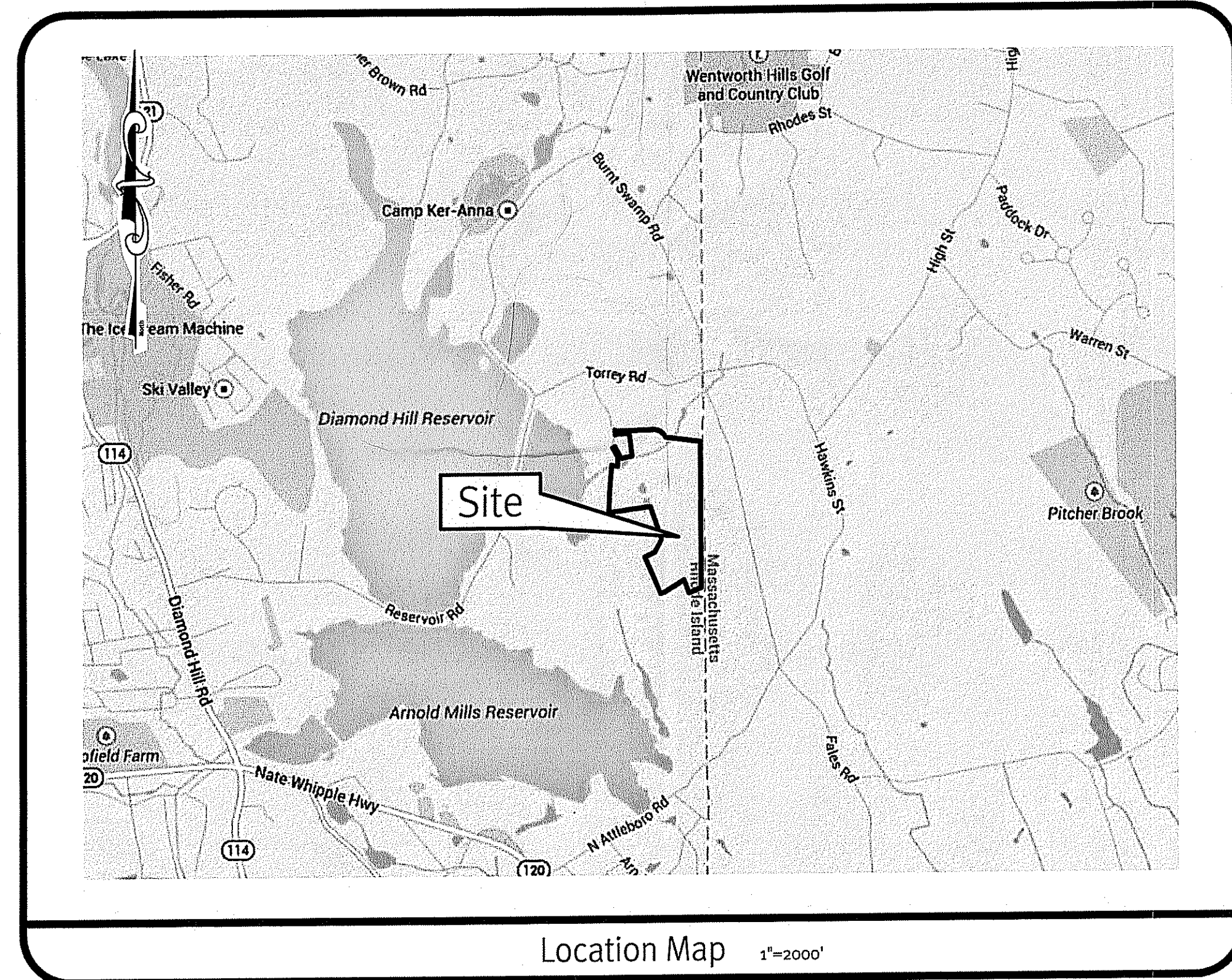


RIDEM Submission

Hidden Meadow

Located on Hidden Meadow Drive
Cumberland, Rhode Island

Assessor's Plat 56 Lots 22, 23 & 49, Assessor's Plat 57 Lots 28 & 36



Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius
3. Topographic Survey
4. Topographic Survey
5. Existing Analysis Plan
6. Erosion Control Plan
7. Overall Plan
8. Grading Plan
9. Grading Plan
10. Grading Plan
11. P&P Road A - Sta. 0+00 - 10+25
12. P&P Road A - Sta. 10+25 - 19+00
13. P&P Road A - Sta. 19+00 - 26+66
14. P&P Road C - Sta. 0+00 - 11+69
15. Wetland Crossing
16. Wetland Crossing Erosion Control
17. Sand Filter & Pond - 1
18. Sand Filter & Pond - 2
19. UIS Details
20. Detail Sheet

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 18 2018 FILE # 16-0192
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Environmental Assessment
JUL 3 2018
Office of Water Resources

RIDEM Submission

Cover Sheet
Hidden Meadow
Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
Cumberland, Rhode Island
Applicant/Owners
JCM LLC
3437 Mendon Road Suite 201
Cumberland, Rhode Island 02864
Hidden Meadow Realty LLC
3437 Mendon Road #26
Cumberland, Rhode Island 02864
DE JOB No. 1678-002 Copyright 2012 by DiPrete Engineering Associates, Inc.

No.	Date	Description	Drawn By: R.B.S.	Design By: R.B.S.
3	06/28/2018	RIDEM Submission		
2	06/28/2017	Preliminary Plan Submission		
1	11-02-2017	Preliminary Plan Submission		

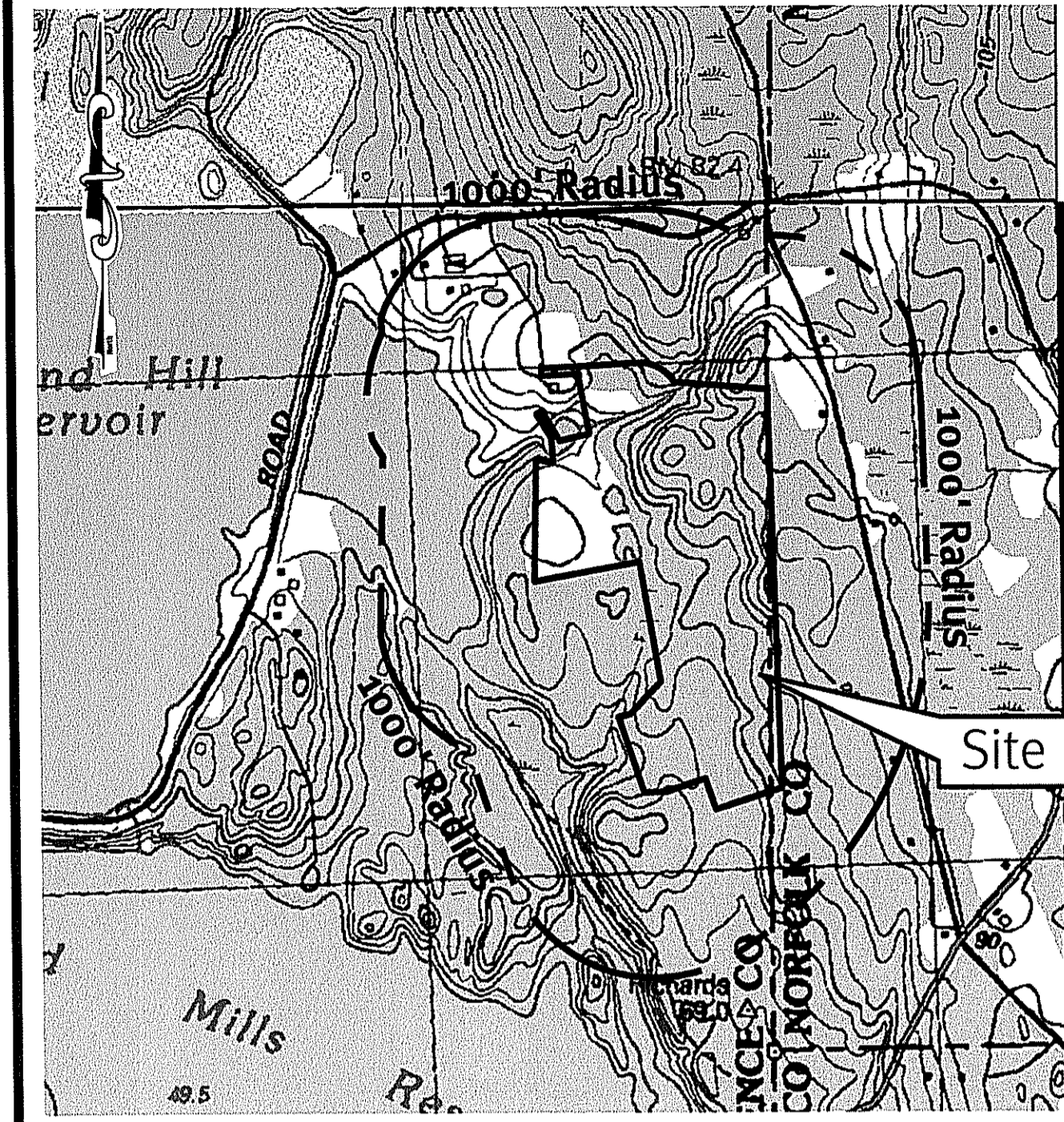
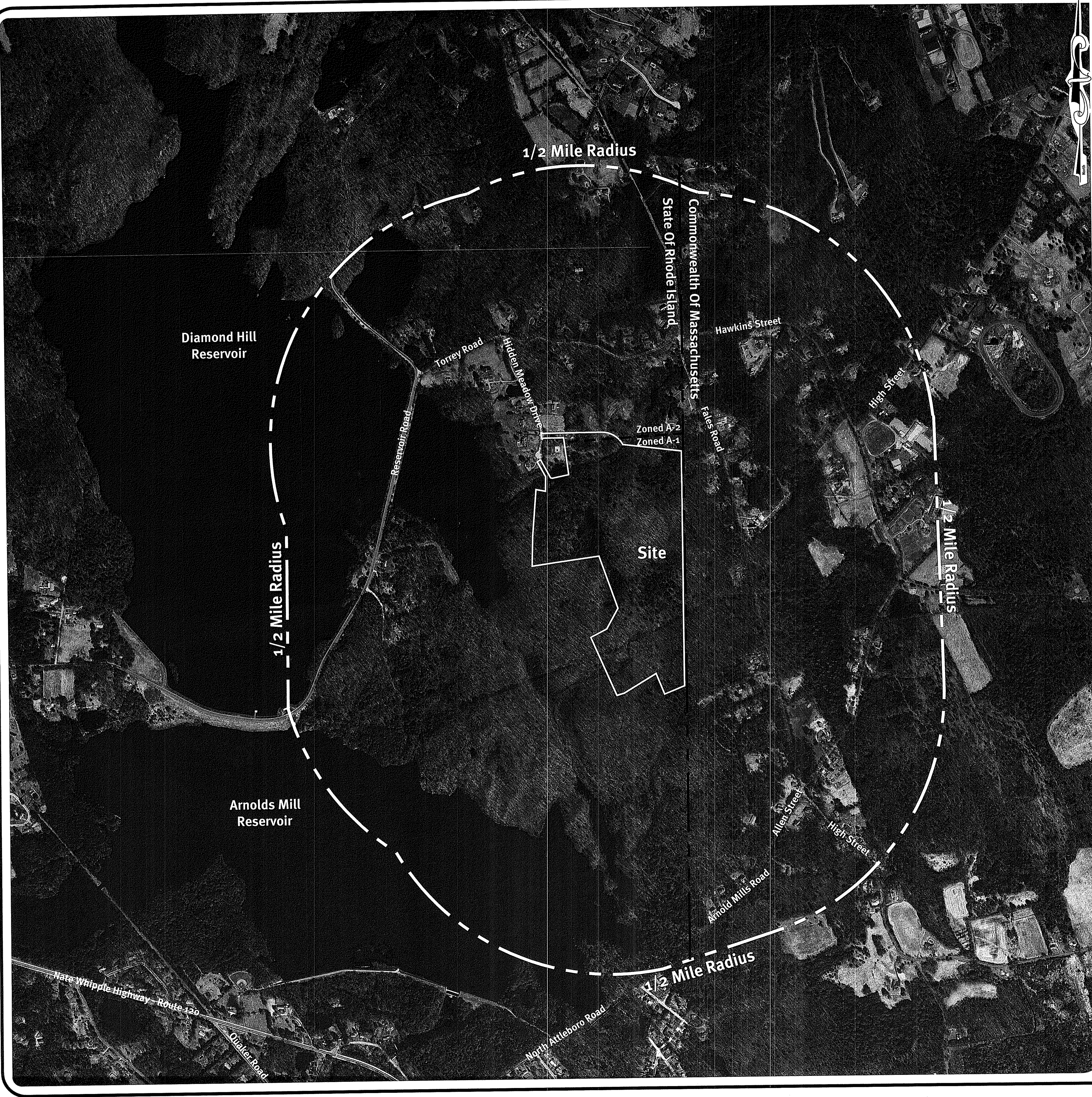
This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

BRIAN C. GROUX
16341
REGISTERED 7/30/2008
PROFESSIONAL ENGINEER
CIVIL

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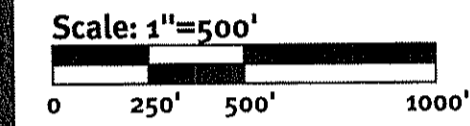
PLAN FOR NOTICE

z:\demain\projects\1678-002 Hidden meadows\unrecord drawings\1678-002-dimn.dwg Plotted: 4/20/2018



USGS Map Scale: 1"=1000'

Photo obtained from the RI-GIS of 2014 Digital Orthophotography.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 DIVISION OF PERMITTING
 DATE: OCT 13 2018
 16-0192
 APPROVED FOR SITE

DiPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 tel 401-943-1000 fax 401-464-0006 www.DiPrete-Eng.com
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BRIAN C. GIROUX
 REG. NO. 0341
 REGISTERED PROFESSIONAL ENGINEER CIVIL

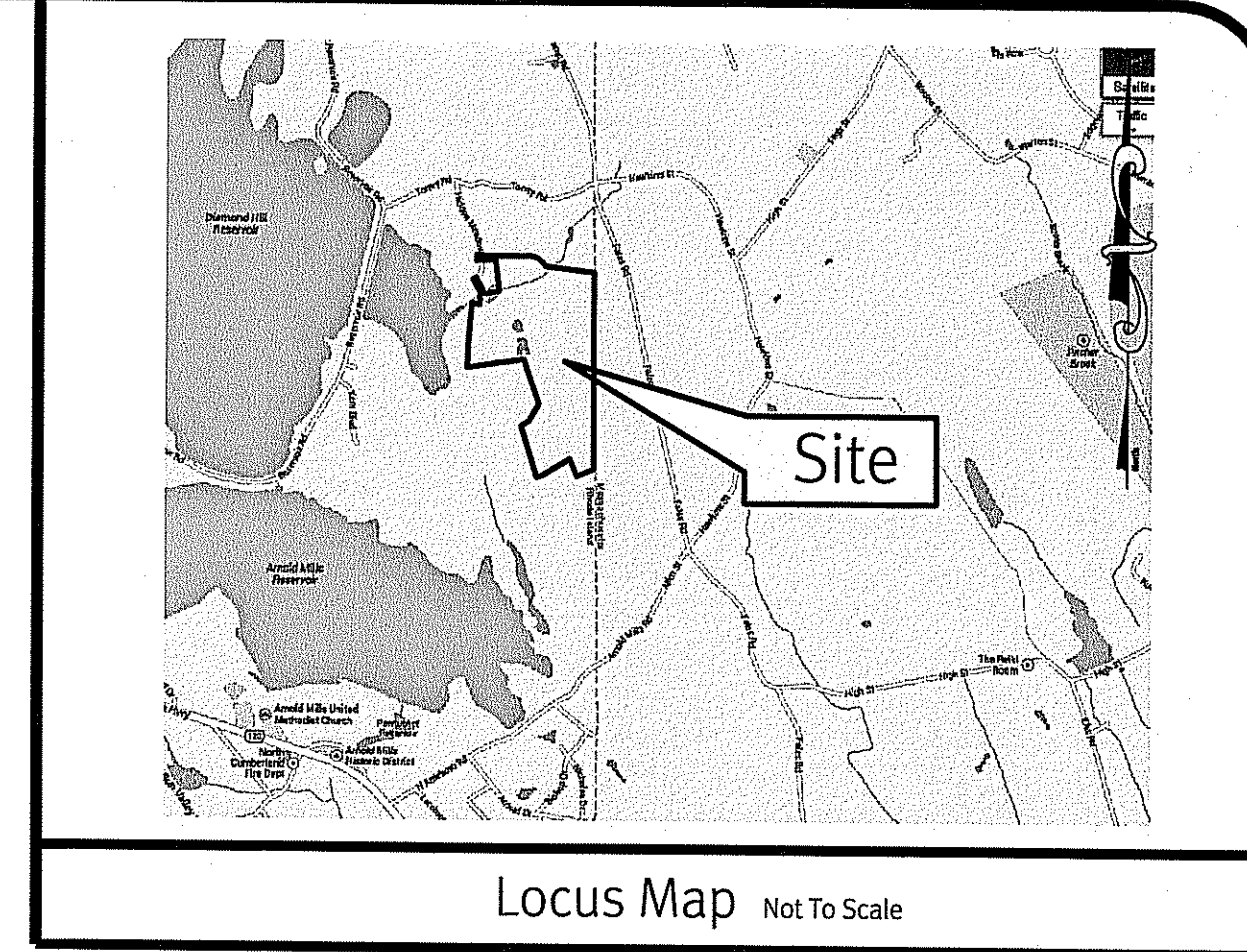
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 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By:
1	06/25/08	REVISION	B.A.
2	11-23-2007	Preliminary Plan Resubmission	M.S.C.
3	11-23-2007	Preliminary Plan Submission	B.C.G.
4			
5			

Drawn By: R.E.S. Design By: R.B.S.

RIDEM Submission
Aerial Half Mile Radius
Hidden Meadow
 Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
 Cumberland, Rhode Island
JCM LLC
 Applicant/Owners
 2437 Mendon Road Suite 201
 Cumberland, Rhode Island 02864 | Cumberland, Rhode Island 02864
Hidden Meadow Realty LLC
 3437 Mendon Road #26
 Cumberland, Rhode Island 02864

**This Plan Should Be Indexed
By The Following Streets:**
• Hidden Meadow Drive



Legend

BUILDING		▲/△	NAIL FOUND/SET
ASPHALT		●/○	DRILL HOLE FOUND/SET
AP	ASSESSOR'S PLAT	⊙/⊚	IRON ROD/PIPE FOUND/SET
N/F	NOW OR FORMERLY	⊛/⊜	BOUND FOUND/SET
(D)	DEED	⊛	SIGN
(M)	MEASURED	⊛	BOLLARD
(C)	CALCULATED	⊙ CB	SOIL EVALUATION
(CA)	CHORD ANGLE	⊙ DCB	CATCH BASIN
HC	HANDICAPPED	⊙ DMH	DOUBLE CATCH BASIN
	PROPERTY LINE	⊙ FES	DRAINAGE MANHOLE
	ASSESSORS LINE	⊙ FES	FLARED END SECTION
	TREELINE	⊙ EMH	GUY POLE
	GUARDRAIL	⊙ UP	ELECTRIC MANHOLE/HANDHOLE
	FENCE	⊙ SMH	UTILITY/POWER POLE
	RETAINING WALL	⊙	LIGHTPOST
	STONE WALL	⊙	SEWER/SEPTIC MANHOLE
-2-	MINOR CONTOUR LINE	⊙	SEWER VALVE
10	MAJOR CONTOUR LINE	⊙	CLEANOUT
W	WATER LINE	⊙	HYDRANT
S	SEWER LINE	⊙	IRRIGATION VALVE
SFM	SEWER FORCE MAIN	⊙	WATER VALVE
G	GAS LINE	⊙	WELL
E	ELECTRIC LINE	⊙	MONITORING WELL
OHW	OVERHEAD WIRES	⊙	UNKNOWN MANHOLE
D	DRAINAGE LINE	⊙	GAS VALVE
		▲ B-1	WETLAND FLAG
		⊙	BENCH MARK
		⊙	BUSH
		⊙	TREE

- General Notes**
- THE PARCELS ARE LOCATED IN THE TOWN OF CUMBERLAND ON ASSESSOR'S PLAT 56 LOTS 22, 23 & 49 & ASSESSOR'S PLAT 57 LOTS 28 & 36.
 - THE OWNER OF:
 - AP AP 56 LOTS 22, 23 & 49 PER DEED BOOK 1373 PAGE 15 IS HIDDEN MEADOW REALTY, LLC
 - AP AP 57 LOT 28 PER DEED BOOK 1095 PAGE 175 IS JCM, LLC.
 - AP AP 57 LOT 36 PER DEED BOOK 1569 PAGE 373 IS JCM, LLC.
 - THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4400700185G, DATED MARCH 2, 2009.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - THERE WERE NO VISIBLE ABOVEGROUND ENCROACHMENTS OBSERVED, OTHER THAN SHOWN ON SURVEY.
 - FIELD SURVEY PERFORMED IN SEPTEMBER 2013.
 - ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-800-344-7233).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS THAT A TITLE REPORT WOULD DISCLOSE.
 - WETLAND FLAGS WERE DELINEATED BY NATURAL RESOURCES SERVICES, INC ON JUNE 22, 2011.
- Datum Note:**
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
- Plan References:**
- "SUBDIVISION OF LAND BELONGING TO DUNCAN A. DUFF" CUMBERLAND, RI SCALE 1"=50' DATED APRIL 1978 PLAN BY THE GUILLEMETTE CORPORATION. PLAT CARD 759 DRAWER #3.
 - "ADMINISTRATIVE SUBDIVISION PLAN FOR JEANNE E. DUFF PLAT 57, LOTS 36 & 46 HIDDEN MEADOW DRIVE CUMBERLAND, RHODE ISLAND." PLAN BY PAUL J. GADOURY. DATED MARCH 6, 2003. PLAT CARD 1302.
 - "ADMINISTRATIVE SUBDIVISION PLAN FOR THE RECONFIGURATION OF PLAT 57 LOTS 5, 13, 27 & 36 HIDDEN MEADOW DRIVE CUMBERLAND, RHODE ISLAND." PLAN BY DARVEAU LAND SURVEYING, INC. DATED MARCH 2, 2012. PLAT CARD 1616.
 - "CUMBERLAND, RI ADMINISTRATIVE SUBDIVISION OF LAND FOR JEANNE E. DUFF CLASS 1 SURVEY OF AP 57 LOTS 14 & 46 HIDDEN MEADOW DRIVE." PLAN BY MARSH SURVEYING INC. DATED MAY 6, 1997. PLAT CARD 1013

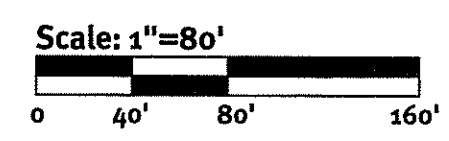
Curve Table

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	61°49'36"	250.00'	269.77'	149.70	256.87'	N59°32'46"W
C2	86°52'43"	15.00'	22.74'	14.20	20.63'	N47°01'13"W
C3	78°49'54"	15.00'	20.64'	12.33	19.05'	N50°07'29"E
C4	21°3'02"	130.00'	5.03'	2.52	5.03'	N27°36'06"W
C5	0°30'35"	170.00'	1.51'	0.76	1.51'	S28°27'19"E
C6	47°27'52"	50.00'	41.42'	21.98	40.25'	S56°16'34"W

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Walter D. Wemel

**Overall Perimeter Area
2,907,868 Square Feet
(66.76 Acres)**

Match Sheet 2



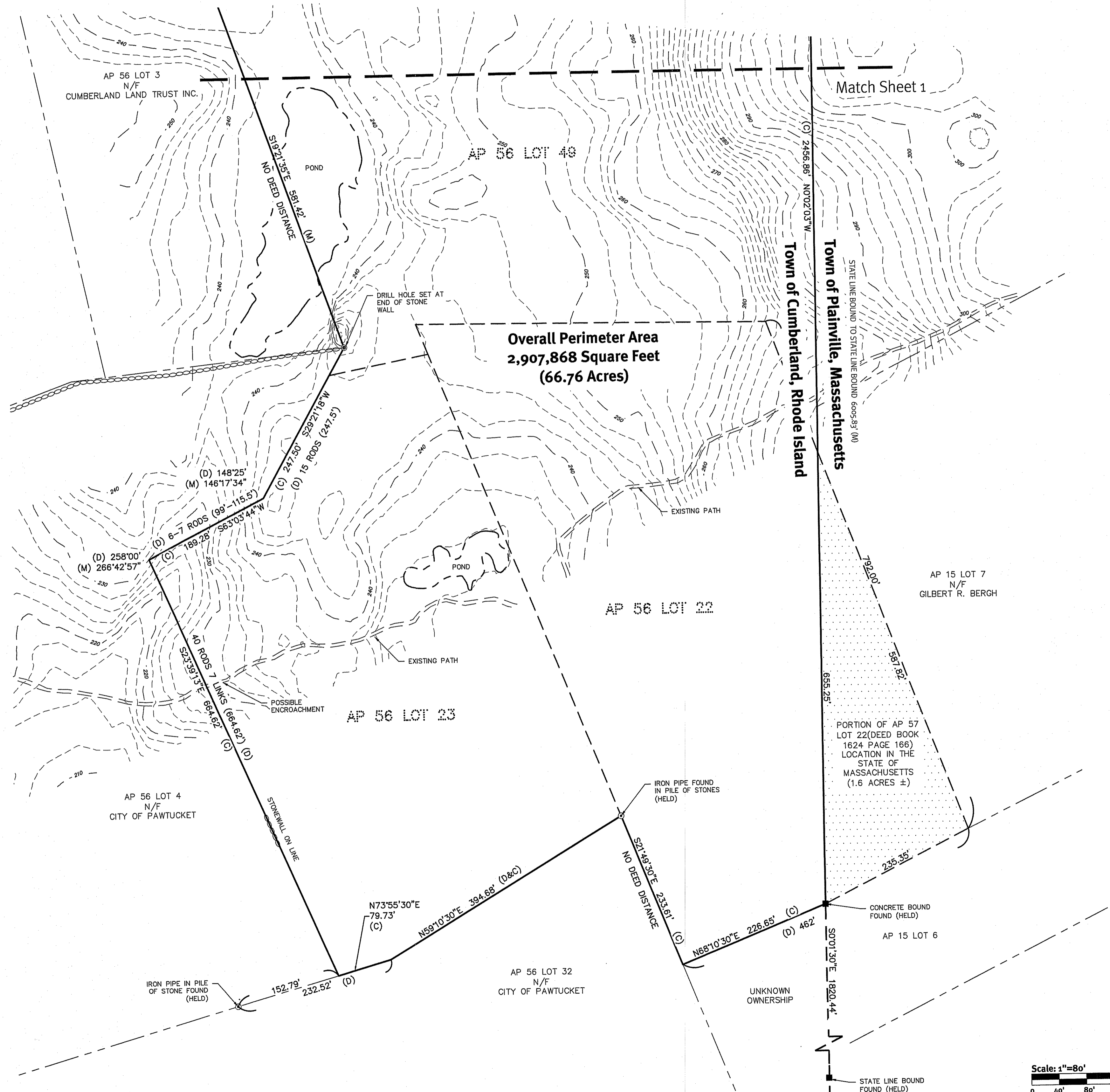
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MICHAEL E. GAVITT
1981
PROFESSIONAL
LAND SURVEYOR

CERTIFICATION:
THIS SURVEY AND PLAN CONFORMS TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE APRIL 1, 1994.
BOUNDARY SURVEY: CLASS I
TOPOGRAPHIC SURVEY: CLASS III

NO.	DATE	DESCRIPTION	Drawn By: MTL
1	5/11/2024	Geographic Survey	
2	02/21/23	Geographic Survey	

**Topographic Survey
Hidden Meadows**
Cumberland, Rhode Island
Client: **James McKee**
8 Davis Street, Cumberland RI 02864
Tel: 401-465-8971
DE Proj No: 1678-002-Adt Copyright 2023 by DiPrete Engineering Associates, Inc.

