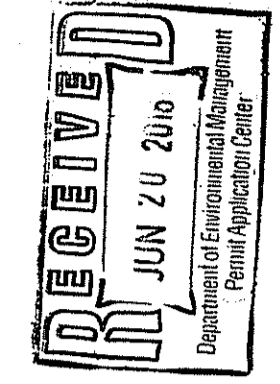


Regulatory Plan Submission

Steeple View Place

East Greenwich, Rhode Island

Assessor's Plat 64 Lot 5-106



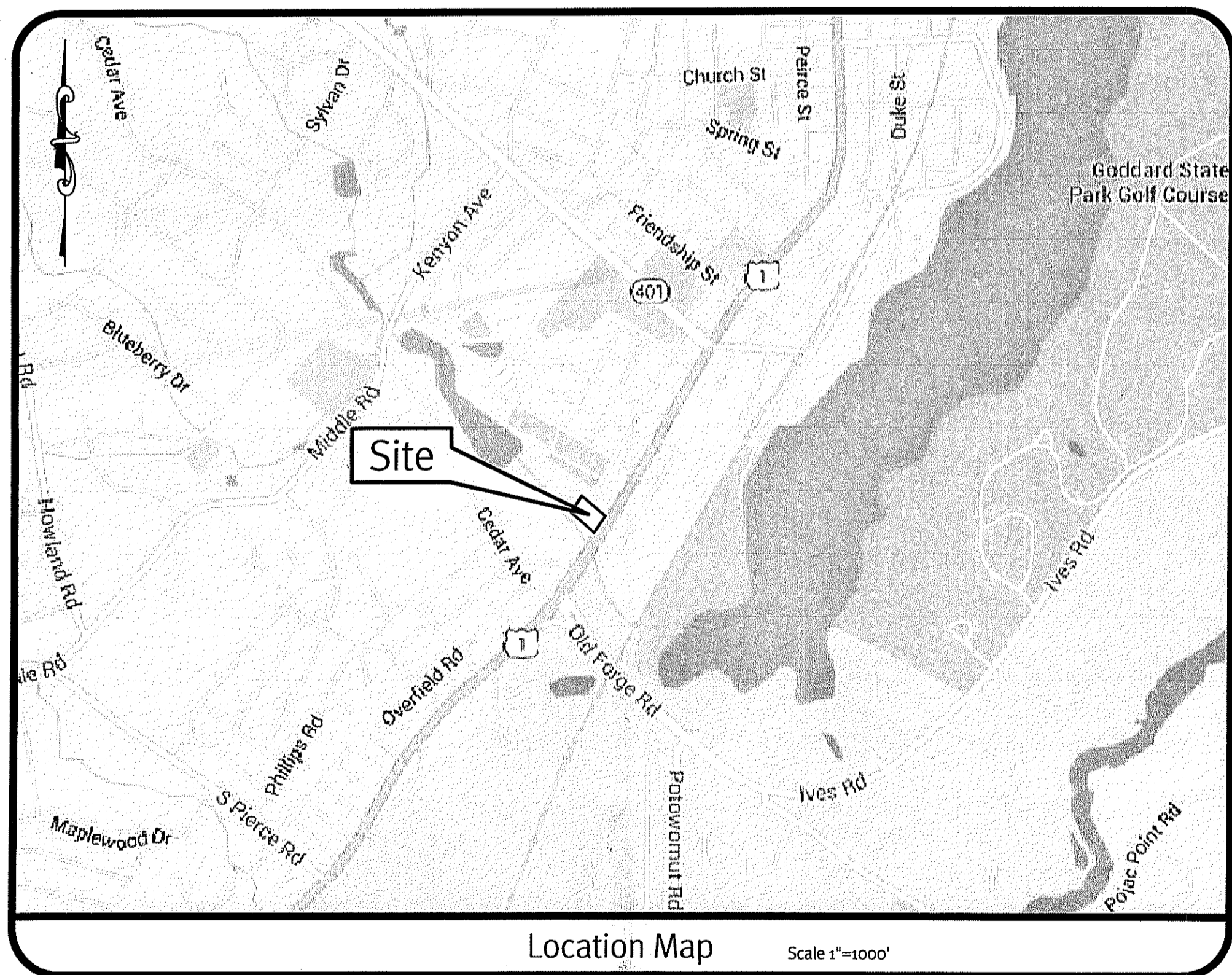
DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com
 Boston • Providence • Newport

BRANDON D. CARR
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, materials, and requirements and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By: R.B.S.
1	08/17/2016	Regulatory Plan Submission	Design By: R.B.S.

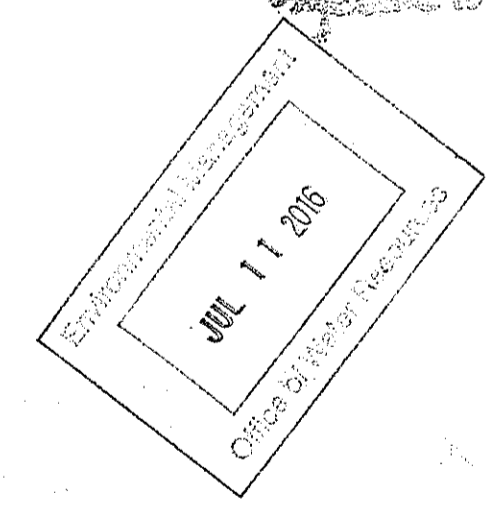
Cover Sheet
Steeple View Place
 Applicant
620 Main Street Associates, LLC
 99 Marlborough Street, East Greenwich, RI 02818
 DE Job No: 2386-001 Copyright 2016 by DiPrete Engineering Associates, Inc.



Sheet Index

1. Cover Sheet
2. General Notes & Legend Sheet
3. Aerial & USGS Map
- 1 of 1. Boundary/ Topographic Survey
5. Soil Erosion Control Sheet
6. Site Layout Sheet
7. Grading & Utility Sheet
8. Detail Sheet 1
9. Detail Sheet 2
10. Detail Sheet 3

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 17 2016 FILE # 16-0184
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.



SESC / O&M
 The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

RIDOT
 The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

z:\dmain\projects\2386-001_main\street_1001\autocad drawings\2386-001-den.dwg Plotdate: 6/16/2016

General Notes:

- 1. THE SITE IS LOCATED ON THE TOWN OF EAST GREENWICH ASSESSOR'S PLAT 64 LOT 5-106.
2. THE SITE IS APPROXIMATELY 0.989± ACRES AND IS CURRENTLY ZONED CD2.
3. THE OWNER OF AP 64 LOT 5-106 IS: POJAC POINT PARTNERSHIP
1001 MAIN STREET
PO BOX 386
EAST GREENWICH, RI 02818
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X (UNSHADED) AND AE ELEVATION 19. REFERENCE FEMA FLOOD INSURANCE RATE MAP 4400300139H, MAP REVISED SEPTEMBER 18, 2013. (FLOOD PLAN DESCRIPTIONS SHOWN ABOVE)
5. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS I SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THE PLAN ITSELF CONFORMS ONLY TO A CLASS III STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.
6. SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
7. THE SITE IS WITHIN A:
NATURAL HERITAGE AREAS (RIDEM)
GROUNDWATER RECHARGE AREA (RIDEM)
GROUNDWATER RESERVOIR AREA (RIDEM)
7. THE SITE IS NOT WITHIN A:
NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (ORMC)
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (ORMC)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
8. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION
• OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION
9. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT:
HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
10. DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
11. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
12. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF EAST GREENWICH SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
13. THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
14. SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON APRIL 27, 2016.

Erosion Control Notes:

- 1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. THE SITE CONTRACTOR SHALL PLACE EROSION CONTROLS PRIOR TO DEMOLITION AND MAINTAIN THESE EROSION CONTROLS THROUGHOUT THE DURATION OF THE PROJECT.
3. CONTRACTOR TO PROVIDE INLET SEDIMENT CONTROL AND STORMWATER FILTRATION DEVICES AT ALL EXISTING ADJACENT CATCH BASINS DOWNGRADIENT FROM THE LIMIT OF DISTURBANCE AND AS DETAILED ON THIS PLAN SET.
4. STOCKPILE AND CONCRETE WASHOUT LOCATIONS TO BE DETERMINED BY CIVIL ENGINEER, AND SITE CONTRACTOR PRIOR TO CONSTRUCTION. NO STOCKPILING OF MATERIAL TO BE LOCATED IN RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE AS DIRECTED BY THE OWNER.
5. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST THAT MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE, AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY. DUST CONTROL TREATMENTS SHALL BE CONSISTENT WITH RIDEM BEST MANAGEMENT PRACTICES.
6. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

Layout and Materials:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PRECAST CONCRETE OR AS LABELED ON THE PLANS.
4. SIDEWALK SHALL BE CONCRETE OR AS LABELED ON THE PLANS.
5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
7. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
8. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Demolition Notes:

- 1. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 72 HOURS PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAIL BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON MAIN STREET.
4. ANY DAMAGE TO EXISTING BUILDING AND PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS TO INCLUDE BUT NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF DISTURBANCE SHALL BE RESTORED TO MATCH THE DESIGN PLANS.

Grading and Utility Notes:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ONSITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONSTRUCTION TO COMMENCE SUMMER 2016 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
3. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF EAST GREENWICH STANDARD SPECIFICATIONS AND DETAILS.
4. SEQUENCE OF CONSTRUCTION SHOWN IN SESC MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
6. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
7. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
8. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
9. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
10. ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
11. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
12. ALL COMPONENTS OF THE DRAINAGE, SEWER AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
13. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
14. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
15. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ONSITE OR REMOVED.
16. NO STUMP DUMPS ARE PROPOSED ONSITE.
17. IF CONCRETE TRUCKS ARE WASHED OUT ONSITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

ADA Notes:

- 1. ALL IMPROVEMENTS SHALL COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE.
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 4.5% OR 0.045' /', AND MAXIMUM CROSS SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 0.015' /'.
3. MAXIMUM SLOPE IN ALL DIRECTIONS FOR ALL ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE 0.015' /'.
4. A 5'x5' LANDING WITH A MAXIMUM SLOPE OF 1.5% OR 0.015' /', IN ALL DIRECTIONS SHALL BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSES.
5. SIDEWALK CURB RAMPS SHALL COMPLY WITH DIPRETE ENGINEERING DETAILS THAT MEET OR EXCEEDING RIDOT STANDARDS 43.3.0, 43.3.1, & 43.4.1 AS SHOWN ON THE DETAIL SHEET.
6. PLEASE NOTE THAT THE GRADING AND PLAN VIEWS AS WELL AS THE STANDARD DETAILS MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS AND RAMPS TO ADA STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA STANDARDS. IN THE EVENT OF ANY CONFLICTS THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Traffic Notes:

- 1. DURING CONSTRUCTION TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE.
2. DURING CONSTRUCTION FLAGGERS SHALL BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
3. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES SHALL MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
4. TEMPORARY CONSTRUCTION SIGNS SHALL BE MOUNTED ON RIDOT APPROVED SUPPORTS AND SHALL BE REMOVED OR COVERED WHEN NOT APPLICABLE.
5. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES CURRENT EDITION.

RIDOT Notes:

- 1. ALL WORK WITHIN THE STATE'S R.O.W. WILL CONFORM TO RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED DECEMBER 2010 INCLUDING ALL REVISIONS AND THE RI STANDARD DETAILS.
2. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
3. NO LANE OR SHOULDER CLOSURES SHALL BE PERFORMED WITHIN THE STATE'S R.O.W. DURING PEAK TRAFFIC HOURS.
4. SEWER AND WATER CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT. CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
5. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORM WATER RUNOFF RATE DISCHARGE, AND STORM WATER RUNOFF VOLUME TO THE STATE RIGHT-OF-WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.

Development Data:

Table with 2 columns: Category and Value. Includes: TOTAL SITE AREA: 43,087 SF (0.989± ACRES); TOTAL NUMBER OF BUILDINGS: 1; TOTAL NUMBER OF UNITS: 21 (6 AFFORDABLE); TOTAL BUILDING AREA: 8,877 SF; TOTAL IMPERVIOUS AREA: 24,180 SF.

Dimensional Regulations:

Table with 2 columns: Category and Value. Includes: CURRENT ZONING: CD2; REQUESTING ZONE CHANGE TO: CD/CD1; MINIMUM LOT AREA: 5,000 SF/DWELLING UNIT; MINIMUM FRONTAGE AND LOT WIDTH: 50'; MINIMUM FRONT AND CORNER SIDE YARD: 170'; MINIMUM SIDE YARD: 10'; MINIMUM REAR YARD: 35'; MAXIMUM STRUCTURE HEIGHT: 35'; MAXIMUM LOT COVERAGE (STRUCTURE): 50%; MAXIMUM LOT COVERAGE (IMPERVIOUS*): 80%.

Parking Regulations:

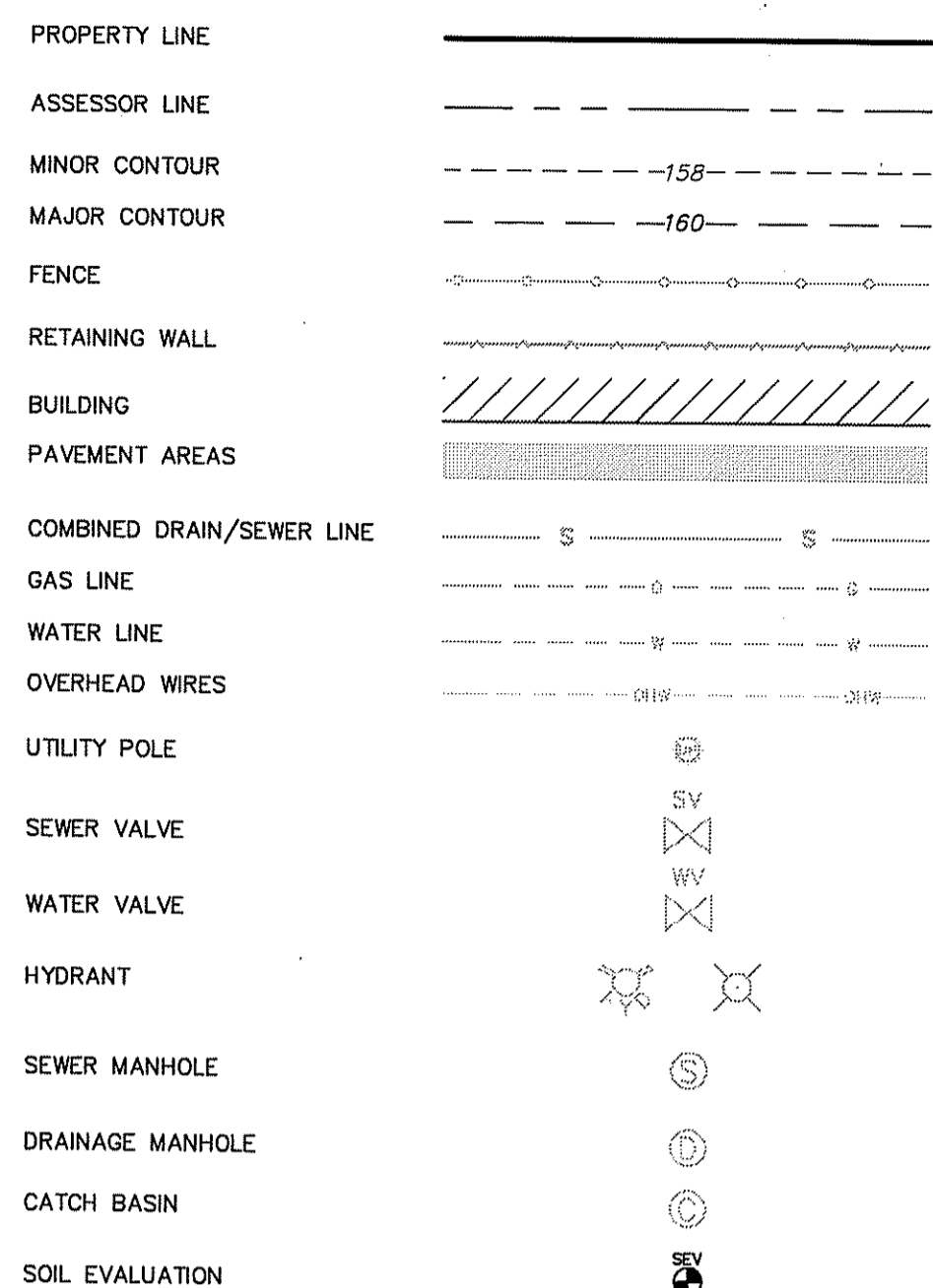
Table with 2 columns: Category and Value. Includes: PARKING USE: DWELLING UNITS; PARKING REQUIREMENT: 1.5 PER DWELLING UNIT; DWELLING UNITS: 21 UNITS; PARKING CALCULATION: 21 UNITS X 1.5 = 31.5 SPACES ≈ 32 SPACES; ADA PARKING REQUIRED: 2 SPACES; REQUIRED PARKING SPACES: 32 SPACES; PARKING SPACES PROVIDED: 32 SPACES; ADA PARKING PROVIDED: 2 SPACES.

