

LEGEND

—	PROPERTY LINE	-----	SILT FENCE/ LIMIT OF DISTURBANCE
- - -	ZONING SETBACK	— W — W —	EXISTING WATER LINE
●	UTILITY POLE	⊗	WATER SHUT-OFF
○	EXISTING SPOT GRADE	⊕	WATER VALVE
—	EXISTING CONTOUR	⊗	EXISTING EDGE OF BRUSH
□	GRANITE BOUND	⊗	SOILS BOUNDARIES
—	EXISTING SEWER LINE	⊗	SOILS TEST PIT
- - -	UNDERGROUND ELECTRIC		

EXISTING LOT AREA

Total = 2.8 ACRES

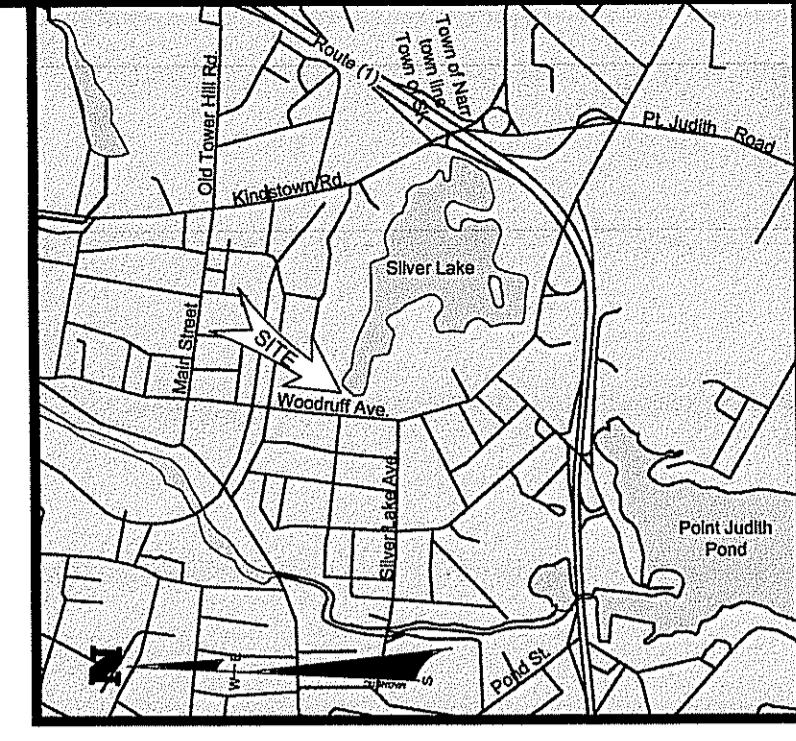
ZONING

Zoning Classification = R10
(Zoning boundary shown on Vicinity Plan).

BUILDING SETBACKS

PRINCIPAL BUILDING
FRONT = 25'
SIDE = 10'
REAR = 30'

ACCESSORY STRUCTURE
SIDE = 6'
REAR = 10'



LOCATION PLAN
SCALE: 1" = 2000'

COMPILATION PLAN SOURCES:

- 1963 South Kingstown Photogrammetric Plan
- 2014 Aerial Photos - RIGIS
- RI Soil Survey
- United Water, water line compilation plan, drawing # 57-4
- Plan titled "Parking Plan for a Proposed Rest Home on Lot 44 of Assessor's Map 57-4, owned by Eleanor and William Dykstra II, in the Town of south Kingstown, RI" by Frisella Engineering, dated February 1994.
- Plan titled "Division of Land owned by William C. II and Eleanor A. Dykstra" by Frisella Engineering, dated January 1990.
- Plan titled "Plan of Survey for William C. Dykstra II Et Ux, woodruff Avenue, South Kingstown, RI" by Alfred W. Diorio, dated August 1987.
- Plan titled "Preliminary Proposed Subdivision for Silver Lake Manor" by Frisella Engineering, dated February 10, 1998.

WETLANDS:

Wetland flagging for subject property performed by Applied Bio-Systems, Inc. in June 2016. Flag series A100- A111 depicts an Emergent Wetland complex with an associated 50' Perimeter Wetland.

MISC. DISTRICTS

- This site is not located in the following:
- Natural Heritage Area (R.I.-D.E.M.)
 - Narrow River Special Area Management Plan (R.I.-C.R.M.C.)
 - Salt Ponds Special Area Management Plan (R.I.-C.R.M.C.)
 - Groundwater Protection Overlay District (South Kingstown)
 - F.E.M.A. 100 year floodplain

See separate plan for Class I survey.

CERTIFICATION

This survey and the plan has been prepared to substantially conform to Section 9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors as follows:

Type of Boundary Survey: Not a Boundary Survey
Measurement Specification:

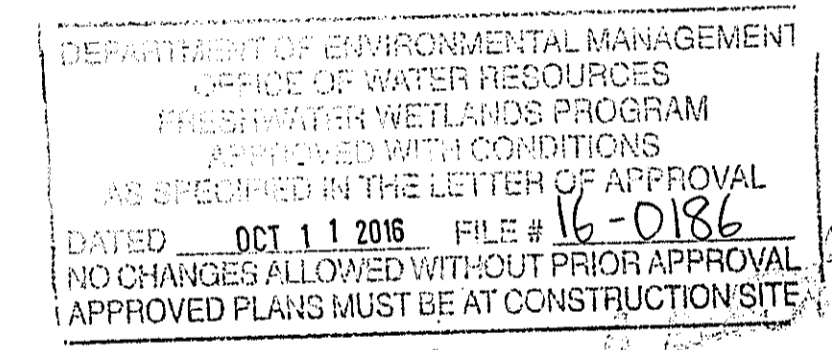
Other Type of Survey: Data collection survey III

Topographic Standard: T-3

The purpose for the conduct of the survey and for the preparation of the plan is as follows:

The plan is intended to show the location of existing and proposed improvements for regulatory and municipal applications.

By: *Jeffrey K. Balch* Date: 8/20/2016
Jeffrey K. Balch, RI Professional Land Surveyor #1839
Certificate of Authorization #A535.



FRISELLA - BALCH & ASSOCIATES
LAND SURVEYORS

33 NORTH RD. SUITE C-201 PEACE DALE, RI
PHONE (401) 783-5949 FAX (401) 783-5997
www.frisella.com

NO.	DATE	DESCRIPTION	BY
3.	8-18-2016	Labeled soils test pits per RIDEM comments, dated 8-17-2016	JK
2.	7-21-2016	Corrected / added underground electric and water service lines on site.	JK
1.	6-30-2016	Added wetland flagging and test hole locations, change of ownership.	JK

Existing Conditions Site Plan

LOCATED ON:
Lot 44 Of Assessor's Map 57-4

OWNED BY:
Silver Lake Cottage, LLC

ADDRESS:
361 Woodruff Avenue

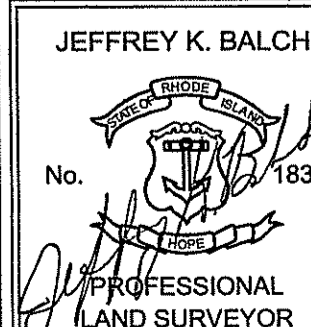
IN THE TOWN OF **South Kingstown, RI**

March 10, 2016
DESIGNED BY:
JEFFREY K. BALCH, P.L.S.

