

RHODE ISLAND BUILDING CODES

- SBC-1 RHODE ISLAND STATE BUILDING CODE
INCORPORATES THE INTERNATIONAL BUILDING CODE, 2012 EDITION, BY REFERENCE
- SBC-2 RHODE ISLAND STATE ONE AND TWO FAMILY DWELLING CODE
INCORPORATES THE INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION, BY REFERENCE
- SBC-3 RHODE ISLAND STATE PLUMBING CODE
INCORPORATES THE INTERNATIONAL PLUMBING CODE, 2012 EDITION, BY REFERENCE
- SBC-4 RHODE ISLAND STATE MECHANICAL CODE
INCORPORATES THE INTERNATIONAL MECHANICAL CODE, 2012 EDITION, BY REFERENCE
- SBC-5 RHODE ISLAND STATE ELECTRICAL CODE
INCORPORATES THE NATIONAL ELECTRICAL CODE, 2014 EDITION, BY REFERENCE
- SBC-6 STATE PROPERTY MAINTENANCE CODE
INCORPORATES THE INTERNATIONAL PROPERTY MAINTENANCE CODE, 2012 EDITION, BY REFERENCE
- SBC-8 RHODE ISLAND STATE ENERGY CONSERVATION CODE
INCORPORATES THE INTERNATIONAL ENERGY CONSERVATION CODE, 2012 EDITION, BY REFERENCE
- SBC-9 ENFORCEMENT AND IMPLEMENTATION PROCEDURE FOR PROJECTS UNDER JURISDICTION OF STATE OF R.I.
- SBC-10 BUILDING CODE INTERPRETATIONS
- SBC-11 CERTIFICATION AND CONTINUING EDUCATION CODE
- SBC-12 NEW MATERIALS, DEVICES OR METHODS OF CONSTRUCTION CODE
- SBC-13 STANDARDS FOR EXISTING SCHOOLS CODE
- SBC-17 RHODE ISLAND PUBLIC MEETINGS ACCESSIBILITY STANDARD CODE
INCORPORATES THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS, AS PUBLISHED IN THE FEDERAL REGISTER, BY REFERENCE.
- SBC-18 RHODE ISLAND USE OF NATIVE LUMBER CODE SBC-19 RHODE ISLAND STATE FUEL GAS CODE
INCORPORATES THE INTERNATIONAL FUEL GAS CODE, 2012 EDITION, BY REFERENCE
- SRC-1 RHODE ISLAND STATE REHABILITATION BUILDING AND FIRE CODE FOR EXISTING BUILDINGS AND STRUCTURES

GENERAL NOTES

1. ALL WORK OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS (HEREIN REFERRED COLLECTIVELY AS THE CONTRACTOR) SHALL CONFORM TO THE PROVISIONS OF THE FEDERAL, STATE, CITY, AND COUNTY BUILDING LAWS, ORDINANCES, RULES AND REGULATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES AND GIVE ALL NECESSARY NOTICES.
3. THE CONTRACTOR SHALL MAINTAIN ADEQUATE PROTECTION OF ALL HIS WORK FROM DAMAGE, AND SHALL PROTECT THE OWNER'S PROPERTY, ADJACENT PROPERTY, AND PUBLIC PROPERTY FROM DAMAGE AND INJURY ARISING IN CONNECTION WITH THIS CONTRACT, AND SHALL MAKE GOOD ANY SUCH DAMAGE OR INJURY AT NO COST TO THE OWNER.
4. THE CONTRACTOR SHALL WARRANT AND GUARANTEE ALL MATERIALS AND WORKMANSHIP, FOR ALL PORTIONS OF THE WORK, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION AND ACCEPTANCE BY THE OWNER, AND SHALL REPAIR OR REPLACE ALL WORK THAT BECOMES DEFECTIVE, AT NO ADDITIONAL EXPENSE.
5. NO DEVIATIONS FROM THESE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT
6. THESE GENERAL NOTES ARE NOT INTENDED TO REPLACE SPECIFICATIONS - REFER TO SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
8. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK.
9. ALL PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED TO ACHIEVE THE RESPECTIVE FIRE-RESISTIVE RATING AND SMOKE STOPPAGE AS REQUIRED BY LOCAL BUILDING CODES. BOUNDARY WALLS, FLOOR AND CEILING OF GASEOUS SUPPRESSION SYSTEM (I.E. FM-200) PROTECTED MAIN EQUIPMENT ROOM ARE TO BE SEALED WITH FIRE SEALING MATERIALS WHETHER RATED OR NOT (EQUIPMENT/BATTERY ROOM).
10. VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS WITH FABRICATION AND FIELD CONDITIONS AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK
11. ACCESSIBLE BUILDING ELEMENTS SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITY ACT OF 1990. STATE AND CITY CODES OR STANDARDS SHALL APPLY WHEN SPECIFYING A MORE RESTRICTIVE REQUIREMENT.
12. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS.
13. DO NOT SCALE DIMENSIONS FROM DRAWINGS - THE CONTRACTOR SHALL REQUEST NECESSARY DIMENSIONS NOT SHOWN ON THE DRAWINGS FROM THE ARCHITECT
14. DRAWING NOTES AND SPECIFICATIONS ARE INSTRUCTIONS TO THE CONTRACTOR AND APPLY TO ALL THE WORK UNLESS MORE SPECIFIC INFORMATION IS SHOWN ELSEWHERE ON THE DRAWINGS OR WRITTEN IN THE SPECIFICATIONS - IN THE EVENT OF CONFLICTING INSTRUCTIONS, THE ARCHITECT SHALL DETERMINE WHAT CONTROLS
15. THE DESIGN ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORT, ETC., ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
16. PRINCIPAL OPENINGS IN THE STRUCTURE ARE SHOWN ON THESE DRAWINGS - THE GENERAL CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR REQUIRED OPENINGS GENERAL CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL OPENINGS WITH ALL SUB-CONTRACTORS PRIOR TO CONSTRUCTION
17. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, CLEARANCES AND FIELD CONDITIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING THE WORK OF THE SUB-CONTRACTORS - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE BUILDING OWNER, TENANT OR HIS REPRESENTATIVES THE DELIVERY AND INSTALLATION OF ITEMS BEING PROVIDED AND INSTALLED BY OTHERS
19. EQUAL EMPLOYMENT OPPORTUNITY POLICY: CONTRACTOR SHALL COMPLY WITH ALL CURRENT FEDERAL, STATE, AND LOCAL LAWS GOVERNING EQUAL EMPLOYMENT OPPORTUNITY.
20. MECHANICAL, PLUMBING AND ELECTRICAL WORK RELATED TO DEMOLITION AND NEW INSTALLATION OF COMPONENTS SHALL COMPLY WITH ALL APPLICABLE CODES
21. ALL MATERIALS, FABRICATION AND INSTALLATION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS FOR EACH DIVISION OF WORK
22. CONSTRUCTION MUST COMPLY WITH APPLICABLE CODES AND ORDINANCES, LAWS AND SAFETY ORDERS AS DIRECTED BY LOCAL JURISDICTION



COMMUNICATIONS

**MTC FACILITY - ADDITION
1081 DOUGLAS AVENUE
PROVIDENCE, RI 02904**

GENERAL NOTES

23. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND GRADE CONDITIONS, (BOTH NEW AND EXISTING) REPORTING ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH ANY PHASE OF THE WORK
24. CONTRACTOR SHALL CLEAN, PATCH AND REPAIR ALL SURFACES DAMAGED BY DEMOLITION, ALTERATION OR INSTALLATION OF THE WORK
25. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION - ALL DISCREPANCIES SHALL BE NOTED AND SENT TO THE ARCHITECT WITH ADEQUATE TIME TO REVIEW PRIOR TO STARTING THAT PORTION OF THE WORK IN ORDER TO AVOID PROJECT DELAYS
26. CONTRACTOR TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH LOCAL JURISDICTION AND NFPA 10. MAXIMUM TRAVEL DISTANCE TO NEAREST FIRE EXTINGUISHER FROM ANY POINT IN THE BUILDING SHALL NOT EXCEED 50 FEET. EXISTING FIRE EXTINGUISHERS SHALL BE TESTED AND RE-USED IF FULLY OPERATIONAL. FIRE EXTINGUISHERS SHALL BE SIZED FOR NO LESS THAN ORDINARY HAZARD.
27. ALL REQUESTS FROM INFORMATION PROMPTED BY THE BUILDING OFFICIALS SHALL INCLUDE A COPY OF THE BUILDING OFFICIALS COMMENTS AND THE BUILDING INSPECTORS FIELD REPORT TO ENSURE AN ACCURATE AND TIMELY RESPONSE

PROJECT TEAM

OWNER:

COX COMMUNICATIONS
1400 LAKE HEARN DRIVE NE
ATLANTA, GA 30319-1464
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CIVIL:

MICHAEL BAKER INTERNATIONAL
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ROCKY HILL, CT 06067
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PH: (860) 257-2423
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100 CORPORATE PLACE, SUITE 105
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CONTACT: GARY FUERSTENBERG
PH: (860) 290 3139

SURVEY:

HALNON LAND SURVEYING, INC
34 CROSS STREET
NORTON, MA 02766
CONTACT: JOHN HALNON
PH: (508) 285-3141

MECHANICAL & ELECTRICAL:

