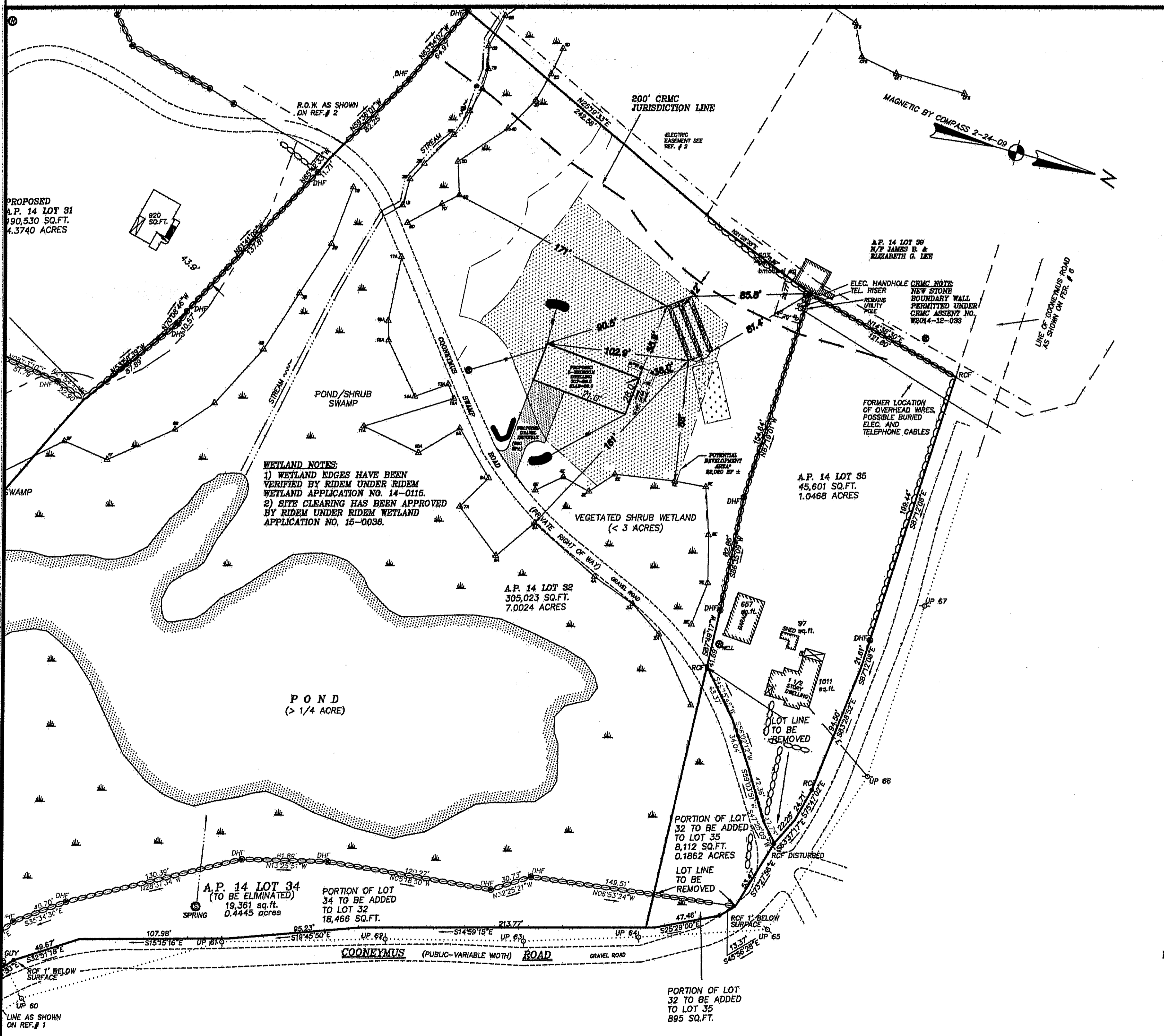
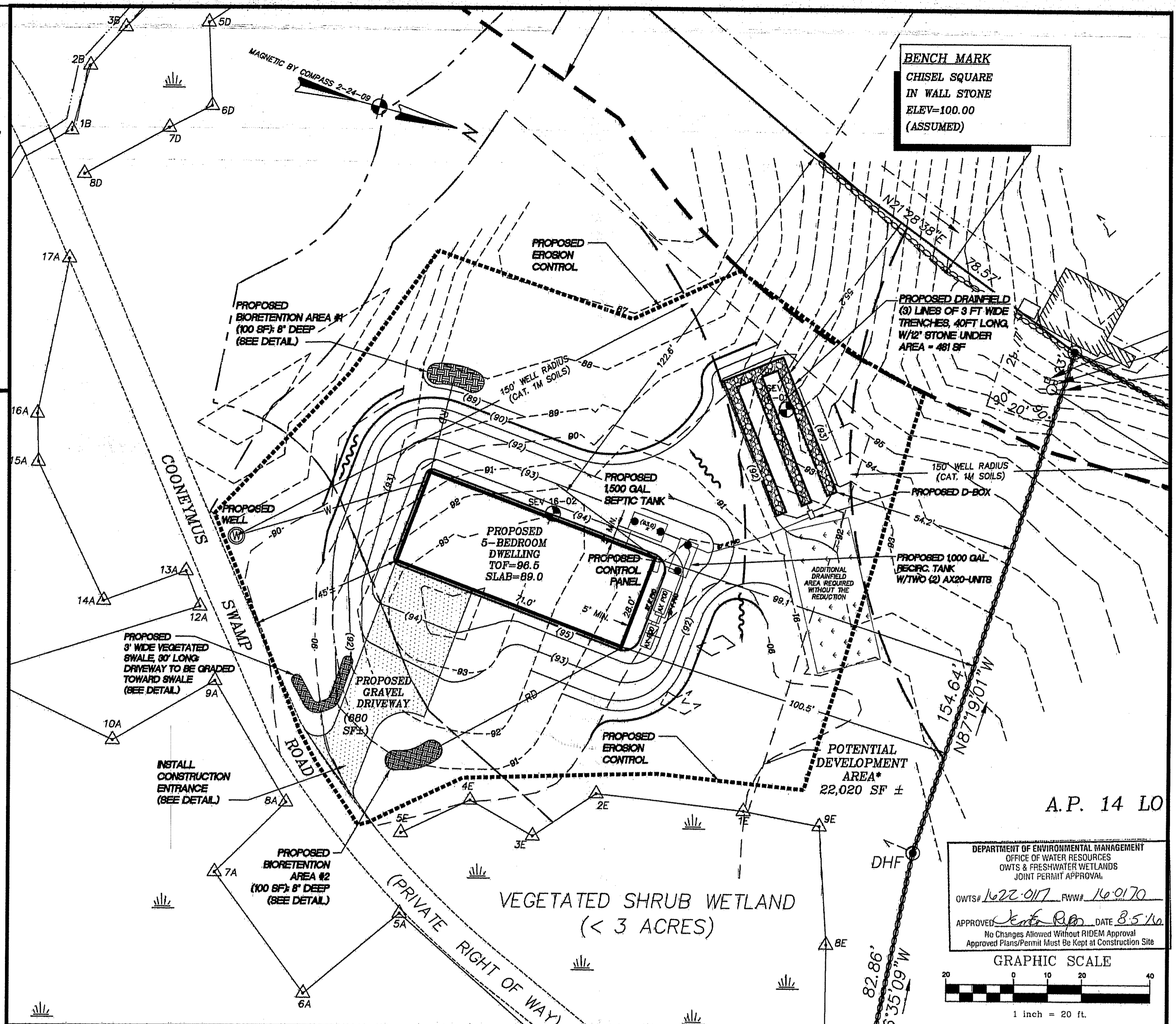


LOCATION MAP

LEGEND (EXISTING)		LEGEND (PROPOSED)	
	STONE WALL		GRADE TO DRAIN
	UNDERGROUND ELECTRIC		ROOF DRAIN
	EDGE OF GRAVEL ROAD		PROPOSED BIORETENTION AREA
	OVERHEAD WIRES		PROPOSED EROSION CONTROL/LIMIT OF DISTURBANCE
	UTILITY POLE		
	DRILL HOLE SET		
	DRILL HOLE SET		
	5/8" REBAR WITH PLASTIC CAP SET		
	5/8" REBAR WITH PLASTIC CAP FOUND		
	WETLAND AREA		
	WETLAND FLAG		
	NOW OR FORMERLY		
	DEVELOPMENT AREA ALLOWED WITHIN RIDEM AND TOWN SETBACKS		



OVERALL PROPERTY PLAN  
SCALE: 1" = 50'



SITE PLAN  
SCALE: 1" = 20'

- REFERENCES**
- BOUNDARY PLAN PREPARED FOR R. BRUCE MONTGOMERY & MARGARET C. MONTGOMERY COONEYMUS ROAD ASSESSOR'S PLAT 14, LOT 34 NEW SHOREHAM, RHODE ISLAND SCALE 1"=40' DWN BY: C.R.P. JUNE 10, 1992 CHERENZIA & ASSOCIATES, LTD. WESTERLY, RHODE ISLAND - UNRECORDED 2.) PLAN OF ELECTRIC EASEMENT LOT 2 "WESTWARD HO" AND ON "REPLAT" OF LOTS 3 & 4 WESTWOOD HO BLOCK ISLAND, RHODE ISLAND BY KENNETH W. ANTHONY AND ASSOCIATES 275 SOUTH PIERCE RD., EAST GREENWICH, R.I. SEE PLAT 146
  - BOUNDARY PLAN PREPARED FOR R. BRUCE MONTGOMERY COONEYMUS ROAD ASSESSOR'S PLAT 14, LOT 36 NEW SHOREHAM, RHODE ISLAND SCALE 1"=20' DWN BY: P.A.M. SEPTEMBER 18, 1991 CHERENZIA & ASSOCIATES, LTD. WESTERLY, RHODE ISLAND SHEET 1 OF 1 JOB NO.: 91066-01 REVISED: 12-16-91 FILE NO.: F4 DI 79R - UNRECORDED
  - PLAN OF LAND PREPARED FOR R. BRUCE MONTGOMERY IN THE TOWN OF NEW SHOREHAM, R.I. SCALE 1"=50' JANUARY 2, 1987 SEPTEMBER 18, 1997 BY CHERENZIA & ASSOCIATES LTD. WESTERLY, RHODE ISLAND - UNRECORDED
  - BOUNDARY SURVEY PROPERTY OF WESTWARD HO LLC COONEYMUS SWAMP ROAD MAP 14 LOT 38 NEW SHOREHAM, RHODE ISLAND SCALE 1"=20' DRAWN BY: TWS JANUARY 4, 2008 CHECK BY: NDL CHERENZIA & ASSOCIATES, LTD. WESTERLY RHODE ISLAND SHEET 1 OF 1 JOB NO.: 207155 - UNRECORDED 6.) PLAN SHOWING COONEYMUS ROAD FOUND IN TH TOWN OF NEW SHOREHAM ARCHIVES IN TUBE #38

**OWNER OF RECORD**  
R. BRUCE MONTGOMERY SEE I.E. VOLUME 75 PAGE 123 "Copy of permit and Operation/Maintenance contract must be filed in land evidence records prior to conformance."

