



**RHODE ISLAND**  
**DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**

OFFICE OF WATER RESOURCES  
235 Promenade Street, Providence, Rhode Island 02908

August 4, 2017

Storage Pros North Smithfield, LLC  
C/o Boardwalk Storage Solutions, LLC  
C/o David Sevenfold, Manager  
44 Wood Avenue, Suite 7  
Mansfield, MA 02804

**REVISED PERMIT**

RE: Wetland Application No. 16-0201 and UIC Program File No. 001732 in reference to the property and proposed project located:

Approximately 320 feet west-southwest of Eddie Dowling Highway (Route 146A) by utility pole nos. 343 and 345, approximately 900 feet northwest of the intersection of Route 146A and Old Smithfield Road, Assessor's Plat 13, Lot 104, North Smithfield, RI.

Dear Mr. Sevenfold:

The Department of Environmental Management's ("DEM") Freshwater Wetlands Program ("Program") has completed its review of your **Application for Permit Modification** and has evaluated your proposed modification request for: 1) changing the proposed self-storage building from a three story (9,000 square foot footprint) facility to a one story (11,480 square foot footprint) facility, 2) increasing the proposed underground infiltration system from a 375 square foot at 2-foot depth to a 460 square foot at 2-foot depth system in order to accommodate the increased building size, and 3) grading the proposed pavement areas on each side of the proposed self-storage building for stormwater to flow to the existing drainage network and pond located on site, as illustrated and detailed on the revised site plans submitted with your application. The revised site plans were received by the DEM on July 17, 2017.

Based upon the Program's evaluation of the revised project and pursuant to Rule 11.03 of the Rules and Regulations Governing the Administration and Enforcement of the Freshwater Wetlands Act (Rules), it is the Program's determination that a revised permit for the modified project may be issued under the following terms and conditions:

1. This letter is the DEM's revised permit for this project under the R.I. Fresh Water Wetlands Act, Rhode Island General Laws (RIGL) Section 2-1-18 et seq.
2. This revised permit is specifically limited to the project, site alterations and limits of disturbance as detailed on the site plans submitted with your application and received by the DEM on February 21, 2017 and as modified in these terms and conditions. Changes or revisions to the project which would alter freshwater wetlands are not authorized without a permit from the DEM.
3. Where the terms and conditions of the revised permit conflict with the approved site plans, these terms and conditions shall be deemed to supersede the site plans.
4. A copy of the stamped approved site plans and a copy of this revised permit must be kept at the site at all times during site preparation, construction, and final stabilization. Copies of this revised permit and the stamped approved plans must be made available for review by any DEM representative upon request.

5. Within ten (10) days of the receipt of this revised permit, you must record this permit in the land evidence records of the Town of North Smithfield and supply this Program with written documentation obtained from the Town showing this revised permit was recorded.
6. This revised permit expires on November 18, 2020, unless renewed pursuant to Rule 9.04.
7. **All wetland restoration plantings must be installed by October 15, 2017.**
8. The unshaded area located northwestward of the proposed limit of restoration vegetated screening line adjacent to the proposed northwest building corner must be restored in accordance with the Perimeter Wetland Restoration Notes depicted on sheet 5 of 6.

Except as authorized in this revised permit pursuant to the approved site plans, all terms and conditions previously specified in the Program's permit dated November 18, 2016 remain in effect.

Pursuant to the provisions of Rule 7.09 and Rule 11.04, as applicable, any properly recorded and valid permit is automatically transferred to the new owner upon sale of the property.

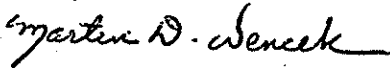
You are required to comply with the terms and conditions of this permit and to carry out this project in compliance with the Rules at all times. Failure to do so may result in an enforcement action by this Department.

In permitting the proposed alterations, the DEM assumes no responsibility for damages resulting from faulty design or construction.

This revised permit does not remove your obligation to obtain any local, state, or federal approvals or permits required by ordinance or law and does not relieve you from any duties owed to adjacent landowners with specific reference to any changes in drainage.

Please contact Daniel Kowal of this Program (telephone: 401-222-4700, ext. 7416) should you have any questions regarding this letter.