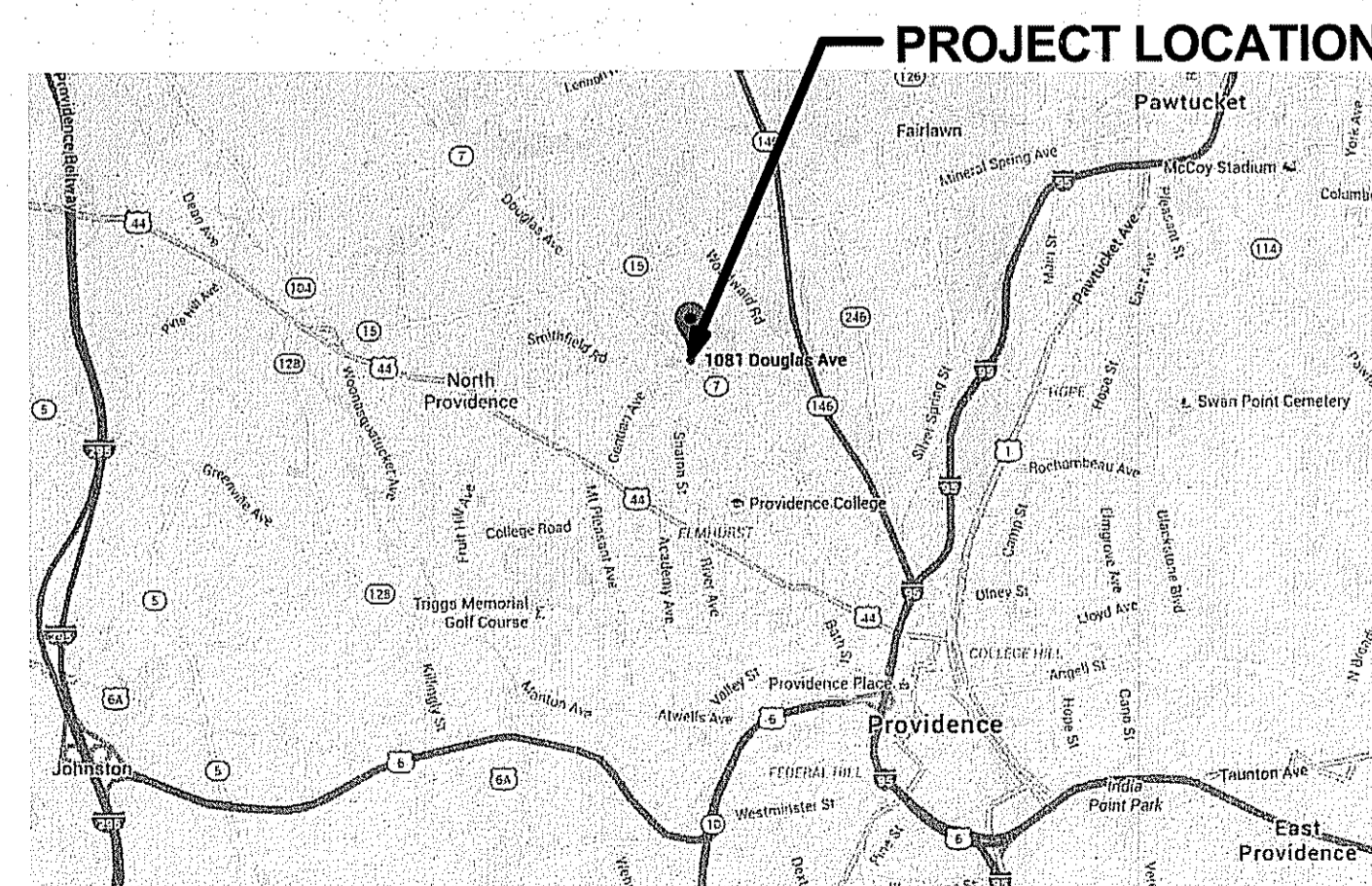
ENG GROUP INC.
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CONTACT: DAVID ESTRELLA,
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STEVE YOUNIS
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VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
GENERAL	
G0.0	COVER SHEET & GENERAL NOTES
CIVIL	
C1.0	CIVIL GENERAL NOTES
C2.0	CIVIL DEMOLITION PLAN
C3.0	EROSION & SEDIMENTATION CONTROL PLAN
C4.0	CIVIL SITE PLAN
C5.0	CIVIL GRADING PLAN
C6.0	CIVIL UTILITY PLAN
C6.1	CIVIL DETAIL SHEET
C7.1	CIVIL DETAIL SHEET
LANDSCAPING	
L1.0	LANDSCAPE PLAN

ARCHITECT

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1081 DOUGLAS AVENUE
PROVIDENCE, RI 02904



PROFESSIONAL SEAL

REVISIONS		
NO.	DESCRIPTION	DATE
1	RIDEM COMMENTS	08/09/2016

**INLAND WETLANDS
PERMIT SUBMITTAL**

05/08/2016

**COVER SHEET & GENERAL
NOTES**

SEP 12 2016

G0.0

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 13 2016 FILE # 16-0153
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST ISSUE. ALL LOCAL CITY CODES AND ORDINANCES ARE APPLICABLE.
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND FOR RECORD PURPOSES. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE ACTUAL LOCATION OF ALL UTILITIES AND FOR UTILITY COORDINATION. AS SUCH, THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 OR 1-800-227-2600 FOR THE MARK OUT OF EXISTING UTILITIES AT LEAST THREE (3) FULL BUSINESS DAYS (72 HOURS) IN ADVANCE OF ANY WORK.
4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED SATISFACTORY TO THE CITY ENGINEER AND/OR OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
5. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE OWNER.
6. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGNS TO BE APPROVED BY THE OWNER, PRIOR TO THE USE ON THE PROJECT.
7. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
8. CURB AND SIDEWALK FOUND TO BE UNACCEPTABLE TO THE CITY OF PROVIDENCE SHALL BE REMOVED AND REPLACED PER "RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST ISSUE.
8. SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER "RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST ISSUE. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
9. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF THE TRANSITIONS TO BE AS SHOWN ON PLANS.
10. EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY OF PROVIDENCE ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATIONS.
11. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS.
12. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT-OF-WAY.
13. CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
14. MATERIALS, HANDLING, AND PLACEMENT OF PORTLAND CEMENT CONCRETE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE "RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST ISSUE AND THE PLANS AND DETAILS SHOWN HEREON.

GRADING NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR. ANY SURPLUS MATERIAL SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE, INCLUDING ANY AND ALL PERMIT FEES.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT IF REQUIRED.
6. PRIOR TO ANY EARTHWORK, AN ANTI-TRACKING PAD SHALL BE PLACED AT THE EXIT FROM THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.
7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGN AND BARRICADES ETC.

TRAFFIC NOTES:

1. ALL CONSTRUCTION SIGNING, BARRICADES, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
2. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING CITY STREETS WHERE WARRANTED IMMEDIATELY AFTER FIRST GRADING WORK IS ACCOMPLISHED, AND SHALL MAINTAIN SAID SIGNS UNTIL PERMANENT SIGNS ARE INSTALLED.
3. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
4. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HERE UNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALL FOR BY THESE PLANS.
5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE CITY OF PROVIDENCE FOR THE USE OF FLAGGERS OR CITY POLICE AS REQUIRED, TO INSURE THE SAFETY OF THE PUBLIC IN OR AROUND THE WORK AREA.
6. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE EXPEDITED TO COMPLETION SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE RHODE ISLAND PUBLIC TRANSIT AUTHORITY (RIPTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.
8. THE CONTRACTOR SHALL CONTACT THE TRAFFIC ENGINEERING DIVISION PRIOR TO INITIATING PAVING TO RECEIVE DIRECTION FOR ANY PERMANENT OR TEMPORARY MODIFICATIONS TO THE APPROVED DRAWINGS REGARDING FINAL PAVEMENT TRANSITIONS, MARKING AND SIGNING THAT ARE REQUIRED TO MATCH ADJACENT ROADWAY SEGMENTS. THE CONTRACTOR SHALL PROVIDE A DRAWING FOR APPROVAL BY THE TRAFFIC ENGINEERING DIVISION DEPICTING ANY ADJUSTMENTS TO THE FINAL PAVEMENT MARKINGS AND SIGNAGE, WHICH MAY INCLUDE OMITTING, ADDING OR MODIFYING PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS SUCH THAT ADEQUATE TRANSITIONS AND LANE TERMINATIONS BETWEEN ADJACENT ROADWAY SEGMENTS ARE CONSTRUCTED.

LEGEND		
PROPOSED	DESCRIPTION	EXISTING
---	PROPERTY LINE	---
---	EDGE OF WATER	---
---	FENCE	---
---	UNDERGROUND ELECTRIC LINE	---
---	SANITARY SEWER	---
---	STORM SEWER	---
---	UNDERGROUND TELECOM. LINE	---
---	WATER LINE	---
---	ROOF DRAIN	---
---	HANDHOLE	---
---	UTILITY POLE	---
---	UTILITY POLE W/ LIGHT	---
---	GUY WIRE	---
---	LIGHT POLE	---
---	SANITARY MANHOLE	---
---	STORM DRAIN MANHOLE	---
---	FIRE HYDRANT	---
---	WATER VALVE	---
---	ELECTRIC HANDHOLE	---
---	SIGN	---
---	BOLLARD	---
---	CONCRETE SIDEWALK	---
---	CONTOURS	---
---	SPOT ELEVATION	---
---	GRADE BREAK	---
---	FLOWLINE	---
---	SILT FENCE	---

ARCHITECT

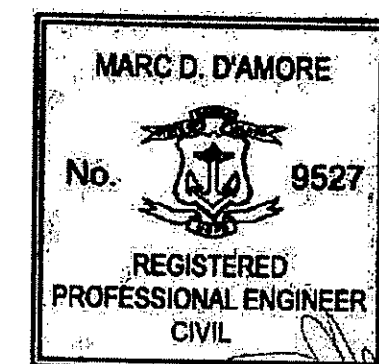
Michael Baker

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1081 DOUGLAS AVENUE
PROVIDENCE, RI 02904



PROFESSIONAL SEAL

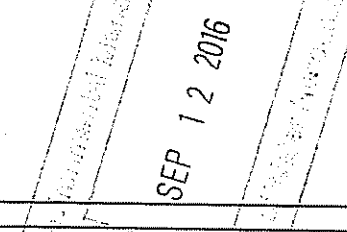
REVISIONS		
NO.	DESCRIPTION	DATE

PERMIT SUBMITTAL

REV 08/05/2016

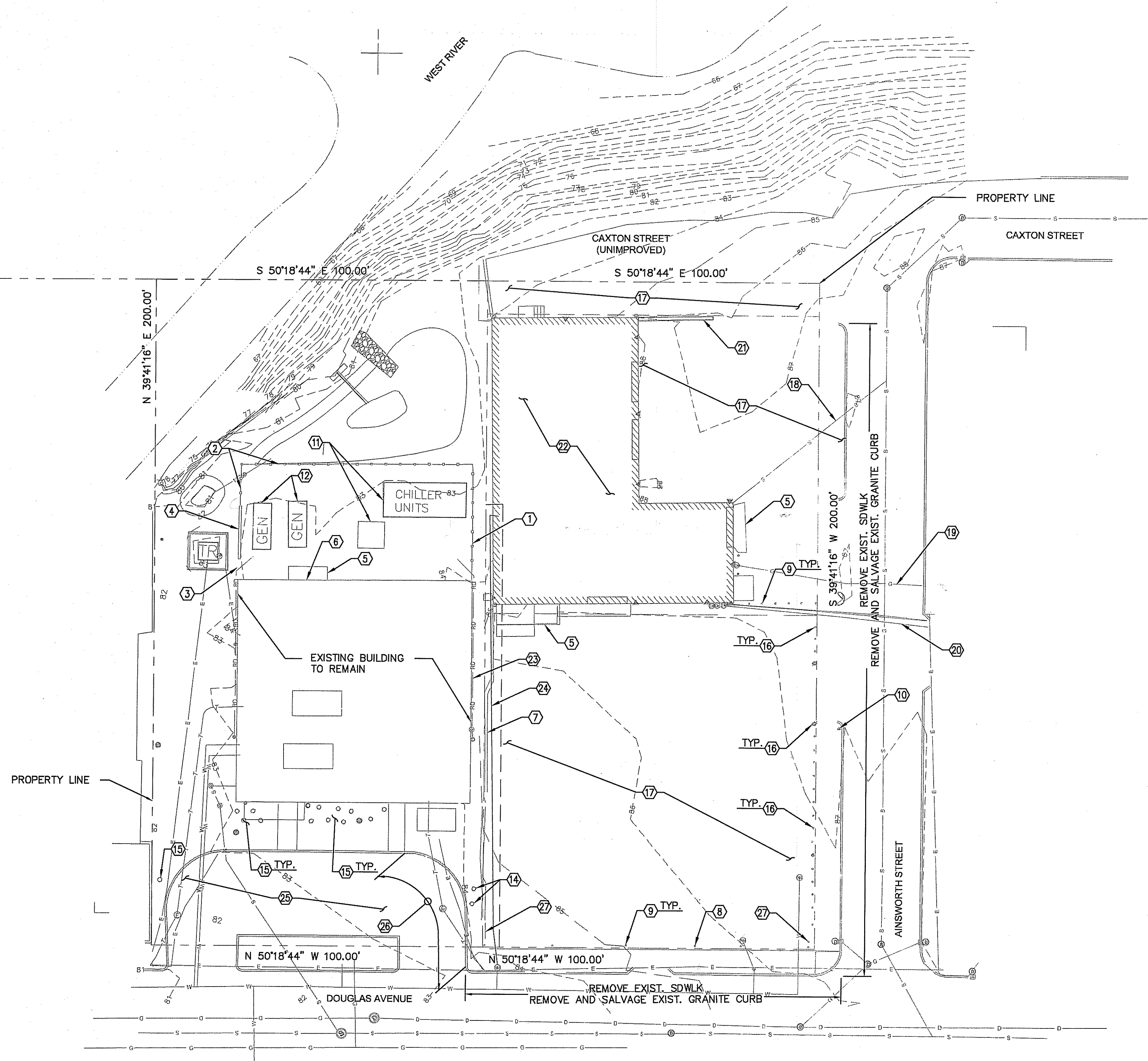
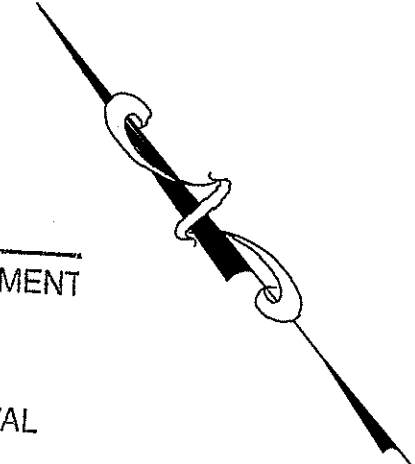
CIVIL GENERAL NOTES

