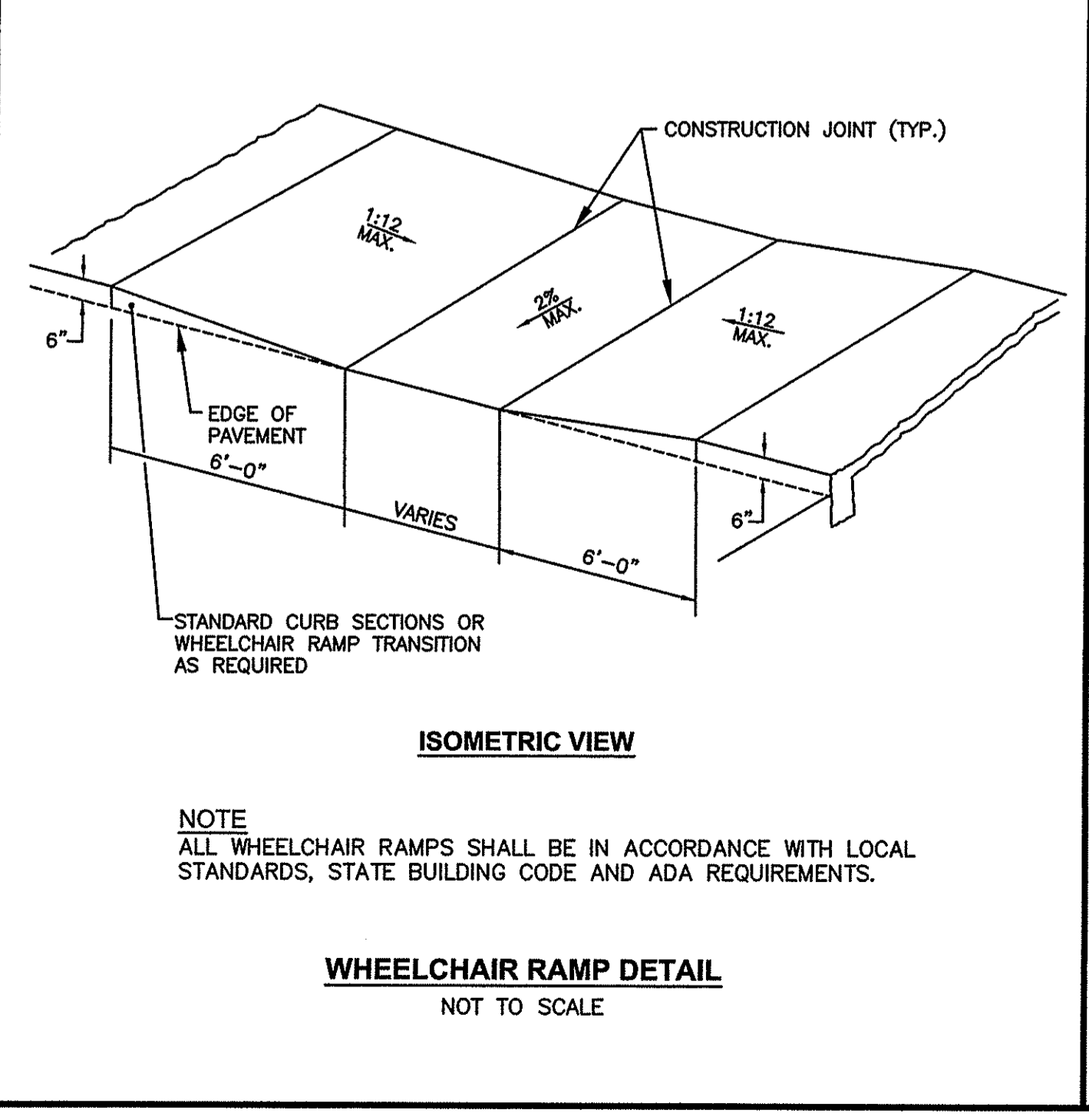
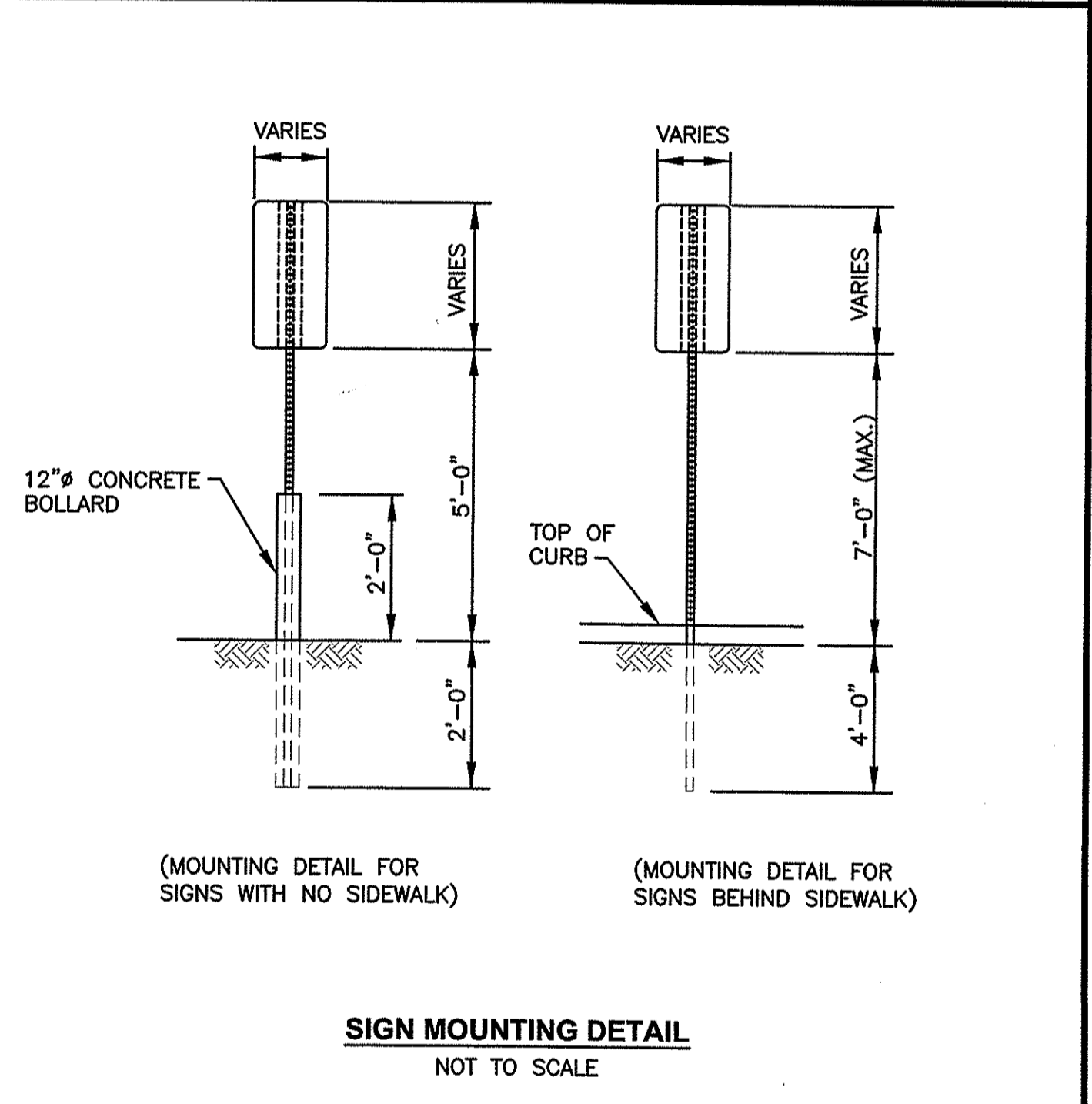
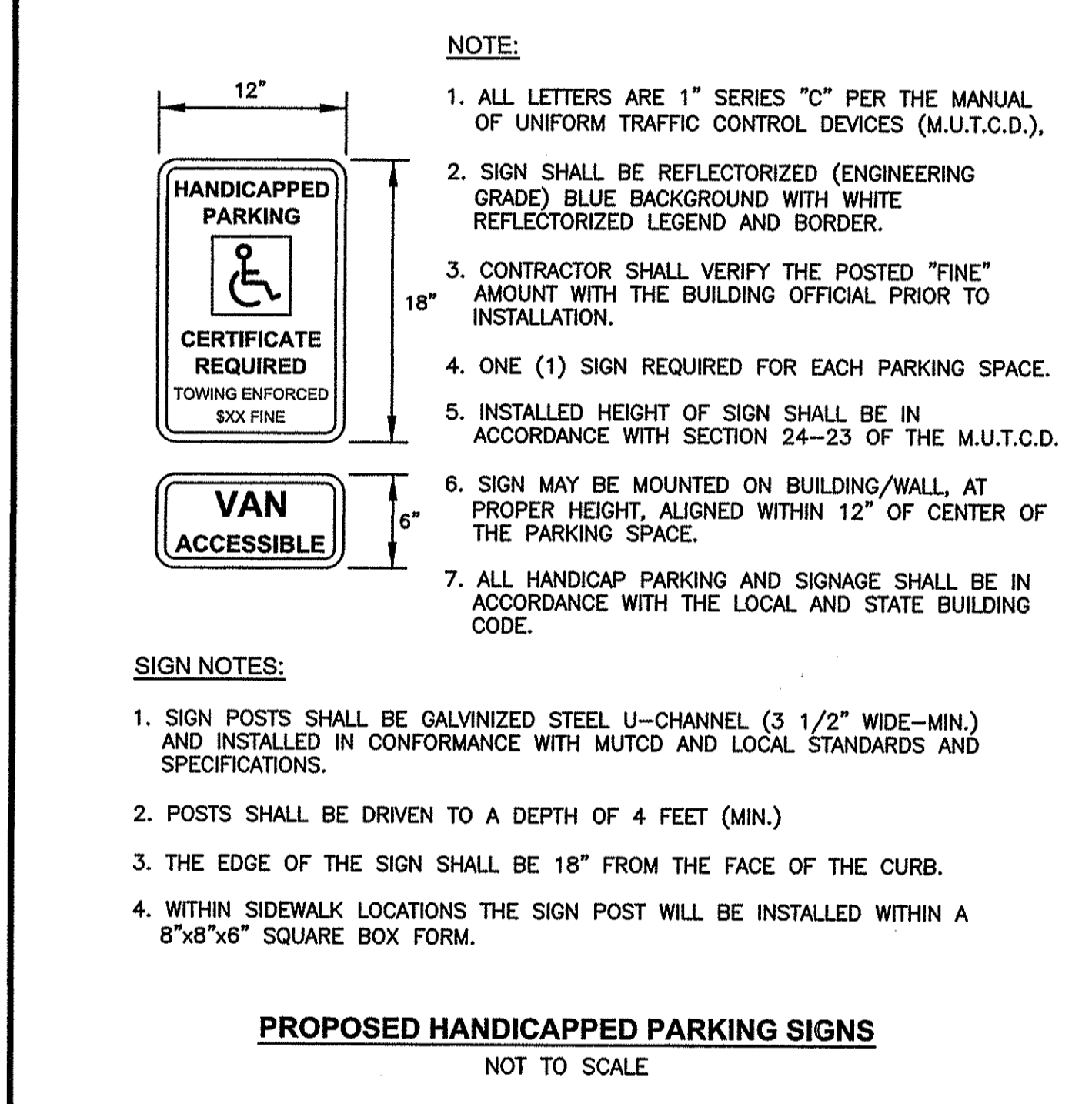
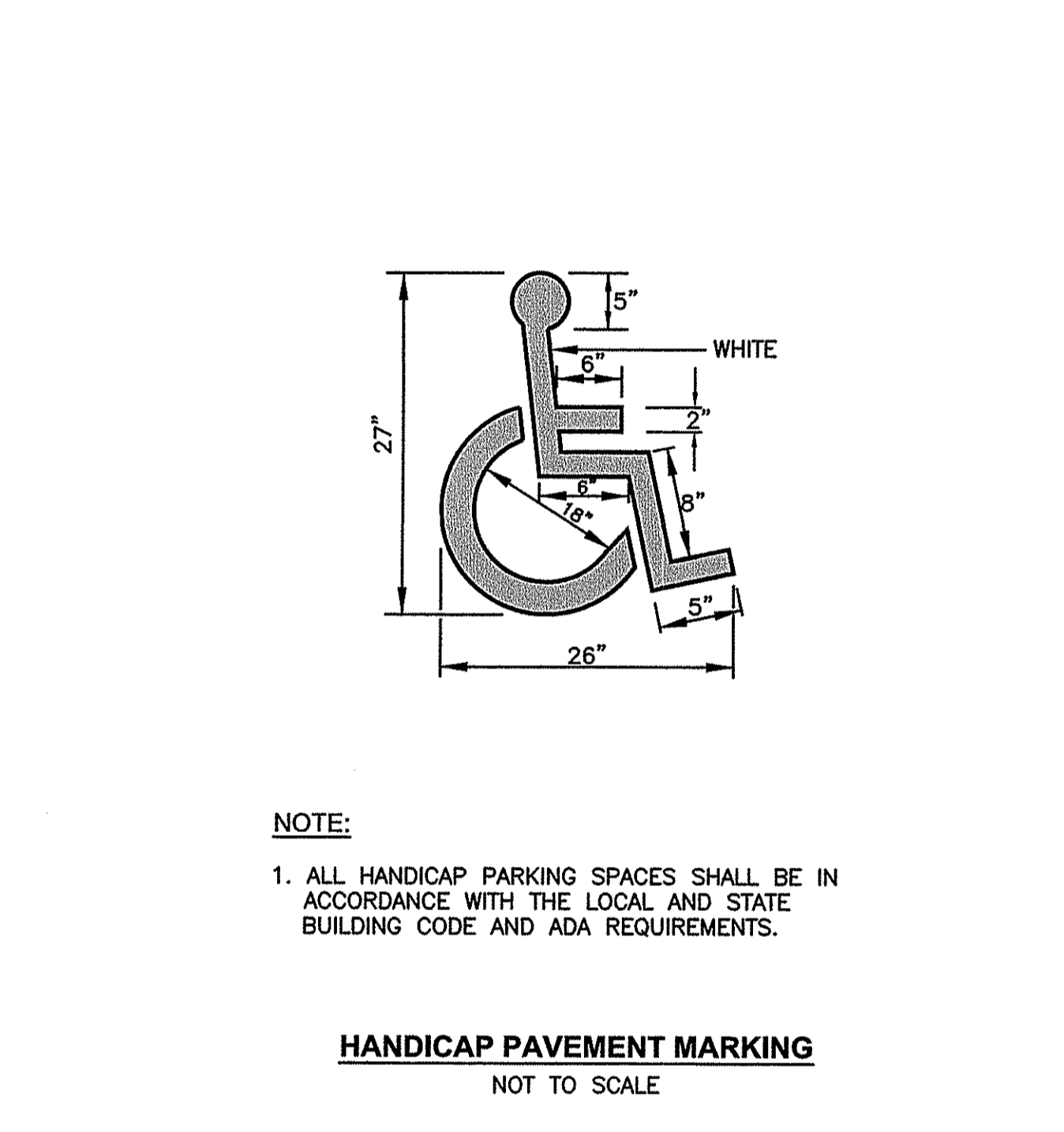
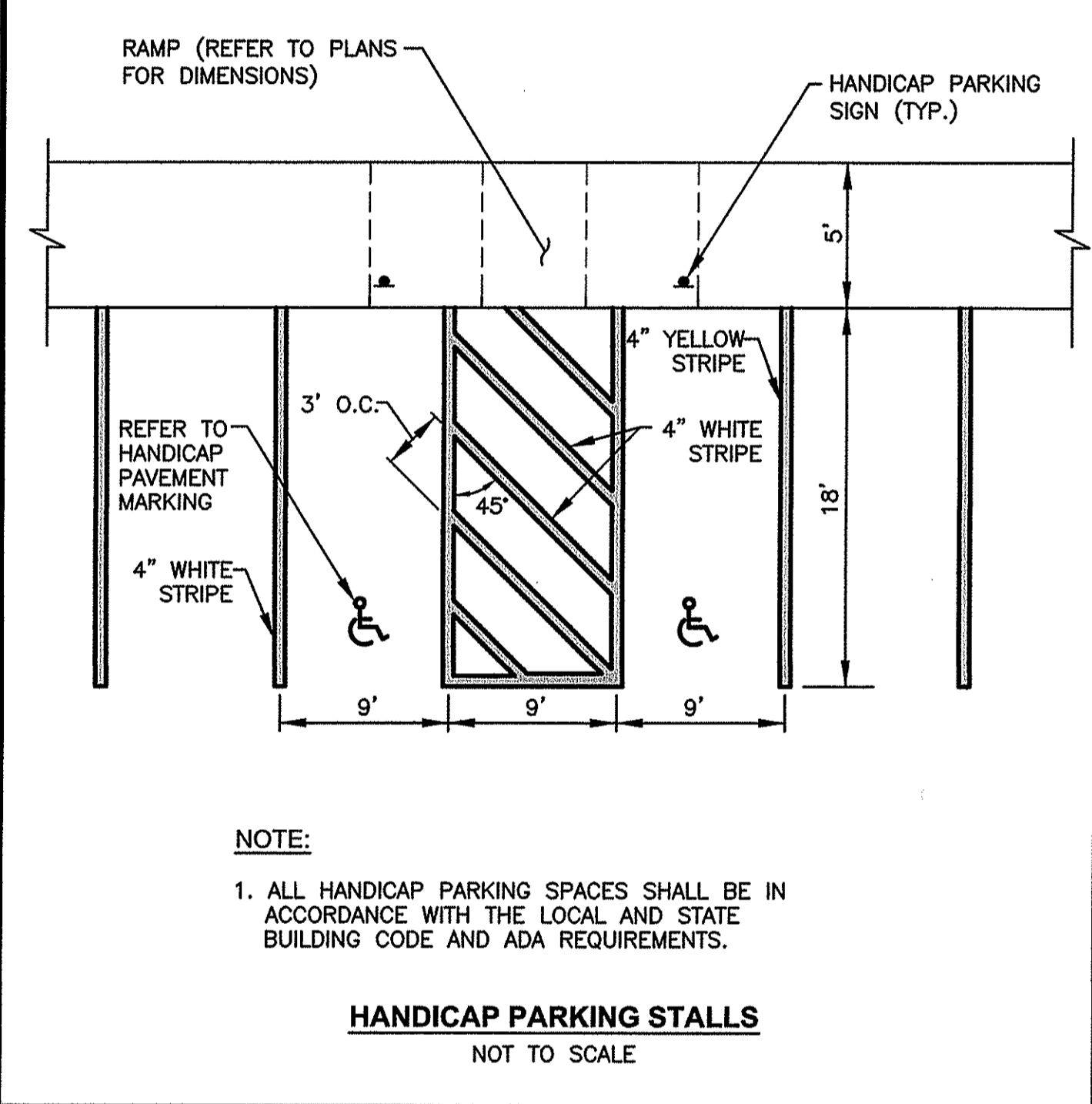