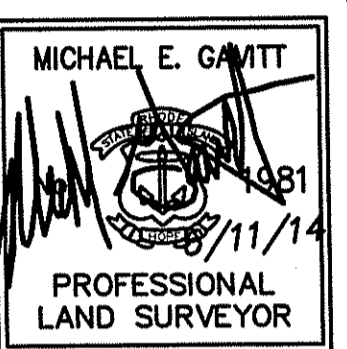
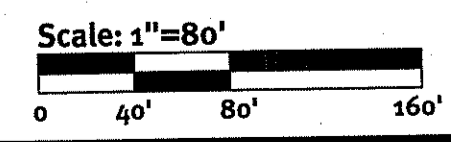


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Christopher D. Vincent

**This Plan Should Be Indexed
 By The Following Streets:**

- Hidden Meadow Drive



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 THIS SURVEY AND PLAN CONFORMS TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE APRIL 1, 1994.
 BOUNDARY SURVEY, CLASS I
 TOPOGRAPHIC SURVEY, CLASS III

No.	Date	Description	Drawn By: MIT
1	03/12/2016	Topographic Survey	
2	10/19/18	Topographic Survey	

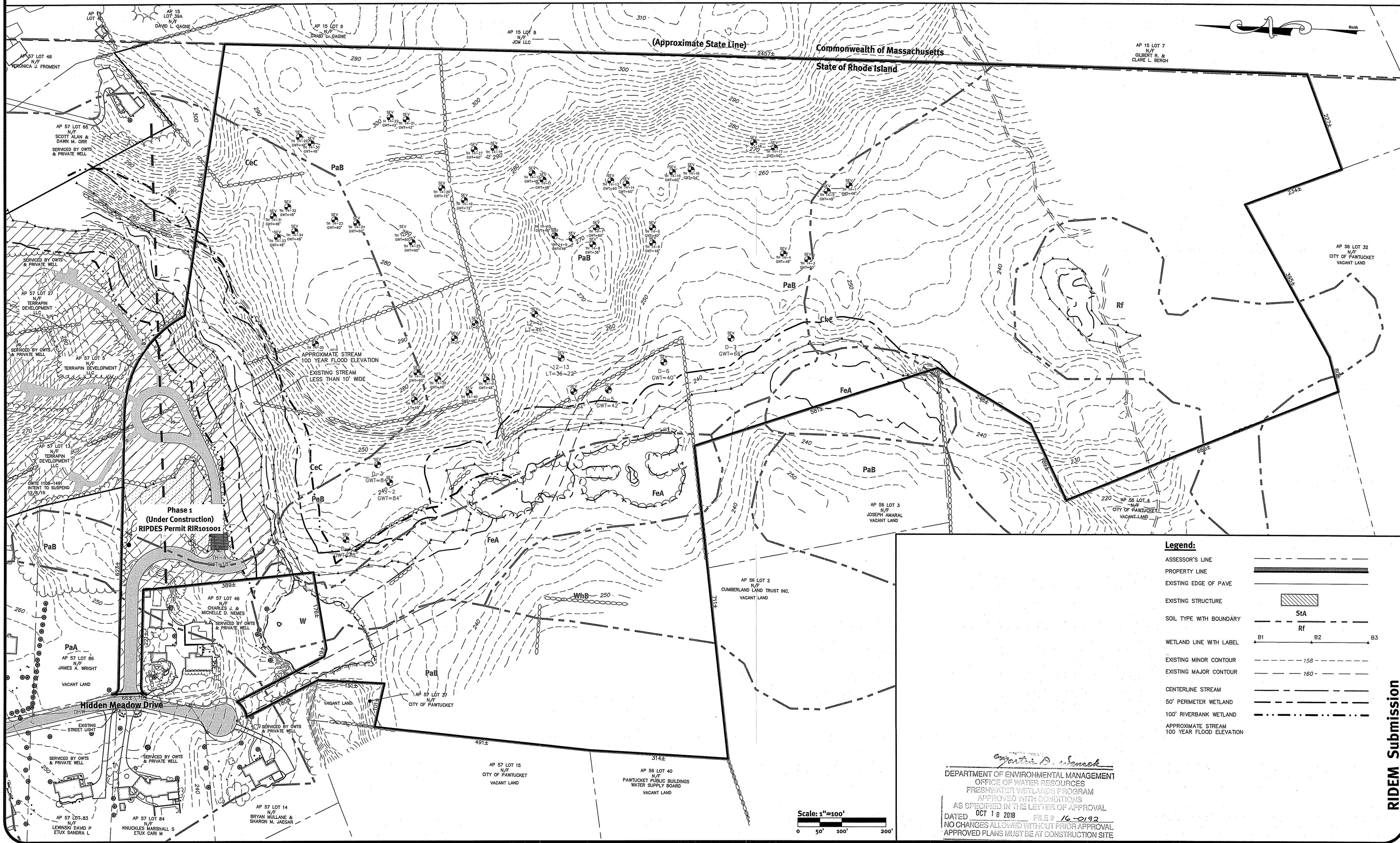
**Topographic Survey
 Hidden Meadows**
 Cumberland, Rhode Island

Client
James McKee
 8 Davis Street, Cumberland RI 02864
 Tel: 401-465-9971

Soil Information:

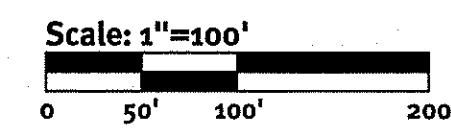
(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)
 SOIL_NAME DESCRIPTION

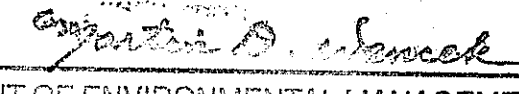
CeC	CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY, 3 TO 15 PERCENT SLOPES
ChC	CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
FsA	FREETOWN MUDH
PaA	PAXTON FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
PaB	PAXTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
W	WATER
WhB	WOODBIDGE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES

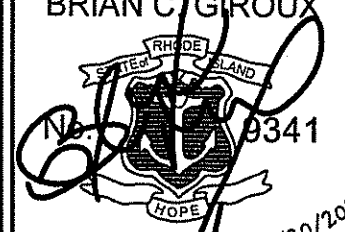


Legend:

ASSESSOR'S LINE	---
PROPERTY LINE	---
EXISTING EDGE OF PAVE	---
EXISTING STRUCTURE	▨
SOIL TYPE WITH BOUNDARY	--- S1A ---
WETLAND LINE WITH LABEL	B1 --- B2 --- B3
EXISTING MINOR CONTOUR	--- 150 ---
EXISTING MAJOR CONTOUR	--- 160 ---
CENTERLINE STREAM	---
50' PERIMETER WETLAND	---
100' RIVERBANK WETLAND	---
APPROXIMATE STREAM	---
100 YEAR FLOOD ELEVATION	---




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BRIAN C. GIROUX

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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No.	Date	Description	By:
1	02/25/18	8597E Resubmission	PA
2	11/02/2017	Preliminary Plan Resubmission	M.S.C.
3	11/03/2017		B.C.B.

Drawn By: R.B.S.
 Design By: R.B.S.

RIDEM Submission

Existing Analysis Plan
Hidden Meadow
 Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
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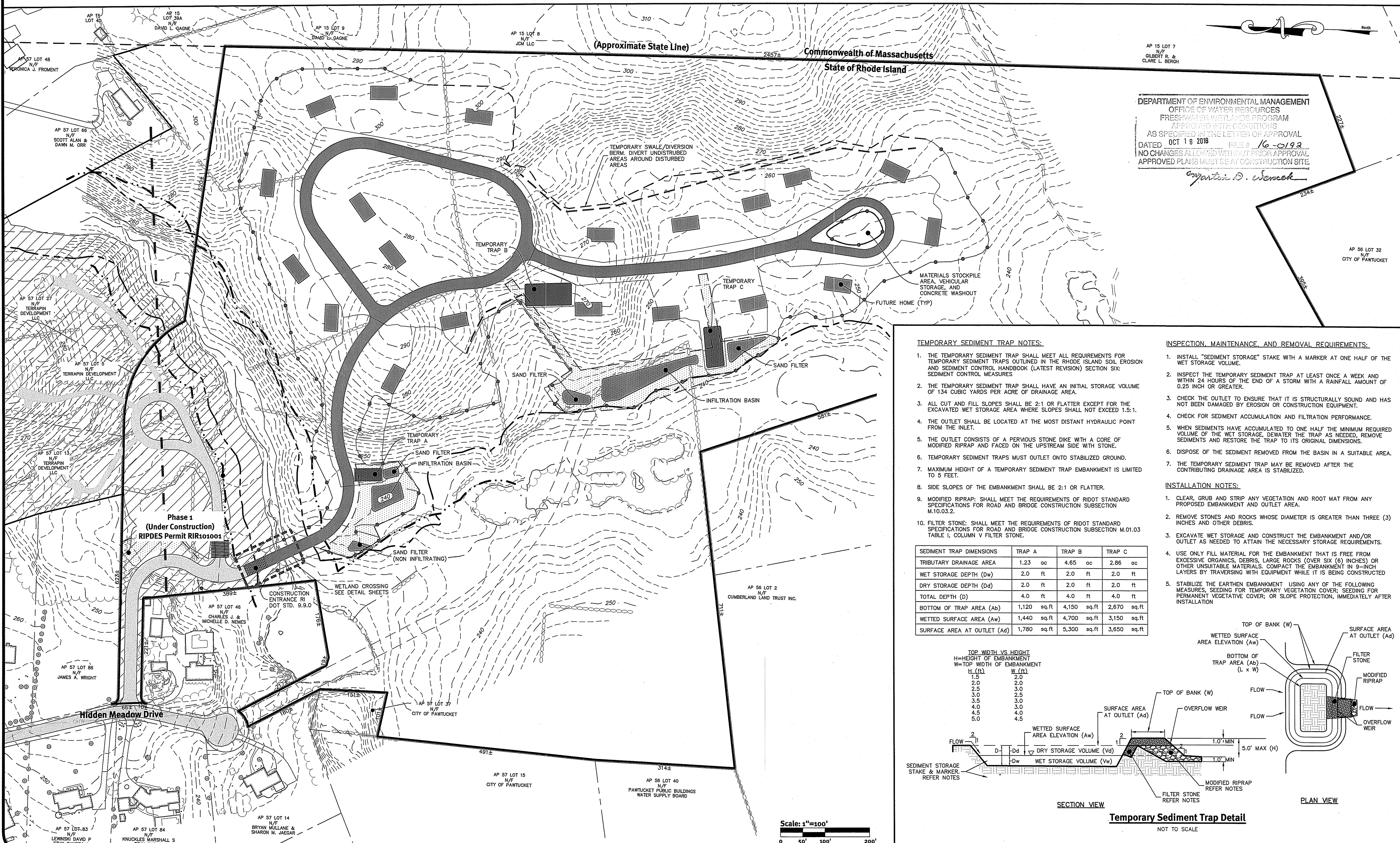
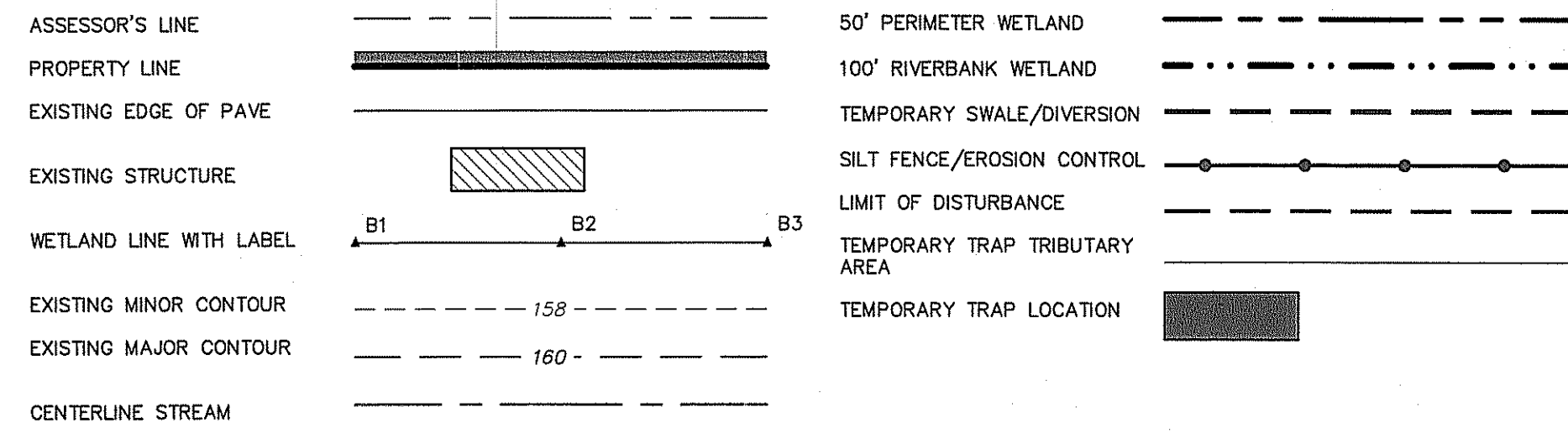
General Notes:

- ALL EROSION CONTROL, TEMPORARY SWALES, TEMPORARY TRAPS, ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION AND THE SOIL EROSION SEDIMENTATION CONTROL PLAN (SESC).
- TEMPORARY SWALES SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED ROADWAY. TEMPORARY SWALES SHALL BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS SHALL BE INSTALLED IF NECESSARY TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES SHALL BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE SHALL BE PER THE DESIGN PLANS.
- ONCE THE SEDIMENTATION BASIN IS NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION BASIN SHALL BE CLEARED AND BROUGHT TO FINAL DESIGN GRADES.
- INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- SEE SECTION 1.2 OF THE SESC FOR SEQUENCE OF CONSTRUCTION ACTIVITY.
- SEE SECTION 2.2 OF THE SESC FOR PROJECT PHASING.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.
- FOR CONSTRUCTION PHASING SEE SECTION 2.2 OF SOIL EROSION AND SEDIMENT CONTROL PLAN.
- FOR WETLAND CROSSING NOTES SEE WETLAND CROSSING DETAILS.

Construction Phasing:

- FLAG/SURVEY LIMIT OF DISTURBANCE CUT TREES WITHIN LIMIT OF DISTURBANCE. INSTALL PERIMETER EROSION CONTROL DEVICES (SILT FENCE).
 - BEGIN WETLAND CROSSING. SEE DETAIL SHEET FOR NOTES AND CONSTRUCTION SEQUENCING.
 - CLEAR SITE AND GRUB ROADWAY, INSTALL TEMPORARY SWALES AND SEDIMENTATION TRAPS.
 - INSTALL PROPOSED ROADWAY AND UTILITIES. STABILIZE ALL AREAS OUTSIDE OF ROADWAY. CONSTRUCTION PERMANENT BMPs.
 - CONVERT TEMPORARY SWALES TO PERMANENT BMPs WHERE APPLICABLE. REMOVE TEMPORARY SWALES/TRAPS.
 - CONSTRUCT DWELLINGS ON INDIVIDUAL LOTS. STABILIZE ANY TRIBUTARY AREAS DISTURBED DURING CONSTRUCTION OF UNITS.
 - REPEAT 5 FOR EACH INDIVIDUAL LOT PHASE.
- SEE SESC PLAN FOR MORE DETAILED CONSTRUCTION PHASING BREAKDOWN

Legend:



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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Gregory D. Wenczek

TEMPORARY SEDIMENT TRAP NOTES:

- THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES.
- THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES SHALL NOT EXCEED 1.5:1.
- THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
- THE OUTLET CONSISTS OF A PEROUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
- TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
- MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET.
- SIDE SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
- MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
- FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.

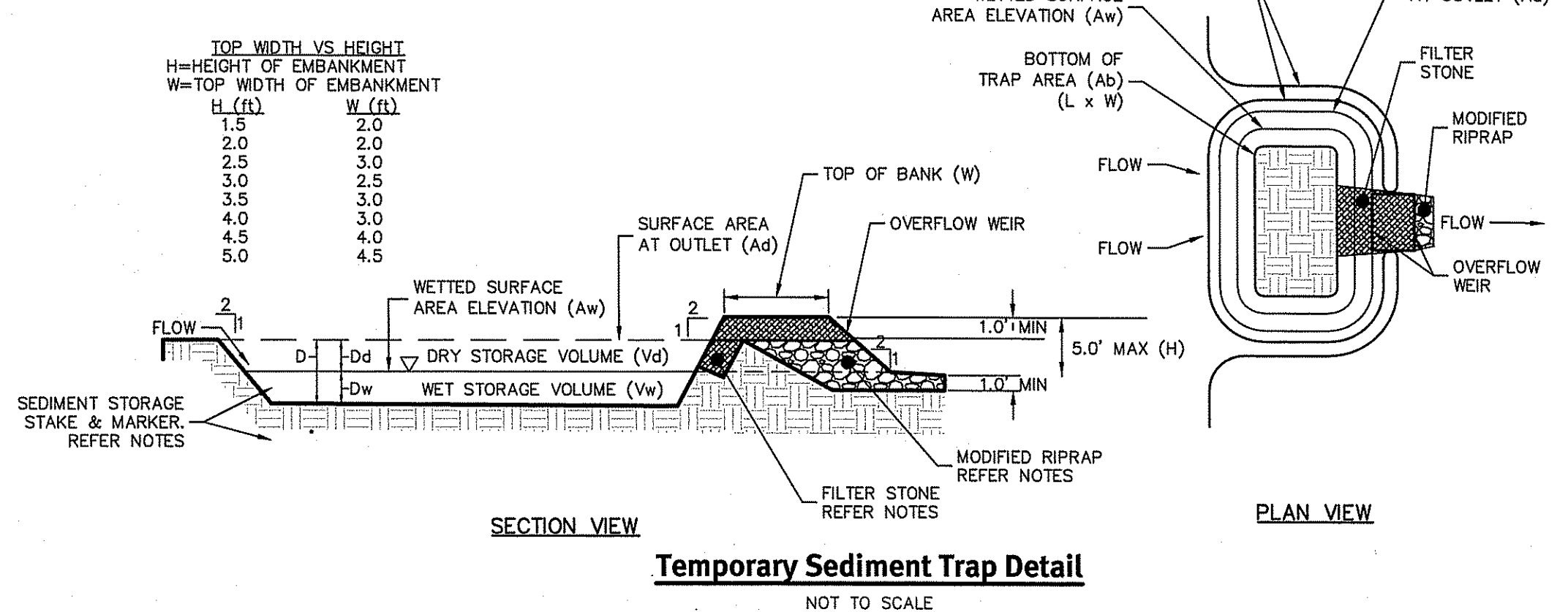
SEDIMENT TRAP DIMENSIONS	TRAP A	TRAP B	TRAP C
TRIBUTARY DRAINAGE AREA	1.23 ac	4.65 ac	2.86 ac
WET STORAGE DEPTH (Dw)	2.0 ft	2.0 ft	2.0 ft
DRY STORAGE DEPTH (Dd)	2.0 ft	2.0 ft	2.0 ft
TOTAL STORAGE (D)	4.0 ft	4.0 ft	4.0 ft
BOTTOM OF TRAP AREA (Ab)	1,120 sq.ft	4,150 sq.ft	2,670 sq.ft
WETTED SURFACE AREA (Aw)	1,440 sq.ft	4,700 sq.ft	3,150 sq.ft
SURFACE AREA AT OUTLET (Ad)	1,780 sq.ft	5,300 sq.ft	3,650 sq.ft

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
- INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
- CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
- WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
- DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
- THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
- REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
- EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
- USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 3-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel 401-943-1000 Fax 401-664-6006 www.DiPrete-Eng.com
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BRIAN C. GIROUX
REGISTRAR # 10707
PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and the requirements, and OSHA conformance in the implementation of this plan and design.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	04/25/18	RIDEM Resubmission	B.C.G.	B.C.G.
2	11/07/2018	Final Plan Submission	B.C.G.	B.C.G.
3	11/07/2018	Final Plan Submission	B.C.G.	B.C.G.

Design By: R.B.S.

RIDEM Submission
Erosion Control Plan
Hidden Meadow
Assessor's Plat 05, LOTS 22, 23, & 45, Assessor's Plat 57, Lots 28, 36, 39
Cumberland, Rhode Island
JCM LLC
3437 Mendon Road Suite 201
Cumberland, Rhode Island 02864
DE Job No: 1678-002. Copyright 2012 by DiPrete Engineering Associates, Inc.

z:\demain\projects\1678-002_hidden_meadow\autocad\drawings\1678-002-ecan.dwg Plotdate: 4/20/2018

General Notes:

- THE SITE IS LOCATED ON THE TOWN OF CUMBERLAND ASSESSOR'S PLAT 56 LOTS 22, 23 & 49 AND ASSESSOR'S PLAT 57 LOTS 28 & 36.
- THE SITE IS APPROXIMATELY 66.76± ACRES AND IS ZONED A-1.
- THE OWNER OF AP 56 LOTS 22, 23 & 49 IS: HIDDEN MEADOW REALTY LLC, 3437 MENDON ROAD #26, CUMBERLAND, RI 02864.
THE OWNER OF AP 57 LOTS 28 & 36 IS: JCM LLC, 3437 MENDON ROAD, CUMBERLAND, RI 02864.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X (UNSHADED).
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X AREAS WHERE THERE IS MINIMAL FLOODING.
REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C0185G, MAP REVISED MARCH, 2, 2009. (FLOOD PLAIN DESCRIPTIONS SHOWN ABOVE)

- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS I SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THE PLAN ITSELF CONFORMS ONLY TO A CLASS II STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.
- THE SITE IS NOT WITHIN A: GROUNDWATER PROTECTION AREA, NATURAL HERITAGE AREAS.
- THE SITE IS WITHIN A: PUBLIC DRINKING WATER SUPPLY AREA.
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF CUMBERLAND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL.
- THE SITE IS PROPOSED TO BE BUILT IN MULTIPLE PHASES.
- SOIL EVALUATIONS, WERE COMPLETED BY DIPRETE ENGINEERING.
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THE SITE IS TO BE SERVICED BY PRIVATE WELL AND PRIVATE OWTS.
- PROPOSED RIGHTS OF WAY ARE TO BE 50' WIDE WITH 26' WIDE PAVEMENT (12' TRAVEL LANES AND 1' BERM ON EACH SIDE).

Development Data:

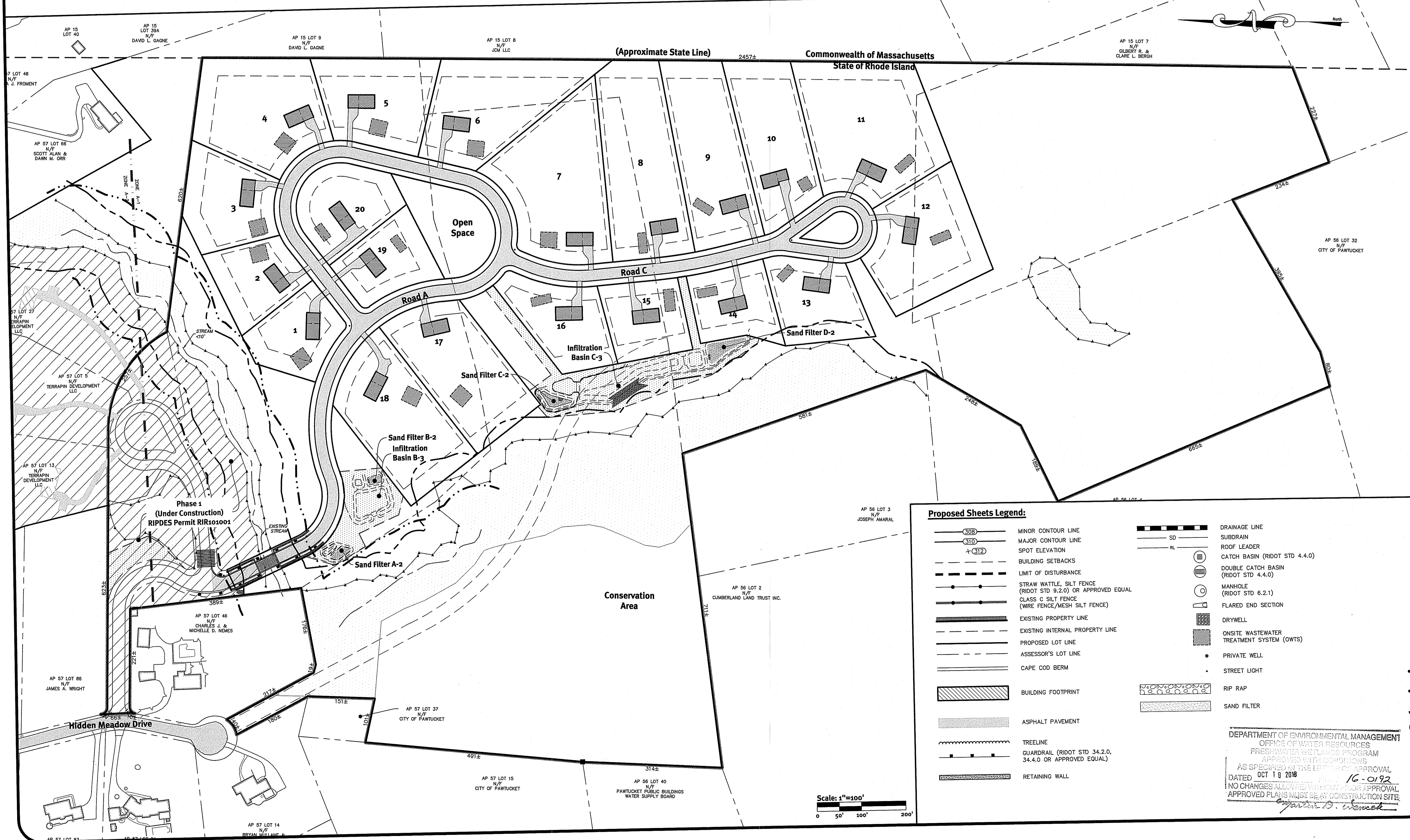
TOTAL SITE AREA: 66.76± ACRES
 NUMBER OF BUILDABLE LOTS & DWELLINGS: 20
 TOTAL AREA OF LOTS: 23,28± ACRES
 AVERAGE LOT AREA: 50,600± SF
 TOTAL RIGHT OF WAY AREA (PHASE 1)*: 3.72± ACRES
 TOTAL RIGHT OF WAY AREA (PHASE 2): 1.62± ACRES
 PHASE 1 LOT AREA*: 0.57± ACRES
 ROAD WIDTH: 24'
 RIGHT OF WAY WIDTH: 50'
 LENGTH OF ROAD (PHASE 1)*: 1,315± LF
 LENGTH OF ROAD (PHASE 2): 3,285± LF
 PROPOSED CONSERVATION AREA: 37.59± ACRES

*PHASE 1 IS CURRENTLY UNDER CONSTRUCTION. LOT AREA IS AREA THAT WILL BE TRANSFERRED TO AP 57 LOTS 5, 13 AND 27. PHASE 1 WAS APPROVED UNDER RIDPES PERMIT RIR101001.