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 13 2016 FILE # 16-0153
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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DEMOLITION PLAN NOTES

- ① DEMOLISH PORTION OF EXISTING FENCE AND FOUNDATION (APPROX. 35' LONG). SALVAGE FENCE, TO BE RE-USED.
- ② EXISTING FENCE TO REMAIN.
- ③ REMOVE EXISTING FENCE, FOUNDATION, AND GATE AND SALVAGE, TO BE RE-USED.
- ④ DEMOLISH EXISTING BLAST WALL, FENCE ON TOP OF WALL, AND FOUNDATION.
- ⑤ DEMOLISH CONCRETE PAD.
- ⑥ DEMOLISH ROOF LABBER AND CAGE.
- ⑦ DEMOLISH EXISTING CURB
- ⑧ DEMOLISH EXISING SITE LIGHTING.
- ⑨ DEMOLISH POSTS AND CHAIN.
- ⑩ REMOVE "NO PARKING" SIGN, POST, AND FOUNDATION. SALVAGE SIGN FACE FOR RE-USE.
- ⑪ EXISTING CHILLER EQUIPMENT TO BE REMOVED. DEMOLISH AND REMOVE CONCRETE PADS.
- ⑫ EXISTING GENERATORS TO BE REMOVED. DEMOLSH AND REMOVE CONCRETE PADS.
- ⑬ REMOVE EXISTING TREE
- ⑭ REMOVE EXISTING SHRUB
- ⑮ TREE AND/OR SHRUB TO REMAIN.
- ⑯ EXISTING FENCE POSTS, SLIDE GATE, FLAG POLE AND LIGHT POLES TO BE REMOVED.
- ⑰ EXISTING PAVED PARKING LOT AND BITUMINOUS CURB TO BE REMOVED.
- ⑱ EXISTING SANITARY SEWER SERVICE CONNECTION TO BE REMOVED.
- ⑲ EXISTING GAS LINE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- ⑳ EXISTING OVERHEAD ELECTRIC (3) TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- ㉑ EXISTING CONCRETE WALL AND FOUNDATION TO BE REMOVED.
- ㉒ EXISTING BUILDING TO BE REMOVED.
- ㉓ EXISTING UNDERGROUND ROOF DRAIN TO BE REMOVED.
- ㉔ EXISTING 1" DOMESTIC SERVICE WATER TO BE REMOVED.
- ㉕ EXISTING PAVED PARKING LOT TO REMAIN.
- ㉖ REMOVE AND SALVAGE EXISTING GRANITE CURB.
- ㉗ EXISTING BUSINESS SIGNS AND FOUNDATIONS TO BE REMOVED. COORDINATE REMOVAL OF ELECTRIC SERVICE WITH UTILITY COMPANY.

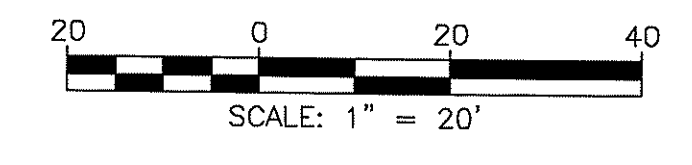
DEMOLITION NOTES:

1. ALL UTILITIES NOT CALLED OUT TO BE REMOVED/DEMOLISHED/ABANDONED SHALL BE PROTECTED IN PLACE.
2. EXISTING WATER, SANITARY SEWER AND GAS TO BE REMOVED SHALL BE CAPPED AT THE PROPERTY LINE BY THE CONTRACTOR. THE CONTRACTOR SHALL PERFORM THIS WORK UNDER THE SUPERVISION AND APPROVAL OF THE LOCAL UTILITY COMPANIES.
3. COORDINATE REMOVAL OF ELECTRICAL SERVICE WITH UTILITY COMPANY.

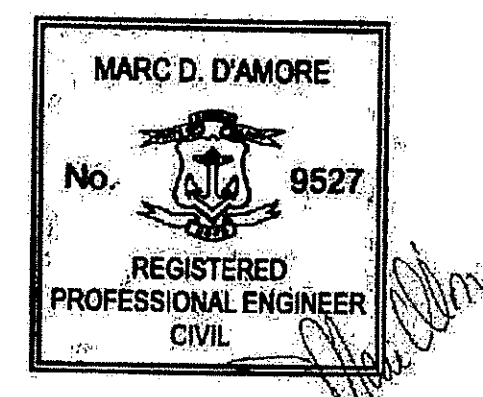
NOTES:

PROPERTY OWNER: COX COMMUNICATIONS
 OWNER ADDRESS: 1400 LAKE HEARN DRIVE NE, ATLANTA, GA 30319
 PROPERTY ADDRESSES: 1081 DOUGLAS AVENUE, PROVIDENCE, RI 02904
 12 AINSWORTH STREET, PROVIDENCE, RI 02904
 PLAT NUMBER: 078
 LOT NUMBERS: 441, 189, 201
 ZONING: C-2, GENERAL COMMERCIAL DISTRICT, PUBLIC WORKS FACILITY

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1081 DOUGLAS AVENUE
 PROVIDENCE, RI 02904



PROFESSIONAL SEAL

REVISIONS		
NO.	DESCRIPTION	DATE

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CIVIL DEMOLITION PLAN

SEP 12 2016

C2.0

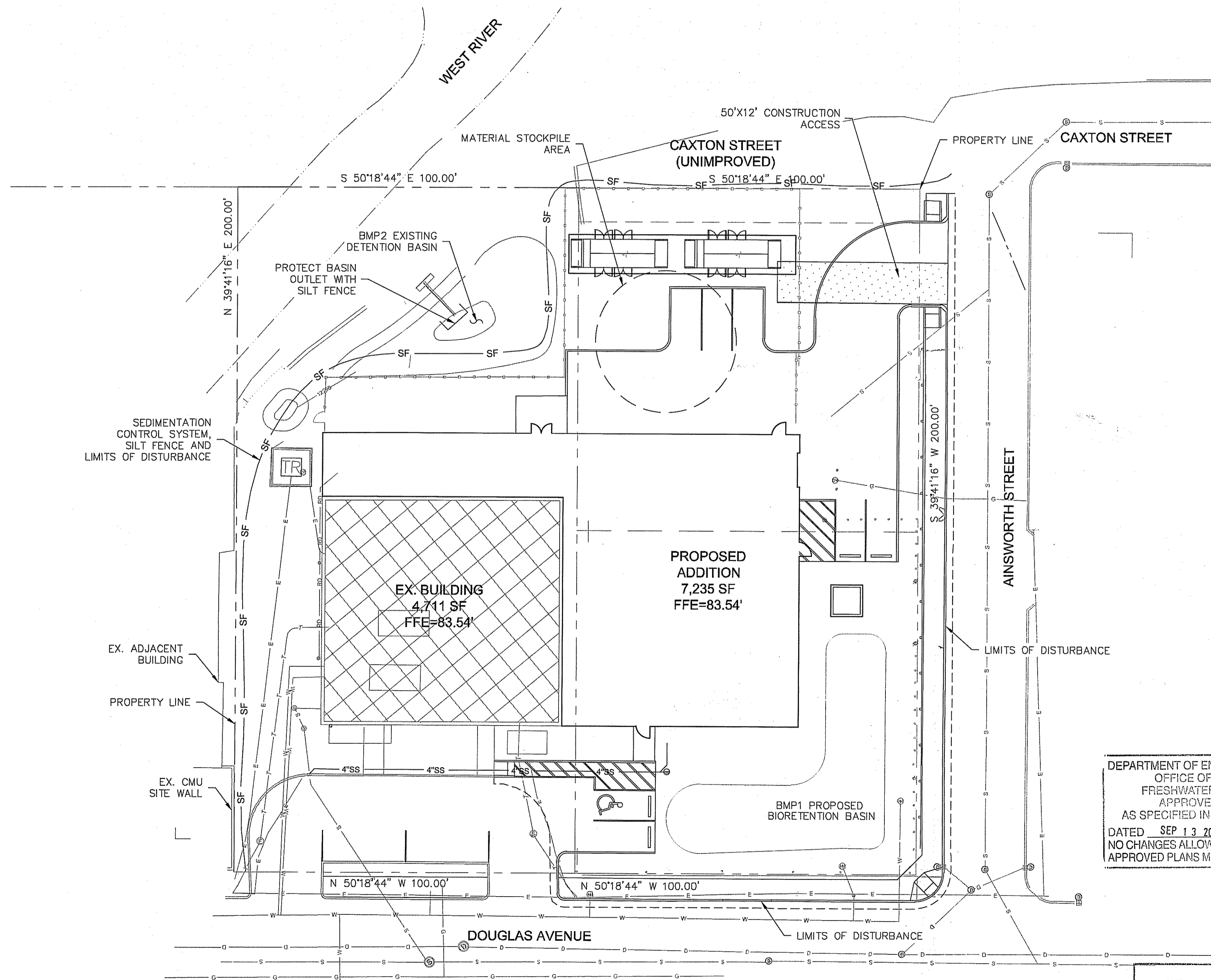
CONSTRUCTION SEQUENCE

1. DEMOLISH EXISTING BUILDING
2. INSTALL EROSION AND SEDIMENTATION CONTROLS (ESC)
3. CONSTRUCT PROPOSED ADDITION. (MAINTAIN EXISTING PAVEMENT TO LIMIT EXPOSED EARTH)
4. AFTER COMPLETION OF BUILDING EXTERIOR, CONSTRUCT SITE APPURTENANCES
5. REMOVE ESC AFTER SITE IS STABILIZED