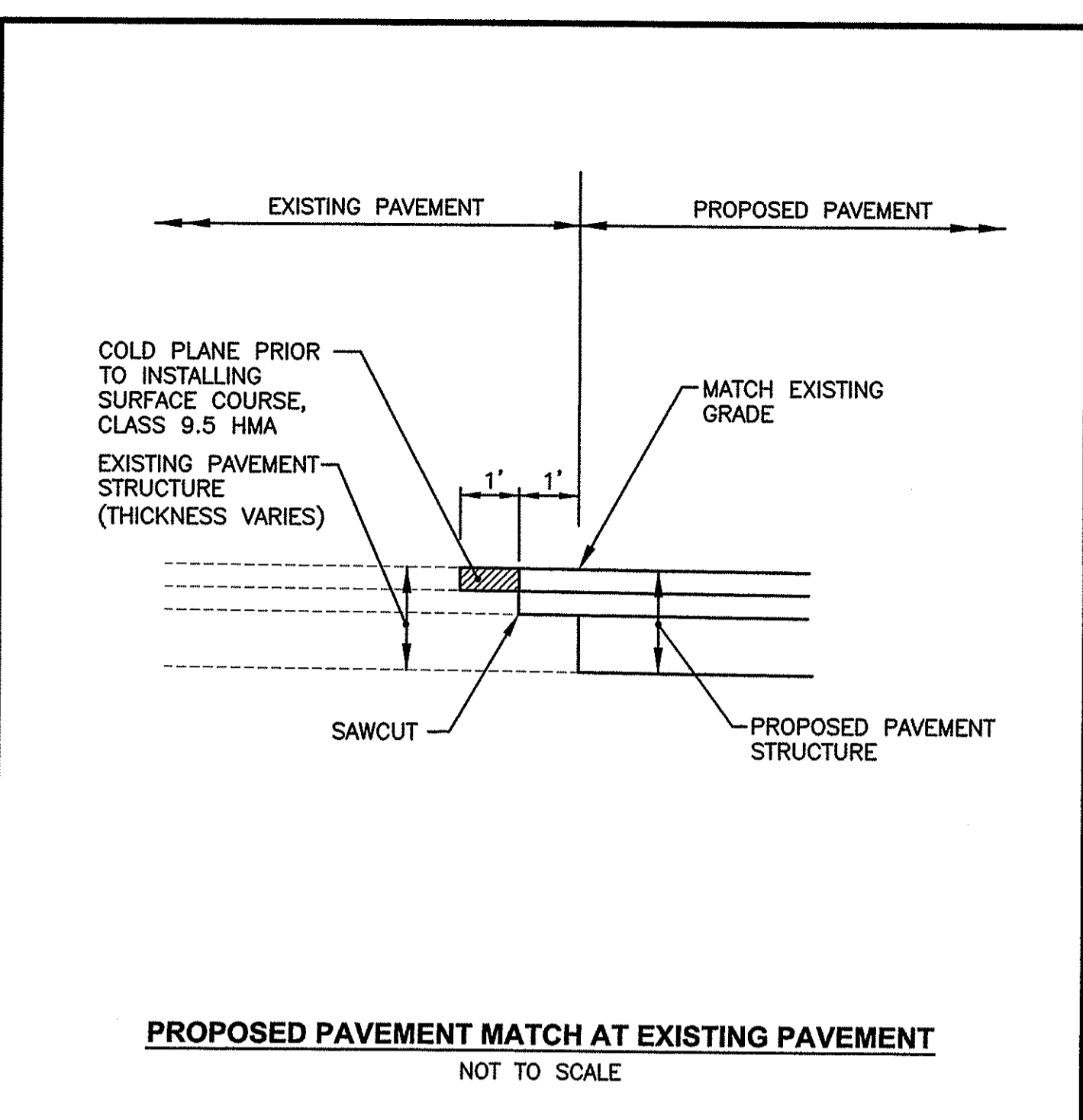
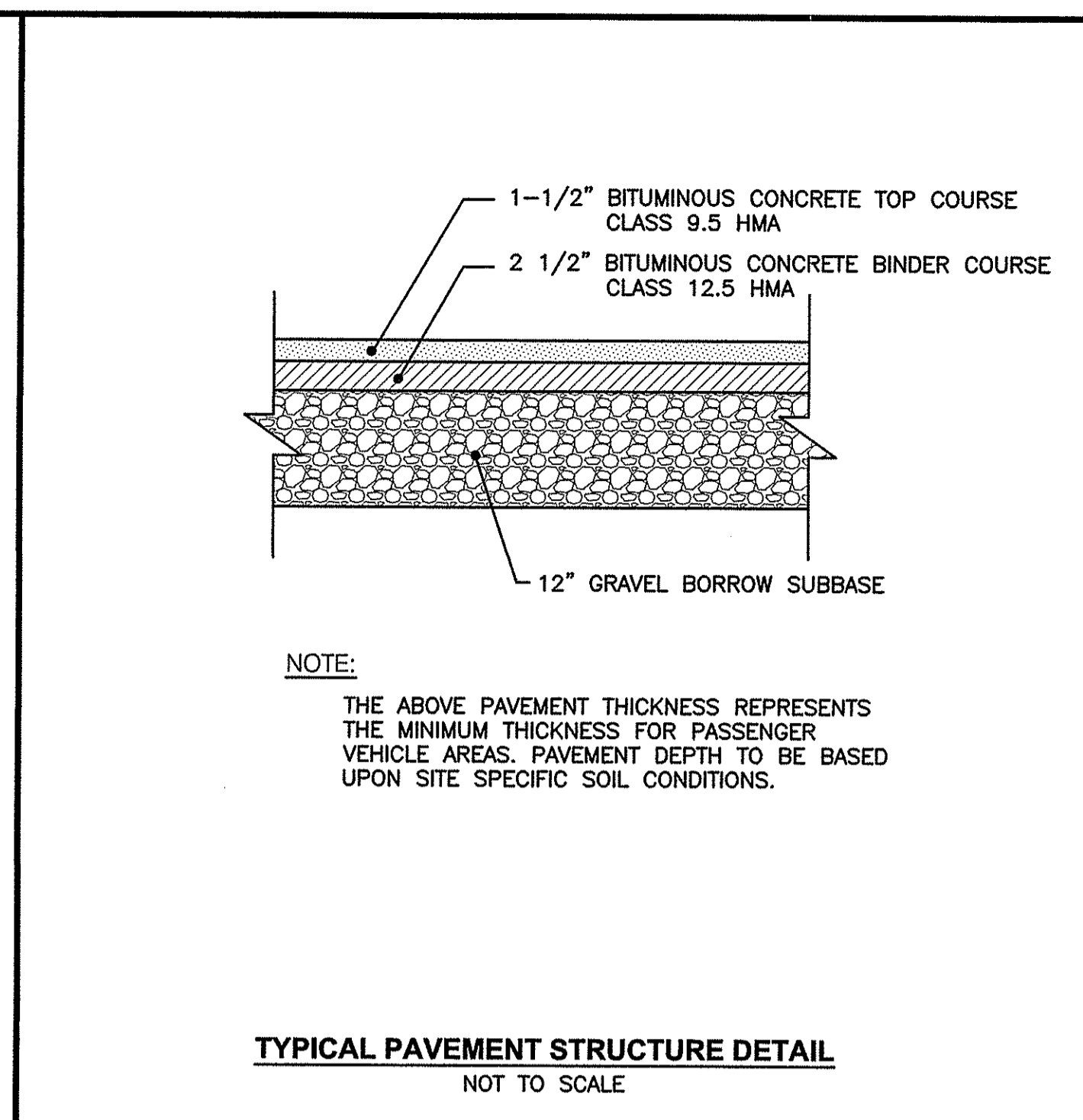
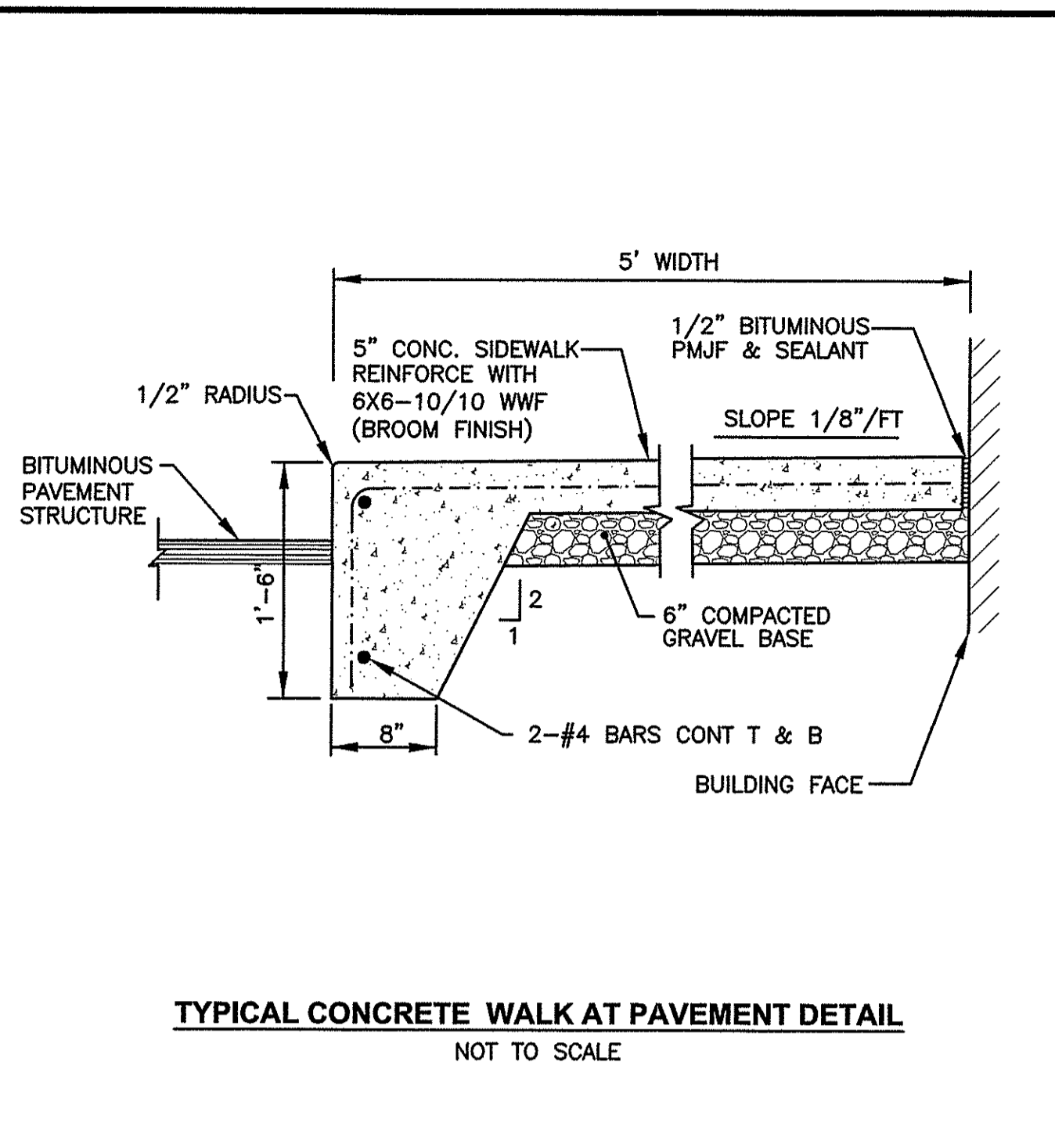
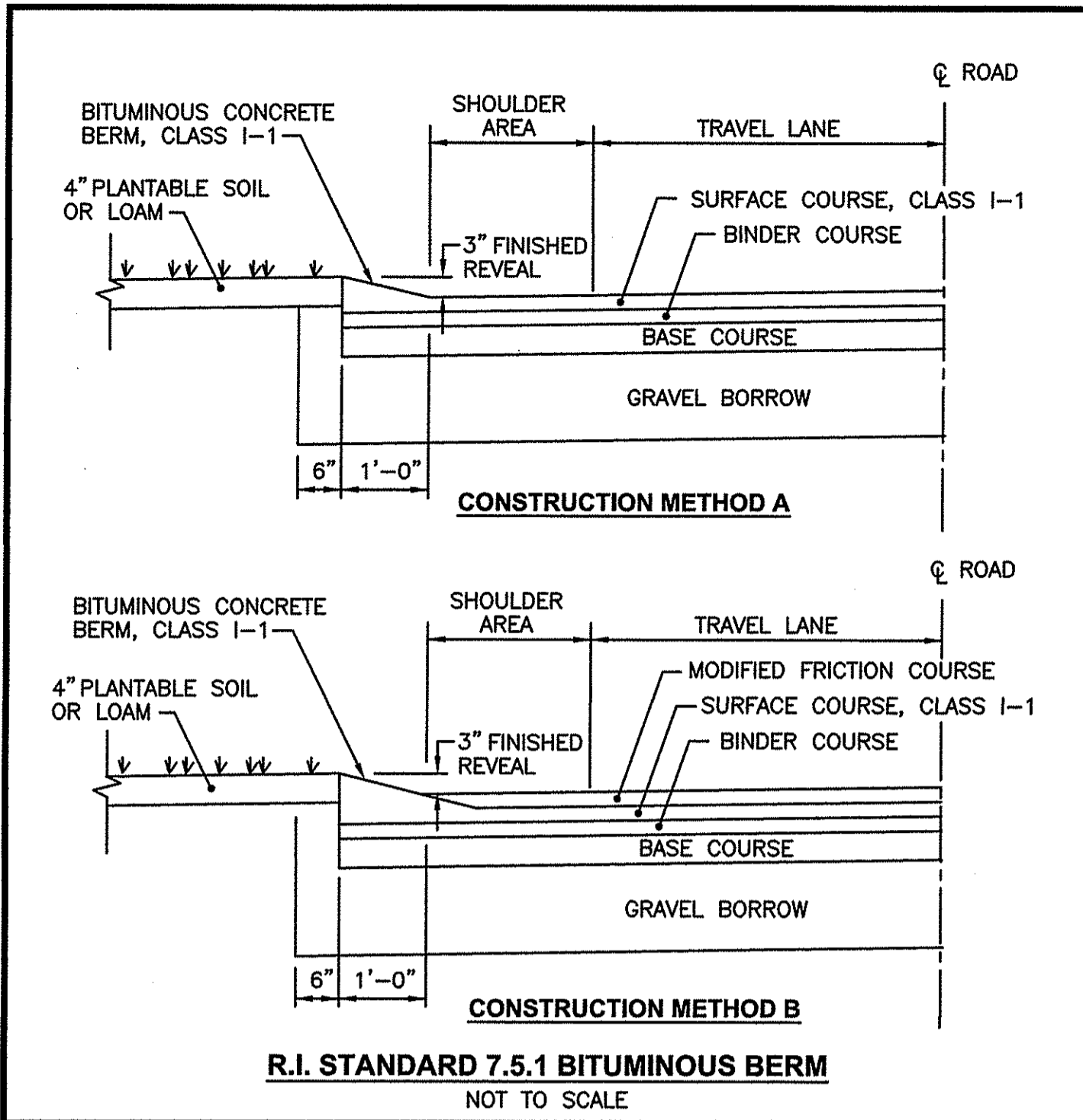
DRAWING TITLE:
SOIL EROSION and SEDIMENT CONTROL PLAN