SCALE: 1" = 30'
DRAWN BY:
JK

CHECKED BY:
JKB

DRAWING NO.
SHEET 1 OF 4



OWNER:

Silver Lake Cottage, LLC
110 Fresh Meadow Road
Wakefield, RI 02879
(401) 742-7007

APPLICANTS:

Paul Schurman Contractors, Inc.
Paul Schurman
110 Fresh Meadow Road
Wakefield, RI 02879
(401) 742-7007

ARCASEUM LLC
Michael Beirne, Principal
52 Sundance Trail
Wakefield, RI 02879
(212) 861-6755

LAND SURVEYOR:

Frisella-Balch & Associates
Jeffrey K. Balch, P.L.S.
33 North Road, Suite C-201
Peace Dale, RI 02879
(401) 783-5949

ENGINEER:

CJ Doyle, P.E.
1122 Main Street
Wyoming, RI
mailing address:
PO Box 1161, Hope Valley RI 02832
(401) 941-9530

ARCHITECT:

ARCASEUM LLC
Michael Beirne, Principal
52 Sundance Trail
Wakefield, RI 02879
(212) 861-6755

LANDSCAPE ARCHITECT:

John C. Carter, P.L.A.
Principal Landscape Architect
John C. Carter & Co., Inc.
960 Boston Neck Road
Narragansett, RI 02882
(401) 783-3500

EXISTING IMPERVIOUS AREA:

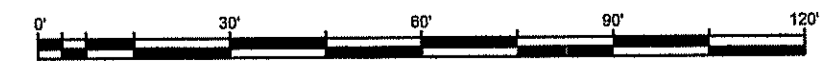
- Existing pavement area: 14,700± sf
- Existing roof area: 6,135± sf
- Total impervious area: 20,835± sf

(Roof area excludes sheds)

PARKING EXISTING:

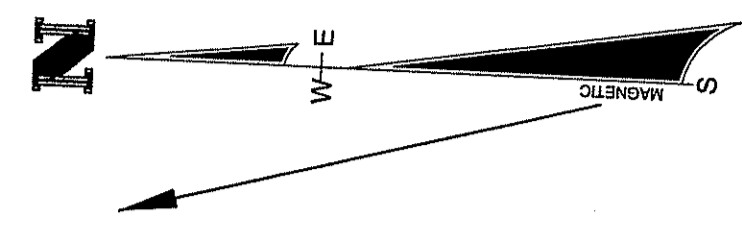
- 15 offstreet parking spaces (+) 3 (3-car garage) = 18 spaces total.

Graphical bar scale: 1" = 30'



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© JEFFREY K. BALCH 2016



EXISTING IMPERVIOUS AREA:

- Existing pavement area: 14,700± sf
- Existing roof area: 6,135± sf
- Total impervious area: 20,835± sf

(Roof area excludes sheds)

PROPOSED IMPERVIOUS AREA:

- Total pavement area: 13,142± sf (reduction of 1,558± sf)
- Total roof area: 8,557± sf
- Total impervious area: 21,699± sf

(Roof area excludes sheds)

NET IMPERVIOUS AREA:

21,699 - 20,835 = 864 SF

LEGEND

PROPERTY LINE	*****	SILT FENCE/ LIMIT OF DISTURBANCE
ZONING SETBACK	--- ---	EXISTING WATER LINE
UTILITY POLE	⊙	WATER SHUT-OFF
EXISTING SPOT GRADE	⊙	WATER VALVE
EXISTING CONTOUR	~ ~ ~	EXISTING EDGE OF BRUSH
GRANITE BOUND	□	
EXISTING SEWER LINE	—S—	

PROPOSED USE ON PROPERTY:

- Main structure to be converted to (4) units (elderly only)
- New structure in the location of the "barn" to be (3) units (elderly only)
- Total number of "elderly" units proposed: (7) units.

PARKING REQUIREMENTS:

- Town of South Kingstown, RI Code of Ordinances, Section 711 - Minimum off-street parking spaces required for "elderly" housing is 1 for each dwelling unit.
- Total number of units proposed = 7.
- Off-street spaces required = 7.

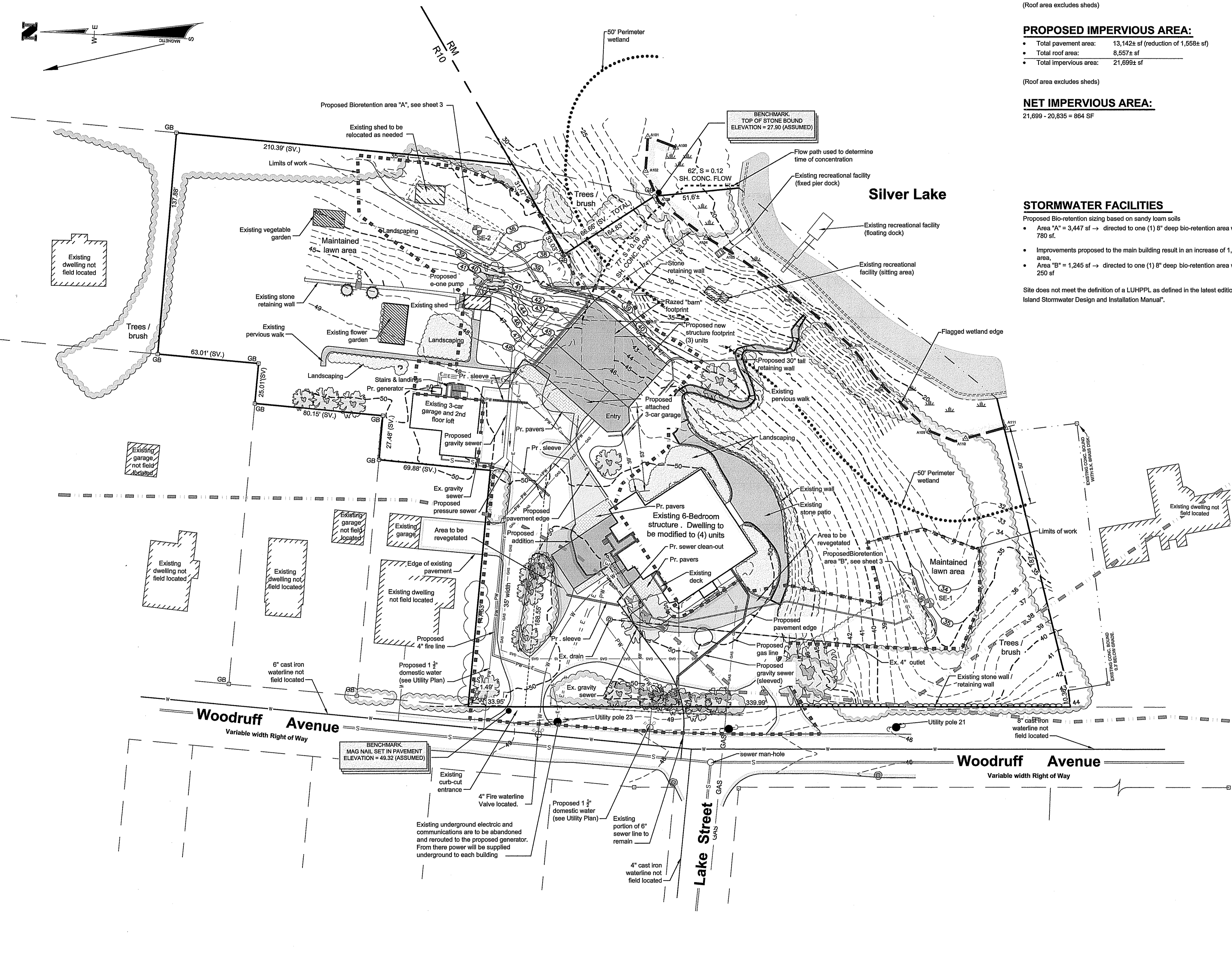
PARKING PROVIDED:

- 7 Proposed garage spaces
- 3 Existing garage spaces
- 5 existing spaces (west of main building)
- 15 spaces total proposed.

DWELLING UNITS:

- Each dwelling unit proposed shall have a maximum number of bedrooms not to exceed 3.

ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 RIVERSIDE WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 11 2016 FILE # 16-0186
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



FRISELLA-BALCH & ASSOCIATES LAND SURVEYING 33 NORTH ROAD, SUITE C-201, PEACE DALE, RI PHONE (401) 783-5948 FAX (401) 783-5997 www.friseffa.com	CJ DOYLE, P.E. CIVIL ENGINEERING MAILING ADDRESS P.O. BOX 1161, HOPE VALLEY, RI OFFICE LOCATION 1122 MAIN STREET, WYOMING, RI PHONE (401) 491-8530 cjoyle@cox.net
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NO.	DATE	DESCRIPTION	BY
3.	8-18-2016	Revisions per RIDEM review comments, dated 8-18-2016.	JK
2.	7-22-2016	Reduced size of new building, revised proposed utilities	JK
1.	7-01-2016	Revised proposed building addition to the main structure, Proposed Bio-retention areas, changed ownership.	JK

Proposed Preliminary Site Development Plan

LOCATED ON:
Lot 33 of Assessor's Map 57-4

OWNED BY:
Silver Lake Cottage, LLC

ADDRESS:
361 Woodruff Avenue

IN THE TOWN OF **South Kingstown, RI**

DATE: **March 10, 2016**

SCALE: **1" = 20'**

DESIGNED BY: **CJ Doyle, PE**

DRAWN BY: **JK** CHECKED BY: **CJD & JKB**

DRAWING No. **2 OF 4**

JEFFREY K. BALCH No. 1839 PROFESSIONAL LAND SURVEYOR	CAROLYN J. DOYLE No. 5078 REGISTERED PROFESSIONAL ENGINEER
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FOR SURVEYS ONLY FOR ENGINEERING

Graphical bar scale: 1" = 30'

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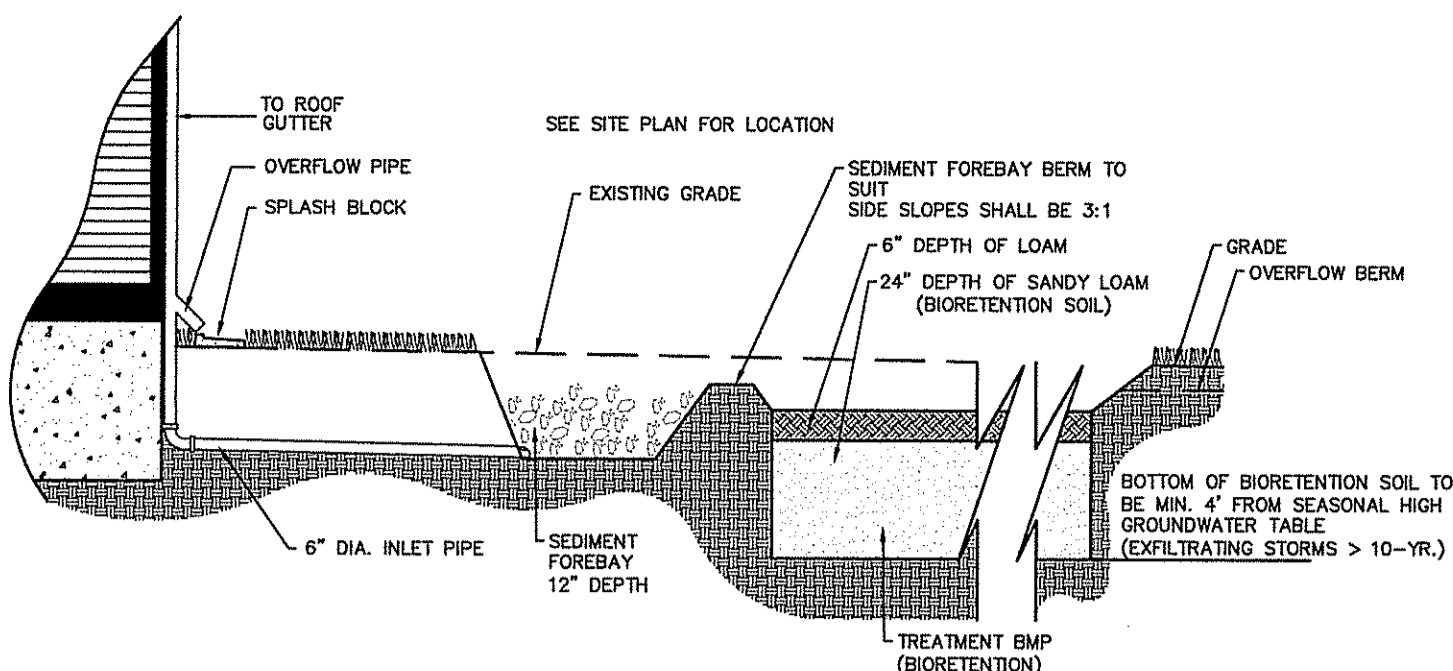
TABLE OF SIZES AND INVERTS FOR SEDIMENT FOREBAYS AND BIORETENTION AREAS

DESIGNATION	SEDIMENT FOREBAY SIZE	SEDIMENT FOREBAY INVERT	OVERFLOW BERM	LENGTH OF BERM	BIORETENTION BOTTOM SIZE	TOP OF 6" LOAM	BOTTOM OF BIORETENTION SOIL	OVERFLOW BERM	LENGTH OF BERM	ESHWT
"A"	2' x 5'	35.50	36.50	2'	13' x 60' (780 SF MIN.)	35.33	32.83	36.00	64'	28.5
"B"	1' x 2'	35.08	36.08	1'	6.6' x 38' (250 SF MIN.)	35.33	32.83	36.00	37'	25.5

NOTES:

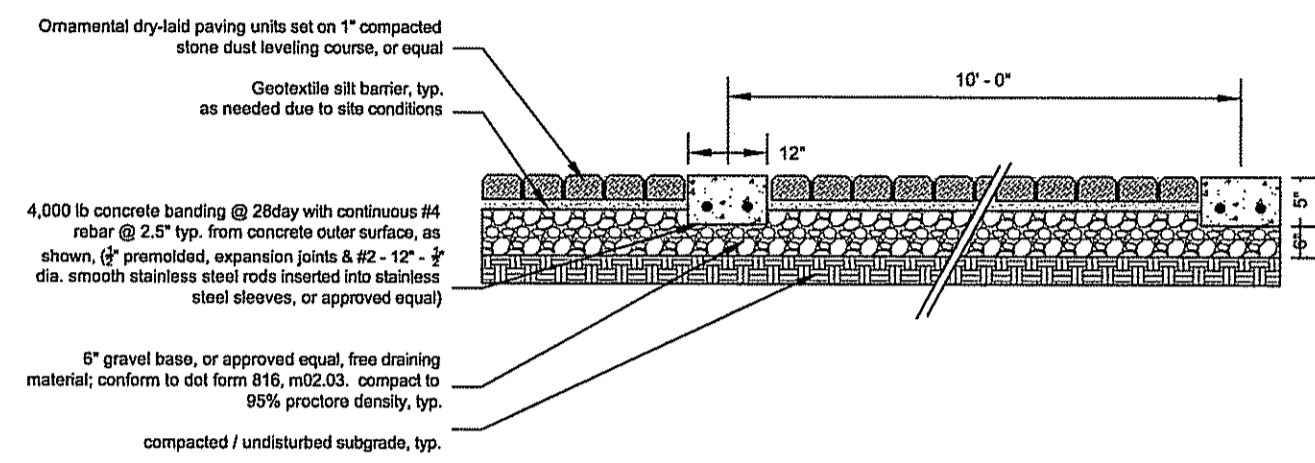
- UNLESS NOTED OTHERWISE ALL DRAINAGE PIPING TO BE 6" DIA. ADS DRAINAGE PIPE.
- ALL PROPOSED SEDIMENT FOREBAYS SHALL BE CONSTRUCTED A MINIMUM 5' FROM ANY FOUNDATION WALLS. SEE SECTION DETAIL.
- A MINIMUM 25' SETBACK IS REQUIRED WITH ALL DRAINAGE COMPONENTS TO THE EXISTING OWTS LEACH FIELDS AND DOWNGRADIENT SLOPE > 15%.
- BIORETENTION AREAS SHOWN (SOLID LIGHT GREEN HATCH) INDICATE REQUIRED BOTTOM AREAS ONLY.
- ALL STORMWATER DRAINAGE FACILITIES METHOD, MATERIALS, INSTALLATION, AND MAINTENANCE SHALL BE PER THE LATEST EDITION OF THE "RHODE ISLAND STORMWATER DESIGN & INSTALLATION MANUAL".
- ALL EROSION AND SEDIMENTATION CONTROL METHODS, MATERIALS, INSTALLATION, AND MAINTENANCE SHALL BE PER THE LATEST EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK".
- ALL TOPSOIL SHALL BE REMOVED TO THE DESIRED SUBGRADE. SHOULD ADDITIONAL TOPSOIL NEED REMOVING BELOW THE DESIRED SUBGRADE ELEVATION, IT SHALL BE REMOVED AND THE ENGINEER NOTIFIED. FOLLOWING CLEARING AND GRUBBING AND REMOVAL OF ALL TOPSOIL BUT PRIOR TO INSTALLATION OF ANY INFILTRATION FACILITIES THE ENGINEER SHALL BE CALLED FOR AN INSPECTION.
- ESHWT IS SOIL EVALUATIONS CONDUCTED ON 6-28-2016 AND FOUND IN THE APPENDIX OF THE STORMWATER MANAGEMENT REPORT. 108" TO ESHWT IN BOTH TEST HOLES.
SE-1: 34.5 - 9.0 = 25.5
SE-2: 37.5 - 9.0 = 28.5