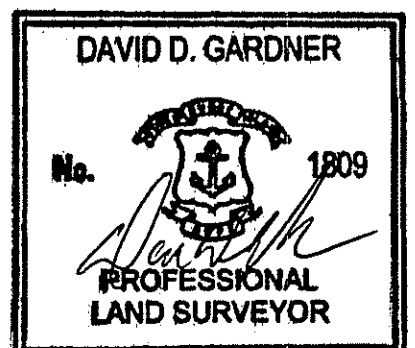
**ZONING RESIDENTIAL RA**  
MINIMUM DEVELOPABLE LAND 120,000 SQFT

- NOTES**
- THE POND LOCATION SHOWN HEREON WAS TAKEN FROM THE ASSESSORS MAP
  - LOT 34 MAY BE SUBJECT TO THE RIGHTS OF OTHERS IN AND TO THE SPRING LOCATED THEREON AS DESCRIBED IN I.E. VOLUME 41 PAGE 228
  - LOT 35 HAS THE RIGHT TO USE COONEYMUS SWAMP ROAD FOR ACCESS AS DESCRIBED IN I.E. VOLUME 28 PAGE 214.
- RIDEM PERMITS**
- WETLAND EDGES HAVE BEEN VERIFIED BY RIDEM UNDER RIDEM WETLAND APPLICATION NO. 14-0115.
  - SITE CLEARING HAS BEEN APPROVED BY RIDEM UNDER RIDEM WETLAND APPLICATION NO. 15-0036.
  - RIDEM SOIL EVALUATION NO. 1622-0117
  - RIDEM JOINT PERMIT APPLICATION: OWTS APPLICATION NO. 1622-0117; FRESHWATER WETLAND APPLICATION NO. 16-0176.

**RIDEM JOINT PERMIT APPLICATION**  
OWTS APPLICATION NO. 1622-0117  
FRESHWATER WETLAND APPLICATION NO. 16-0170

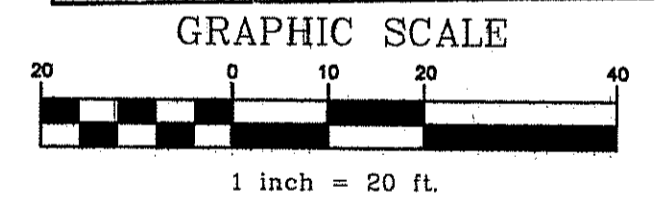
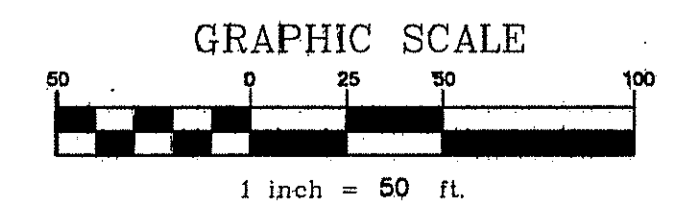
**PROPOSED SITE PLAN**  
OFF COONEYMUS ROAD  
NEW SHOREHAM, R.I.  
FOR  
R. BRUCE & MARGARET C. MONTGOMERY  
A.P. 14 LOT 32  
DAVID D. GARDNER & ASSOCIATES, INC.  
200 METRO CENTER BOULEVARD  
WARWICK, RHODE ISLAND 02886  
(401) 738-3200 | FAX:(401) 739-4740  
ENGINEERS • SURVEYORS • PLANNERS

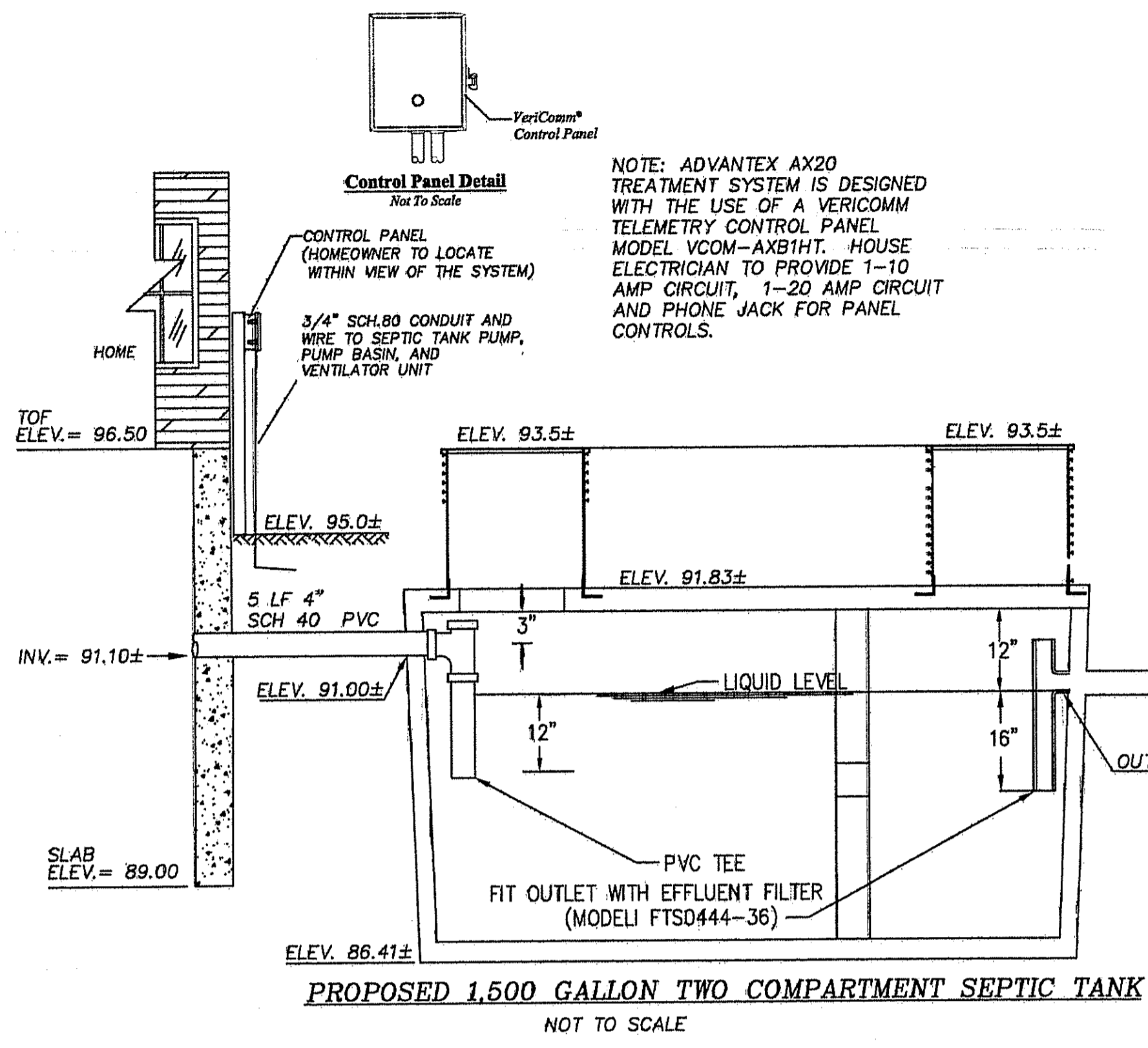
Environmental Management  
AUG 2 2016  
Office of Water Resources