DATE: JUNE 2015 SCALE: AS SHOWN
DWG. NAME: 2072-C08-SOIL-R4.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER
C8
SHEET: 9 OF: 15



Crossman Engineering
 Rhode Island
 151 Centerville Road
 Warwick, RI 02886
 Phone: (401) 738-5660
 Email: cel@crossmaneng.com

Massachusetts
 103 Commonwealth Avenue
 North Attleboro, MA 02763
 Phone: (508) 695-1700
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
 No. 4847
 REGISTERED PROFESSIONAL ENGINEER

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 03 2015 FILE # 16-0120
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PROPOSED RESTAURANT
 PLAT MAP 32-4, LOT 32
 ZONING DISTRICT: CN and R-10
 COMMERCIAL NEIGHBORHOOD and
 MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
 and KINGSTOWN ROAD
 SPECIAL MANAGEMENT DISTRICT
 2089 KINGSTOWN ROAD (ROUTE 108)
 SOUTH KINGSTOWN, R.I.

DAN'S PLACE
 880 VICTORY HIGHWAY
 WEST GREENWICH, RI

MISCELLANEOUS DETAIL PLAN No. 1

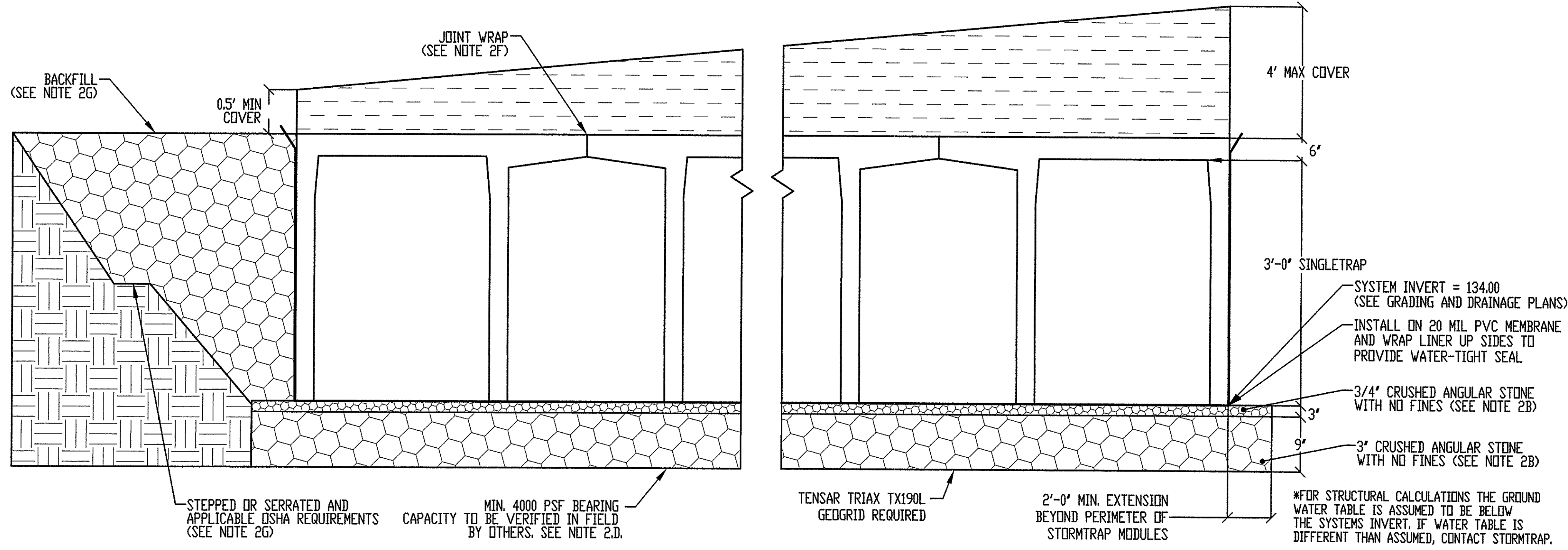
DATE: JUNE 2015 SCALE: AS SHOWN
 DWG. NAME: 2072-C09-DETAIL1-R4.dwg

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

C9
 SHEET 10 OF 15

STORMTRAP INSTALLATION SPECIFICATION

- STORMTRAP MODULES SHALL BE MANUFACTURED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF ROOF OPENINGS AND INLET/ OUTLET PIPE OPENINGS.
- STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C891-09, STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRE-CAST CONCRETE UTILITY STRUCTURES. THE FOLLOWING ADDITIONS AND/OR EXCEPTIONS SHALL APPLY:
 - SPECIFICATIONS ON THE ENGINEER'S DRAWINGS SHALL TAKE PRECEDENCE.
 - THE STONE FOUNDATION HAS BEEN DESIGNED BASED ON THE FOLLOWING ASSUMPTIONS. THESE ASSUMPTIONS WILL NEED TO BE VERIFIED BY A GEOTECHNICAL ENGINEER WHICH WILL NEED TO BE EMPLOYED BY THE OWNER.
 - A QUALIFIED GEOTECHNICAL ENGINEER WILL BE EMPLOYED, BY OWNER, TO PROVIDE ASSISTANCE IN EVALUATING THE EXISTING SOIL CONDITIONS AT THE ELEVATION THE STONE FOUNDATION IS TO BE PLACED. IF A STONE FOUNDATION IS TO BE USED FOR THIS CONDITION, THE BEARING PRESSURE OF THE SOILS AT THIS LEVEL WILL NEED TO MEET OR EXCEED 3500 PSF ALLOWABLE CAPACITY. IF THIS IS NOT POSSIBLE, THE GEOTECHNICAL ENGINEER MUST MAKE REMEDIAL RECOMMENDATIONS IN ORDER TO REACH THIS CAPACITY. IF THIS IS NOT POSSIBLE, THE STONE FOUNDATION MAY NOT BE AN OPTION FOR THIS LOCATION.
 - A QUALIFIED GEOTECHNICAL ENGINEER WILL BE EMPLOYED, BY OWNER, TO EVALUATE A SOURCE OF STONE AGGREGATES THAT WILL BE PLACED ON THE PROPERLY COMPACTED 3000 PSF ALLOWABLE CAPACITY SOILS. THE STONE BASE COURSE FOR WHICH THE STORMTRAP SYSTEM WILL BEAR DIRECTLY ON WILL NEED TO ATTAIN A MINIMUM 20,000 PSF ALLOWABLE BEARING CAPACITY. STORMTRAP HAS RECOMMENDED A MINIMUM BED OF 3/4" DIAMETER ANGULAR STONE WELL COMPACTED AND SEATED, WITH NO FINES AT A 3 INCH THICKNESS AND AN ADDITIONAL 3 INCH DIAMETER CRUSHED ANGULAR STONE, WELL COMPACTED AND SEATED, WITH NO FINES AT A 15 INCH THICKNESS. PLEASE NOTE THAT THESE ARE ONLY MINIMUM RECOMMENDATIONS AND A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE USED TO DETERMINE THE EXACT REQUIREMENTS FOR THE LOCATIONS THAT THE STORMTRAP SYSTEM IS TO BE LOCATED.
 - THE CONTRACTOR SHALL REMOVE ANY AND ALL EXPANDABLE OR COLLAPSIBLE SOILS AT THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER.
 - THE STONE SHALL BE INSTALLED A MINIMUM OF 2'-0" BEYOND THE LIMITS OF THE STORMTRAP MODULES PERIMETER.
 - USE CRUSHED ANGULAR STONE AND COMPACT THE STONE USING A VIBRATING ROLLER WITH IT'S FULL DYNAMIC FORCE APPLIED TO ACHIEVE A FLAT SURFACE.
 - DISK, DRY, AND COMPACT THE TOP 8" OF THE SUBGRADE SOILS TO 95% OF THE STANDARD DRY DENSITY AND 110% OPTIMUM MOISTURE CONTENT.



- AGGREGATE SHALL BE GRADED TO WITHIN +/- 1/4" OF THE GRADE SHOWN ON THE PLANS
- MINIMUM 3500 PSF SOIL BEARING CAPACITY. SOIL STRENGTHS TO BE VERIFIED IN FIELD BY OTHERS.
- THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED 3/4". IF THE SPACE EXCEEDS 3/4", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO LINE AND GRADE TO BRING THE SPACE INTO SPECIFICATION.
- ALL EXTERIOR JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH PRE-FORMED, COLD-APPLIED, SELF-ADHERING ELASTOMERIC RESIN BONDED TO A WOVEN HIGHLY PUNCTURE RESISTANT POLYMER WRAP CONFORMING TO ASTM C891-09 AND SHALL BE 0'-8" WIDE WITH INTEGRATED PRIMER SEALANT AS APPROVED BY STORMTRAP. THE ADHESIVE EXTERIOR JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
 - USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE POINT WHERE THE JOINT WRAP IS TO BE APPLIED.
 - A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE (ADHESIVE SIDE DOWN) AROUND THE STRUCTURE, REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.
- THE FILL PLACED AROUND THE STORMTRAP UNITS MUST BE DEPOSITED ON BOTH SIDES AT THE SAME TIME AND TO APPROXIMATELY THE SAME ELEVATION. AT NO TIME SHALL THE FILL BEHIND ONE SIDE WALL BE MORE THAN 2'-0" HIGHER THAN THE FILL ON THE OPPOSITE SIDE. BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY OR OTHERWISE SPECIFIED BY ENGINEER. CARE SHALL BE TAKEN TO PREVENT ANY WEDGING ACTION AGAINST THE STRUCTURE, AND ALL SLOPES BOUNDING OR WITHIN THE AREA TO BE BACKFILLED MUST BE STEPPED OR SERRATED TO PREVENT WEDGE ACTION. (REFERENCE ARTICLE 502.10 I.D.O.T. S.S.R.B.C.) CARE SHALL ALSO BE TAKEN AS NOT TO DISRUPT THE JOINT WRAP FROM THE JOINT DURING THE BACKFILL PROCESS. BACKFILL MATERIAL SHALL BE CLEAN, CRUSHED, ANGULAR No.5 (AASHTO M43) AGGREGATE.
- DISTRIBUTE THE FILL OVER THE SYSTEM WITH A TRACKED CONSTRUCTION VEHICLE, DO NOT EXCEED THE MAXIMUM ALLOWABLE GROUND PRESSURE SHOWN IN TABLE 1.

FILL DEPTH	TRACK WIDTH	MAX GROUND PRESSURE
12"	12"	1690 psf
	18"	1219 psf
	24"	1111 psf
	30"	1000 psf
	36"	924 psf

MAXIMUM ALLOWABLE GROUND PRESSURE IS THE VEHICLE OPERATING WEIGHT DIVIDED BY THE TOTAL VEHICLE TRACK-GROUND CONTACT AREA, FOR BOTH TRACKS.

USE A WALK-BEHIND OR VIBRATORY ROLLER, NOT TO EXCEED A MAXIMUM GROSS VEHICLE WEIGHT OF 12,000# AND A MAXIMUM DYNAMIC FORCE OF 20,000#, WITH A MINIMUM OF 12" OF COMPACTED FILL OVER THE SYSTEM.

FULL DUMP TRUCKS MUST NOT BE DRIVEN OR DUMP STONE OVER THE SYSTEM, RAISING THE BODY TO DUMP STONE SIGNIFICANTLY INCREASES THE REAR WHEEL LOADS.