Soil Information:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

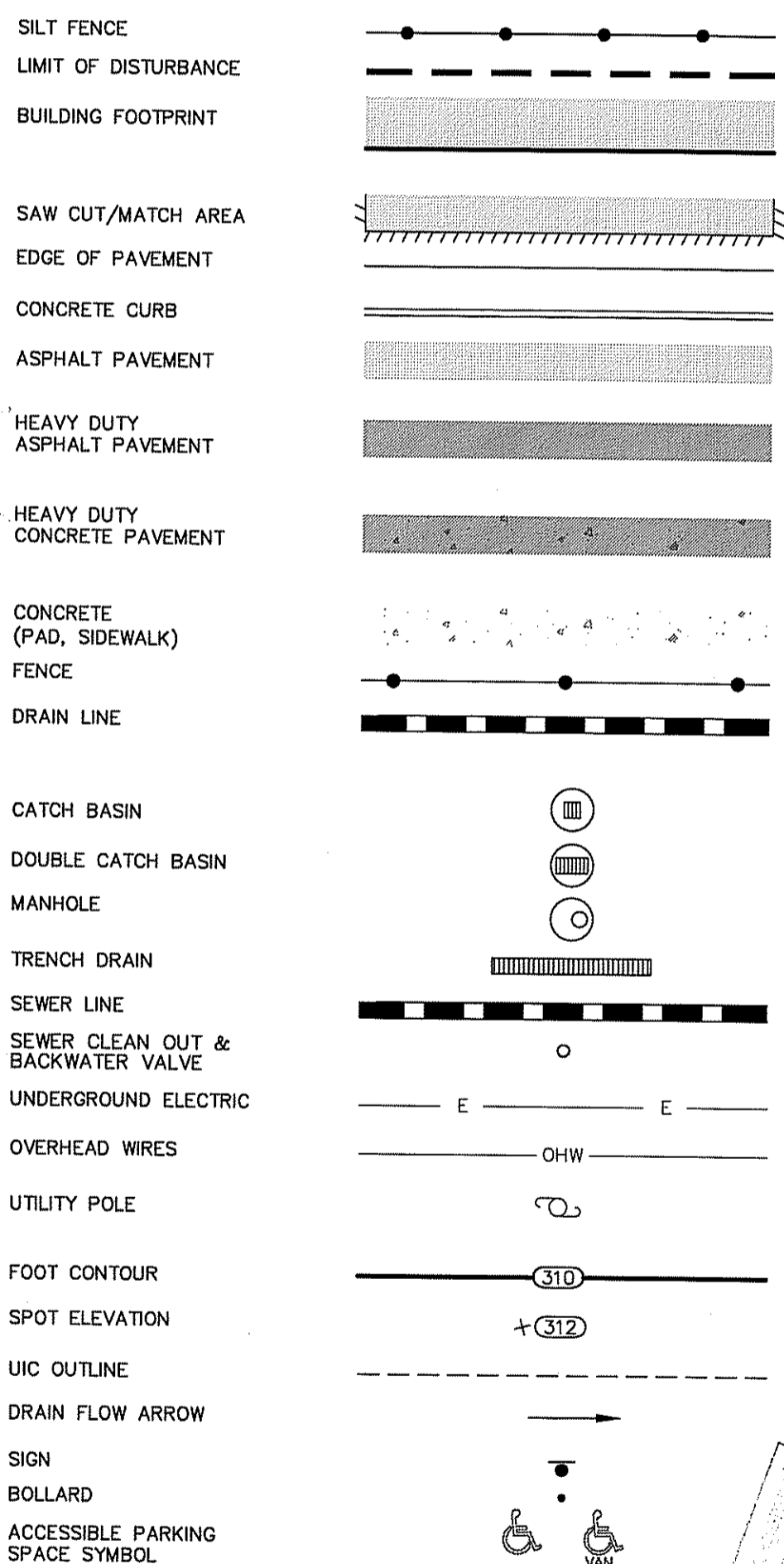
Table with 2 columns: SOIL NAME and DESCRIPTION. Includes: HKC HINCKLEY GRAVELLY SANDY LOAM, ROLLING.

Existing Legend:



NOTE: LEGEND ITEMS ARE STANDARD AND DO NOT APPEAR ON EVERY SHEET.

Proposed Legend:



NOTE: LEGEND ITEMS ARE STANDARD AND DO NOT APPEAR ON EVERY SHEET.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED AUG 17 2016 FILE # 16-0187 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DiPrete Engineering logo and contact information: Two Stafford Court Cranston, RI 02909, tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

BRANDON D. CARR REGISTERED PROFESSIONAL ENGINEER CIVIL stamp.

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative. The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

Table with 2 columns: Date and Description. Includes: 08-17-2016, Approval/Plan Submission, Design By: R.B.S.

General Notes & Legend Sheet Steeple View Place East Greenwich, Rhode Island Assessor's Plat 64, Lot 5-106 Applicant: 620 Main Street Associates, LLC 99 Marlborough Street, East Greenwich, RI 02818

z:\main\project\3366-001_main_street_1000\autocad\drawings\3366-001-dsm.dwg P:01.mxd 6/16/2016

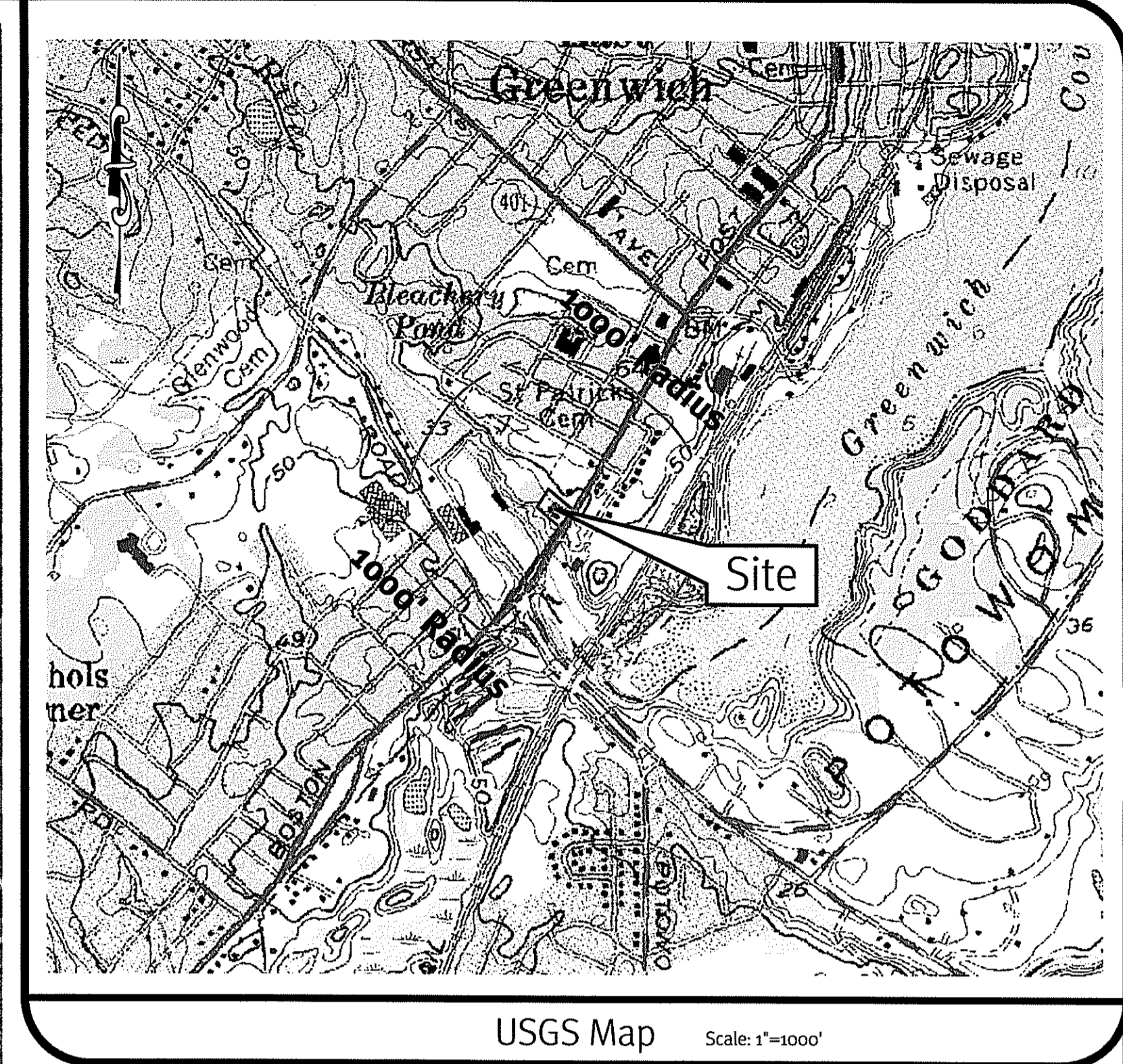
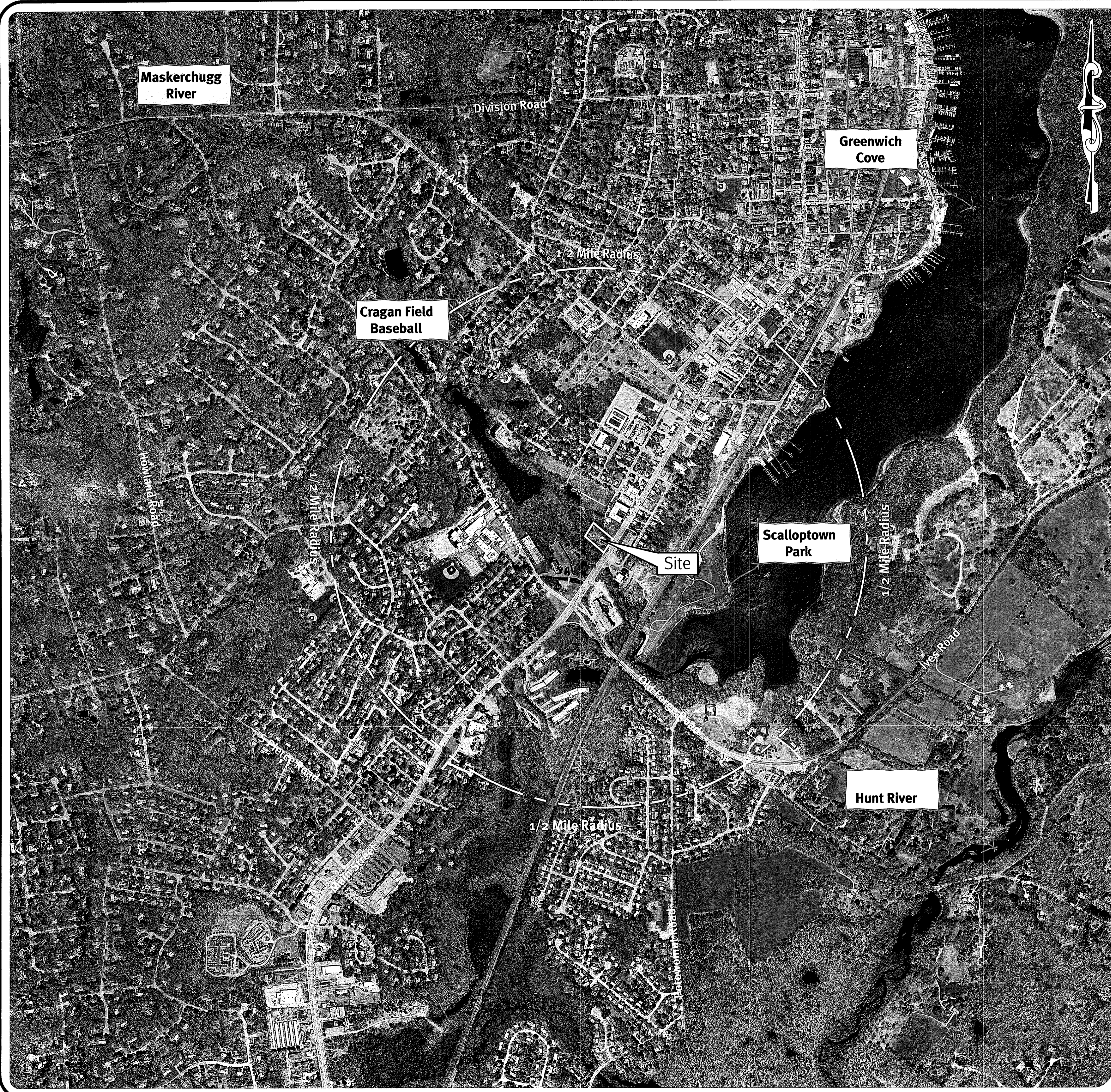
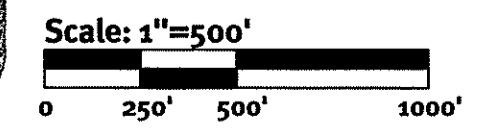


Photo obtained from the RI-GIS.

Legend:

- PROPERTY LINE
- 1000' RADIUS LINE
- HALF MILE RADIUS LINE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 17 2016 FILE # 16-0184
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-641-6006 www.diprete-eng.com

Boston • Providence • Newport

BRANDON D. CARR

 REGISTERED PROFESSIONAL ENGINEER CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

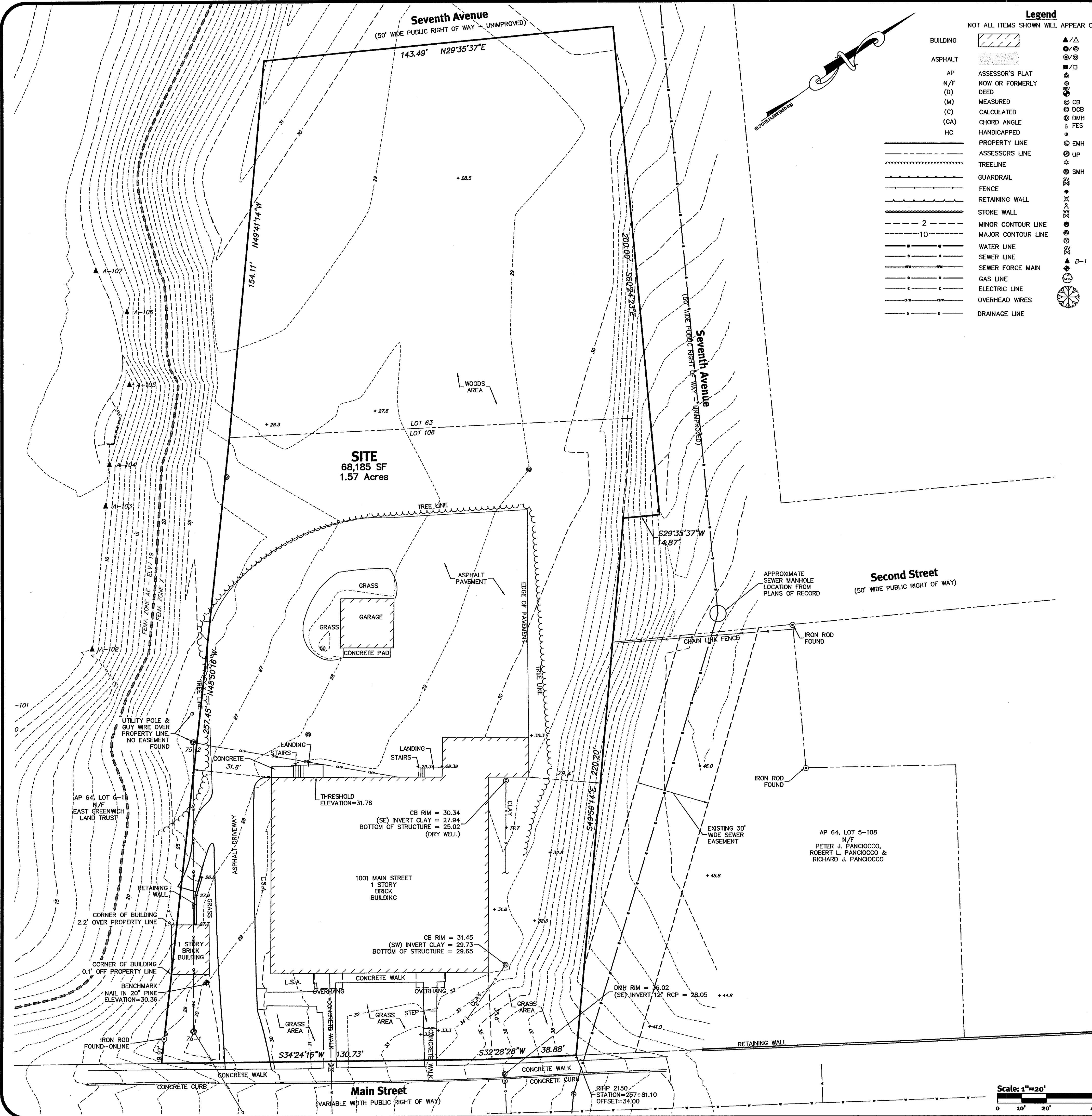
No.	Date	Description	By
1	6/16/2016	Regulatory Submission	R.B.S.
2			

Drawn By: R.B.S. Design By: R.B.S.

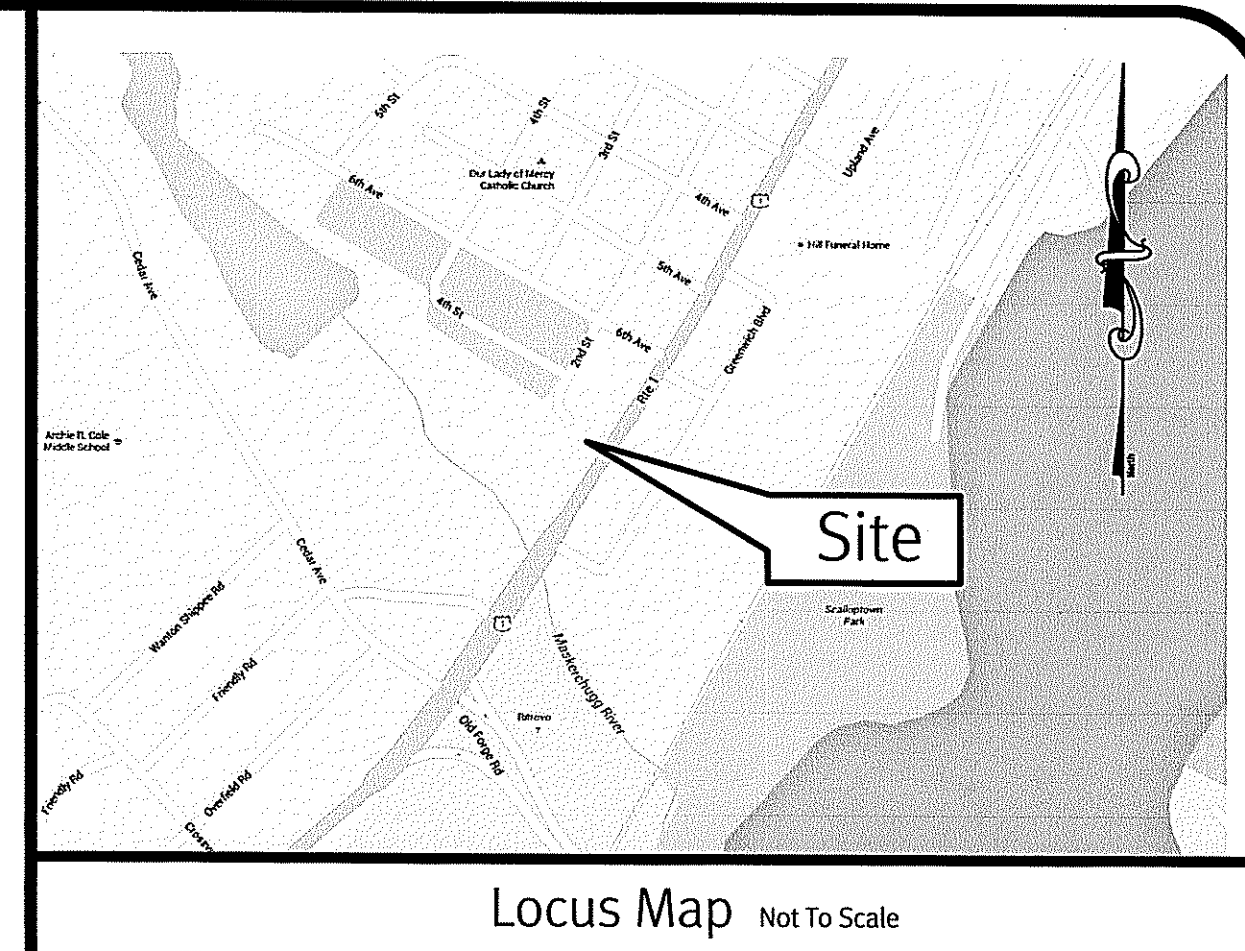
Aerial & USGS Map
Steeple View Place
 East Greenwich, Rhode Island
 Assessor's Plot 63, Lot 5-106
 Applicant
620 Main Street Associates, LLC
 99 Harborough Street, East Greenwich, RI 02818

DE. Job No: 2366-001. Copyright 2016 by DiPrete Engineering Associates, Inc.