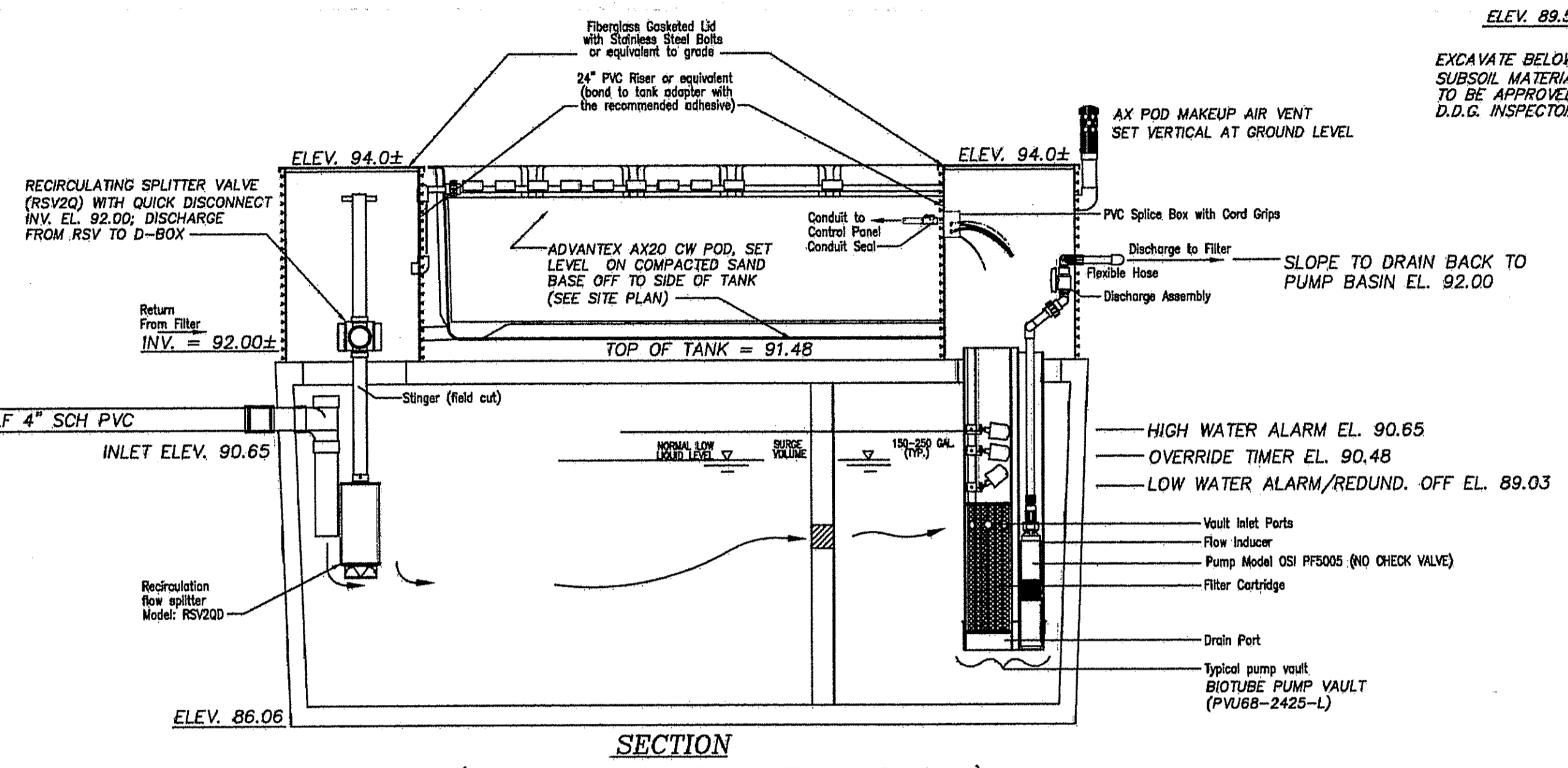
THIS SURVEY AND PLAN CONFORMS TO A CLASS II STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.  
BY: *David D. Gardner*  
REGISTERED PROFESSIONAL LAND SURVEYOR

DATE	PROJECT NO.
6/16/2016	14-015
SCALE	DRAWING NO.
AS NOTED	4-015-SITE PLAN
REVISIONS	DESIGNED BY
DEM COMMENTS	D.D.G.
7/26/2016	DRAWN BY
	S.B.C.
	CHECKED BY
	D.D.G.
SHEET NO.	
1	
SHEET 1 OF 3	

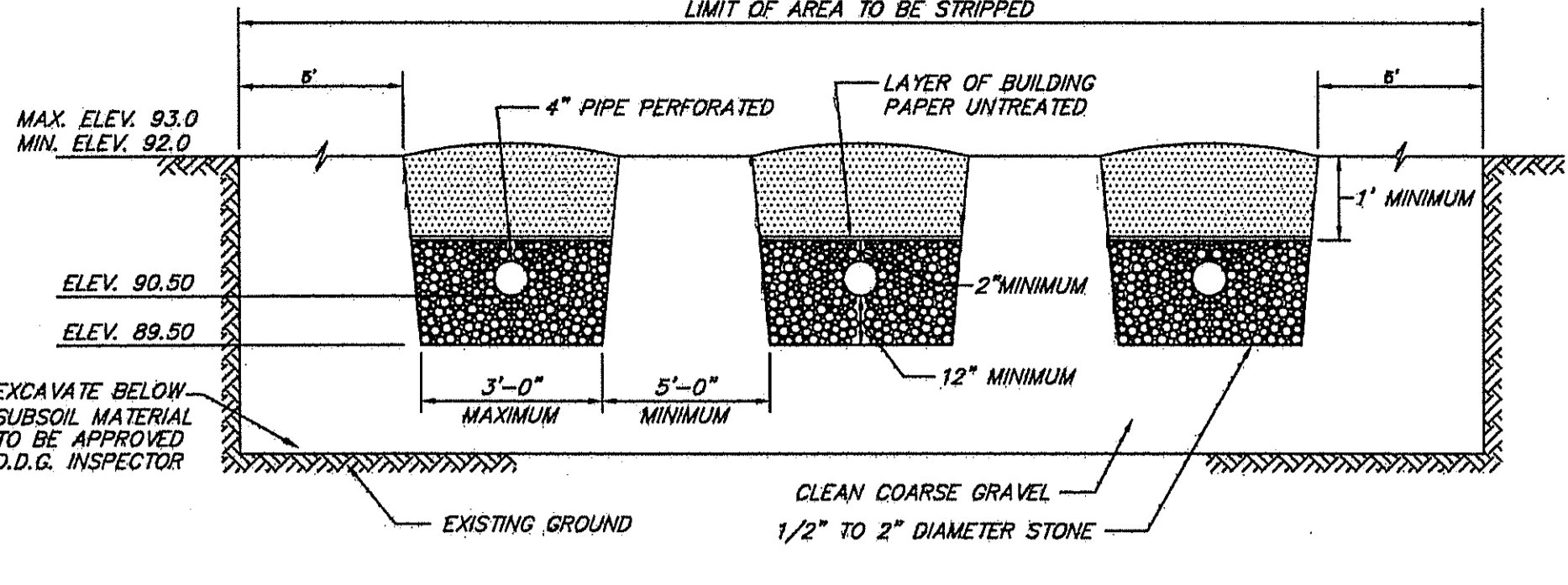




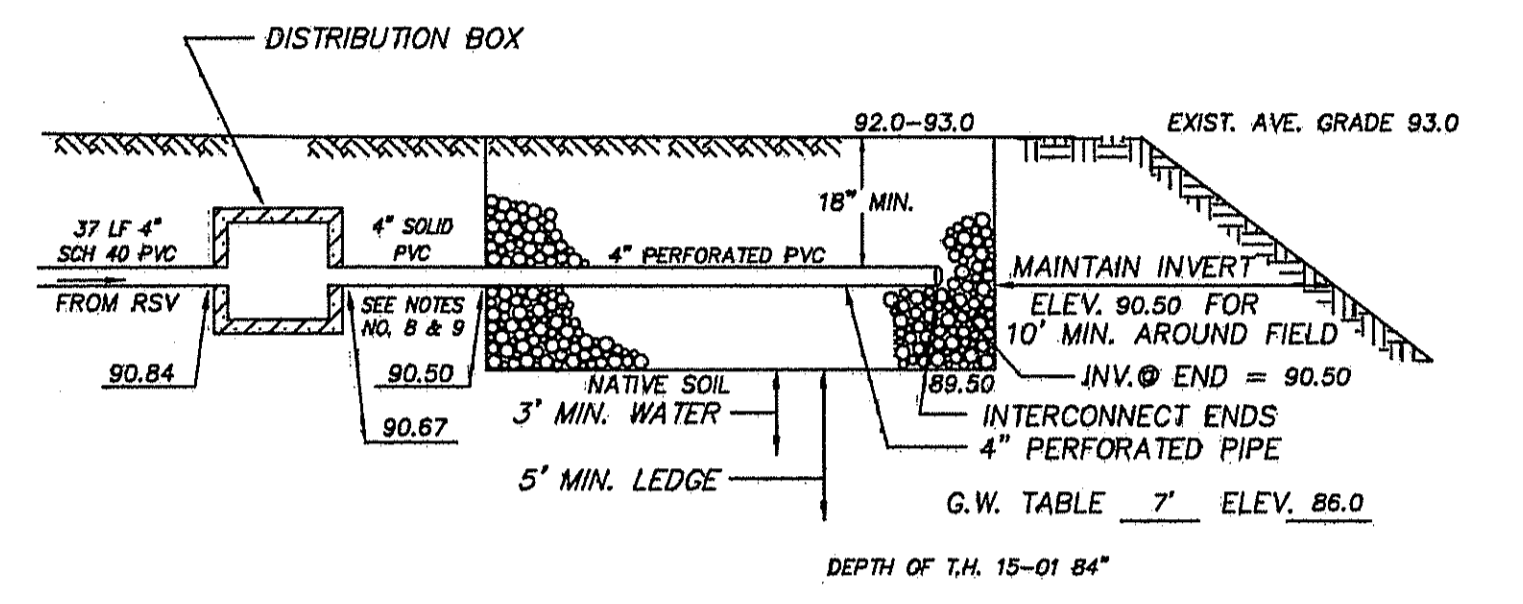
**TYPICAL SYSTEM PROFILE**  
NOT TO SCALE



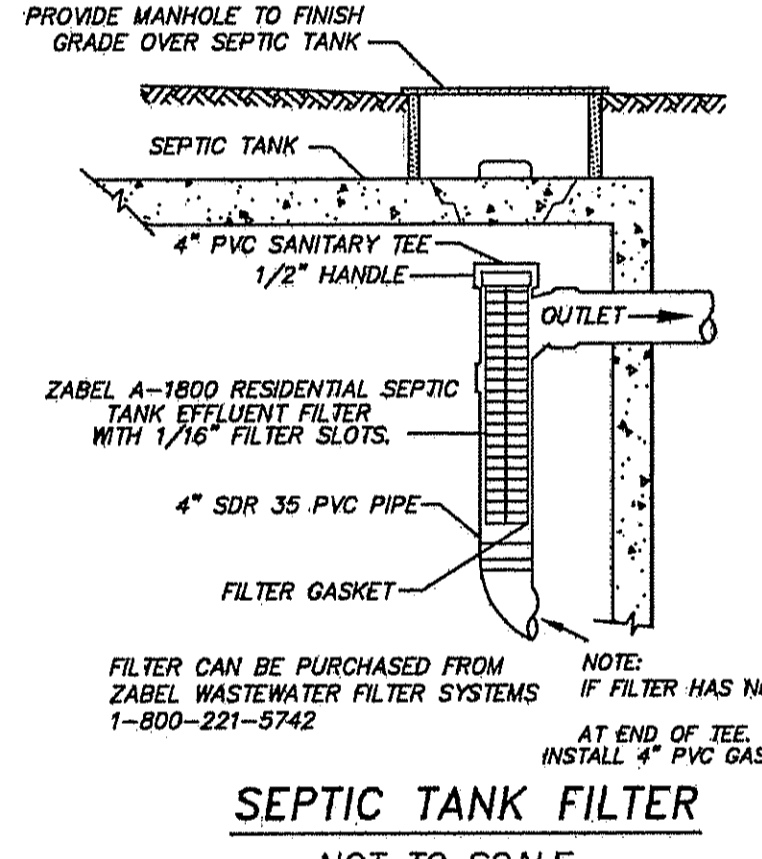
**SECTION**  
**REPS (Recirculating Effluent Pump System)**  
**1,000 GALLON TWO COMPARTMENT SEPTIC TANK**  
NOT TO SCALE