Sincerely,



Martin D. Wencek, Permitting Supervisor  
Freshwater Wetlands Program  
Office of Water Resources

MDW/DMK/dmk

Enclosures: Approved revised site plans  
Copy of original permit letter of November 18, 2016

xc: Eric Prive, P.E., DiPrete Engineering  
Chris Chianese, North Smithfield Building Official  
Karen Sorensen, RIDEM UIC Program



RHODE ISLAND  
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

235 Promenade Street, Providence, RI 02908-5767

TDD 401-222-4462

November 18, 2016

Storage Pros North Smithfield, LLC  
C/o Boardwalk Storage Solutions, LLC  
C/o Robert L. Pouliot, President  
44 Wood Avenue, Suite 1  
Mansfield, MA 02048

**Insignificant Alteration – Permit**

RE: Wetland Application No. 16-0201 and UIC Program File No. 001732 in reference to the property and proposed project located:

Approximately 320 feet west-southwest of Eddie Dowling Highway (Route 146A) by utility pole nos. 343 and 345, approximately 900 feet northwest of the intersection of Route 146A and Old Smithfield Road, Assessor's Plat 13, Lot 104, North Smithfield, RI.

Dear Mr. Pouliot:

Kindly be advised that the Department of Environmental Management's ("DEM") Freshwater Wetlands Program ("Program") has completed its review of your **Request for Preliminary Determination** application and has evaluated the proposed construction of a new multi-story building with new pavement extensions, a new stormwater treatment system, and wetland restoration with new plantings including the removal of existing storage trailers and impervious cover, as illustrated and detailed on site plans submitted with your application. These site plans were received by the DEM on September 29, 2016.

Our observations of the subject property, review of the site plans and evaluation of the proposed project reveals that alterations of freshwater wetlands are proposed. However, pursuant to Rule 9.00 of the Rules and Regulations Governing the Administration and Enforcement of the Fresh Water Wetlands Act (Rules), this project may be permitted as an **insignificant alteration** to freshwater wetlands under the following terms and conditions:

Terms and Conditions for Application No. 16-0201:

1. This letter is the DEM's permit for this project under the R.I. Fresh Water Wetlands Act, Rhode Island General Laws (RIGL) Section 2-1-18 et seq.
2. This permit is specifically limited to the project, site alterations and limits of disturbance as detailed on the site plans submitted with your application and received by the DEM on September 29, 2016. A copy of the site plans stamped approved by the DEM is enclosed. Changes or revisions to the project which would alter freshwater wetlands are not authorized without a permit from the DEM.
3. Where the terms and conditions of the permit conflict with the approved site plans, these terms and conditions shall be deemed to supersede the site plans.
4. You must notify this Program in writing immediately prior to the commencement of site alterations and upon completion of the project.

5. A copy of the stamped approved site plans and a copy of this permit must be kept at the site at all times during site preparation, construction, and final stabilization. Copies of this permit and the stamped approved plans must be made available for review by any DEM representative upon request.
6. Within ten (10) days of the receipt of this permit, you must record this permit in the land evidence records of the Town of North Smithfield and supply this Program with written documentation obtained from the Town showing this permit was recorded.
7. The effective date of this permit is the date this letter was issued. This permit expires four (4) years from the date of issue.
8. Any material utilized in this project must be clean and free of matter which could pollute any freshwater wetland.
9. Prior to commencement of site alterations, you shall erect or post a sign resistant to the weather and at least twelve (12) inches wide and eighteen (18) inches long, which boldly identifies the initials "DEM" and the application number of this permit. This sign must be maintained at the site in a conspicuous location until such time that the project is complete.
10. Temporary erosion and sediment controls detailed or described on the approved site plans shall be properly installed at the site prior to or commensurate with site alterations. Such controls shall be properly maintained, replaced, supplemented, or modified as necessary throughout the life of this project to minimize soil erosion and to prevent sediment from being deposited in any wetlands not subject to disturbance under this permit.
11. Upon permanent stabilization of all disturbed soils, temporary erosion and/or sediment controls consisting of silt fence must be removed.
12. You are responsible for the proper operation, maintenance and stability of any mitigative features, facilities, and systems of treatment and control which are installed or used in compliance with this permit to prevent harm to adjacent wetlands.
13. You are obligated to install, utilize and follow all best management practices detailed or described on the approved site plans in the construction of the project to minimize or prevent adverse impacts to any adjacent freshwater wetlands and the functions and values provided by such wetlands.
14. All existing storage trailers are to be removed from the designated "**Restoration Area**" per the "**Perimeter Wetland Restoration Notes**" (See Note 9 of the **Perimeter Wetland Restoration Notes** on sheet 5 of 6 of the approved site plans). Please be advised that there are three storage trailers present on the subject site that abut/slightly encroach the **Restoration Area** that are not shown on the approved site plan. These trailers are located in the northwestern corner of the proposed project area. These trailers must also be moved out of the **Restoration Area**.
15. The site is to be monitored by a qualified professional for three years to ensure survivability of the wetland restoration plantings (See Note 8 of the **Perimeter Wetland Restoration Notes** on sheet 5 of 6 of the approved site plans).
16. All wetland restoration plantings must be installed by May 15, 2017. The existing leaf litter and compost present within the **Restoration Area** to be removed must remain in place until just prior to the installation of the wetland restoration plantings.