SHEET **3** OF 10



- Legend**
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY
- | | | | |
|----------|--|-----|---------------------------|
| BUILDING | | ▲/△ | NAIL FOUND/SET |
| ASPHALT | | ○/◎ | DRILL HOLE FOUND/SET |
| AP | | ⊙/⊚ | IRON ROD/PIPE FOUND/SET |
| N/F | | □/◻ | BOUND FOUND/SET |
| (D) | | ⊙ | SIGN |
| (M) | | ⊙ | BOLLARD |
| (C) | | ⊙ | SOL EVALUATION |
| (CA) | | ⊙ | CATCH BASIN |
| HC | | ⊙ | DOUBLE CATCH BASIN |
| | | ⊙ | DRAINAGE MANHOLE |
| | | ⊙ | FLARED END SECTION |
| | | ⊙ | GUY POLE |
| | | ⊙ | EMH |
| | | ⊙ | ELECTRIC MANHOLE/HANDHOLE |
| | | ⊙ | UTILITY/POWER POLE |
| | | ⊙ | LIGHTPOST |
| | | ⊙ | SEWER/SEPTIC MANHOLE |
| | | ⊙ | SEWER VALVE |
| | | ⊙ | CLEANOUT |
| | | ⊙ | HYDRANT |
| | | ⊙ | IRRIGATION VALVE |
| | | ⊙ | WATER VALVE |
| | | ⊙ | WELL |
| | | ⊙ | MONITORING WELL |
| | | ⊙ | UNKNOWN MANHOLE |
| | | ⊙ | GAS VALVE |
| | | ⊙ | WETLAND FLAG |
| | | ⊙ | BENCH MARK |
| | | ⊙ | BUSH |
| | | ⊙ | TREE |



- General Notes**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 64, LOTS 5-63 & 5-106 IN THE TOWN OF EAST GREENWICH, KENT COUNTY, RHODE ISLAND.
 - THE OWNERS ARE NOW OR FORMERLY:
 - LOT 5-106 - POJAC POINT PARTNERSHIP PER DEED BOOK 1010, PAGE 27.
 - LOT 5-63 - OUR LADY OF MERCY PER DEED BOOK 26, PAGE 101.
 - THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4400300139H, DATED SEPTEMBER 18, 2013.
 - THE PARCEL IS ZONED CD2 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON FEBRUARY 2 & 3, 2016. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

Datum Note:

1. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

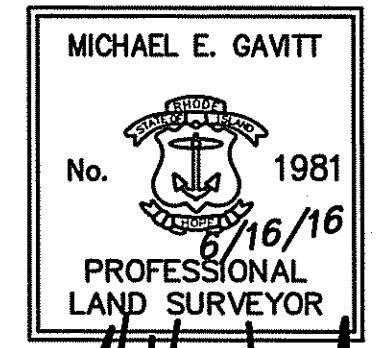
- Plan References:**
- RHODE ISLAND HIGHWAY PLAT NOS. 259, 650, 2150, 2150A, 2150B & 2150C
 - SURVEY & SITE PLAN AND ADMINISTRATIVE SUBDIVISION, ASSESSOR'S PLAT 5, LOTS 105, 107, 7 108 AND ABANDONED PORTION OF SEVENTH AVENUE EAST GREENWICH, RI PREPARED FOR: REMAX PROFESSIONALS, PREPARED BY ALPHA ASSOCIATES, LTD. RECORDED IN THE LAND EVIDENCE RECORDS OF EAST GREENWICH AS PLAT CARD NOS. 794 & 795.
 - PLOT OF COTTAGE AND VILLA LOTS BELONGING TO WILLIAM R. TILLY SITUATED IN EAST GREENWICH R.I. SURVEYED AND PLOTTED MAY 1854 BY N.B. SHUBARTH. RECORDED IN THE LAND EVIDENCE RECORDS OF EAST GREENWICH AS PLAT #3.
 - PLAN SHOWING ABANDONMENT OF A PORTION OF SEVENTH AVENUE. RECORDED IN THE LAND EVIDENCE RECORDS OF EAST GREENWICH AS PLAT #303.
 - BOUNDARY SURVEY PLAN GREENWICH MANOR-AP 5 LOT 109 945 MAIN STREET EAST GREENWICH, RHODE ISLAND PREPARED FOR HORIZON BAY SENIOR COMMUNITIES BY WATERMAN ENGINEERING CO., REVISED 4/11/03, PROJECT NO. P98.174. UNRECORDED

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 17 2016 FILE # 16-0184
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

This Plan Should Be Indexed By The Following Streets:

- Main Street
- Second Street
- Seventh Avenue



BY MICHAEL E. GAVITT, RPLS 1981
C.O.A. NO. LS-A160

CERTIFICATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:
TYPE OF BOUNDARY SURVEY COMPREHENSIVE BOUNDARY SURVEY
CLASSIFICATION CLASS III DATA ACCUMULATION SURVEY TOPOGRAPHIC ACCURACY
MEASUREMENT SPECIFICATION CLASS I CLASS III CLASS T-3
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT AND TOPOGRAPHIC SURVEY PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-64-6006 www.diprete-eng.com

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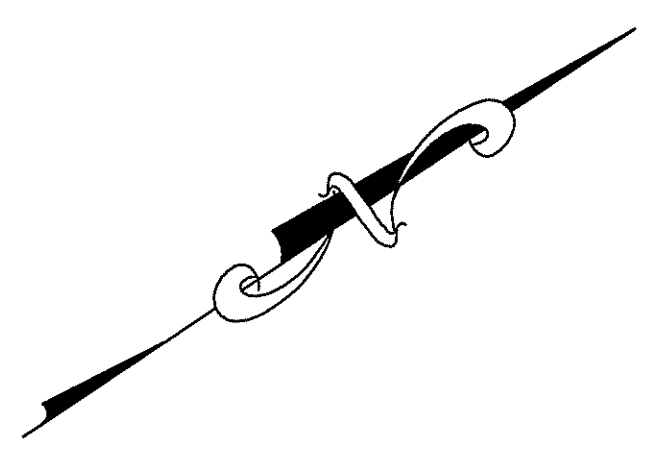
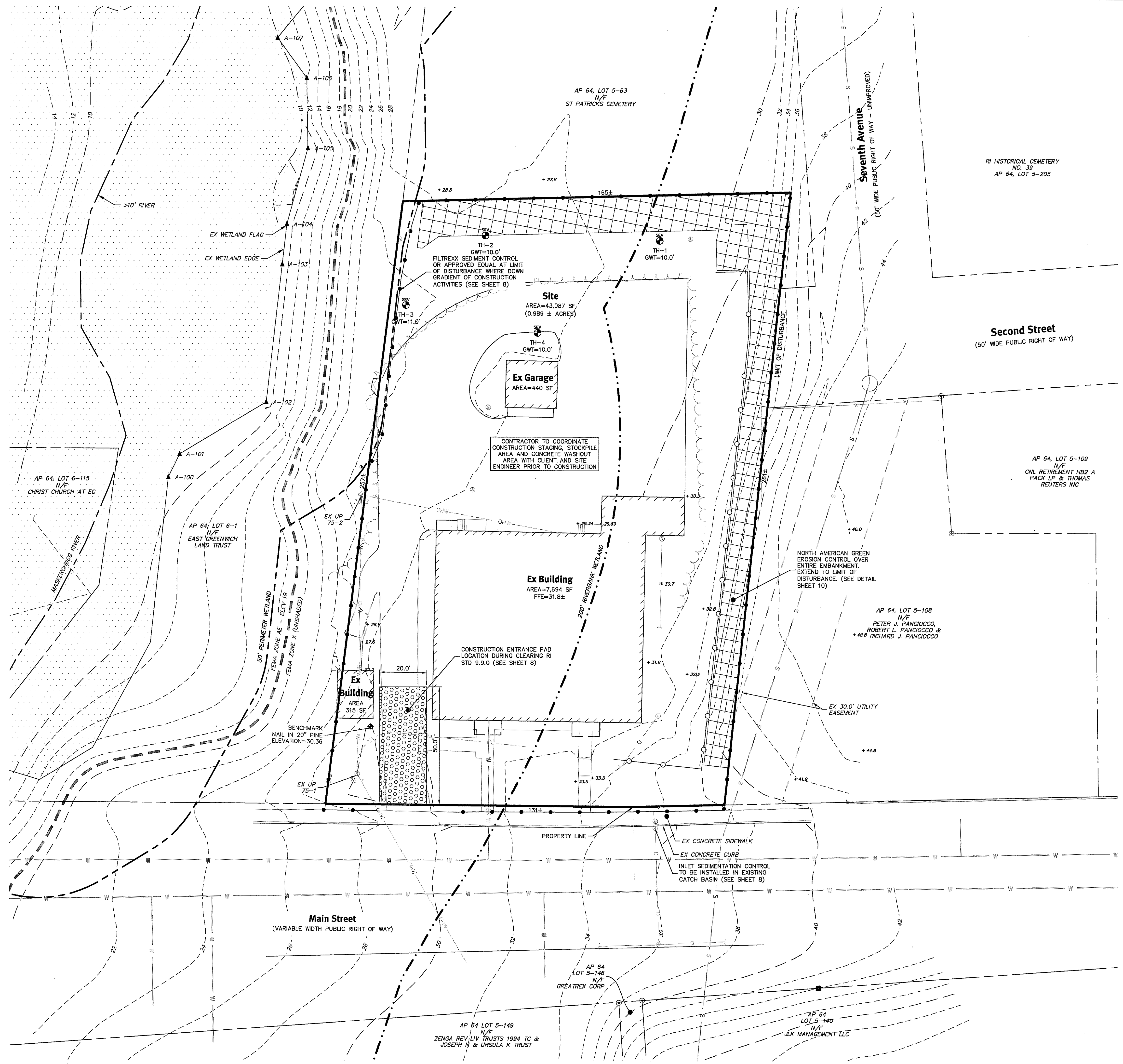
No.	Date	Description	By:
1	6/16/16	ADD UTILITIES	B.L.
2	7/16/16	BOUNDARY/TOPOGRAPHIC SURVEY	E.L.T.

Drawn By: E.L.T.

Boundary/Topographic Survey
1001 Main Street
East Greenwich, Rhode Island

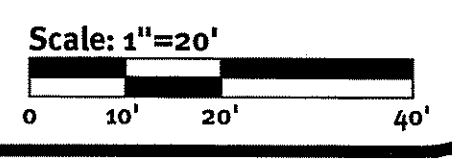
Contemporary Builders
99 Mainborough Street, East Greenwich, Rhode Island 02818

DE 036 No. 2506-001 Copyright 2016 by Diprete Engineering, Associates, Inc.



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BRANDON D. CARR

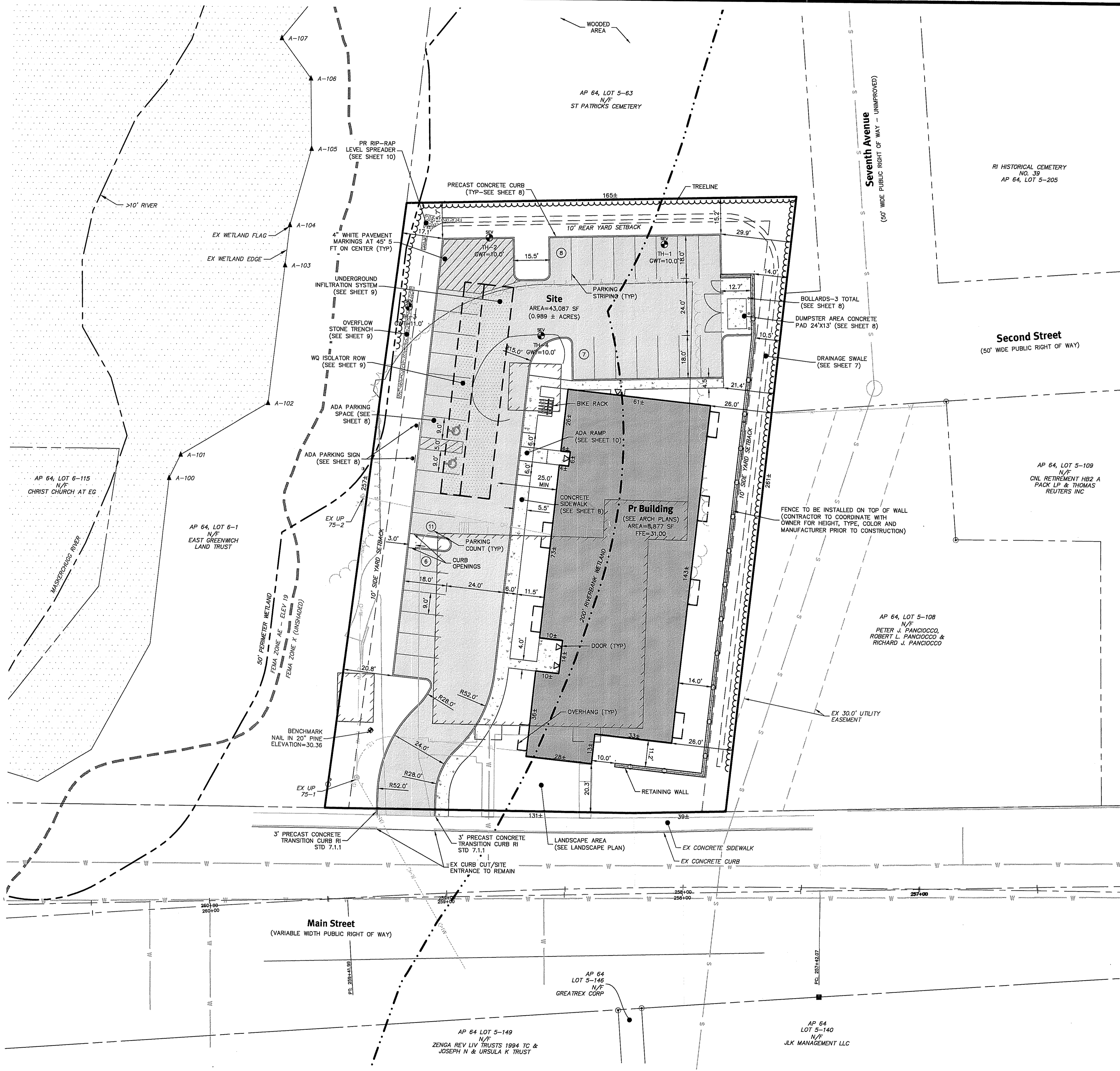
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Reviser/By	Description
1	6-15-2016	Reviser: Ben Stambison	Design By: R.B.S.

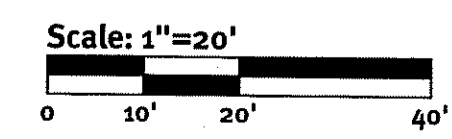
Soil Erosion Control Sheet
Steeple View Place
 Applicant: East Greenwich, Rhode Island Assessor's Plat 64, Lot 5-106
620 Main Street Associates, LLC
 99 Marlborough Street, East Greenwich, RI 02816
 DE Job No: 2386-001 Copyright 2016 by Diprete Engineering Associates, Inc.

z:\demain\projects\2386-001-main street-1001\autocad drawing\386-001-desn.dwg Plotdate: 6/16/2016



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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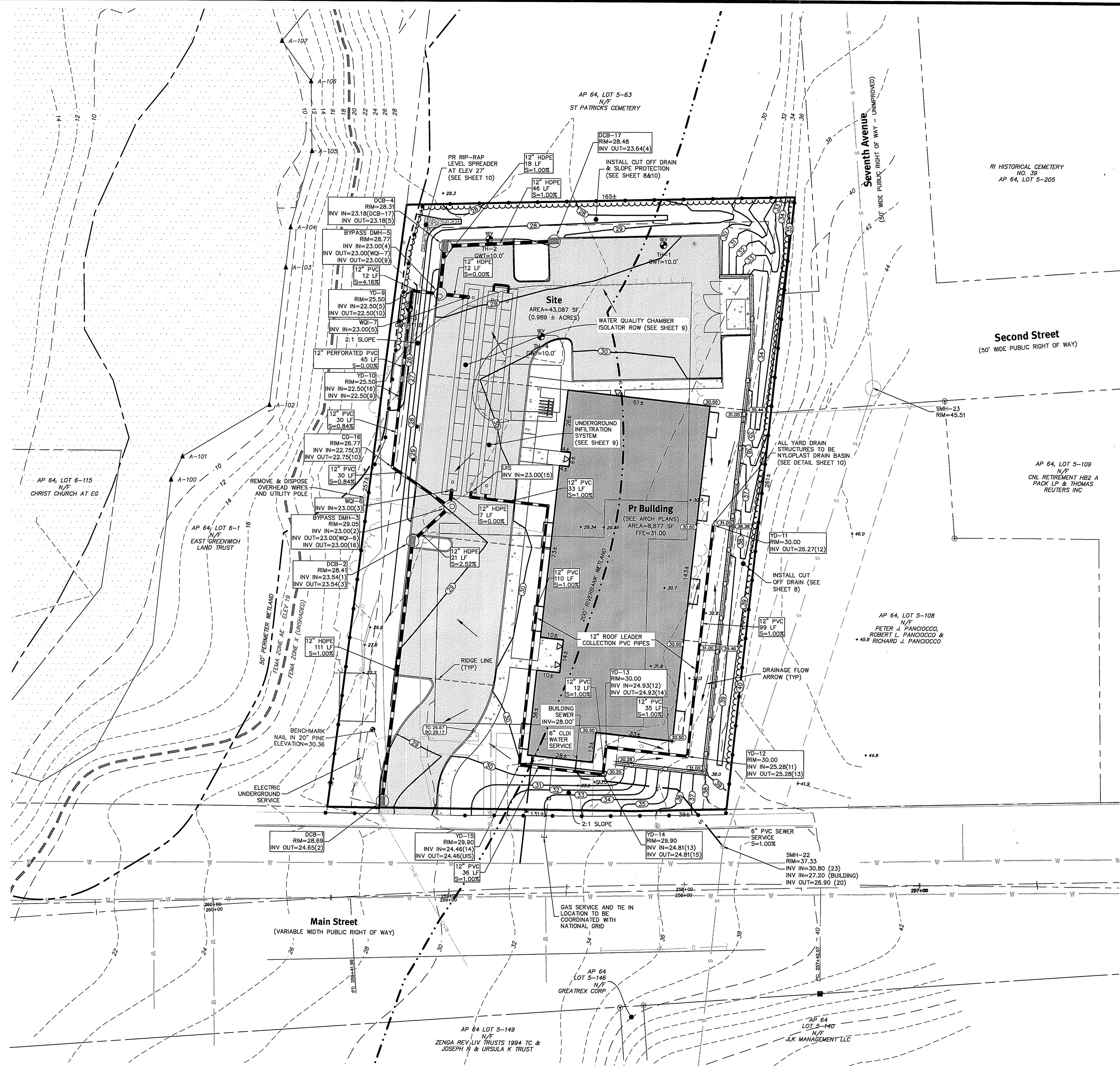
BRANDON D. CARR
 REGISTERED PROFESSIONAL ENGINEER
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 The contractor is responsible for all of the means, methods, safety precautions and requirements, and shall obtain all necessary permits and approvals in the implementation of this plan and design.