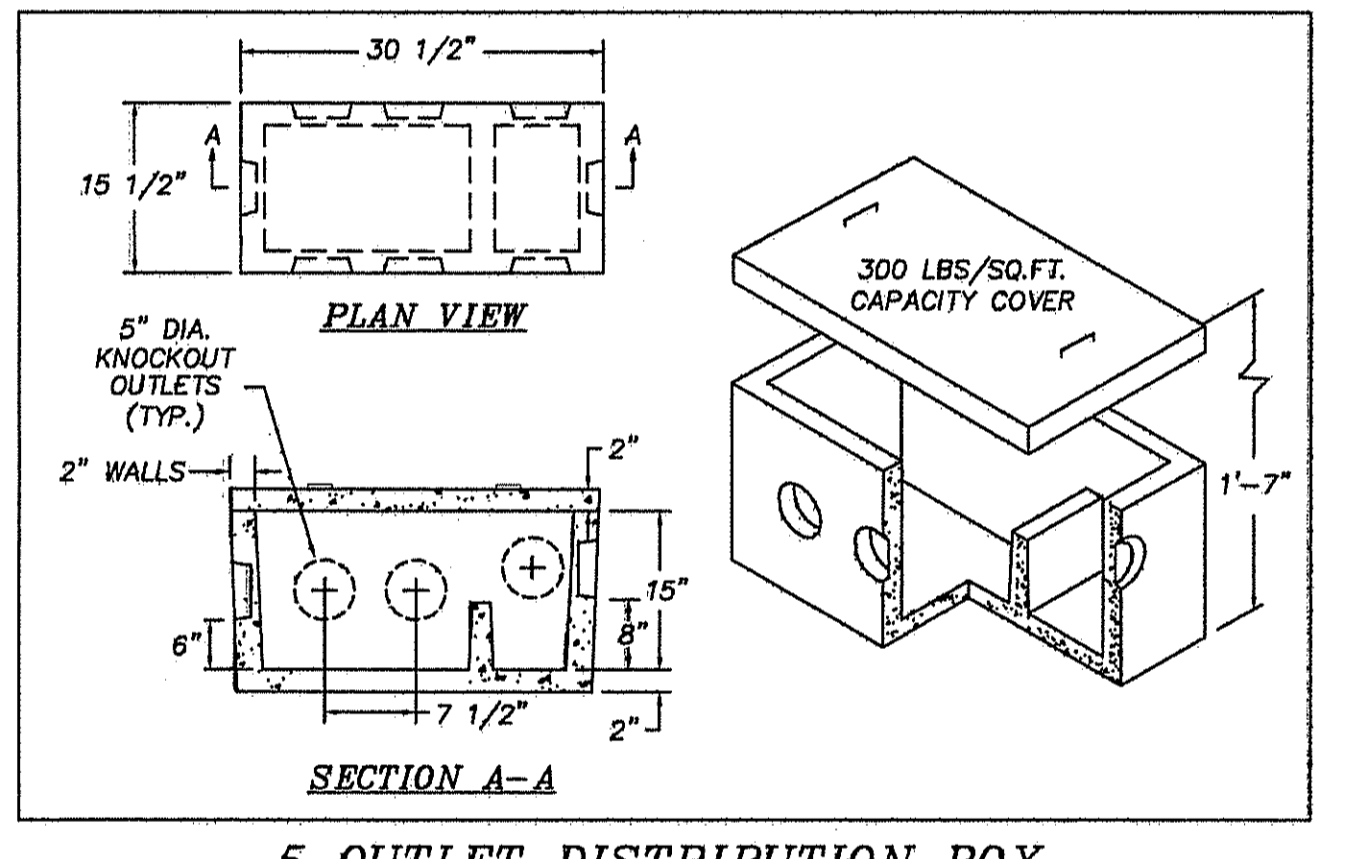
**TYPICAL TRENCH CROSS SECTION**  
NOT TO SCALE



**TYPICAL LEACHFIELD PROFILE**  
NOT TO SCALE



**SEPTIC TANK FILTER**  
NOT TO SCALE



**5 OUTLET DISTRIBUTION BOX**  
NOT TO SCALE

**Pump Selection for a Pressurized System - Commercial Project**  
AP 14 Lot 32 / AX20 PUMP

**Parameters**

Discharge Assembly Size	2.00	inches
Transport Length	21	feet
Transport Pipe Class	40	
Transport Line Size	2.00	inches
Distributing Valve Model	None	
Max Elevation Lift	5	feet
Manifold Length	4	feet
Manifold Pipe Class	40	
Manifold Pipe Size	1.00	inches
Number of Laterals per Cell	10	
Lateral Length	6.5	feet
Lateral Pipe Class	40	
Lateral Pipe Size	0.75	inches
Orifice Size	1.8	inches
Orifice Spacing	0.5	feet
Residual Head	6.5	feet
Flow Meter	None	inches
Add-on Friction Losses	0	feet

**Calculations**

Minimum Flow Rate per Orifice	0.49	gpm
Number of Orifices per Zone	140	
Total Flow Rate per Zone	69.3	gpm
Number of Laterals per Zone	10	
% Flow Differential 1st/Last Orifice	1.5	%
Transport Velocity	6.7	fps

**Friction Head Losses**

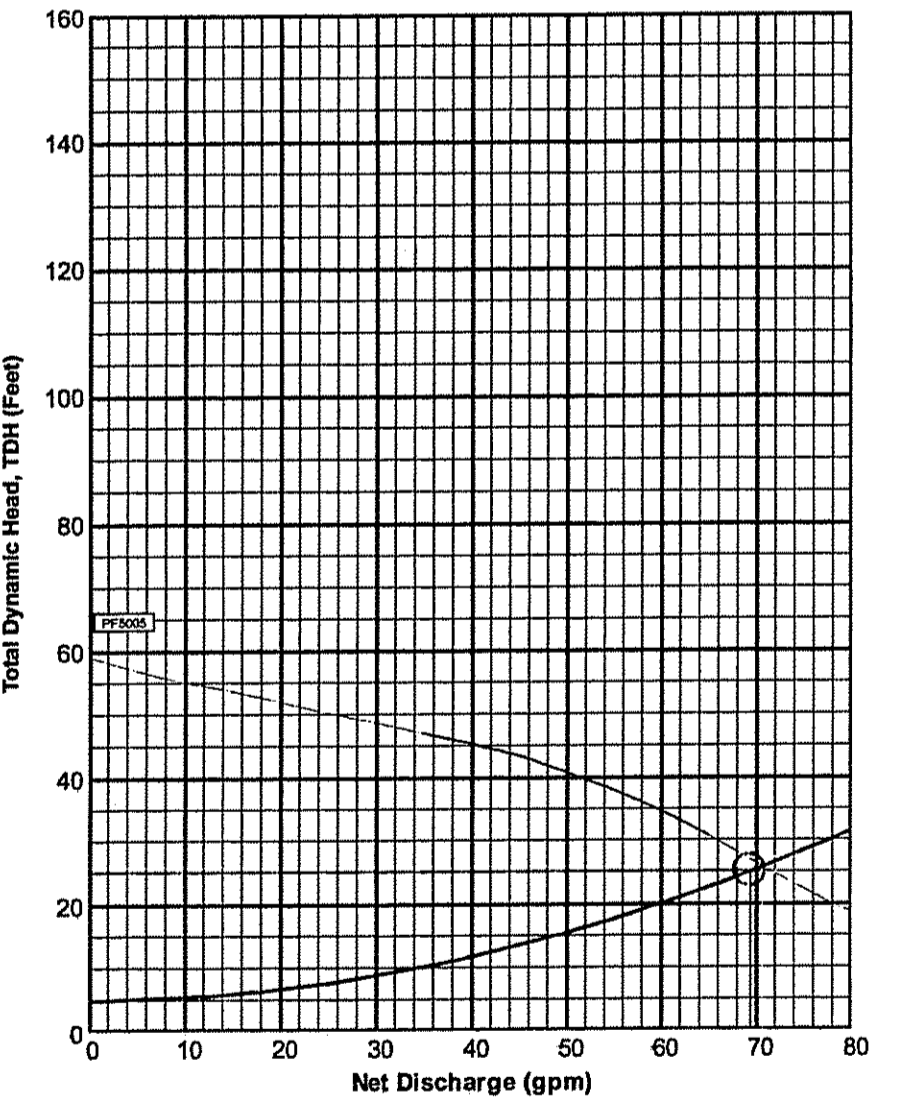
Loss through Discharge	9.6	feet
Loss in Transport	1.5	feet
Loss through Valve	0.0	feet
Loss in Manifold	2.2	feet
Loss in Laterals	0.2	feet
Loss through Flowmeter	0.0	feet
Add-on Friction Losses	0.0	feet

**Pipe Volumes**

Vol of Transport Line	3.7	gals
Vol of Manifold	0.2	gals
Vol of Laterals per Zone	1.8	gals
Total Volume	5.6	gals

