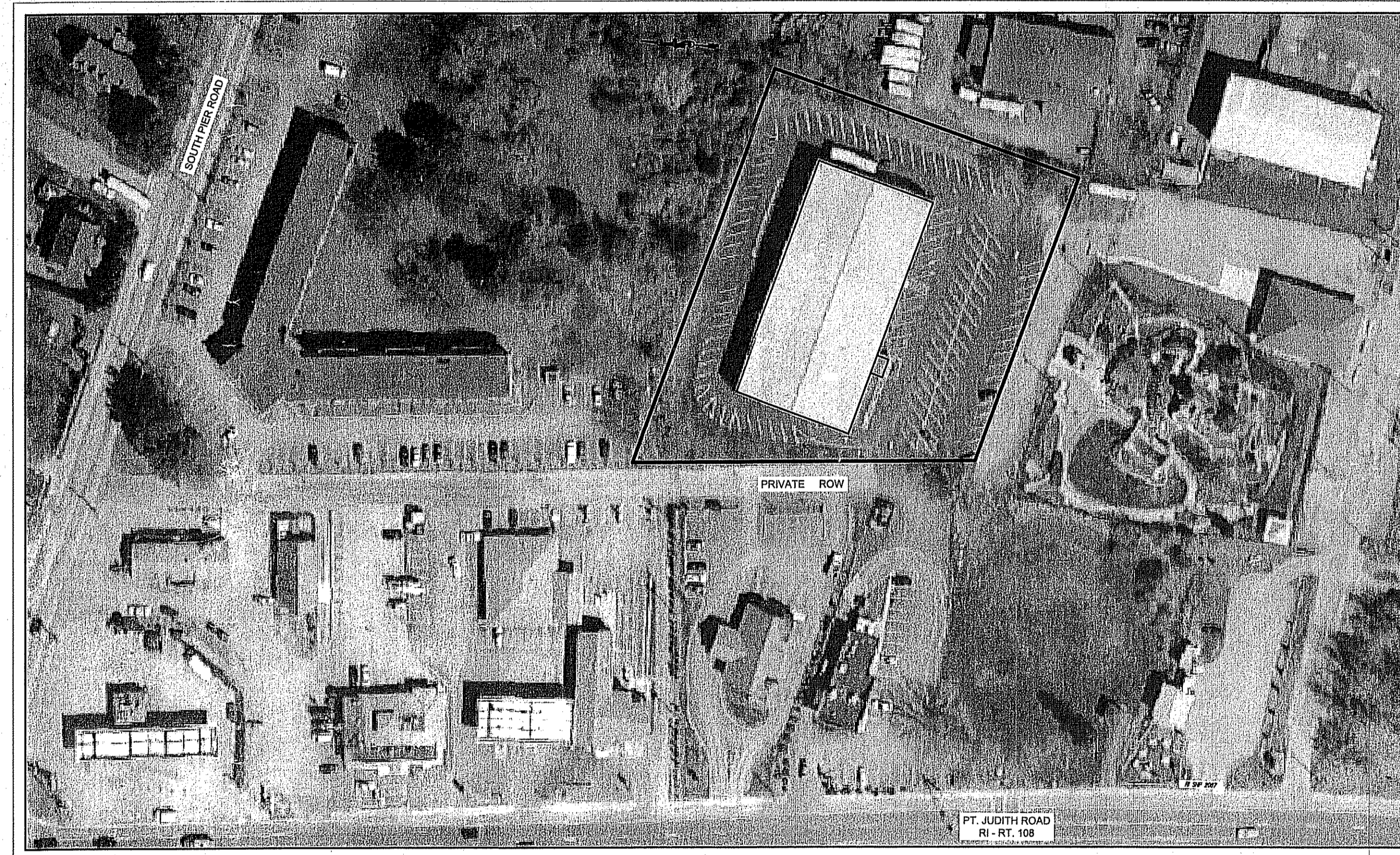


CONSTRUCTION PLANS

For:

COMMERCIAL RE-DEVELOPMENT

Assessor's Plat "P", Lots 284-A & 284-B
360 SOUTH PIER ROAD
NARRAGANSETT, RHODE ISLAND



AERIAL IMAGE
 SCALE: 1"=80'

PREPARED FOR:
O.C. REALTY, LLC

PREPARED BY:

MILLSTONE ENGINEERING, P.C.
 CIVIL ENGINEERING • LAND PLANNING

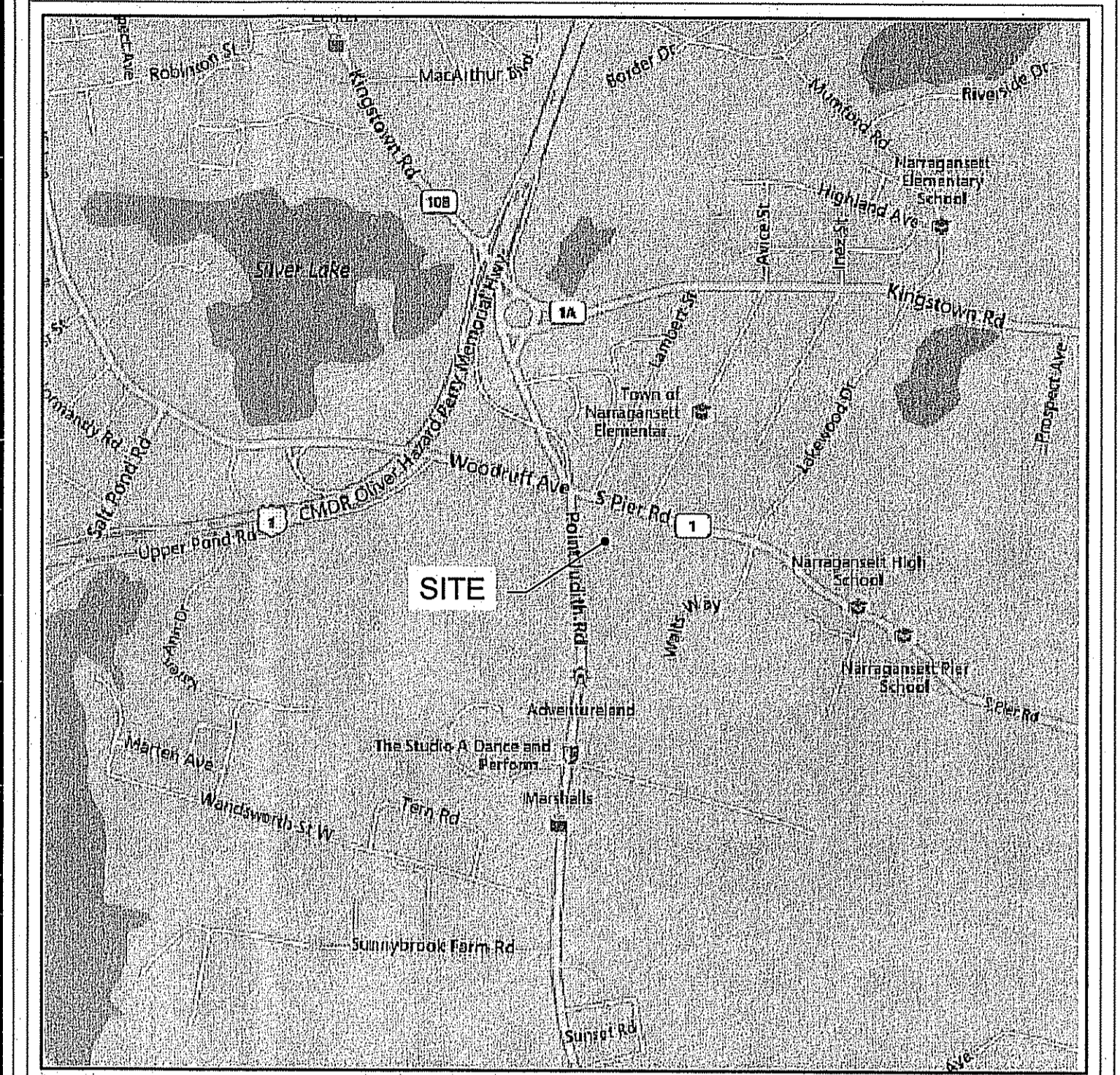
250 Centerville Road, Building E-12
 Warwick, Rhode Island 02886 p. (401) 921-3344 f. (401) 921-3303
 www.MillstoneEng.com

MAY 2016
 REV. 1 ~ JUNE 2016
 REV. 2 ~ JULY 2016

REFERENCES:
 1. AERIAL PHOTOGRAPH TAKEN FROM GOOGLE EARTH.
 2. LOCUS MAP FROM WWW.BING.COM.