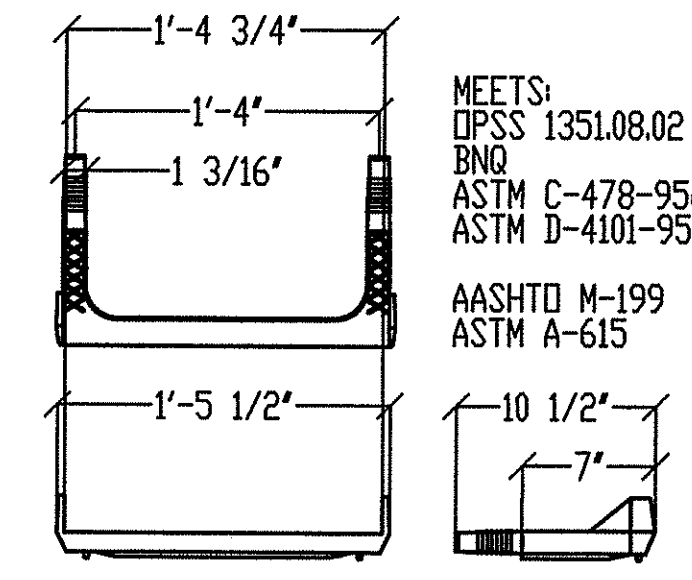
STORMTRAP SPECIFICATION

- TOTAL COVER: MIN. 0.5' MAX. 4' CONSULT STORMTRAP FOR ADDITIONAL COVER OPTIONS.
- CONCRETE CHAMBER DESIGNED FOR AASHTO HS-20 HIGHWAY LOADING. MIN. SOIL PRESSURE 3500 PSF.
- ALL DIMENSIONS AND SOIL CONDITIONS, INCLUDING BUT NOT LIMITED TO GROUNDWATER AND SOIL BEARING CAPACITY ARE TO BE VERIFIED IN THE FIELD BY OTHERS PRIOR TO STORMTRAP INSTALLATION.
- FOR STRUCTURAL CALCULATIONS THE GROUND WATER TABLE IS ASSUMED TO BE BELOW THE SYSTEMS INVERT. IF WATER TABLE IS DIFFERENT THAN ASSUMED, CONTACT STORMTRAP.
- FOR STRUCTURAL CALCULATIONS THE SOIL DENSITY IS ASSUMED TO BE 120 PCF.

RECOMMENDED ACCESS OPENING SPECIFICATION

- TYPICAL ACCESS OPENINGS FOR THE STORMTRAP SYSTEM ARE 2'-0" IN DIAMETER. ACCESS OPENINGS LARGER THAN 2'-0" IN DIAMETER NEED TO BE APPROVED BY STORMTRAP. ALL OPENINGS MUST RETAIN AT LEAST 1'-0" OF CLEARANCE IN ALL DIRECTIONS FROM THE EDGE OF THE STORMTRAP UNITS.
- PLASTIC COATED STEEL STEPS PRODUCED BY MA INDUSTRIES PART #PS3-PFC (SEE DETAIL TO THE RIGHT) ARE PROVIDED INSIDE ANY UNIT WHERE DEEMED NECESSARY. THE HIGHEST STEP IN THE UNIT IS TO BE PLACED A DISTANCE OF 1'-0" FROM THE INSIDE EDGE OF THE STORMTRAP UNITS. ALL ENSUING STEPS SHALL BE PLACED WITH A MAXIMUM DISTANCE OF 1'-4" BETWEEN THEM. STEPS MAY BE MOVED OR ALTERED TO AVOID OPENINGS OR OTHER IRREGULARITIES IN THE UNIT.
- STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO COINCIDE WITH THE ACCESS OPENING OR THE CENTER OF GRAVITY OF THE UNIT AS NEEDED.
- STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS. SO PLACEMENT OF STEPS IS ATTAINABLE.
- ACCESS OPENINGS SHOULD BE LOCATED IN ORDER MEET THE APPROPRIATE MUNICIPAL REQUIREMENTS. STORMTRAP RECOMMENDS AT LEAST ONE ACCESS OPENING PER SYSTEM FOR ACCESS AND INSPECTION.
- USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET GRADE. STORMTRAP RECOMMENDS FOR COVER OVER 2' TO USE PRECAST BARREL OR CONE SECTIONS. (BY OTHERS)

3'-0" SINGLETRAP



RECOMMENDED PIPE OPENING SPECIFICATION

- PIPE OPENINGS SHALL MAINTAIN A MINIMUM 1'-0" OF CLEARANCE FROM A VERTICAL EDGE OF THE STORMTRAP UNIT.
- MAXIMUM OPENING SIZE TO BE DETERMINED BY UNIT HEIGHT. PREFERRED OPENING SIZE 0 3/8" OR LESS. ANY OPENING NEEDED THAT DOES NOT FIT THIS CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF STORMTRAP FOR REVIEW.
- CONNECTING PIPES SHALL BE INSTALLED WITH A 1'-0" CONCRETE COLLAR, AND A AGGREGATE CRADLE FOR AT LEAST ONE PIPE LENGTH, AS SHOWN. A STRUCTURAL GRADE CONCRETE OR GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PST SHALL BE USED.
- THE ANNULAR SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH NON-SHRINK GROUT.

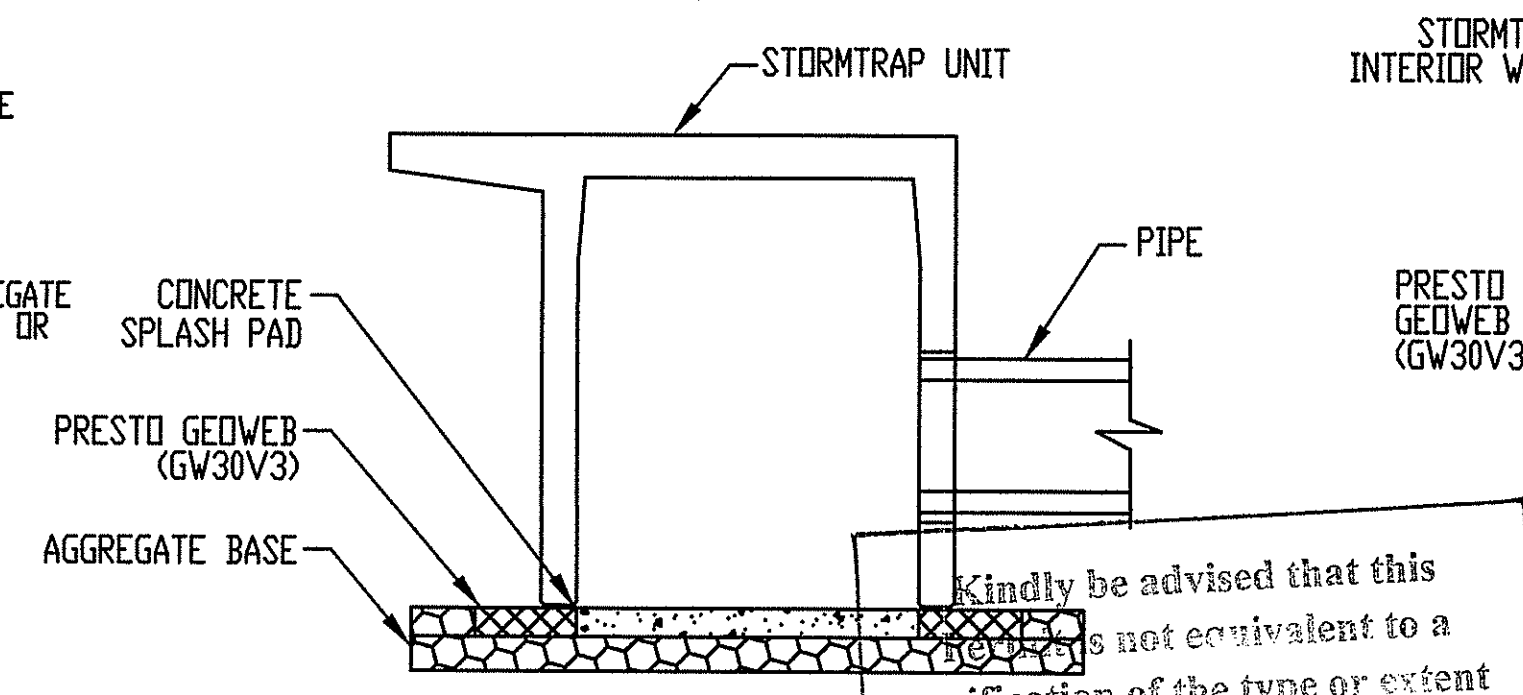
RECOMMENDED PIPE INSTALLATION INSTRUCTIONS

- CLEAN AND LIGHTLY LUBRICATE ALL OF PIPE TO BE INSERTED INTO STORMTRAP.
- IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
- ALIGN CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.

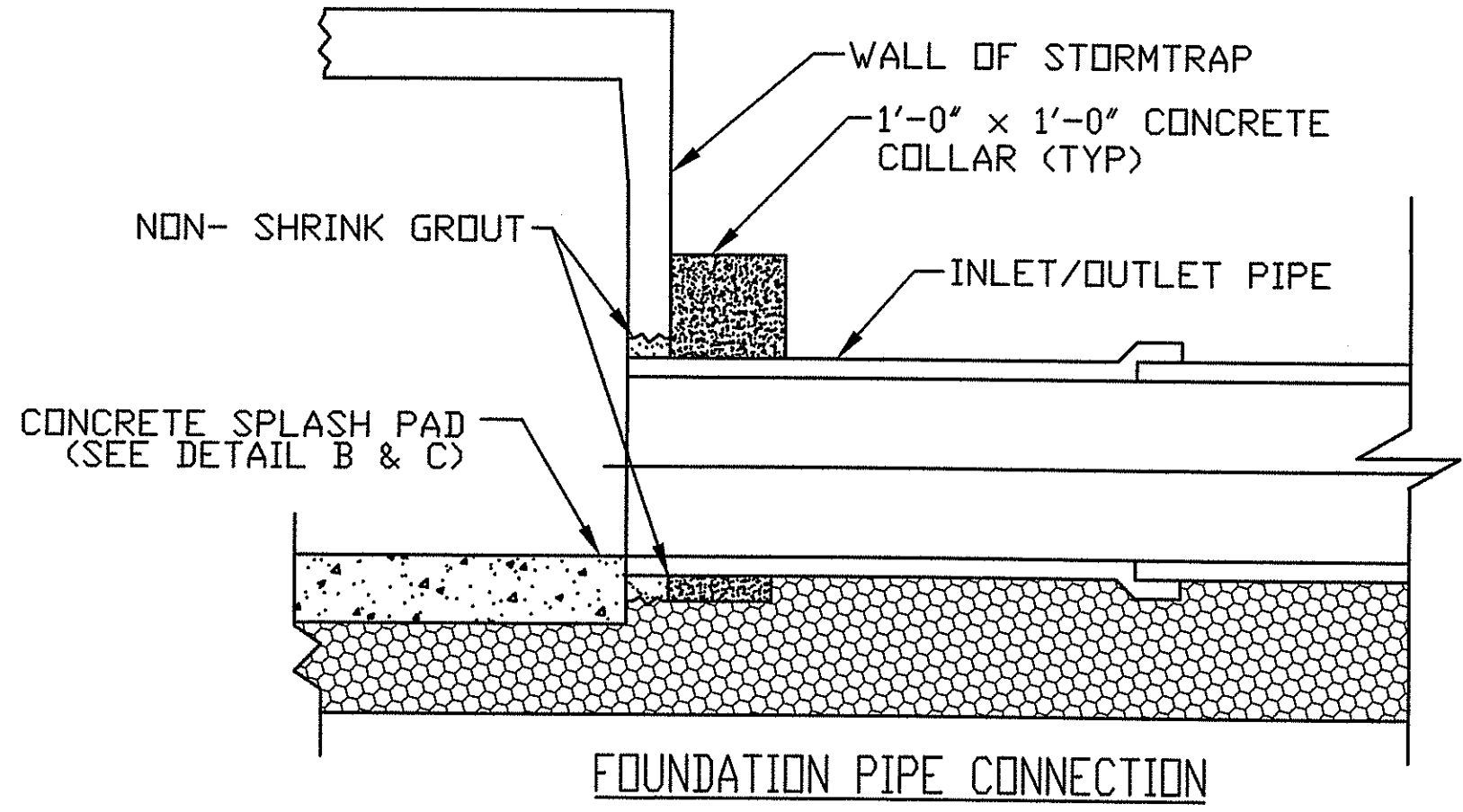
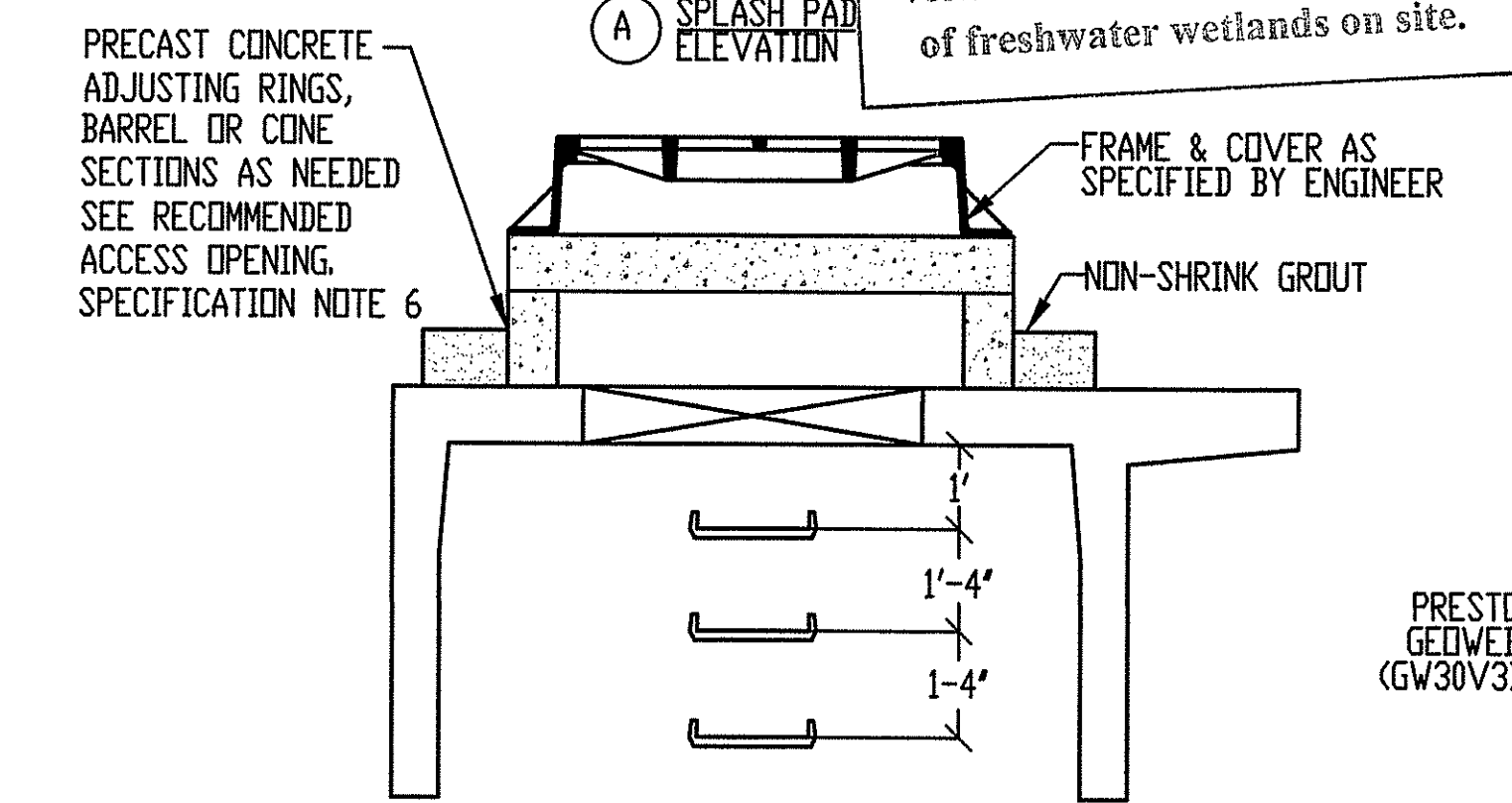
SPLASH PAD & GEOWEB SPECIFICATION

- THE APPROVED GEOWEB SHALL BE PRESTO GEOWEB (GW30V3). THE GEOWEB NOMINAL DIMENSIONS SHALL BE 9'-FT x 25'-FT.
- SPLASH PAD AND GEOWEB SHALL BE INSTALLED PRIOR TO INSTALLATION OF THE STORMTRAP UNITS
- THE GEOWEB INFILL MATERIAL SHALL BE AASHTO M43 #5 AGGREGATE(SEE DETAIL A).
- THE CONCRETE SPLASH PAD SHALL BE INSTALLED WITHIN THE GEOWEB AND IS REQUIRED AT ALL PIPE ENTRY LOCATIONS. SEE DETAIL B & C.
- THE GEOWEB EDGE SHALL BE INSTALLED 1-FT BEYOND THE OUTER PERIMETER OF THE STORMTRAP SYSTEM.
- THE GEOWEB LONGITUDINAL DIMENSION (25-FT) SHALL BE INSTALLED PARALLEL TO THE STORMTRAP LEGS.
- THE CONCRETE SPLASH PAD AND GEOWEB SHALL BE CENTERED AT THE PIPE PENETRATION.
- SPLASH PAD DIMENSIONS COULD VARY IN UNITS THAT ARE LESS THAN 15'-4" IN LENGTH.