**Minimum Pump Requirements**

Design Flow Rate	69.3	gpm
Total Dynamic Head	25.1	feet

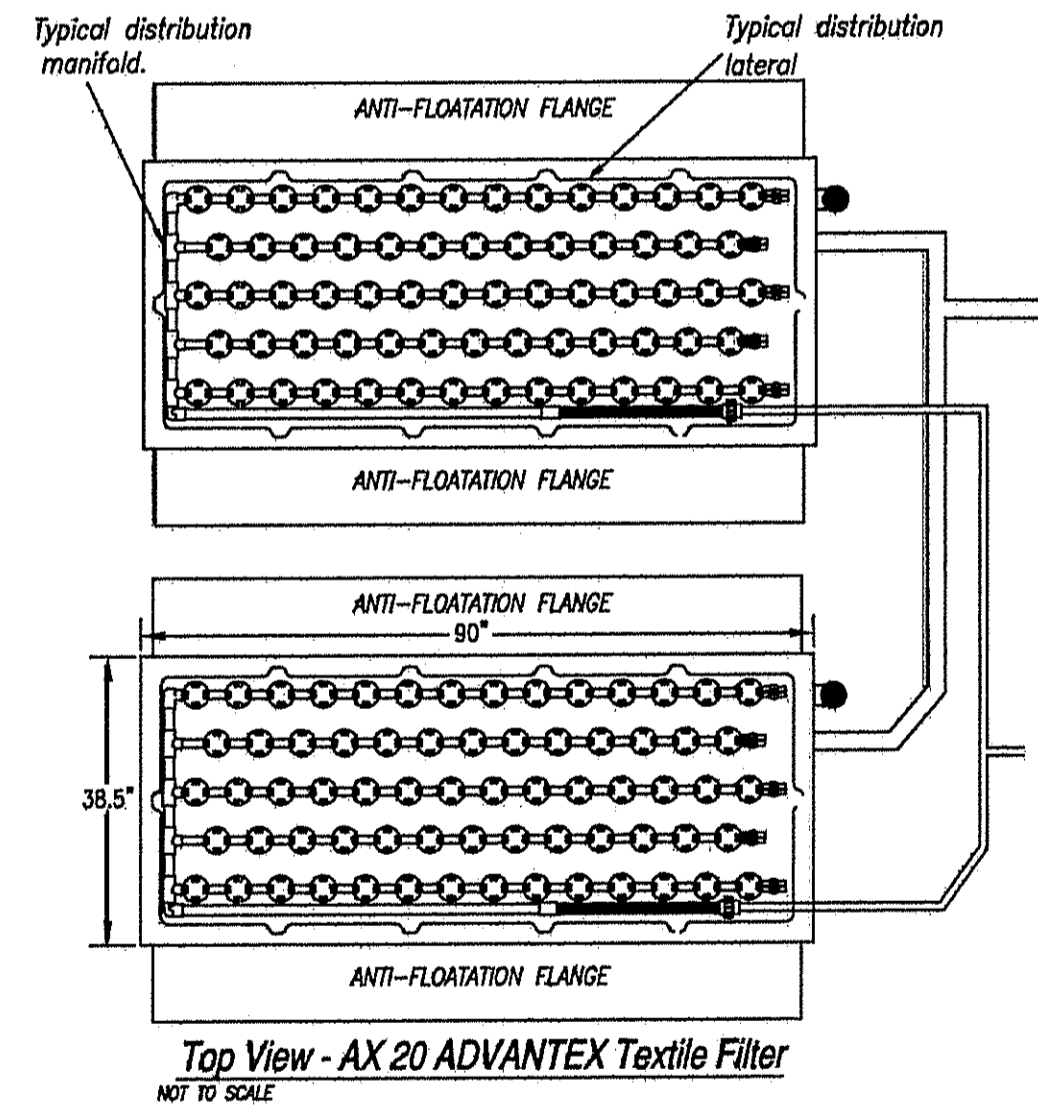


**Pump Data**

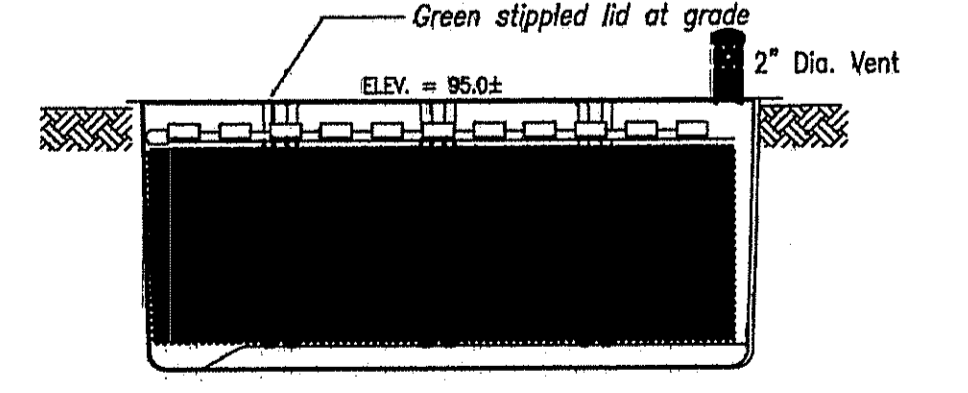
PF5005 High Head Effluent Pump	50 GPM, 12HP
115/230 V 60 Hz, 200/230 V 3/3 60 Hz	

**Legend**

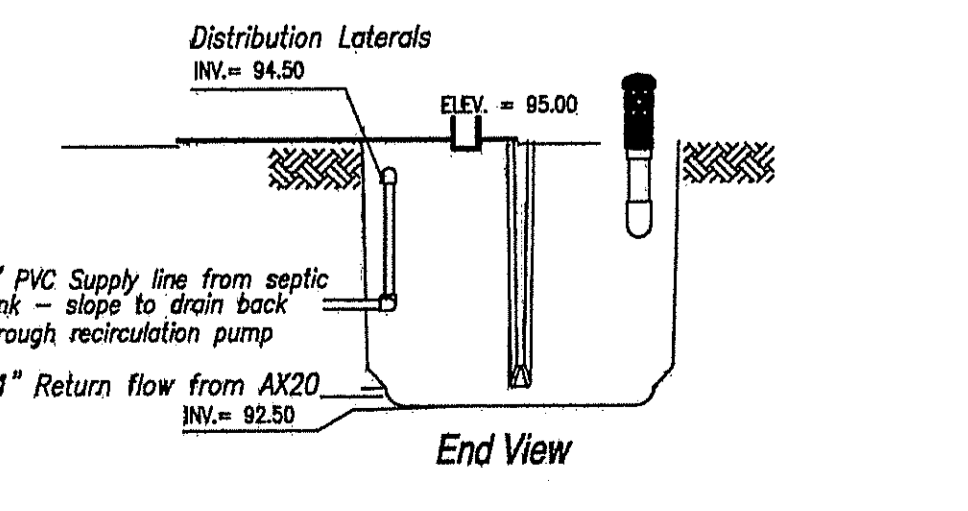
System Curve	—
Pump Curve	—
Pump Optimal Range	—
Operating Point	●
Design Point	○



**Top View - AX20 Advantex Textile Filter**  
NOT TO SCALE



**Side View - AX20 Advantex Textile Filter**



**End View**

**OWTS NOTES:**

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ON-SITE WASTEWATER TREATMENT SYSTEMS, AS AMENDED.
2. OUTLET TEE TO BE INSTALLED IN SEPTIC TANK.
3. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND DIMENSIONS PRIOR TO STARTING WORK, HE SHALL NOTIFY THE ENGINEER OF ANY DEVIATIONS FROM THE PLANS IN WRITING TEN (10) DAYS BEFORE.
4. HEAVY EQUIPMENT SHALL NOT BE PERMITTED TO PASS OVER THE SEEPAGE AREA DURING CONSTRUCTION.
5. STRIP ALL TOPSOIL, SUBSOIL AND UNDESIRABLE MATERIAL TO A 0' PERIMETER AROUND SYSTEM AND BACKFILL WITH CLEAN BANK RUN GRAVEL.
6. MAINTAIN A 25" DISTANCE BETWEEN SYSTEM AND PUBLIC WATER SUPPLY LINE.
7. CARE SHALL BE TAKEN TO ASSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
8. ALL DISTRIBUTION PIPES FOR A MINIMUM OF 2 FEET FROM DISTRIBUTION BOX SHALL BE LEVEL & UNPERFORATED.
9. ALL PIPING THROUGHOUT THE SYSTEM SHALL BE SCHEDULE 40, OR AS NOTED.
10. REMOVE ALL BRUSH AND TREES WITHIN 10' OF PROPOSED SYSTEM.
11. THERE ARE NO EXISTING OR PROPOSED WELLS OR DRAINS WITHIN 200' OF PROPOSED OWTS EXCEPT AS SHOWN.
12. THERE ARE NO EXISTING OR PROPOSED PUBLIC DRINKING WATER SUPPLY WELLS WITHIN 500' OF THE PROPOSED OWTS.
13. THERE ARE NO KNOWN OR PROPOSED DRAINS (INCLUDING FOUNDATION SUB-DRAINS) WITHIN 25' OF PROPOSED OWTS.
14. NO GARBAGE DISPOSALS PERMITTED.

**DESIGN DATA**

ESHWIT = TH16-01 84" TH16-02 84"  
DEPTH OF TEST HOLES = 10'  
SOIL CATEGORY = 1m  
LOADING RATE = 0.61 GALS/SQ.FT./DAY  
TYPE OF USE = RESIDENTIAL 5-BEDROOMS  
TOTAL DAILY FLOW = 5 BEDROOMS x 115 GAL/DAY = 575 GPD  
REQUIRED LEACHING AREA =  $\frac{575 \text{ GPD}}{0.61 \text{ GALS/SQ.FT./DAY}} = 942.6 \text{ SQ.FT.}$   
REQUIRED LEACHING AREA WITH 50% REDUCTION APPLIED FOR PRE-TREATMENT = 472 SF  
STONE TRENCHES W/12" STONE UNDER (3' WIDE)  
3 LINES AT 40 LF EACH; 3 X 40' = 120' X 3.7 SF/LF = 444.0 SF  
2 X 5' = 10' X 3.7 SF/LF = 37.0 SF  
TOTAL LEACHING AREA PROVIDED = 481.0 SF

**SCHEDULE OF PVC PIPE SIZES**

BUILDING TO SEPTIC TANK → 4" SCH 40  
SEPTIC TANK TO RECIRC TANK → 4" SCH 40  
RECIRC TANK TO ADVANTEK UNIT → 2" SCH 40 OR EQUAL  
ADVANTEK UNIT TO RECIRC TANK (RSV) → 1" SCH 40 OR EQUAL  
RSV TO D-BOX → 4" SCH 40 OR EQUAL

**LIST OF COMPONENTS**

1. 1,500 GALLON 2-COMPARTMENT CONCRETE SEPTIC TANK WITH EFFLUENT FILTER.
2. 1,000 GALLON 2-COMPARTMENT CONCRETE SEPTIC TANK WITH RECIRCULATING EFFLUENT PUMP SYSTEM WITH ONE (1) ORENCO PF5005 PUMP.
3. TWO (2) AX20 ADVANTEK TEXTILE FILTER UNITS.
4. THREE (3) 40' LONG, 3-FOOT WIDE TRENCHES WITH 12" OF 1.5-2" STONE UNDERNEATH.
5. ORENCO SYSTEMS, INC. CONTROL PANEL.