Dimensional Regulations:

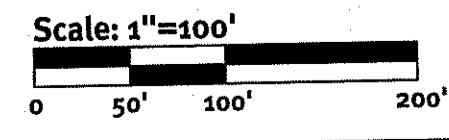
*NO DEVELOPMENT PROPOSED IN A-2 ZONE AT THIS TIME. NOTES:
 CURRENT ZONING: A-1
 MINIMUM LOT AREA: 217,800 SF
 MINIMUM LOT WIDTH: 250'
 MINIMUM LOT FRONTAGE: 250'
 MINIMUM FRONT YARD: 100'
 MINIMUM SIDE YARD: 60'
 MINIMUM REAR YARD: 80'
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM LOT COVERAGE: 5%
 UTILIZING CONSERVATION DEVELOPMENT OVERLAY: 30,000 SF
 MINIMUM LOT AREA: 125'
 MINIMUM FRONT YARD: 30'
 MINIMUM SIDE YARD: 10'
 MINIMUM REAR YARD: 40'
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM LOT COVERAGE: 20%

- ORDINANCE #07-3-A RECORDED AS BOOK 4 PAGE 680 UNDER SECTION 2 ALLOWS THE DEVELOPMENT OF 23 RESIDENTIAL LOTS.
- WAIVER REQUESTED FOR SIDEWALKS AND ROADWAY DESIGN STANDARDS FOR CENTERLINE RADI (REFERENCE LAND DEVELOPMENT AND SUBDIVISION REGULATIONS SECTION 7-PUBLIC IMPROVEMENT DESIGN STANDARDS (A.) RIGHT-OF-WAY STANDARDS.



Proposed Sheets Legend:

- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- SPOT ELEVATION
- BUILDING SETBACKS
- LIMIT OF DISTURBANCE
- STRAW WATTLE, SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL
- CLASS C SILT FENCE (WIRE FENCE/MESH SILT FENCE)
- EXISTING PROPERTY LINE
- EXISTING INTERNAL PROPERTY LINE
- PROPOSED LOT LINE
- ASSESSOR'S LOT LINE
- CAPE COD BERM
- BUILDING FOOTPRINT
- ASPHALT PAVEMENT
- TREELINE
- GUARDRAIL (RIDOT STD 34.2.0, 34.4.0 OR APPROVED EQUAL)
- RETAINING WALL
- DRAINAGE LINE
- SUBDRAIN
- ROOF LEADER
- CATCH BASIN (RIDOT STD 4.4.0)
- DOUBLE CATCH BASIN (RIDOT STD 4.4.0)
- MANHOLE (RIDOT STD 6.2.1)
- FLARED END SECTION
- DRYWELL
- ONSITE WASTEWATER TREATMENT SYSTEM (OWTS)
- PRIVATE WELL
- STREET LIGHT
- RIP RAP
- SAND FILTER



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 18 2018
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 tel.401-943-1000 fax.401-464-6006 www.Diprete-Eng.com

BRIAN C. GIROUX
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Design By: R.B.S.
1	10/18/18	05564 Re-submission	R.B.S.
2	10/18/18	05564 Re-submission	R.B.S.
3	10/18/18	05564 Re-submission	R.B.S.
4	10/18/18	05564 Re-submission	R.B.S.

RIDEM Submission
Overall Plan
Hidden Meadow
 Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
 Cumberland, Rhode Island
JCM LLC
 Applicant/Owners
 3437 Mendon Road #26
 Cumberland, Rhode Island 02864
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See Sheet 9



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 18 2018 FILE # 16-0122
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Signature: Brian C. Giroux

Scale: 1"=40'
 0 20' 40' 80'

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6006 www.DiPrete-Eng.com

BRIAN C. GIROUX
 REG. NO. 3341
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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 The contractor is responsible for all of the requirements, and OSHA, conforming to the implementation of this plan and design.

No.	Date	Description	Design By: R.B.S.
1	04/20/18	Initial Submission	By: R.B.S.
2	11/29/2017	Final Submission	By: R.B.S.

RIDEM Submission
Grading Plan
Hidden Meadow
 Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
 Cumberland, Rhode Island
JCM LLC
 Applicant/Owners
 3437 Mendon Road Suite 201
 Cumberland, Rhode Island 02864, Cumberland, Rhode Island 02864

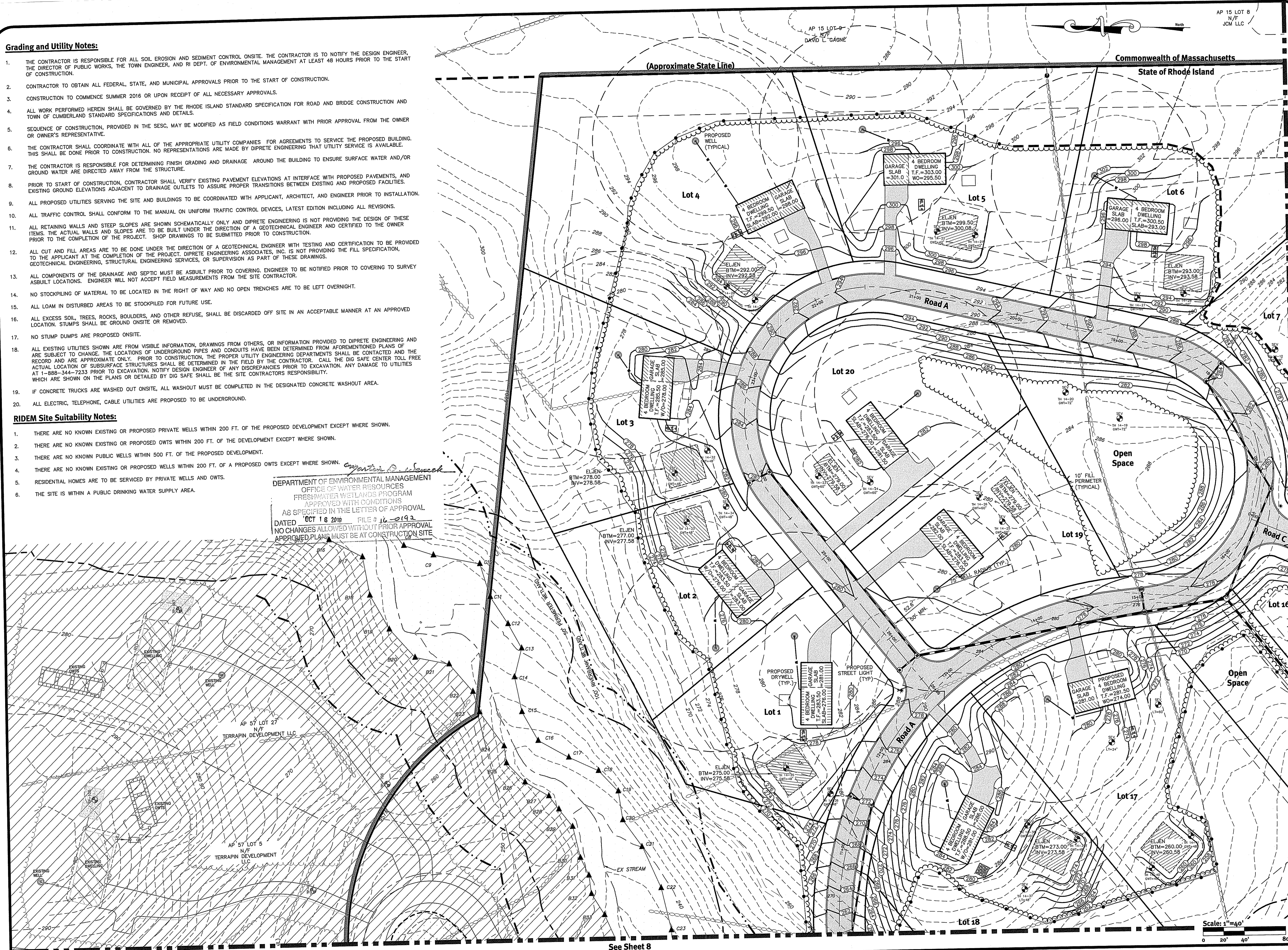
Grading and Utility Notes:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONSTRUCTION TO COMMENCE SUMMER 2016 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
4. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF CUMBERLAND STANDARD SPECIFICATIONS AND DETAILS.
5. SEQUENCE OF CONSTRUCTION, PROVIDED IN THE SESC, MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
8. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
9. ALL PROPOSED UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
10. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
11. ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
12. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
13. ALL COMPONENTS OF THE DRAINAGE AND SEPTIC MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
14. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
15. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
16. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ON SITE OR REMOVED.
17. NO STUMP DUMPS ARE PROPOSED ON SITE.
18. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFORESAID PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY.
19. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.
20. ALL ELECTRIC, TELEPHONE, CABLE UTILITIES ARE PROPOSED TO BE UNDERGROUND.

RIDEM Site Suitability Notes:

1. THERE ARE NO KNOWN EXISTING OR PROPOSED PRIVATE WELLS WITHIN 200 FT. OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
2. THERE ARE NO KNOWN EXISTING OR PROPOSED OWTS WITHIN 200 FT. OF THE DEVELOPMENT EXCEPT WHERE SHOWN.
3. THERE ARE NO KNOWN PUBLIC WELLS WITHIN 500 FT. OF THE PROPOSED DEVELOPMENT.
4. THERE ARE NO KNOWN EXISTING OR PROPOSED WELLS WITHIN 200 FT. OF A PROPOSED OWTS EXCEPT WHERE SHOWN.
5. RESIDENTIAL HOMES ARE TO BE SERVICED BY PRIVATE WELLS AND OWTS.
6. THE SITE IS WITHIN A PUBLIC DRINKING WATER SUPPLY AREA.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 18 2016 FILE # 16-0192
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



See Sheet 8

Scale: 1"=40'

RIDEM Submission

Grading Plan

Hidden Meadow

Assessor's Plots 22, 23, & 49, Assessor's Plot 57, Lots 28, & 36
Cumberland, Rhode Island

JCM LLC
3437 Mendon Road Suite 201
Cumberland, Rhode Island 02866
DE Job No. 1678-002 Copyright 2012 by Diprete Engineering Associates, Inc.

Diprete Engineering
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BRIAN C. GIROUX
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No. 9341

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	Design By: R.R.S.
1	09/20/16	Initial Plan Submission	By: [Signature]
2	09/20/16	Final Plan Submission	By: [Signature]
3	10/18/16	Final Plan Submission	By: [Signature]

Hidden Meadow Realty LLC
2427 Mendon Road #106
Cumberland, Rhode Island 02864

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(Approximate State Line)

Commonwealth of Massachusetts
State of Rhode-Island



See Sheet 9

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 18 2018 FILE # 16-0192
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Signature: D. Wenzel

Scale: 1"=40'
0 20' 40' 80'

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

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BRIAN C. GIROUX
REG. NO. 3341
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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No.	Date	Description	Design By: R.B.S.
1	11-22-2017	Final Plan Submission	
2	05/12/2018	Revised Plan Submission	

RIDEM Submission

Grading Plan

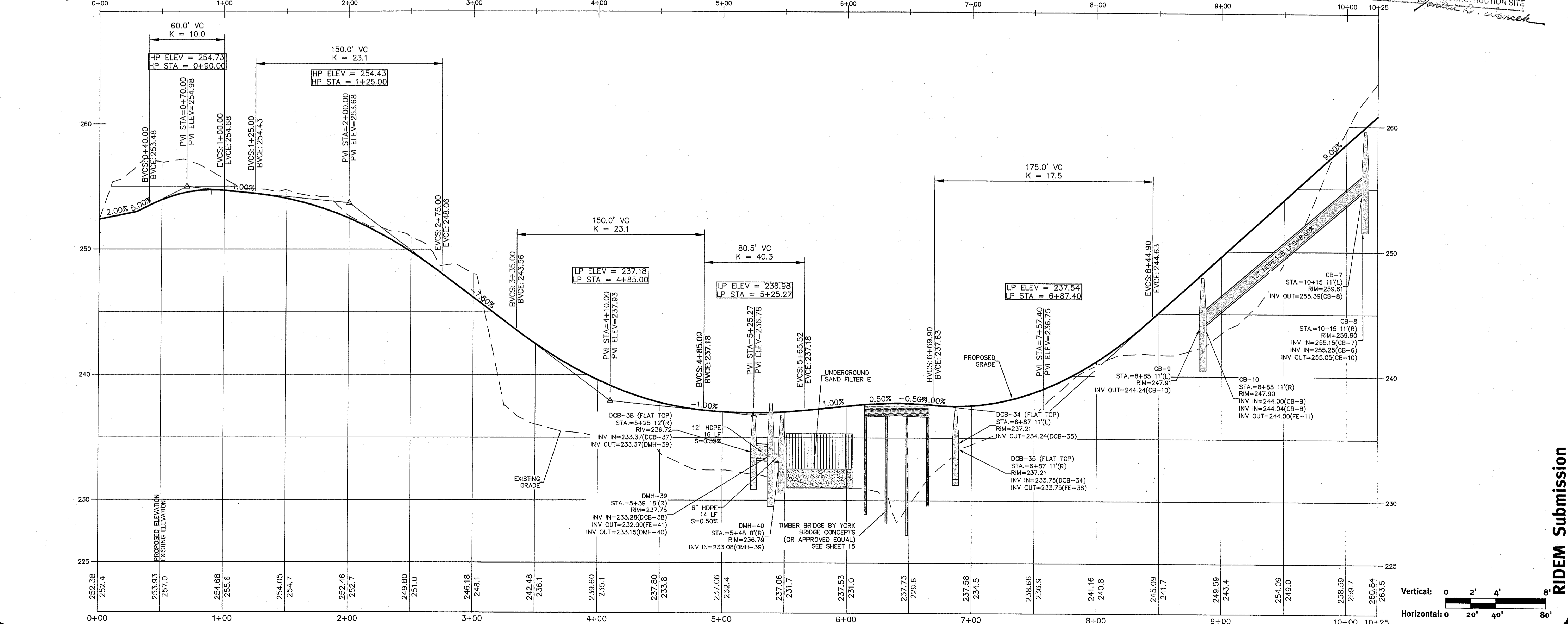
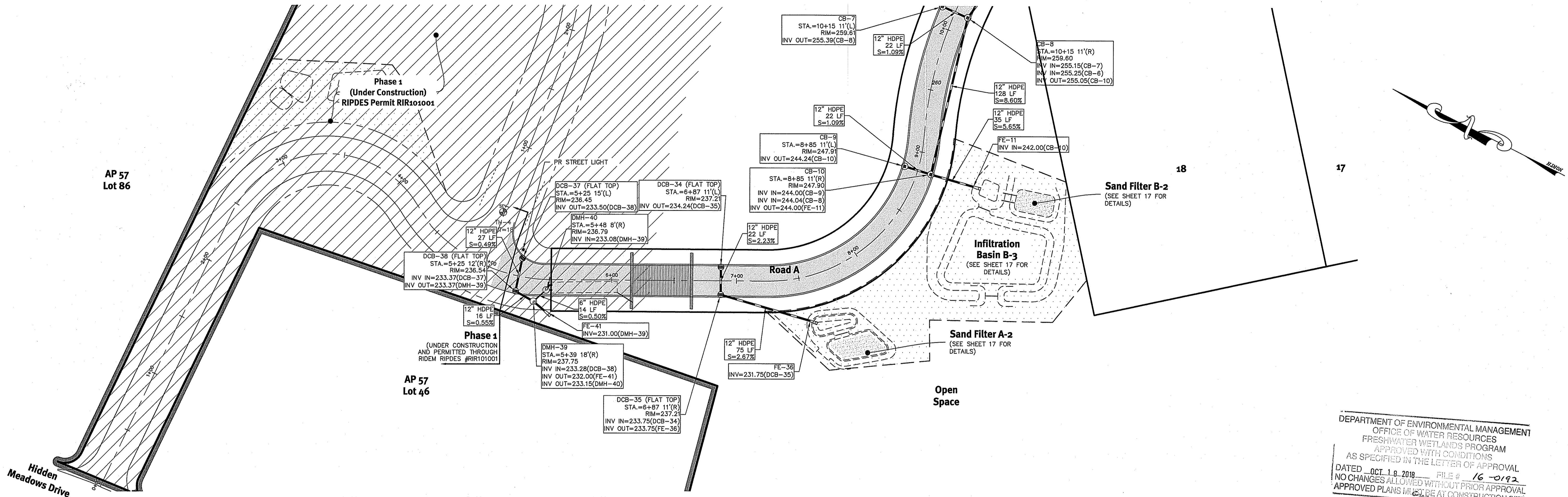
Hidden Meadow
Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
Cumberland, Rhode Island

JCM LLC
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Cumberland, Rhode Island 02864
Cumberland, Rhode Island 02864, Cumberland, Rhode Island 02864, Inc.

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SHEET 10 OF 20

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
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No.	Date	Description	By
1	01/15/18	Initial Plan Submission	R.B.S.
2	11/29/2017	Preliminary Plan Submission	R.B.S.
3	11/29/2017	Preliminary Plan Submission	R.B.S.

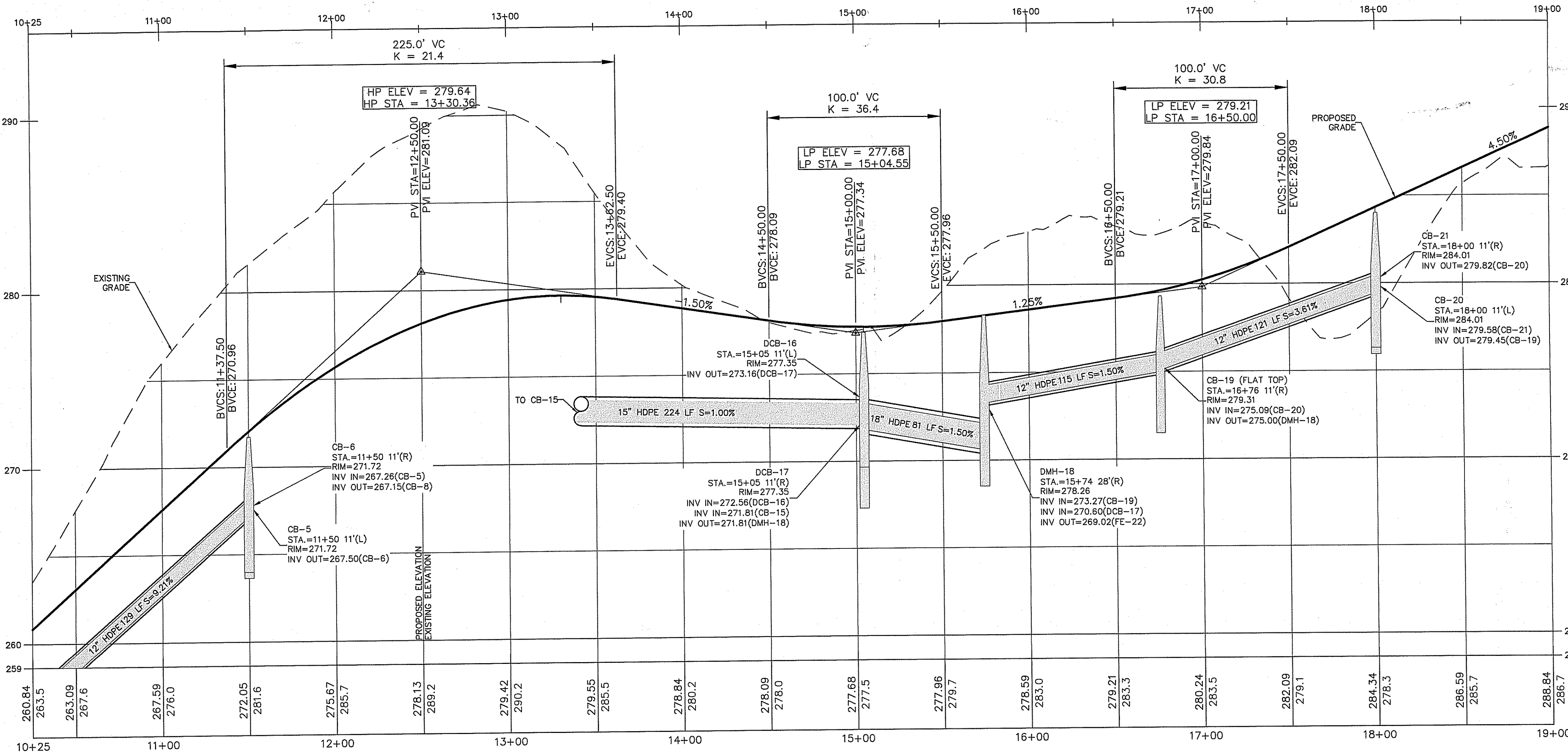
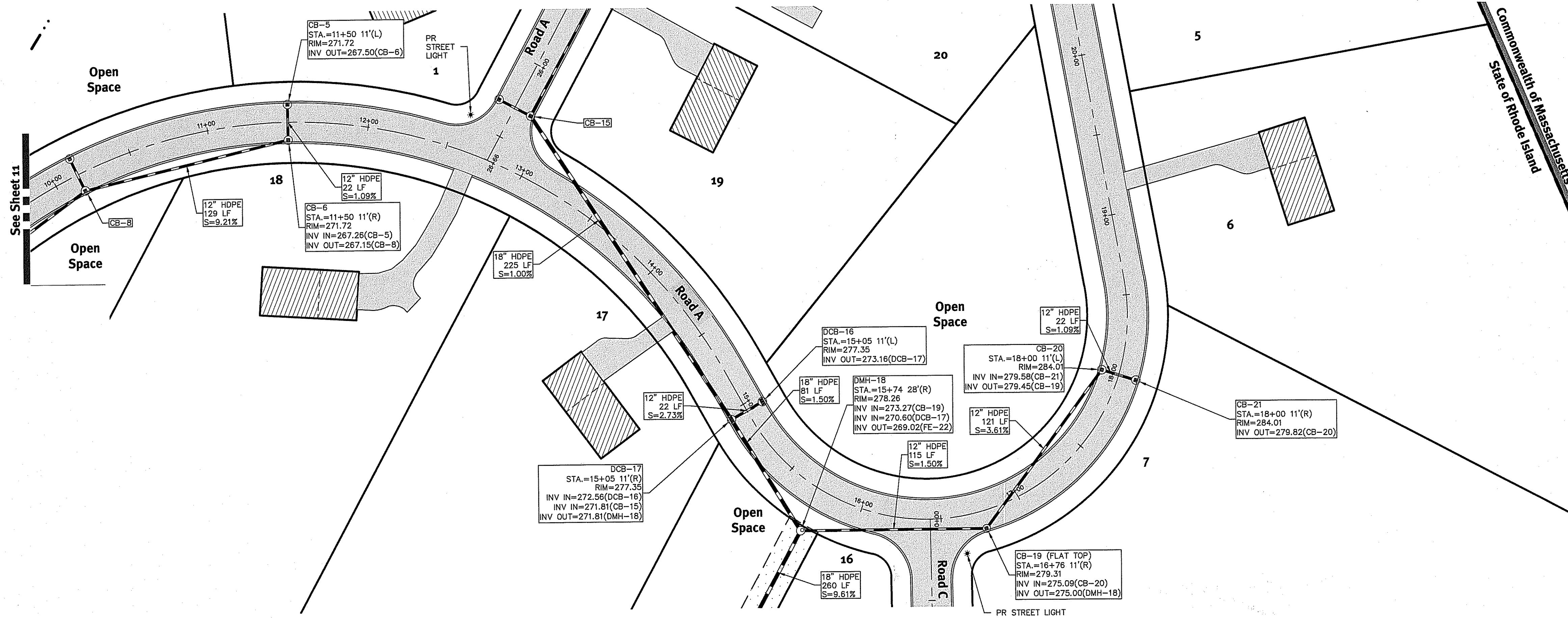
Design By: R.B.S.
 Drawn By: R.B.S.

RIDEM Submission
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Hidden Meadow
 Assessors' Plat 56, Lots 22, 23, & 49, Assessors' Plat 57, Lots 28, & 36
 Cumberland, Rhode Island
JCM LLC
 Applicant/Owner
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 Cumberland, Rhode Island 02864
Hidden Meadow Realty LLC
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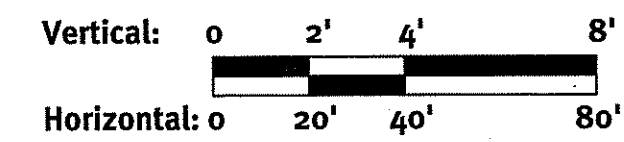
BRIAN C. GIROUX
 03341
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Arthur D. Wensch



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 Two Stafford Court Cranston, RI 02920
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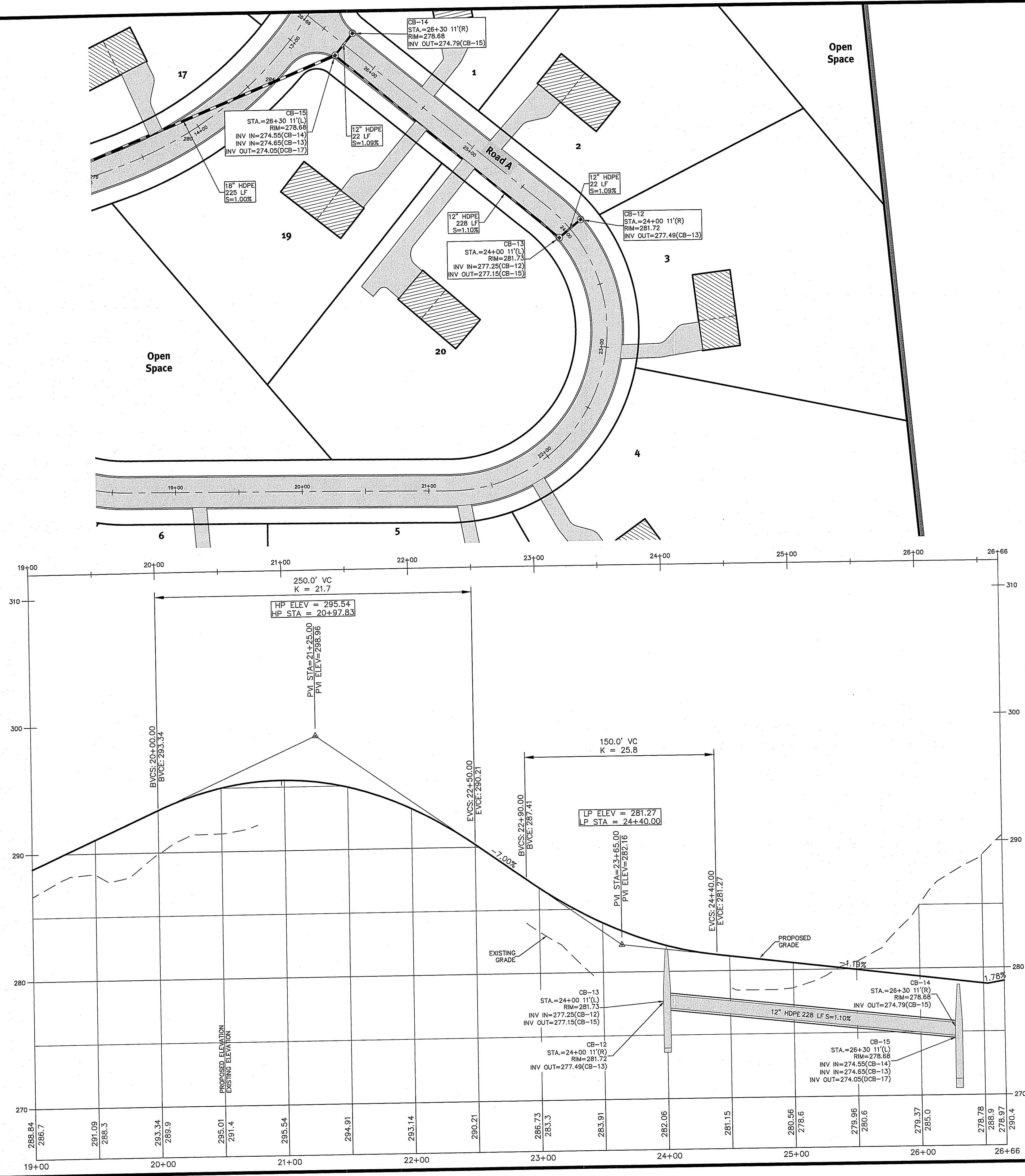
The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA, conformance in the implementation of this plan and design.