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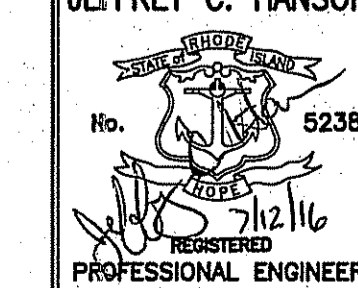
SHEET	DESCRIPTION	REVISED
1	COVER SHEET	
2	EXISTING CONDITIONS PLAN	
3	SITE PREPARATION PLAN	
4	SITE LAYOUT and UTILITIES PLAN	
5	SITE GRADING and DRAINAGE PLAN	
6	LANDSCAPE PLAN	
7	NOTES and DETAILS	
8	DETAILS	

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 10 2016 FILE # 16-9131
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OWNER:
 ANTONIO MOLLO
 ONE DAYTONA AVENUE
 NARRAGANSETT, RI 02882

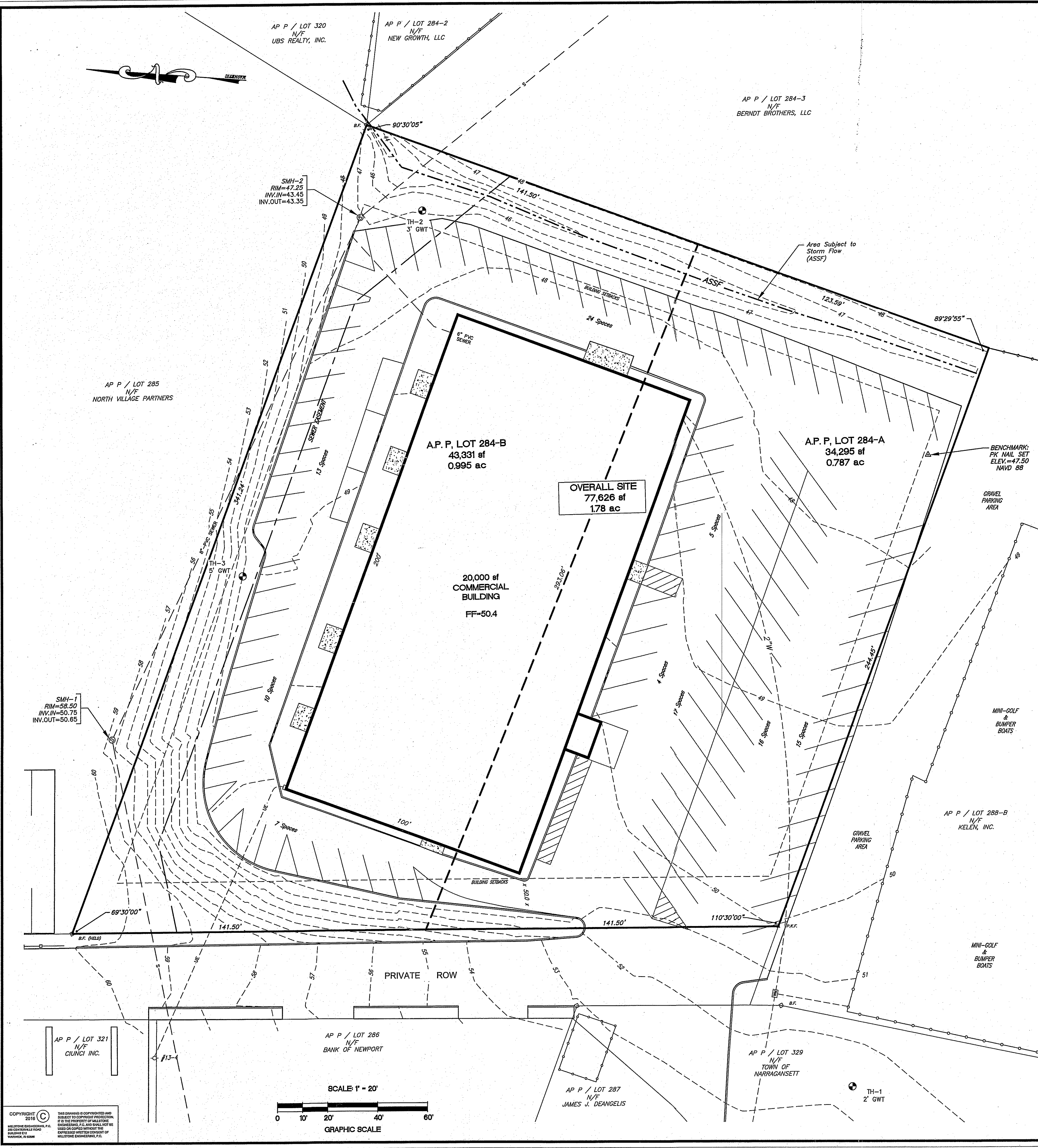
APPLICANT:
 O.C. REALTY, LLC
 C/O JOHN KENYON
 133 OLD TOWER HILL ROAD
 WAKEFIELD, RI 02879

 **MILLSTONE ENGINEERING, P.C.**
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JEFFREY C. HANSON
 No. 5238

 REGISTERED
 PROFESSIONAL ENGINEER

Drawn By: MJV
 Checked By: JCH
 Sheet

1
 of 8
 FILE NO.: 14.186.261



ZONING DATA:

AP P, LOT 284-A & 284-B (COMBINED DATA)
ZONE B-B

	REQUIRED	EXISTING
MINIMUM LOT SIZE	20,000 S.F.	77,626 SF
LOT WIDTH	100 FT	283 FT
SETBACKS		
FRONT YARD	20 FT. MIN.	21.6 FT
SIDE YARD	10 FT. MIN.	59.9 FT
REAR	30 FT. MIN.	58.4 FT
MAXIMUM LOT COVERAGE*	50 %	75.50 %**
MAXIMUM BUILDING HEIGHT (PRINCIPAL)	35'	19.9'

* SITE LIES WITHIN THE HIGH WATER TABLE OVERLAY DISTRICT BASED UPON SOILS.
WITHIN THIS ZONE LOT COVERAGE INCLUDES ALL IMPERVIOUS SURFACES AS WELL AS THE BUILDING
** EXISTING NON CONFORMING CONDITION ANY EXPANSION REQUIRES SPECIAL USE PERMIT, SEE CALCULATIONS BELOW

PARKING DATA:

PARKING:
SEC. 7.9 - Retail and Service
5.5 spaces / 1,000 sf net leasable area
Assumed all 20,000 sf is leasable area
20,000 / 1,000 = 20 x 5.5 = 110 Spaces Required
Spaces Shown: 111 Spaces*
*not all existing parking dimensions meet Narragansett Zoning Regulations

LEGEND:

- SUBJECT LOT LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- G.B.F. GRANITE BOUND FOUND
- I.R.F. IRON ROD FOUND
- △ P.K.F. P.K. NAIL FOUND
- - - EXISTING CONTOUR
- - - EXISTING FENCE
- - - EXISTING BUILDING
- - - EXISTING CURB / EDGE OF PAVEMENT
- AP 24 LOT 4 ASSESSOR'S PLAT AND LOT DESIGNATION
- EXISTING UTILITY POLE
- ⊙ EXISTING SEWER MANHOLE
- - - EXISTING SEWER LINE
- - - EXISTING WATER LINE
- - - EXISTING UNDERGROUND ELECTRIC