No.	Date	Description	By	Design By
1	6/10/2016	Regulatory Plan Submission	R.B.S.	R.B.S.

Site Layout Sheet
Steeple View Place
 Applicant: 620 Main Street Associates, LLC
 99 Marlborough Street, East Greenwich, RI 02818
 SHEET 6 OF 10

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Scale: 1"=20'
 0 10' 20' 40'

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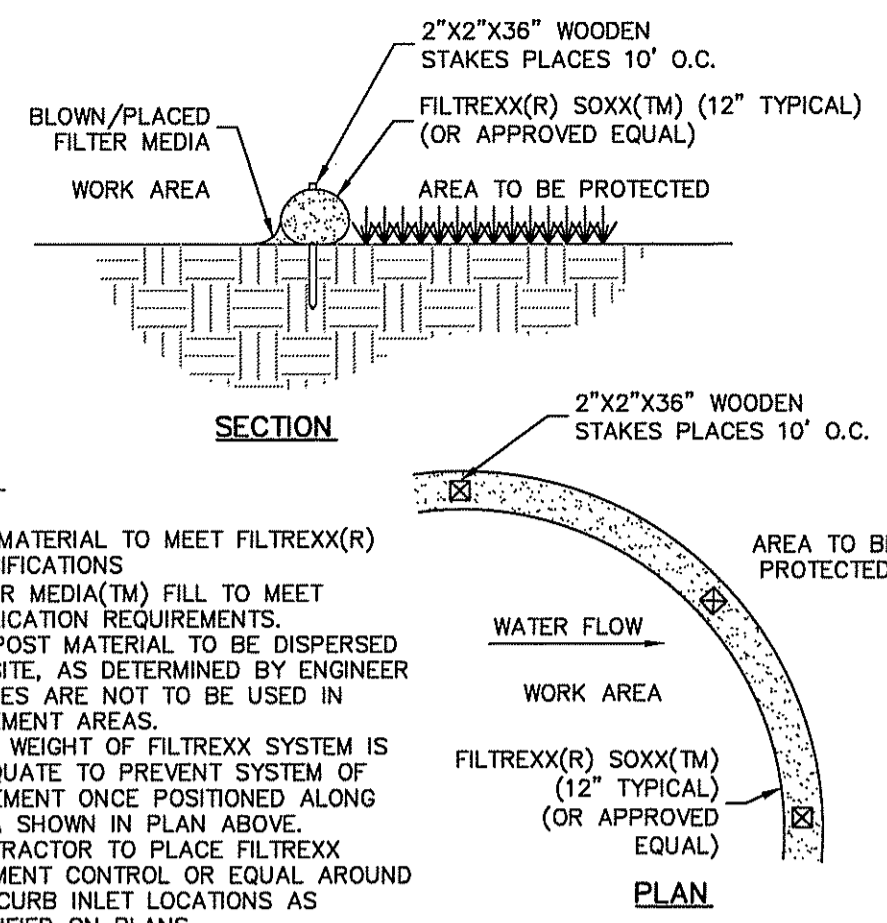
BRANDON D. CARR

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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No.	Date	Description	R.B.S.	By:
0	6-30-2016	Regulatory Plan Submission		R.B.S.
1				Design By: R.B.S.

Grading & Utility Sheet
Steeple View Place
 Applicant: 620 Main Street Associates, LLC
 99 Marlborough Street, East Greenwich, RI 02818
 DE Job No: 2366-001 Copyright 2016 by Diprete Engineering Associates, Inc.

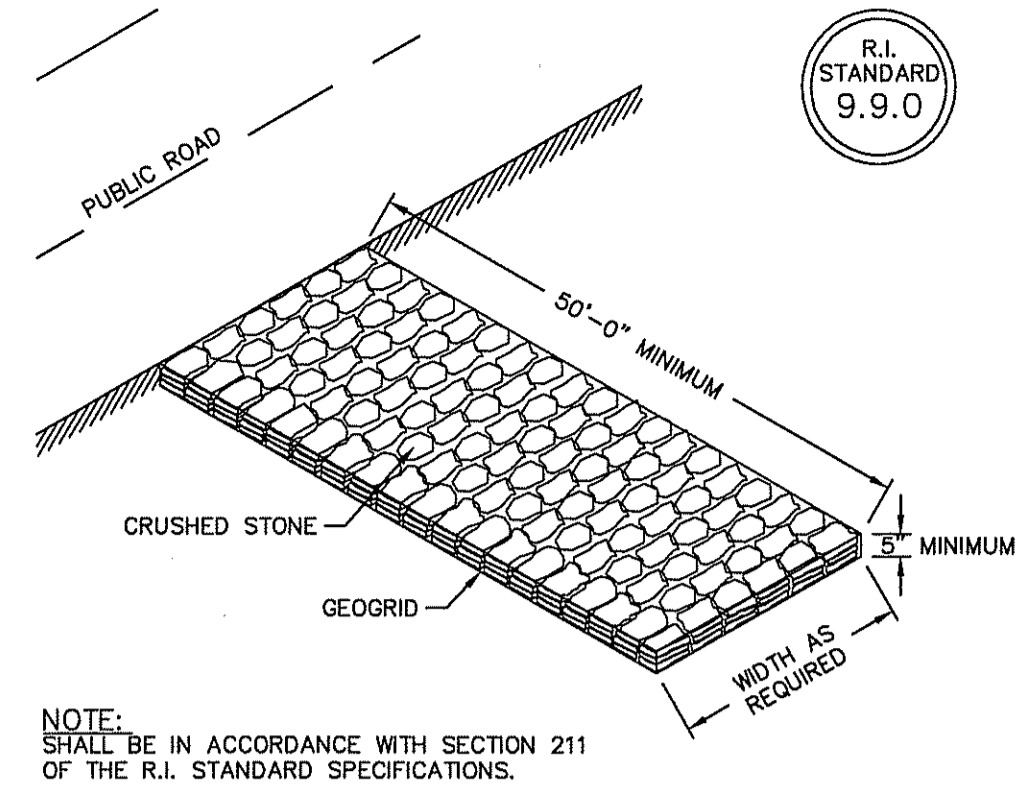


NOTES:

1. ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS
2. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
4. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
5. SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM OF MOVEMENT ONCE POSITIONED ALONG AREA SHOWN IN PLAN ABOVE.
6. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL OR EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

Filtrexx Sediment Control or Approved Equal

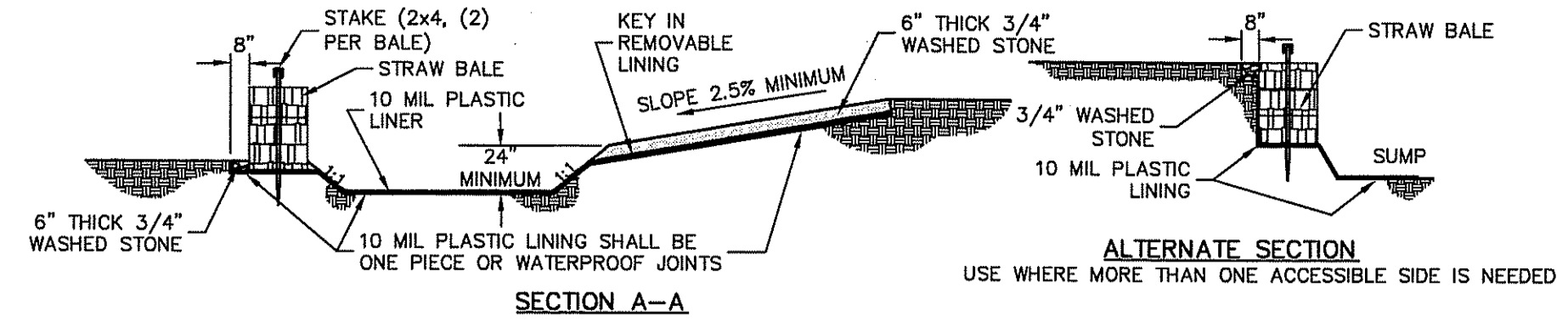
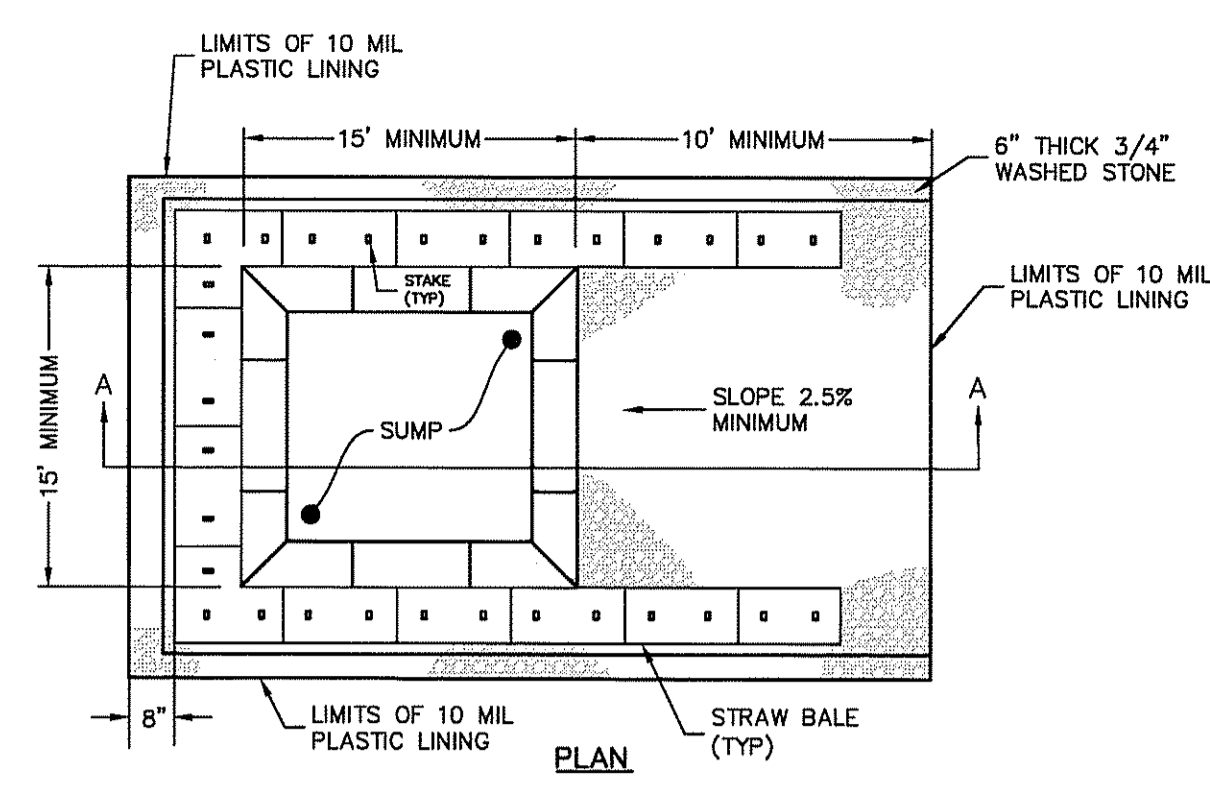
NOT TO SCALE



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

Construction Access

NOT TO SCALE



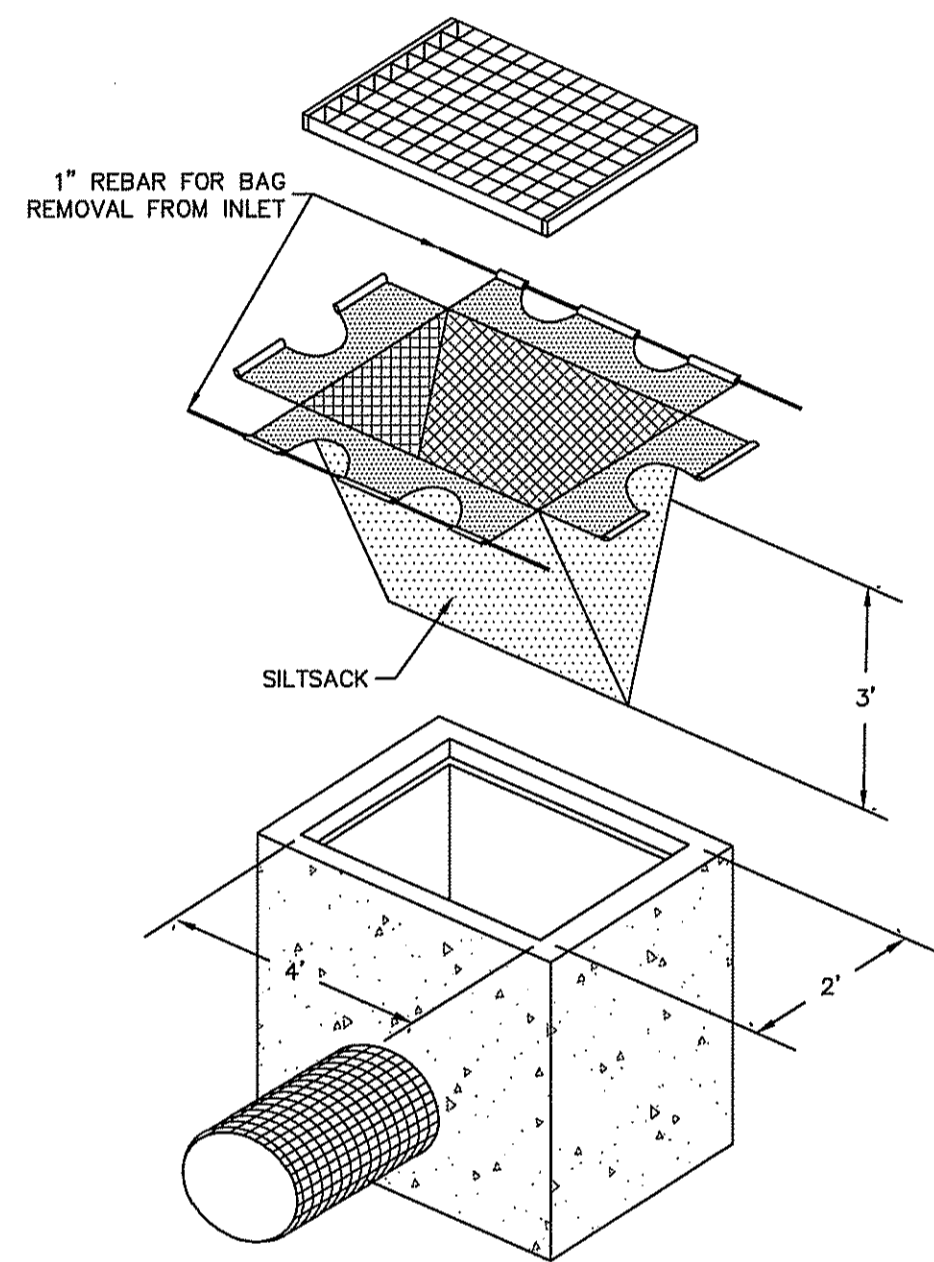
NOTES:

1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12.\"
4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

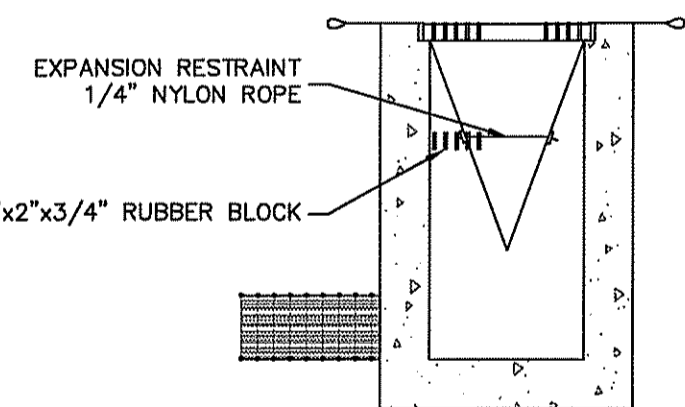
WASHOUT SIGN

Concrete Washout Area

(NOT TO SCALE)