**SOIL DESCRIPTION\***

SEV TH16-01 ESHWT = 84" TOTAL DEPTH OF TH = 120'

HORIZON	DEPTH	TEXTURE	SOIL CATEGORY
Ap	0-6"	SL	J
Bw1	6-11"	SL	3
Bw1	11-22"	CS	3
C1	22-50"	ChCCOS	1m
C2	22-120"	ChCCOS	1m

\* SOIL EVALUATION PERFORMED ON 3/11/16 BY RIDEM SOIL EVALUATOR D-4050; SEE ATTACHED SITE EVALUATION REPORT FOR FULL PROFILE DESCRIPTION.

**NOTE:**  
INSTALLER SHALL NOTIFY DESIGNER PRIOR TO BEGINNING OF INSTALLATION TO SCHEDULE INSPECTIONS.

**RIDEM JOINT PERMIT APPLICATION**

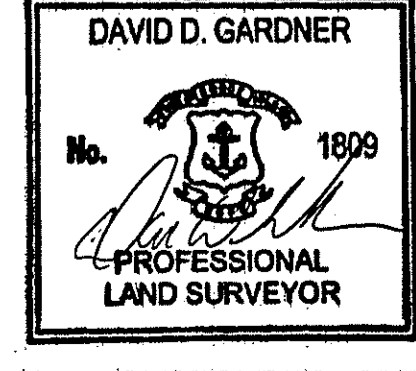
OWTS APPLICATION NO. 1622-0117  
FRESHWATER WETLAND APPLICATION NO. 16-0170

**PROPOSED OWTS DETAILS**

OFF COONEYM ROAD  
NEW SHOREHAM, R.I.  
FOR  
R. BRUCE & MARGARET C.  
MONTGOMERY  
A.P. 14 LOT 32

DAVID D. GARDNER & ASSOCIATES, INC.  
200 METRO CENTER BOULEVARD  
WARWICK, RHODE ISLAND 02886  
(401) 738-3800 FAX:(401) 739-4740  
ENGINEERS • SURVEYORS • PLANNERS

DATE	PROJECT NO.
5/5/2016	14-015
SCALE	DRAWING NO.
AS NOTED	4-015-SITE PLAN
REVISIONS	DESIGNED BY
DEV COMMENTS	D.D.G.
7/26/2016	DRAWN BY
	S.B.C.
	CHECKED BY
	D.D.G.
SHEET NO.	
2	
SHEET 2 OF 3	



**EROSION CONTROL PROGRAM**

PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE.

CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES AND STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO.

THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

**SEDIMENTATION CONTROL PROGRAM**

ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL SHALL RECEIVE TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THIS WILL INCLUDE LOAMING AND SEEDING, MULCHING, HAYMATS, ETC., TO STABILIZE THE AREA.

ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.

SHOULD SEDIMENTS ENTER A CRITICAL AREA, (WETLAND, BUFFER ZONE, ADJUTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE EFFECTED AREA.

**SOIL STABILIZATION & PLANTING PROGRAM**

ACCEPTABLE PLANTING MATERIALS:

LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.

SEED MIXTURES - ALL LEGUME SEED SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH AND SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER.

FOR RELATIVELY FLAT SLOPES:

MIX	% BY WEIGHT
RED FESCUE - CHEWING'S PENNLAWN	70
OR CREEPING	
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
PERENNIAL RYEGRASS	10
- SEEDING RATE = 100 LBS. PER ACRE	

FOR STEEP SLOPES 3:1 OR GREATER

MIX	% BY WEIGHT
RED FESCUE - PENNLAWN OR CREEPING	75
PERENNIAL RYEGRASS	5
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
BIRDSFOOT TREFLOID - EMPIRE	15
- SEEDING RATE: 100 LBS. PER ACRE	

FOR SOD WATERWAYS, DRAINAGE DITCHES, DRAINAGE BASINS:

MIX	% BY WEIGHT
CREEPING RED FESCUE	50
TALL FESCUE OR REED CANARYGRASS*	50

\* USE REED CANARYGRASS WHERE MOWING IS NOT REQUIRED.

THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. CONTRACTOR SHOULD COORDINATE ON ALL DISTURBED AREAS. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.

REFERENCE IS HEREBY MADE TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK PUBLISHED BY THE SOIL CONSERVATION SERVICE. THE GUIDELINES SHOWN THEREIN SHOULD BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON SITE.

**PROJECT NARRATIVE**

THE SUBJECT SITE IS LOCATED OFF OF COONEYMUS ROAD IDENTIFIED AS ASSESSOR'S MAP 14, LOT 32 IN THE TOWN OF NEW SHOREHAM. THE PARCEL CONTAINS 7.0 ACRES OF LAND. THE LOT IS VACANT AND CONSISTS OF UPLANDS AND WETLANDS.

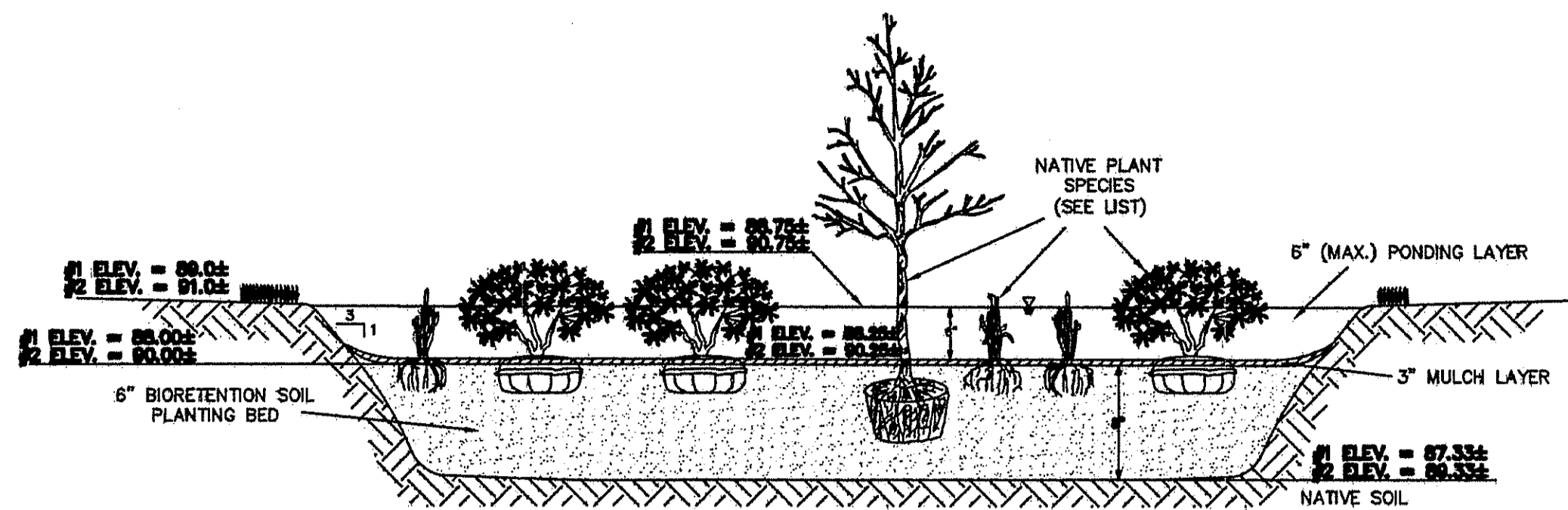
THE APPLICANT IS PROPOSING TO CONSTRUCT 5-BEDROOM SINGLE FAMILY DWELLING AND ASSOCIATED SITE IMPROVEMENTS, INCLUDING A GRAVEL DRIVEWAY, ON-SITE WASTEWATER TREATMENT SYSTEM, PRIVATE WELL AND BIORETENTION AREA TO TREAT ROOF RUN-OFF FOR WATER QUALITY. THERE IS NO PROPOSED LAND DISTURBANCE WITHIN THE RIVERBANK WETLAND. THERE IS MINIMAL DISTURBANCE PROPOSED WITHIN A PORTION OF THE PERIMETER WETLAND ADJACENT TO THE ROAD THAT IS NECESSARY FOR ACCESS TO THE UPLAND PORTION OF THE SITE.

**CONSTRUCTION SEQUENCE**

1. THE PROPOSED LAND DISTURBANCE AND CONSTRUCTION WILL BE COMPLETED IN THE FOLLOWING PHASES:
1. INSTALL ALL EROSION & SEDIMENT CONTROL MEASURES ON SITE AND OFF SITE IF NECESSARY.
2. CLEAR PROPERTY, STRIP, REMOVE AND STOCKPILE TOPSOIL TO DESIGNATED PROTECTED AREA.
3. EXCAVATE AREA FOR FOUNDATION; STOCKPILE MATERIAL TO DESIGNATED PROTECTED AREA.
4. POUR FOUNDATION, INSTALL OWTS, WELL AND BIORETENTION AREAS; CONNECT SITE UTILITIES.
5. RE-GRADE, RE-LOAM & SEED SITE AND COMPLETE FINAL SITE LANDSCAPING.