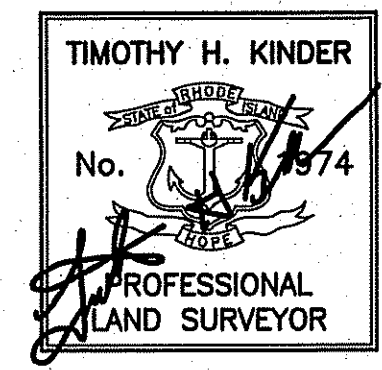
REFERENCES:

- THAT PLAN ENTITLED: PLAT OF JAMES B. KENYON FARM IN THE DISTRICT OF NARRAGANSETT R.I. SHOWING PARTITION AMONG THE HEIRS BY:
NATHANIEL C. PECKHAM } COMMISSIONERS
GEORGE G. PEARSE }
ELISHA D. BROWNING }
SCALE 300'=1", DATED MARCH 20TH 1899, BY T.G. HAZARD JR. SURVEYOR
- THAT PLAT ENTITLED "PART OF KENYON FARM IN THE TOWN OF NARRAGANSETT R.I. SHOWING LAND OWNED BY JAMES T. CASWELL AND WILLIAM I. WHALEY" SCALE 1"=150', DATED JANU 7TH 1915, BY T.G. HAZARD JR. SURVEYOR
- THAT PLAT ENTITLED "HEIRS OF JAMES T. CASWELL PLAT OF LOTS AT NARRAGANSETT, R.I." DATED APRIL 9TH, 1948, BY LEON L. HOLLAND, CIVIL ENGINEER, SCALE 1"=60'
- THAT PLAT ENTITLED "WRIGHTS WAY DEVELOPMENT A SUBDIVISION OF LOT 284, PLAT "P" IN THE TOWN OF NARRAGANSETT, R.I." DATED JANUARY 1978, SCALE 1"=100', BY WESLEY GRANT III, P.E., R.L.S. FOR CHARLES E. AND BARBARA WRIGHT
- (SEWER) AGREEMENT BETWEEN GEORGE F. LENIHAN, JANE A. LENIHAN, ANTONIO MOLLO, CATHERINE MOLLO, JOHN V. McCLOSKEY AND JUDITH A. McCLOSKEY (GRANTORS) AND PETER R. ROSSI, DELORES ROSSI, LOUIS CAIRONE AND DELORES M. CAIRONE (GRANTEES) DATED 7/6/81, RECORDED IN BOOK 139, PAGES 32-33.

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:
COMPREHENSIVE BOUNDARY SURVEY I
DATA ACCUMULATION SURVEY III
PURPOSE OF THE SURVEY:
TO PROVIDE AN ACCURATE PROPERTY LINE AND EXISTING CONDITIONS SURVEY PLAN FOR POTENTIAL SITE IMPROVEMENTS.
BY *[Signature]* PROFESSIONAL LAND SURVEYOR LIC.# 1974 COA.# A-534 DATE 5/14/2016



OWNER:
ANTONIO MOLLO
ONE DAYTONA AVENUE
NARRAGANSETT, RI 02882

APPLICANT:
O.C. REALTY, LLC
C/O JOHN KENYON
133 U.S. Route 1
WAKEFIELD, RI 02879

FLOOD NOTE:

THIS SITE LIES ENTIRELY WITHIN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE RATE MAPS (FIRM), WASHINGTON COUNTY, RHODE ISLAND, ALL JURISDICTIONS, PANEL 211 OF 368, MAP NUMBER 440090211J, MAP REVISED OCTOBER 16, 2013.

LOT COVERAGE DATA:

IN THE HIGH WATER TABLE LIMITATIONS OVERLAY DISTRICT, LOT COVERAGE INCLUDED ALL IMPERVIOUS SURFACES.
EXISTING IMPERVIOUS:
BUILDING: 20,000 sf
PAVEMENT: 38,616 sf
TOTAL IMP.: 58,616 sf
LOT SIZE: 77,626 sf
LOT COVERAGE: 75.5%
LANDSCAPE COVERAGE: 19,010 sf ~ 24.5%

NO.	DATE	REVISION

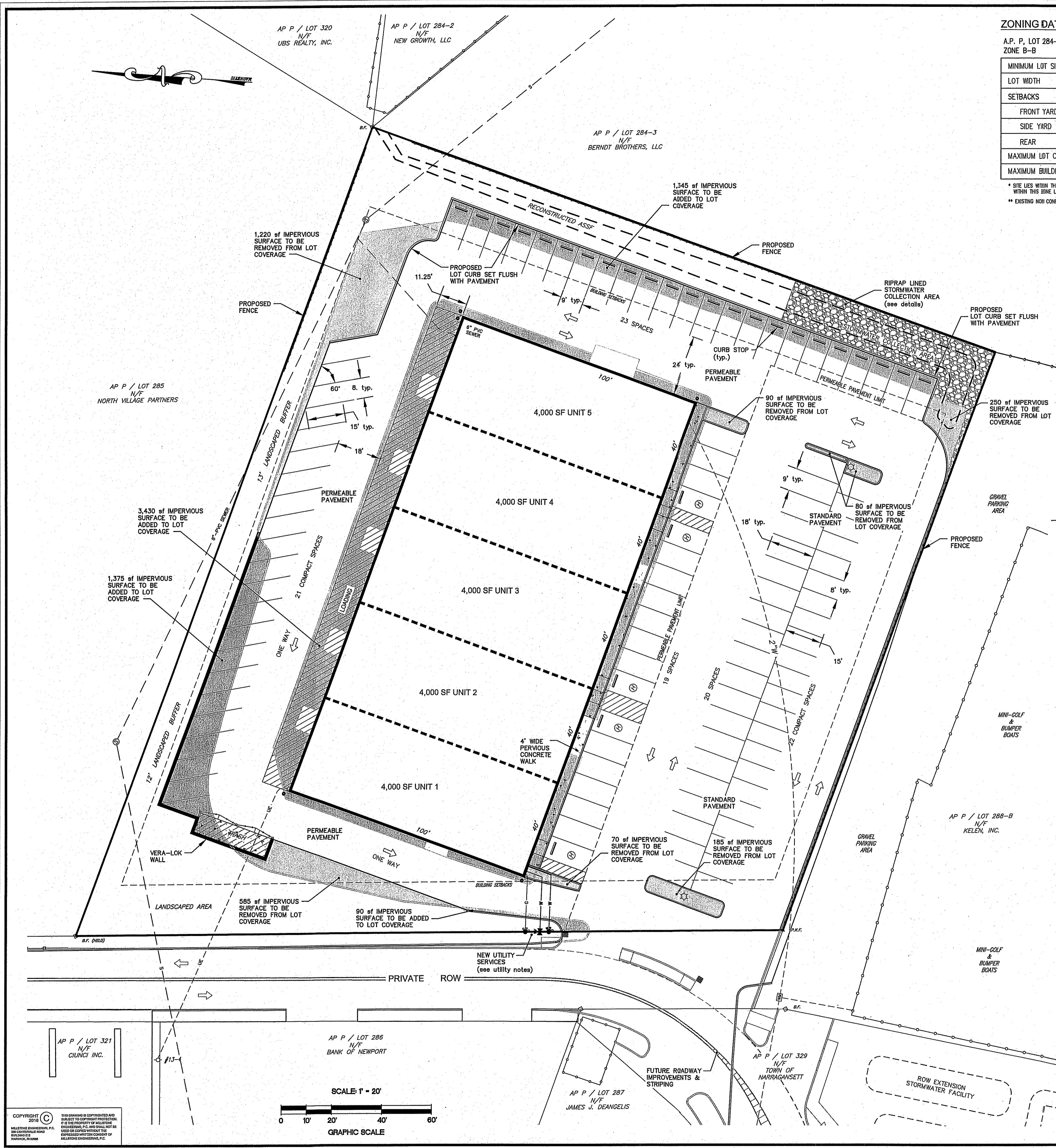
JEFFREY C. HANSON
No. 5238
5/14/16
REGISTERED PROFESSIONAL ENGINEER

ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LAND PLANNING
250 Centerville Road, Building E-12
Warwick, Rhode Island 02886
p. (401) 901-5344 f. (401) 821-3303
www.IllstoneEng.com

EXISTING CONDITIONS PLAN
COMMERCIAL RE-DEVELOPMENT
ASSESSOR'S PLAT P
LOTS 284-A & 284-B
360 SOUTH PIER RD.
NARRAGANSETT, RI
PREPARED FOR:
O.C. REALTY, LLC
SCALE: 1"=20'
MAY 2016

Drawn By: MJV
Checked By: JCH
Sheet
2 of 8
FILE NO.: 14.186.261

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ZONING DATA

A.P. P. LOT 284-A & 284-B (COMBINED DATA)
ZONE B-B

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	20,000 S.F.	77,626 SF	NO CHANGE
LOT WIDTH	100 FT	283 FT	N/C
SETBACKS			
FRONT YARD	20 FT. MIN.	21.6 FT	N/C
SIDE YARD	10 FT. MIN.	59.9 FT	N/C
REAR	30 FT. MIN.	58.4 FT	N/C
MAXIMUM LOT COVERAGE*	50 %	75.5 %**	49.6%
MAXIMUM BUILDING HEIGHT (PRINCIPAL)	35'	19.9'	N/C

* SITE LIES WITHIN THE HIGH WATER TABLE OVERLAY DISTRICT BASED UPON SOILS. WITHIN THIS ZONE LOT COVERAGE IS CALCULATED USING ALL IMPERVIOUS SURFACES INCLUDING THE BUILDING.
** EXISTING NON CONFORMING CONDITION ANY EXPANSION REQUIRES SPECIAL USE PERMIT, SEE CALCULATIONS BELOW

LEGEND:

- SUBJECT LOT LINE
- ABUTTING LOT LINE
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING CURB / EDGE OF PAVEMENT
- - - EXISTING CONTOUR
- EXISTING UTILITY POLE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED EDGE OF PAVEMENT
- PROPOSED WALL
- PROPOSED STORMWATER FACILITY
- PROPOSED RECONSTRUCTED ASSF LIMITS
- Ⓜ PROPOSED HANDICAPPED PARKING SPACE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED GAS LINE
- ⊕ PROPOSED WATER SHUT OFF
- ⊕ PROPOSED WATER VALVE
- ⊕ PROPOSED GAS SHUT OFF
- ⊕ PROPOSED CATCH BASIN
- ⊕ PROPOSED DRAINAGE CLEANOUT
- ⊕ PROPOSED POLE MOUNTED LIGHT

SITE NOTES

- SITE LIES WITHIN B-B ZONE (GENERAL BUSINESS)
SITE LIES WITHIN WETLAND OVERLAY ZONE (ASSF)
SITE LIES WITHIN HIGH WATER-TABLE OVERLAY ZONE (SOILS ~ Rf AND Bc)
- EXISTING ACCESS TO THE SUBJECT PROPERTY AS WELL TO AP. P. LOT 288-B (SOUTH ABUTTER) PROVIDED BY PRIVATE ROW. THIS ACCESS TO THE ABUTTING LOT SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

WATER / SEWER NOTES

- ALL POTABLE WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN COMPLETE CONFORMANCE WITH THE STANDARD REQUIREMENTS FOR THE TOWN OF NARRAGANSETT PUBLIC WORKS DEPARTMENT.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS VALVES, PIPES, PUMPS, VAULTS, HATCHES AND CONTROLS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS AND ELECTRONIC DATA OF WATER SYSTEM IN ACCORDANCE WITH THE TOWN OF NARRAGANSETT PUBLIC WORKS DEPARTMENT.

OWNER:
ANTONIO MOLLO
ONE DAYTONA AVENUE
NARRAGANSETT, RI 02882

APPLICANT:
O.C. REALTY, LLC
C/O JOHN KENYON
133 U.S. Route 1
WAKEFIELD, RI 02879

FLOOD NOTE

THIS SITE LIES ENTIRELY WITHIN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE RATE MAPS (FIRM), WASHINGTON COUNTY, RHODE ISLAND, ALL JURISDICTIONS, PANEL 211 OF 368, MAP NUMBER 4408C02114, MAP REVISED OCTOBER 16, 2013.

PARKING DATA

SEC. 7.9 - Retail and Service
5.5 spaces / 1,000 sf net leasable area
4,000 sf Unit
5% Non-Retail (200 sf ~ storage / office / bathroom)
3,800 sf Net Leasable Retail space per Unit
3,800 / 1,000 x 5.5 = 21 spaces required
21 spaces / unit x 5 units = 105 spaces required
Spaces Provided: 105 spaces
Types of Spaces: 43 compact spaces (8'x15')
62 standard spaces (9'x18')
Handicapped Spaces: 5 required
5 provided

LOT COVERAGE DATA

EXISTING IMPERVIOUS:
BUILDING: 20,000 sf
PAVEMENT: 38,616 sf
TOTAL IMP.: 58,616 sf

PROPOSED CHANGES:

REMOVED	ADDED
70 sf	
80 sf	
185 sf	90 sf
250 sf	1,345 sf
585 sf	1,375 sf
1,220 sf	3,430 sf
2,390 sf	6,240 sf

NET INCREASE: 3,850 sf
PROPOSED IMPERVIOUS: 62,466 sf
LOT SIZE: 77,626 sf
PROPOSED LOT COVERAGE: 80.5%
LANDSCAPE COVERAGE: 15,160 sf ~ 19.5%

PERMEABLE PAVEMENT:

23,810 sf PROPOSED
TOTAL IMPERVIOUS: 62,466 - 23,810 = 38,656
TOTAL LOT COVERAGE: 38,656 / 77,626
PROPOSED LOT COVERAGE = 49.8%

GENERAL UTILITY NOTES

- A FUTURE PRIVATE ROW ROADWAY EXTENSION EASEMENT HAS BEEN APPROVED BY NARRAGANSETT TOWN COUNCIL ACROSS AP. P. LOT 329, AND IS CURRENTLY UNDER TECHNICAL REVIEW BY TOWN ENGINEER AND RIDOT.
- NEW UTILITY CONNECTIONS ARE TO BE INSTALLED IN PREPARATION FOR FUTURE PRIVATE ROADWAY EXPANSION THE INS.
- AC CONDENSERS AT REAR OF BUILDING SHALL BE RELOCATED TO THE ROOFTOP.
- ALL PROPOSED LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD, AWAY FROM ABUTTING PROPERTIES.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 10 2016 FILE # 16-013/
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NO.	DATE	REVISION
1	6.7.16	ADD LIGHTING
2	7.12.16	ADD COMMENTS

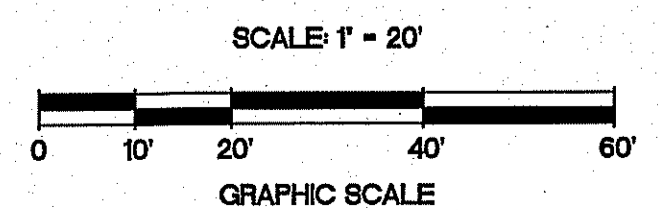
JEFFREY C. HANSON
No. 5238
7/12/16
REGISTERED PROFESSIONAL ENGINEER