17. All plantings of shrubs, trees or other forms of vegetation, with the exception of the wetland restoration plantings, as shown or detailed on the approved plans, or detailed in this permit, must be installed as soon as possible after completion of final grading; weather and season permitting.
18. You must notify this Program in writing upon completion of the installation of the Eastern Red Cedar (*Juniperus virginiana*) screening plantings and the wetland restoration plantings for a compliance inspection by a Program representative.
19. Buffer zone plantings of trees and/or shrubs proposed between the project and any adjacent freshwater wetland areas, except for necessary replacement, must be allowed to develop naturally without being subjected to mowing or manicuring.
20. The proposed 4" x 4' timber posts with buffer zone tags must be installed in the locations depicted on the approved site plans upon immediate completion of the installation of the Eastern Red Cedar (*Juniperus virginiana*) screening plantings.
21. The long term operation and maintenance plan shall be strictly followed. The long term O & M Plan shall be that entitled "Operation & Maintenance Plan, 435 Eddie Dowling Highway, Located in North Smithfield, RI; Applicant: Boardwalk Storage Solutions, LLC", dated July 29, 2016, indicated as prepared by DiPrete Engineering.
22. You must provide written certification from a registered land surveyor or registered professional engineer that the stormwater drainage system including any and all basins, piping systems, catch basins, culverts, swales and any other stormwater management control features have been constructed/installed in accordance with the site plans approved by this permit. This written certification must be submitted to this Program within twenty (20) days of its request or upon completion of the project.

This application review has also included review of any subsurface disposal of stormwater subject to the RI DEM Underground Injection Control (UIC) Program. This Freshwater Wetlands Permit will also serve as the UIC Program permit for this project, which has been assigned the UIC file number 001732 for any subsurface disposal of stormwater on the site. The following conditions are specific to this UIC Program Permit:

- 1) Any alterations or modifications to the disposal system from that approved herein, including permanent closure, must be reviewed and approved by the UIC Program prior to being effected.
- 2) Any inadvertent or deliberate discharge of waste oil or any other pollutant to the subsurface disposal system requires the immediate notification of the UIC Program.
- 3) The UIC Program must be provided the name and address of any new property owner in writing within thirty (30) days upon any future transfer of the property."

**Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands on site. Should you wish to have the types and extent of freshwater wetlands verified, you may submit the appropriate application in accordance with Rule 8.03.**

You are required to comply with the terms and conditions of this permit and to carry out this project in compliance with the Rules at all times. Failure to do so may result in an enforcement action by this Department.

Application No. 16-0201  
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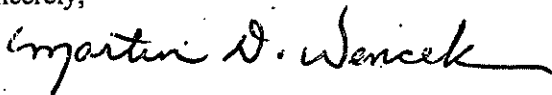
Pursuant to the provisions in Rule 7.09 and Rule 11.04, as applicable, any properly recorded and valid permit is automatically transferred to the new owner upon sale of the property.

In permitting the proposed alterations, the DEM assumes no responsibility for damages resulting from faulty design or construction.

This permit does not remove your obligation to obtain any local, state, or federal approvals or permits required by ordinance or law and does not relieve you from any duties owed to adjacent landowners with specific reference to any changes in drainage.

Please contact Daniel Kowal of this office (telephone: 401-222-4700, ext. 7416) should you have any questions regarding this letter.

Sincerely,



Martin D. Wencek, Permitting Supervisor  
Freshwater Wetlands Program  
Office of Water Resources

MDW/DMK/dmk

Enclosure: Approved site plans

xc: Karen Sorensen, RIDEM UIC Program  
Eric Prive, DiPrete Engineering  
Chris Chianese, North Smithfield Building Official

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