No.	Date	Description	Design By: R.B.S.
1	01/20/18	88554 Rehabilitation Preliminary Plan Submission	By: R.B.S.
2	11/02/2017		

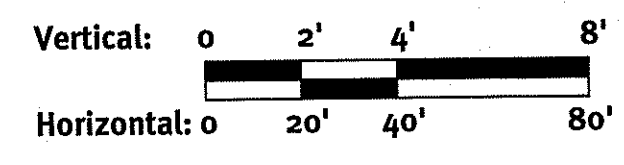
RIDEM Submission
P&P Road A - Sta. 10+25 - 19+00
Hidden Meadow
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 3437 Mendon Road #201
 Cumberland, Rhode Island 02864
 Hidden Meadow Realty LLC
 3437 Mendon Road #201
 Cumberland, Rhode Island 02864
 DE-Sub No. 575-602 Copyright 2012 by DiPrete Engineering Associates, Inc.

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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RIDEM Submission

P&P Road A - Sta. 19+00 - 26+66

Hidden Meadow

Assessor's Plat: 66, Lots 23, 24, & 49, Assessor's Plat 57, Lots 28, & 36
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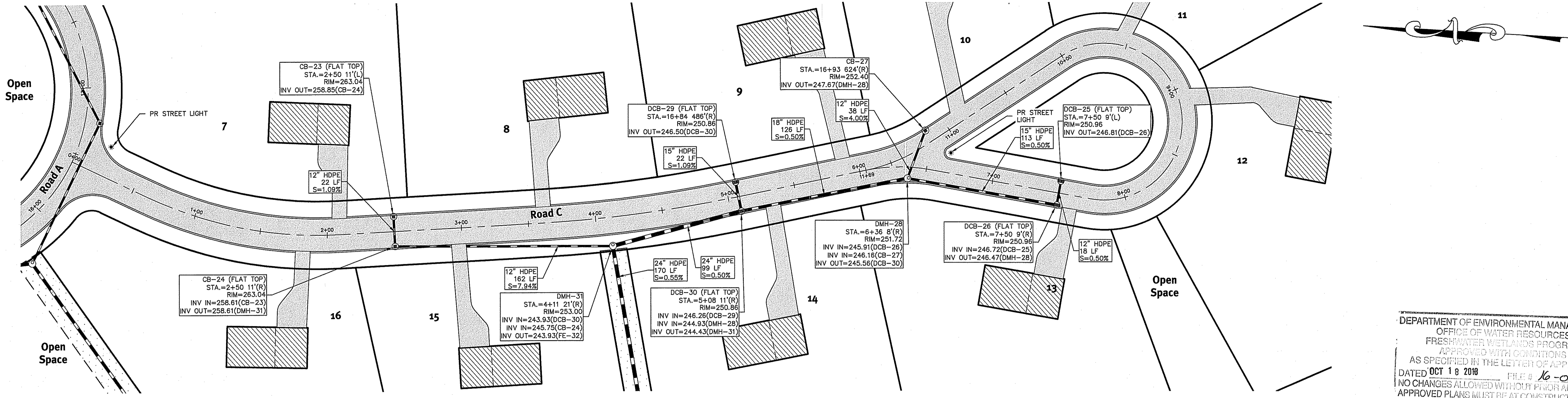
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 08341
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1	04/20/18	RIDEM Design Submission	By: R.B.S.
2	04/20/18	Final Design Submission	By: R.B.S.
3	04/20/18	Final Design Submission	By: R.B.S.
4	04/20/18	Final Design Submission	By: R.B.S.

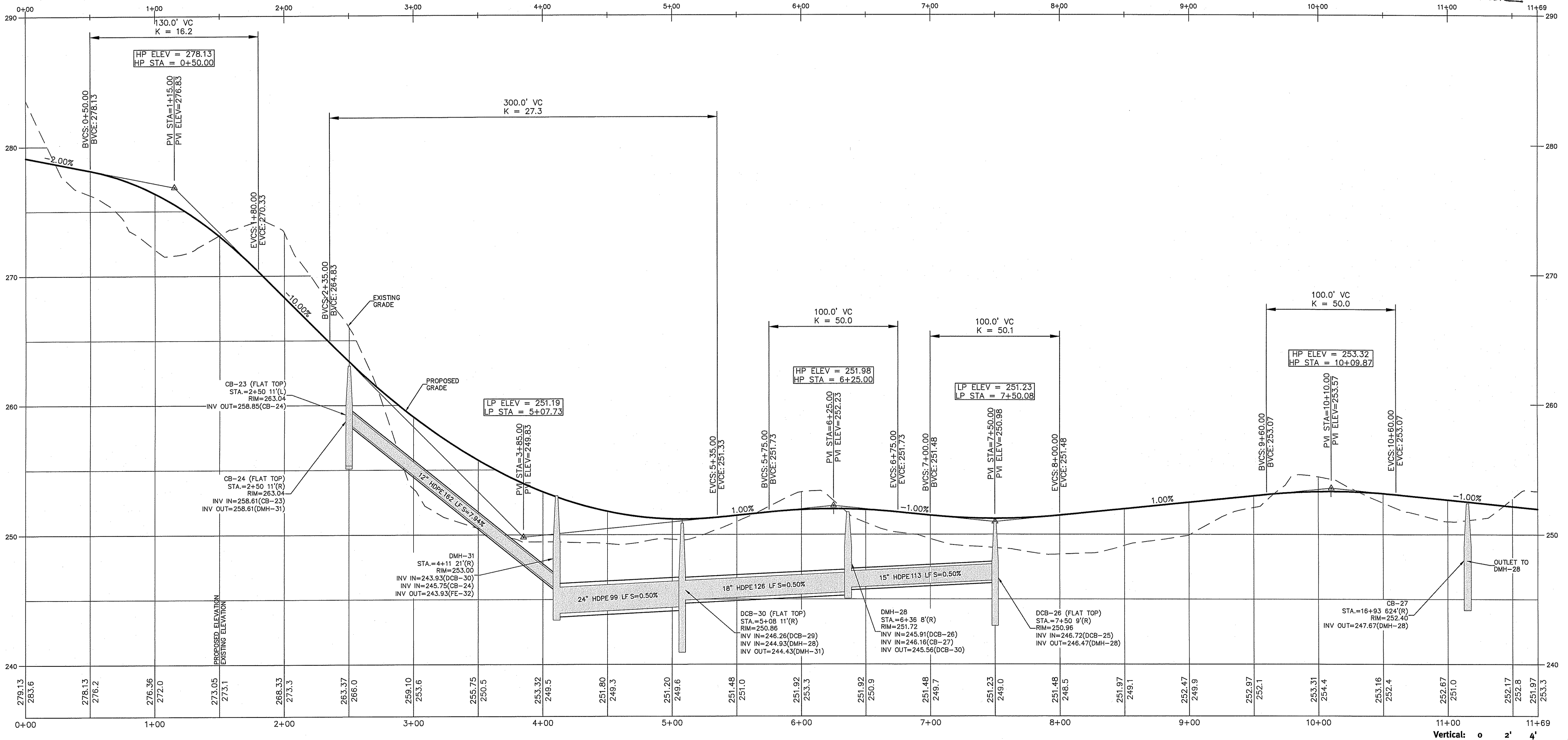
Diprete Engineering
 Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6666 www.Diprete-Eng.com
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 18 2018 FILE # 16-0192
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Jonathan D. Wemel

BRIAN C. GIROUX
 REG. NO. 13341
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL



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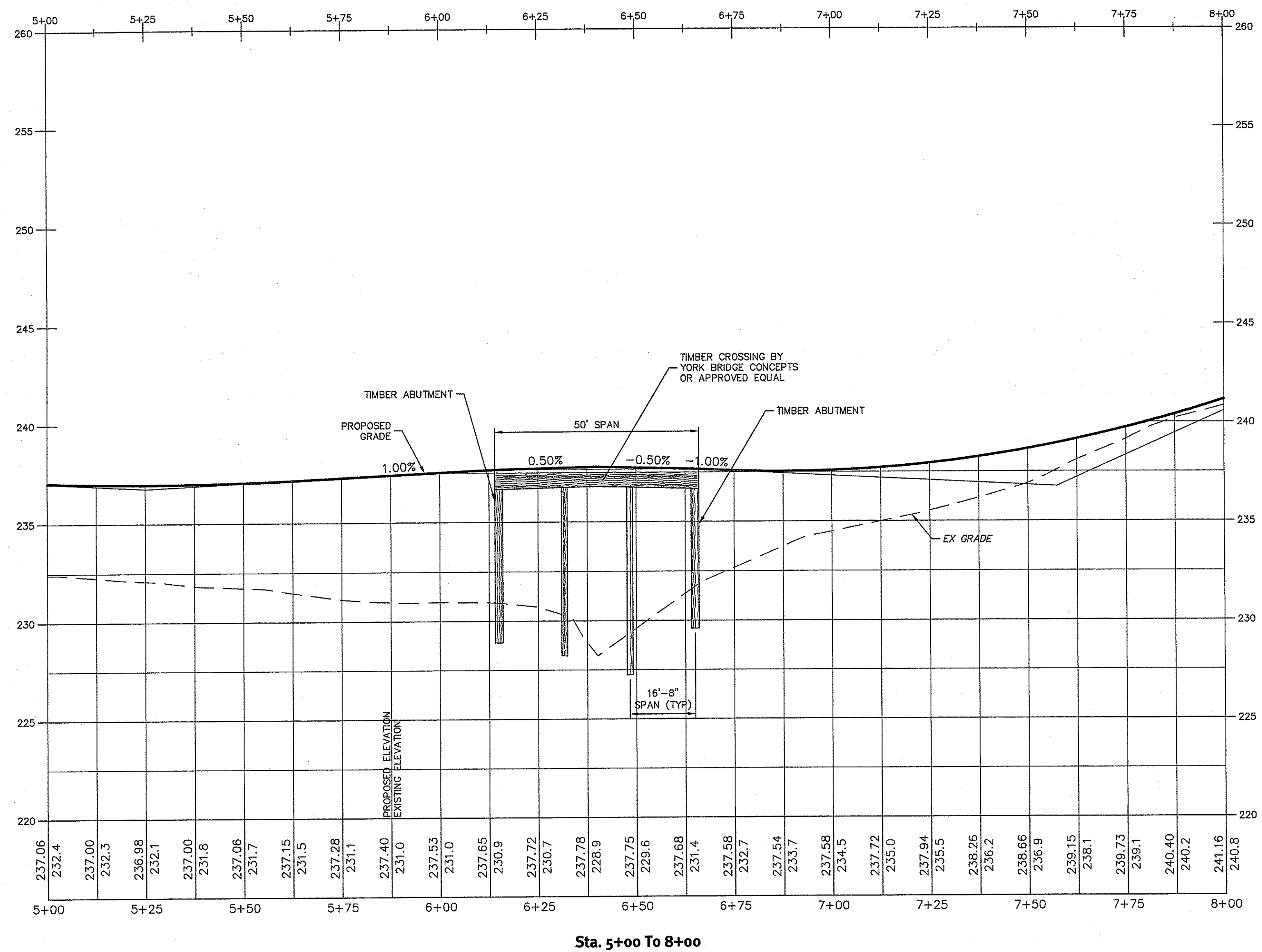
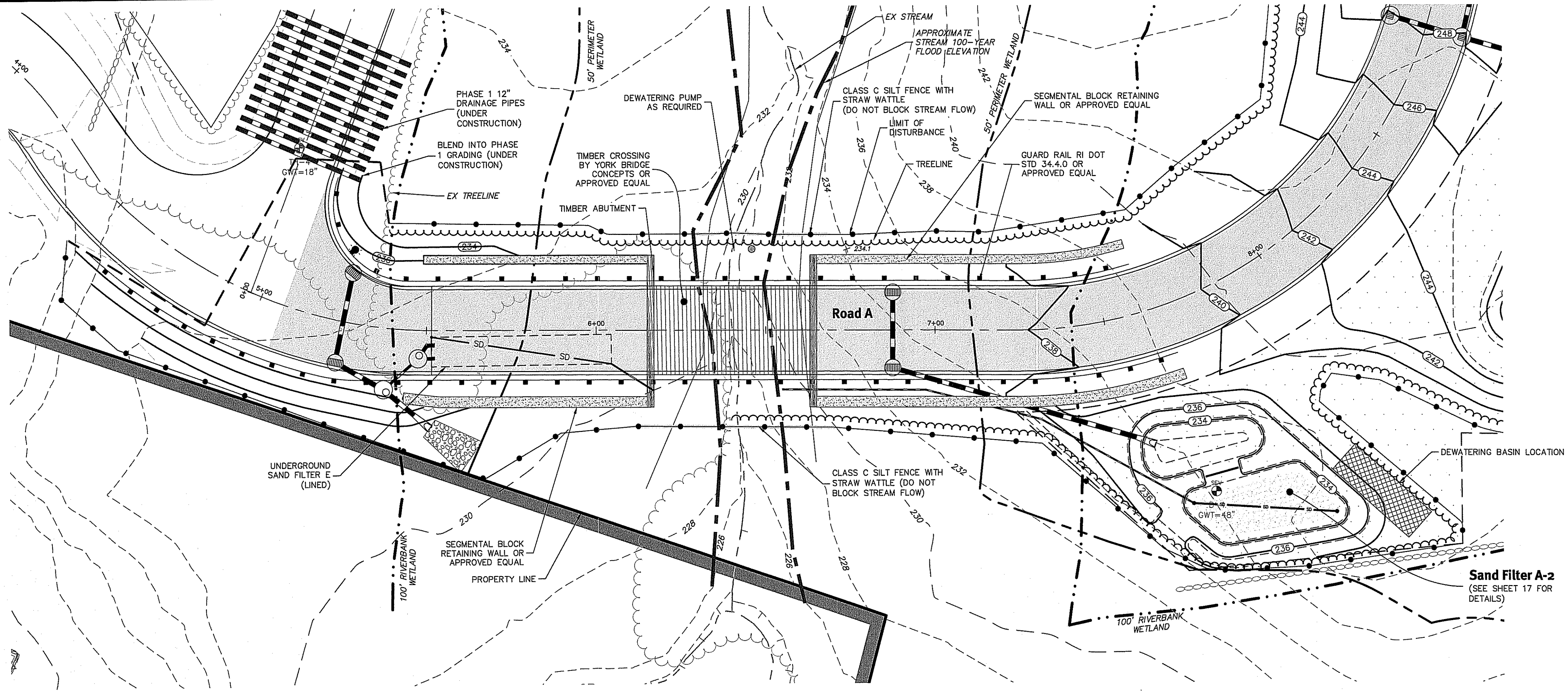
No.	Date	Description	By
1	01/25/18	PRELIMINARY PLAN SUBMISSION	R.B.S.
2	11/02/2018	PRELIMINARY PLAN SUBMISSION	R.B.S.
3	11/02/2018	PRELIMINARY PLAN SUBMISSION	R.B.S.

Design By: R.B.S.

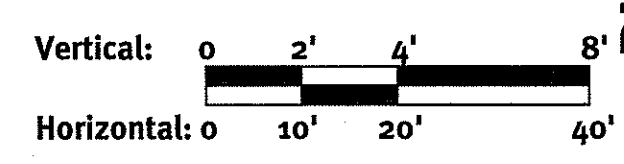
RIDEM Submission

P&P Road C - Sta. 0+00 - 11+69
Hidden Meadow
 Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
 Cumberland, Rhode Island
 Applicant/Owner: **JCM LLC**
 3437 Mendon Road Suite 201
 Cumberland, Rhode Island 02864
 Design By: R.B.S.

z:\dmain\projects\1678-002 hidden meadow\autocad drawing\1678-002-dsn.dwg Plotter: 4/20/2018



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 Jonathan D. Sanchez



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BRIAN C. GIROUX
 0341
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

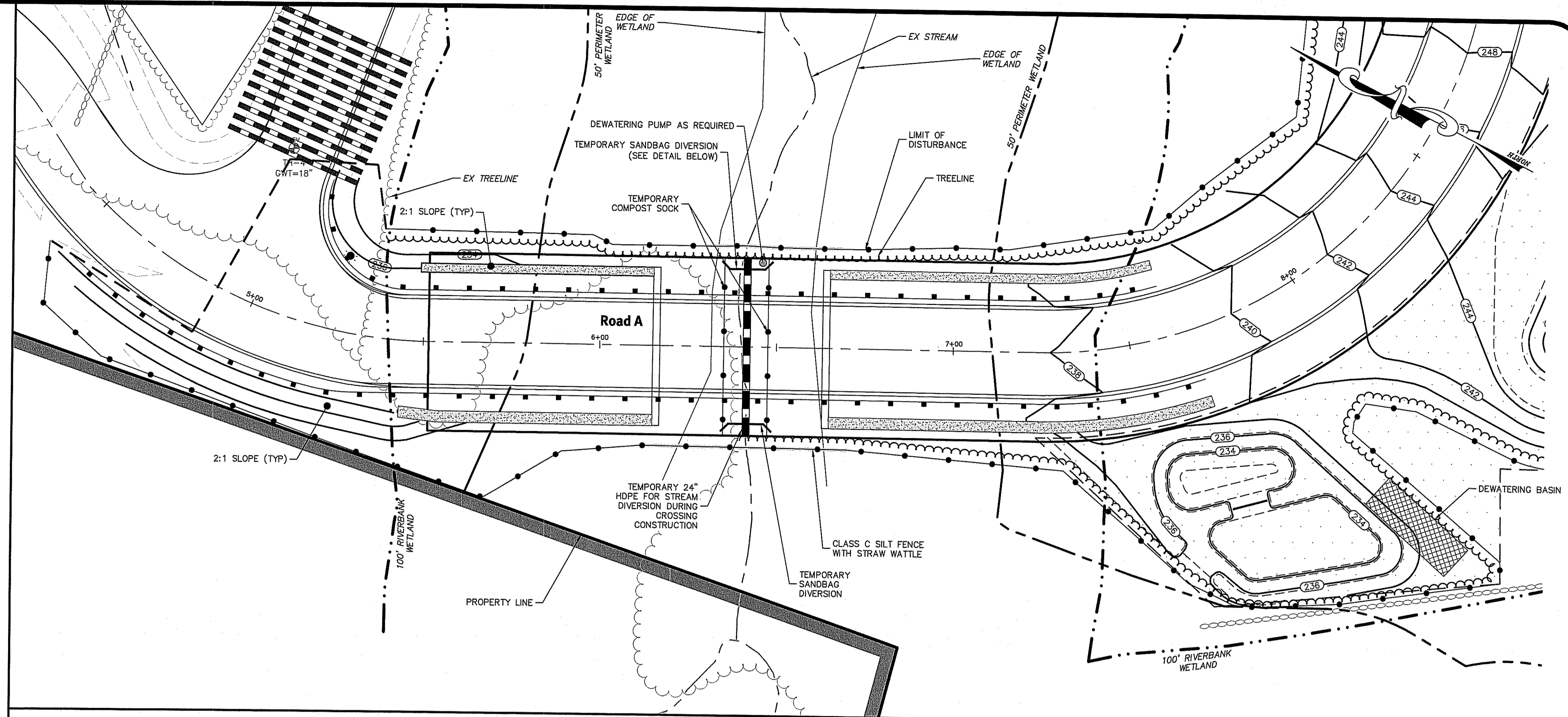
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No.	Date	Description	Design By: R.B.S.
1	04/20/16	RI/PA Design/Construction	By: R.B.S.
2	08/22/16	RI/PA Design/Construction	By: R.B.S.
3	08/22/16	RI/PA Design/Construction	By: R.B.S.
4	08/22/16	RI/PA Design/Construction	By: R.B.S.
5	08/22/16	RI/PA Design/Construction	By: R.B.S.
6	08/22/16	RI/PA Design/Construction	By: R.B.S.
7	08/22/16	RI/PA Design/Construction	By: R.B.S.
8	08/22/16	RI/PA Design/Construction	By: R.B.S.
9	08/22/16	RI/PA Design/Construction	By: R.B.S.
10	08/22/16	RI/PA Design/Construction	By: R.B.S.

RIDEM Submission
Wetland Crossing
Hidden Meadow
 Assessors' Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
 Cumberland, Rhode Island
 Applicant/Owners: **JCM LLC**
 2437 Mendon Road, Suite 201
 Cumberland, Rhode Island 02864
 Hidden Meadow Realty LLC
 2437 Mendon Road #6
 Cumberland, Rhode Island 02864
 DE Job No: 1678-002 Copyright 2012 by Diprete Engineering Associates, Inc.

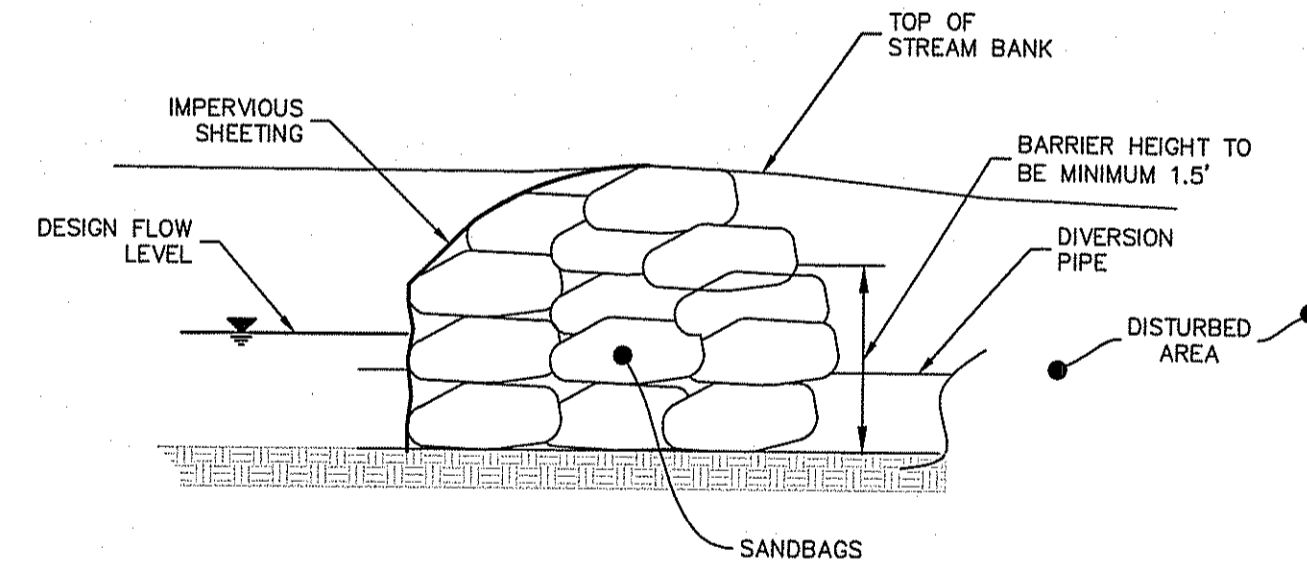
Wetland Crossing Notes:

1. CONSTRUCTION OF THE CROSSING WITHIN THE WETLAND AND WETLAND BUFFERS MUST OCCUR BETWEEN JULY 1 AND OCTOBER 31. NO CONSTRUCTION WITHIN THE WETLAND BUFFER IS ALLOWED OUTSIDE OF THESE DATES.
2. SEQUENCE OF CONSTRUCTION WITHIN THE WETLAND AND WETLAND BUFFER IS AS FOLLOWS, CONTRACTOR MAY MODIFY AS NECESSARY WITH APPROVAL FROM DESIGN ENGINEER AND RDM:
- 2.1. SURVEY AND STAKE CENTERLINE OF THE PROPOSED ROAD, THE DRAINAGE STRUCTURES, AND RETAINING WALLS. LIMIT OF WORK SHALL BE STAKED UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR IN THE AREAS OF THE WETLAND CROSSINGS.
- 2.2. PLACE SEDIMENTATION BARRIERS (SILT FENCE) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS. INSTALL DEWATERING PUMPS AND DEWATERING BASIN IF NECESSARY.
- 2.3. BEGIN WETLAND CROSSING WORK:
 - 2.3.1. CLEAR AND GRUB TREES AND BRUSH FROM THE EDGE OF PHASE 1 DEVELOPMENT TO THE AREA OF THE TIMBER BRIDGE. TOPSOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. DIRECTLY UNDER THE TIMBER BRIDGE: CONTRACTOR TO MAINTAIN STREAM CHANNEL UNDER TIMBER BRIDGE. CUT TREES WITH STUMPS ARE TO BE LEFT. CONTRACTOR TO INSTALL TIMBER BRIDGE PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 - 2.3.2. INSTALL TEMPORARY DIVERSION PIPE TO DIVERT EXISTING STREAM. CONTRACTOR TO ENSURE STREAM FLOW THROUGH DIVERSION PIPE BEFORE INSTALLING TIMBER BRIDGE. THE CONTRACTOR SHALL STOCKPILE SANDBAGS ON SITE SUFFICIENT TO PROVIDE 2' HIGH SANDBAG PILES ALONG BOTH SIDES OF THE STREAM WITHIN LIMITS OF WORK. IN THE EVENT OF A FORECAST FOR A SIGNIFICANT STORM EVENT (1" OR MORE OF RAINFALL WITHIN A 24-HOUR PERIOD), SANDBAG PILES SHALL BE INSTALLED OUTSIDE THE LIMITS OF EXCAVATION ON BOTH STREAM BANKS.
 - 2.3.3. INSTALL TIMBER BRIDGE ABUTMENT FOOTINGS, PIERS AND RETAINING WALLS PER MANUFACTURER AND GEOTECHNICAL REQUIREMENTS AND RECOMMENDATIONS. REMOVE UNSUITABLE MATERIALS UNDER FOOTINGS AS NECESSARY. EXISTING STREAM CHANNEL TO BE MAINTAINED AS MUCH AS POSSIBLE.
 - 2.3.4. BEGIN CONSTRUCTION OF RETAINING WALLS.
 - 2.3.5. FILL AND COMPACT WITHIN THE LIMITS OF THE ROADWAY PER GEOTECHNICAL SPECIFICATIONS.
 - 2.3.6. REMOVE THE TEMPORARY DIVERSION PIPE AND ADDITIONAL EROSION CONTROL DEVICES ONCE RETAINING WALLS AND TIMBER CROSSING ARE CONSTRUCTED.
- 2.4. CONTINUE CLEARING AND GRUBBING WITHIN THE LIMITS OF THE PROPOSED WETLAND CROSSING. TOPSOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS.
- 2.5. CONTRACTOR TO CONTINUE AS REQUIRED ROAD CONSTRUCTION (EXCAVATING AND GRADING ETC.), UTILITIES AND DRAINAGE INSTALLATION, SEGMENTAL BLOCK WALL PER GEOTECHNICAL AND MANUFACTURER SPECIFICATIONS.
- 2.6. BEGIN LANDSCAPING AND SIDEWALK WHILE ROADWAY IS UNDER CONSTRUCTION.
- 2.7. FINISH ROAD CONSTRUCTION.
- 2.8. FINISH LANDSCAPING AND PERMANENT STABILIZATION.
- 2.9. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.