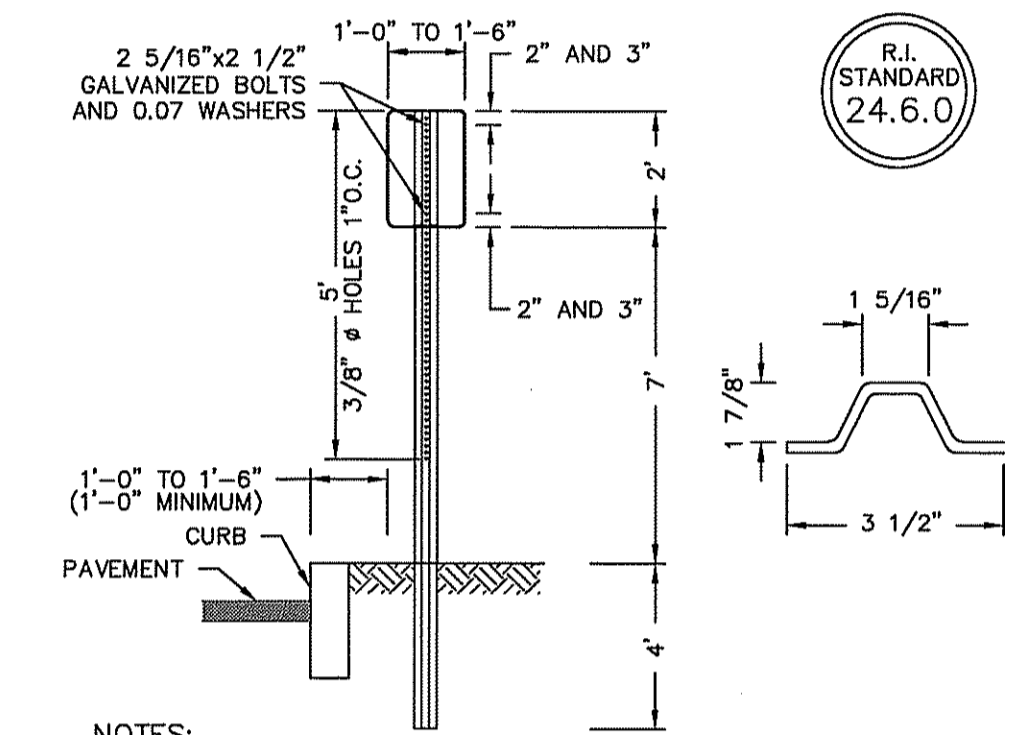


NOTE: REGULAR FLOW=40 GAL./MIN./SF
HIGH FLOW=200 GAL./MIN./SF



Silt Sack Detail

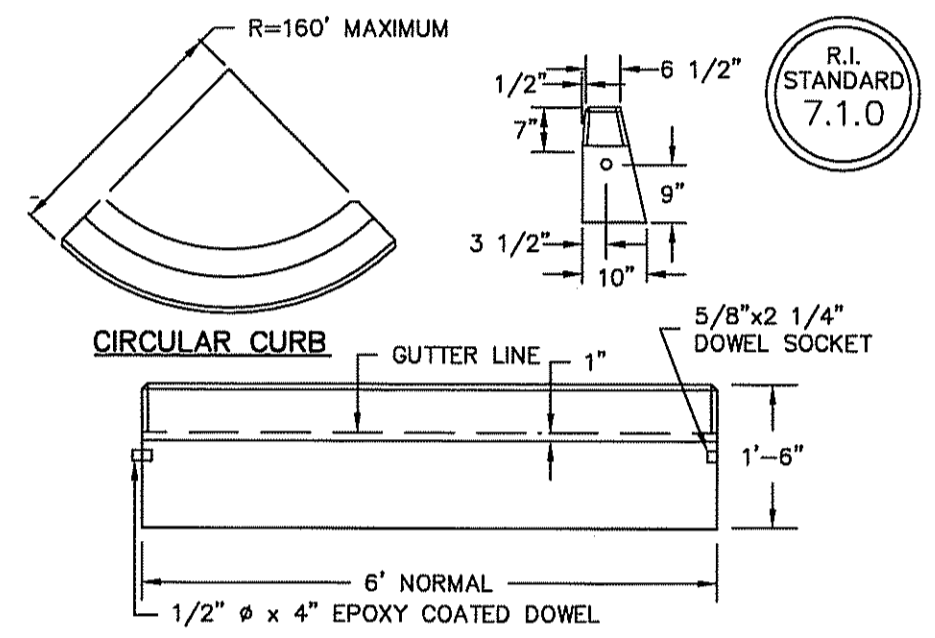
NOT TO SCALE



NOTE: 1. SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE STANDARD SPECIFICATIONS.
2. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-6\"/>

Parking Sign Mounting Detail

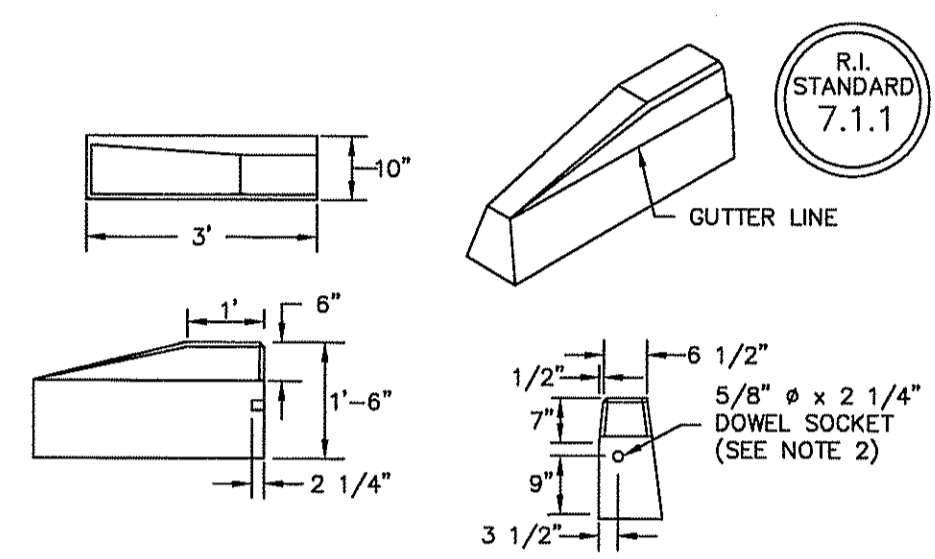
NOT TO SCALE



NOTE: 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0\"/>
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160'-0\"/>
5. EXPOSED EDGES TO HAVE A 3/4\"/>

Precast Concrete Curb

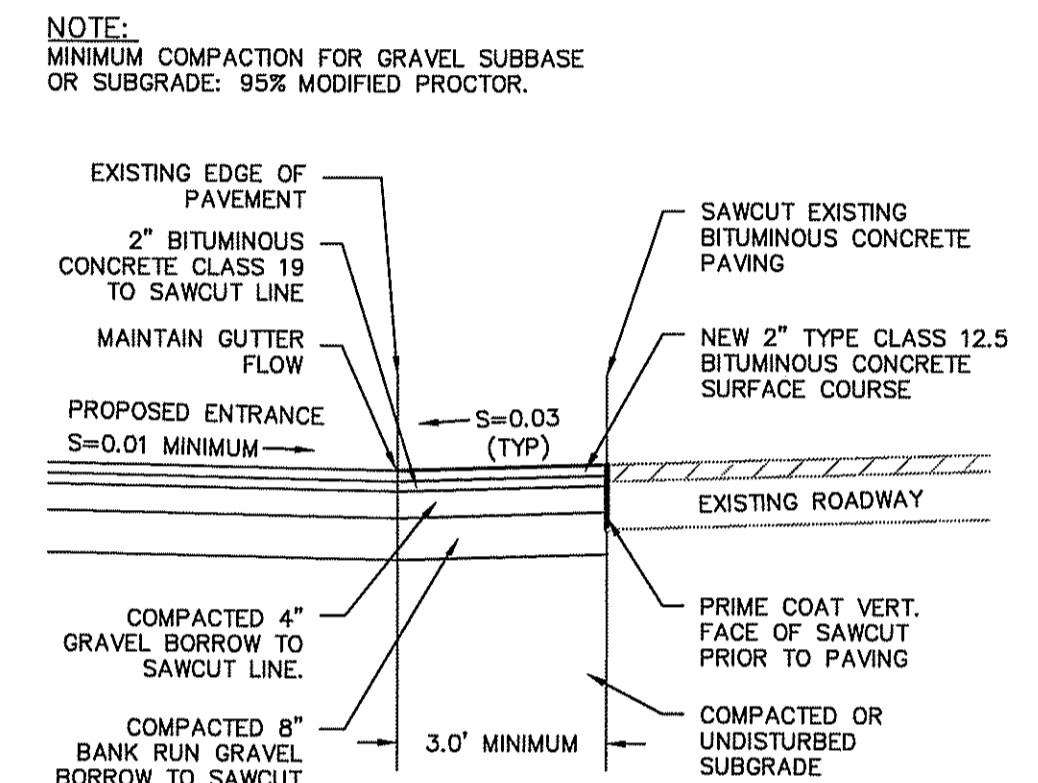
NOT TO SCALE



NOTE: 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2\"/>
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. EXPOSED EDGES TO HAVE A 3/4\"/>

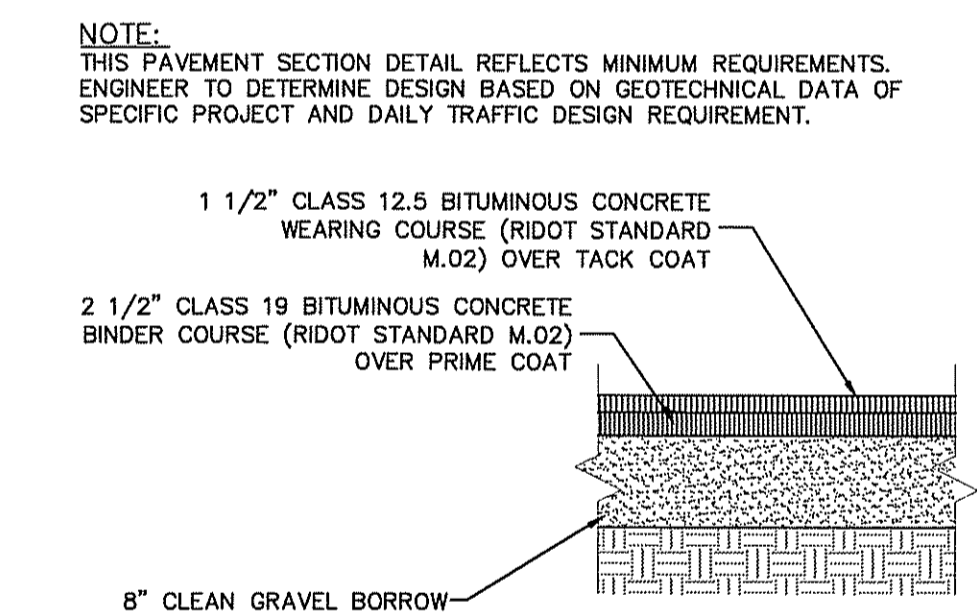
3' Precast Concrete Transition Curb

NOT TO SCALE



Entrance Access Sawcut & Match

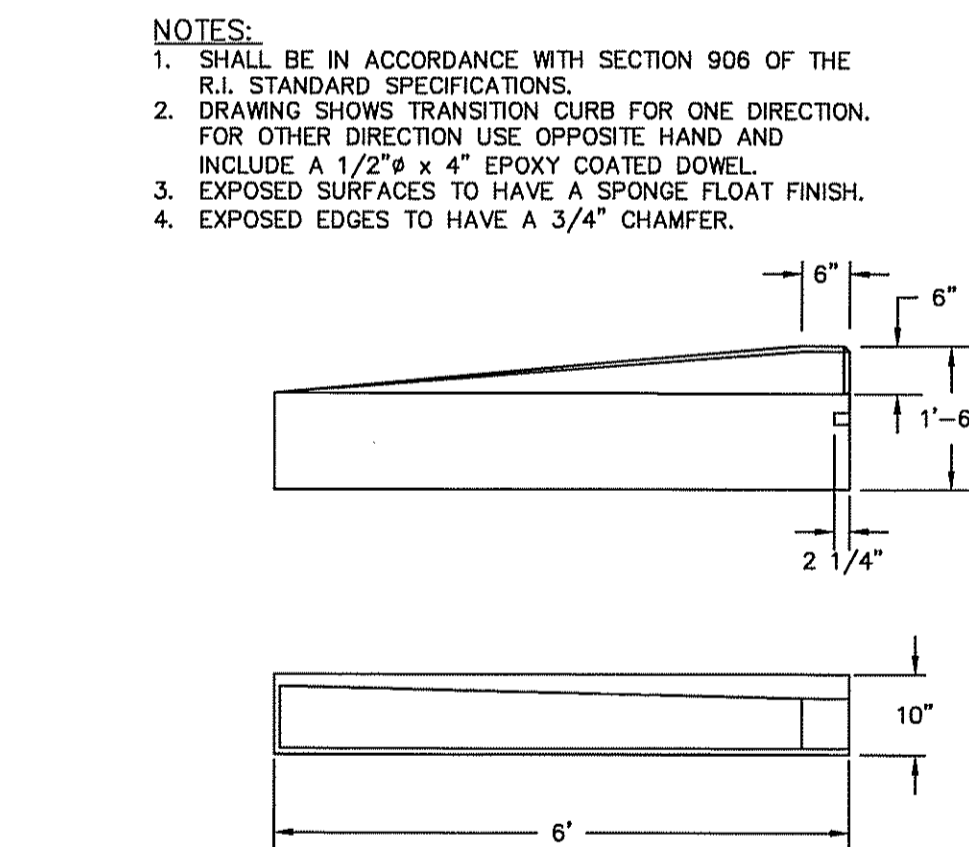
NOT TO SCALE



NOTE: THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENT.