**GENERAL NOTES**

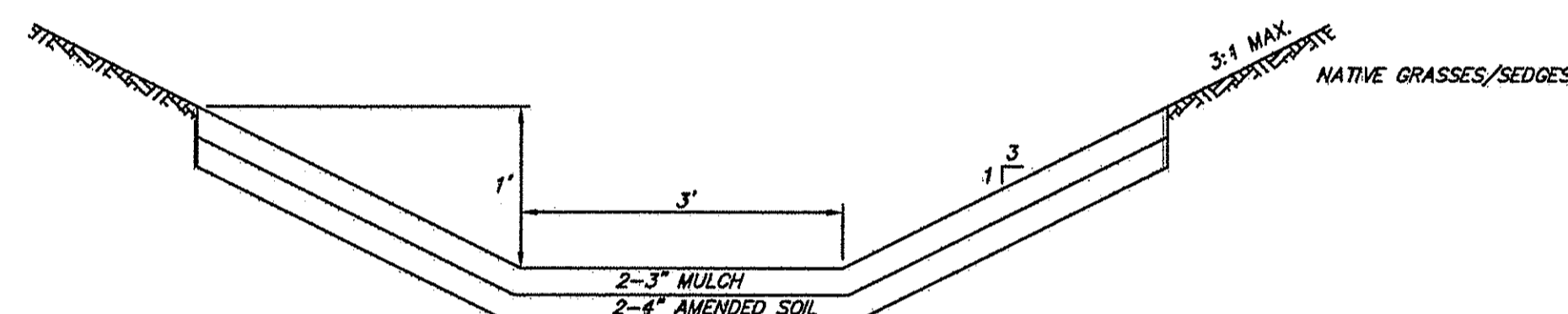
1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
2. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES AND TO MAINTAIN THE INTEGRITY OF THE SAME. ANY DAMAGE TO AND THE COST OF REPAIR OF UTILITIES, ROADWAYS, STRUCTURES AND SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
3. ALL WORKMANSHIP AND MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS AND SPECIFICATIONS PUBLISHED FOR ROAD AND BRIDGE CONSTRUCTION.
4. CONTACT DIG-SAFE AND UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY. UTILITY COMPANIES AND ALL OTHER REQUIRED PARTIES AND SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
6. ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS AND SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION AND SHALL CLARIFY ANY QUESTIONS BEFOREHAND.