Temporary Stream Diversion & Dewatering Basin Details

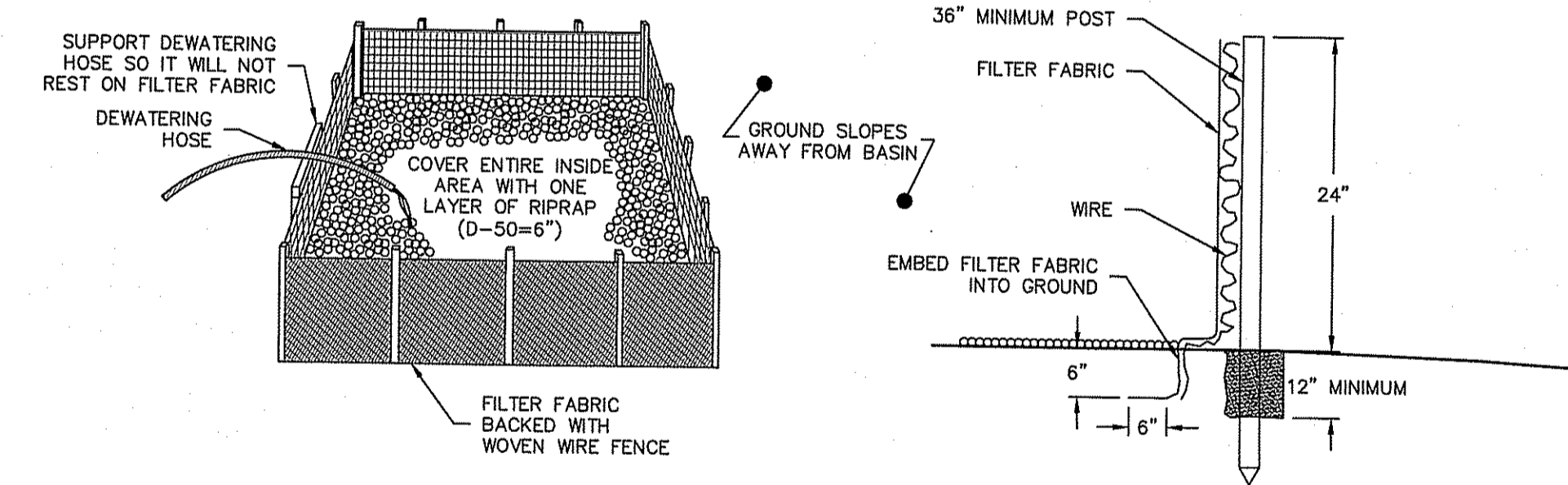
Scale: 1"=20'
0 10' 20' 40'



Temporary Sandbag Diversion
NOT TO SCALE

NOTES:

1. THE BASIN STORAGE VOLUME SHOULD NOT BE LESS THAN THE TOTAL VOLUME OF WATER THAT COULD BE PUMPED DURING A 4 HOUR PERIOD.
2. FILTER FABRIC BASINS SHOULD BE CONSTRUCTED ON LEVEL OR NEARLY LEVEL GROUND.
3. THE AREA AROUND THE FILTER FABRIC BASIN MUST BE STABILIZED TO PREVENT EROSION BY WATER EXITING THE BASIN.
4. REMOVED SEDIMENT WHEN ACCUMULATION REACHES 1/2 THE ORIGINAL HEIGHT OF THE FILTER FABRIC.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN PROPER WORKING CONDITIONS AS LONG AS IT IS IN PLACE.
6. FILTER FABRIC BASINS AND ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE BASIN'S USEFUL LIFE HAS BEEN COMPLETED. THE AREA COVERED BY THE BASIN SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THE BASIN IS REMOVED.



Filter Fabric Basin For Pumped Dewatering Discharge
NOT TO SCALE

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-943-6006 www.DiPrete-Eng.com

BRIAN C. GIROUX
19341
REGISTERED PROFESSIONAL ENGINEER CIVIL

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No.	Date	Description	By:
1	05/29/2018	Initial Submission	R.B.S.
2	11/02/2017	Preliminary Plan Submission	R.B.S.
3	11/02/2017	Preliminary Plan Submission	R.B.S.

Design By: R.B.S.
Drawn By: R.B.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **10CT 19 2019** FILE # **16-0192**
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Walter D. Weneck

RIDEM Submission

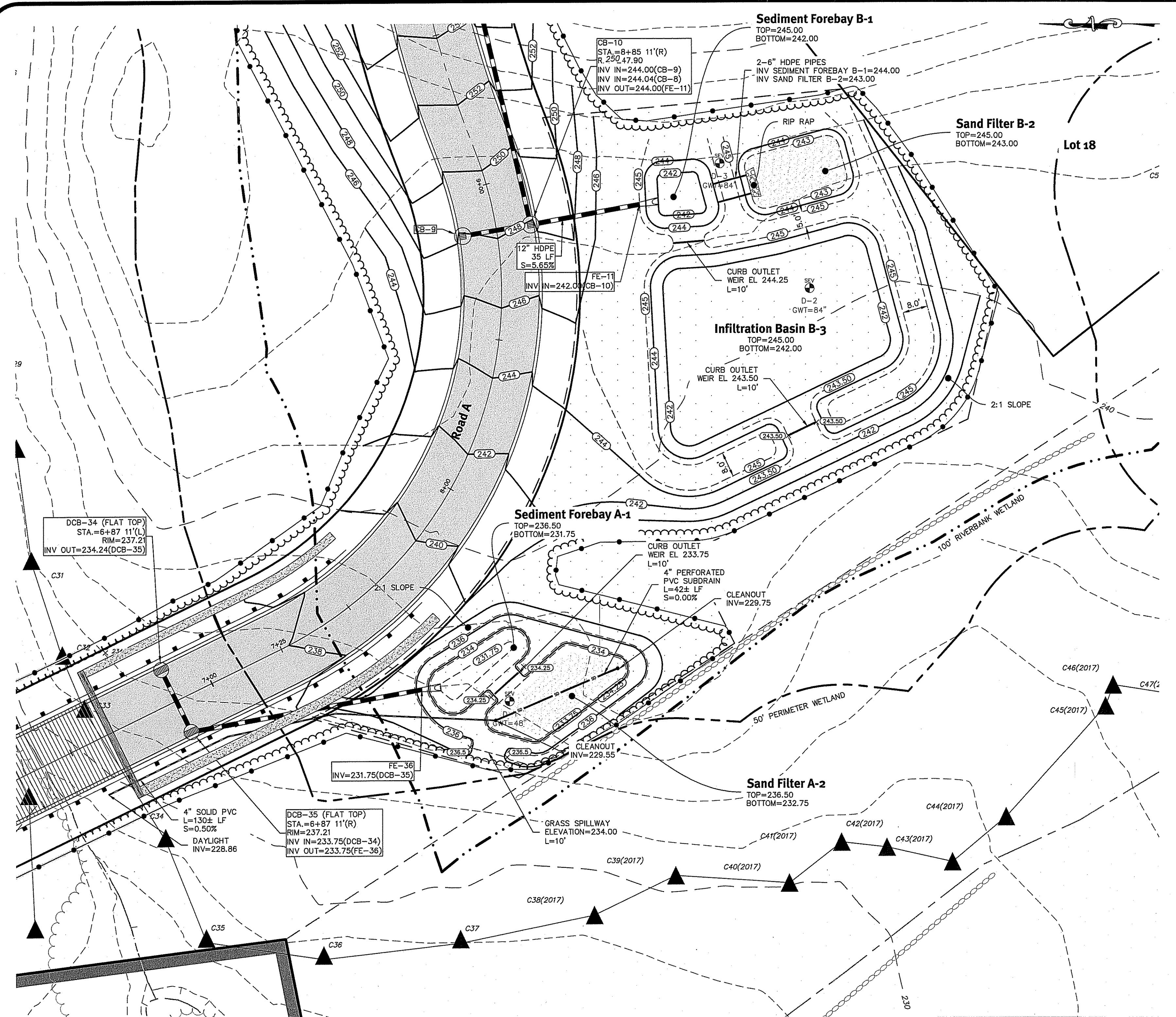
Wetland Crossing Erosion Control

Hidden Meadow

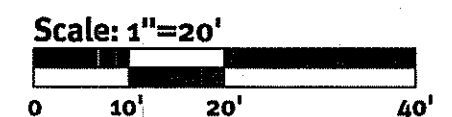
Applicant/Owners
JCM LLC
3437 Mendon Road Suite 201
Cumberland, Rhode Island 02864

Hidden Meadow Realty LLC

3437 Mendon Road P#6
Cumberland, Rhode Island 02864
DE Job No: 1678-002 Copyright 2012 by DiPrete Engineering Associates, Inc.

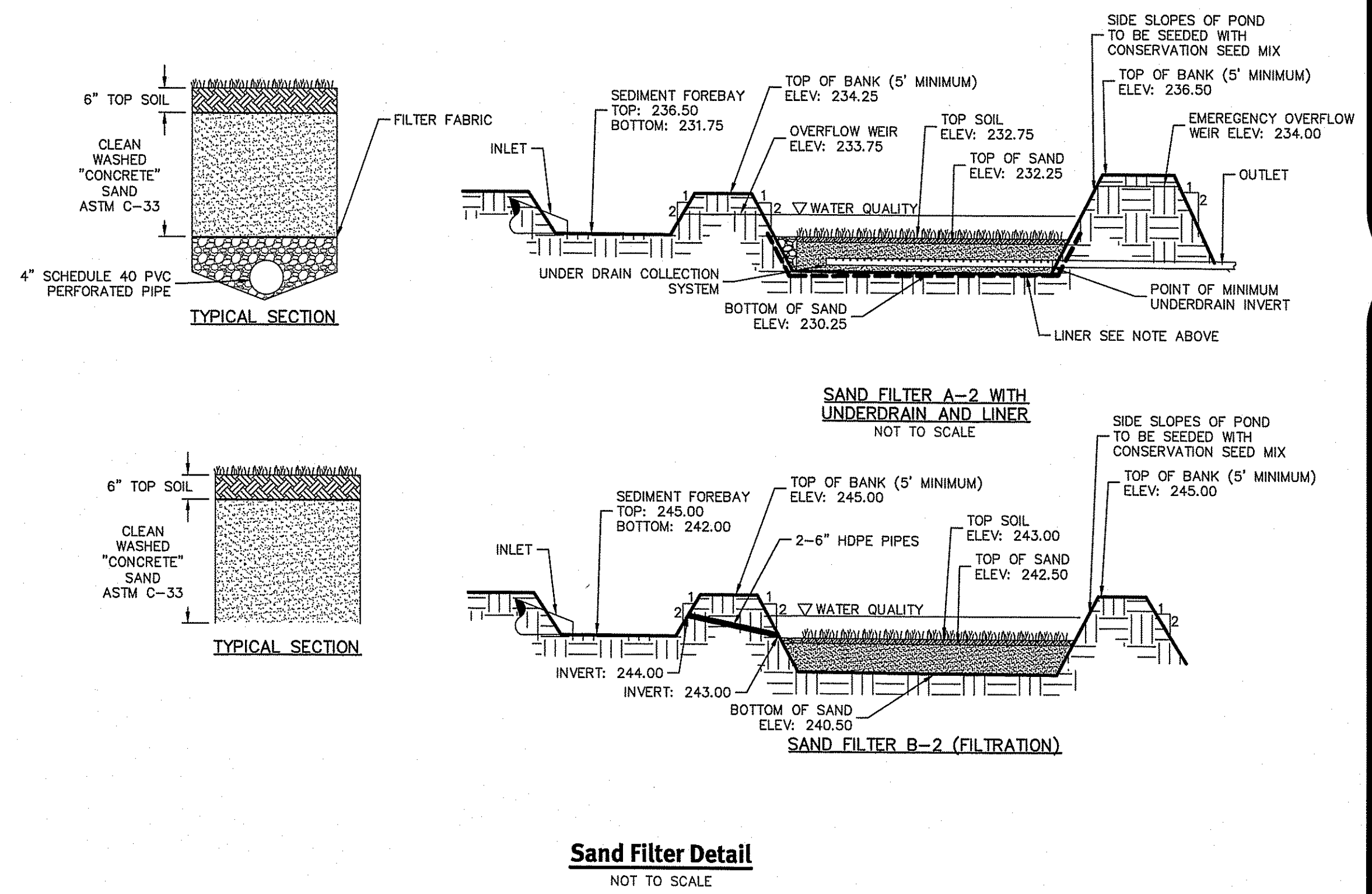


Sand Filter A & B-2 and Infiltration Basin B-3

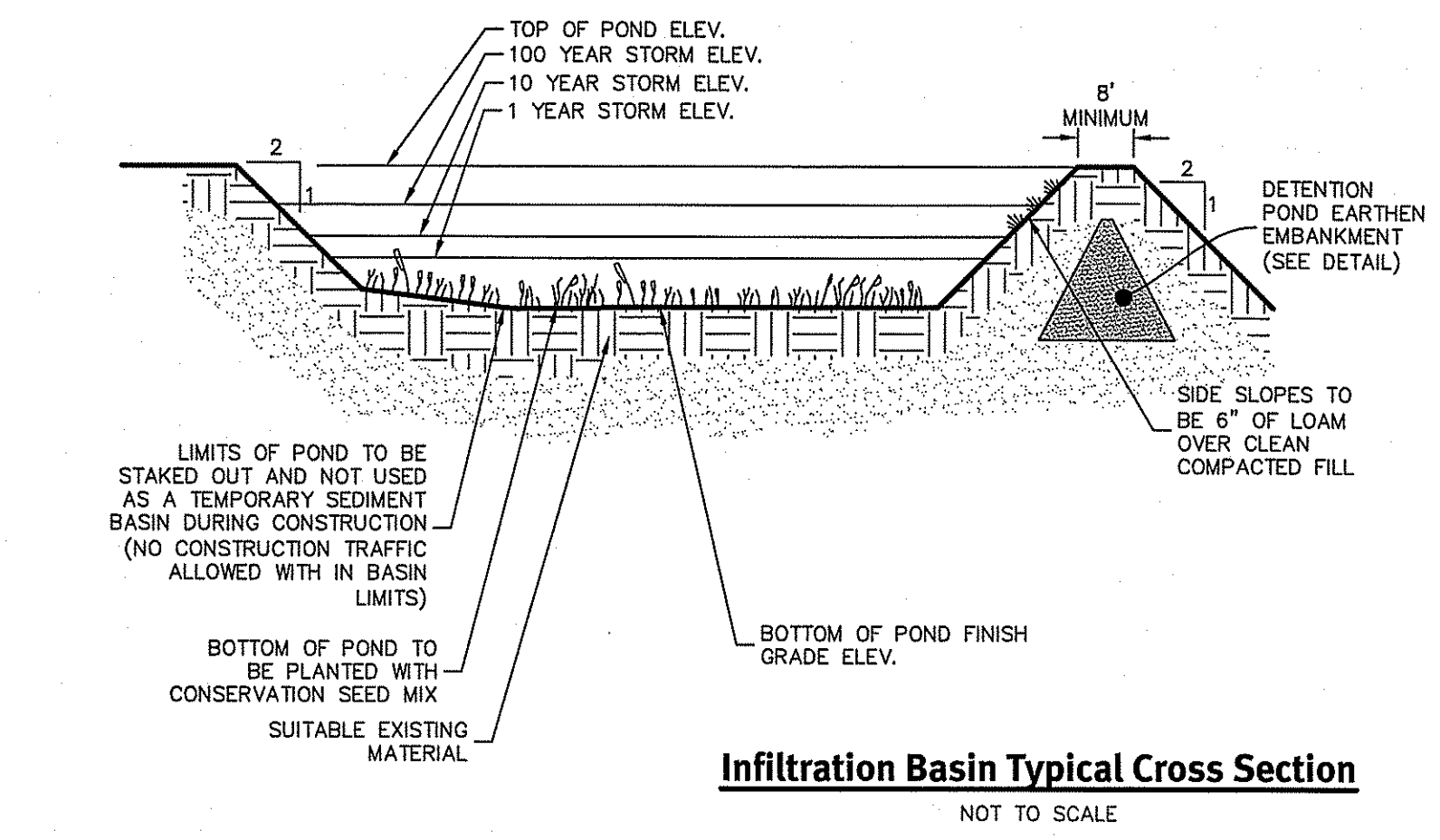


DESCRIPTION	A-2	B-2
AVAILABLE STORAGE ELEVATION	236.50	245.00
100 YEAR STORM ELEVATION	234.26	244.72
10 YEAR STORM ELEVATION	234.09	244.43
1 YEAR STORM ELEVATION	232.90	244.27
1.2" STORM ELEVATION	230.44	243.53
TOP OF SOIL ELEVATION	232.75	243.00
BOTTOM OF SAND ELEVATION	230.25	240.50
SAND & TOP SOIL DEPTH	2.5'	2.5'
SEASONAL HIGH GWT ELEVATION	232.00	237.00
SOIL EVALUATION	D-1	D-3

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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APPROVED PLAN FOR CONSTRUCTION SITE

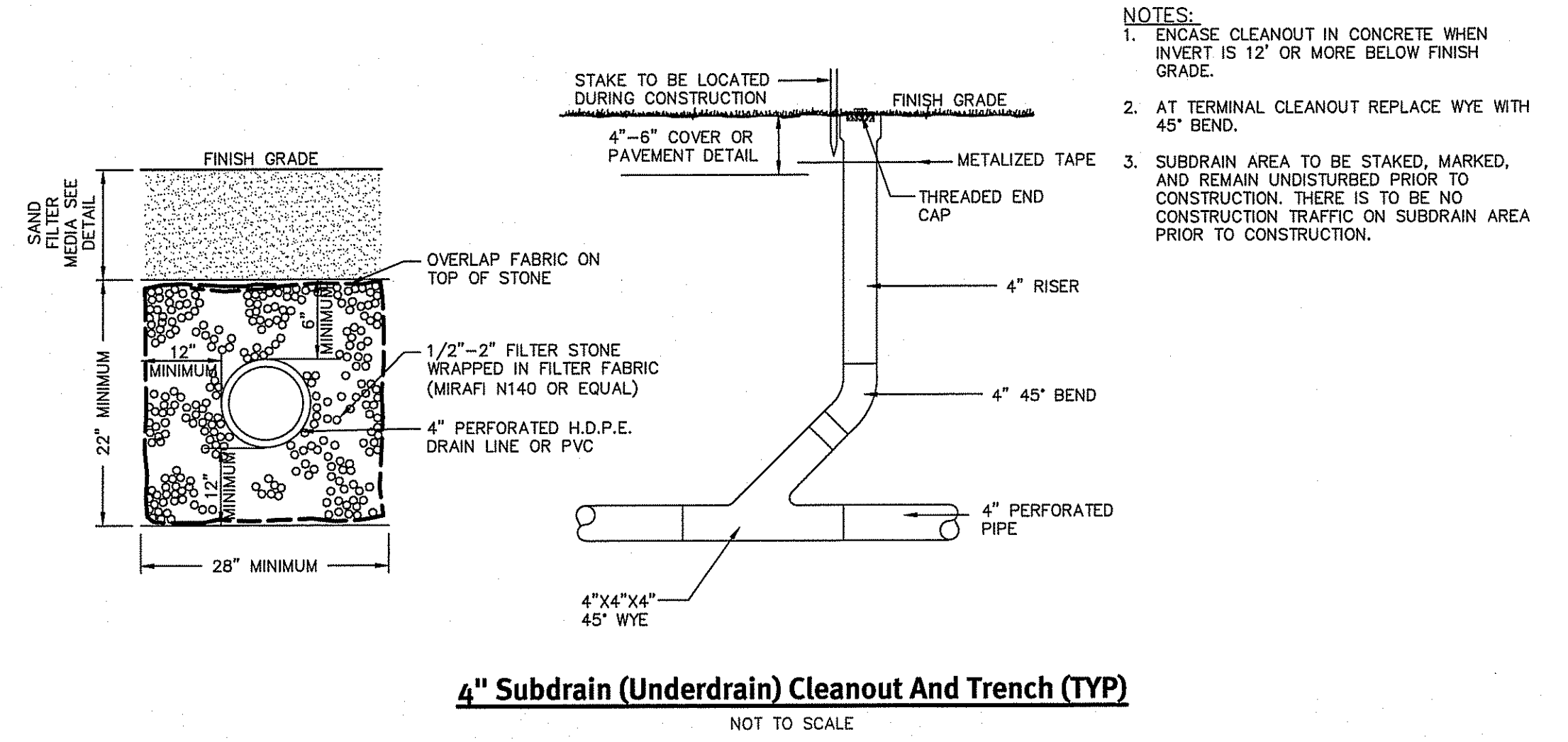


Sand Filter Detail
NOT TO SCALE

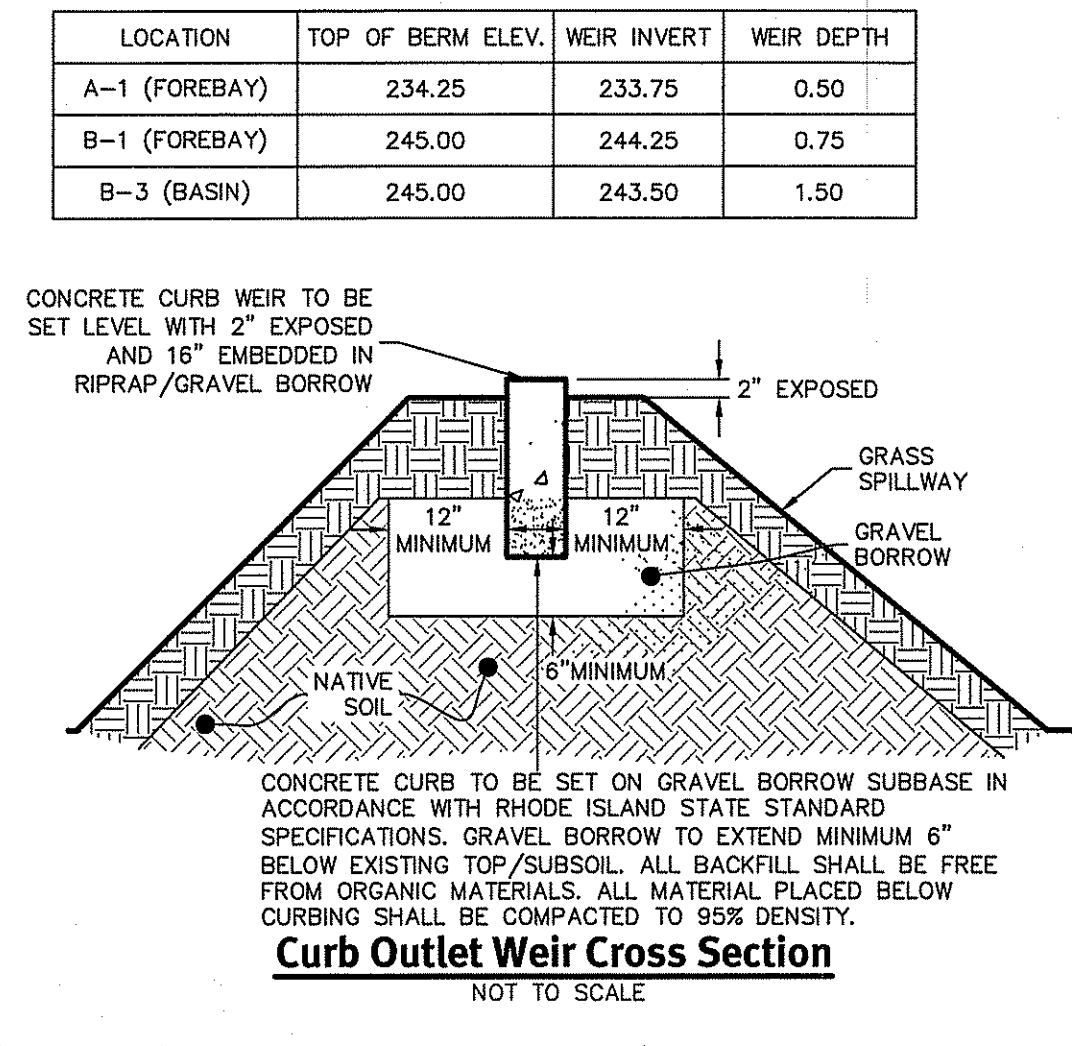


DESCRIPTION	B-3
TOP OF POND ELEVATION	245.00
BOTTOM OF POND	242.00
100 YEAR STORM ELEVATION	243.92
10 YEAR STORM ELEVATION	243.53
1 YEAR STORM ELEVATION	242.08
SEASONAL HIGH GWT ELEVATION	234.50
SOIL EVALUATION	D-2

Infiltration Basin Typical Cross Section
NOT TO SCALE

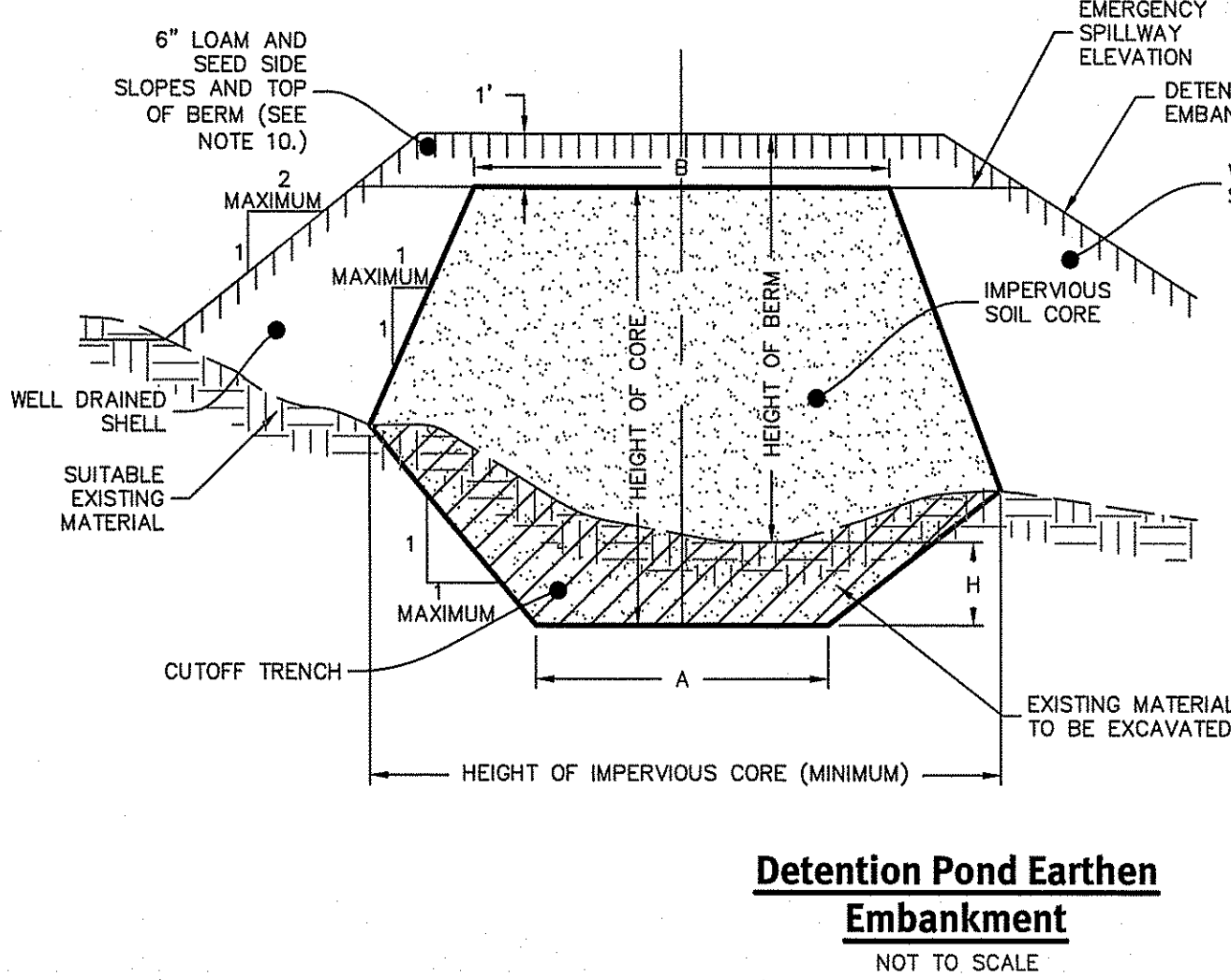


4" Subdrain (Underdrain) Cleanout And Trench (TYP)
NOT TO SCALE



Curb Outlet Weir Cross Section
NOT TO SCALE

LOCATION	TOP OF BERM ELEV.	WEIR INVERT	WEIR DEPTH
A-1 (FOREBAY)	234.25	233.75	0.50
B-1 (FOREBAY)	245.00	244.25	0.75
B-3 (BASIN)	245.00	243.50	1.50



Detention Pond Embankment
NOT TO SCALE

BERM HEIGHT (FT)	TOP WIDTH OF CORE - B (FT)
0-6.5	8.2
6.6-9.8	9.2
9.9-13.1	9.8
13.2-16.4	10.8
16.5-19.7	11.5

- NOTES:**
- IMPERVIOUS SOIL CORE TO BE PROVIDED FOR ALL DETENTION POND EMBANKMENTS.
 - IMPERVIOUS SOIL CORE TO BE CONSTRUCTED OF MATERIAL CONSISTING OF SILT OR <200 SOIL.
 - WELL DRAINED SHELL TO BE CONSTRUCTED OF GRAVEL AND/OR SAND WITH LESS THAN 5% PASSING THE #200 SIEVE.
 - MINIMUM DEPTH OF CUTOFF TRENCH (H) SHALL BE 3/4 OF THE TOTAL BERM HEIGHT.
 - THE IMPERVIOUS CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
 - THE MINIMUM BOTTOM WIDTH (A) SHALL BE 5'-8", AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
 - SIDE SLOPES OF THE TRENCH SHALL BE NO STEEPER THAN 1:1.
 - IF BEDROCK IS ENCOUNTERED BELOW THE DAM THE CUT OFF TRENCH CAN BE REDUCED TO 1'4" (A/H).
 - COMPACTION REQUIREMENTS FOR THE SHELL AND IMPERVIOUS CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
 - SIDE SLOPE OF DETENTION POND EMBANKMENT TO BE 2:1 MAXIMUM. IF SIDE SLOPES ARE STEEPER THAN 3:1, SLOPE PROTECTION MUST BE UTILIZED ON POND EMBANKMENT. THIS INCLUDES, BUT NOT LIMITED TO, RIPRAP AND EROSION CONTROL MATS.
 - THE IMPERVIOUS CORE SHALL BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
 - ALL EMBANKMENTS TO BE DESIGNED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A GEOTECHNICAL ENGINEER.