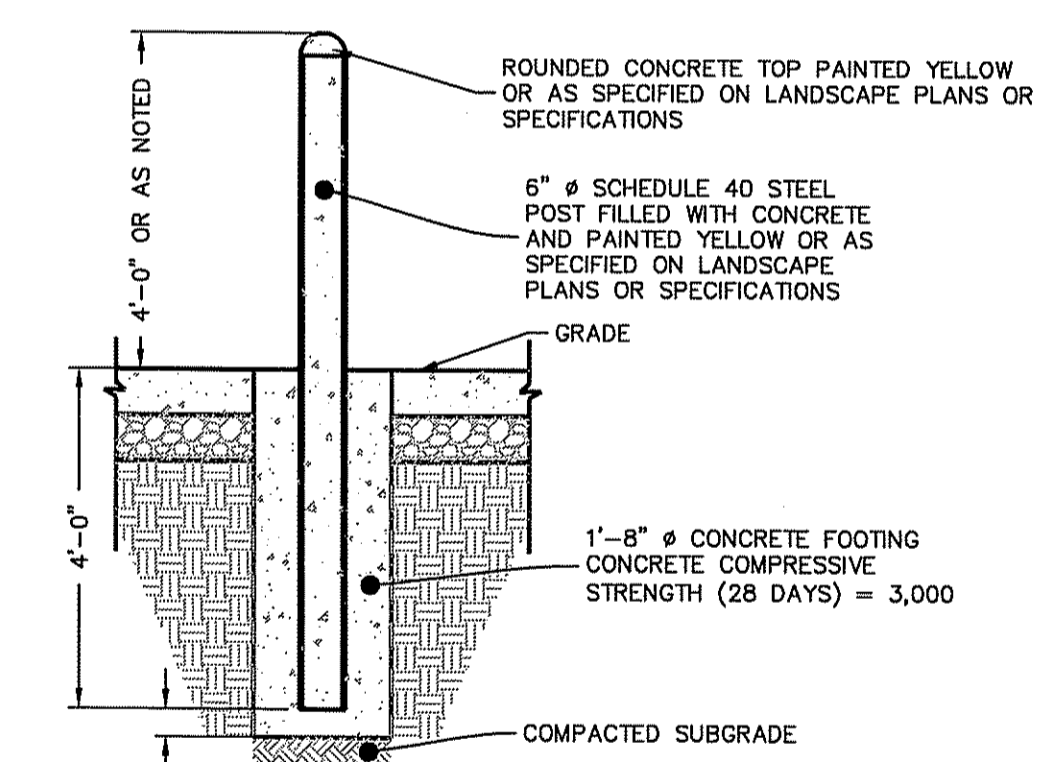
Typical Pavement Section

NOT TO SCALE



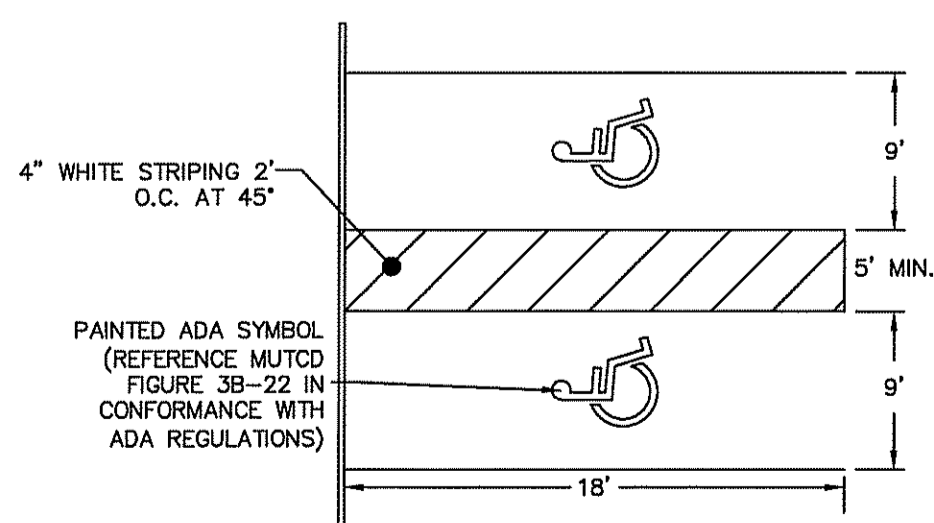
6' Precast Concrete Transition Curb

NOT TO SCALE



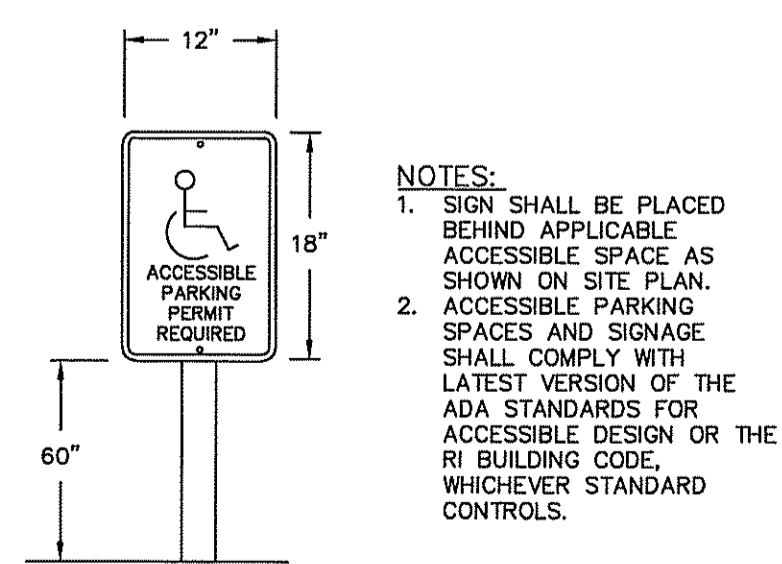
Bollard Detail

NOT TO SCALE



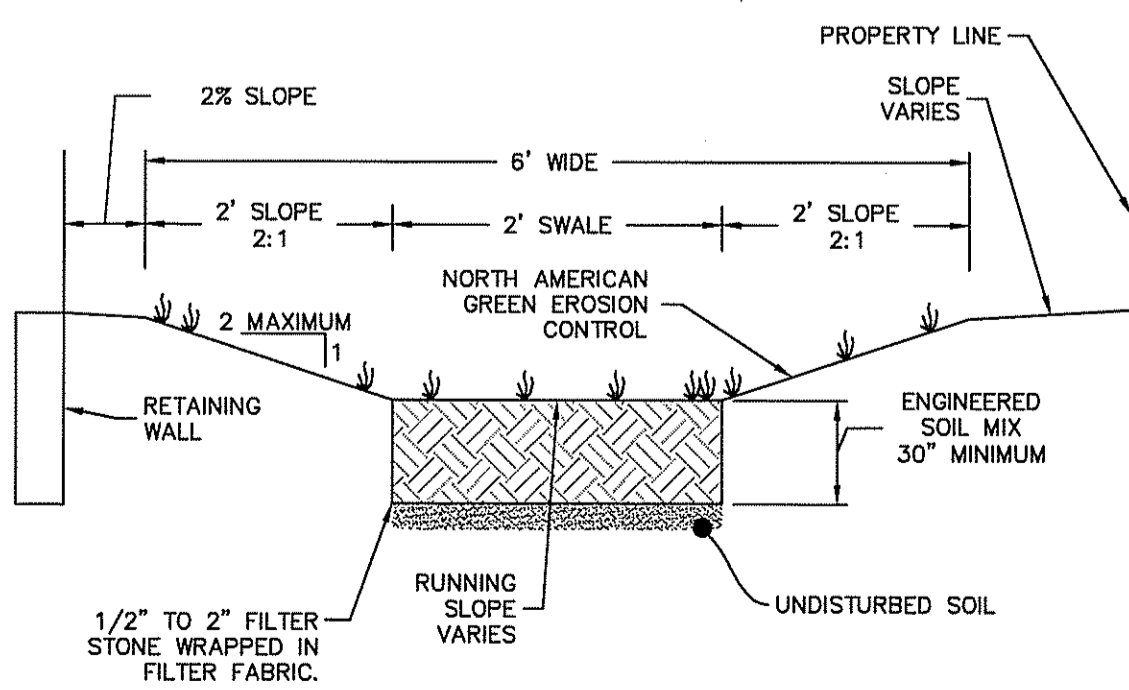
Accessible Parking Spaces

NOT TO SCALE



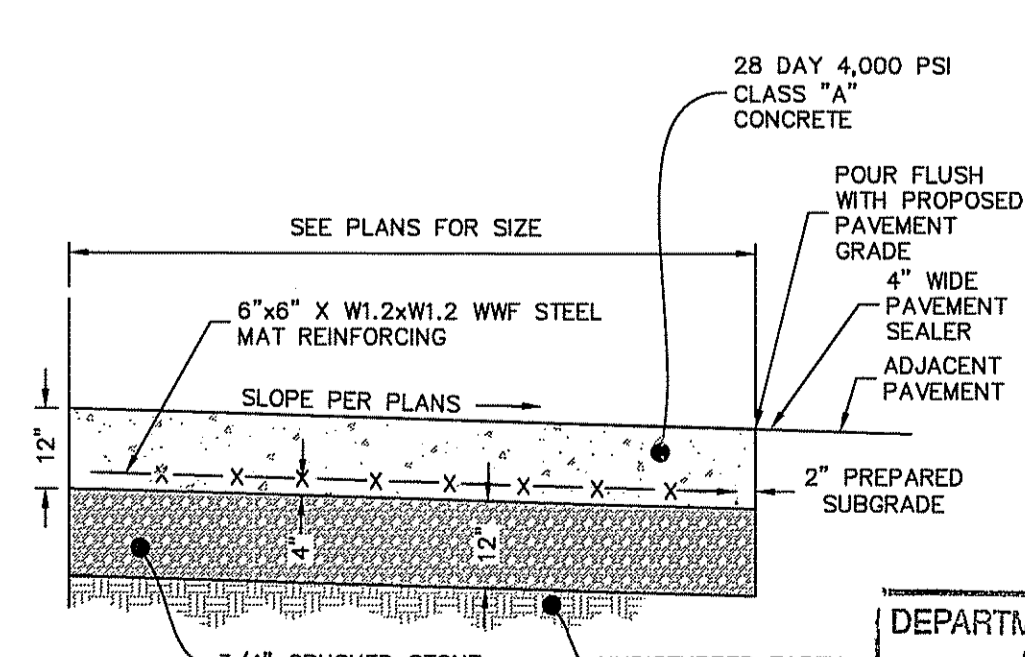
Accessible Parking Post & Sign

NOT TO SCALE



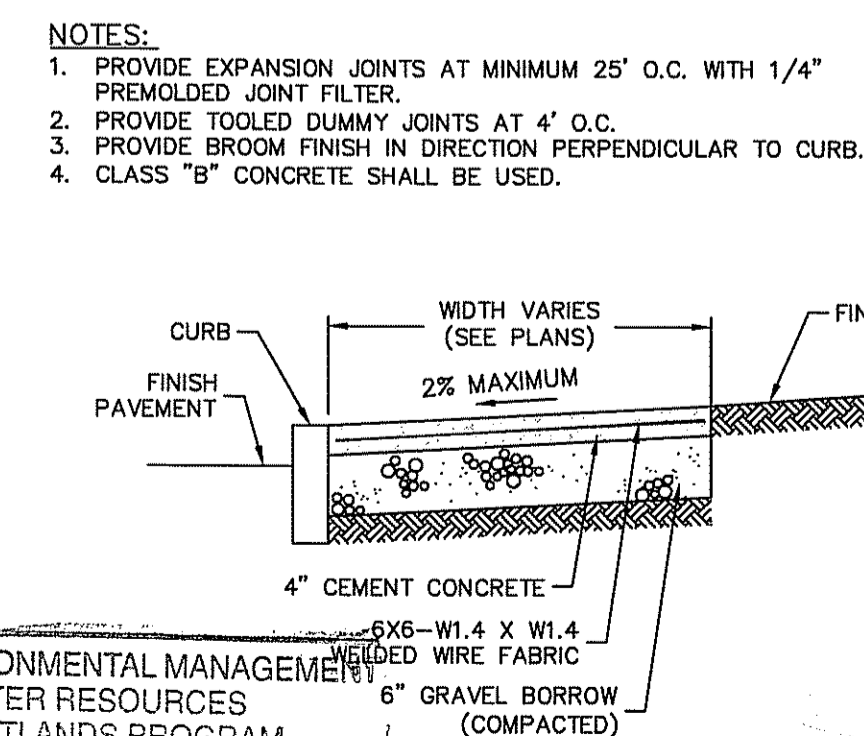
Cut Off Drain Cross Section

NOT TO SCALE



Concrete Dumpster Pad Detail

NOT TO SCALE



Concrete Sidewalk

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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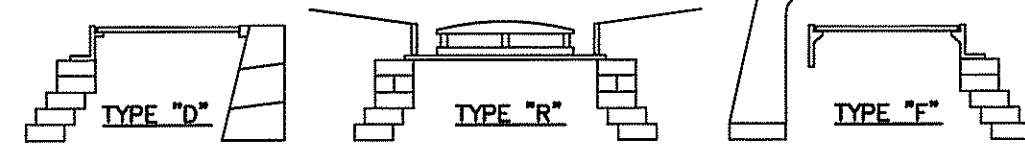
BRANDON D. CARR
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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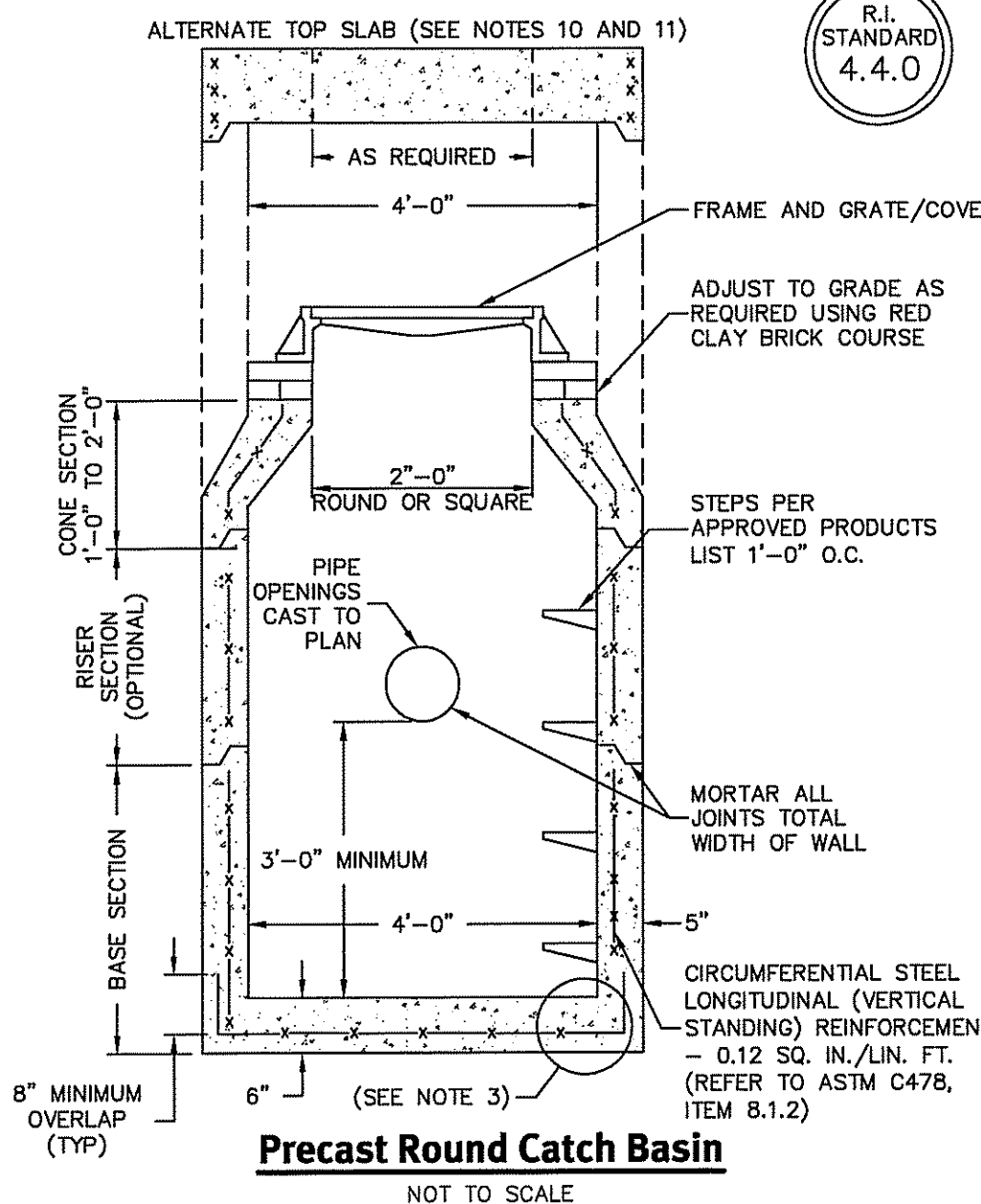
DESIGNED BY	R.B.S.
CHECKED BY	R.B.S.
DATE	12/23/2016
DESCRIPTION	REGULATORY SUBMISSION SET
DRAWN BY	R.B.S.

Detail Sheet 1
Steeple View Place
East Greenwich, Rhode Island
Assessor's Plat 64, Lot 5-106
Applicant
620 Main Street Associates, LLC
99 Mainborough Street, East Greenwich, RI 02818



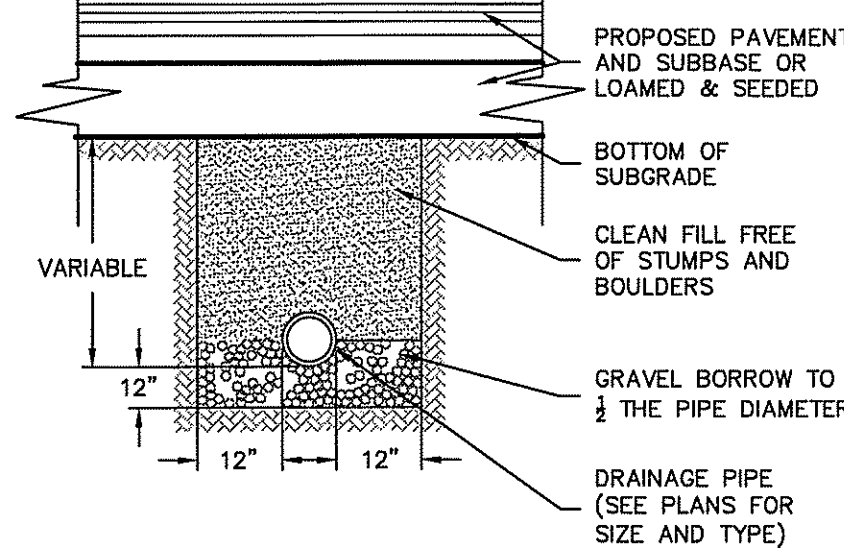
TYPE CATCH BASIN AS REQUIRED

- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQUARE INCH/LIN. FOOT (BOTH WAYS).
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAWCUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.