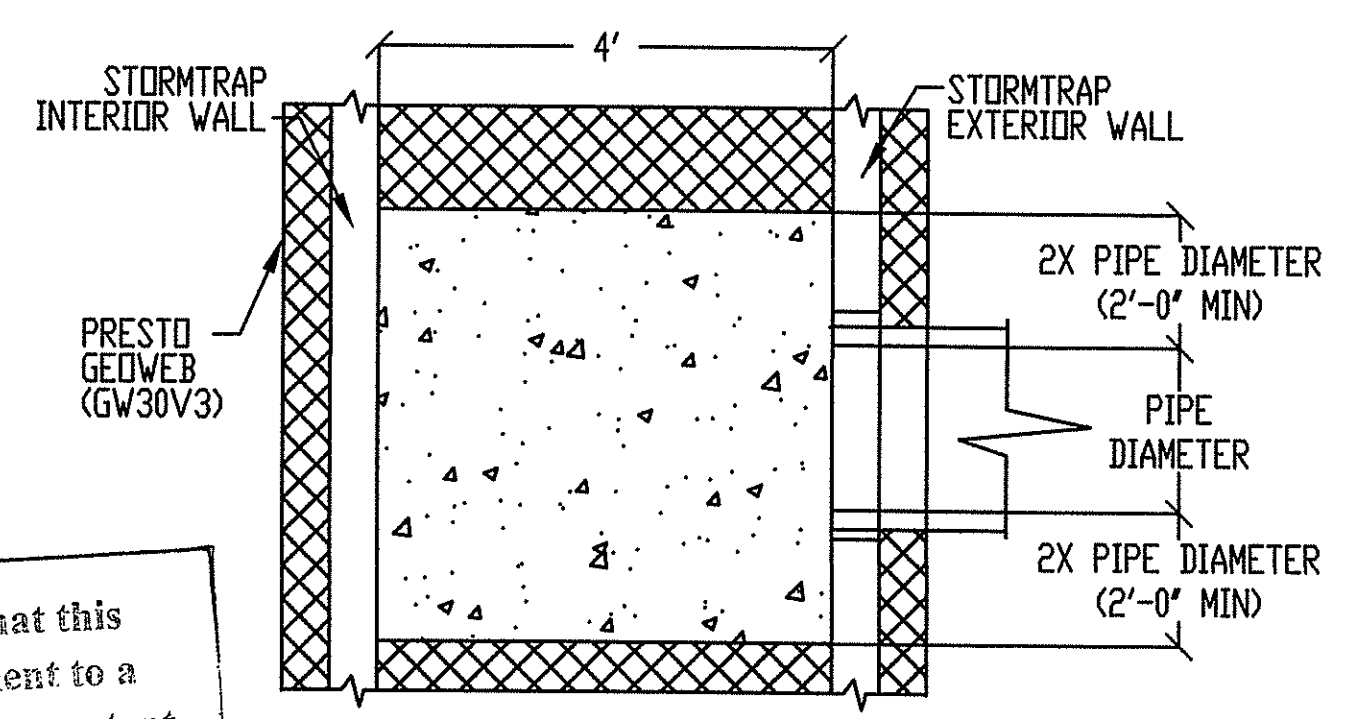
STEP DETAIL



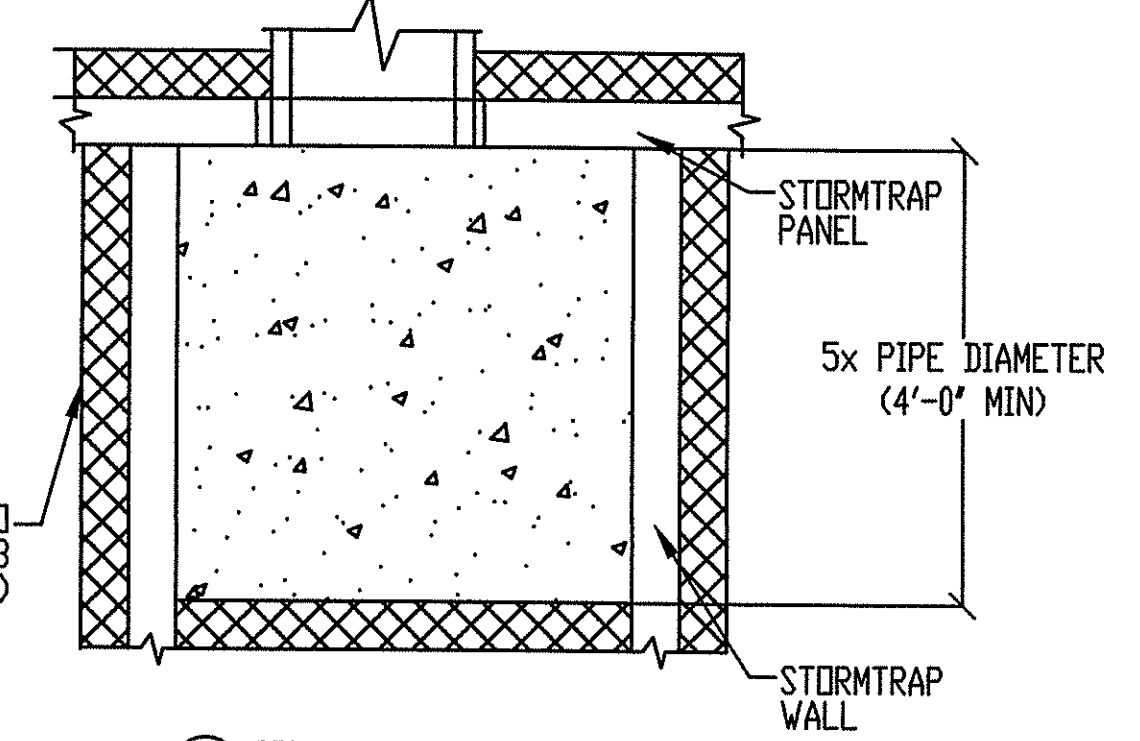
RISER / STAIR DETAIL



FOUNDATION PIPE CONNECTION



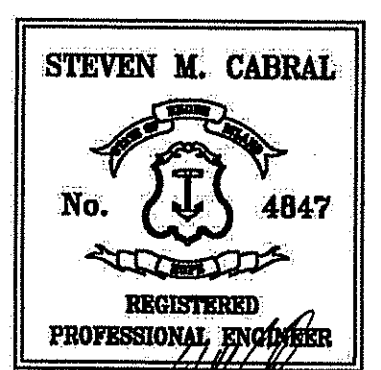
B SPLASH PAD & GEOWEB PLAN VIEW - SIDE WALL



C SPLASH PAD & GEOWEB PLAN VIEW - END PANEL

Crossman Engineering
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 03 2015 FILE # 16-0120
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PROJECT TITLE:
PROPOSED RESTAURANT
 PLAT MAP 32-4, LOT 32
 ZONING DISTRICT: CN and R-10
 COMMERCIAL NEIGHBORHOOD and
 MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
 and KINGSTOWN ROAD
 SPECIAL MANAGEMENT DISTRICT
 2089 KINGSTOWN ROAD (ROUTE 108)
 SOUTH KINGSTOWN, R.I.

PREPARED FOR:
DAN'S PLACE
 880 VICTORY HIGHWAY
 WEST GREENWICH, RI

DRAWING TITLE:
MISCELLANEOUS DETAIL PLAN No. 3
 DATE: JUNE 2015 SCALE: AS SHOWN
 DWG. NAME: 2072-C11-DETAIL3-R4.dwg

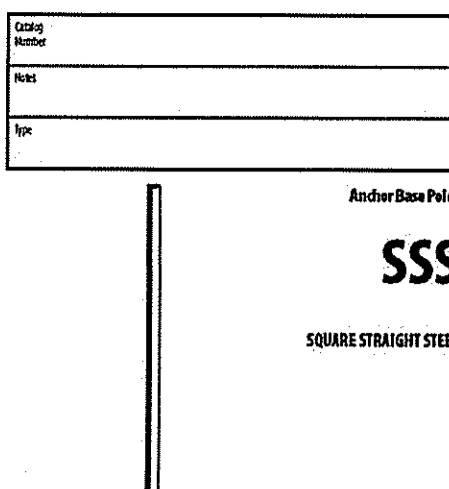
NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER
C11
 SHEET 12 OF 15



FEATURES & SPECIFICATIONS

GENERAL USE - Made of steel pipe and end fittings...
INSTALLATION - Spacing between poles shall be 20 feet...
NOTES - 1. Pole top shall be 10 feet above finished ground...



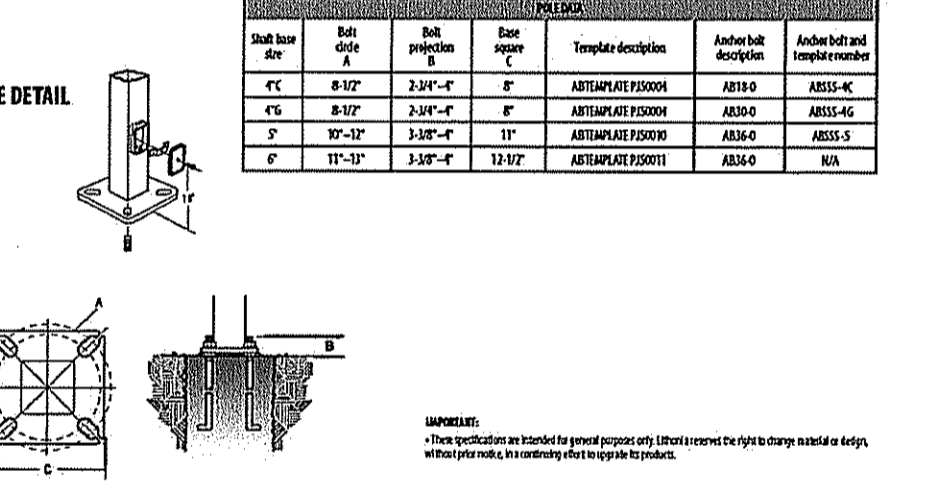
SSS SQUARE STRAIGHT STEEL POLE

Table with columns: Pole Size, Pole Height, Pole Spacing, Pole Weight, Pole Cost, Pole Spacing Cost, Pole Weight Cost, Pole Cost per Foot.

NOTES - 1. Pole top shall be 10 feet above finished ground...
HANDHOLE ORIENTATION - Diagram showing handhole orientation.

SSS Square Straight Steel Poles

Table with columns: Catalog Number, Pole Height, Pole Spacing, Pole Weight, Pole Cost, Pole Spacing Cost, Pole Weight Cost, Pole Cost per Foot.

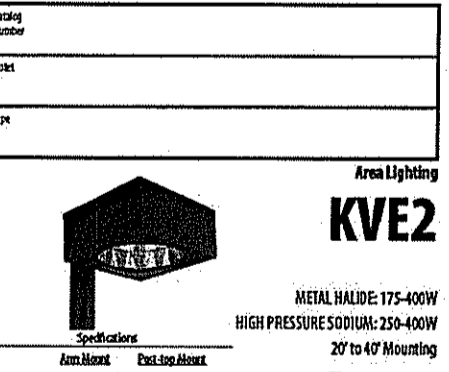


FIXTURE TYPE BB POLE SSS 20 4G DM29 DBL
FIXTURE TYPE CC POLE SSS 20 4G DM19 DBL



FEATURES & SPECIFICATIONS

GENERAL USE - Made of steel pipe and end fittings...
INSTALLATION - Spacing between poles shall be 20 feet...
NOTES - 1. Pole top shall be 10 feet above finished ground...