NOTES:

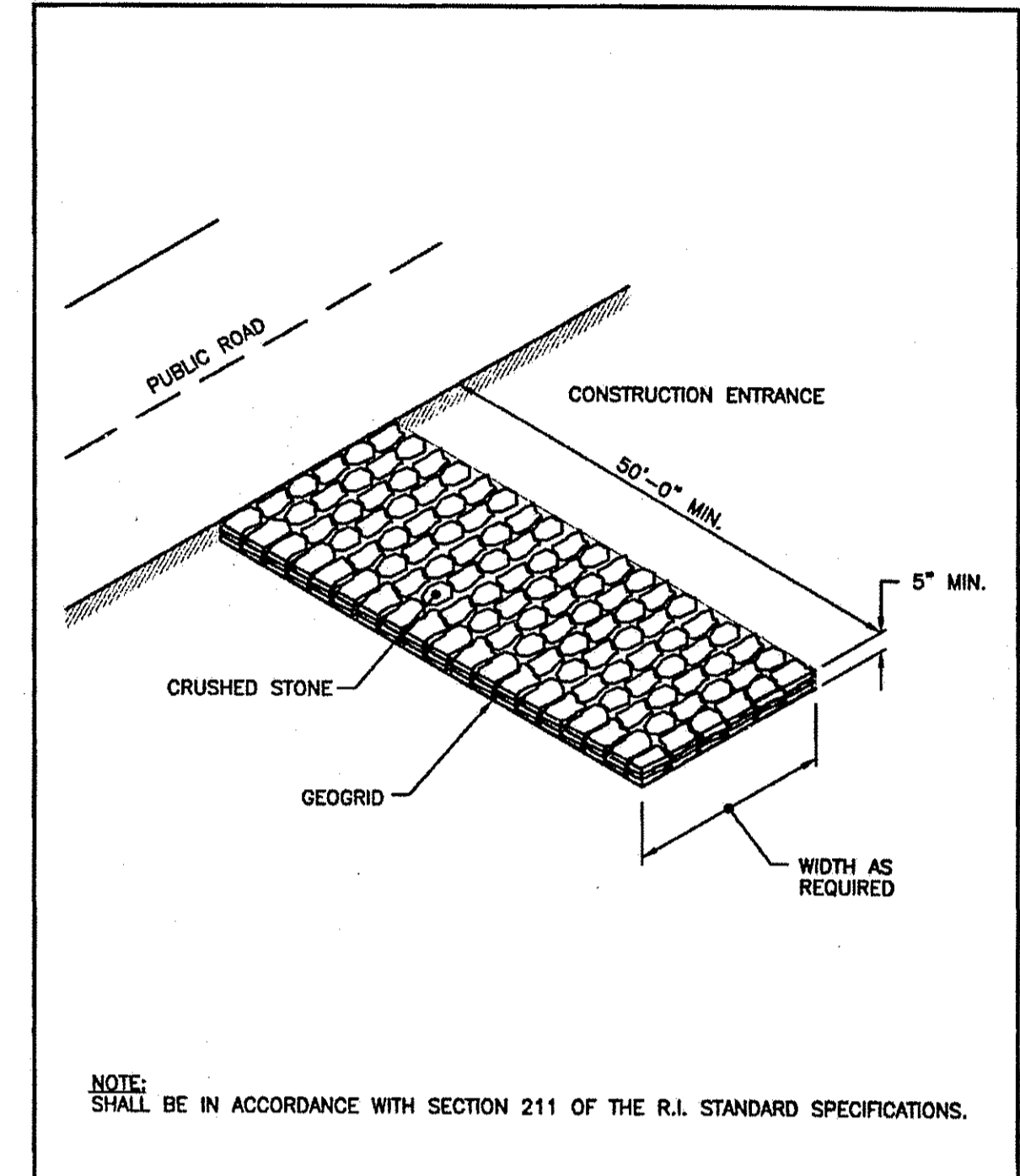
ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED

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 12 AINSWORTH STREET, PROVIDENCE, RI 02904
 PLAT NUMBER: 07B
 LOT NUMBERS: 441, 189, 201
 ZONING: C-2, GENERAL COMMERCIAL DISTRICT, PUBLIC WORKS FACILITY



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 OFFICE OF WATER RESOURCES
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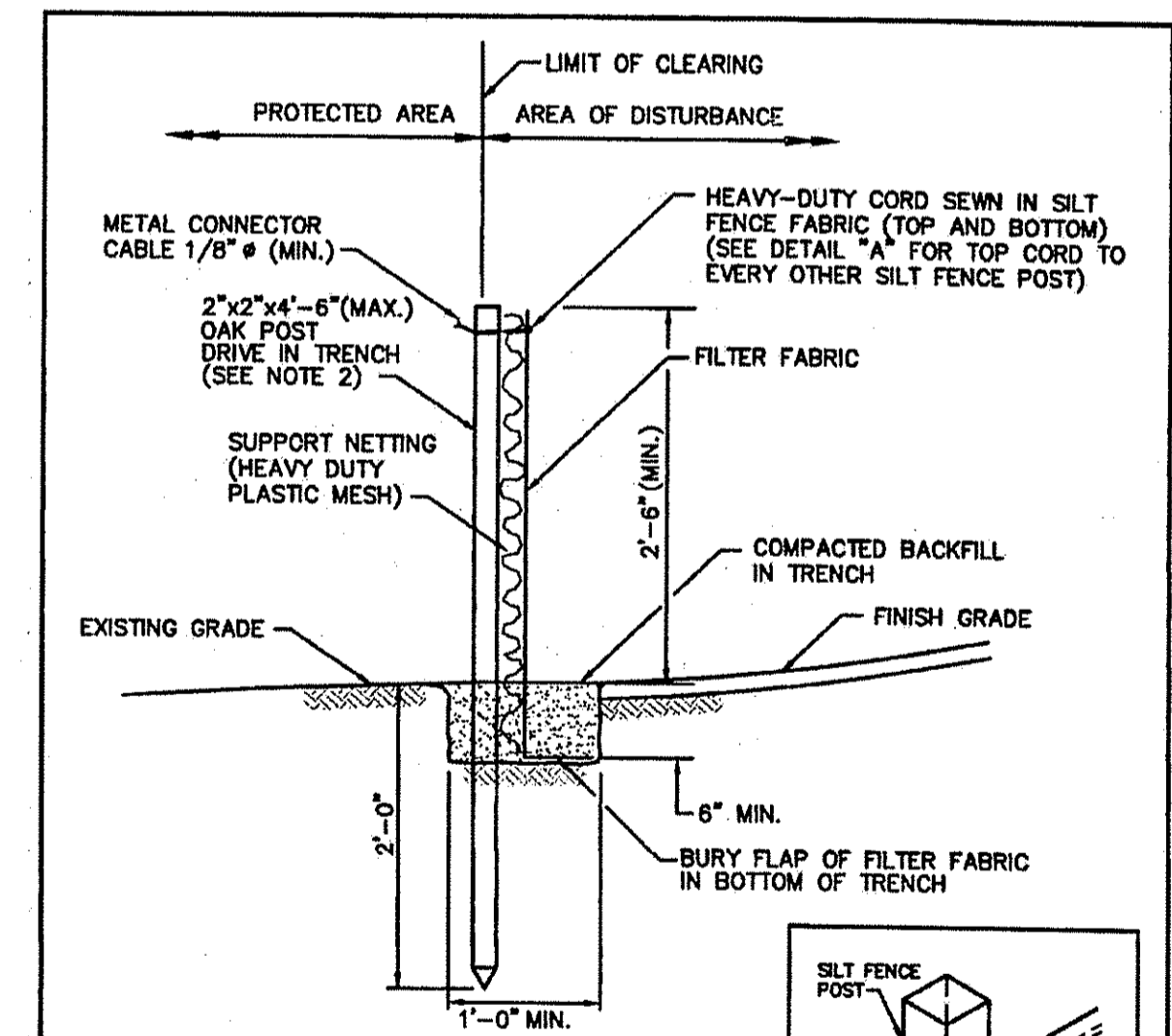


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS NO.	BY	DATE

CONSTRUCTION ACCESS

June 15, 1998
 R.I. STANDARD 9.9.0



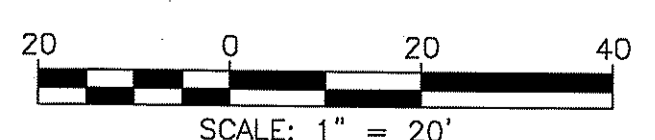
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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RHODE ISLAND DEPARTMENT OF TRANSPORTATION

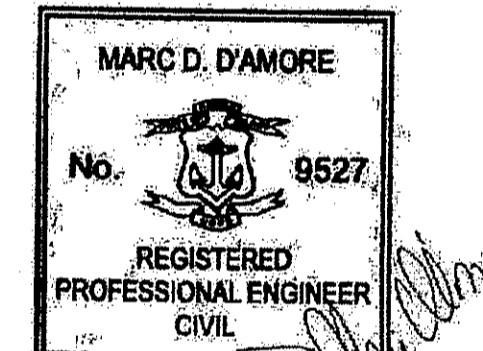
REVISIONS NO.	BY	DATE

SILT FENCE DETAIL

June 15, 1998
 R.I. STANDARD 9.2.0



1081 DOUGLAS AVENUE
 PROVIDENCE, RI 02904



PROFESSIONAL SEAL

NO.	DESCRIPTION	DATE

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EROSION AND SEDIMENTATION CONTROL PLAN

SEP 12

C3.0

SITE PLAN NOTES

- ① STEEL PICKET SECURITY FENCE, REF ARCH PLANS.
- ② SLIDE GATE, REF ARCH PLANS.
- ③ INSTALL BITUMINOUS CONCRETE PAVEMENT PER DTL ON SHT C7.0.
- ④ SAWCUT AND REMOVE EXISTING PAVEMENT (2' MIN). REPLACED PAVEMENT IN KIND UNLESS OTHERWISE NOTED.
- ⑤ INSTALL 6" GRANITE CURB PER RIDOT STD DTL 7.3.0 ON SHT C7.1
- ⑥ INSTALL 6" WIDE CONCRETE SIDEWALK PER DTL ON SHT C7.0
- ⑦ INSTALL WHEELCHAIR RAMP WITH DETETABLE WARNING PANELS PER RIDOT STD DTL 43.3.0 ON SHT C7.0 AND DTL 48.1.0 ON SHT C7.1.
- ⑧ 30" HIGH GUARDRAIL, REFERENCE ARCHITECTURAL PLANS.
- ⑨ REMOVE AND RELOCATE "NO PARKING" SIGN PER RIDOT STD DTL 24.7.0 ON SHT C7.1.
- ⑩ PARKING SPACES AND MARKINGS PER DTL ON SHT 7.0.
- ⑪ HANDICAPPED PARKING SPACE AND MARKINGS PER DTL ON SHT 7.0.
- ⑫ INSTALL PRECAST CONCRETE WHEEL STOPS PER DTL ON SHT C7.0.
- ⑬ INSTALL WHEELCHAIR RAMP WITH DETETABLE WARNING PANELS PER RIDOT STD DTL 43.3.1 ON SHT C7.0 AND DTL 48.1.0 ON SHT C7.1.
- ⑭ NEW ELECTRICAL TRANSFORMER AND PAD, REF ELECTRICAL PLANS.
- ⑮ CONCRETE GENERATOR PAD, REF STRUCTURAL DRAWINGS.
- ⑯ CONCRETE SIDEWALK PER DTL ON SHT C7.0.
- ⑰ SALVAGED GATE TO BE RELOCATED HERE, CONTRACTOR TO VERIFY.
- ⑱ PORTION OF SALVAGED FENCE TO BE RELOCATED HERE, CONTRACTOR TO VERIFY.
- ⑲ CONSTRUCT 6" CONCRETE CURB.