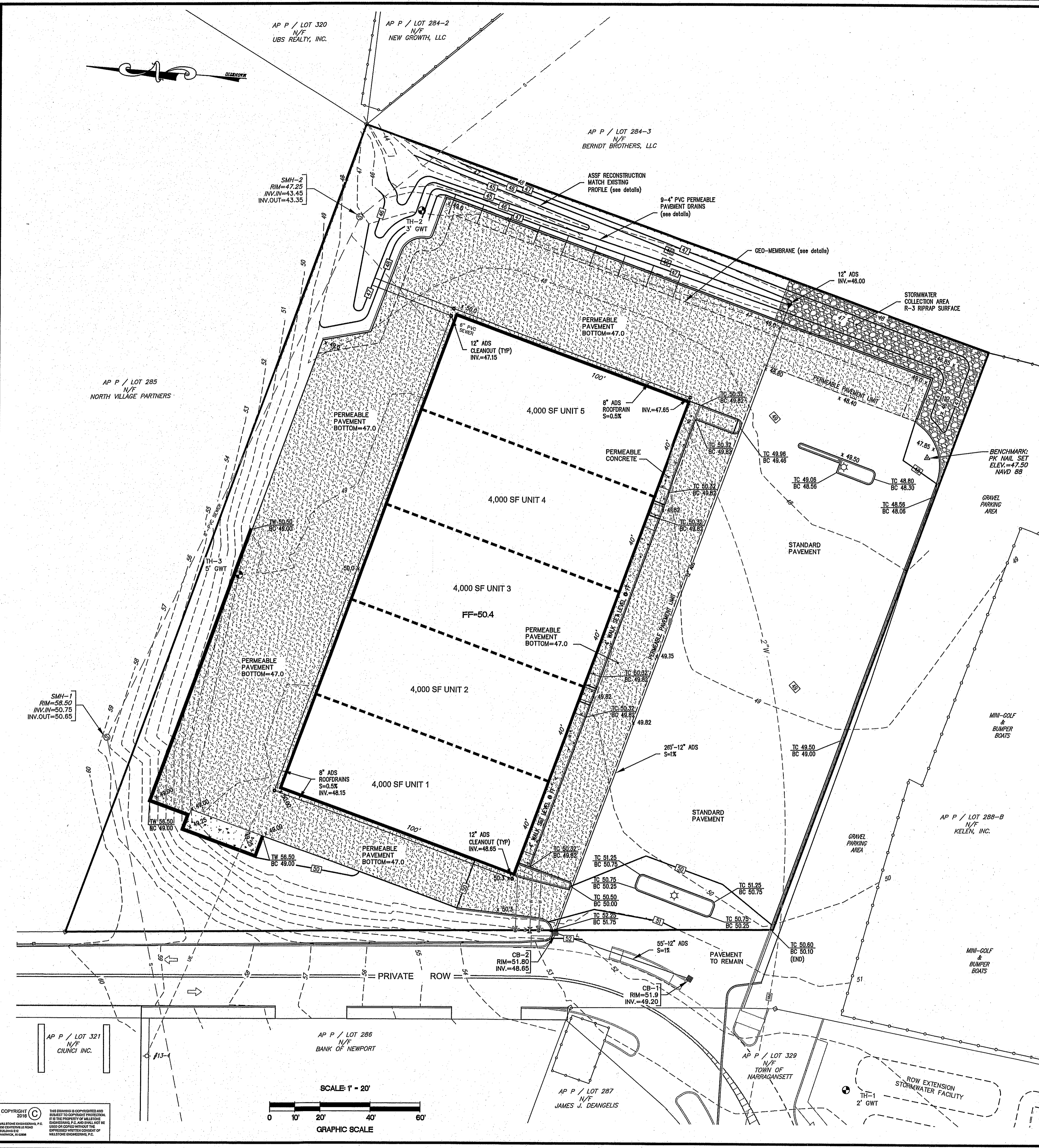
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SITE LAYOUT & UTILITY PLAN
COMMERCIAL RE-DEVELOPMENT
ASSESSOR'S PLAT P
LOTS 284-A & 284-B
360 SOUTH PIER RD.
NARRAGANSETT, RI
PREPARED FOR:
O.C. REALTY, LLC
SCALE: 1"=20'
MAY 2016

Drawn By: MJV
Checked By: JCH
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FILE NO.: 14.186.261

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STORMWATER DATA:
PEAK FLOW RATE CALCULATIONS

EXISTING CONDITIONS:

EXISTING LOT AREA:	77,626 sf
EXISTING IMPERVIOUS SURFACE:	58,616 sf 75.5%
EXISTING LANDSCAPED (LA) SURFACE:	19,010 sf 24.5%
EXISTING SOIL DATA: ~ HYDROLOGIC SOIL GROUP (HSG)	
RIDGEBURY & BIRCHWOOD ~ SAND LOAMS:	
HSG C SOIL:	19,010 SF 24.5% (LA)
IMPERVIOUS SURFACE DO NOT CHANGE WITH SOIL GROUP	
RUNOFF CURVE NUMBER:	
IMPERVIOUS SURFACE ~ A,B,C,D SOIL	98
LANDSCAPED SURFACE ~ C SOIL	74
IMPERVIOUS SURFACES:	75.5% x 98 = 74.0
LANDSCAPED SURFACES:	24.5% x 74 = 18.1
RUNOFF CURVE NUMBER:	92

PROPOSED CONDITIONS:

PROPOSED LOT AREA: (NO CHANGE)	77,626 sf
PROPOSED IMPERVIOUS SURFACE:	62,466 sf 80.5%
PROPOSED LANDSCAPED SURFACE:	15,160 sf 19.5%
PROPOSED SOIL DATA:	
RIDGEBURY & BIRCHWOOD ~ SAND LOAMS:	
HSG C SOIL:	15,160 sf 19.5% (LA)
IMPERVIOUS SURFACE DO NOT CHANGE WITH SOIL GROUP	
TO MEET THE ZONING LOT COVERAGE REQUIREMENT OF 50% ~ 23,810 sf OF PERMEABLE PAVEMENT HAS BEEN PROPOSED LEAVING IMPERVIOUS SURFACE:	
	38,656 sf 49.8%
PERMEABLE PAVEMENT RECEIVING SOILS:	
HSG C SOIL (DIRT)*:	23,810 sf 30.7%
RUNOFF CURVE NUMBER:	
IMPERVIOUS SURFACE ~ C SOIL	98
LANDSCAPED SURFACE ~ C SOIL	74
PERMEABLE RECEIVING SOIL ~ C SOIL	74
LANDSCAPED SURFACE:	19.5% x 74 = 14.4
IMPERVIOUS SURFACES:	49.8% x 98 = 48.8
PERMEABLE RECEIVING SOIL:	30.7% x 74 = 22.7
RUNOFF CURVE NUMBER:	86

PEAK FLOW RATE CONCLUSION:

SINCE THE RUNOFF CURVE NUMBER IN THE PROPOSED STATE HAS BEEN REDUCED BY THE INTRODUCTION OF PERMEABLE PAVEMENT, THE INHERENT RESULT IS THAT THE PEAK FLOW RATE AND TOTAL VOLUME OF RUNOFF GENERATED AND THUS DISCHARGED FROM THE SITE HAS BEEN REDUCED MEETING THE STORM-WATER REQUIREMENT OF THE TOWN OF NARRAGANSETT ZONING SECTION 7.7 ENTITLED: "SUPPLEMENTARY DRAINAGE REQUIREMENTS".

WATER QUALITY CALCULATIONS:

DUE TO THE FACT THAT THE EXISTING SITE IS 75.5% IMPERVIOUS UNDER CURRENT CONDITIONS, THIS SITE FALLS UNDER THE "REDEVELOPMENT" CRITERIA OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (RISDSM) WHICH GOVERNS THE STORMWATER COLLECTION, TREATMENT AND MITIGATION STANDARDS OF THE STATE. DUE TO THE REDEVELOPMENT AND THE PROPOSED ALTERATIONS DISTURB MORE THAN 10,000 SF OF EXISTING PAVEMENT, COMPLIANCE IS REQUIRED. AS A REDEVELOPMENT SITE, THE REQUIRED DESIGN STANDARDS ARE REDUCED. ONLY CERTAIN CRITERIA ARE REQUIRED AND THEY ARE AS FOLLOWS:

STANDARD 2:	RECHARGE (OF AT LEAST 50% OF THE REQUIRED VOLUME OF THE REDEVELOPMENT AREA)	~ PROVIDED SEE CALCULATIONS
STANDARD 3:	WATER QUALITY TREATMENT (OF AT LEAST 50% OF THE REDEVELOPMENT AREA)	~ PROVIDED SEE CALCULATIONS
STANDARD 7:	POLLUTION PREVENTION	~ PROVIDED SEE NOTES
STANDARD 8:	LAND USES WITH HIGHER POLLUTANT DISCHARGES ~ N/A	~ N/A
STANDARD 9:	ILLCIT DISCHARGES ~ N/A	~ N/A
STANDARD 10:	CONSTRUCTION SOIL EROSION AND SEDIMENTATION CONTROL	~ PROVIDED SEE NOTES AND DETAILS
STANDARD 11:	STORM-WATER MANAGEMENT SYSTEM OPERATION AND MAINTENANCE	~ PROVIDED SEE NOTES

REQUIRED WATER QUALITY VOLUME TO BE TREATED = 50% OF THE REDEVELOPMENT AREA = 49.8% IMP x 77,626 sf = 38,656 sf x 0.5 = 19,328 sf x 1.611 = 31,141.1611 cf FOR RECHARGE AND WATER QUALITY TREATMENT PERMEABLE PAVEMENT HAS BEEN PROPOSED. THE 23,810 sf OF PERMEABLE PAVEMENT REQUIRES A RESERVOIR COURSE OF: 1,611 cf of WQV = L x W x D x .33 VOIDS SPACE ~ 1,611 = 23,810 x D x .33 ~ D = 2.5' min.

THE RESERVOIR COURSE SHALL BE A MINIMUM OF 2.5' THICK ~ 3" HAS BEEN PROPOSED + 4" DRAIN + 2" COVER ~ TOTAL 9" RESERVOIR COURSE.

LEGEND:

---	SUBJECT LOT LINE
---	ABUTTING LOT LINE
---	EXISTING FENCE
---	EXISTING BUILDING
---	EXISTING CURB / EDGE OF PAVEMENT
---	EXISTING CONTOUR
---	EXISTING UTILITY POLE
---	EXISTING SEWER MANHOLE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC
---	PROPOSED CURB / EDGE OF PAVEMENT
---	PROPOSED WALL
---	PROPOSED STORMWATER FACILITY
---	PROPOSED RECONSTRUCTED ASSF LIMITS
---	PROPOSED HANDICAPPED PARKING SPACE
---	PROPOSED WATER LINE
---	PROPOSED SEWER LINE
---	PROPOSED GAS LINE
---	PROPOSED DRAIN LINE
---	PROPOSED CONTOUR
---	PROPOSED WATER SHUT OFF
---	PROPOSED WATER VALVE
---	PROPOSED GAS SHUT OFF
---	PROPOSED CATCH BASIN
---	PROPOSED DRAINAGE CLEANOUT

PERMEABLE PAVEMENT NOTES:

THE PERMEABLE PAVEMENT PROPOSED HAS BEEN OFFERED IN ORDER TO PROVIDE COMPLIANCE WITH THE HIGH WATER TABLE LIMITATIONS OVERLAY DISTRICT ALTHOUGH REDUCING LOT COVERAGE IS NOT REQUIRED, NO EXPANSION IS ALLOWED BUT REDUCTION HAS BEEN OFFERED AS AN ACT OF GOOD PLANNING. THE DISTRICT RESTRICTS THE IMPERVIOUS LOT COVERAGE (BUILDINGS AND PAVED AREAS) FOR NEW DEVELOPMENT TO A MAXIMUM OF 50% THE APPLICANT HAS PROPOSED THE INSTALLATION OF OVER 23,800 sf OF PERMEABLE PAVEMENT TO IMPROVE THE SITE AND REDUCE ITS IMPERVIOUS LOT COVERAGE TO 49.8% MEETING THE REQUIREMENT FOR NEW DEVELOPMENT.

THE PERMEABLE PAVEMENT PROPOSED PROVIDES FOR WATER QUALITY TREATMENT AND ADDITIONAL INFILTRATION OF STORM-WATER IN ACCORDANCE WITH THE 2010 RHODE ISLAND DESIGN AND INSTALLATION STANDARDS MANUAL (RISDSM).

THE PERMEABLE PAVEMENT WILL ASSIST IMPROVING THE SITE'S DISCHARGE AS MORE INFILTRATION WILL OCCUR THAN CURRENTLY DOES, AND BY STORING TEMPORARILY PEAK FLOWS WITHIN THE RESERVOIR STONE BELOW THE PAVEMENT. THE SYSTEM WILL DISCHARGING RUNOFF INTO THE ASSF LOCATED ALONG THE EASTERN PROPERTY LINE VIA SEVERAL 4" DRAINS. ALTHOUGH THE STORM-WATER IS PERMITTED TO DISCHARGE, WATER QUALITY VOLUMES WILL INFILTRATE WITHIN THE PERMEABLE PAVEMENT AREA.

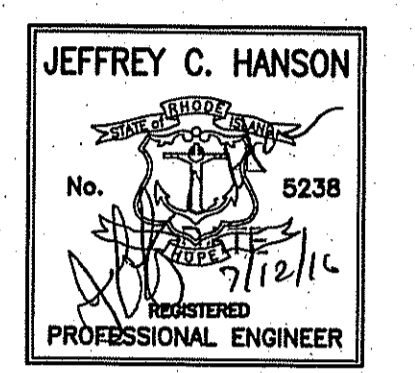
THE ENTIRE ROOFTOP MUST BE CAPTURED, DIRECTED VIA 8" PVC ROOF DRAINS AND DISCHARGED INTO THE GRADES SWALE AREA IN THE NORTHEAST CORNER OF THE SITE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 10 2016 FILE # 16-0131
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OWNER: ANTONIO MOLLO
ONE DAYTONA AVENUE
NARRAGANSETT, RI 02882

APPLICANT: O.C. REALTY, LLC
C/O JOHN KENYON
133 U.S. Route 1
WAKEFIELD, RI 02879

NO.	DATE	REVISION
2	7.12.16	REVISION COMMENTS



ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LAND PLANNING

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SITE GRADING and DRAINAGE PLAN

COMMERCIAL RE-DEVELOPMENT

ASSESSOR'S PLAT P
LOTS 284-A & 284-B
360 SOUTH PIER RD.
NARRAGANSETT, RI

PREPARED FOR:
O.C. REALTY, LLC

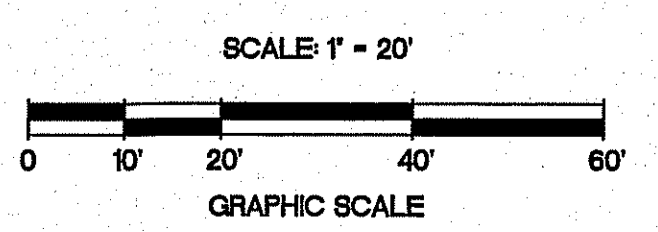
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MAY 2016

Drawn By: MJV
Checked By: JCH
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of 8

FILE NO.: 14.186.261

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GENERAL NOTES:

- THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION. IN ADDITION, THE TOWN OF NARRAGANSETT STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-888-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, FEDERAL GOVERNMENT AND TOWN OF NARRAGANSETT PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS, WETLAND, OR ADJACENT TO DRAINAGE STRUCTURES.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETE SET OF AS-BUILT DRAWINGS OF ALL INFRASTRUCTURE. AS-BUILT DRAWINGS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL LAND SURVEYOR.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES 2012 INCLUDING ALL REVISIONS.