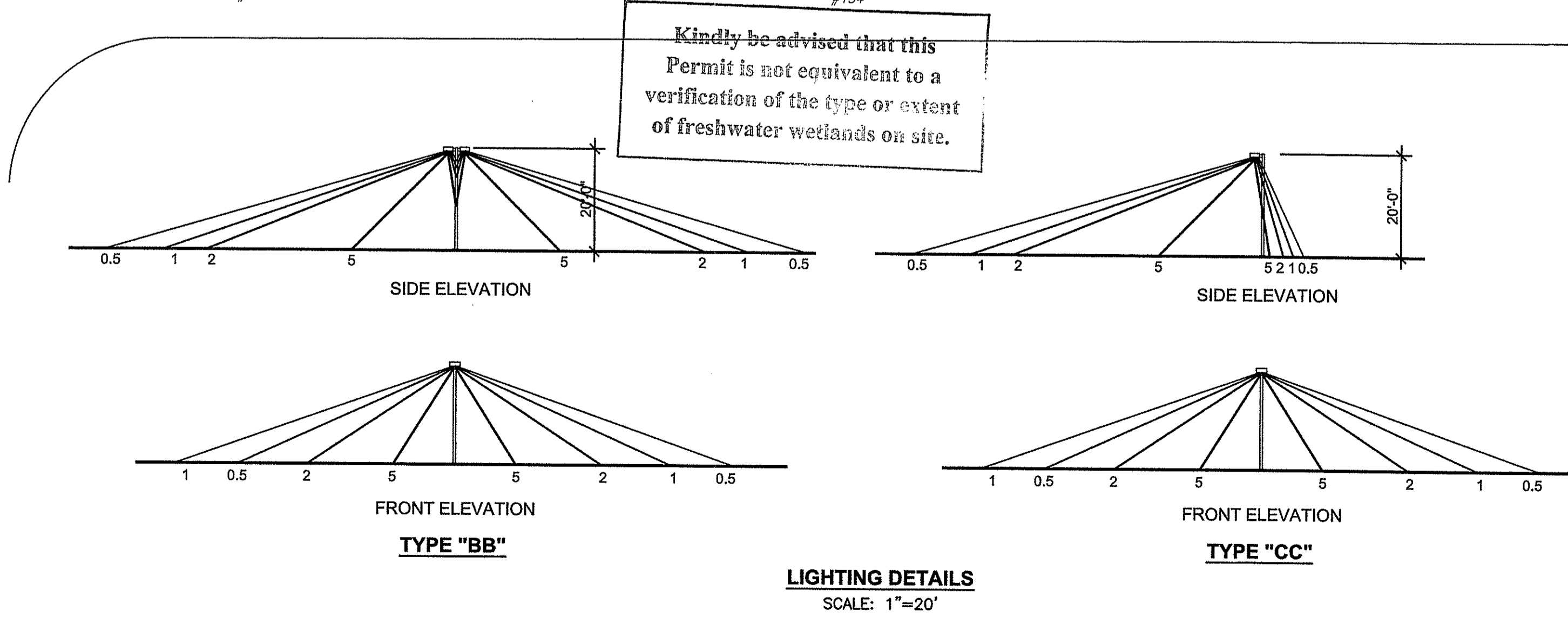
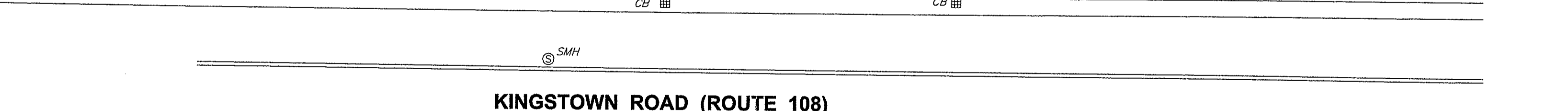
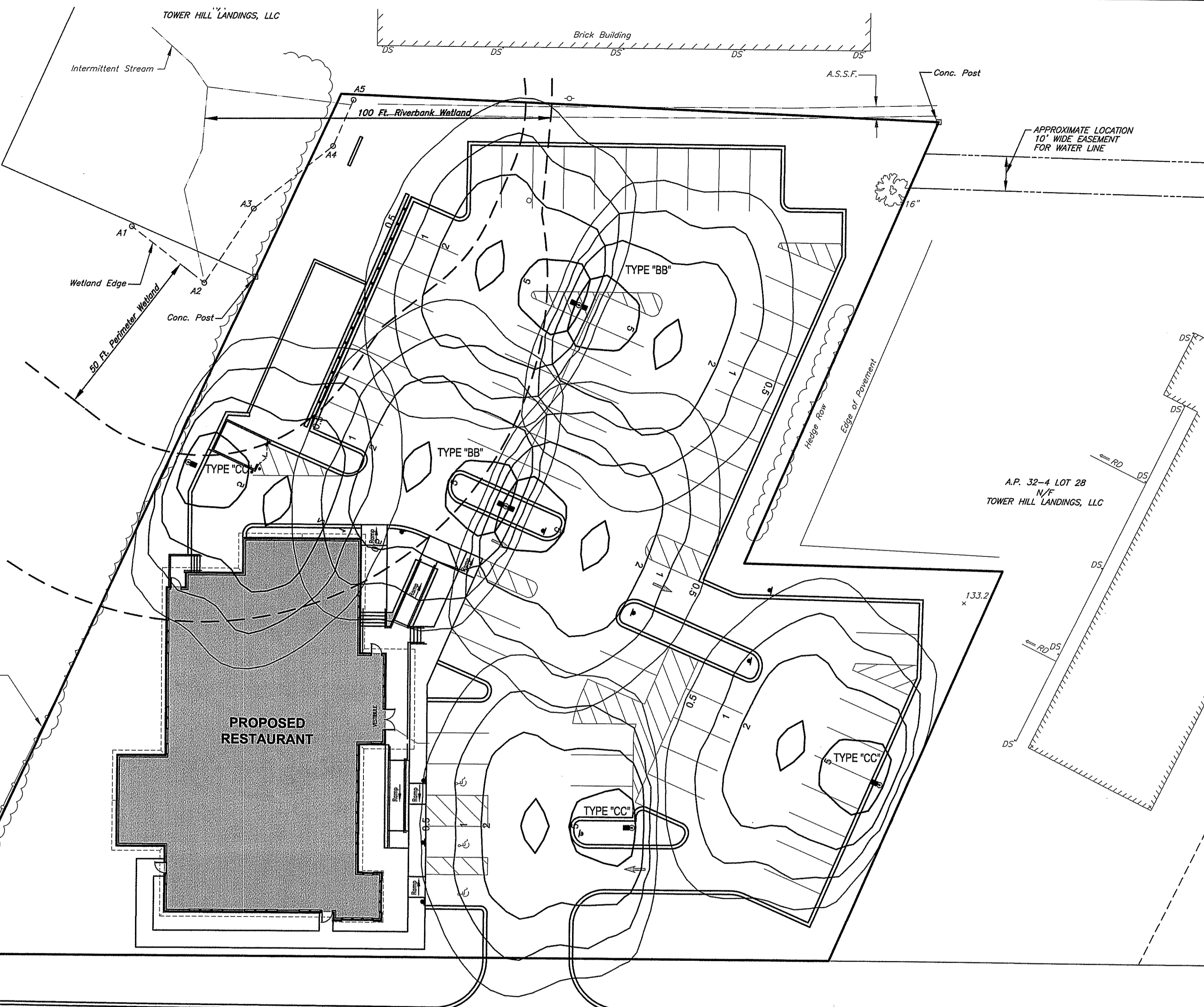
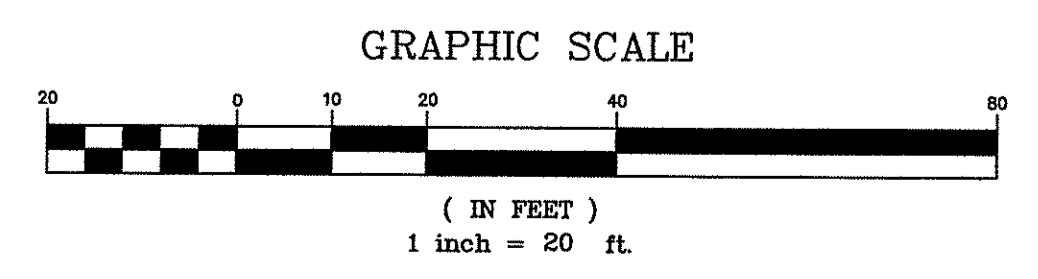


KVE2

Table with columns: Pole Size, Pole Height, Pole Spacing, Pole Weight, Pole Cost, Pole Spacing Cost, Pole Weight Cost, Pole Cost per Foot.

Table with columns: Pole Size, Pole Height, Pole Spacing, Pole Weight, Pole Cost, Pole Spacing Cost, Pole Weight Cost, Pole Cost per Foot.

FIXTURE TYPE CC KVE2 400M ASY TB SPV06 HS DBL LPI



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

CROSSMAN ENGINEERING logo and contact information: 151 Centerville Road, Warwick, RI 02886.

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT...

STEVEN M. CABRAL No. 4847 REGISTERED PROFESSIONAL ENGINEER

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS...

PROPOSED RESTAURANT PLAT MAP 32-4, LOT 32 ZONING DISTRICT: CN and R-10 COMMERCIAL NEIGHBORHOOD and MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT...

DAN'S PLACE 880 VICTORY HIGHWAY WEST GREENWICH, RI

SITE LIGHTING PLAN

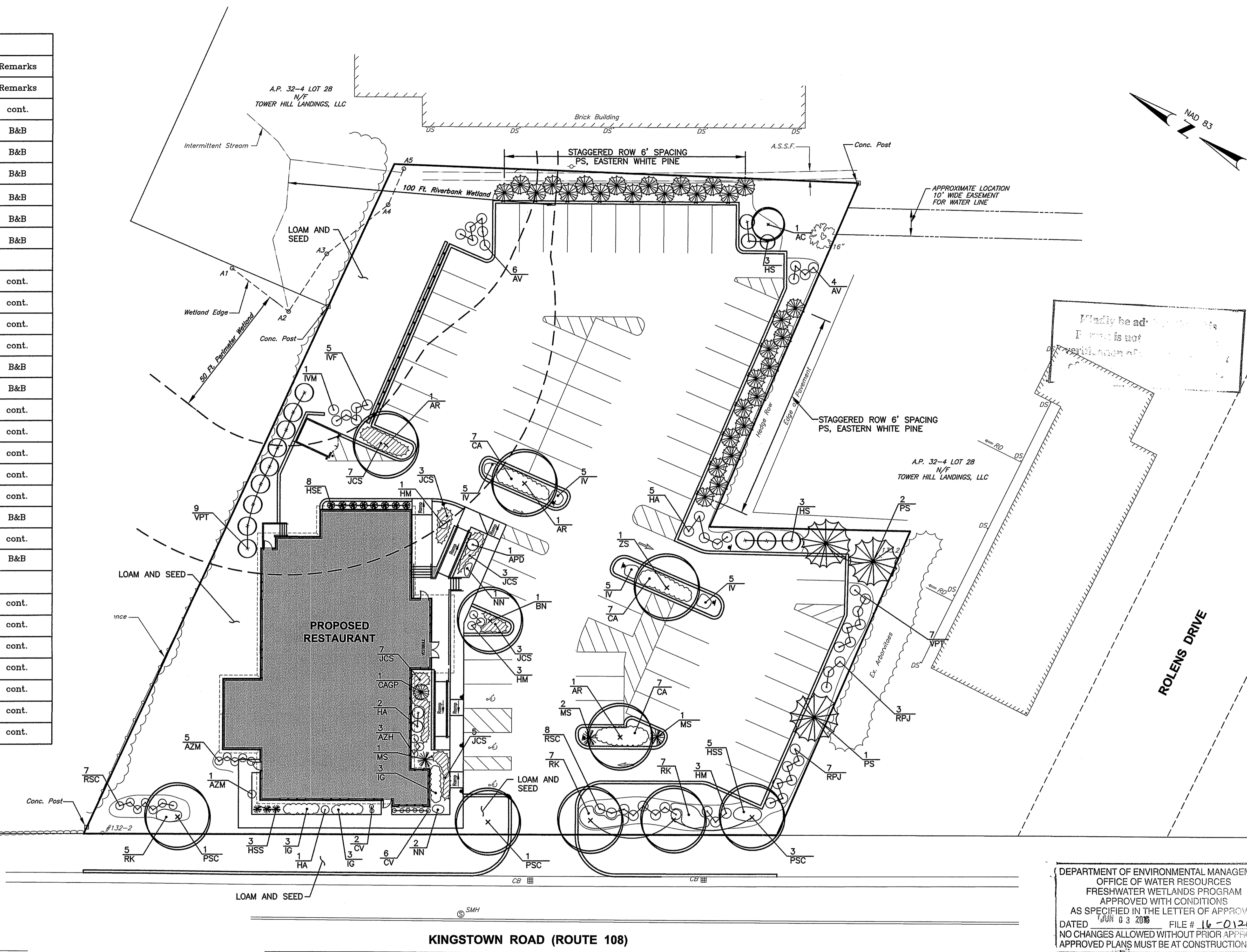
DATE: JUNE 2015 SCALE: 1"=20'

REVISIONS table with columns: NUMBER, REMARKS, DATE

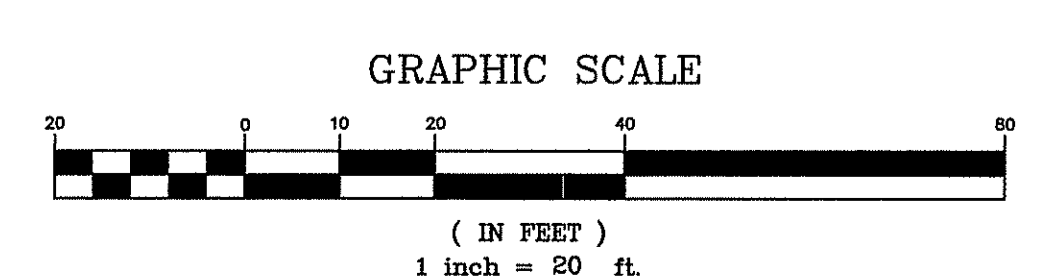
DRAWING NUMBER E1 SHEET: 13 OF: 15

PLANTING SCHEDULE

TREES			
Key	Botanical Name Common Name	Size	Remarks
AC	Acer campestre Hedge Maple	1 1/2"-2" cal.	Remarks
APD	Acer palmatum 'Disectum Crimson Queen' Red Threadleaf Japanese Maple	10 gal.	cont.
AR	Acer rubrum 'October Glory' October Glory Red Maple	2-2 1/2" cal.	B&B
BN	Betula nigra River Birch	8-10 clump	B&B
CAGP	Cedrus atlantica 'Glauca Pendula' Weeping Blue Atlas Cedar	5-6'	B&B
PSC	Prunus sargentii 'Columnaris' Columnar Sargent's Cherry	2-2 1/2" cal.	B&B
PS	Pinus strobus Eastern White Pine	4-5'	B&B
ZS	Zelkova serrata Japanese Zelkova	2-2 1/2" cal.	B&B
SHRUBS			
AV	Azalea viscosum Swamp Azalea	2 gal.	cont.
AZH	Azalea 'Hino Crimson' Red Evergreen Azalea	3 gal.	cont.
AZM	Azalea 'Mother's Day' Dark Pink Evergreen Azalea	5 gal.	cont.
CA	Clethra alnifolia Summersweet Clethra	2 gal.	cont.
HS	Hibiscus syriacus Hibiscus syriacus	3-4'	B&B
HM	Hydrangea macrophylla 'Coerulea Lace' Lacecap Hydrangea	24"-30"	B&B
HA	Hydrangea arborescens 'Annabelle' Annabelle Hydrangea	2 gal.	cont.
IG	Ilex glabra 'Shamrock' Dwarf Inkberry	5 gal.	cont.
IVF	Ilex verticillata 'Sparkleberry' Female Winterberry	5 gal.	cont.
IVM	Ilex verticillata 'Sparkleberry' Male Winterberry	2 gal.	cont.
RPJ	Rhododendron 'P.J.M.' Lavender Rhododendron	5 gal.	cont.
RBD	Rhododendron 'Bonle De Neige' Compact White Rhododendron	24"-30"	B&B
RK	Rosa 'Knock Out' Pink Knock Out Rose	2 gal.	cont.
VPT	Viburnum plicatum tomentosum x 'Shasta' Shasta Mayflower Viburnum	3-4'	B&B
GROUNDCOVER			
CV	Calluna vulgaris Heather	1 gal.	cont.
HSE	Hosta 'Sieboldiana Elegans' Large Blue Hosta	1 gal.	cont.
HSS	Hosta 'Sum and Substance' Large Chartreuse Hosta	1 gal.	cont.
IV	Iris versicolor Blue Flag	1 gal.	cont.
JCS	Juniperus chinensis 'Sargentii Glauca' Blue Sargent's Juniper	2 gal.	cont.
MS	Miscanthus sinensis 'Yaku Jima' Dwarf Maiden Hair Grass	3 gal.	cont.
NN	Nipponanthemum nipponicum Montauk Daisy	1 gal.	cont.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 03 2015 FILE # 16-0120
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



CROSSMAN ENGINEERING
Rhode Island Massachusetts
151 Centerville Road Warwick, RI 02886
103 Commonwealth Avenue North Attleboro, MA 02763
Phone: (401) 738-5660 Phone: (508) 695-1700
Email: cel@grossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
No. 4847
REGISTERED PROFESSIONAL ENGINEER