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-464-6005 www.DiPrete-Eng.com

BRIAN C. GIROUX
REGISTERED PROFESSIONAL ENGINEER CIVIL
No. 3341

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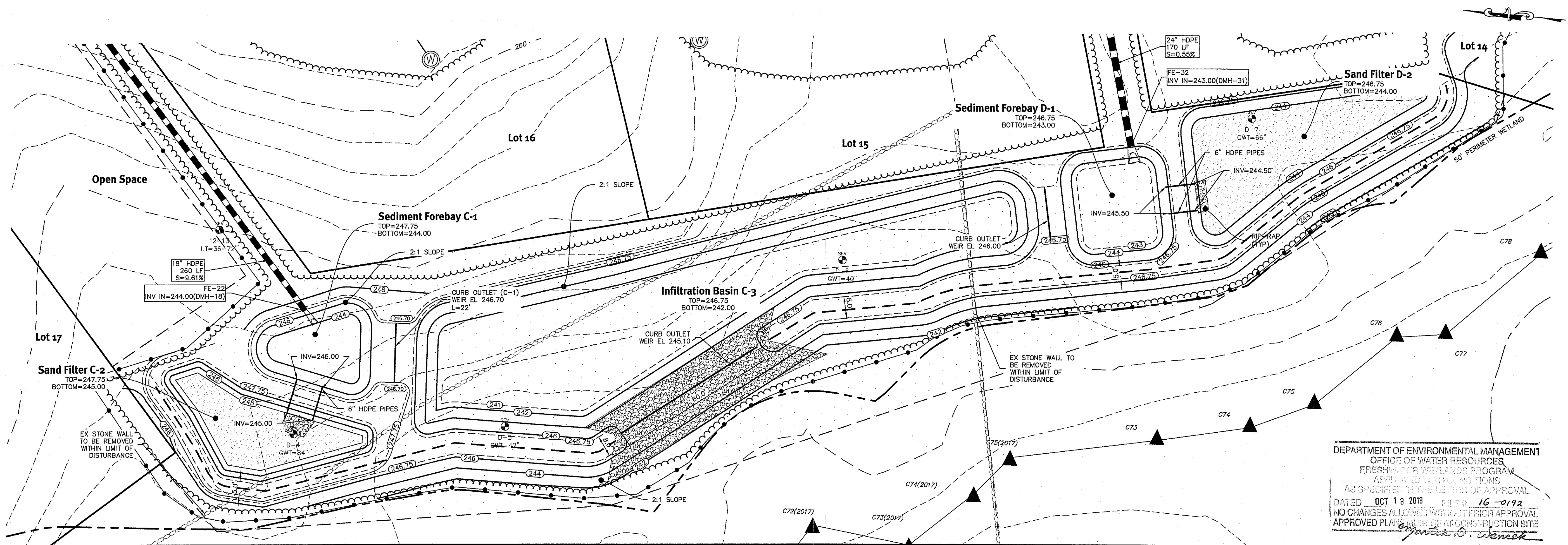
The contractor is responsible for all of the means, methods, safety precautions and the implementation of this plan and design.

No.	Date	Description	Design By: R.B.S.
1	04/20/18	RDWM Resubmission	Design By: R.B.S.
2	11/27/2017	Final Plan Submission	Design By: R.B.S.
3	11/27/2017	Final Plan Submission	Design By: R.B.S.

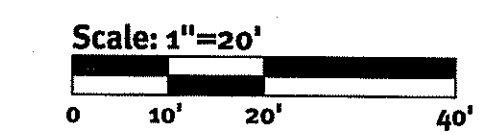
RIDEM Submission
Sand Filter & Pond - 1
Hidden Meadow
Assessor's Plat 06, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
Cumberland, Rhode Island

JCM LLC
2437 Meriden Road Suite 201
Cumberland, Rhode Island 02864
DE Job No: 1676-002 Copyright 2012 by DiPrete Engineering Associates, Inc.

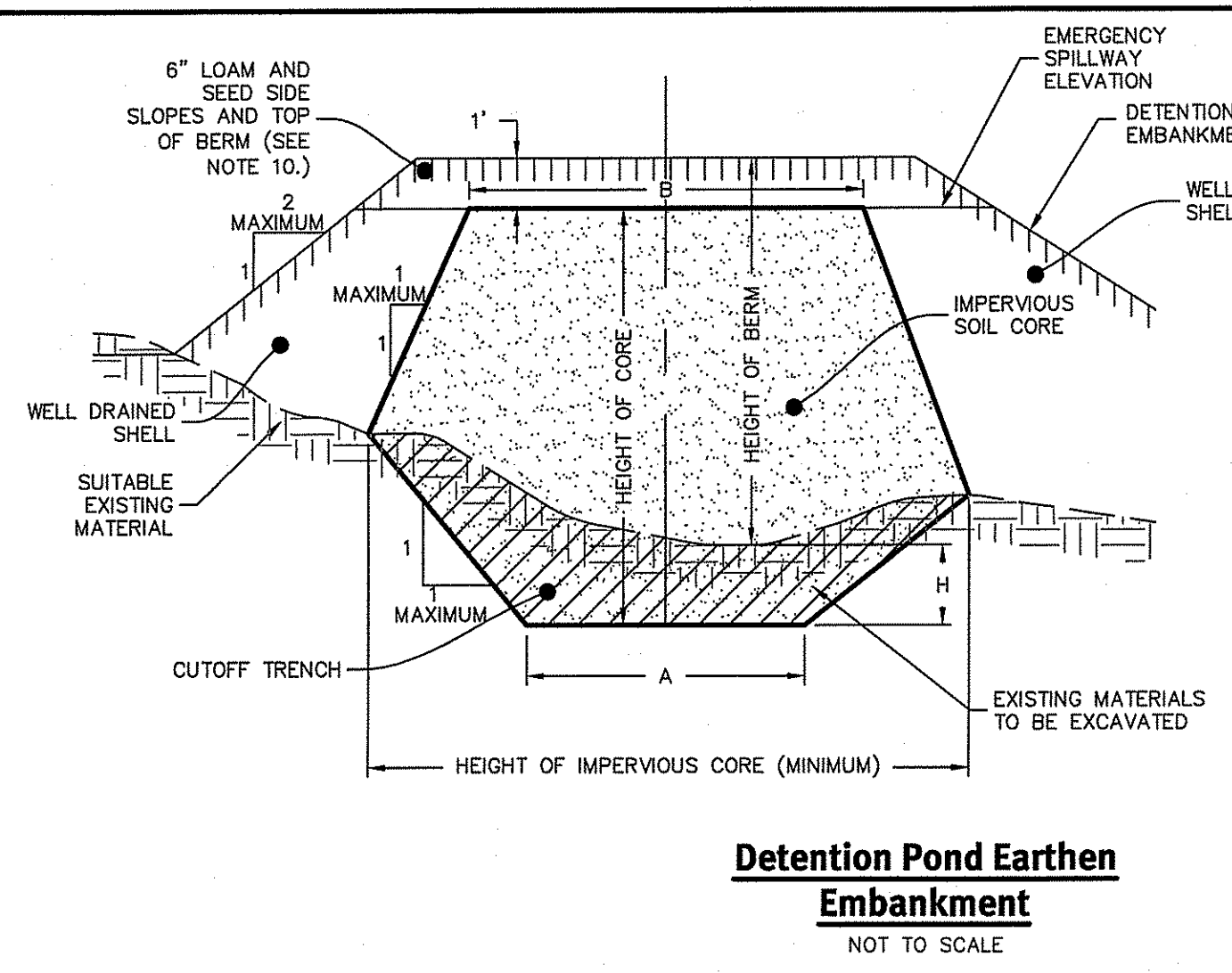
Hidden Meadow Realty LLC
3437 Meriden Road 196
Cumberland, Rhode Island 02864



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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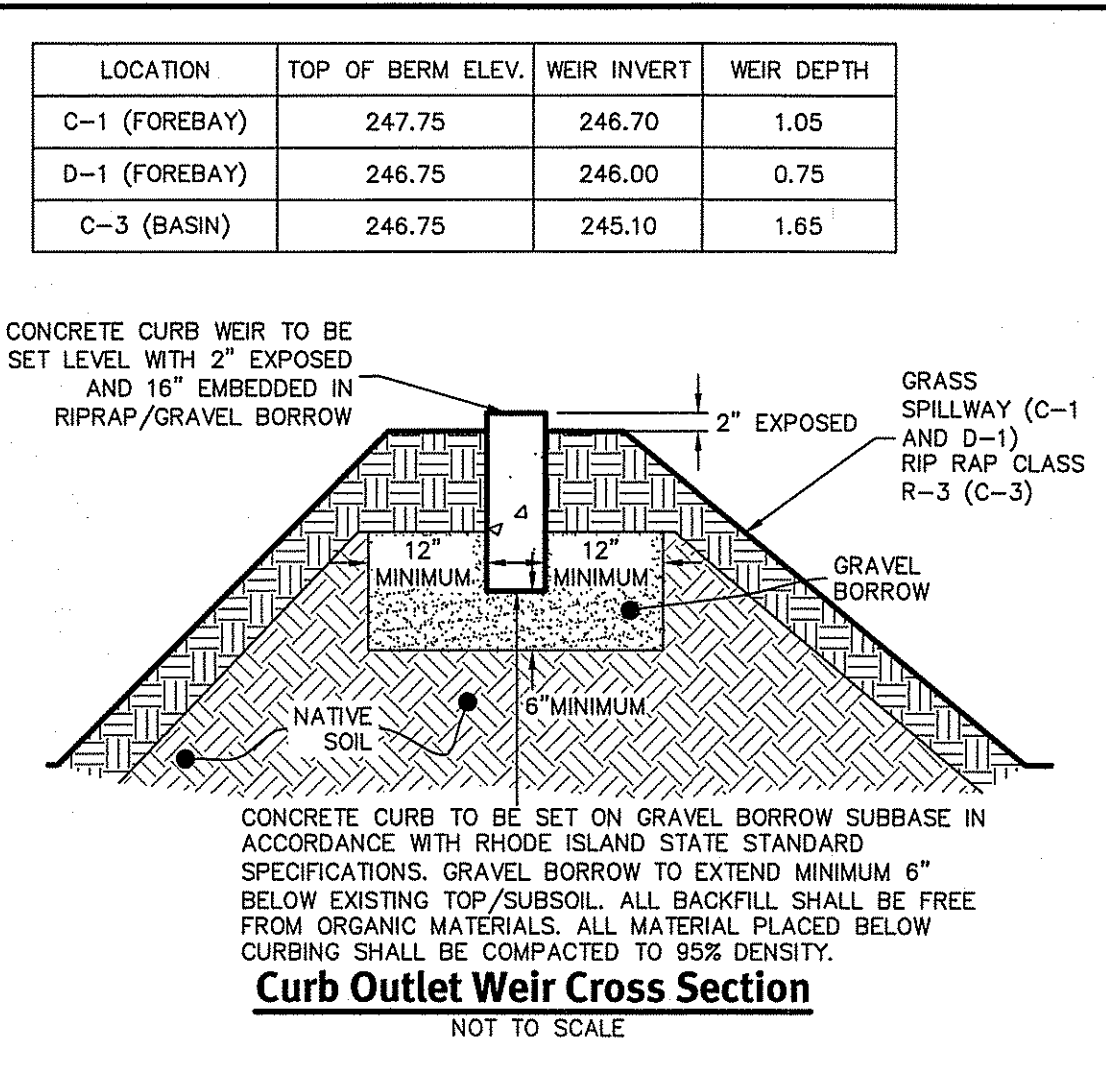
Sand Filter C-2 & D-2 and Infiltration Basin C-3



Detention Pond Earthen Embankment
 NOT TO SCALE

BERM HEIGHT (FT)	TOP WIDTH OF CORE - B (FT)
0-6.5	8.2
6.6-9.8	9.2
9.9-13.1	9.8
13.2-16.4	10.8
16.5-19.7	11.5

NOTES:
 1. IMPERVIOUS SOIL CORE TO BE PROVIDED FOR ALL DETENTION POND EMBANKMENTS.
 2. IMPERVIOUS SOIL CORE TO BE CONSTRUCTED OF MATERIAL CONSISTING OF SILT OR <200 SOIL.
 3. WELL DRAINED SHELL TO BE CONSTRUCTED OF GRAVEL AND/OR SAND WITH LESS THAN 5% PASSING THE #200 SIEVE.
 4. MINIMUM DEPTH OF CUTOFF TRENCH (H) SHALL BE 3/4 OF THE TOTAL BERM HEIGHT.
 5. THE IMPERVIOUS CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
 6. THE MINIMUM BOTTOM WIDTH (A) SHALL BE 5'-8", AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
 7. SIDE SLOPES OF THE TRENCH SHALL BE NO STEEPER THAN 1:1.
 8. IF BEDROCK IS ENCOUNTERED BELOW THE DAM THE CUT OFF TRENCH CAN BE REDUCED TO 1'x1' (AxB).
 9. COMPACTION REQUIREMENTS FOR THE SHELL AND IMPERVIOUS CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
 10. SIDE SLOPE OF DETENTION POND EMBANKMENT TO BE 2:1 MAXIMUM. IF SIDE SLOPES ARE STEEPER THAN 3:1, SLOPE PROTECTION MUST BE UTILIZED ON POND EMBANKMENT. THIS INCLUDES, BUT NOT LIMITED TO, RIPRAP AND EROSION CONTROL MATS.
 11. THE IMPERVIOUS CORE SHALL BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
 12. ALL EMBANKMENTS TO BE DESIGNED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A GEOTECHNICAL ENGINEER.

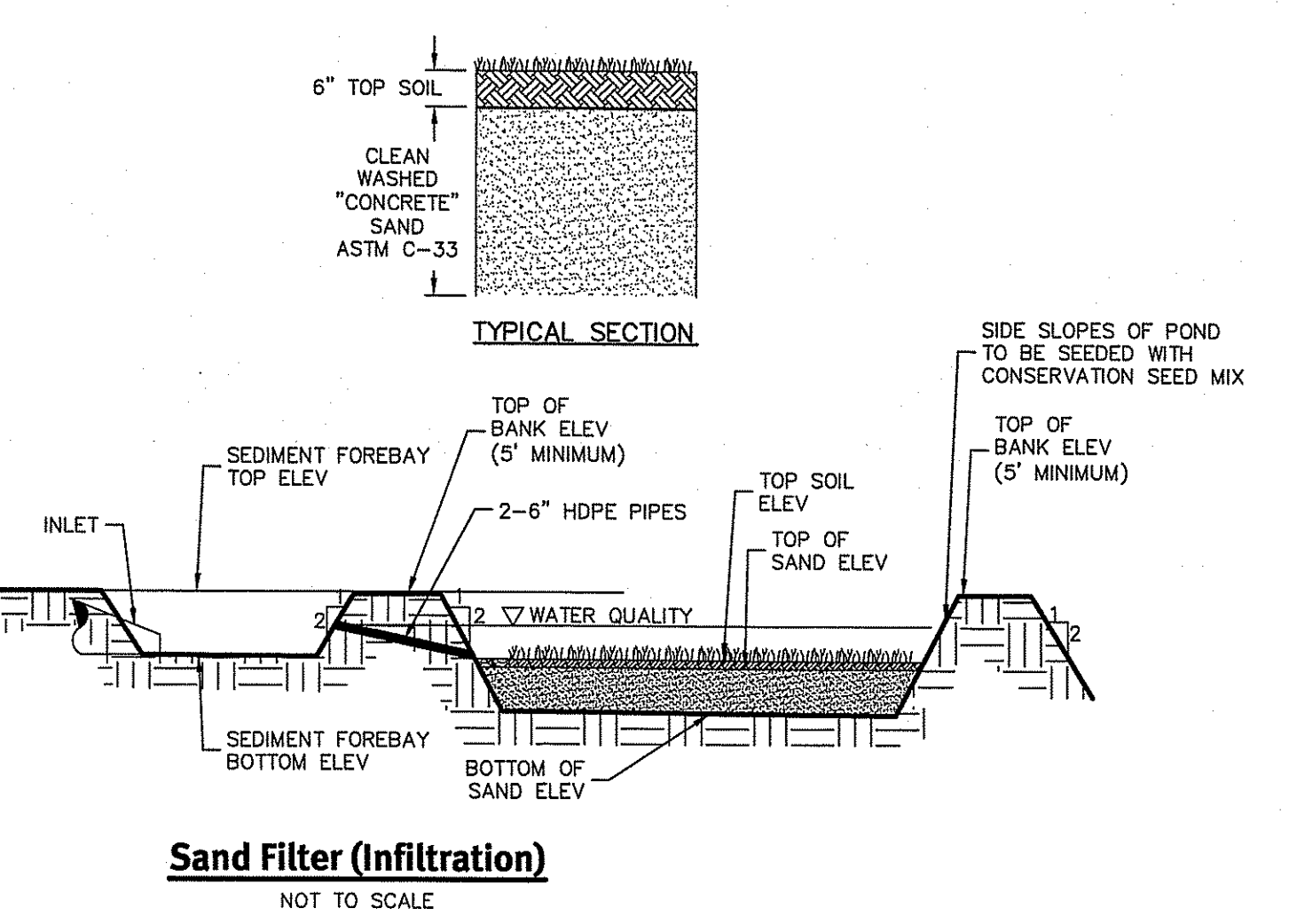


Curb Outlet Weir Cross Section
 NOT TO SCALE

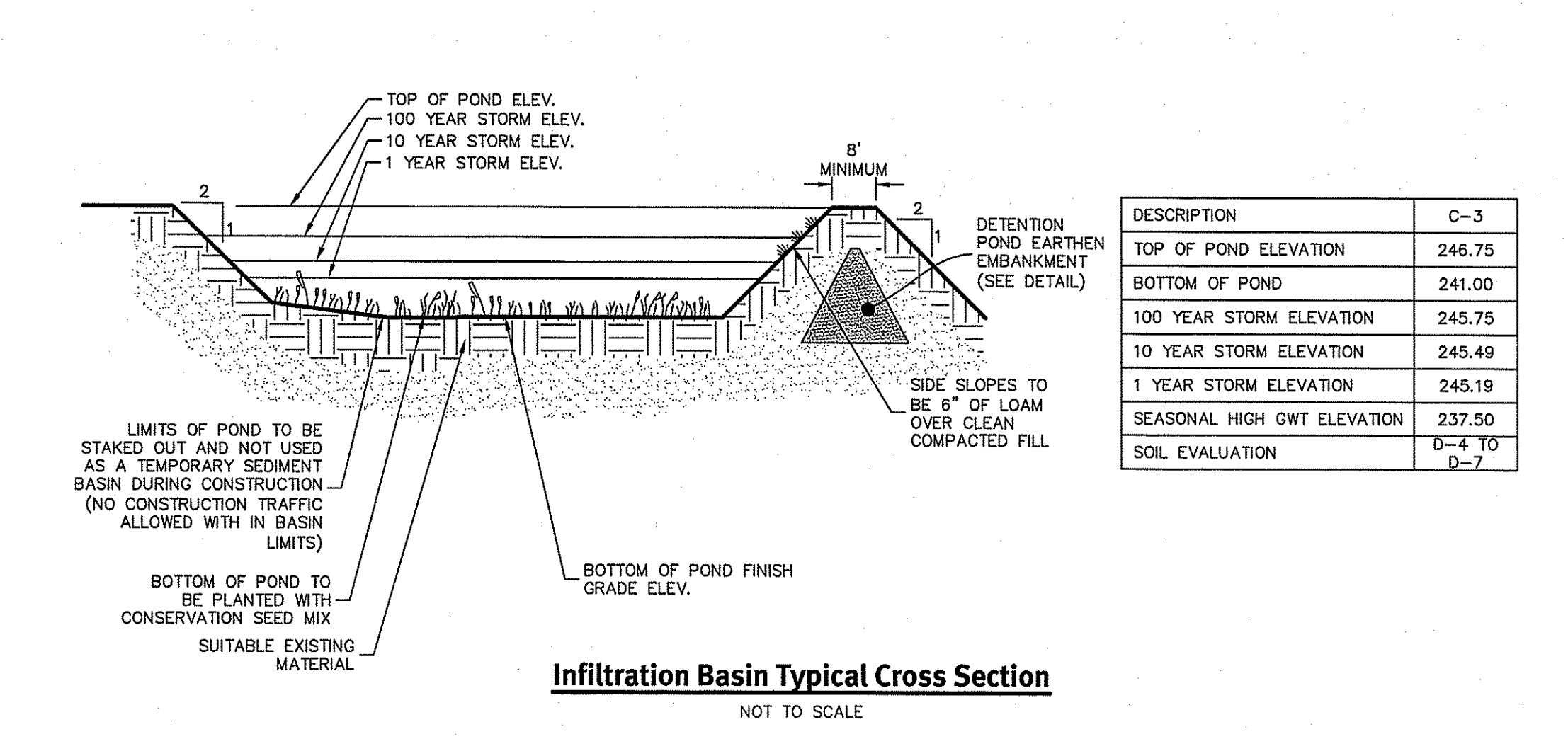
LOCATION	TOP OF BERM ELEV.	WEIR INVERT	WEIR DEPTH
C-1 (FOREBAY)	247.75	246.70	1.05
D-1 (FOREBAY)	246.75	246.00	0.75
C-3 (BASIN)	246.75	245.10	1.65

DESCRIPTION-SEDIMENT FOREBAY	C-1	D-1
TOP ELEVATION	247.75	246.75
BOTTOM ELEVATION	244.00	243.00
6" HDPE PIPE INVERT	246.00	245.50

DESCRIPTION-SAND FILTER	C-2	D-2
AVAILABLE STORAGE ELEVATION	247.75	246.75
100 YEAR STORM ELEVATION	247.31	246.71
10 YEAR STORM ELEVATION	247.08	246.36
1 YEAR STORM ELEVATION	246.76	246.07
1.2" STORM ELEVATION	246.66	245.83
TOP OF BANK ELEVATION	247.75	246.75
TOP OF SOIL ELEVATION	245.00	244.00
TOP OF SAND ELEVATION	244.50	243.50
BOTTOM OF SAND ELEVATION	242.50	241.50
SAND & TOP SOIL DEPTH	2.5'	2.5'
SEASONAL HIGH GWT ELEVATION	239.50	238.50
SOIL EVALUATION	D-4	D-7
6" HDPE PIPE INVERT	245.00	244.00



Sand Filter (Infiltration)
 NOT TO SCALE



Infiltration Basin Typical Cross Section
 NOT TO SCALE

DESCRIPTION	C-3
TOP OF POND ELEVATION	246.75
BOTTOM OF POND	241.00
100 YEAR STORM ELEVATION	245.75
10 YEAR STORM ELEVATION	245.49
1 YEAR STORM ELEVATION	245.19
SEASONAL HIGH GWT ELEVATION	237.50
SOIL EVALUATION	D-4 TO D-7

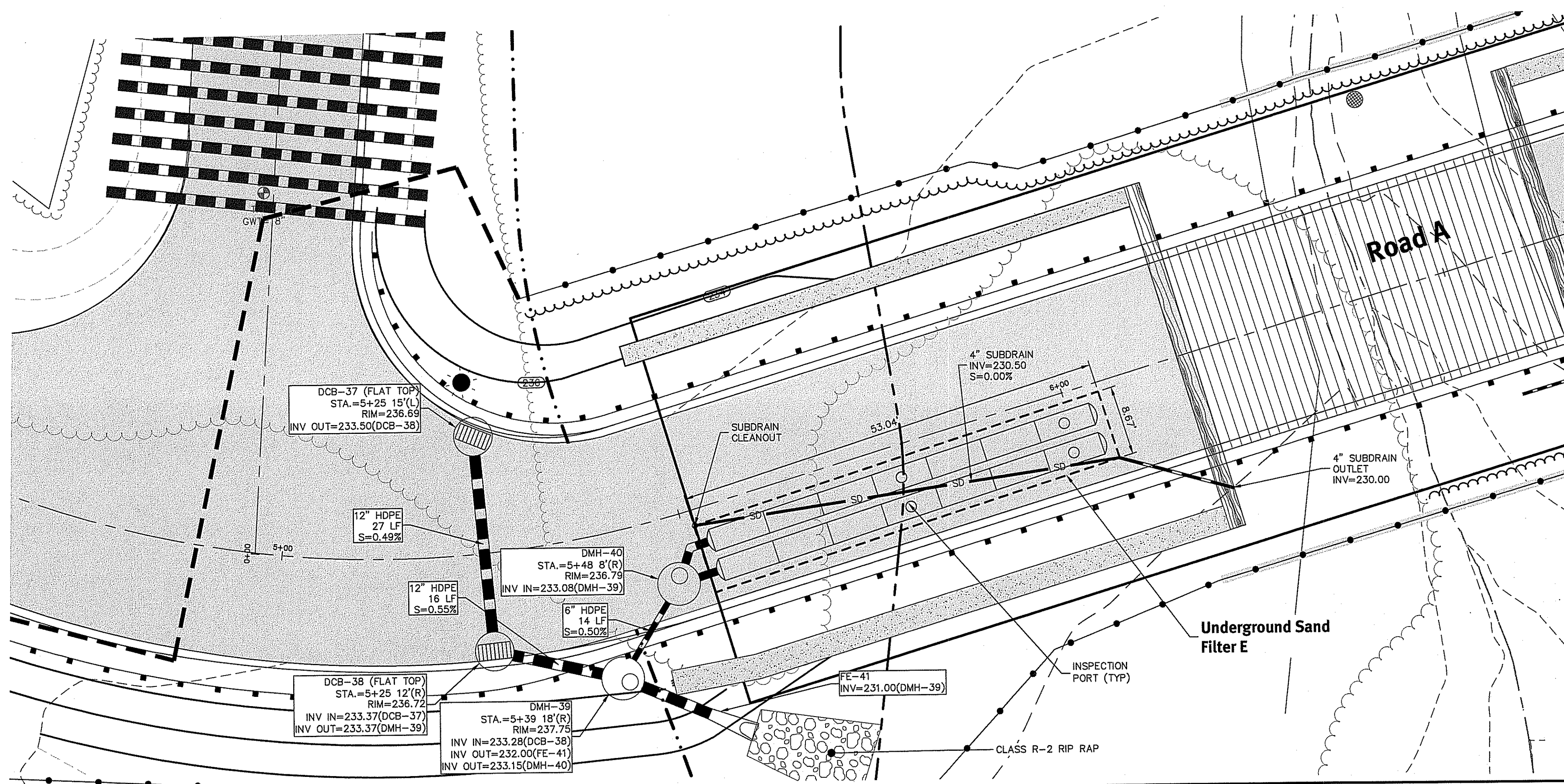
DiPrete Engineering
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 Boston • Providence • Newport

BRIAN C. GIROUX
 REG. NO. 10109
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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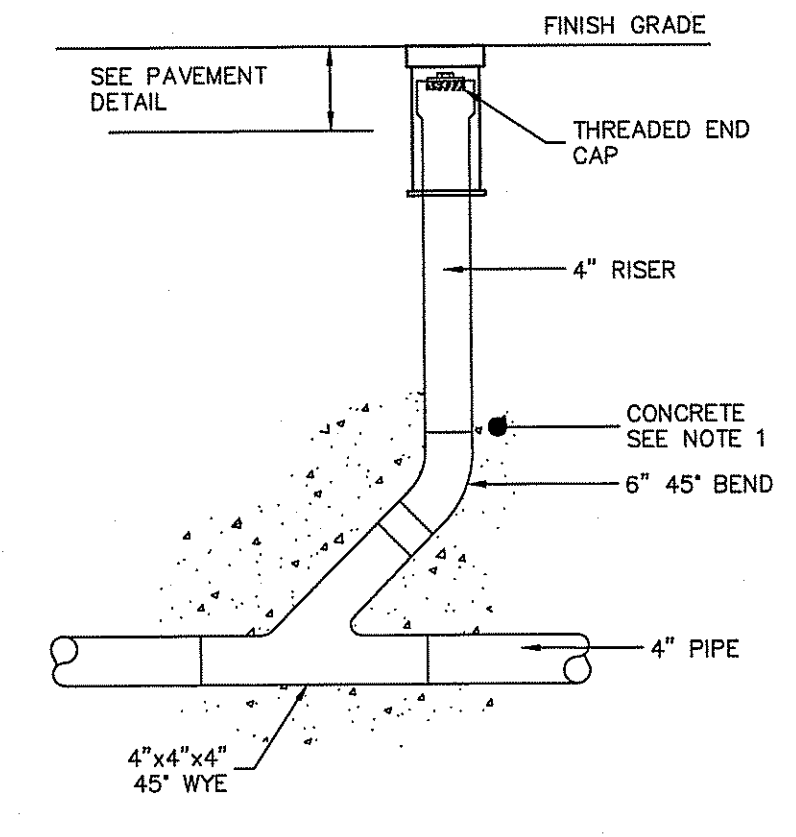
Rev.	Date	Description	By	Design By: R.B.S.
1	04/20/18	RISEA Submittal	P.A.	
2	10/02/2017	Final Plan Submission	M.C.	
3	11/03/2017	Final Plan Submission	B.C.	