Bioretention systems shall consist of the following treatment components: A 24" to 48" deep planting soil bed (depending on requirements of proposed vegetation), a surface mulch layer, and a 6" to 9" deep surface ponding area. Soils shall consist of USDA loamy sand to sandy loam classification and meet the following gradation: sand 85-88%, silt 8-12%, clay 0-2%, and organic matter (in the form of leaf compost) 3-5%.



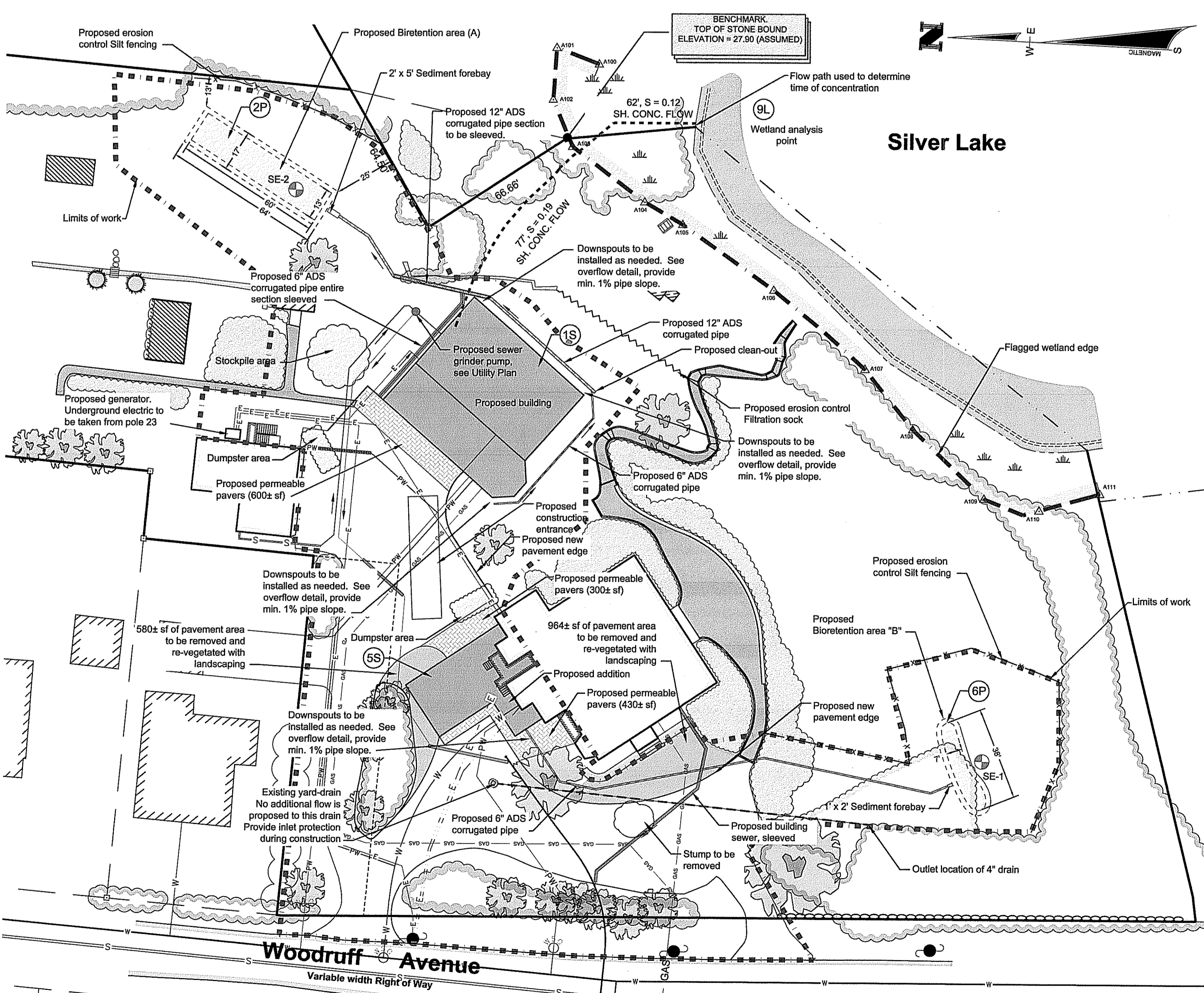
TYPICAL PROFILE OF SEDIMENT FOREBAY TO BIORETENTION

NOT TO SCALE



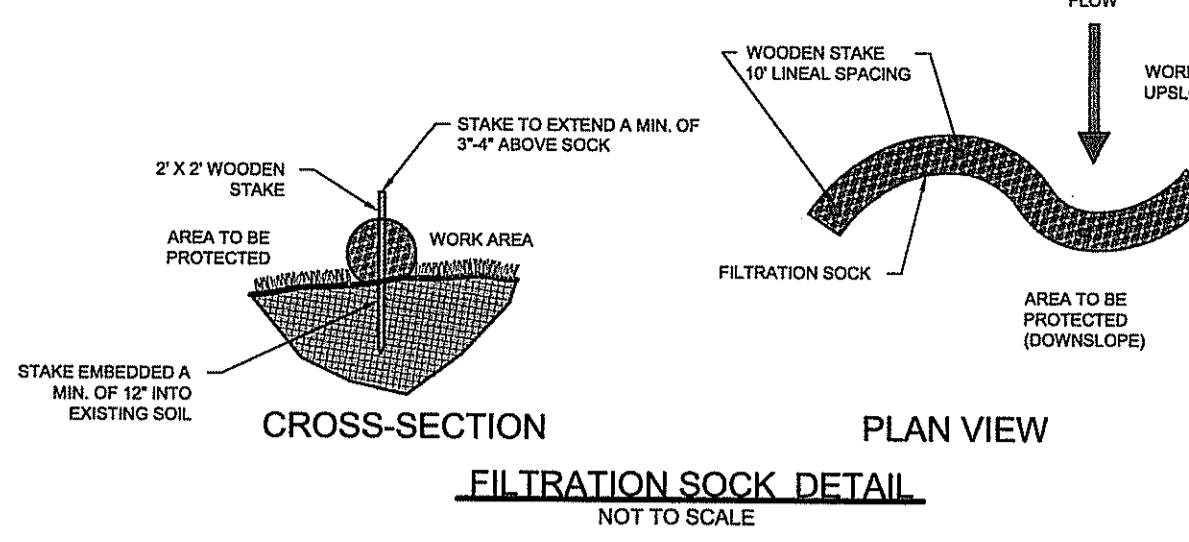
TYPICAL DETAIL DRY-LAID PAVERS

NOT TO SCALE



Detail Stormwater and Erosion Control Graphical bar scale: 1" = 30'