KEY PLAN
PROJECT TITLE:
PROPOSED RESTAURANT
PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
DAN'S PLACE
880 VICTORY HIGHWAY
WEST GREENWICH, RI

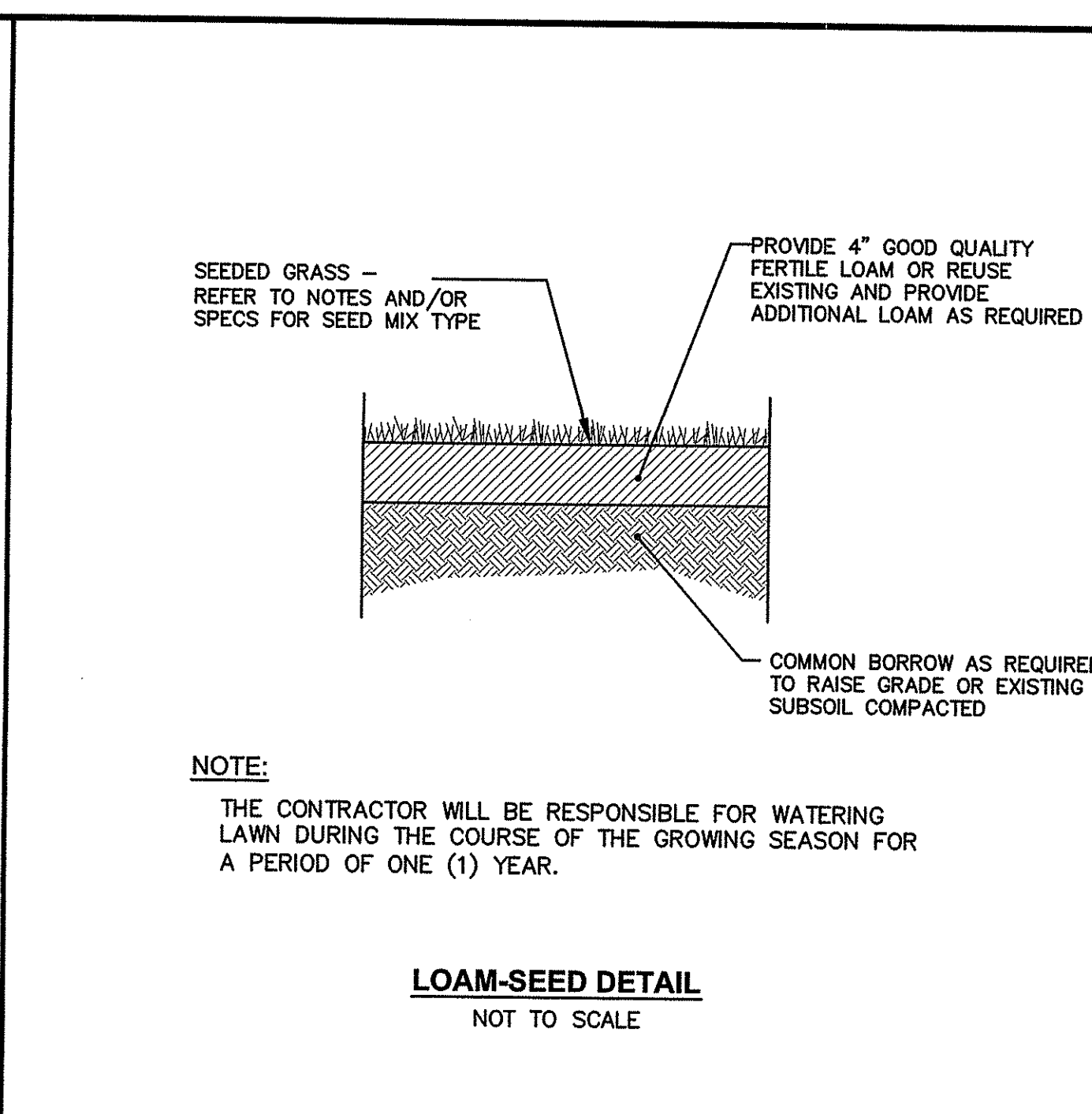
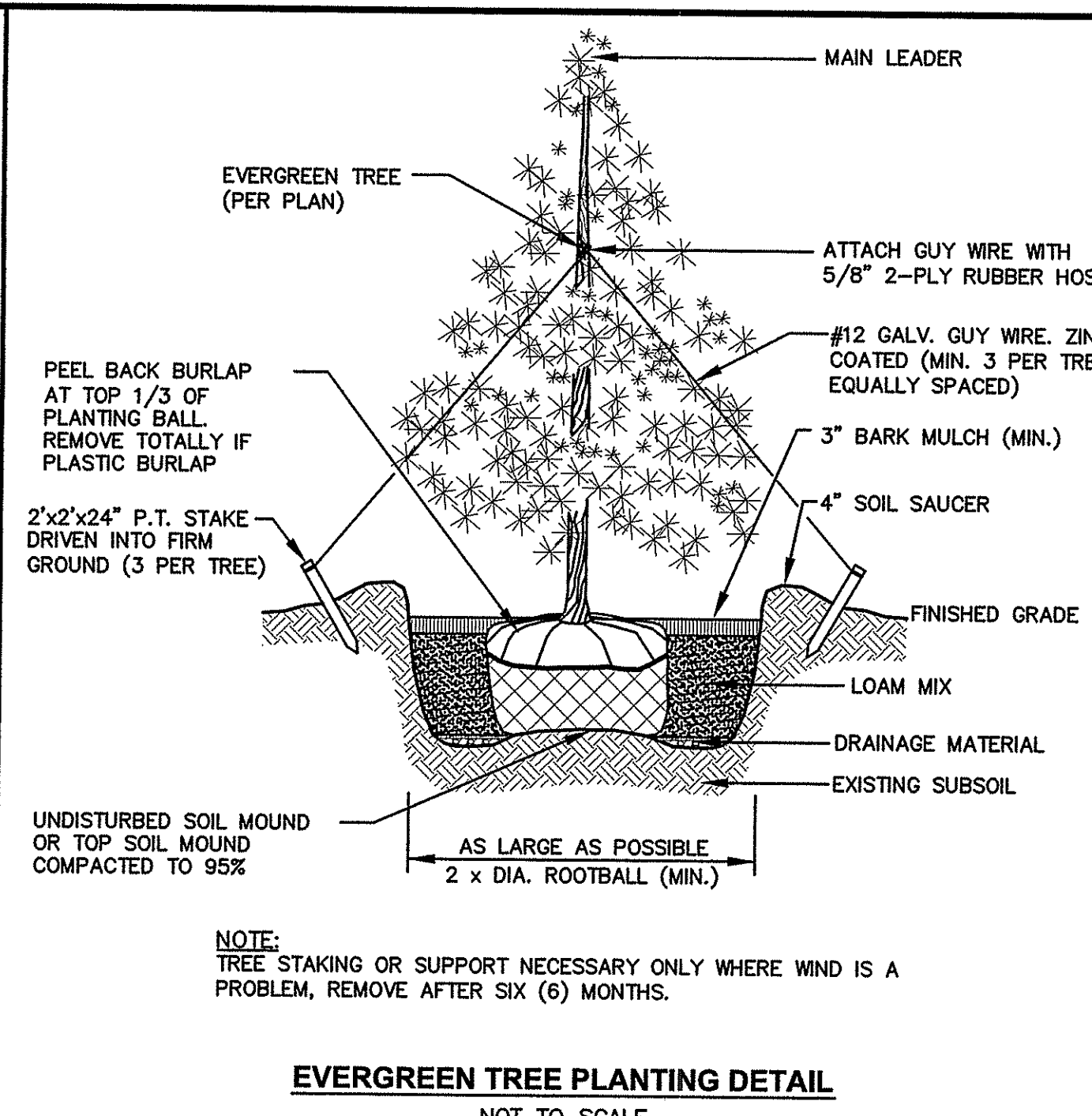
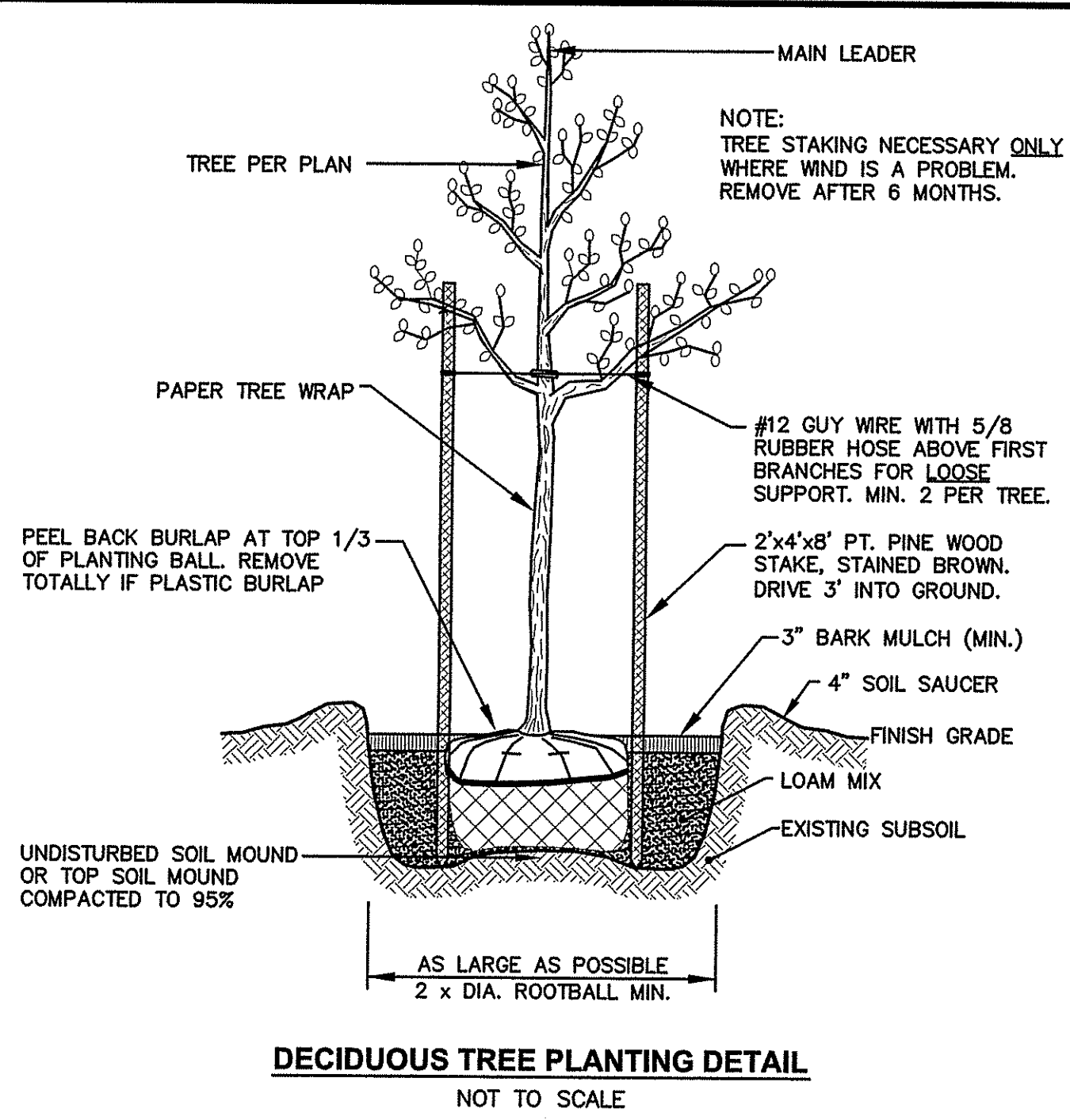
DRAWING TITLE:
**LANDSCAPE PLAN
(EXTENDING TO ABUTTING LOTS)**