RIDEM Submission
Sand Filter & Pond - 2
Hidden Meadow
 Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, 29, 30
 Cumberland, Rhode Island
JCM LLC
 3437 Mendon Road Suite 203
 Cumberland, Rhode Island 02864
Hidden Meadow Realty LLC
 3437 Mendon Road #26
 Cumberland, Rhode Island 02864
 DE Job No: 1678-002 Copyright 2012 by DiPrete Engineering Associates, Inc.



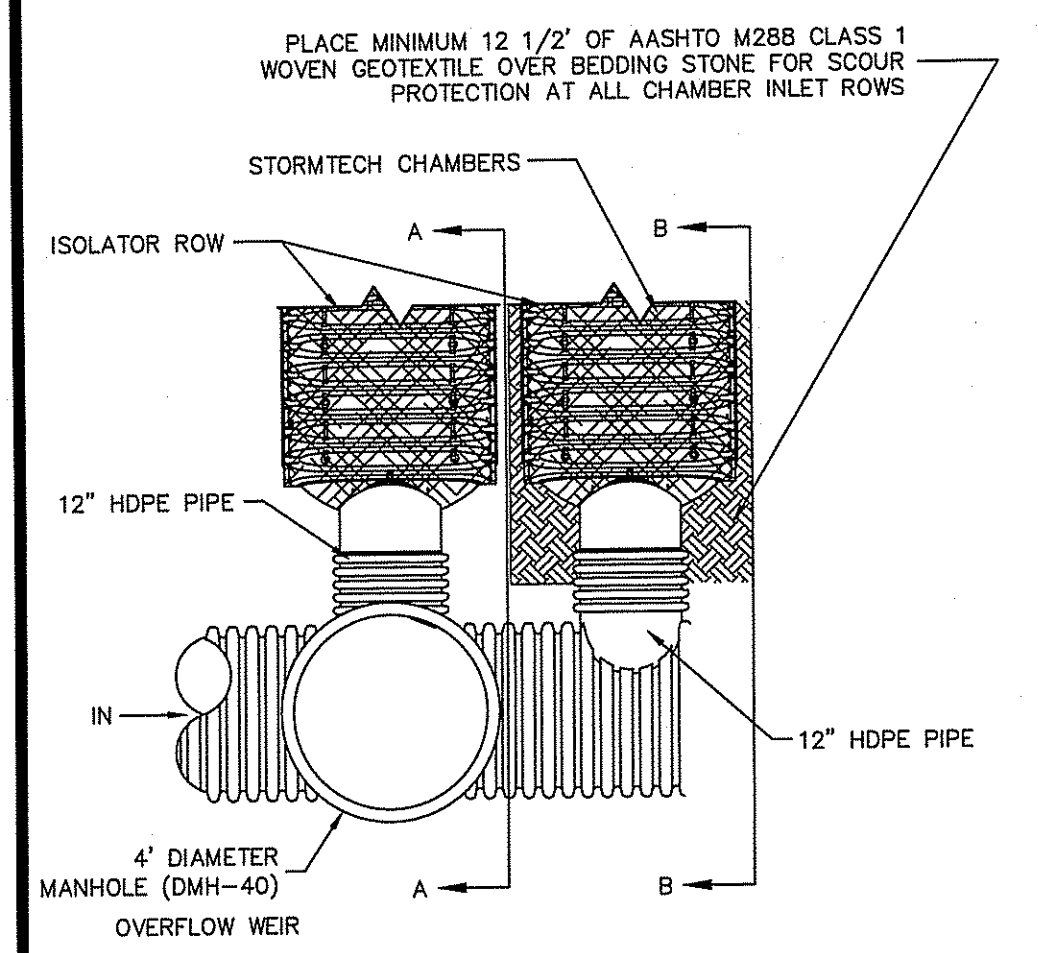
Underground Sand Filter E

Scale: 1"=10'
0 5' 10' 20'

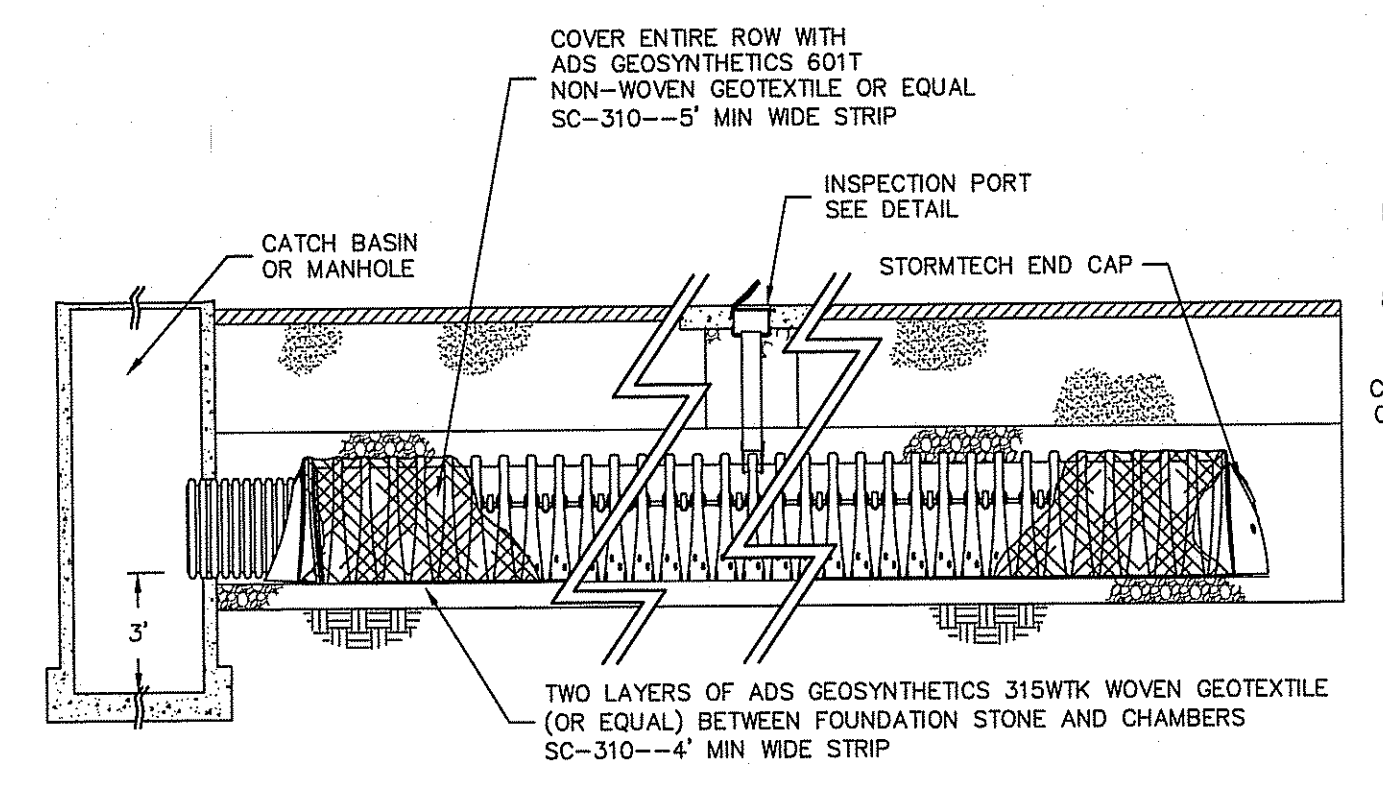


Drain Cleanout
NOT TO SCALE

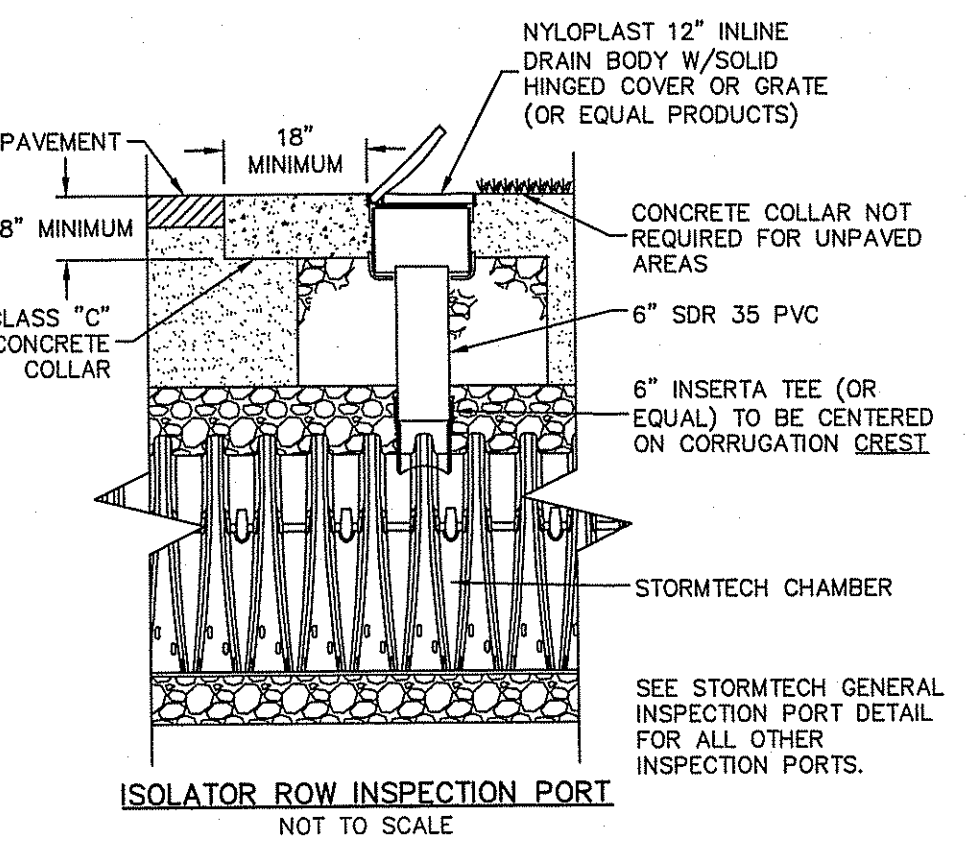
- NOTES:
1. ENCASE CLEANOUT IN CONCRETE WHEN INVERT IS 12' OR MORE BELOW FINISH GRADE.
 2. AT TERMINAL CLEANOUT REPLACE WYE WITH 45° BEND.
 3. MONITORING WATER LEVELS WITHIN THE CLEANOUTS AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRAIN 3 DAYS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE REPAIR OR REPLACEMENT OF DRAIN BY THE OWNER.
 4. FOLLOWING THE COMPLETION OF CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND THE ASSOCIATED DRAINAGE IMPROVEMENTS, AND THE ACCEPTANCE OF THE WORK BY THE ENGINEER AND THE TOWN OR CITY, THE OWNER SHALL BE RESPONSIBLE TO HAVE A CERTIFIED INSPECTOR CHECK THE DRAINS NO LESS THAN TWICE PER YEAR - ONCE IN THE SPRING AND ONCE IN THE FALL - TO ENSURE THAT THE DRAINS ARE FUNCTIONING PROPERLY.
 5. ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE.



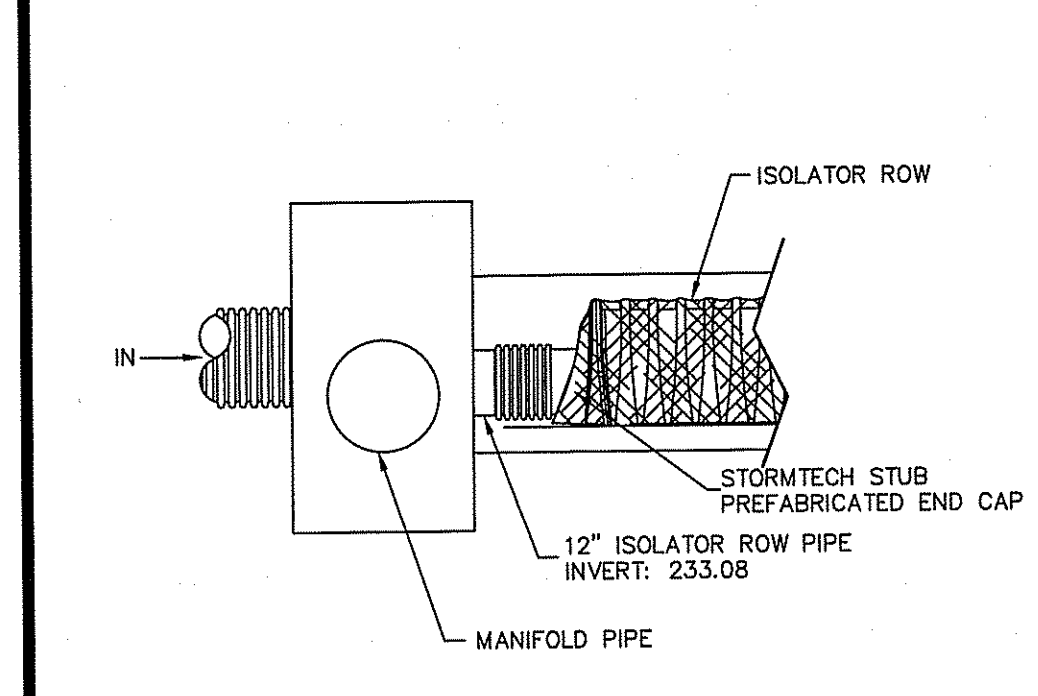
Stormtech Isolator Row Manifold Detail
NOT TO SCALE



Stormtech Isolator Row Detail (SC-310)
NOT TO SCALE

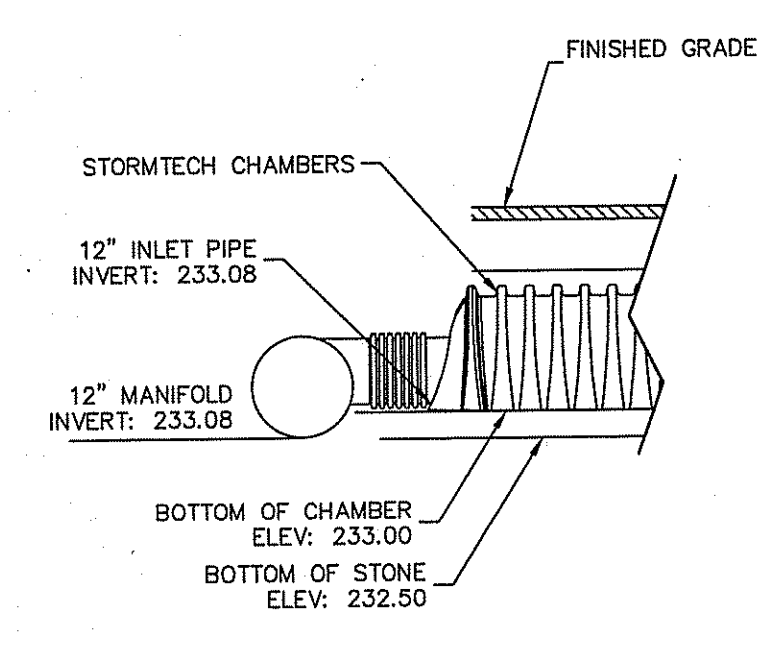


ISOLATOR ROW INSPECTION PORT
NOT TO SCALE

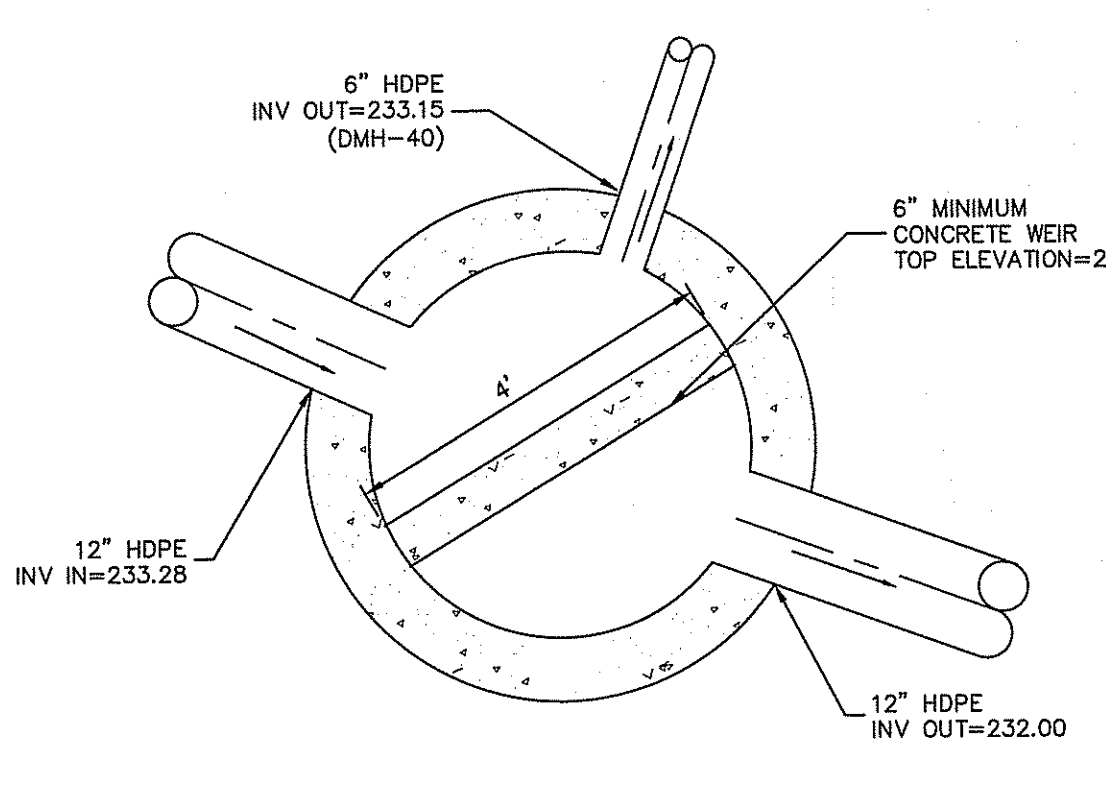


SECTION A-A

Stormtech Elevations
NOT TO SCALE



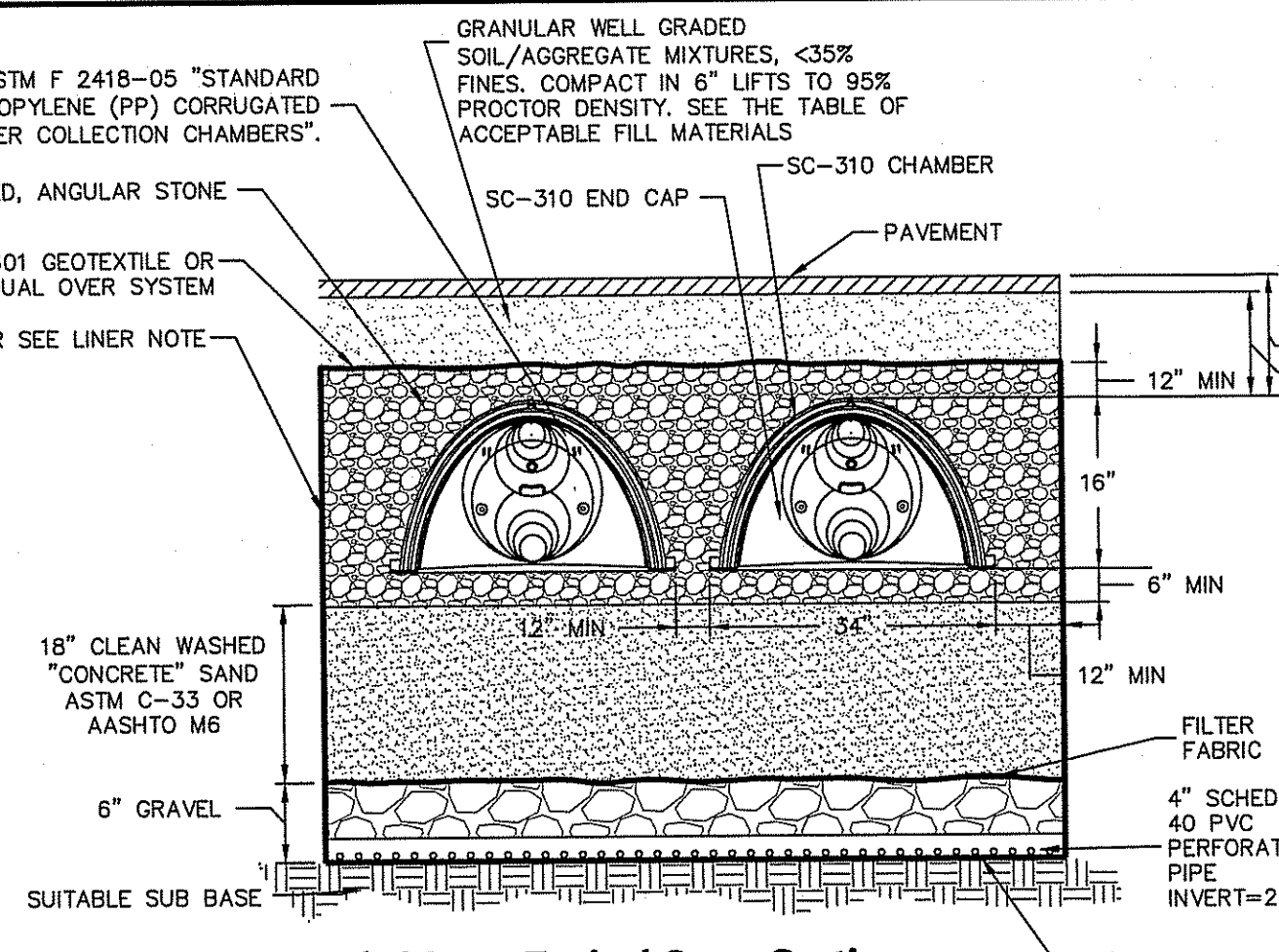
SECTION B-B



Bypass Detail (DMH-39)
NOT TO SCALE

CHAMBERS SHALL MEET ASTM F 2418-05 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

- NOTES:
1. THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE STORMTECH CONSTRUCTION GUIDE FOR SPECIFIC MATERIAL REQUIREMENTS.
 2. SEE STORMTECH DESIGN MANUAL.
 3. ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES.



Stormtech SC-310 Typical Cross Section
NOT TO SCALE

DESCRIPTION	UIS-E
TOP OF UIS STONE ELEVATION	235.33
BOTTOM OF UIS STONE ELEVATION	232.50
100 YEAR STORM ELEVATION	234.85
10 YEAR STORM ELEVATION	234.69
1 YEAR STORM ELEVATION	234.58
SEASONAL HIGH GWT ELEVATION	230.50
SOIL EVALUATION	TH-4

RIDEM Submission

UIS Details
Hidden Meadow
Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
Cumberland, Rhode Island
JCM LLC
Applicant/Owner
3437 Mendon Road #26
Cumberland, Rhode Island 02864
Hidden Meadow Realty LLC
3437 Mendon Road Suite 201
Cumberland, Rhode Island 02864, Cumberland, Rhode Island 02864.
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20 Stafford Court Cranston, RI 02920
Tel: 401-949-1000 Fax: 401-466-6066 www.DiPrete-Eng.com
Boston • Providence • Newport

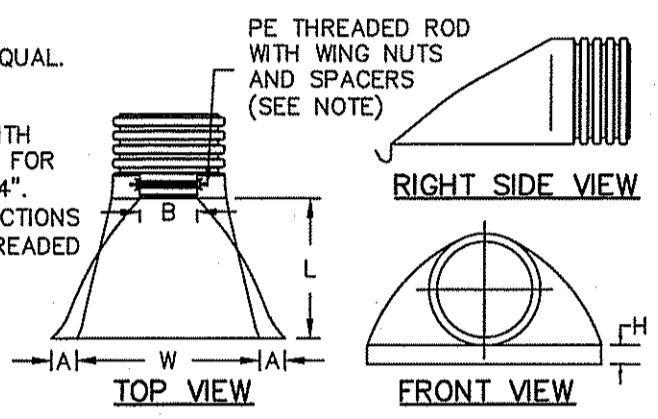
BRIAN C. GIROUX
Professional Engineer
No. 03341
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By
1	08/29/2012	Final Plan Submission	R.B.S.
2	11/23/2012	Final Plan Submission	R.B.S.