CONSTRUCTION SEQUENCE

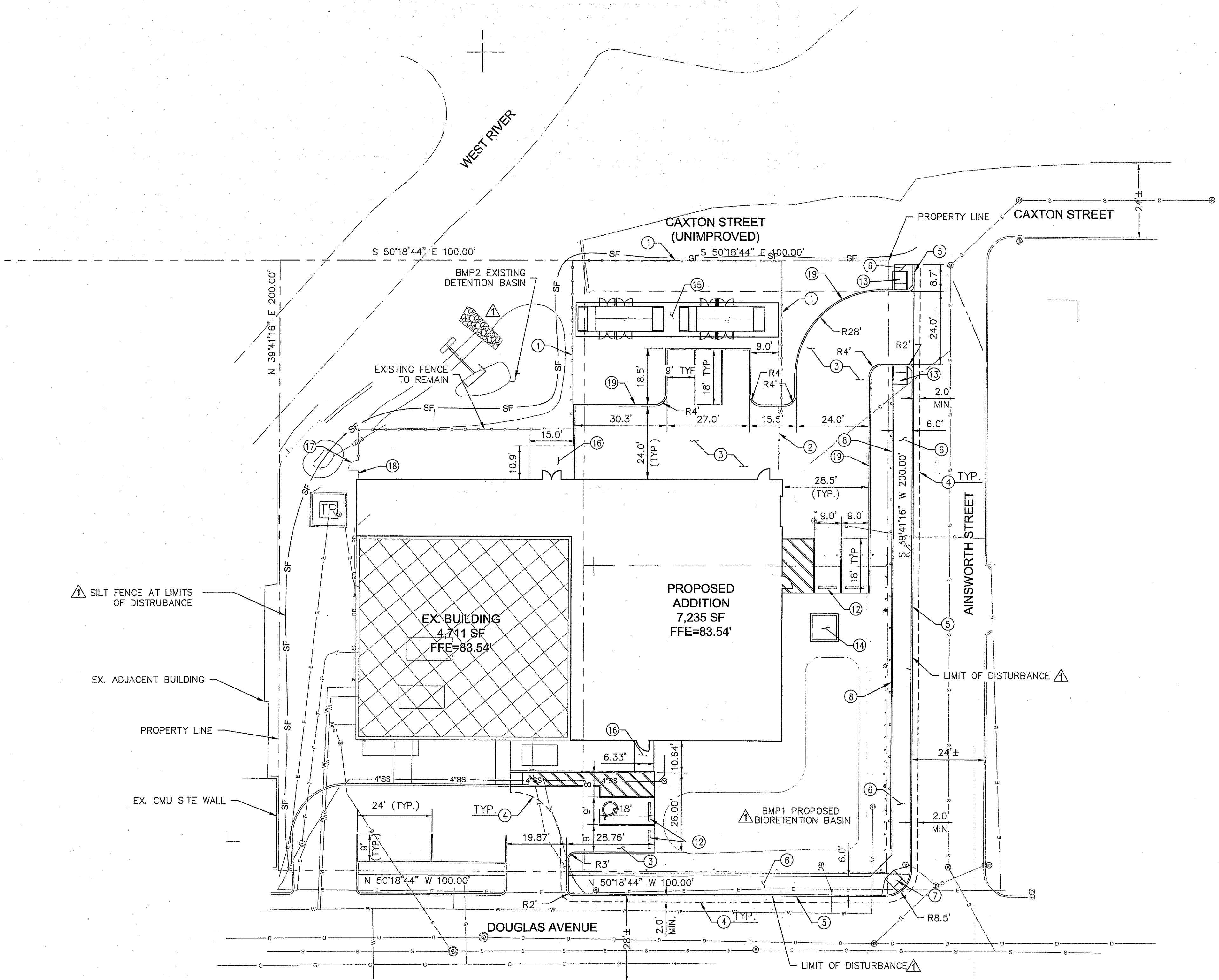
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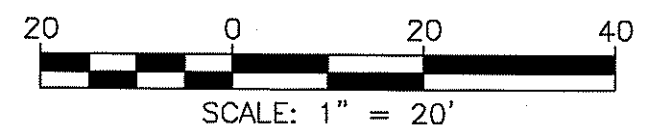
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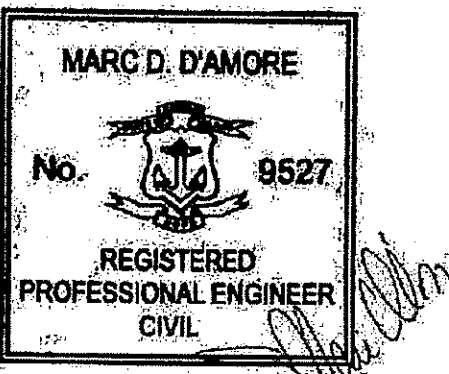
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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1081 DOUGLAS AVENUE
 PROVIDENCE, RI 02904



PROFESSIONAL SEAL

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△	RIDEM COMMENTS	08/09/16

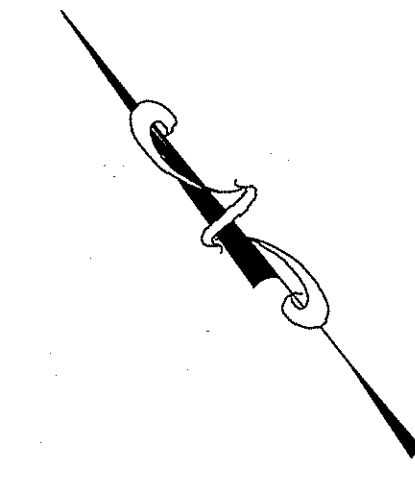
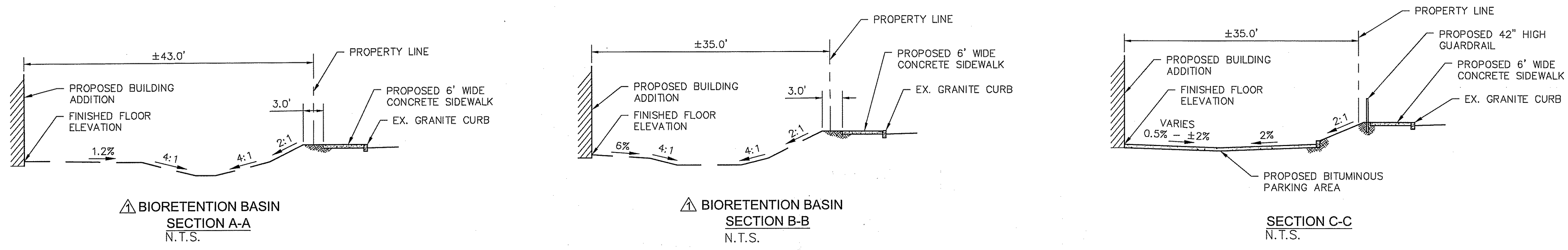
PERMIT SUBMITTAL

REV 08/05/2016

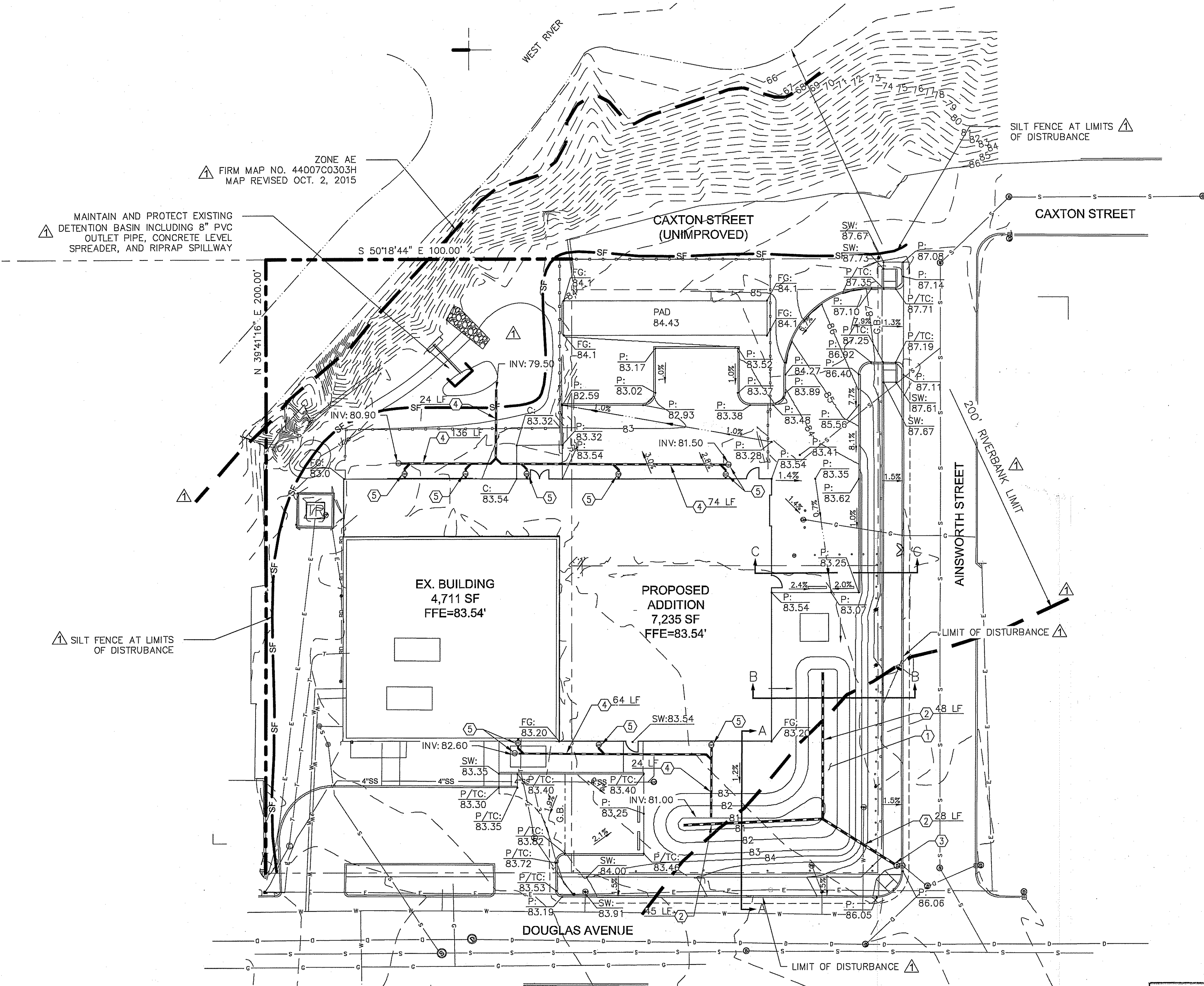
CIVIL SITE PLAN

SEP 12 2016

C4.0



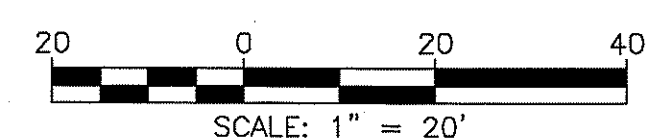
- GRADING PLAN NOTES**
- ① CONSTRUCT BIORETENTION BASIN PER DETAIL ON SHT. C7.0.
 - ② INSTALL 8" HDPE PERFORATED PIPE, LENGTH PER PLAN.
 - ③ CONNECT 8" PERFORATED HDPE PIPE TO EXISTING MANHOLE, INVERT TO BE DETERMINED IN FIELD.
 - ④ INSTALL 6" PVC PIPE FOR ROOF LEADER CONNECTION (2% MIN. SLOPE), LENGTH PER PLAN.
 - ⑤ INSTALL ROOF LEADER CLEANOUT, PER DETAIL ON SHT. C7.0.



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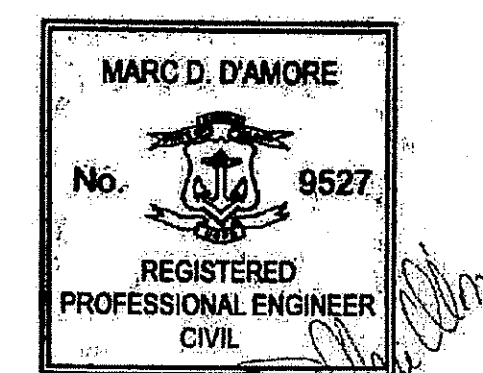
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ARCHITECT
Michael Baker
INTERNATIONAL
 500 ENTERPRISE DRIVE SUITE 2B
 ROCKY HILL, CT 06067
 (860) 563-3044 MBAKERINTL.COM



1081 DOUGLAS AVENUE
 PROVIDENCE, RI 02904



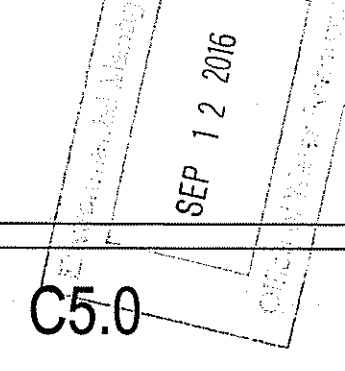
PROFESSIONAL SEAL

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NO.	DESCRIPTION	DATE
1	RIDEM COMMENTS	08/09/16

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CIVIL GRADING PLAN



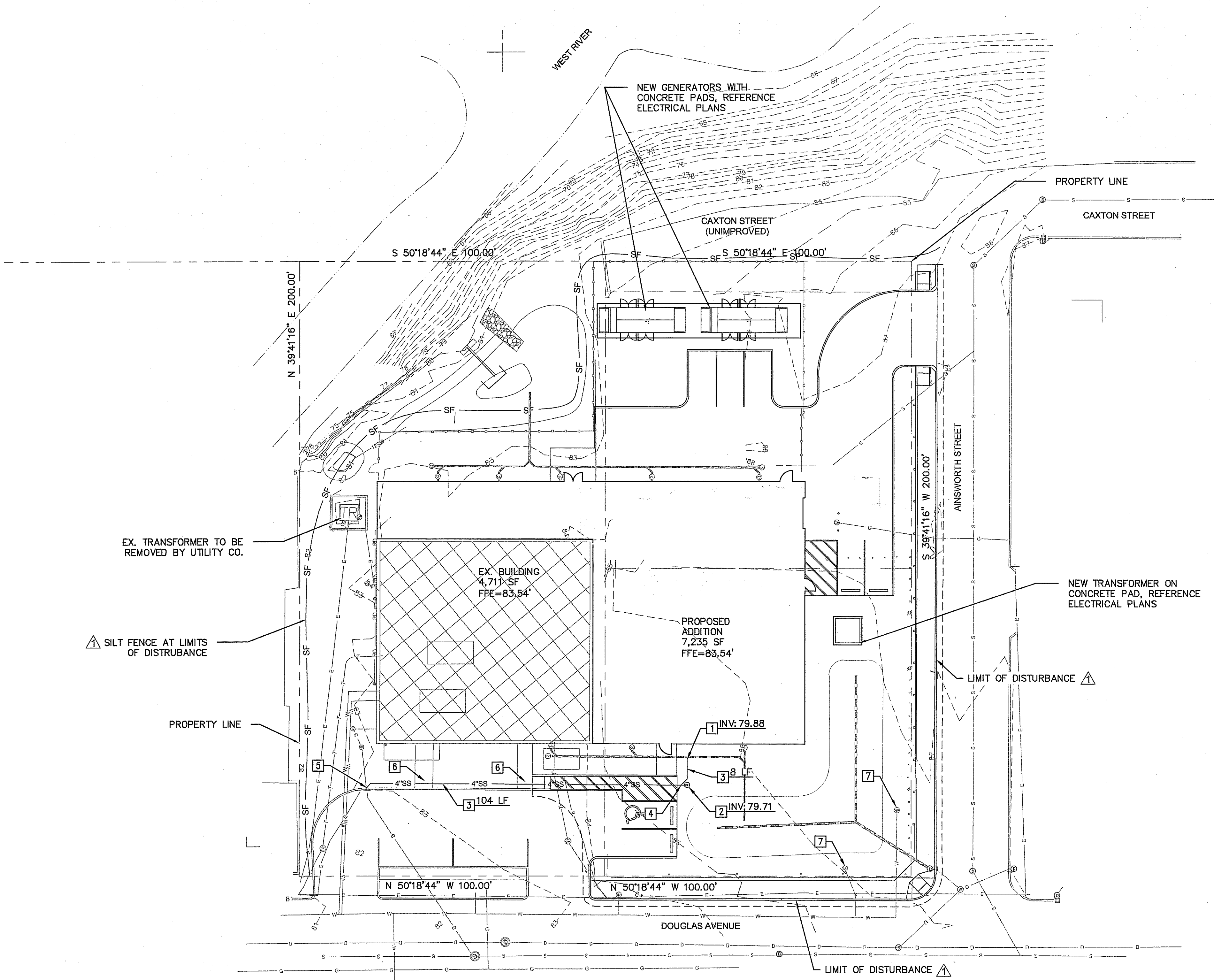
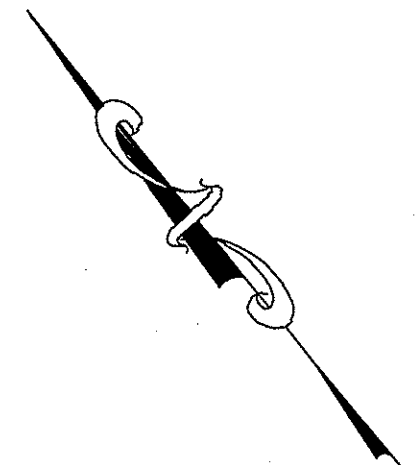
C5.0

ARCHITECT

Michael Baker

INTERNATIONAL

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(860) 563-3044 MBAKERINTL.COM

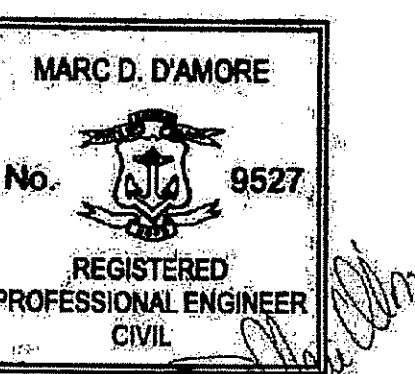


UTILITY PLAN NOTES

- 1 EXTEND SEWER SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY BUILDING POINT OF CONNECTION PRIOR TO INSTALLATION.
- 2 SANITARY SEWER CLEANOUT PER DETAIL ON SHEET C7.0.
- 3 4" DIAMETER SANITARY SEWER PER LOCAL PLUMBING CODE, MINIMUM 2% SLOPE.
- 4 WYE CONNECTION PER LOCAL PLUMBING CODE.
- 5 CONNECT TO EXISTING BUILDING SEWER SERVICE WITH WYE CONNECTION PER LOCAL PLUMBING CODE. CONTRACTOR TO VERIFY INVERT OF EXISTING SERVICE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY.
- 6 REPAIR EXISTING CONCRETE SIDEWALK IN KIND AFTER SANITARY SEWER INSTALLATION.
- 7 ADJUST WATER VALVE BOX AND COVER TO FINISH GRADE.