DATE: JUNE 2015 SCALE: 1"=20'
DWG. NAME: 2072-L01-LAND-R4.dwg

REVISIONS

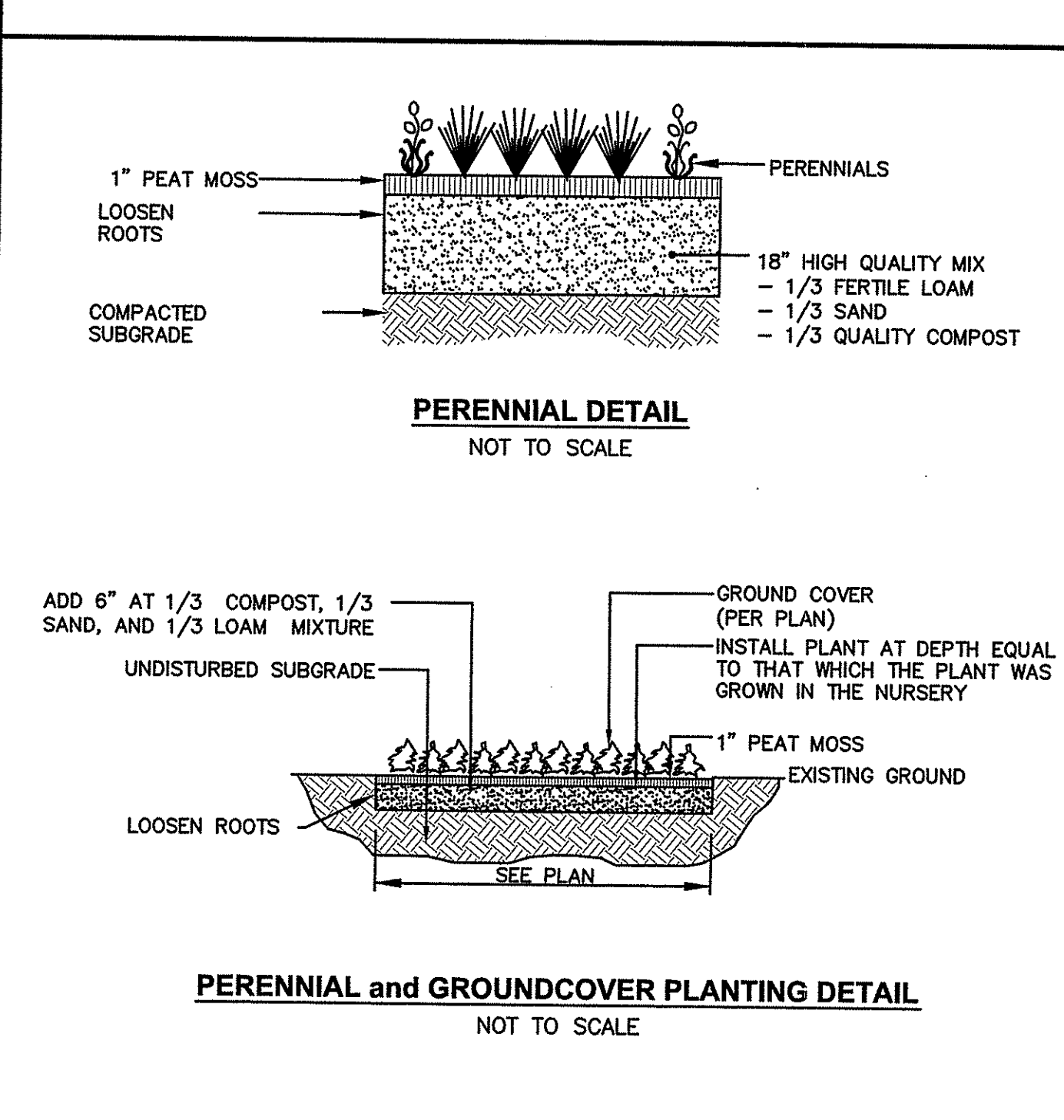
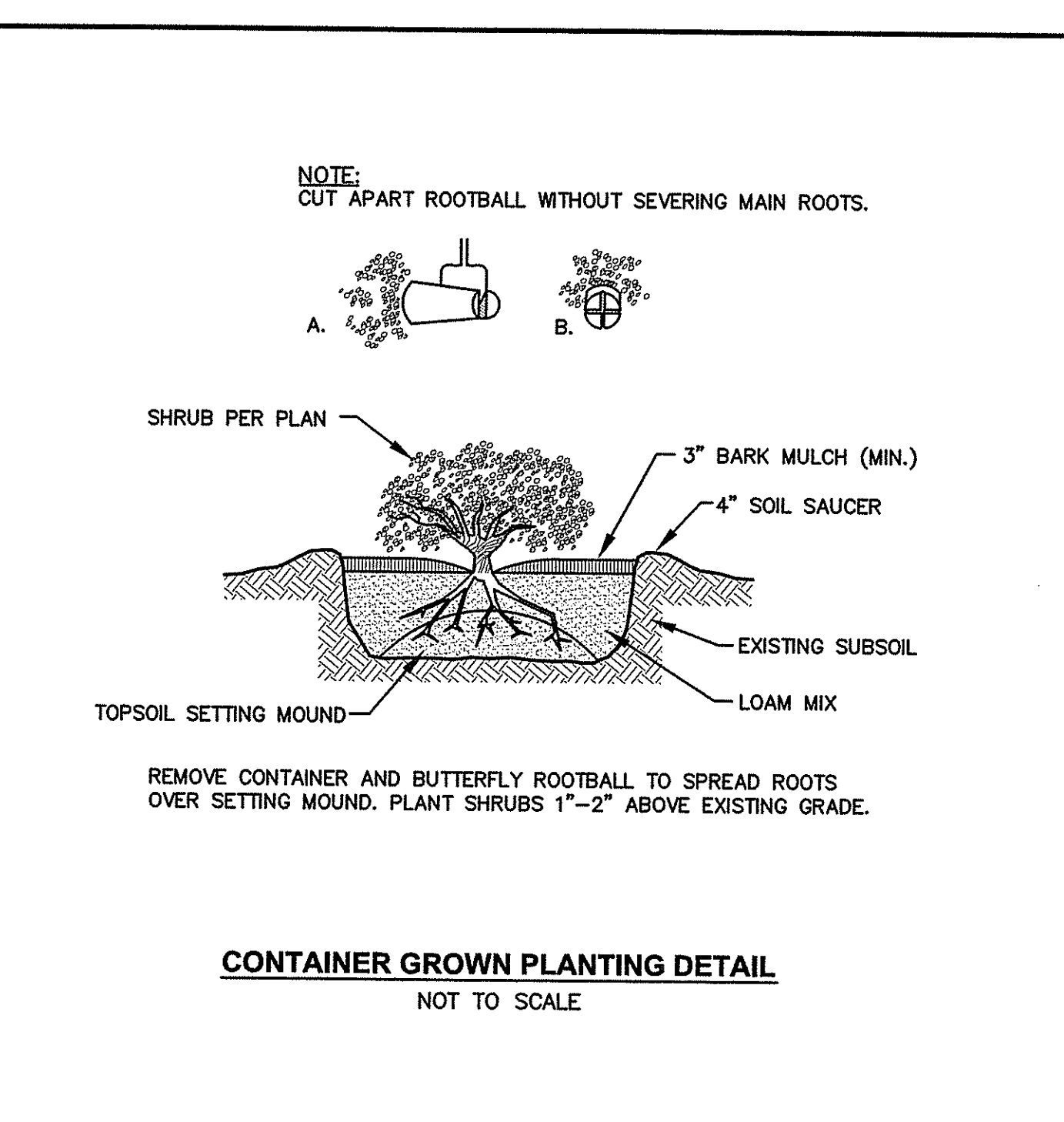
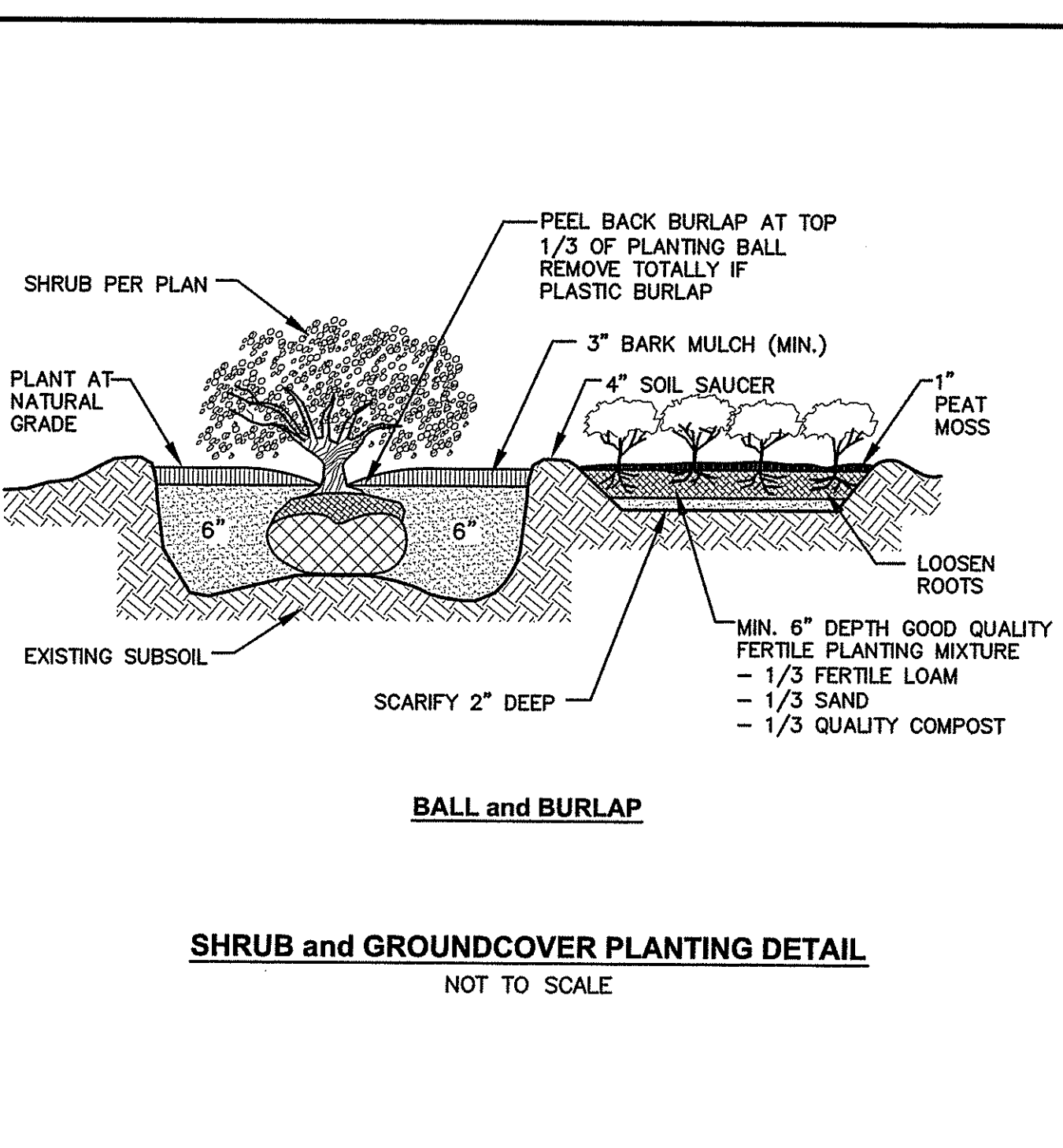
NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER
L1
SHEET: 14 OF 15



SEEDING NOTES

- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 4" OVER ALL AREAS DESIGNATED ON PLANS.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DIGGING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DIGGING OR ROTOTILLING.
- APPLICATION OF SEED:
 - RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
 - SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES:
 SPRING SEEDING: MARCH 15 TO MAY 31
 FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
 - OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
 - REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- SEED:
 - SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:



SEED MIX No. 1
(SLOPES, MEADOWS AND GENERAL RESTORATION AREA)

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTONGRASS	5
BIRDFOOT TREFOIL	15
PERENNIAL RYE GRASS	10

APPLICATION RATE = 200 lbs. / ACRE

SEED MIX No. 2
(ENDOPHYTE SEED MIX)
(MOVED AREAS)

TYPE	% BY WEIGHT
PERENNIAL RYE	30
TURF	30
TYPE TALL FESCUE	30
CHEWINGS FESCUE	10
KENTUCKY BLUEGRASS	10

APPLICATION RATE = 250 lbs. / ACRE

SEED MIX No. 3
(DETENTION/RETENTION AREAS)

TYPE	% BY WEIGHT
CREeping RED FESCUE	28
TALL FESCUE	24
PERENNIAL RYE GRASS	18
LITTLE BLUESTEM	15
REDTOP	4
NORTHEAST WILDFLOWER MIX	4

APPLICATION RATE = 220 lbs. / ACRE
OR 5 LBS. PER 1,000 S.F.

SEED MIX No. 4
(BIO-DETENTION AREAS)

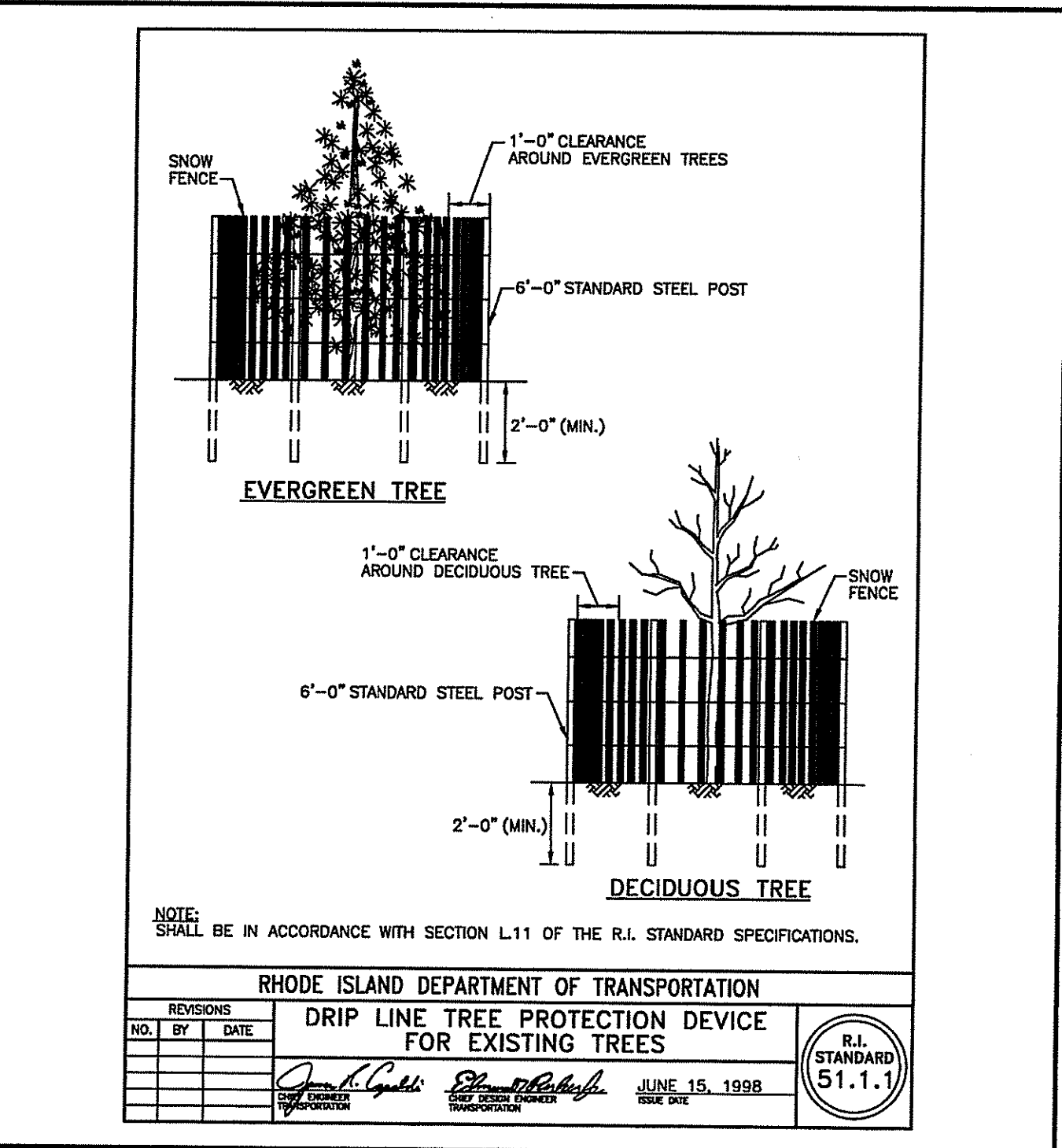
TYPE	% BY WEIGHT
HARD FESCUE	60
SHEEP FESCUE	40

APPLICATION RATE = 25-50 LBS./ACRE

SEED MIX No. 5
(WETLAND AREAS)

TYPE	% BY WEIGHT
REDTOP (AGROSTIS STOLONIFERA)	25
DEET TONGUE (PANICUM CLANDESTINUM)	20
BLUEJOINT GRASS (CALAMAGROSTIS CANAD.)	20
ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)	10
SWITCHGRASS (PANICUM VEGATUM)	10
JOE PYE WEED (EUPATORIUM FISTULOSUM)	10
YELLOW FLAG IRIS (IRIL VERSICOLOR)	10
RICEGRASS (LEERSIA ORYZOIDES)	10

APPLICATION RATE = 60 lbs. / ACRE



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 11/13/2013 FILE # 110-0120
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

LANDSCAPE CONSTRUCTION NOTES

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS.
- BIO-DETENTION AREAS—PLANTING SOIL AND MULCH:
LOAMY SAND TO A SANDY LOAM—80% SAND <20% SILT, <2% CLAY, WELL AGED GRADED COMPOST (25% OF SOIL MIX), WELL AGED, AERATED DARK BROWN HARD-WOOD MULCH (AGED 6 MONTHS).
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME—AS PER MANUFACTURER'S INSTRUCTION.
- MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.

CROSSMAN ENGINEERING
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
No. 4847
REGISTERED PROFESSIONAL ENGINEER
5-10-16

KEY PLAN

PROPOSED RESTAURANT
PLAT MAP 32-4, LOT 32
ZONING DISTRICT: CH and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
AND KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2089 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

DAN'S PLACE
880 VICTORY HIGHWAY
WEST GREENWICH, RI

LANDSCAPE DETAIL PLAN

DATE: JUNE 2015 SCALE: AS SHOWN
DWG. NAME: 2072-L02-LNDET-R4.dwg

NUMBER	REMARKS	DATE
1	RIDOT COMMENTS	8/21/15
2	TOWN SUBMISSION	8/28/15
3	RIDEM COMMENTS	10/30/15
4	DRAINAGE MODIFICATION	04/04/16

DRAWING NUMBER: **L2**
SHEET: 15 OF 15