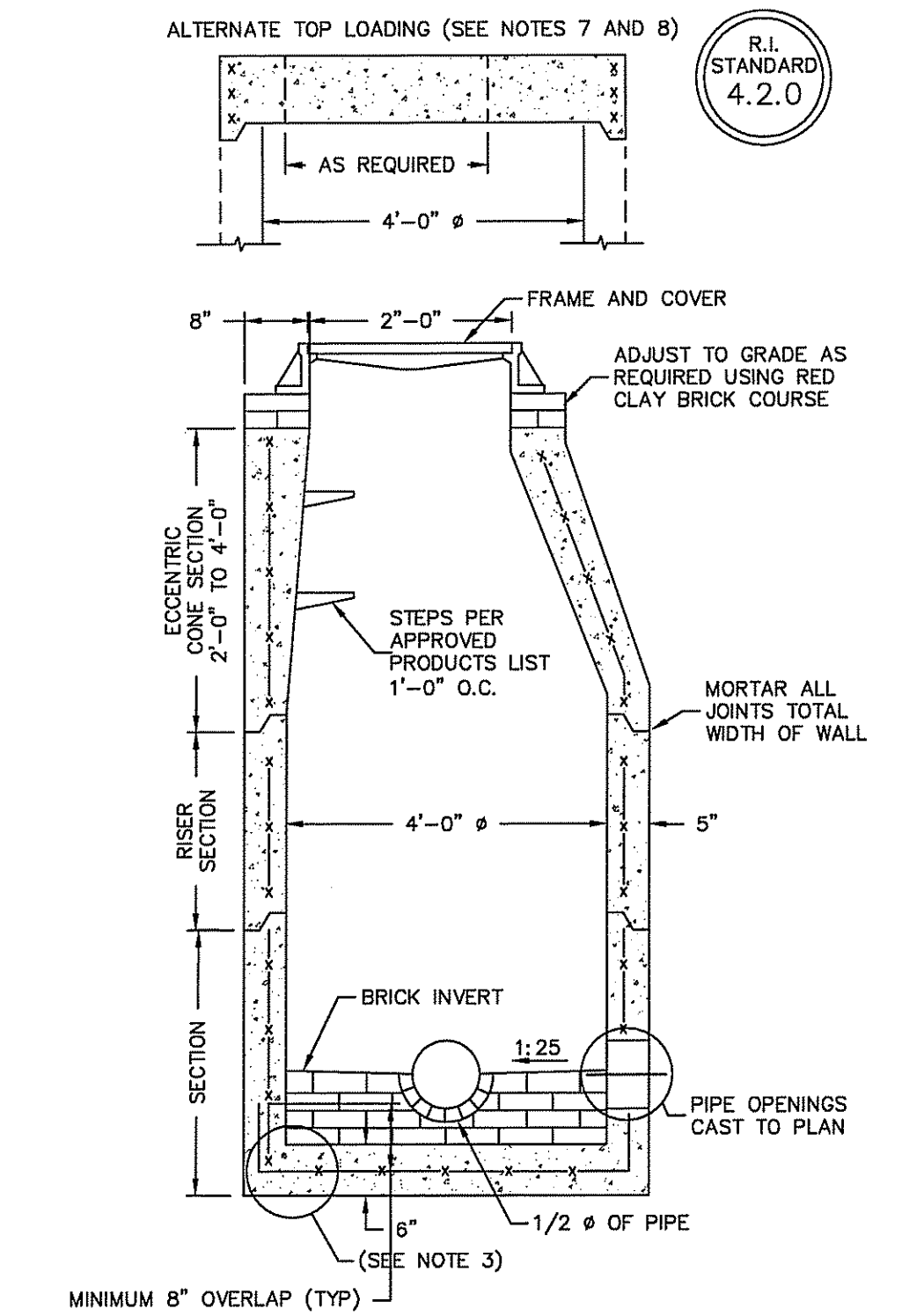
Precast Round Catch Basin

NOT TO SCALE



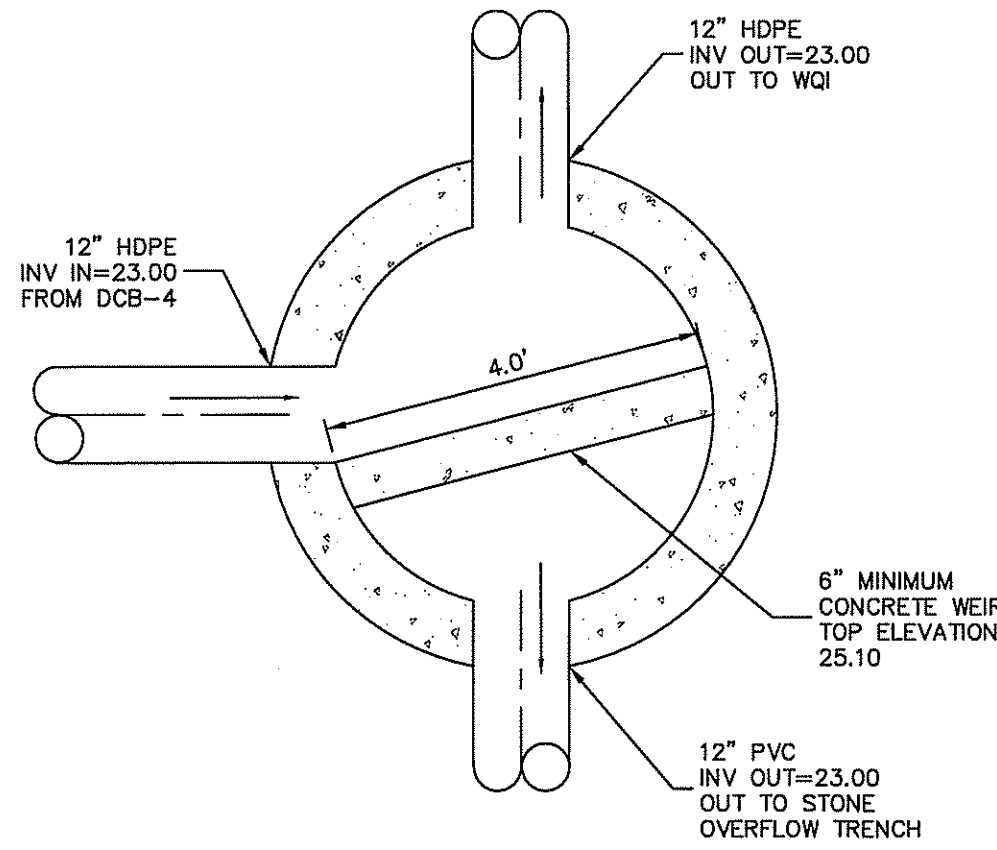
DRAINAGE TRENCH DETAIL

NOT TO SCALE



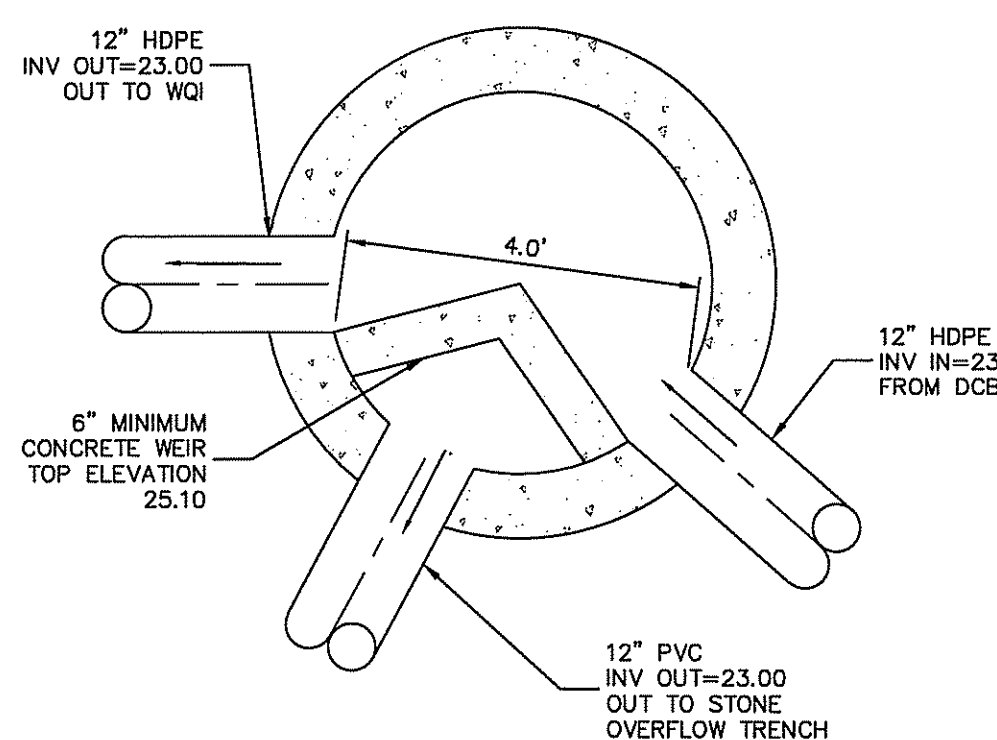
Precast 4'-0" Round Manhole

NOT TO SCALE



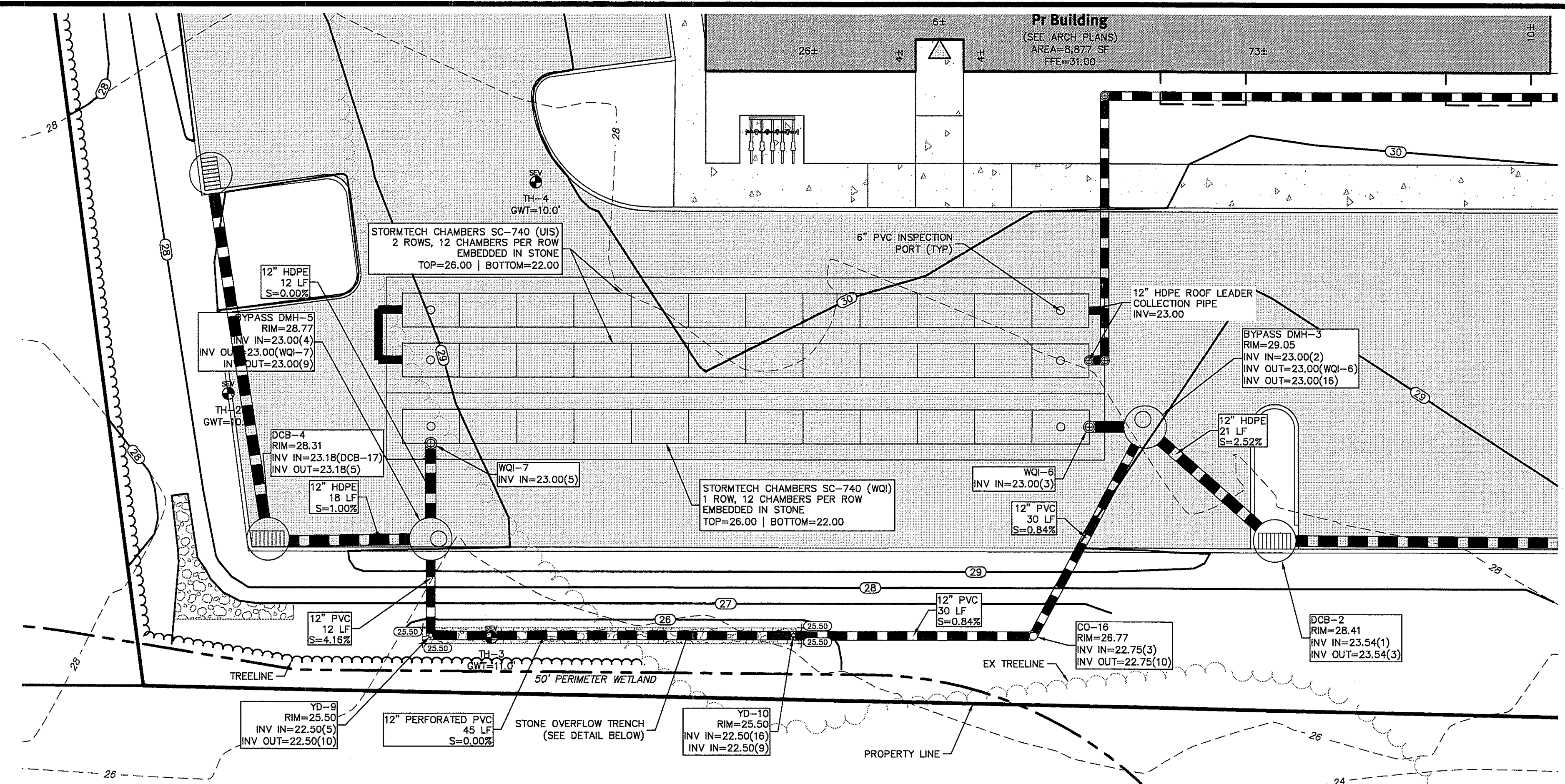
Bypass DMH-5 (4'Ø Manhole)

SCALE 1"=2'



Bypass DMH-3 (4'Ø Manhole)

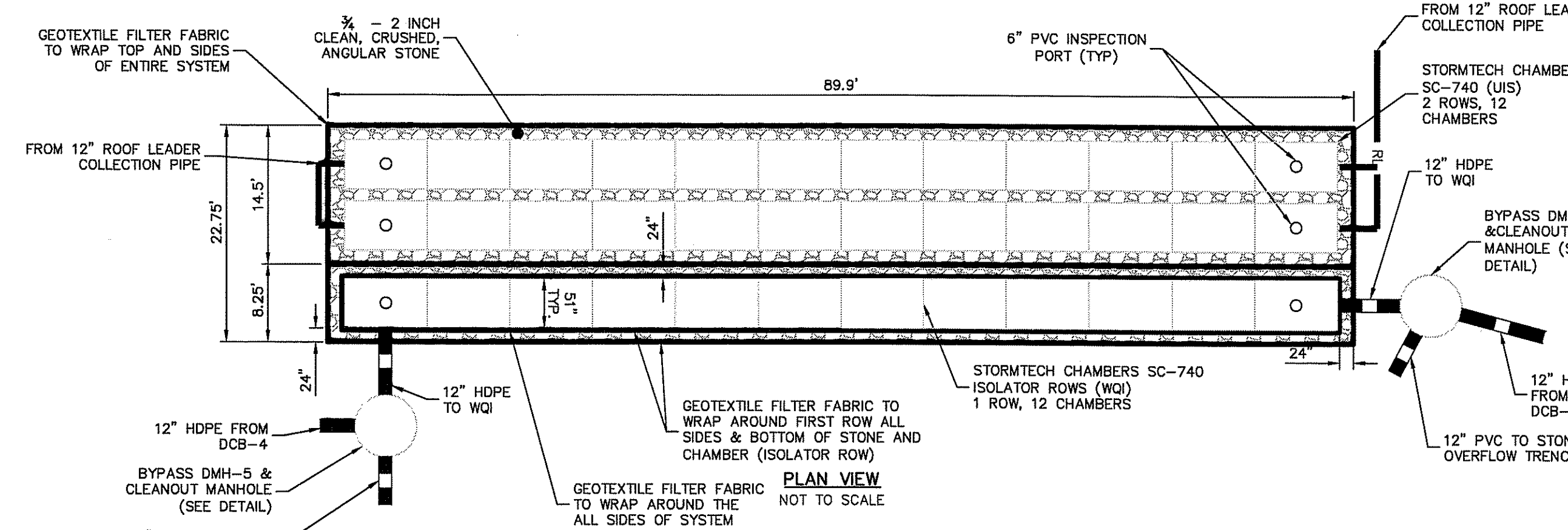
SCALE 1"=2'



Underground Infiltration System

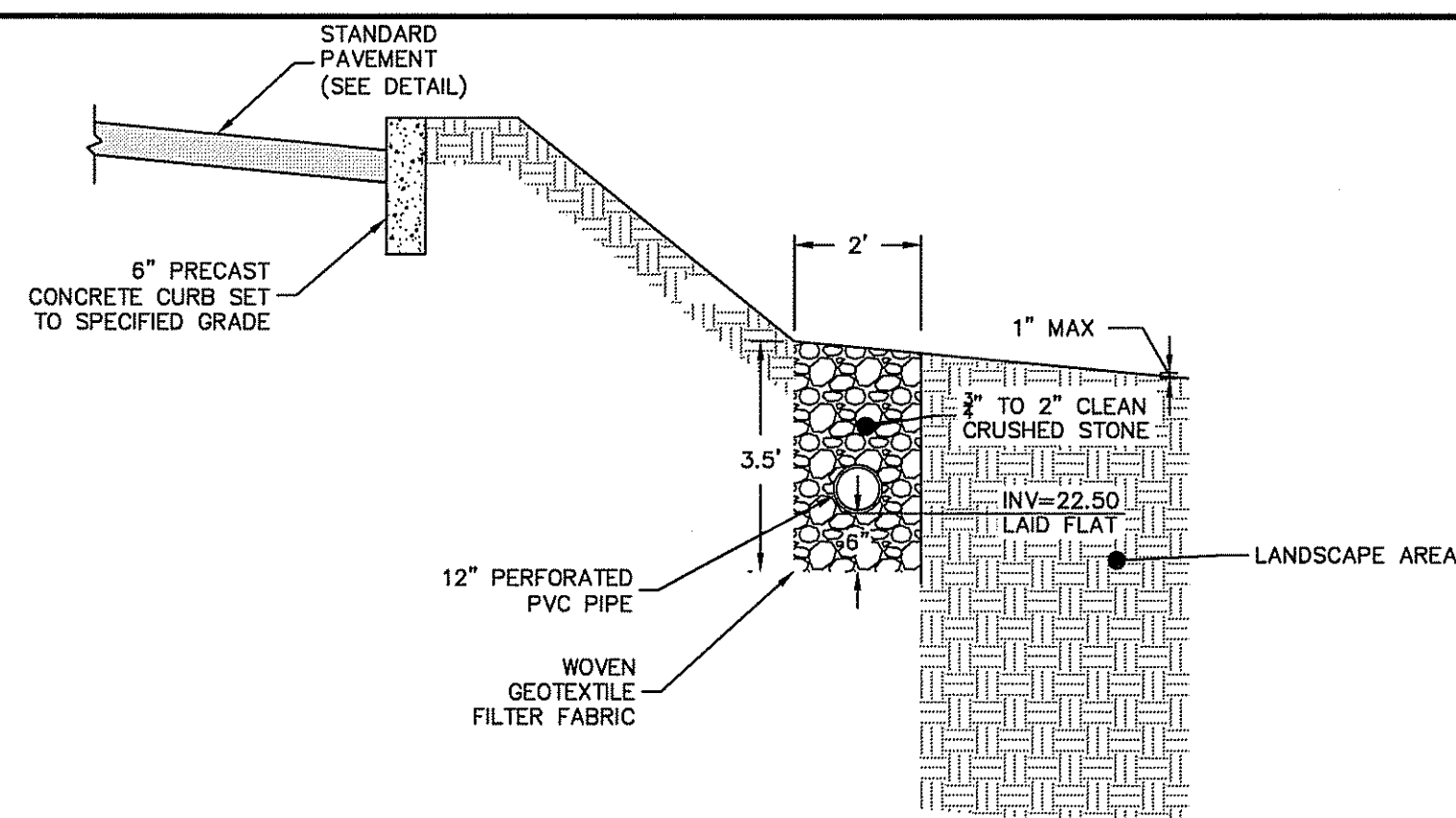
Scale: 1"=10'

DESCRIPTION	UIS	WQI
TOP OF SYSTEM	26.00	26.00
BOTTOM OF SYSTEM	22.00	22.00
ISOLATOR ROW	NO	NO
NUMBER OF ROWS	2	1
CHAMBERS PER ROW	12	12
1.2 YEAR STORM ELEVATION	22.00	22.94
1 YEAR STORM ELEVATION	22.09	24.00
2 YEAR STORM ELEVATION	22.33	25.01
10 YEAR STORM ELEVATION	23.20	25.34
25 YEAR STORM ELEVATION	23.89	25.45
100 YEAR STORM ELEVATION	25.67	25.56
SEASONAL HIGH GWT ELEVATION	17.50±	17.50±
SOIL EVALUATION	TH-4	TH-4



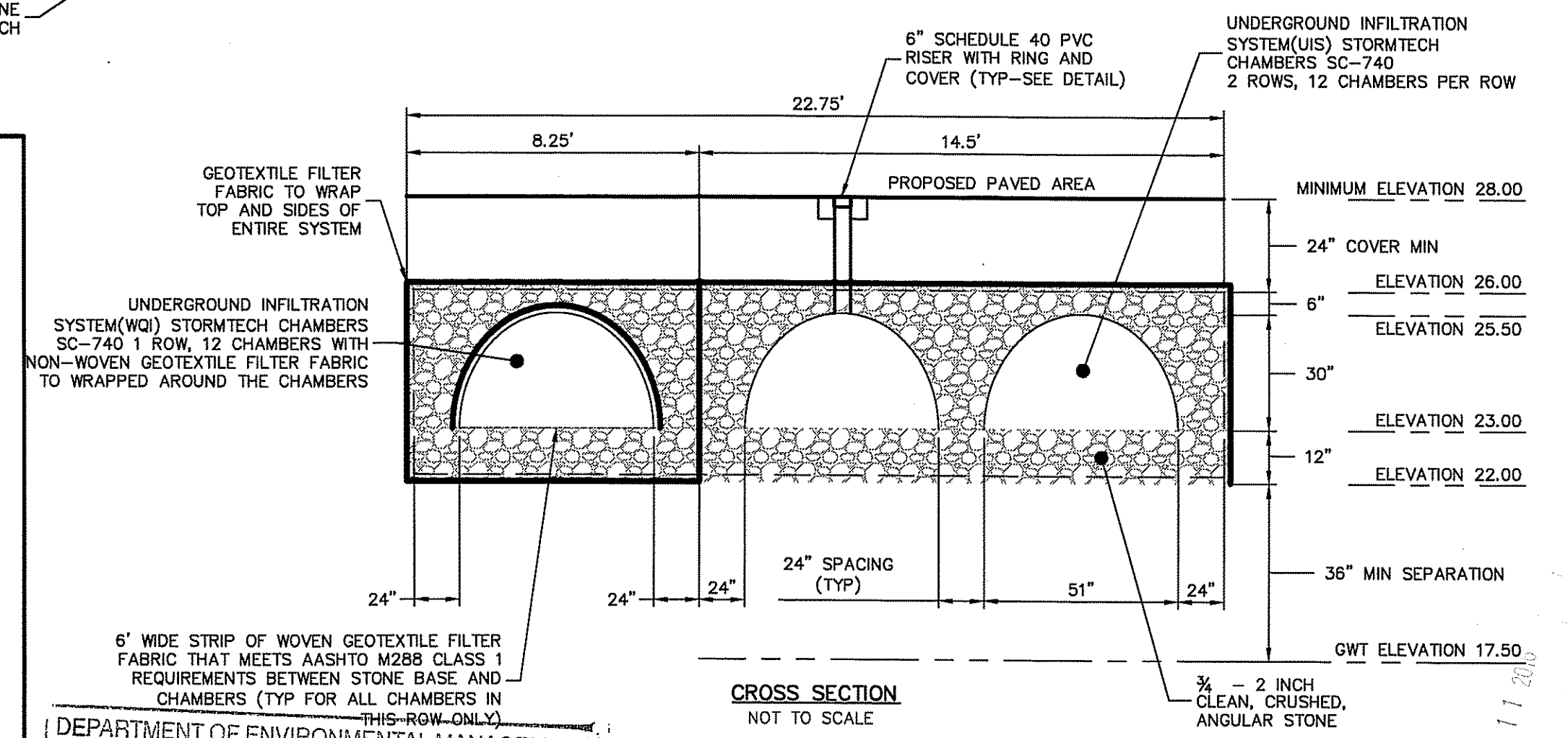
Underground Infiltration System (UIS) & Water Quality Isolation Row (WQI)

Scale: 1"=10'