1081 DOUGLAS AVENUE
PROVIDENCE, RI 02904



PROFESSIONAL SEAL

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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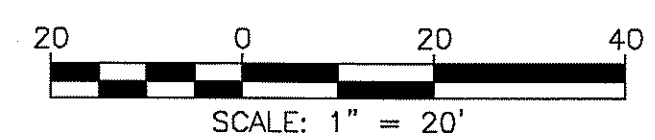
CIVIL UTILITY PLAN

SEP 12 2016

C6.0

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GRANITE CURB

REVISIONS

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

CHIEF ENGINEER: *James H. Capaldi*
 CHIEF DESIGN ENGINEER: *Edward J. Palko*
 JUNE 15, 1998
 R.I. STANDARD 7.3.0

3'-0" GRANITE TRANSITION CURB

REVISIONS

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Apr 2010
3	MLP	Sep 2012

CHIEF ENGINEER: *James H. Capaldi*
 CHIEF DESIGN ENGINEER: *Edward J. Palko*
 JUNE 15, 1998
 R.I. STANDARD 7.3.1

6'-0" GRANITE TRANSITION CURB

REVISIONS

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

CHIEF ENGINEER: *James H. Capaldi*
 CHIEF DESIGN ENGINEER: *Edward J. Palko*
 JUNE 15, 1998
 R.I. STANDARD 7.3.2

GRANITE WHEELCHAIR RAMP TRANSITION CURB

TRANSITION LENGTH (FT.)	BATTER (N.)
6.0	1.5
7.0	1.3
8.0	1.2
9.5	1.0
11.5	0.8
15.0	0.6
18.0	0.5

REVISIONS

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Jun 2012

CHIEF ENGINEER: *James H. Capaldi*
 CHIEF DESIGN ENGINEER: *Edward J. Palko*
 JUNE 15, 1998
 R.I. STANDARD 7.3.3

GRANITE 2'-0" RADIUS CORNER

REVISIONS

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

CHIEF ENGINEER: *James H. Capaldi*
 CHIEF DESIGN ENGINEER: *Edward J. Palko*
 JUNE 15, 1998
 R.I. STANDARD 7.3.4

DETECTABLE WARNING PANEL PLACEMENT

REVISIONS

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

CHIEF ENGINEER: *James H. Capaldi*
 CHIEF DESIGN ENGINEER: *Edward J. Palko*
 JUNE 15, 1998
 R.I. STANDARD 4B.1.4

PARKING SIGN MOUNTING DETAIL

REVISIONS

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

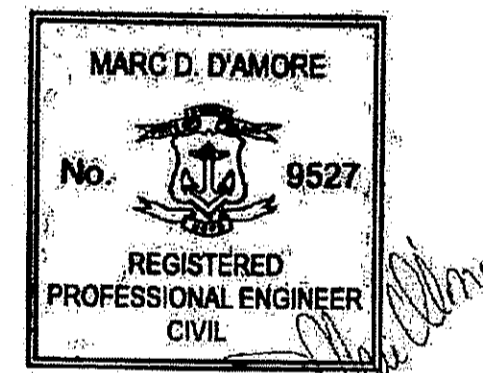
CHIEF ENGINEER: *James H. Capaldi*
 CHIEF DESIGN ENGINEER: *Edward J. Palko*
 JUNE 15, 1998
 R.I. STANDARD 24.6.0

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Gregory D. Wilson



1081 DOUGLAS AVENUE
 PROVIDENCE, RI 02904



PROFESSIONAL SEAL

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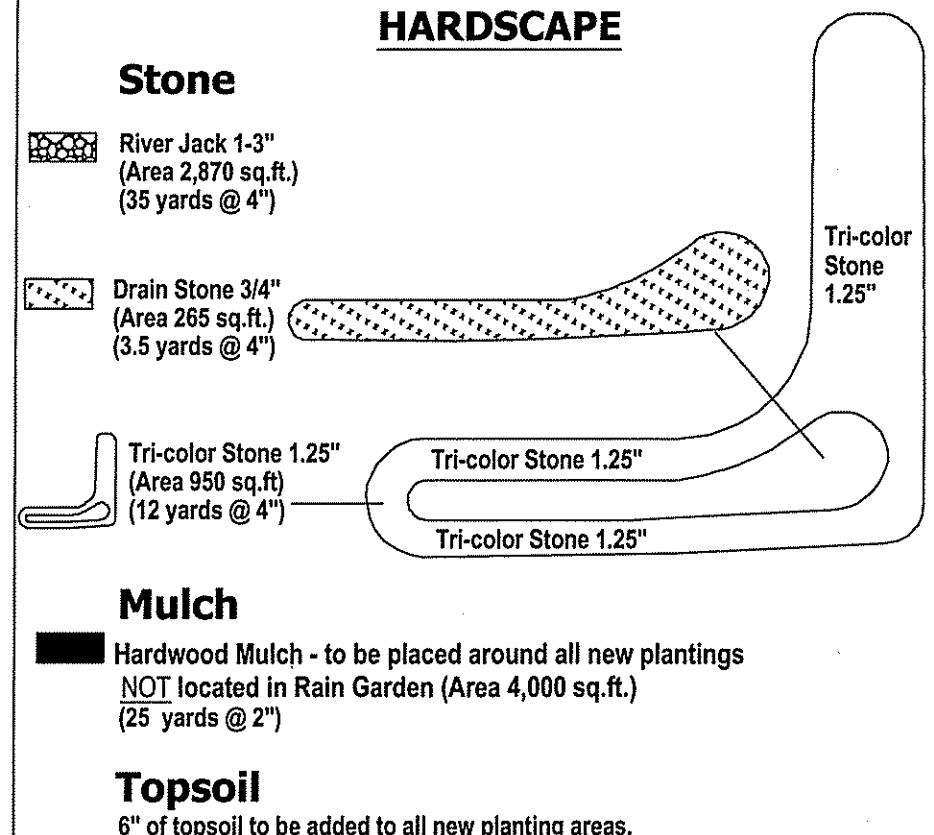
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CIVIL DETAIL SHEET

SEP 12 2016
 C7.1

Qty	SYM	BOTANICAL NAME	COMMON NAME	SIZE/FORM	SPACING
Legend					
Pre-Existing Vegetation					
17	Existing	Shrubs			
5	Existing	Trees			
Existing		Trees/Vegetation Abutting Stream			
Perennial Grass					
10	P.v.HM.	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1G (8"-10")	5' on Ctr.
Shrub, Evergreen Broadleaf					
3	I.g.C.	Ilex glabra 'Compacta'	Compact Inkberry	3G (18"-24")	4' on Ctr.
57	My.p.	Myrica pensylvanica	Bayberry	5G (24"- 30")	6' on Ctr.
Shrub, Evergreen Conifer (Ground Cover)					
126	J.c.BM.	Juniperus conferta 'Blue Mist'	Blue Mist Shore Juniper	1G (8"-10")	4' on Ctr.
49	J.c.W.	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	1G (8"-10")	4' on Ctr.
Tree, Deciduous					
7	L.s.M.	Liquidambar styraciflua 'Moraine'	Moraine Sweetgum	2.5" B/B	30' on Ctr.