**BIORETENTION AREA (RAIN GARDEN) - TYPICAL CROSS-SECTION NOT TO SCALE**

**BIORETENTION AREA NOTES**

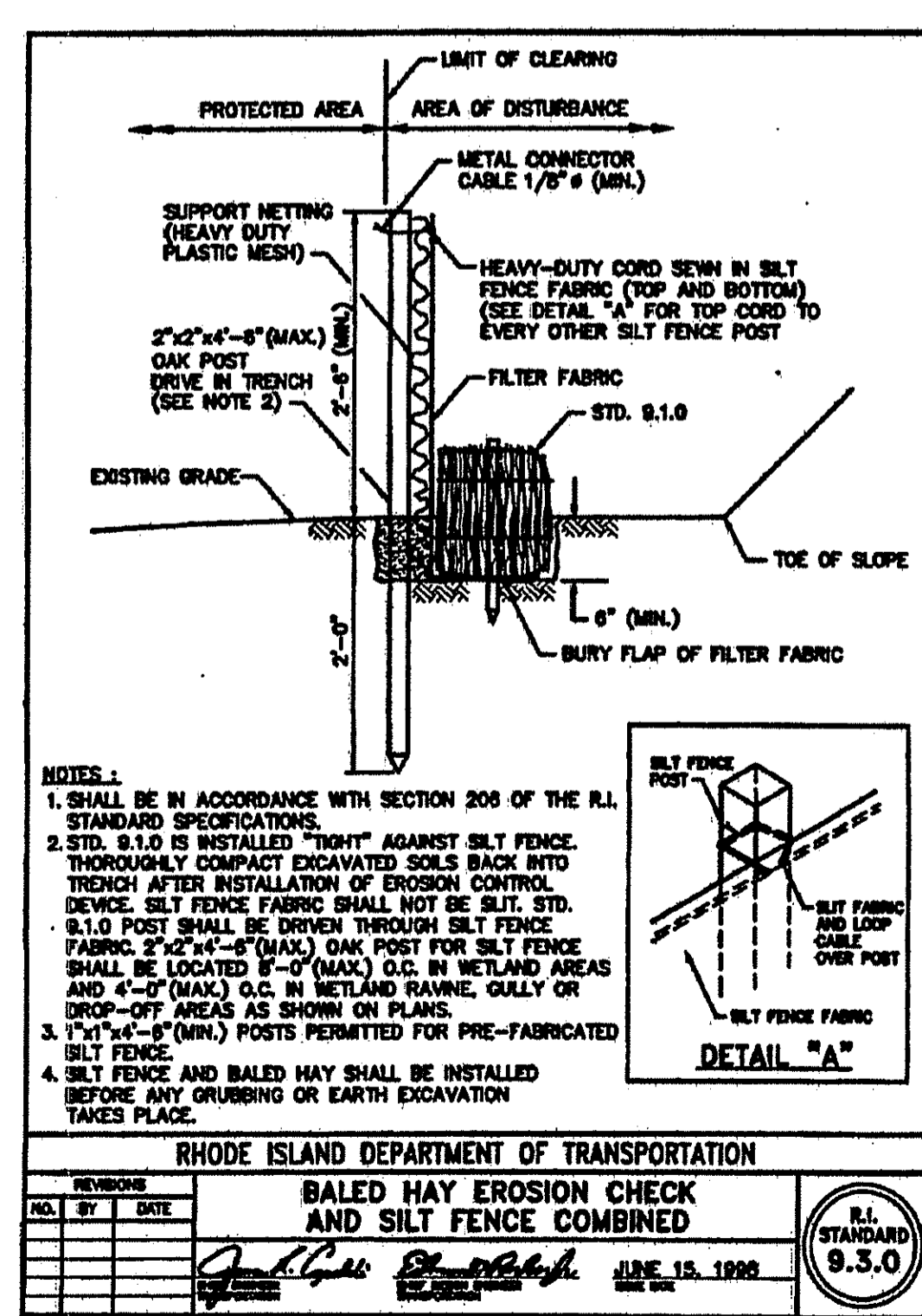
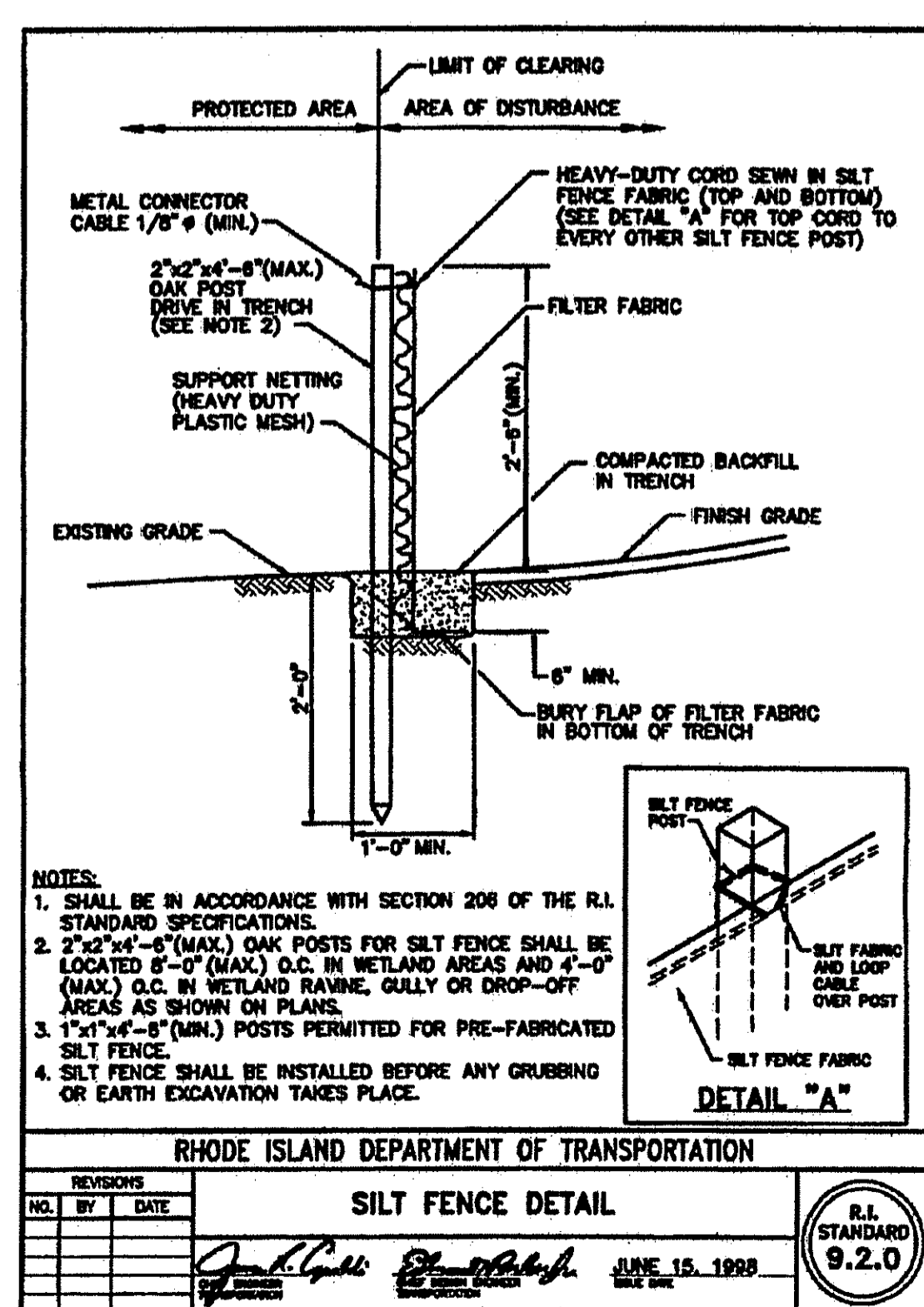
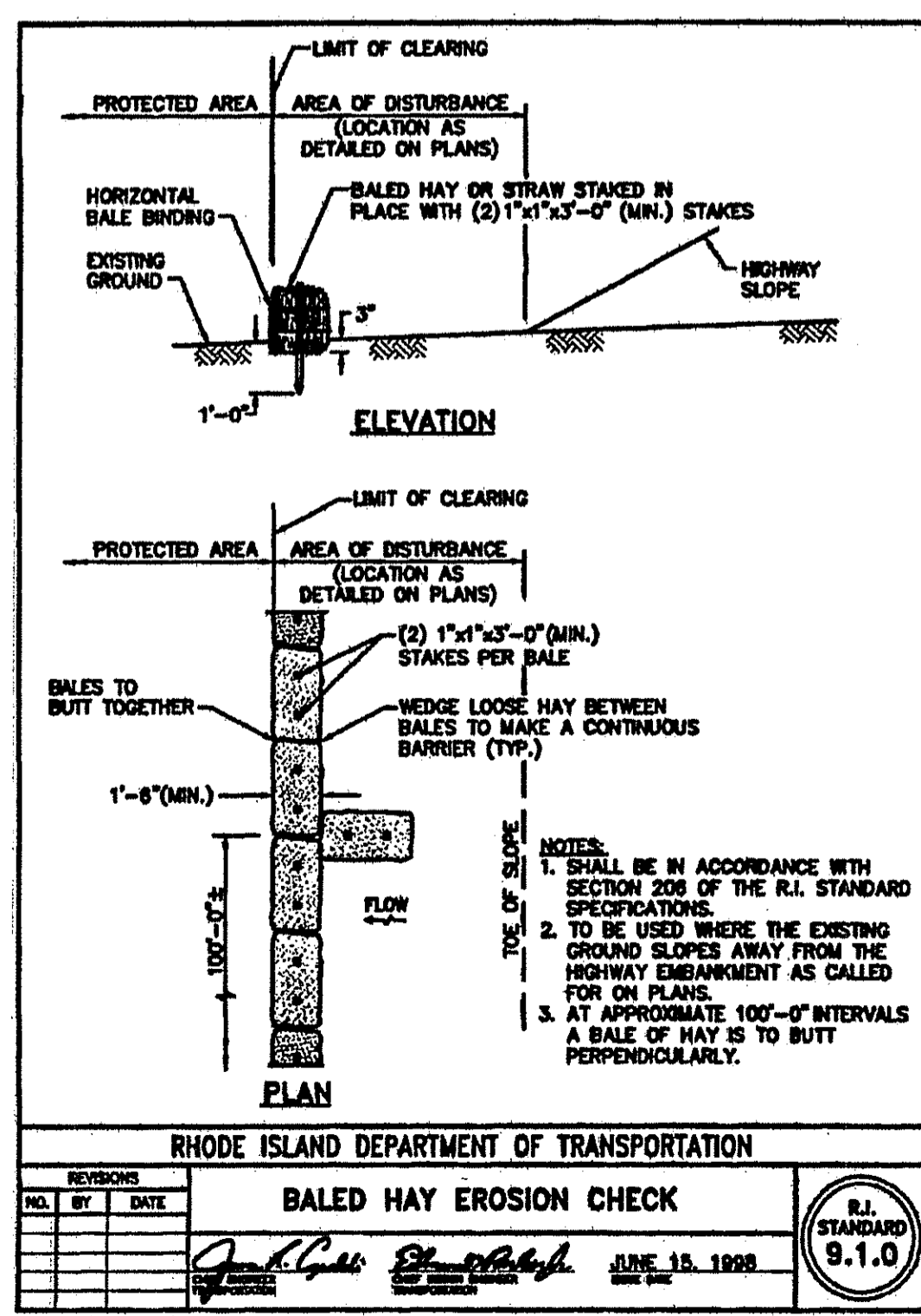
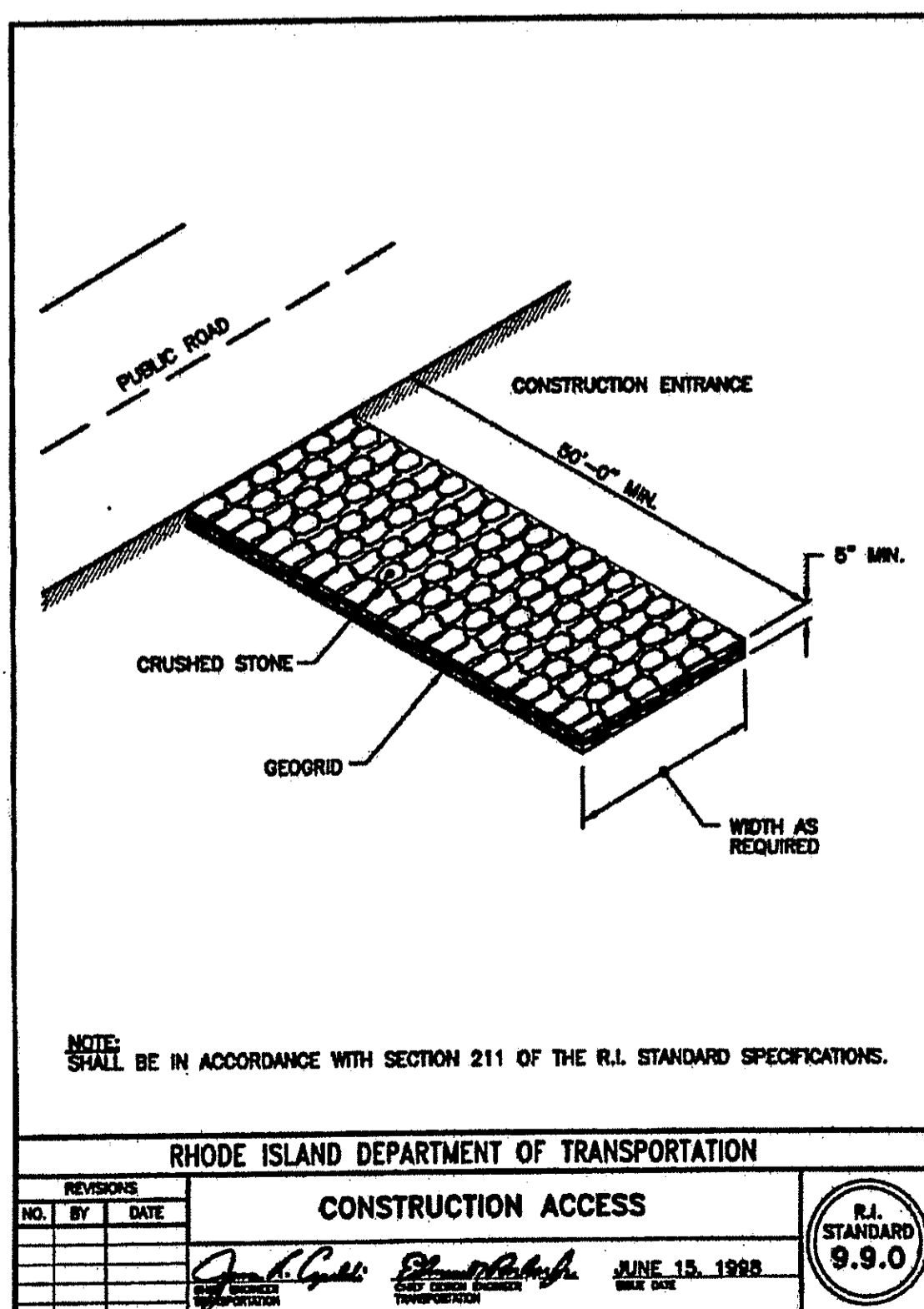
1. A FULL PLANTING DETAIL SHALL BE PROVIDED FOR FINAL DEVELOPMENT PLAN REVIEW.
2. PLANT SPECIES ARE TO BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE PREPARED BY THE URI CELS AND RICHIE. ONLY THOSE NATIVE PLANTS THAT ARE SUITABLE FOR RAIN GARDENS AND ARE TOLERANT OF WET SITE CONDITIONS.
3. ROOF GUTTER DOWNSPOUTS SHALL DIRECT WATER TO BIORETENTION AREA VIA UNDERGROUND PIPING OR OVERLAND WHERE UNDERGROUND PIPING IS UNFEASIBLE OR NOT PERMISSIBLE.
4. USE 8" DEEP SOIL PLANTING BED AND 6" (MAX.) PONDING. SURFACE AREA OF PLANTING BED FOR BIORETENTION AREA SHALL BE 100 SF FOR REQUIRED WOV.



**NOTES:**

1. SWALE SEEDING SHALL BE AN EQUAL MIXTURE OF CREEPING RED FESCUE & TALL FESCUE.
2. SLOPES AND OTHER AREAS SHALL BE LOAMED AND SEEDING AS PER THE SOIL STABILIZATION AND PLANTING PROGRAM LISTED ON THIS SHEET.
3. SWALE AREA TO BE PROTECTED WITH TEMPORARY EROSION CONTROL MATTING TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
4. VEGETATED SWALE SHALL BE INSTALLED PER THE State of Rhode Island Stormwater Management Guidance for Individual Single-Family Residential Lot Development.

**GRASSED SWALE NOT TO SCALE**



Baled Hay is no longer permissible Use alternative erosion control per RI DEM.

**RIDEM JOINT PERMIT APPLICATION**  
OWTS APPLICATION NO. 1622-0117 FRESHWATER WETLAND APPLICATION NO. 16-0170

**PROPOSED SITE DETAILS**  
OFF COONEYMUS ROAD  
NEW SHOREHAM, R.I.  
FOR  
**R. BRUCE & MARGARET C. MONTGOMERY**  
A.P. 14 LOT 32  
**DAVID D. GARDNER & ASSOCIATES, INC.**  
200 METRO CENTER BOULEVARD  
WARWICK, RHODE ISLAND 02886  
(401) 736-5200 | FAX: (401) 736-4740  
ENGINEERS • SURVEYORS • PLANNERS

DATE	PROJECT NO.
6/16/2016	14-015
SCALE	DRAWING NO.
AS NOTED	4-015-SITE PLAN
REVISIONS	DESIGNED BY
REV. COMMENTS	D.D.G.
7/26/2016	DRAWN BY
	S.B.C.
	CHECKED BY
	D.D.G.

SHEET NO. 3  
SHEET 3 OF 3