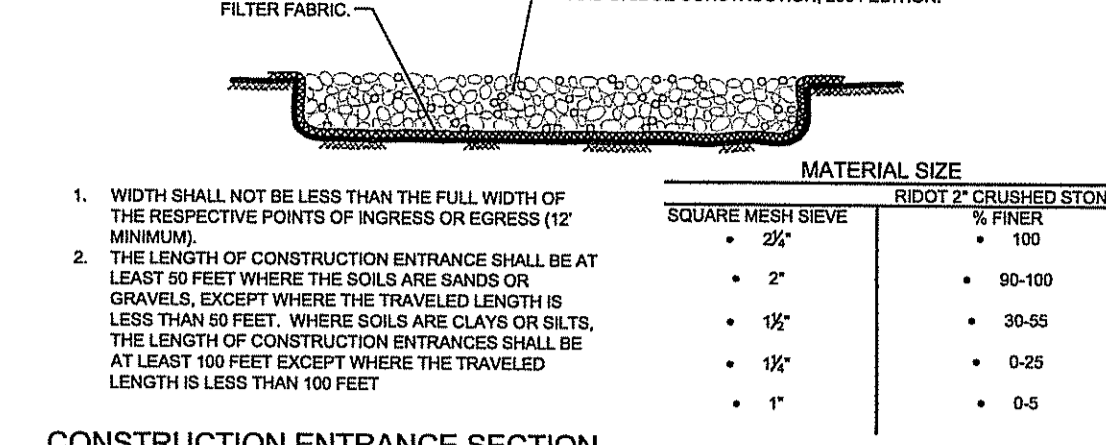
Existing watershed: (E) (Impervious only, see hydrocad)
Proposed watershed: (10S) Balance of site (Impervious only)



FILTRATION SOCK DETAIL

NOT TO SCALE

NOTE: SEE MAIN PLAN FOR LENGTH AND WIDTH.
5" MINIMUM DEPTH OF CRUSHED STONE SHALL CONFORM TO THE REQUIREMENTS OF SUBSECTION M.01.09, TABLE 1, COLUMN 2 OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION.



CONSTRUCTION ENTRANCE SECTION

SCALE: NONE

EROSION AND SEDIMENTATION CONTROL NOTES:

Temporary and/or permanent erosion control devices such as baled hay, silt fencing, etc. shall be installed prior to any clearing or excavation. Hay bales or silt fencing shall be placed immediately down slope and adjoining areas of soil disturbance and stockpiles. Installation of all erosion control devices shall be conducted in accordance to detail specifications.

Clearing of existing vegetation shall be done in a controlled manner so as to avoid extensive areas of defoliated terrain subject to erosion. Areas so disturbed shall be brought to final grades and stabilized as soon as possible.

During construction the contractor shall be responsible for maintaining drainage and runoff flow during storms and periods of rainfall.

All erosion control devices shall be inspected and maintained on a regular basis during construction, especially after each rainfall.

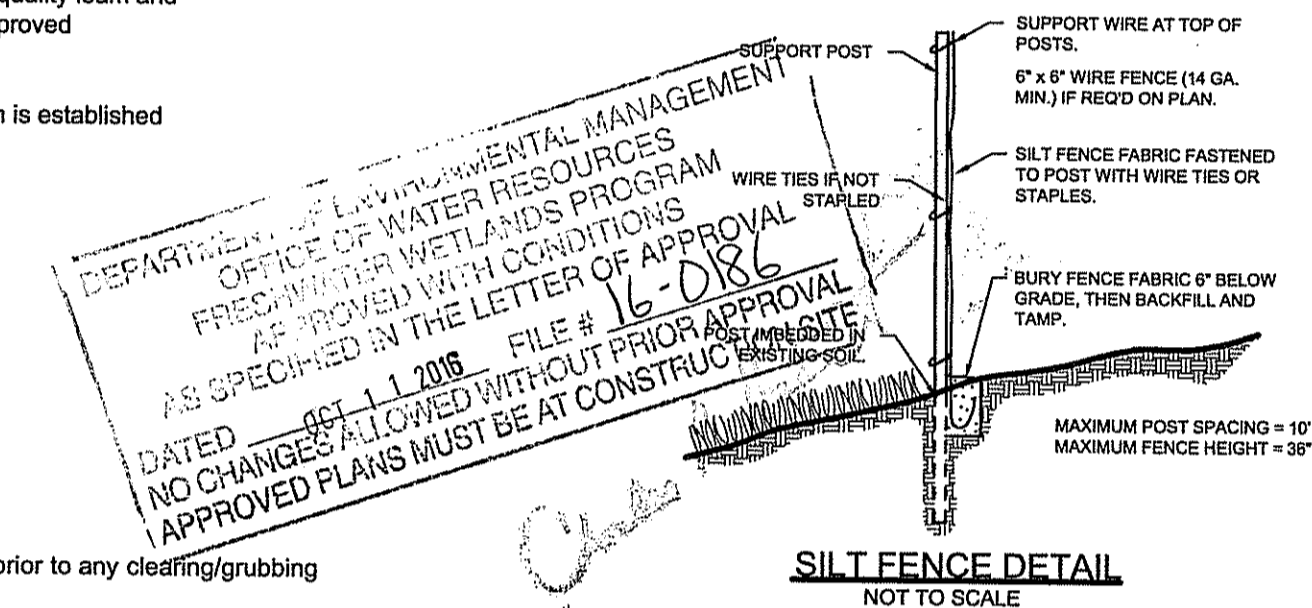
Due to changing characteristics of the site caused by and during construction additional erosion control measures may be required as site conditions warrant.

If construction is suspended, all disturbed areas shall be seeded and all necessary erosion control devices shall be in place and in good working order. If seeding is not possible then erosion control mats shall be placed over all disturbed soil. Erosion control blankets (mats) shall be installed according to the manufacturer's recommendations. Erosion control blankets (mats) shall be manufactured by north american green) or approved equivalent and installed according to the manufacturer's recommendations.

All erosion control methods, materials and maintenance shall be done in accordance with the "Rhode Island Soil Erosion and Sediment Control Handbook".

All areas which are disturbed during construction are to be brought to finished grade with at least 6" minimum depth of good quality loam and all soil amendments deemed necessary. The area shall be seeded with a quick germinating grass seed such as urt #2 or approved equivalent.

The contractor shall provide for all seeded areas to be watered and in good condition until a good healthy and uniform growth is established over the entire area.



SILT FENCE DETAIL

NOT TO SCALE

Planned Erosion and Sedimentation Control Practices

- Perimeter Sediment Barrier/Silt Fencing - Silt fencing or filtration sock shall be installed around the perimeter of the limit of disturbance prior to any clearing/grubbing or construction activities at the site. Refer to the site plan for location of the silt fence and details for installation.
- Storm Drain Protection - protect the existing storm drains present in the paved area to the northwest of the existing primary residence on the site.
- Temporary Construction Entrance - The temporary construction entrance shall be installed as shown on this sheet.
- Straw Bale Check Dams - not required.
- Vegetation Preservation - The 50' setback from the wetland shall be undisturbed. No grading or construction activities are proposed within the 50' setback.
- Stockpiling - Due to the limited area of disturbance, little area for stockpiling of materials will be available onsite. Contractor shall place fill as it is delivered to the site. Unsuitable materials shall be removed from the site as soon as possible following grubbing or excavation. Stockpile area shall be as shown on this sheet.
- Land Grading - Grading at the site will be minimal. For the most part minimal grading will be required around buildings and for the drainage facilities, i.e. sediment forebays, bioretention areas.
- Filter Fabric Dewater Basin - The seasonal high groundwater elevation determined at the site by soil evaluation is approximately 9' below existing grade at the test hole locations. Therefore, we do not anticipate significant dewatering to take place during construction.
- Dust Control - Dust control is not anticipated to be a problem due to the limited area of disturbance, the perimeter vegetative buffers to be left in place, and the relatively short period of exposure time (3-6 months). Should excessive dust be generated it will be controlled by sprinkling.