CALCULATION OF TREE CANOPY

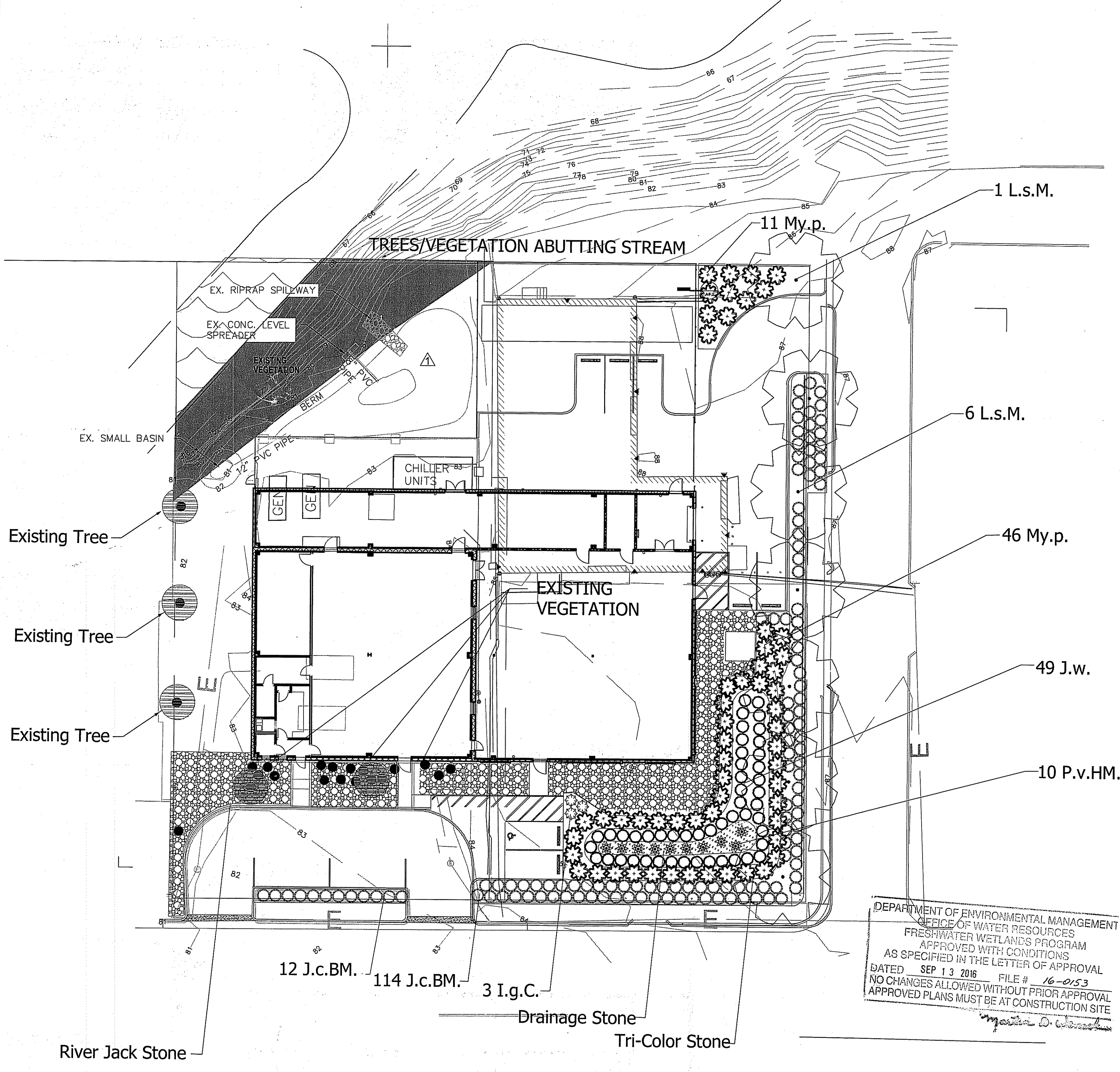
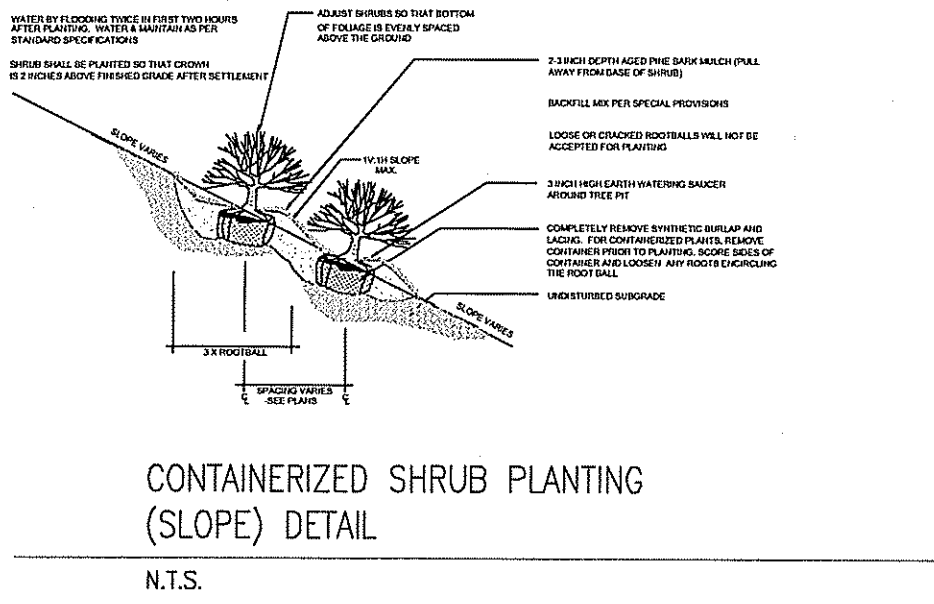
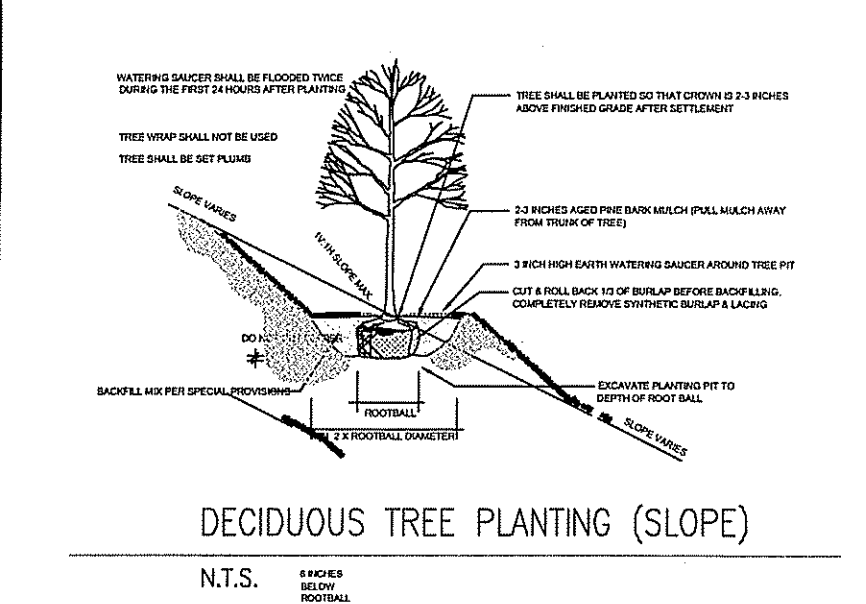
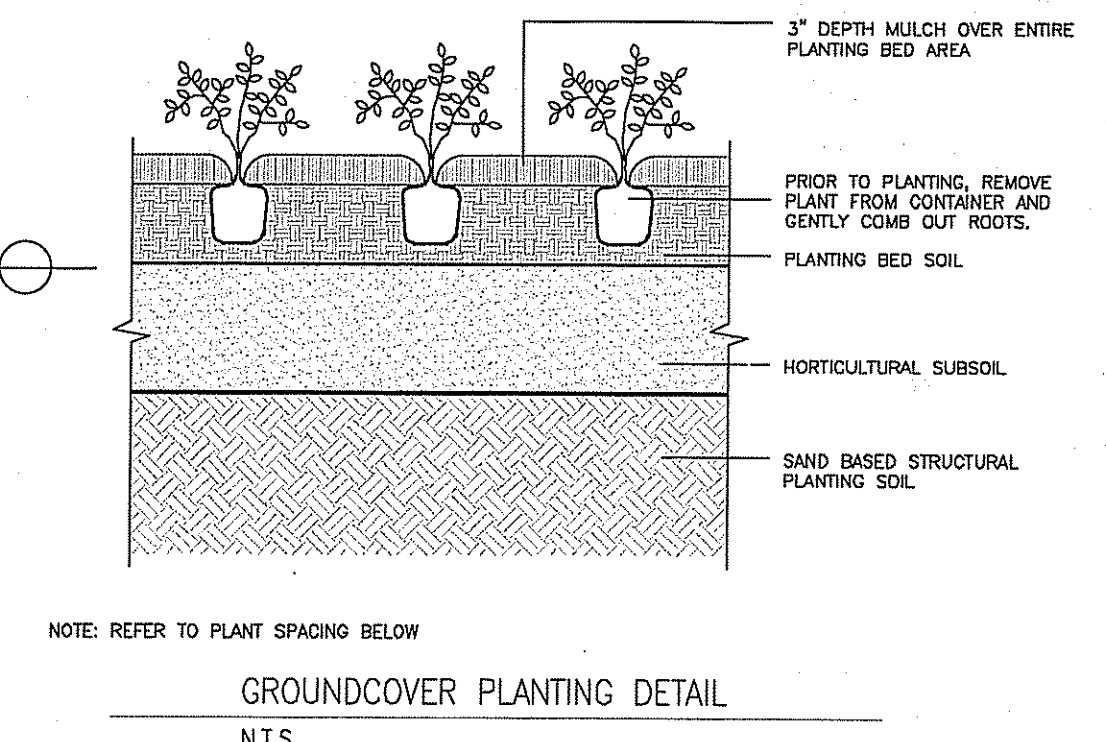
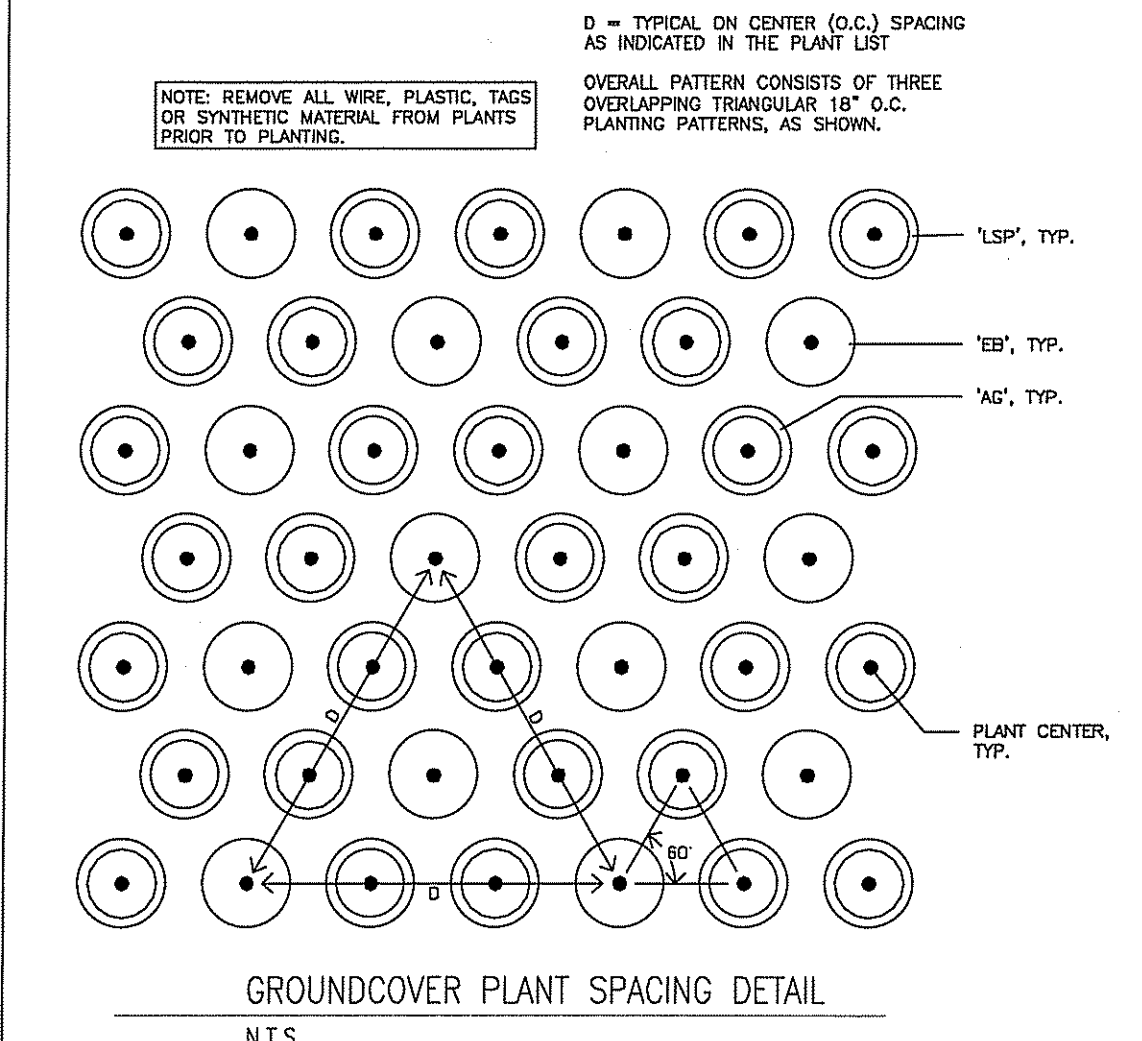
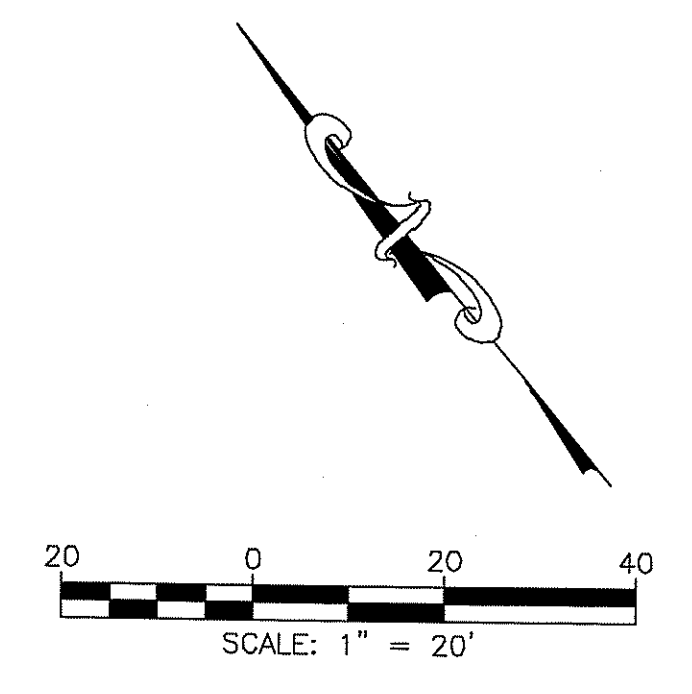
Total Tree Canopy Coverage = 26.25%

Assumes the following trees to be "Medium"
5 Existing Shade Trees (3,500 sq.ft.)

Assumes the following trees to be "Large"
7 Liquidambar styraciflua 'Moraine' (7,000 sq.ft.)

This Tree Canopy Coverage estimate does not take into account the approximately 2,500 sq.ft. of existing vegetation abutting the stream in the North corner of the property.

Reference: Article 15. TREES AND LANDSCAPING Section 1503.2.



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Marc D. D'Amore

ARCHITECT
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(860) 563-3044 MBAKERINTL.COM

COX COMMUNICATIONS
1081 DOUGLAS AVENUE
PROVIDENCE, RI 02904

MARC D. D'AMORE
No. 9527
REGISTERED PROFESSIONAL ENGINEER
CIVIL

PROFESSIONAL SEAL

REVISIONS

NO.	DESCRIPTION	DATE
1	RIDEM COMMENTS	08/09/16

PERMIT SUBMITTAL
05/08/2016

LANDSCAPE PLAN
SEP 12 2016
L1.0