Stone Overflow Trench

NOT TO SCALE



Underground Infiltration System (UIS) & Water Quality Isolation Row (WQI)

Scale: 1"=10'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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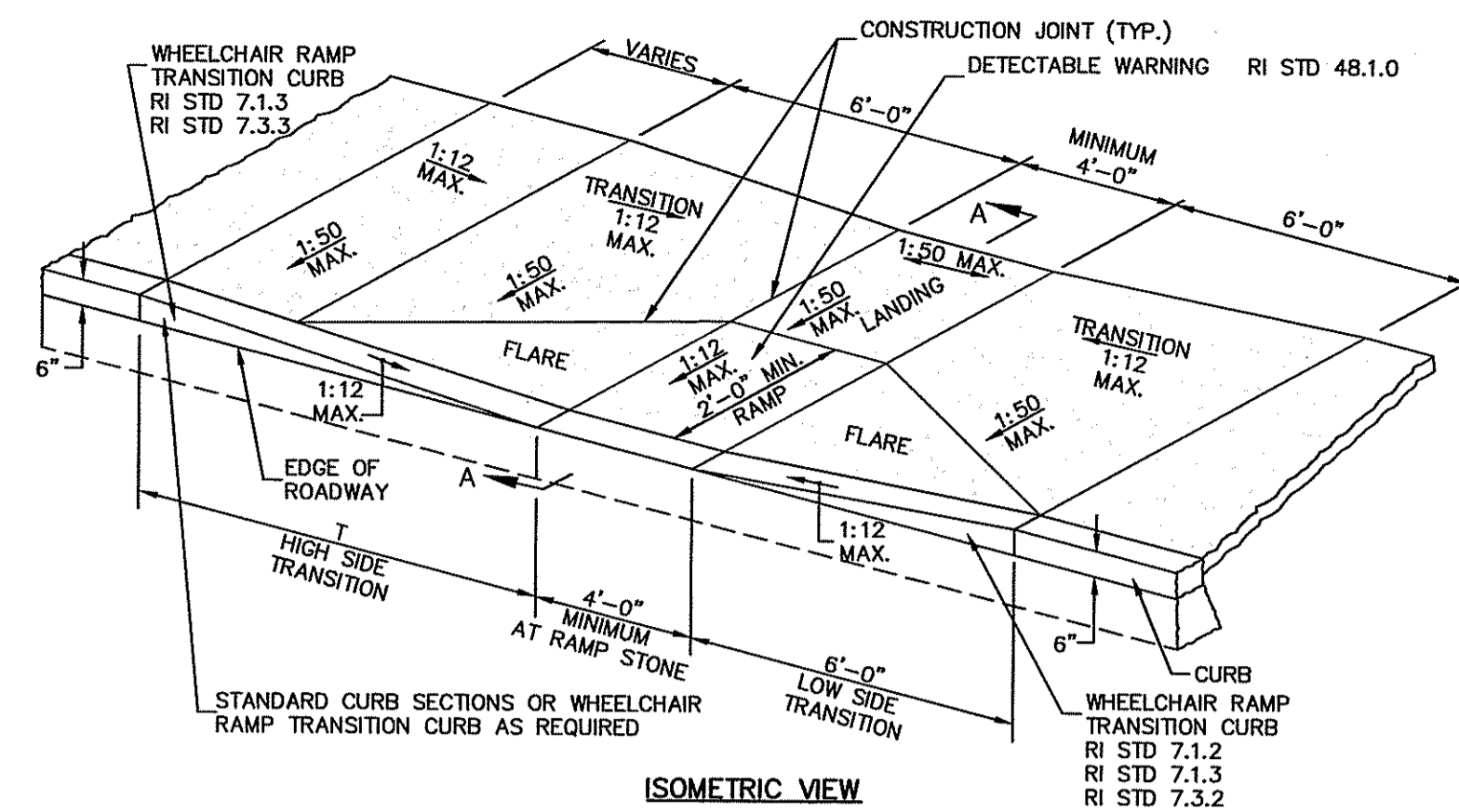
DIPrete Engineering
Two Stafford Court, Cranston, RI 02920
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BRANDON D. CARR
REGISTERED PROFESSIONAL ENGINEER
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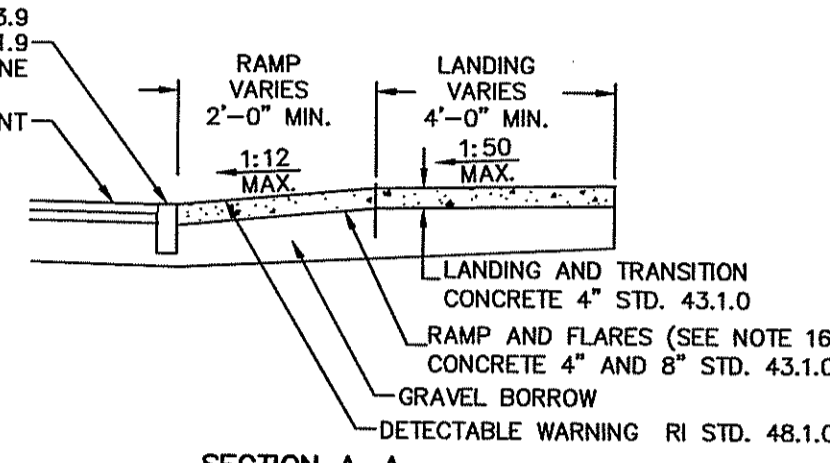
This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DIPrete Engineering representative.
The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By	Check
1	6/20/16	Regulatory Plan Submission	B.D.C.	
2	8/17/16	Design	B.D.C.	

Detail Sheet 2
Steeple View Place
East Greenwich, Rhode Island
Assessor's Plat 64, Lot 5-106
620 Main Street Associates, LLC
59 Marlborough Street, East Greenwich, RI 02816
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SHEET 9 OF 10

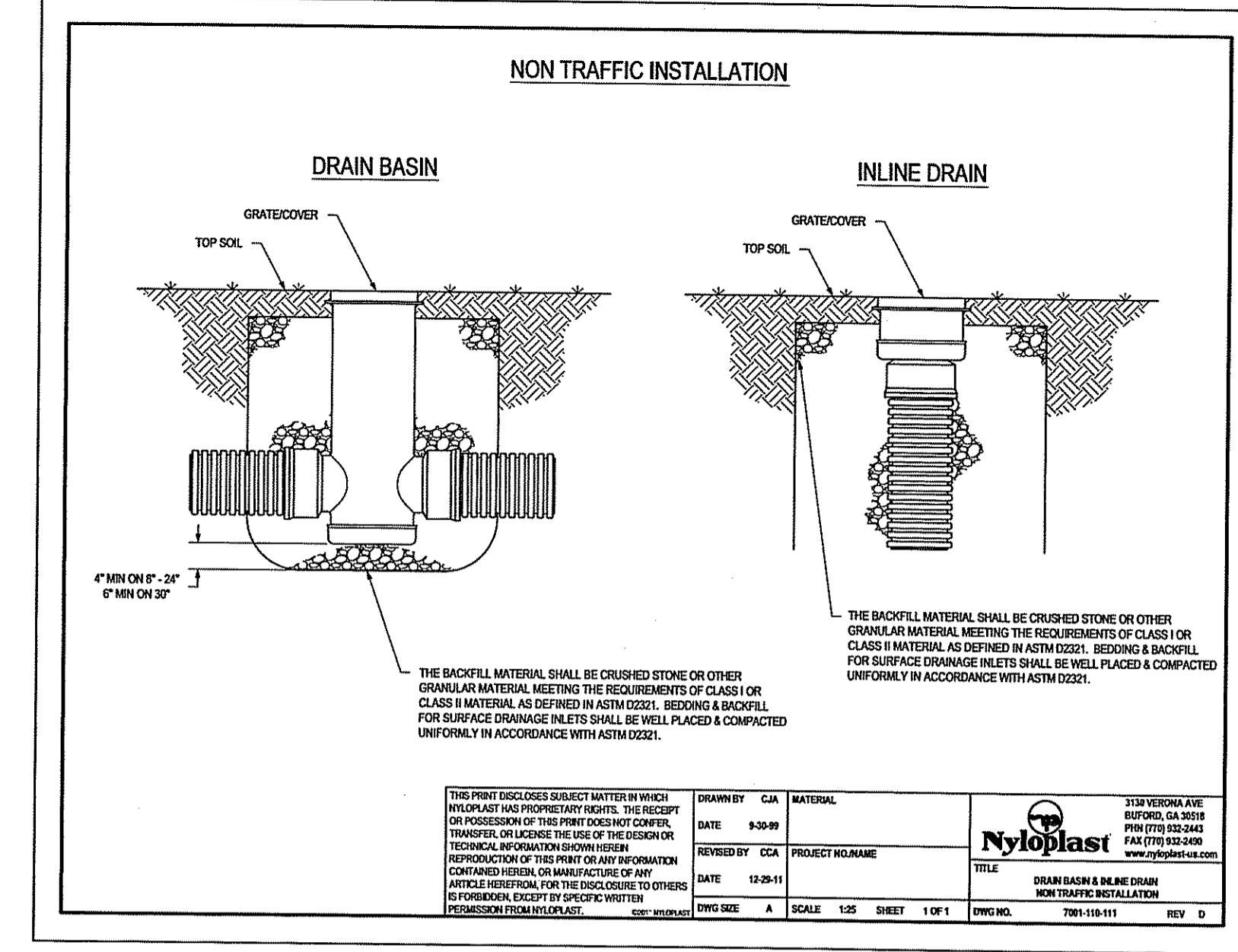


ROADWAY PROFILE GRADE	T (FT.)
0.00	7.5
0.01	9.0
0.02	11.0
0.03	13.5
0.04	19.0
0.05	30.0

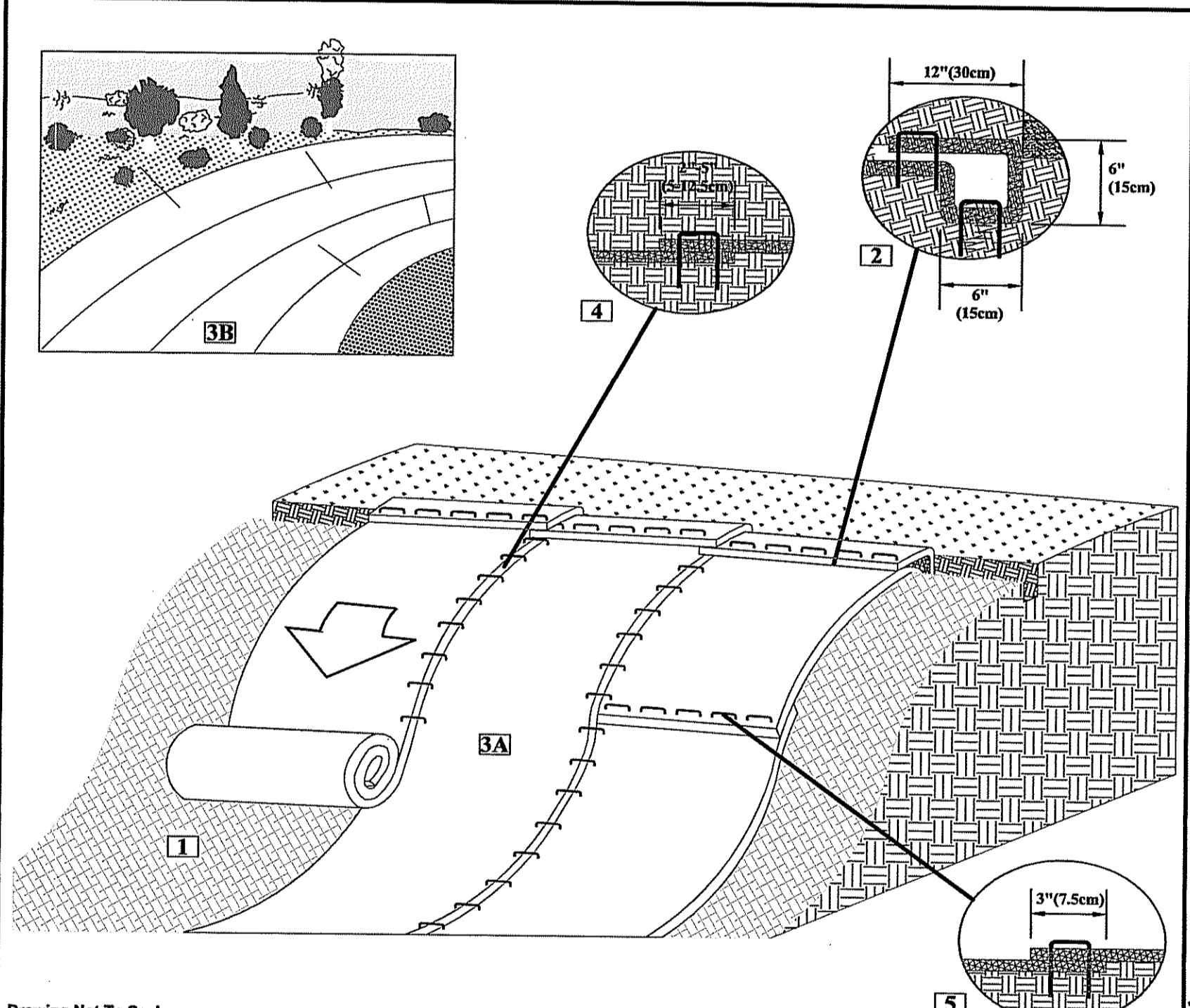


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 - WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
 - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 - DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 - LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 - IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
 - AN UNSTRUCTURED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
 - THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
 - WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0")
 - IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
 - THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 - THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
 - MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 - ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 - DETECTABLE WARNINGS TO BE PAID FOR UNDER SECTION 942 OF THE R.I. STANDARD SPECIFICATIONS.
 - 8" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (MID-BLOCK) LOCATIONS.
 - MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.3.0.

ADA Ramp
NOT TO SCALE



Nyloplast Drain Basin Detail
NOT TO SCALE



SLOPE INSTALLATION DETAIL

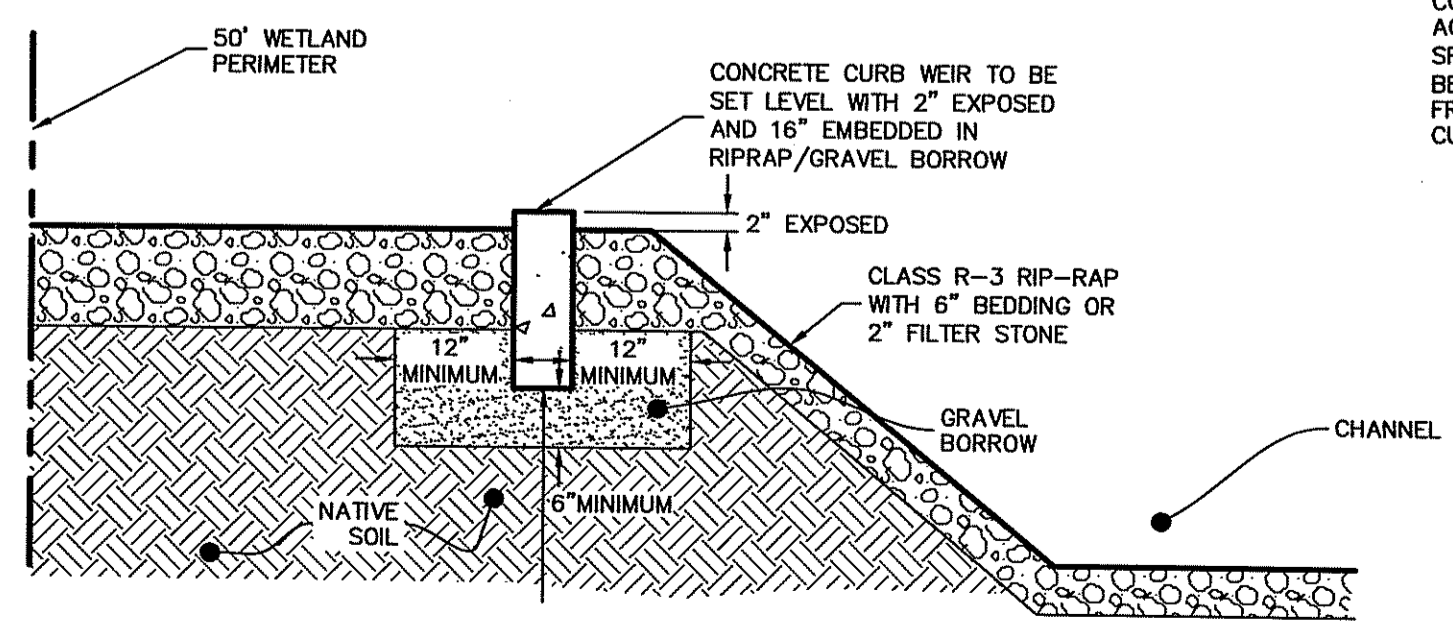
- Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the RECPs in a 6" (15cm) deep X 6" (15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/staples approximately 12" (30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12" (30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/staples spaced approximately 12" (30cm) apart across the width of the RECPs.
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/staples in appropriate locations as shown in the staple pattern guide.
- The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
- Consecutive RECPs spliced down the slope must be end over end (Shingle style) with an approximate 3" (7.5cm) overlap. Staple through overlapped area, approximately 12" (30cm) apart across entire RECPs width.

Tensar
NORTH AMERICAN GREEN
5401 St. Wendel - Cynthiana Rd. PO Box 889-772-2840
Poseyville, IN 47633 www.tensarngreen.com

Disclaimer:
The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

NORTH AMERICAN GREEN EROSION CONTROL INSTALLATION DETAIL
NOT TO SCALE

LOCATION	WEIR INVERT	WEIR DEPTH	RIPRAP CLASS
SWALE	27.00	1.5'	R-3



Level Spreader
NOT TO SCALE

CONCRETE CURB TO BE SET ON GRAVEL BORROW SUBBASE IN ACCORDANCE WITH RHODE ISLAND STATE STANDARDS SPECIFICATIONS. GRAVEL BORROW TO EXTEND MINIMUM 6" BELOW EXISTING TOP/SUBSOIL. ALL BACKFILL SHALL BE FREE FROM ORGANIC MATERIALS. ALL MATERIAL PLACED BELOW CURBING SHALL BE COMPACTED TO 95% DENSITY.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 17 2016 FILE # 16-0187
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

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No.	Date	Description	By:	Check By:
1	6/16/2016	Regulatory Plan Submission	R.B.S.	R.B.S.

Design By: R.B.S.
Drawn By: R.B.S.

Detail Sheet 3
Steeple View Place
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Assessor's Plat 64, Lot 5-106
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99 Marlborough Street, East Greenwich, RI 02818