Construction Sequence

Please note that this sequence is subject to revision based on project phasing and completion of construction details for the proposed structures. For the purposes of A Construction Erosion and Sediment Control Plan the following construction sequence is suggested:

- Obtain all necessary plan approvals and permits.
- Flag the limit of disturbance, bioretention areas, and corners of proposed building.
- Hold preconstruction meeting at least one week prior to commencement of construction activities.
- Install erosion control fencing along the site's Limit of Disturbance as shown in the Site Plan.
- All areas to be used for stormwater drainage purposes, i.e. sediment forebays, bioretention areas, shall be taped off and protected from compaction by heavy construction equipment.
- Demolish and remove existing barn from the site for disposal.
- Clear and grub the areas of the site to be disturbed. Cleared materials shall be removed from the site as soon as possible due to the limited area of disturbance within which to work.
- Remove all topsoil, organics and other unsuitables as required for construction.
- Since the areas to be disturbed are minimized no significant amount of grading is required to commence the construction of the buildings. Minor grading will be required at the bioretention areas, proposed building, building addition, and pavement alterations, or pervious paver areas. Large stockpiles of material are not anticipated on the site for any significant period of time. It is assumed that each building as constructed will include the sediment forebay and bioretention area as appropriate.
- The sequence for each building will be: excavate and install the building foundation system, excavate and install the appropriate utilities to the building, excavate and construct the appropriate sediment forebay and bioretention area. Vegetate all disturbed portions of the bioretention area and as appropriate around the sediment forebay and allow to stabilize before installing interconnecting piping and introducing rainwater.
- Inspect and confirm that the forebays, bioretention areas are clean, stabilized with vegetation as appropriate and ready for use before allowing any rainwater to enter the facilities.
- Complete final grading as required for the site.
- All erosion and sediment control practices shall be inspected weekly and after all rainfall events. Needed repairs shall be made immediately.
- After the site is stabilized, remove all temporary erosion control measures. Install permanent vegetation in any disturbed areas not previously stabilized.
- Estimated time before final stabilization - 3-4 months.

Maintenance Plan

- All erosion and sediment control practices will be checked for stability and operation following every runoff-producing rainfall but in no case less than one every week. As needed repairs will be made immediately to maintain the practices as designed.
- Sediment will be removed from behind the sediment fence when it becomes about 0.5 feet deep at the fence. The sediment fence will be repaired as necessary to maintain the barrier.
- All seeded areas will be fertilized, reseeded as necessary, and mulched according to specifications in the re-vegetation/landscaping plan to maintain a vigorous, dense vegetative cover.

FRISELLA-BALCH & ASSOCIATES
LAND SURVEYING
33 NORTH ROAD, SUITE C-201, PEACE DALE, RI
PHONE (401) 783-5949
FAX (401) 783-5997
www.frissella.com

CJ DOYLE, P.E.
CIVIL ENGINEERING
MAILING ADDRESS: P.O. BOX 1161, HOPE VALLEY, RI
OFFICE LOCATION: 1122 MAIN STREET, WYOMING, RI
PHONE (401) 491-9530
cjen@ing.com

NO.	DATE	DESCRIPTION	BY
3.	8-16-2016	Revisions per RIDEM review comments, dated 8-16-2016.	JK
2.	7-22-2016	Reduced size of new building, revised proposed utilities	JK
1.	7-01-2016	Revised proposed building addition to the main structure, Proposed Bio-retention areas, changed ownership.	JK