EROSION CONTROL and SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
 - ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
 - TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
 - HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
 - ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
 - THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
 - THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
 - THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:
- | TYPE | % BY WEIGHT |
|---------------------|-------------|
| CREeping RED FESCUE | 70 |
| ASTORIA BENTGRASS | 5 |
| BIRDFOOT TREFOIL | 15 |
| PERENNIAL RYEGRASS | 10 |
- APPLICATION RATE 100 LBS/ACRE
- LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
 - THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
 - STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
 - STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCIRCLED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILFENCE. (SEE DETAIL)
 - ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER 5% SHALL BE SEED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL HAYBALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

BMP CONSTRUCTION SEQUENCES:

- GENERAL:**
GREAT CARE SHALL BE GIVEN TO THE AREAS WHERE STRUCTURES WHICH EMPLOY INFILTRATION AS A MECHANISM FOR STORMWATER TREATMENT AND/OR DISPOSAL ARE PROPOSED PRIOR TO THEIR CONSTRUCTION. NO INFILTRATION STRUCTURE SHALL BE CONSTRUCTED NOR ACCEPTED RUN OFF UNTIL ALL UP-SLOPE AREAS OF THE WATERSHED HAVE BEEN BUILT AND FULLY STABILIZED SO AS TO HAVE NO POTENTIAL FOR SEDIMENT OR SILT DEPOSITION. ALSO, ONCE THE ENTIRE SITE IS STABILIZED ALL SSSC MEASURES SHALL BE REMOVED.
- | TYPE | % BY WEIGHT |
|---------------------|-------------|
| CREeping RED FESCUE | 70 |
| KENTUCKY BLUEGRASS | 15 |
| TALL FESCUE | 15 |
- APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

POLLUTION PREVENTION PLAN:

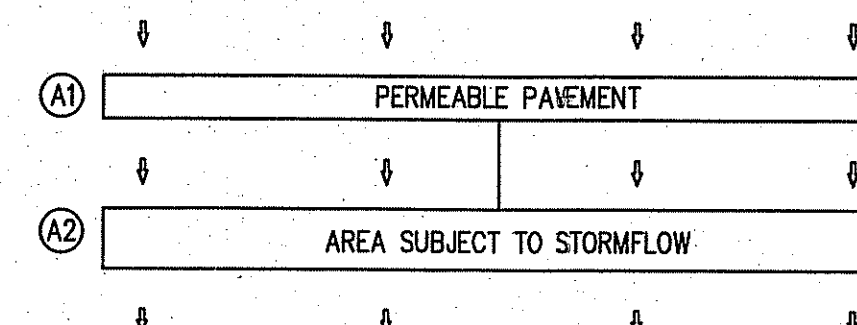
- GENERAL:**
LONG-TERM MANAGEMENT OF THE POLLUTION PREVENTION PLAN SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
- APPLICANT: O.C. REALTY, LLC
C/O JOHN KENYON, ESQ.
133 OLD TOWER HILL RD (RT. 1)
WAKEFIELD, RI
- THE CONTRACTOR SHALL MANAGE THE POLLUTION PREVENTION PLAN DURING THE CONSTRUCTION PROCESS.
- CONTRACTOR: TBD
- SOLID WASTE CONTAINMENT:**
- TRASH RACKS WHERE PRACTICAL SHALL BE INSTALLED AND MAINTAINED ON ALL INLET STRUCTURES WITHIN THE DRAINAGE SYSTEM. INSPECTIONS FOR TRASH SHOULD BE REMOVED ON A WEEKLY BASIS.
 - TRASH RECEPTACLES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT.
 - STREET SWEEPING SHALL BE PERFORMED ON AN ANNUAL BASIS.
 - PET WASTE DISPOSAL STATIONS SHALL BE PROVIDED WHERE APPLICABLE.

- SNOW DISPOSAL AND DEPOS:**
- SAND AND DEICING MATERIALS SHALL BE STORED UNDER COVER ON OR OFF SITE TO PREVENT EXPOSURE TO STORMWATER.
 - SNOW REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH RIDGEM'S SNOW DISPOSAL POLICY.
- DRIVEWAY AND PARKING LOT SEALANTS:**
- ONLY ASPHALT BASED SEALANTS ARE ALLOWED FOR USE WITH THE STANDARD PAVEMENT, NO COAL-TAR BASED SEALANTS SHALL BE USED ON THIS SITE.
- HAZARDOUS MATERIALS CONTAINMENT:**
- NO HAZARDOUS MATERIALS SHALL BE STORED OUTSIDE TO AVOID EXPOSURE TO STORMWATER.
- LANDSCAPE MANAGEMENT:**
- GRASS CLIPPINGS FROM LAWN CARE PROCEDURES MAY NOT BE STOCKPILED ON SITE, THEY MUST BE EITHER SCATTERED WHILE MOWING OR COLLECTED AND DISPOSED OF OFF SITE.
 - GENERAL LAWN HEIGHTS (EXCLUDING STORMWATER BASINS) ON SITE SHALL BE KEPT AT A 3-4" HEIGHT.
 - FERTILIZER AND WATERING DEMANDS SHOULD BE HAVE PROFESSIONAL OVERSIGHT AND BOTH USES MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL.