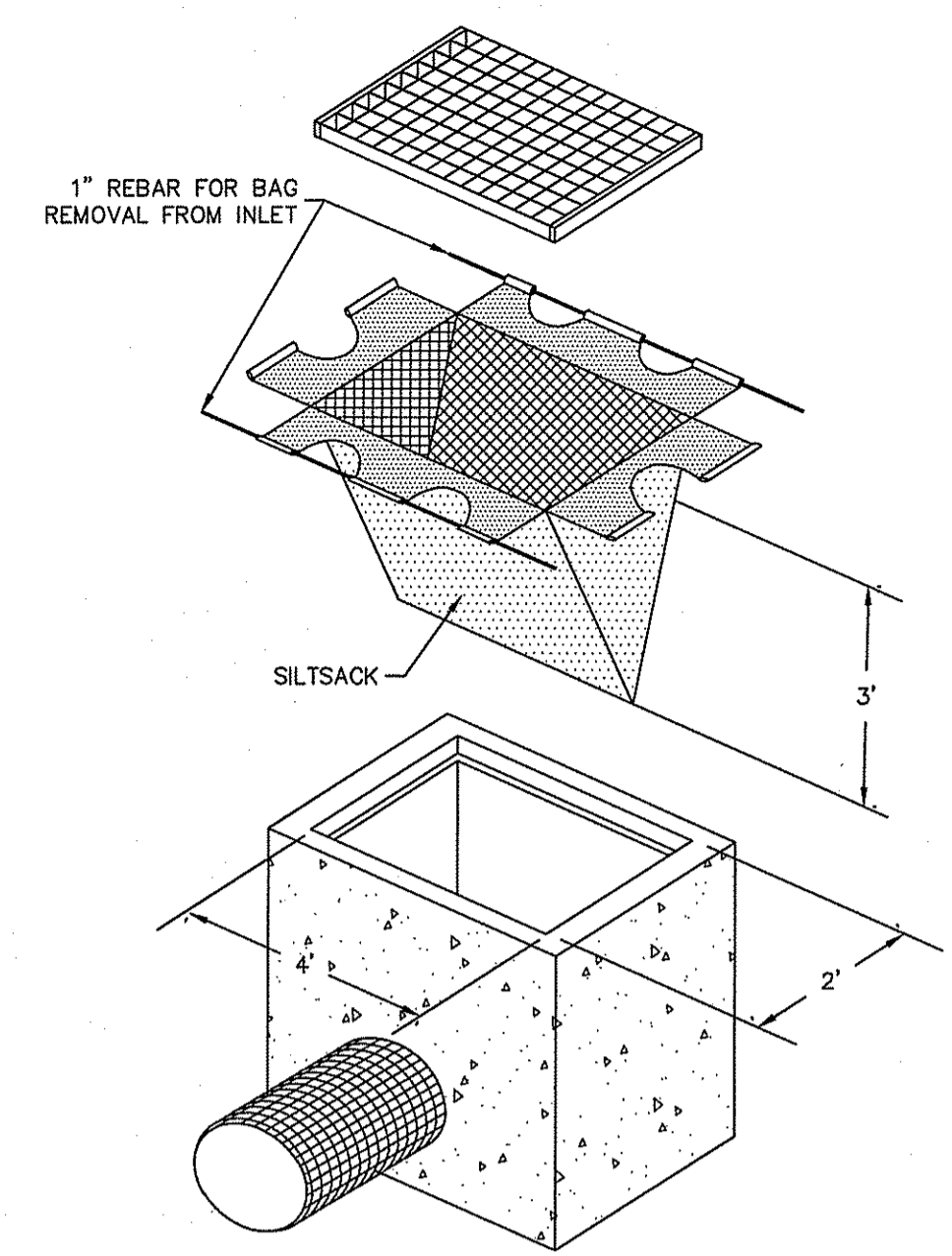
Design By: R.B.S.

NOTE:
 1. ADS OR APPROVED EQUAL.
 2. ALL DIMENSIONS ARE NOMINAL.
 3. PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24".
 4. 30" AND 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.



PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1510NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1810 NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
2410NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
3015NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)
3615NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600 MM)

HDPE Flared End Section
NOT TO SCALE

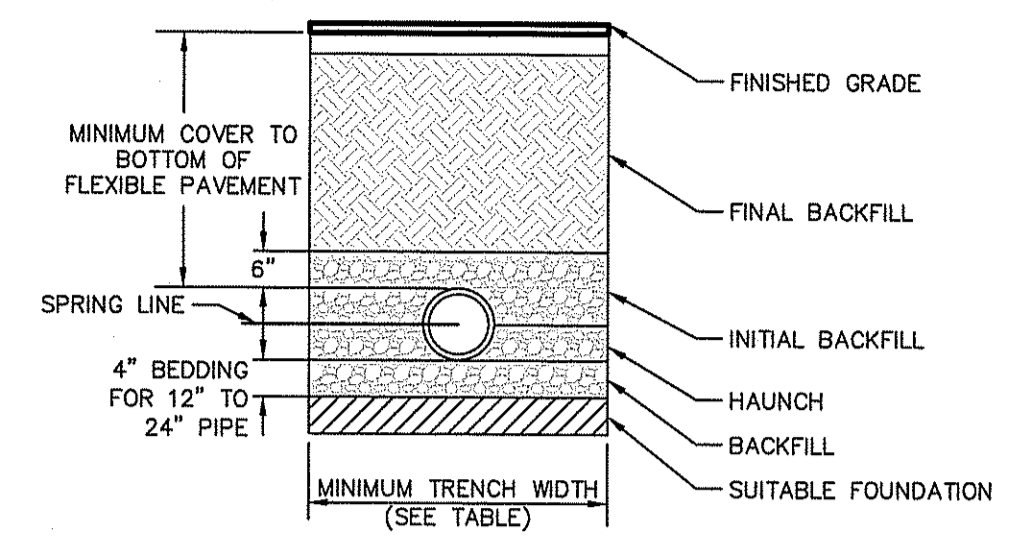


NOTE:
 REGULAR FLOW=40 GAL./MIN./SF
 HIGH FLOW=200 GAL./MIN./SF

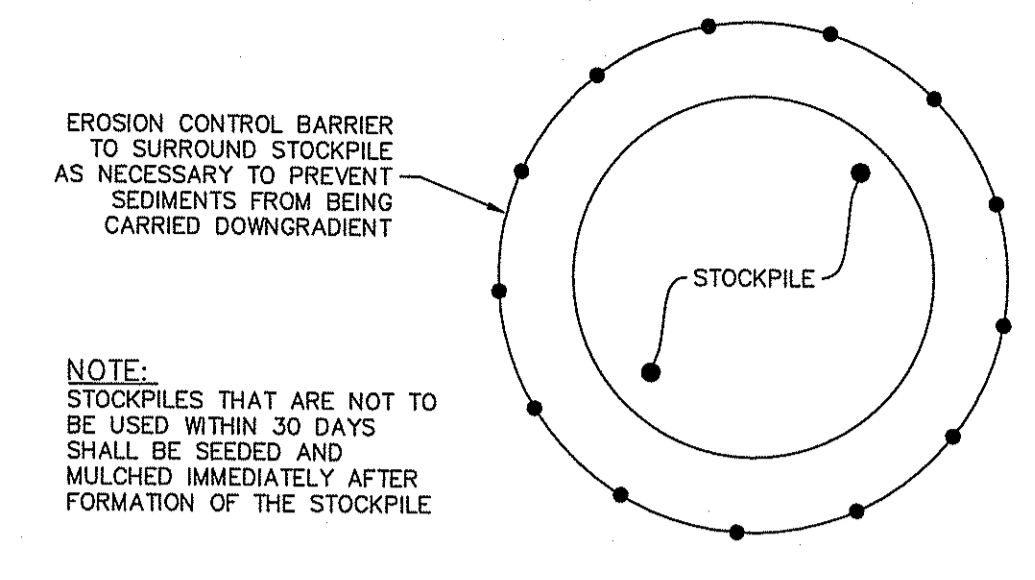
Silt Sack Detail
NOT TO SCALE

- INSTALLATION NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION FOR TRAFFIC APPLICATIONS. MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 54"-60" Ø PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MINIMUM TRENCH WIDTH
6"	23"
8"	26"
12"	30"
15"	34"
24"	39"

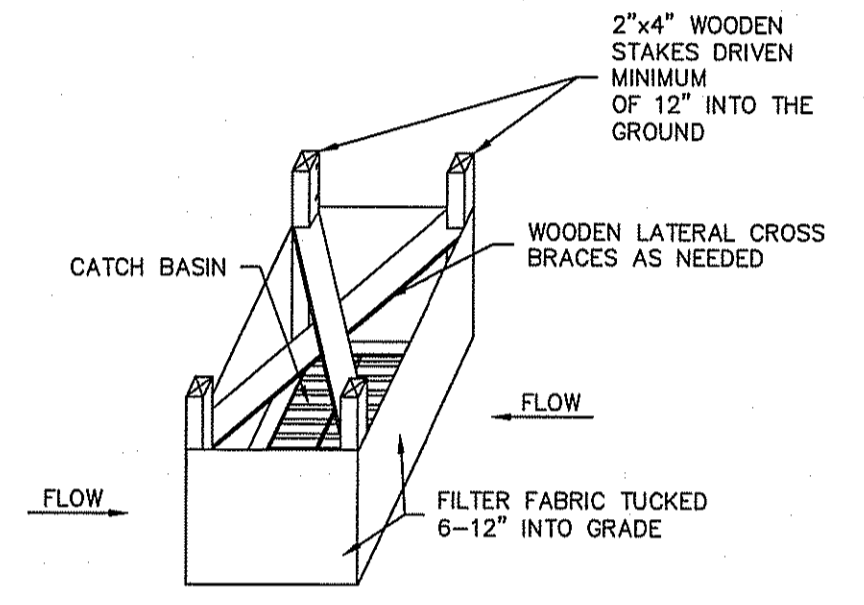


HDPE Trench Detail
NOT TO SCALE

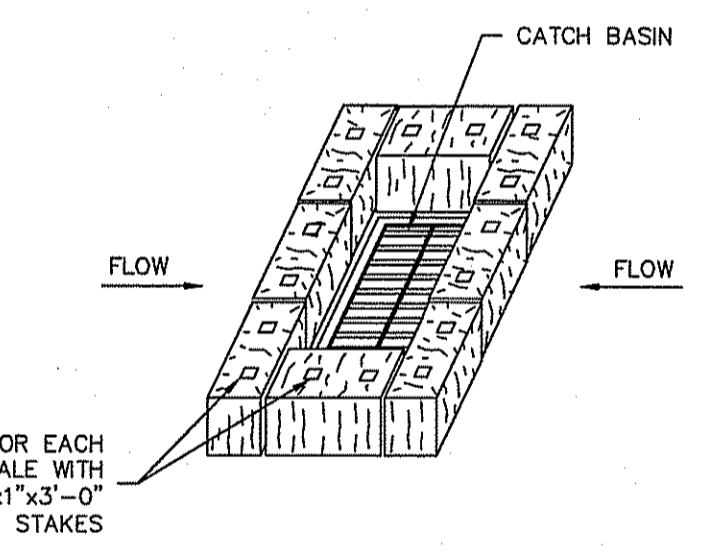


NOTE:
 STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE

Typical Stockpile Erosion Control Installation
NOT TO SCALE



Silt Fence Installation for Catch Basins at Low Points



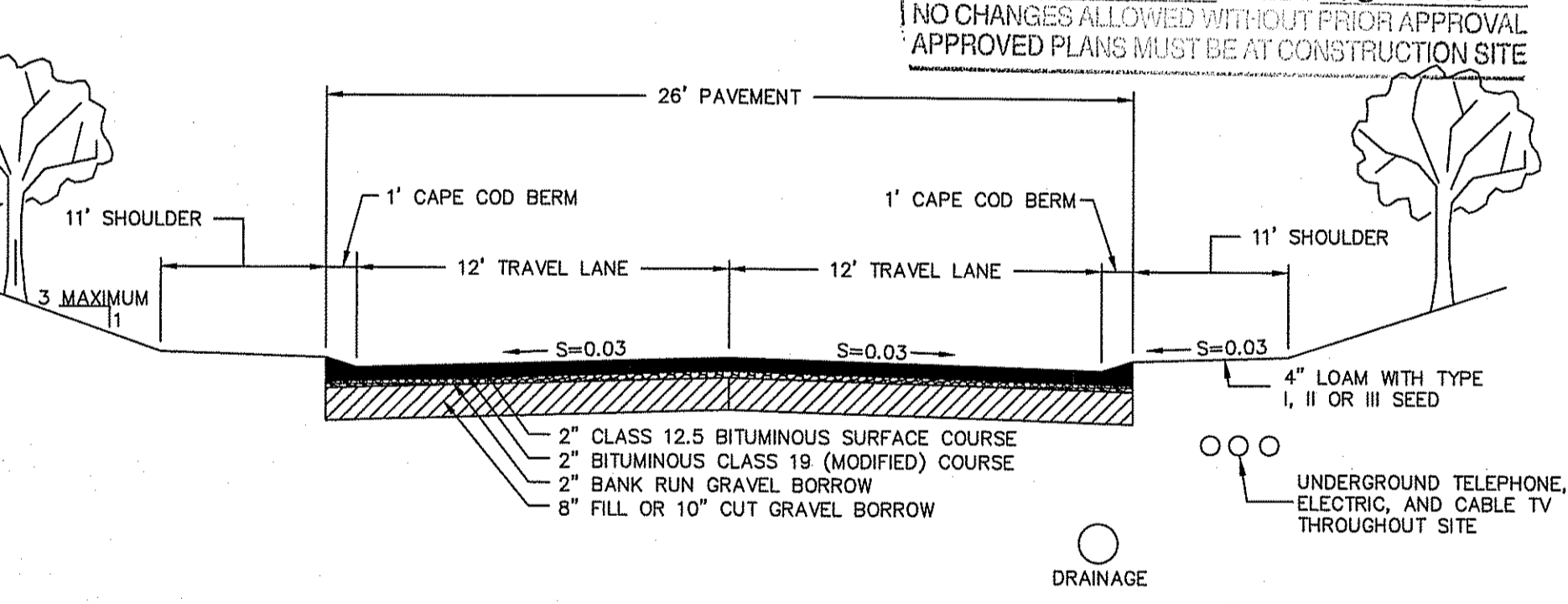
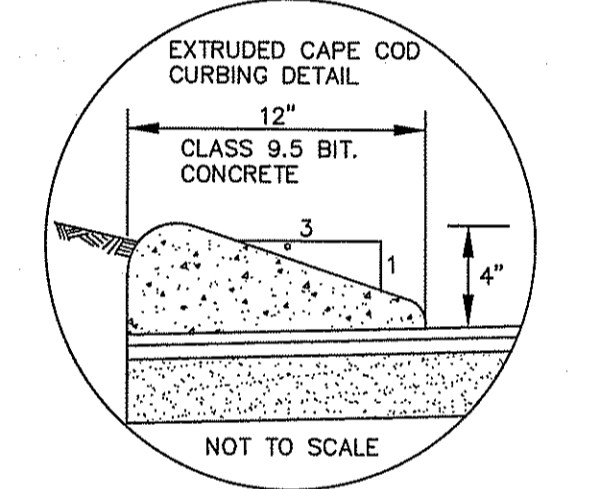
Straw Bale Filter Installation for Catch Basins at Low Points

- NOTES:
- STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
 - SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
 - REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

Catch Basin Erosion Control
NOT TO SCALE

- GENERAL NOTES:**
- ROADWAY CROSS SECTION AND MATERIALS SHALL CONFORM TO TOWN OF CUMBERLAND STANDARDS FOR ROAD CONSTRUCTION AND UTILITY LOCATIONS.
 - CAPE COD CURBING TO BE INSTALLED PER D.P.W. REGULATIONS.
 - STORM DRAIN MATERIALS AND METHODS SHALL CONFORM TO APPLICABLE TOWN OF CUMBERLAND AND RIDOT STANDARDS.
 - UNDERGROUND UTILITY TRENCH CONSTRUCTION TO CONFORM TO THE NATIONAL GRID DEVELOPER/CONTRACTOR/CUSTOMER RESPONSIBILITIES AND CONSTRUCTION SPECIFICATIONS FOR UNDERGROUND RESIDENTIAL DEVELOPMENTS

- CONSTRUCTION NOTES:**
- CLEARING AND GRUBBING: ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND DISPOSED OF AS INDICATED BY THE MUNICIPAL ENGINEER. HEALTHY TREES WITHIN THE RIGHTS-OF-WAY WIDTH AND OUTSIDE THE PAVEMENT WIDTH MAY BE LEFT STANDING, PROVIDED SAID TREES ARE NOT MORE THAN 5' FROM THE RIGHT-OF-WAY LINE.
 - EARTH EXCAVATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF CLAY, SAND, GRAVEL, LOAM, SOFT OR DISINTEGRATED ROCK WHICH CAN BE REMOVED WITHOUT BLASTING; BOULDERS OF LESS THAN 1/2 CUBIC YARD IN VOLUME; AND OTHER UNACCEPTABLE MATERIALS WITHIN THE LIMITS OF ROADWAY, DRAINAGE, OR OTHER EXCAVATION.
 - ROCK AND LEDGE EXCAVATION SHALL INCLUDE REMOVAL AND DISPOSAL OF ALL BOULDERS OF 1/2 CUBIC YARD OR MORE IN VOLUME AND ALL HARD LEDGE ROCK WHICH CAN BE REMOVED ONLY BY DRILLING AND SPLITTING MECHANICALLY BY HAND OR BLASTING.
 - WHERE GROUND WATER IS ENCOUNTERED WITHIN 5' OF FINISHED GRADE AS DETERMINED BY RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, "GROUND WATER PROCEDURES", DURING THE WET SEASON, ADEQUATE SUBSURFACE DRAINAGE SHALL BE CONSTRUCTED TO LOWER THE GROUND WATER LEVEL TO A DEPTH OF AT LEAST 5' BELOW FINISHED GRADE.
 - PAVEMENT SHALL BE CONSTRUCTED SO AS TO PROVIDE A MINIMUM CROSS SECTION AFTER COMPACTION OF 8" GRAVEL BORROW BASE COURSE SUBBASE IN FILL AND 10" GRAVEL BORROW BASE COURSE IN CUTS WITH 2" OF CRUSHED BANK RUN GRAVEL BORROW (MEETING TOWN SPECIFICATIONS) AND HOT-MIX ASPHALTIC AND BITUMINOUS CONCRETE MATERIALS CONFORMING TO RI STANDARD SPECIFICATIONS.



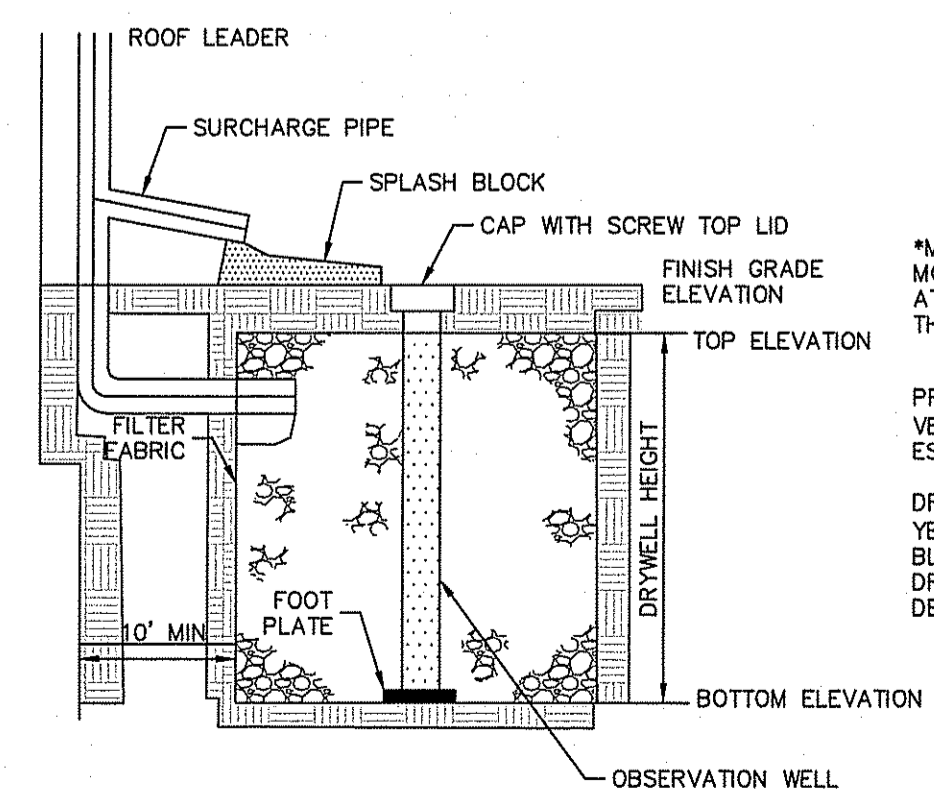
Typical Road Construction (Private Road)
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 18 2018 FILE # 16-0192
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

NO.	DATE	DESCRIPTION	BY
1	09/20/18	PRELIMINARY PLAN SUBMISSION	DiPrete
2	10/02/2017	FINAL PLAN SUBMISSION	DiPrete
3	10/02/2017	FINAL PLAN SUBMISSION	DiPrete
4	10/02/2017	FINAL PLAN SUBMISSION	DiPrete

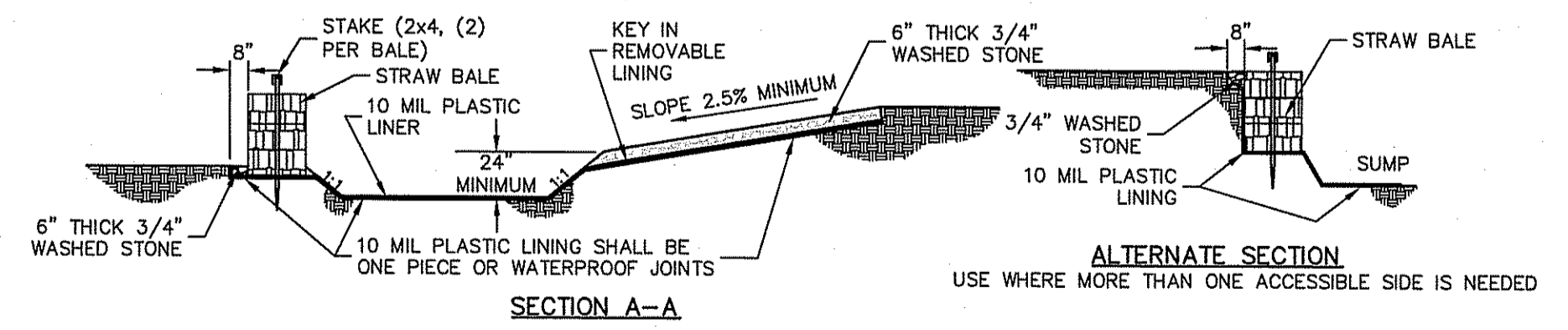
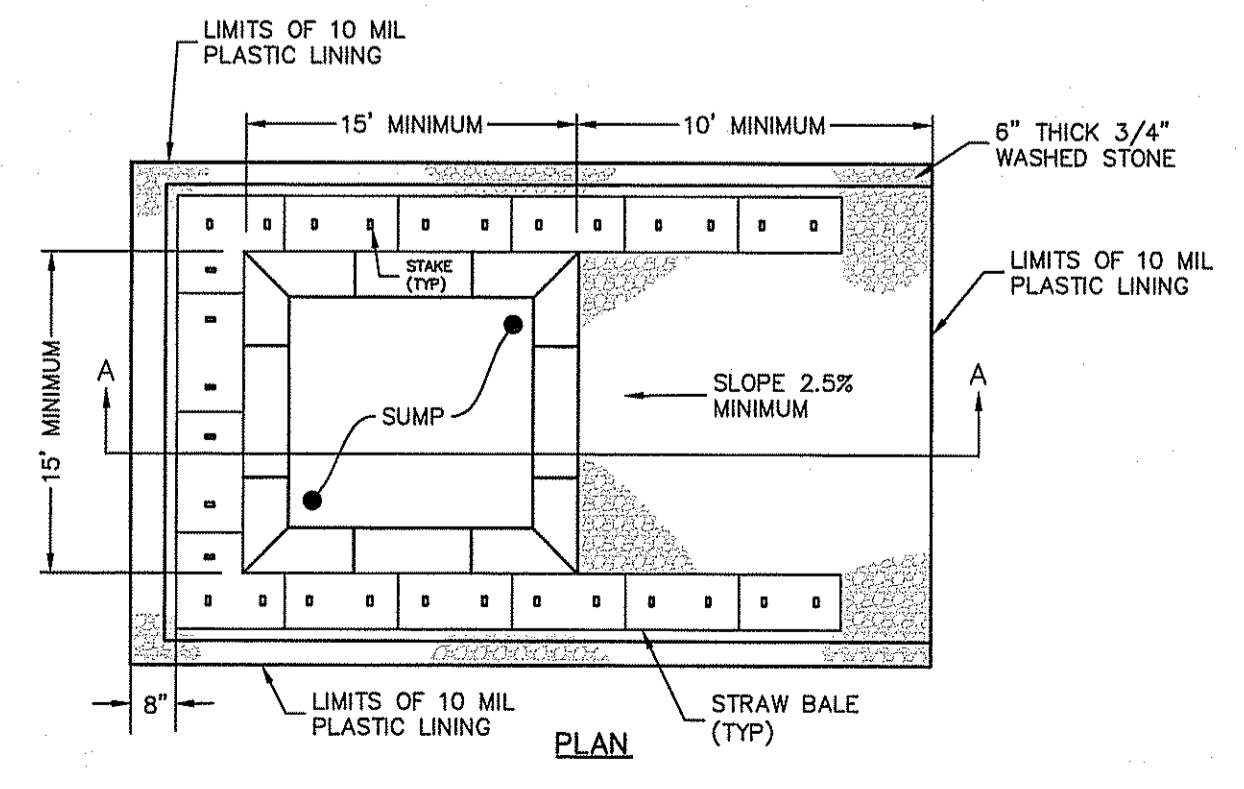


*MINIMUM SYSTEM AREA IS BASED ON HEIGHT OF SYSTEM. SYSTEMS DIMENSIONS MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE BUILDINGS, ROOF LEADERS, SEPTIC SYSTEMS, ETC. AT A MINIMUM THE SYSTEM SHALL HAVE AN AREA EQUAL TO OR GREATER THAN SHOWN IN THE TABLE ABOVE.

PRIOR TO CONSTRUCTION, TEST HOLES SHALL BE EXCAVATED AT EACH DRYWELL LOCATION TO VERIFY A MINIMUM OF 2' OF SEPARATION BETWEEN THE BOTTOM OF THE SYSTEM AND THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE.

DRYWELLS PROVIDE WATER QUALITY ONLY AND ARE NOT DESIGNED TO MITIGATE THE 1-100 YEAR STORM EVENTS. EACH BUILDING/DRYWELL SHALL HAVE A SURCHARGE PIPE AND SPLASH BLOCK DIRECTING ROOF RUNOFF AWAY FROM THE BUILDING AND TOWARDS THE ROADWAY DRAINAGE NETWORK. THE ROADWAY DRAINAGE NETWORK AND DETENTION PONDS HAVE BEEN DESIGNED TO MITIGATE THE ROOF RUNOFF FOR THE 1-100 YEAR STORM EVENTS.

RESIDENTIAL DRYWELL
NOT TO SCALE



- NOTES:
- FIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 - FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 - FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 - SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 - CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 - MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

Concrete Washout Area
(NOT TO SCALE)

RIDEM Submission

Detail Sheet

Hidden Meadow

Assessor's Plat 56, Lots 22, 23, & 49, Assessor's Plat 57, Lots 28, & 36
 Cumberland, Rhode Island
 Applicant/Owner: JCM LLC
 3077 Meridian Road, Suite 201
 Cumberland, Rhode Island 02864
 Design By: B.S.
 Drawn By: B.S.
 Hidden Meadow Realty LLC
 2427 Meridian Road #66
 Cumberland, Rhode Island 02864
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