Stormwater and Sedimentation and Erosion Control

LOCATED ON: **Lot 33 of Assessor's Map 57-4**

OWNED BY: **Silver Lake Cottage, LLC**

ADDRESS: **361 Woodruff Avenue**

IN THE TOWN OF **South Kingstown, RI**

DATE: **March 10, 2016**

SCALE: **AS SHOWN**

DESIGNED BY: **CJ Doyle, PE**

DRAWN BY: **JK** CHECKED BY: **CJD & JKB**

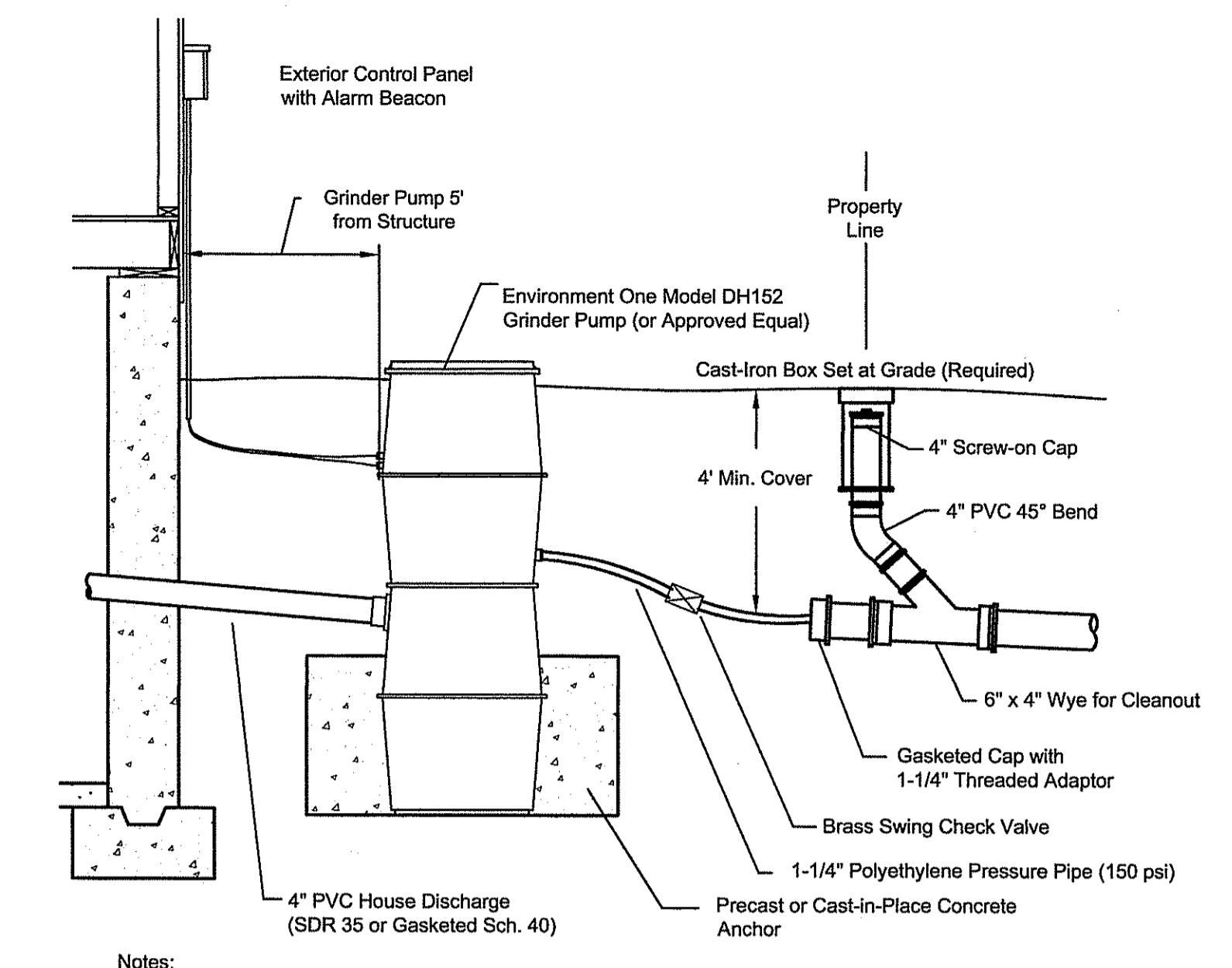
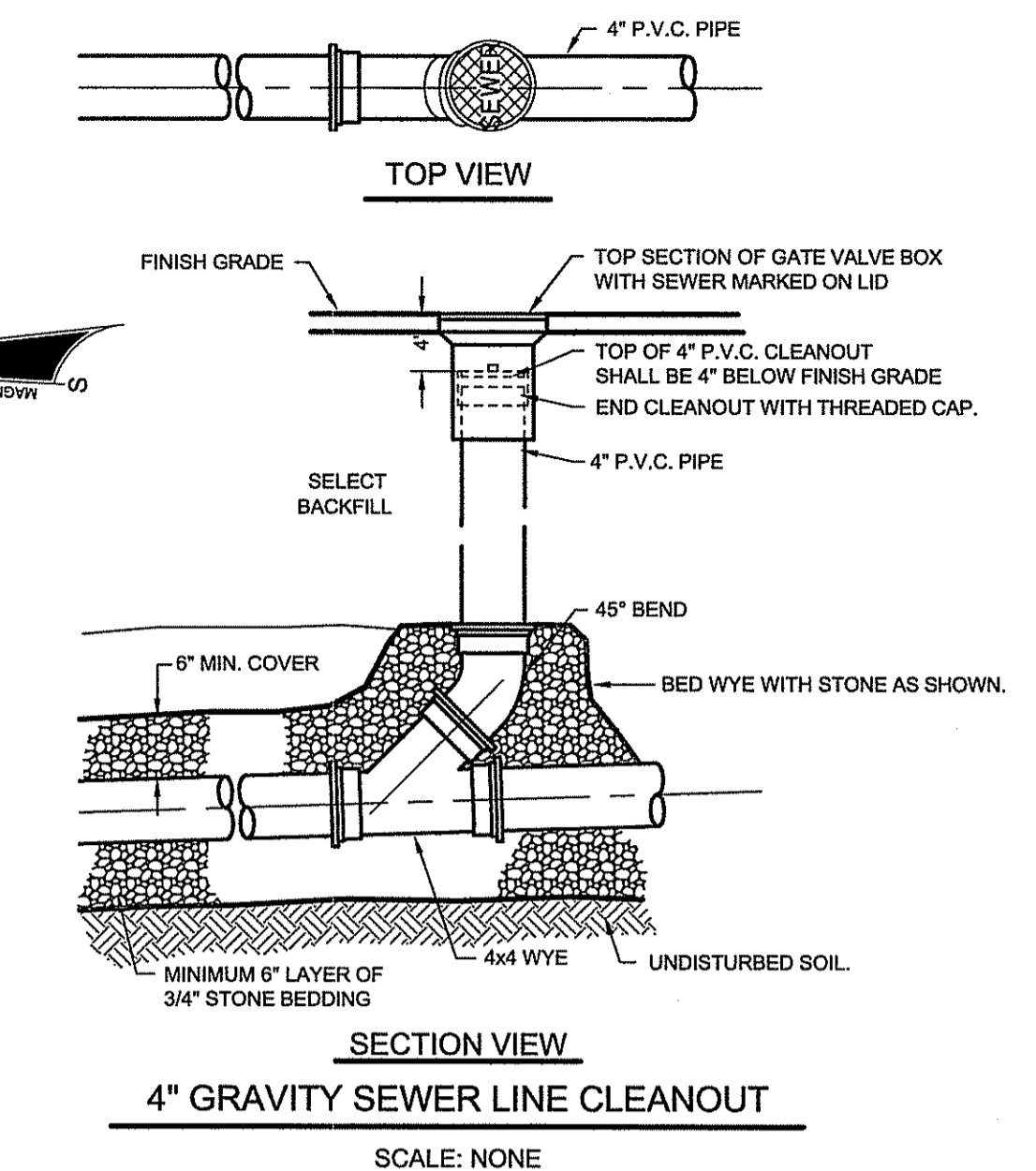
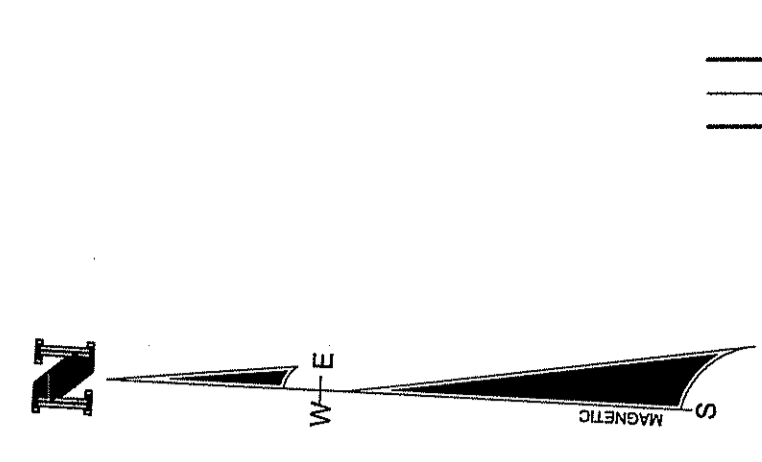
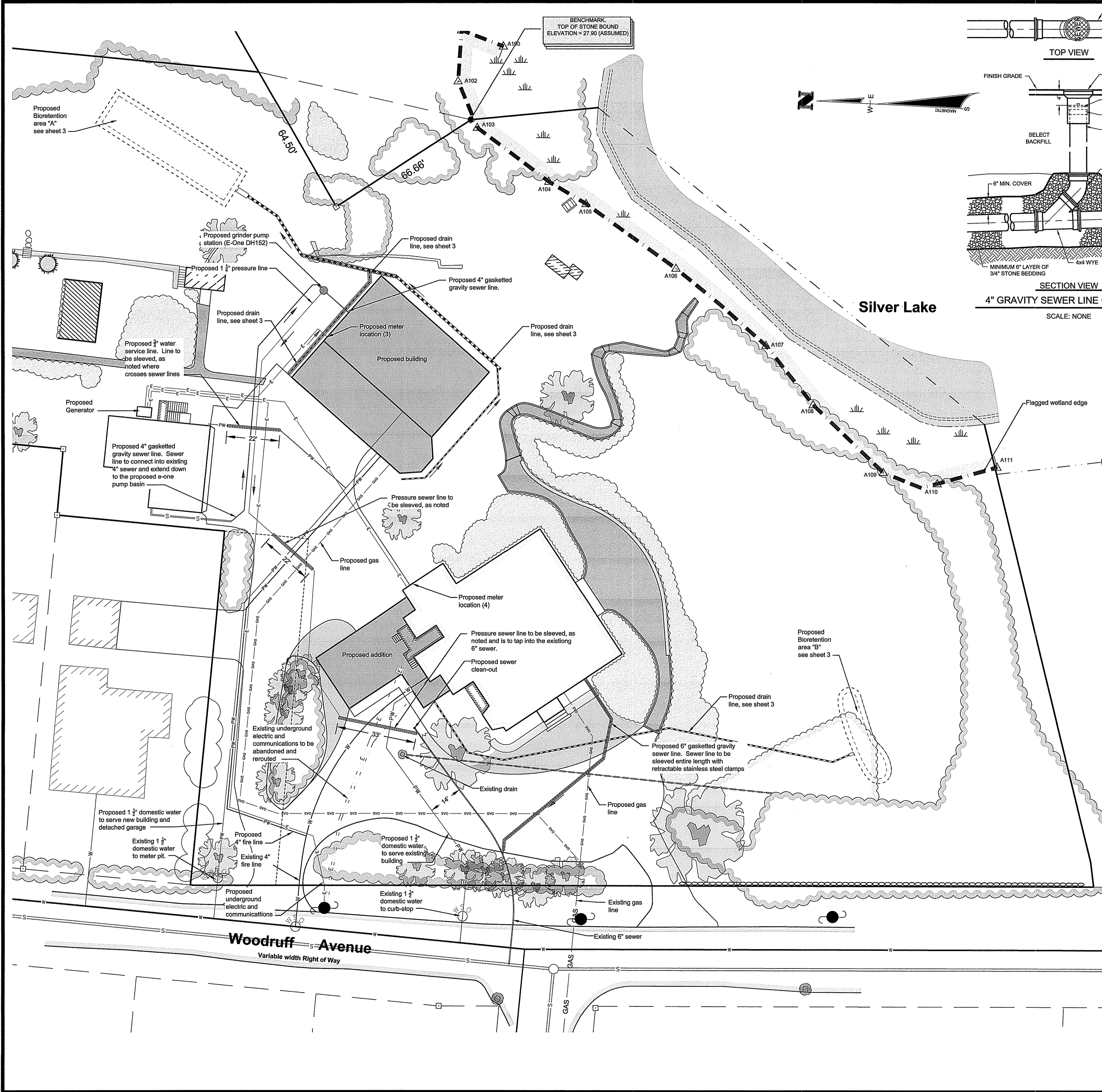
DRAWING NO. **3 OF 4**