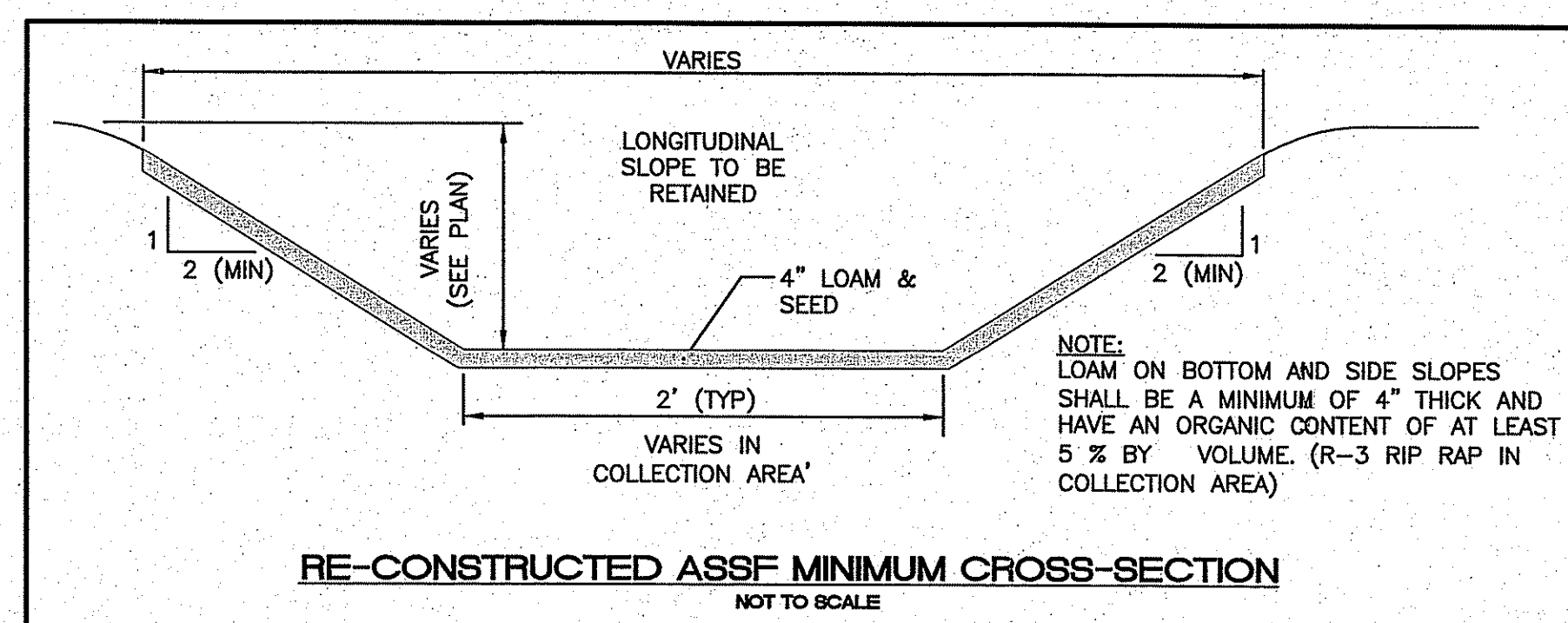
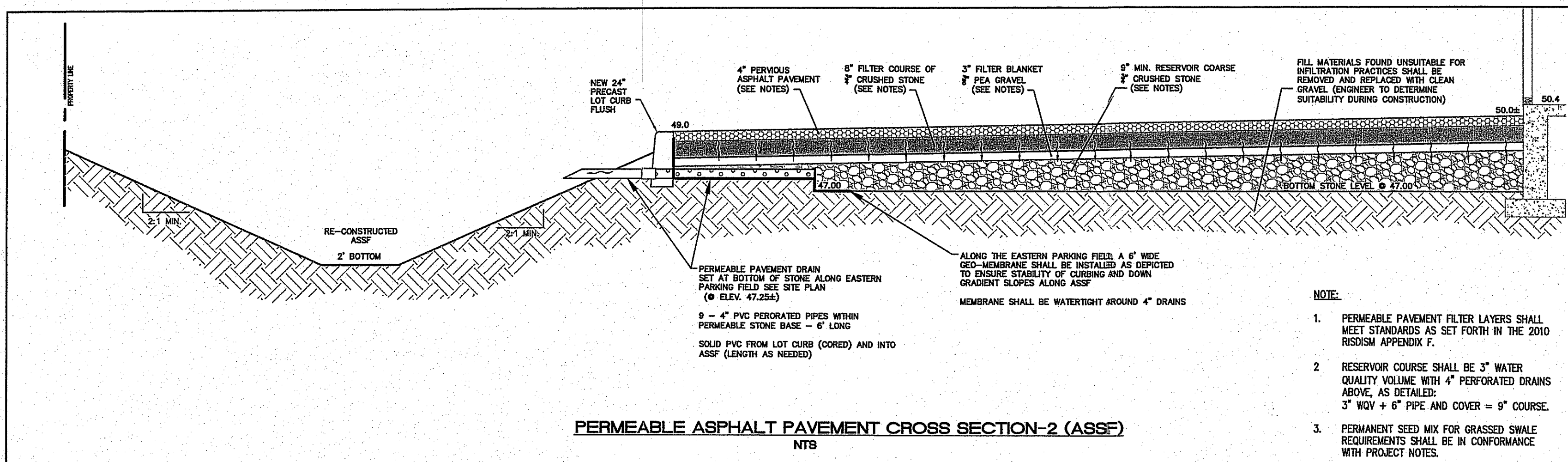
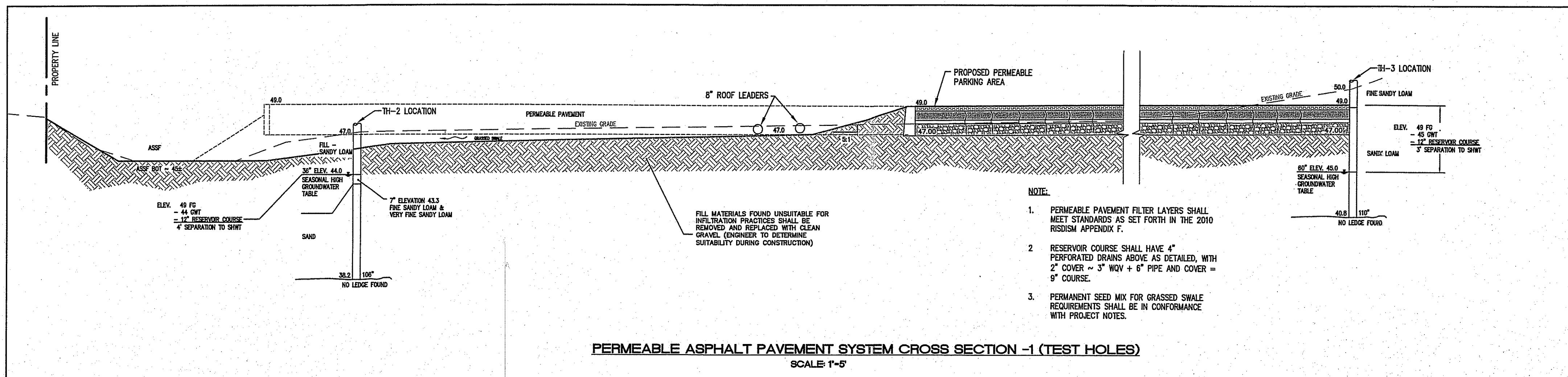
STORMWATER MANAGEMENT SYSTEM LONG TERM O/M

- GENERAL:**
LONG-TERM MAINTENANCE OF THE DRAINAGE SYSTEM SHALL BE COMPLETED BY THE OWNER UNDER A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT (SEE FINAL RIDGEM SWPPP FOR OFFICIAL DOCUMENT).
- APPLICANT: O.C. REALTY, LLC
C/O JOHN KENYON, ESQ.
133 OLD TOWER HILL RD (RT. 1)
WAKEFIELD, RI
- THE CONTRACTOR SHALL MAINTAIN ALL DRAINAGE COMPONENTS DURING AND DIRECTLY AFTER CONSTRUCTION. ALL OPERATIONAL MAINTENANCE REQUIREMENTS WILL BE RECORDED ON THE TITLE.
- CONTRACTOR: TBD
- THE ENTIRE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED ANNUALLY AT A MINIMUM FOR GENERAL PROBLEMS AND TO ENSURE PROPER FUNCTIONS.
- STORMWATER MANAGEMENT SYSTEM:

SYSTEM A DIAGRAM



- A-SYSTEM: STORMWATER CONTROL SYSTEM**
- A1: PERMEABLE PAVEMENT (NO PRE-TREATMENT REQUIRED)
A2: AREA SUBJECT TO STORM FLOW (DISCHARGE)
- A1: PERMEABLE PAVEMENT**
- EXISTING PAVEMENT AND GRAVEL BASE COURSE SHALL BE REMOVED AS REQUIRED TO THE LINES AND GRADES OF THE SITE PLANS.
 - THE AREA OF THE PERMEABLE PAVEMENT SHALL BE PROTECTED FROM SEDIMENTS WHILE EXPOSED TO THE ELEMENTS.
 - 12" OF CRUSHED & WASHED 3/4" STONE SHALL BE INSTALLED AND COMPACTED AS REQUIRED.
 - 23,810 SF OF PERMEABLE PAVEMENT SHALL BE INSTALLED.
 - INSPECTIONS SHALL OCCUR ANNUALLY OR AS NEEDED.
 - NO SANDING OR SALTING PERMITTED IN THE AREA OF PERMEABLE PAVEMENT.
- A2: AREA SUBJECT TO STORM FLOW (SEE ABOVE)**
- THE EXISTING ASSF SHALL BE CLEARED AND RECONSTRUCTED TO THE LINES AND GRADES OF THE SITE PLAN.
 - RIPRAP SHALL BE INSTALLED TO THE LINES AND GRADES OF THE SITE PLAN.
 - THE GRASSED AND SURROUNDING AREA OF THE ASSF SHALL BE MOWED TWO (2) TIMES PER YEAR TO MAINTAIN A GRASS HEIGHT OF 4-6 INCHES BUT MOWING SHALL OCCUR IMMEDIATELY UPON GRASS HEIGHTS EXCEED 10 INCHES.
 - EVERY FIVE (5) YEARS OR WHENEVER SEDIMENTS REACH 3" IN DEPTH THEY SHALL BE REMOVED FROM THE CHANNEL BOTTOM, IT SHALL BE SCRAPED TO RESTORE ORIGINAL CROSS SECTION AND THEN RE-SEED.
 - BIO-RETENTION SOIL SHALL CONSIST OF USDA LOAMY SAND OR SANDY LOAM CLASSIFICATION MEETING THE FOLLOWING GRADUATION: SAND - 63 TO 67%, SILT - 10 TO 12%, CLAY 0 TO 2% AND ORGANIC MATTER (LEAF COMPOST) 23 TO 25%.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 10 2016 FILE # 16-0131
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NO.	DATE	REVISION
2	7.12.16	ADD COMMENTS

JEFFREY C. HANSON
No. 5238
REGISTERED PROFESSIONAL ENGINEER

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NOTES and DETAILS

COMMERCIAL RE-DEVELOPMENT

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360 SOUTH PIER RD.
NARRAGANSETT, RI

PREPARED FOR:
O.C. REALTY, LLC

SCALE: AS NOTED
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