FOR SURVEYS ONLY

FOR ENGINEERING

Professional Land Surveyor: **JEFFREY K. BALCH**, No. 1639

Registered Professional Engineer: **CAROLYN J. DOYLE**, No. 5078



- Notes:**
- 1) Grinder pump shall be an Environment One Model DH152, or approved equal.
 - 2) All work shall be performed in accordance with the manufacturer's instructions and recommendations.
 - 3) An exterior brass check valve is required between the grinder pump and the curb stop.
 - 4) Concrete anchor shall be 3000 psi mix, sized as needed to restrain the grinder pump.
 - 5) Cleanouts shall be sleeved with a cast-iron box set flush with the final grade. Covers shall be stamped with the word "SEWER."

CONSTRUCTION NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH THE CITY OF WARWICK, ALL APPROPRIATE UTILITY COMPANIES, AND R.I. DOT.

THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY AND HAVE BEEN SHOWN USING THE BEST AVAILABLE DATA. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE AUTHORITY TO ASCERTAIN THE EXACT LOCATION OF THE RESPECTIVE UTILITY PRIOR TO CONSTRUCTION.

ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE APPROPRIATE UTILITY AUTHORITY. REPAIRS SHALL BE MADE IMMEDIATELY AND SHALL BE COORDINATED WITH THE UTILITY.

ALL CONSTRUCTION SHALL MEET ALL OSHA REQUIREMENTS AS WELL AS ANY OTHER FEDERAL, STATE, OR LOCAL REQUIREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS OR HAVE ON HAND ALL PREVIOUSLY APPROVED PERMITS PRIOR TO COMMENCING CONSTRUCTION. A PARTIAL LIST OF PERMITS REQUIRED ARE:

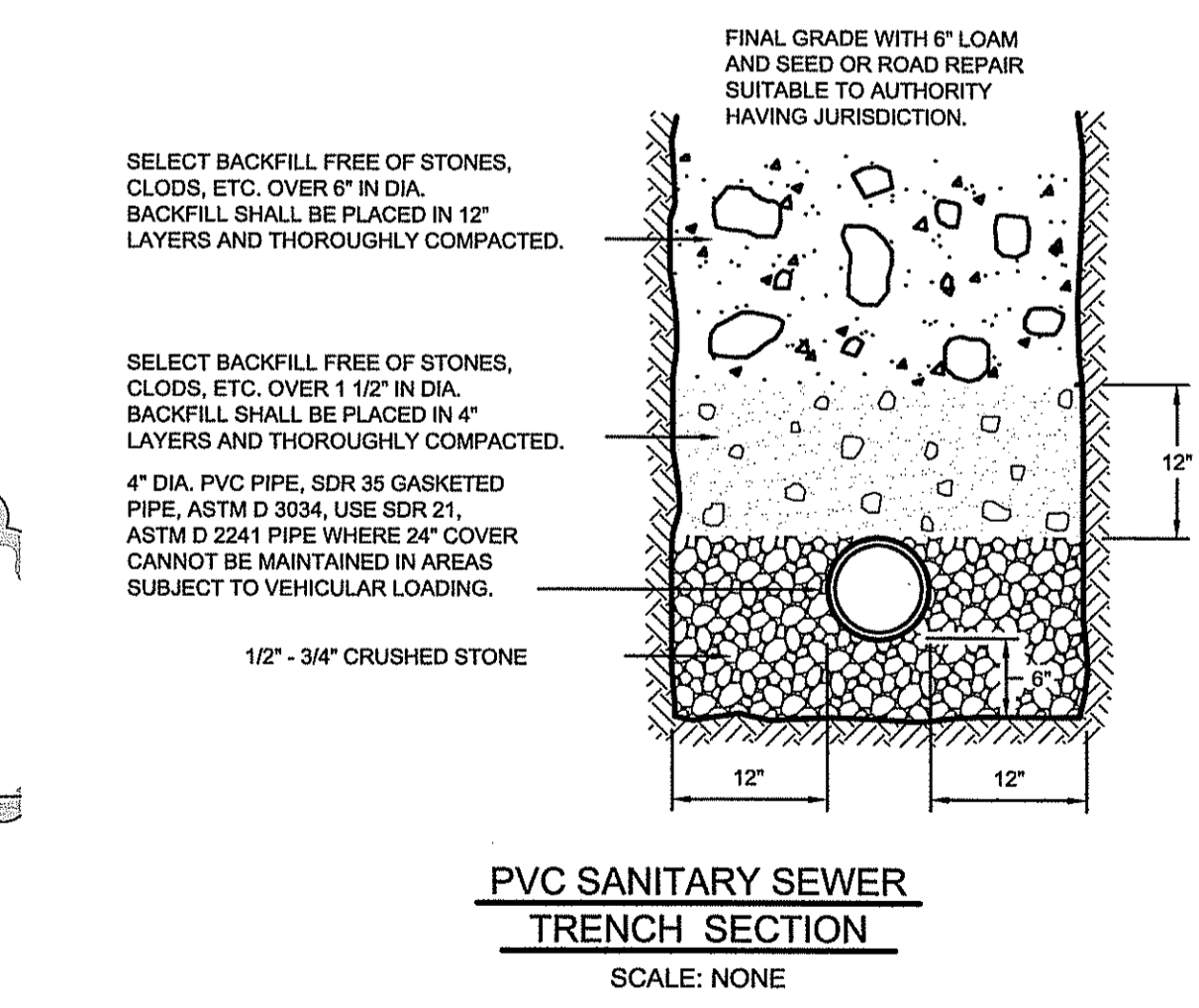
R.I. D.E.M WETLANDS,
R.I. D.O.T. PHYSICAL ALTERATION PERMIT,
UTILITY PERMITS.

ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED FROM BENEATH UNDER ALL UTILITIES AND BACKFILLED WITH CLEAN GRAVEL BORROW.

ANY GRAVEL BORROW USED FOR UTILITY CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION M.01.02.

SEATTLE ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
PERMITTING WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 11 2016 FILE # 16-0186
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Chris...



LEGEND

— — — — —	PROPERTY LINE	- - - - -	SILT FENCE/ LIMIT OF DISTURBANCE
●	UTILITY POLE	— W — W —	EXISTING WATER LINE
- 102 -	EXISTING CONTOUR	⊗	WATER SHUT-OFF
□	GRANITE BOUND	⊕	WATER VALVE
— — — — —	EXISTING SEWER LINE	— — — — —	EXISTING EDGE OF BRUSH
— — — — —	UNDERGROUND ELECTRIC		

FRISSELLA & ASSOCIATES
LAND SURVEYORS

33 NORTH RD. SUITE C-201 D PEACE DALE, RI
PHONE (401) 783-5949 FAX (401) 783-5997
www.frisella.com

NO.	DATE	DESCRIPTION	BY

DRAWING TITLED:
Utility Plan

LOCATED ON:
Lot 44 Of Assessor's Map 57-4

OWNED BY:
Silver Lake Cottage, LLC Environmental Management

ADDRESS:
361 Woodruff Avenue

IN THE TOWN OF **South Kingstown, RI**

March 10, 2016
DESIGNED BY:
JEFFREY K. BALCH, P.L.S.

SCALE: 1" = 20'

DRAWN BY:
JK

CHECKED BY:
JKB

DRAWING NO.
SHEET 4 OF 4

JEFFREY K. BALCH
P.L.S.
No. 1839
PROFESSIONAL LAND SURVEYOR

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OWTS APPLICATION #: