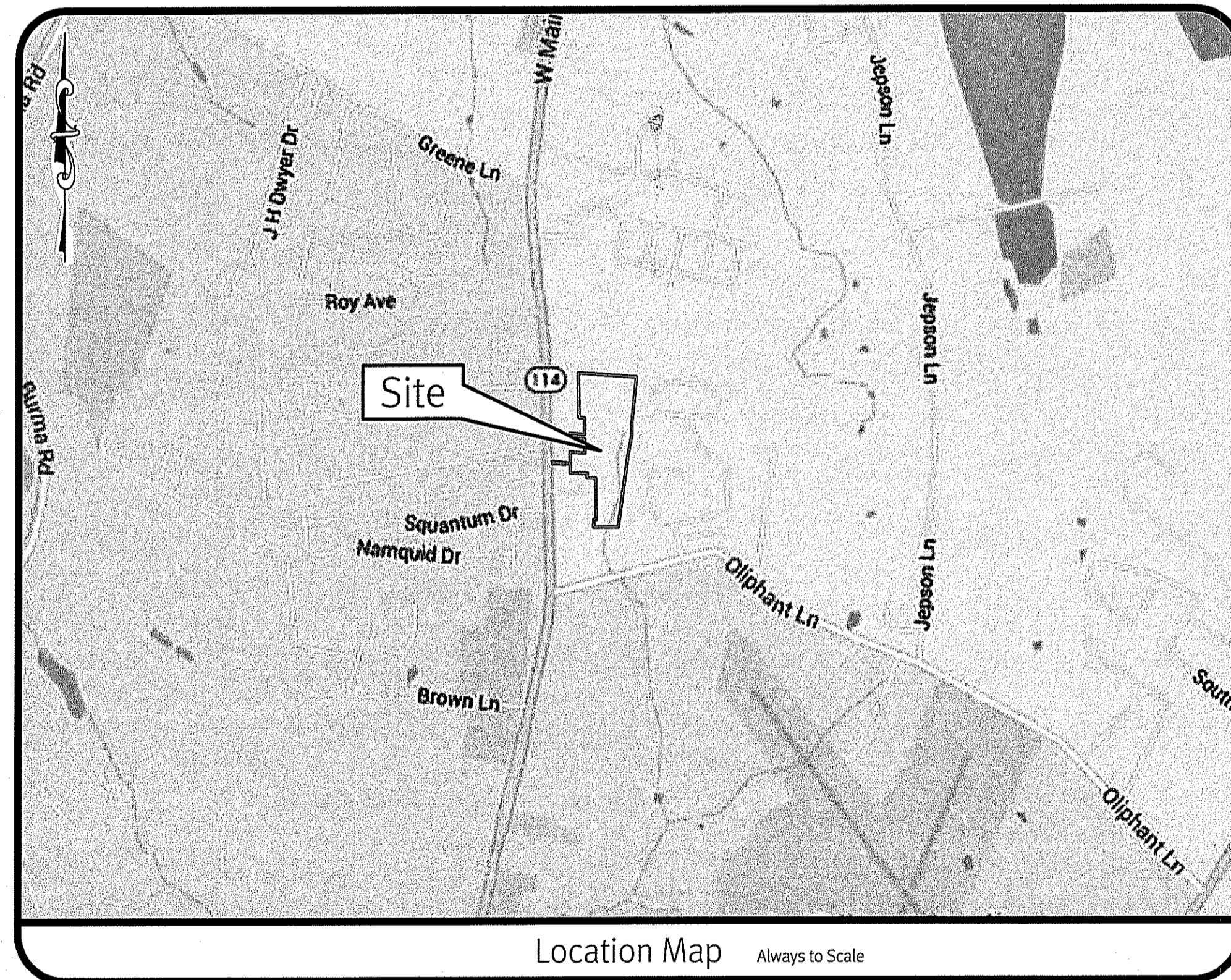


Design Development Plans

West Main Road

1 Thelma Lane
 Middletown, Rhode Island

Assessor's Plat 11 Lots 14, 23 & 238



Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius
3. Boundary/Topographic Survey
4. Site Plan
5. Grading & Drainage Plan
6. Soil Erosion & Sediment Control Plan
7. Plan & Profile - 1
8. Plan & Profile - 2
9. Detail Sheet - 1
10. Detail Sheet - 2
11. Landscape Plan

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 4 2016 FILE # 16-0204
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SESC / O&M
 The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

RIDOT
 The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By:	Design By: K.I.D.
1	10-31-16	SOE&C Comments	B.F.L.	
2	11-10-16	Development Plan Review	B.F.L.	
3	11-10-16	Development Plan Review	B.F.L.	

Cover Sheet
West Main Road
 1 Thelma Lane, Middletown, Rhode Island
 Assessor's Plat 11, Lots 14, 23 & 238
 Applicant: **KREG, LLC**
 39 Noosneck Hill Road, West Greenwich, Rhode Island 02817
 tel. 401-267-0009 fax. 401-784-3575

z:\demain\projects\1118-001_west_main_road_lot_23\autocad\drawings\1118-001_scar.dwg Plotter: 10/18/2016

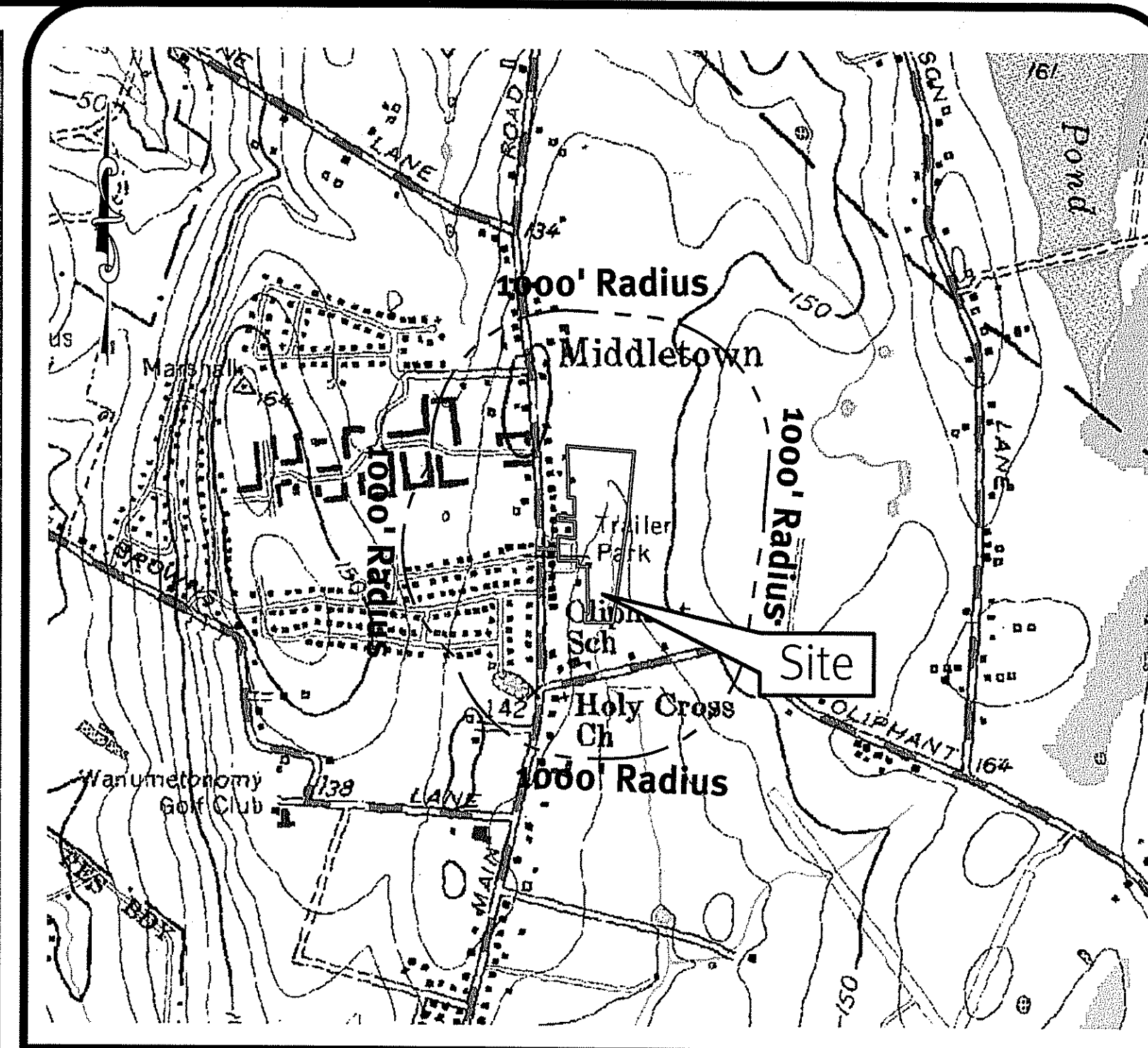
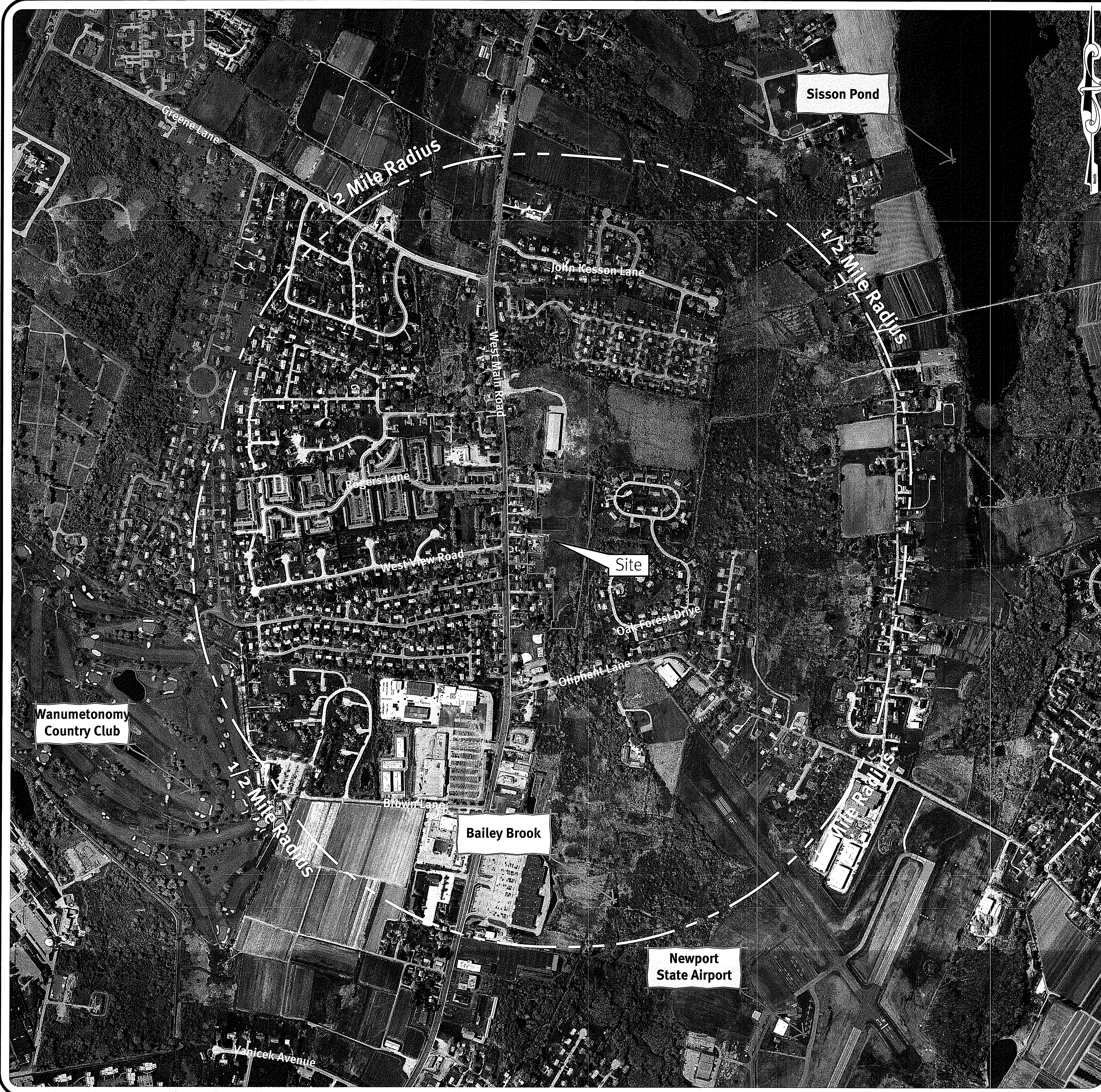
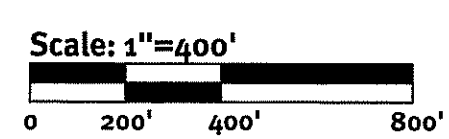


Photo Obtained from the ARCGIS 2008 Orthophotography.

Legend:

- PROPERTY LINE
- 1000' RADIUS LINE
- HALF MILE RADIUS LINE
- ZONING BOUNDARY LINE



DEPARTMENT OF CITY AND ENVIRONMENTAL MANAGEMENT
 OFFICE OF ENVIRONMENTAL SERVICES
 FROM: [Name] [Title]
 APPROVAL:
 DATED: NOV 4 2016
 NO CHANGES TO BE MADE FOR APPROVAL
 APPROVED PLAN MAY BE USED AT CONSTRUCTION SITE

DiPrete Engineering
 90 Broadway Newport, RI 02840
 tel 401-519-5890 fax 401-464-6006 www.diprete-eng.com
 Boston • Providence • Newport

KEVIN DEMERS

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

Environmental Management
 OCT 19 2016
 Office of Water Resources
 K.D.
 B.F.L.
 B.F.L.
 B.F.L.
 No. Date Description Design By: K.I.D.
 Drawn By: B.F.L.

Aerial Half Mile Radius
West Main Road
 Applicant: KREG, LLC
 Assessor's Plat 111, Lots 14, 23 & 23B
 39 Nooseneck Hill Road, West Greenwich, Rhode Island 02877
 401-267-0009 Fax 401-784-3575
 SHEET 2 OF 11

General Notes

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 111, LOTS 14, 23 & 23B IN THE TOWN OF MIDDLETOWN, NEWPORT COUNTY, RHODE ISLAND.
- THE OWNER OF LOT 14 IS: WILLIAM J. & ELIZABETH GILL PER DEED BOOK 979, PAGE 109
THE OWNER OF LOT 23 IS: DAVID J. LAWRENCE PER DEED BOOK SUB2012, PAGE 5
THE OWNER OF LOT 23B IS: DAVID J. LAWRENCE PER DEED BOOK 1076, PAGE 24
- THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 440500091J, DATED SEPTEMBER 3, 2013.
- THE PARCEL IS ZONED R-10 & R-10A PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON FEBRUARY 4, 2016. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- THE EXISTING THELMA LANE IS NOTED AS A 30 FOOT WIDE EASEMENT IN THE PURCHASE AND SALES AGREEMENT BETWEEN WILLIAM J. GILL AND KREG, LLC DATED OCTOBER 10, 2014.

Plan References:

- RHODE ISLAND HIGHWAY PLAT NOS. 952 & 952C.
- ADMINISTRATIVE SUBDIVISION FOR DAVID J. LAWRENCE ASSESSOR'S PLATE 111 LOT 23 TO COMBINE PARCELS A & B WITH LOTS 26 & 27 WEST MAIN ROAD AND ARRUDA TERRACE MIDDLETOWN, RHODE ISLAND DECEMBER 18, 2011 BY M.J. GASTON & ASSOCIATES, JOB # G-11127. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN AS PLAT #2012-5.
- "PLAN OF LAND IN MIDDLETOWN, R.I. PREPARED FOR ALFRED ARRUDA" PREPARED BY ISLAND ENGINEERING, APRIL 5, 1988. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN IN PLAN BOOK 15, PAGE 75.
- "PLAT SHOWING SUB-DIVISION OF FRONT PART OF MIDDLE LOT ON FARM OF JOHN ARRUDA AND MARY A. BOTELHO, WEST MAIN RD - MIDDLETOWN, R.I., SCALE 1"=40', JUNE 1952 (THIS PRINT SUPERCEDES PRINT OF JAN 21, 1952" RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN IN PLAN BOOK 5, PAGE 17.
- PLAN OF LAND FOR WILLIAM J. & ELIZABETH GILL A MINOR RESIDENTIAL SUBDIVISION LOCATED AT 1669 WEST MAIN ROAD MIDDLETOWN, RI 02842 BY AMERICAN ENGINEERING, INC., SCALE 1"=30', 1/30/2008. (GRANTED PLANNING BOARD APPROVAL IN DEED BOOK 1119 PAGE 155, PLAN UNRECORDED)
- ADMINISTRATIVE SUBDIVISION "OMNI ESTATES" A.P. 111 LOTS 8, 9, 9A & 10 WEST MAIN ROAD MIDDLETOWN, RI FOR CVDII LLC PREPARED BY LEDDY LAND SURVEYING COMPANY, JULY, 2012 SCALE: 1"=80'. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN AS PLAT #2012-24.
- HUNTINGTON FARMS SUBDIVISION PLATE 111 LOTS 39 & 23. OAK FOREST DEVELOPMENT CORPORATION BY BOARDMAN ASSOCIATES. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN IN PLAN BOOK 13, PAGES 1191-193.
- TOWN OF MIDDLETOWN, R.I. SYSTEM OF SEWERS EASEMENT PLAN NO. 18B LAND BELONGING TO TOWN OF MIDDLETOWN, R.I. CE MAGUIRE, INC. ENGINEERS PROVIDENCE, R.I. MARCH, 1977 SCALE: 1"=200'±
- PROPERTY OF THE NORTH-WEST SCHOOL DISTRICT MIDDLETOWN, R.I. SURVEY BY - LEON M. SHAW JANUARY 23, 1954. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN IN PLAN BOOK 9, PAGE 1.

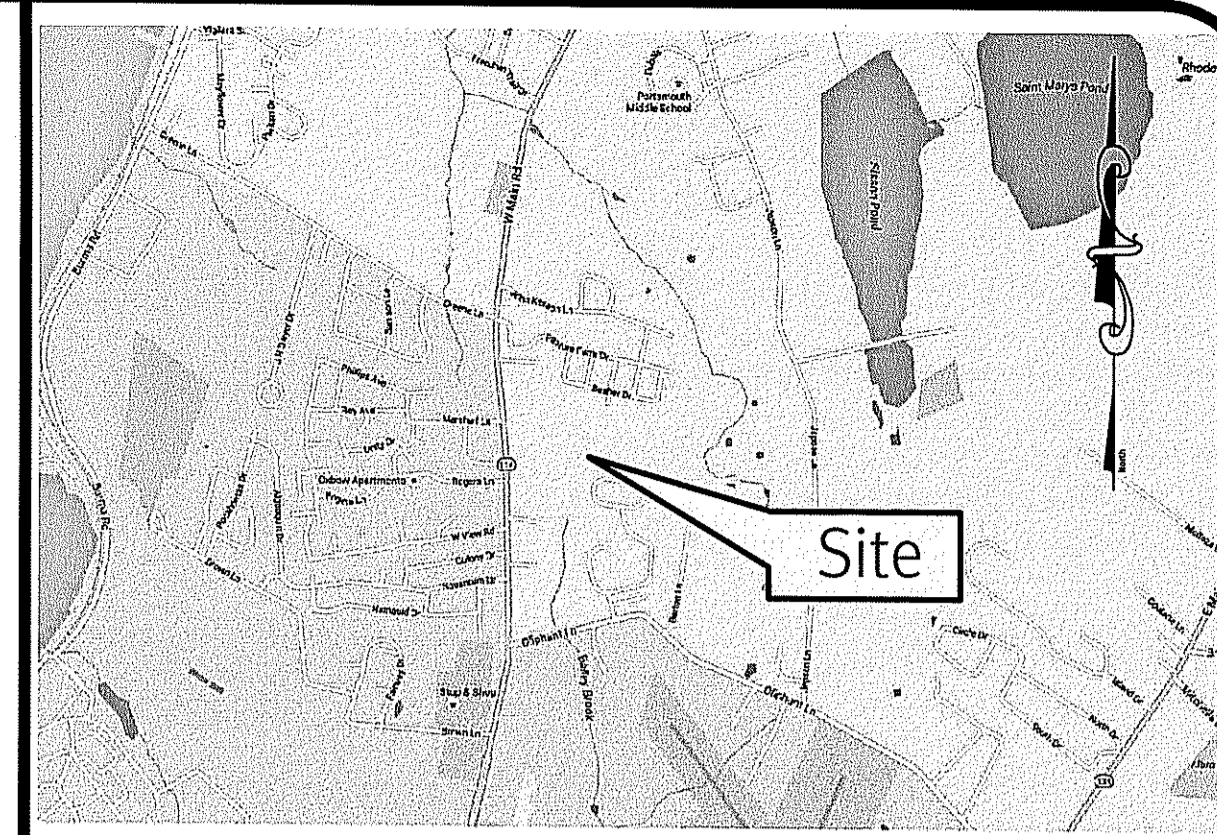
Datum Note:

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

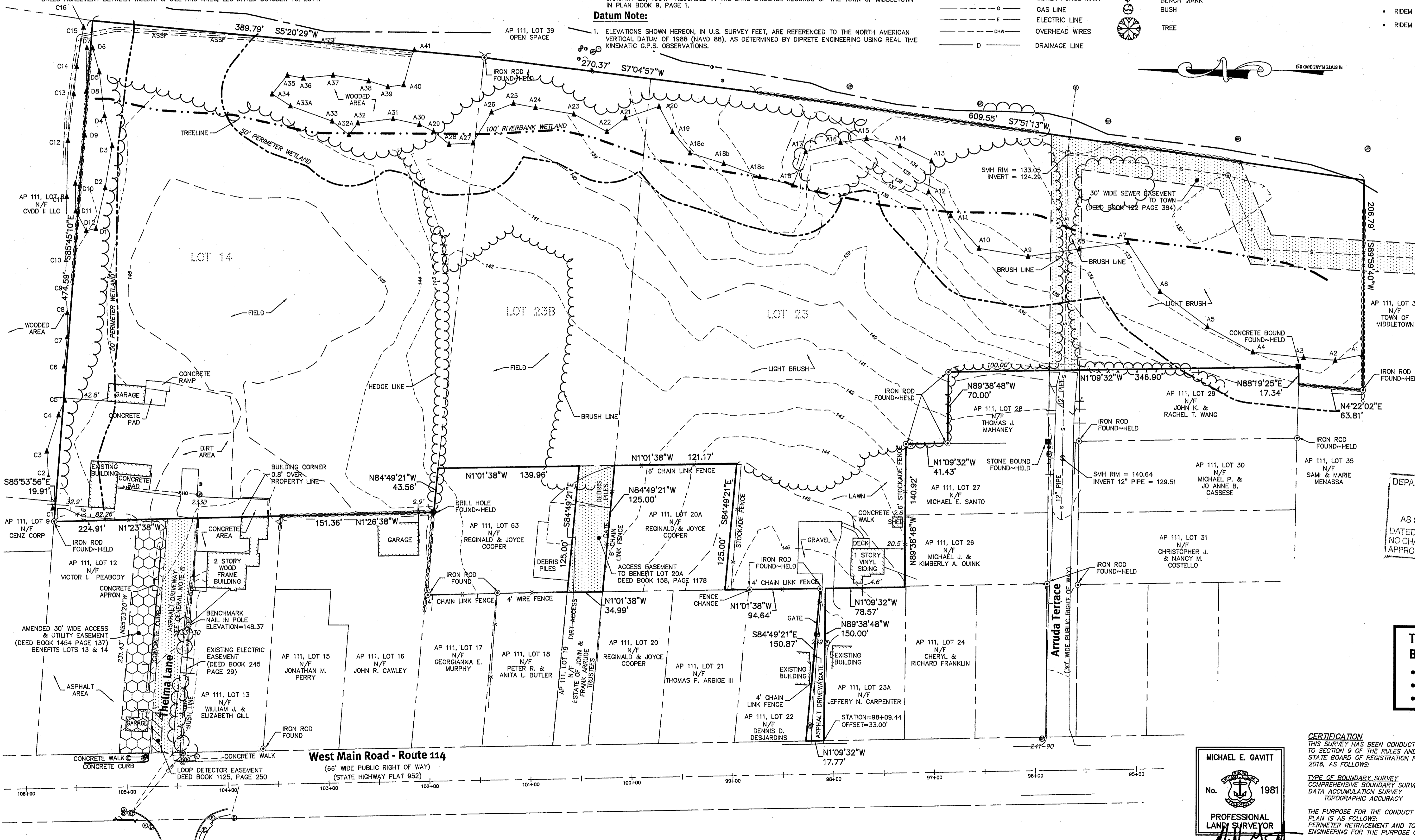
BUILDING	▲/△	NAIL FOUND/SET
ASPHALT	●/◎	DRILL HOLE FOUND/SET
ASSESSOR'S PLAT	■/□	IRON ROD/PIPE FOUND/SET
NOW OR FORMERLY DEED	○	BOUND FOUND/SET
MEASURED	○ CB	SIGN
CALCULATED	○ DMH	BOLLARD
CHORD ANGLE	○ FES	SOIL EVALUATION
HANDICAPPED	○ UP	CATCH BASIN
PROPERTY LINE	○ SMH	DOUBLE CATCH BASIN
ASSESSORS LINE	○ B-1	DRAINAGE MANHOLE
TREELINE	○	FLARED END SECTION
GUARDRAIL	○	GUY POLE
FENCE	○	ELECTRIC MANHOLE/HANDHOLE
RETAINING WALL	○	UTILITY/POWER POLE
STONE WALL	○	LIGHTPOST
MINOR CONTOUR LINE	○	SEWER/SEPTIC MANHOLE
MAJOR CONTOUR LINE	○	SEWER VALVE
WATER LINE	○	CLEANOUT
SEWER LINE	○	HYDRANT
SEWER FORCE MAIN	○	IRRIGATION VALVE
GAS LINE	○	WATER VALVE
ELECTRIC LINE	○	WELL
OVERHEAD WIRES	○	MONITORING WELL
DRAINAGE LINE	○	UNKNOWN MANHOLE
	○	GAS VALVE
	○	WETLAND FLAG
	○	BENCH MARK
	○	BUSH
	○	TREE



Locus Map Not To Scale

Approvals:

- RIDEM WETLAND EDGE VERIFICATION, PERMIT NO. 13-0204
- RIDEM WETLAND EDGE VERIFICATION, PERMIT NO. 14-0103



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 4 2016 FILE # 16-0204
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

This Plan Should Be Indexed By The Following Streets:

- West Main Road
- Arruda Terrace
- Thelma Lane

CERTIFICATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:
TYPE OF BOUNDARY SURVEY
COMPREHENSIVE BOUNDARY SURVEY
DATA ACCUMULATION SURVEY
TOPOGRAPHIC ACCURACY
MEASUREMENT SPECIFICATION
CLASS III
CLASS III
CLASS 7-3
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERMETER RETRACEMENT AND TOPOGRAPHIC SURVEY PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

MICHAEL E. GAVITT
No. 1981
PROFESSIONAL LAND SURVEYOR

Scale: 1"=50'
0 25' 50' 100'

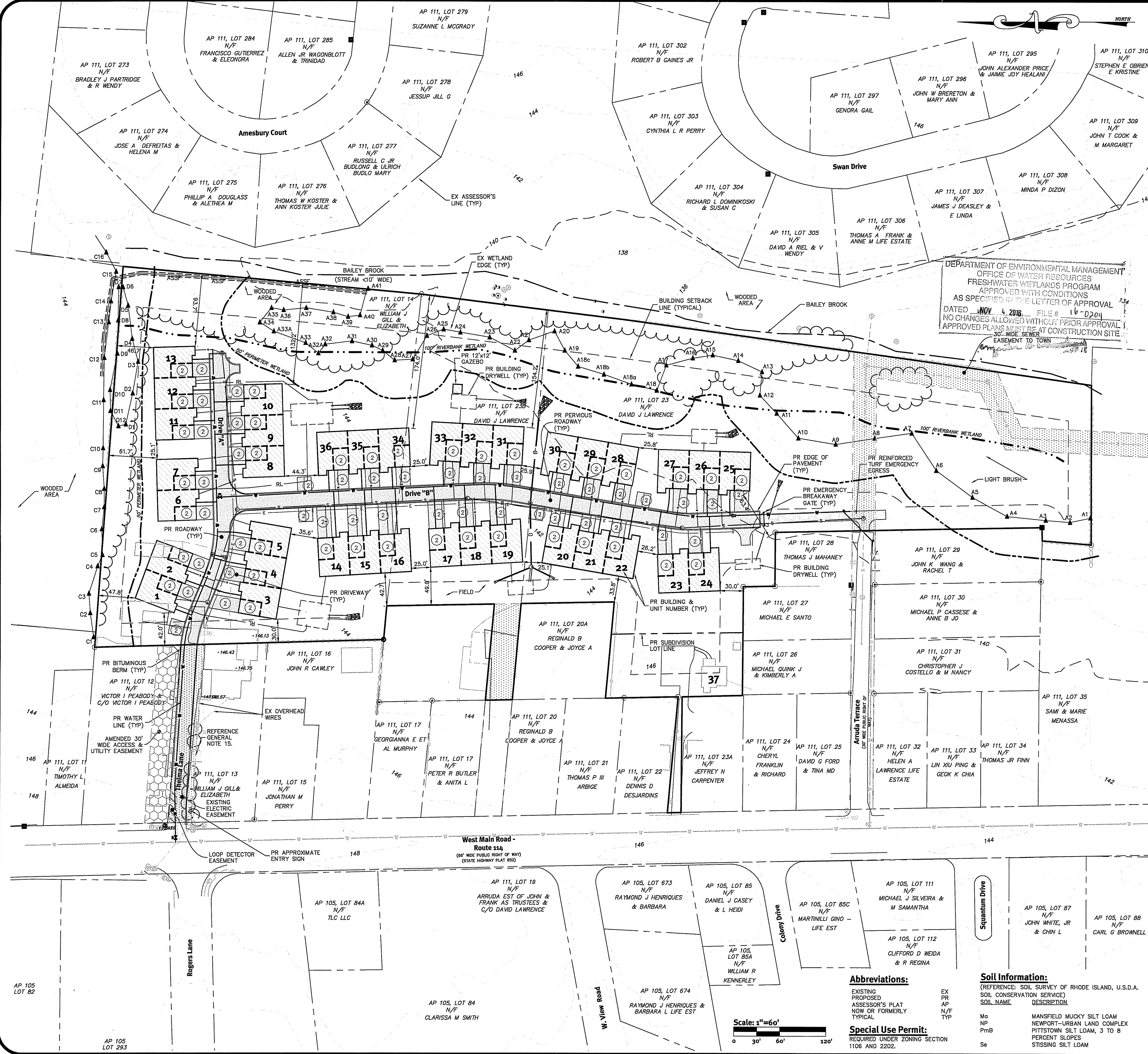
BY MICHAEL E. GAVITT, RPLS #1981
C.O.A. NO. LS-A160
3/22/16

DiPrete Engineering
90 Broadway Newport, RI 02840
Tel: 401-659-5950 Fax: 401-464-6066 www.diprete-eng.com
Boston Providence Newport

Environmental Management
Office of Water Resources
OCT 19 2016

Boundary/Topographic Survey
Thelma Lane
Middletown, Rhode Island
Client: Kentco Development Company
39 Nooseneck Hill Road, West Greenwich, Rhode Island 02887
DE Job No.: 2318-001 Copyright 2016 by DiPrete Engineering, Associates, Inc.

SHEET 3 OF 11



- General Notes:**
- THE SITE IS LOCATED ON THE TOWN OF MIDDLETOWN ASSESSOR'S PLAT 111 LOTS 14, 23 & 23B.
 - THE SITE IS APPROXIMATELY 10.94± ACRES AND IS ZONED HIGH DENSITY (R-10).
 - THE OWNER OF AP 111 LOT 14 IS: GILL WILLIAM & ELIZABETH 1668 WEST MAIN ROAD MIDDLETOWN, RI 02842
THE OWNER OF AP 111 LOT 23 IS: LAWRENCE DAVID J 75 BEAGLE DR MIDDLETOWN, RI 02842
THE OWNER OF AP 111 LOT 23B IS: LAWRENCE DAVID J 640 THAMES ST NEWPORT, RI 02840
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONES X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44005C0091J, MAP REVISED SEPTEMBER 4, 2013. (FLOOD PLAIN DESCRIPTIONS SHOWN ABOVE)
 - THE WETLAND EDGE HAS BEEN VERIFIED UNDER RIDEM WETLAND EDGE VERIFICATION APPLICATION #13-0204 (FOR AP111 LOTS 23 & 23B) AND #14-0103 (FOR AP 111 LOT 13 & 14)
 - SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
 - THE SITE IS WITHIN A GROUNDWATER CLASSIFICATION AREA GA (RIDEM) AND A GROUNDWATER PROTECTION OVERLAY DISTRICT 1 & 2 (TOWN)
 - DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO RIDEM BEST MANAGEMENT PRACTICES. THE CURRENT PROPOSAL CONSISTS OF BUILDING DRYWELL SYSTEMS AND PERVIOUS PAVEMENT WITHIN THE PROPOSED ROADWAY, DRIVEWAYS AND PARKING SPACES.
 - THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER. THE OWNER WILL PROVIDE AN EASEMENT FOR ACCESS TO THE PROPOSED MAINS AND ASSOCIATED APPURTENANCES.
 - PROPOSED ROADWAYS ARE TO BE 22' WIDE PAVEMENT (10' TRAVEL LANES AND 1' BERM ON EACH SIDE).
 - THE DRAINAGE SYSTEM WILL MEET THE MIDDLETOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS THROUGH THE USE OF CATCH BASINS, CULVERTS, AND BEST MANAGEMENT PRACTICES. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM STORMWATER DESIGN MANUAL.
 - THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE AND HOMES ARE PROPOSED TO HAVE 2 BEDROOMS. CONSTRUCTION WILL COMMENCE IN SUMMER OF 2016 OR UPON RECEIPT OF ALL NECESSARY PERMITS AND APPROVALS.
 - THE SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON FEBRUARY 16, 2016.
 - INDIVIDUAL ROLL OFF CONTAINERS TO BE UTILIZED FROM TRASH PICK UP.
 - EXTERNAL FRONT DOOR AND/OR GARAGE LIGHTING IS PROPOSED FOR THE RESIDENCES. NO STREET LIGHTS ARE PROPOSED.
 - STREET TREES WILL BE PLANTED AS PER THE MIDDLETOWN SUBDIVISION REGULATIONS SECTION 622.
 - THE EXISTING THELMA LANE IS NOTED AS A 30 FOOT WIDE EASEMENT IN THE PURCHASE AND SALES AGREEMENT BETWEEN WILLIAM J. GILL NAND KREG, LLC DATED OCTOBER 10, 2014.
 - PERVIOUS PAVEMENT SHALL BE INSTALLED WITHIN ENTIRE DRIVEWAY AND ALL PARKING AREAS WITHIN THE SUBJECT LOTS OF AP 111, LOTS 14, 23 & 23B. STANDARD (IMPERVIOUS) PAVEMENT SHALL BE INSTALLED WITHIN THE EASEMENT ON AP 111 LOT 13.

Dimensional Regulations:

CURRENT ZONING:	R10 (SENIOR INDEPENDENT LIVING FACILITIES - ART 22) REQUIRED	PROVIDED
MINIMUM LOT AREA:	8,000 SF	9,415 SF/UNIT
MINIMUM FRONTAGE AND LOT WIDTH:	50'	30'
MINIMUM FRONT AND CORNER SIDE YARD:	50'	>50' MIN.
MINIMUM SIDE YARD:	30'	30' MIN.
MINIMUM REAR YARD:	50'	94' MIN.
MINIMUM BUILDING SEPARATION:	25'	25' MIN.
MAXIMUM STRUCTURE HEIGHT:	35'	35' MAX.
MAXIMUM LENGTH OF ANY SIDE OF BUILDING:	160'	120' MAX.
MAXIMUM BUILDING LOT COVERAGE:	25% BUILDING + 40% OTHER	21.7% BUILDING + 14.0% OTHER

Development Data:

TOTAL SITE AREA:	10.94± ACRES
TOTAL NUMBER OF BUILDINGS:	14
TOTAL NUMBER OF UNITS:	37
LENGTH OF ROAD:	1,352'
PAVEMENT WIDTH:	22'
DENSITY CALCULATION:	TOTAL AREA - UNSUITABLE LAND - ROW = MAX UNITS LOT DENSITY
TOTAL AREA:	(476,651 SF) 10.94 ACRES
TOTAL UNSUITABLE AREA:	(98,002 SF) 2.25 ACRES (WETLAND/RIVERS)
TOTAL ROAD AREA:	(30,299 SF) 0.70 ACRES
LOT DENSITY:	8,000 SF/UNIT
	476,651 - 98,002 - 30,299 = 348,350 / 8,000 = 43.54 = 43
RESIDENTIAL DENSITY ALLOWED:	43 UNITS
TOTAL NUMBER OF UNITS PROPOSED:	37 UNITS
LENGTH OF DRIVE "A":	622'
LENGTH OF DRIVE "B":	705'
(MAX CUL-DE-SAG LENGTH: 1600 SF)	
PAVEMENT WIDTH:	22'

*ACCESS DRIVES TO BE PERVIOUS PAVING MATERIAL

Parking Data:

PARKING USE:	RESIDENTIAL
PARKING REQUIREMENT:	2.0 SPACES PER DWELLING/UNIT +1 PER UNIT (VISITOR) +1 PER EMPLOYEE (NO EMPLOYEES PROPOSED)
DWELLING UNITS PROPOSED:	36 UNITS
PARKING CALCULATION:	36 X 2.0 = 72 SPACES (GARAGE) + 72 VISITOR SPACES (DRIVEWAY) + 10 VISITOR SPACES (PARKING LOTS)
REQUIRED PARKING SPACES:	108 SPACES
PARKING SPACES PROVIDED:	154 SPACES (72 GARAGE SPACES)

- Zoning Variances Requested**
- SECTION 1208: (A) OFF-PREMISES SIGNS; ENTRY SIGN WILL BE INSTALLED WITHIN ACCESS EASEMENT AT THELMA LANE & WEST MAIN ROAD.
 - SECTION 1301: (E) DRIVEWAYS: 24' REQUIRED, 22' PROPOSED
 - SECTION 2201: (B) COMMUNITY SPACE WITH MINIMUM 15 SQ. FT. PER BEDROOM, 144 SQ. FT. GAZEBO / 74 BEDROOMS = 1.9 SQ. FT. PER BEDROOM PROPOSED
 - SECTION 2204: (E) FRONTAGE: 50' REQUIRED, 30' PROPOSED*
- *30' WIDE EASEMENT EXISTS ON AP 111 LOT 12 AND THE EXISTING THELMA LANE IS NOTED AS A 30' WIDE EASEMENT IN THE PURCHASE AND SALES AGREEMENT BETWEEN THE OWNER AND APPLICANT.

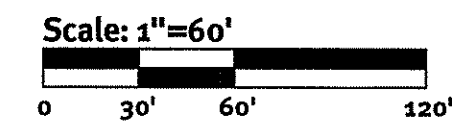
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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DATED NOV 4 2016 FILE # 16-0204
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Abbreviations:
EXISTING PROPOSED ASSESSOR'S PLAT NOW OR FORMERLY TYPICAL

Soil Information:
(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)
SOIL NAME DESCRIPTION

Ma	MANSFIELD MUCKY SILT LOAM
Np	NEWPORT-URBAN LAND COMPLEX
PmB	PITTSFORD SILT LOAM, 3 TO 8 PERCENT SLOPES
Se	STISSING SILT LOAM

Special Use Permit:
REQUIRED UNDER ZONING SECTION 1106 AND 2202.



DiPrete Engineering
90 Broadway Newport, RI 02840
Tel: 401-519-5190 Fax: 401-464-6066 www.diprete-eng.com

Boston • Providence • Newport

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped "Issued for Construction" and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements and OSHA and GSA compliance in the implementation of this plan and design.

Design By: B.E.L.

Environmental Management
Office of Water Resources
OCT 27 2016

No.	Date	Description	By:
1	10/26/16	RDMA Comments	B.E.L.
2	10/26/16	RDMA Comments	B.E.L.
3	10/26/16	Development Plan Review	B.E.L.

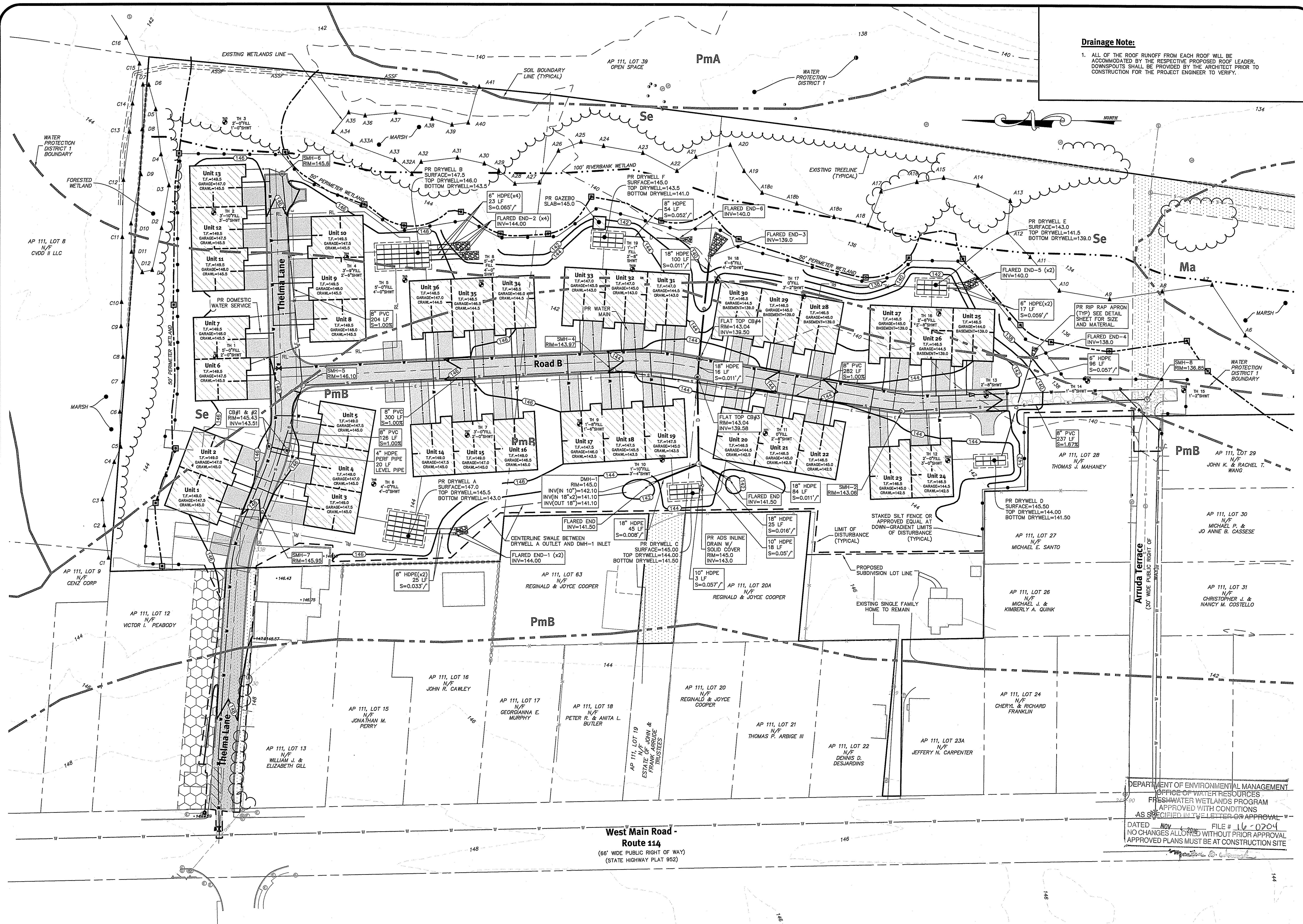
Drawn By: B.E.L. Design By: B.E.L.

Site Plan
West Main Road
1 Thelma Lane, Middletown, Rhode Island
Assessor's Plat 111, Lots 14, 23 & 23B

APPLICANT
KREG, LLC
39 Noremack Hill Road, West Greenwich, Rhode Island 02887
Tel: 401-279-0009 Fax: 401-278-3525

DE Job No: 2116-001 Copyright 2016 by DiPrete Engineering Associates, Inc.

SHEET 4 OF 11



Drainage Note:
 1. ALL OF THE ROOF RUNOFF FROM EACH ROOF WILL BE ACCOMMODATED BY THE RESPECTIVE PROPOSED ROOF LEADER. DOWNSPOUTS SHALL BE PROVIDED BY THE ARCHITECT PRIOR TO CONSTRUCTION FOR THE PROJECT ENGINEER TO VERIFY.

DiPrete Engineering
 90 Broadway Newport, RI 02840
 Tel: 401-639-5990 Fax: 401-464-0000 www.diprete-eng.com

KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This regulatory submission shall not be used for construction purposes unless stamped, issued for construction, and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

Environmental Management
 OCT 19 2016
 Office of Water Resources

1	9/13/16	Submittal	Submission	K.L.D.
2	9/28/16	Revisions	Revisions	B.F.L.
3	10/10/16	Final	Final	B.F.L.

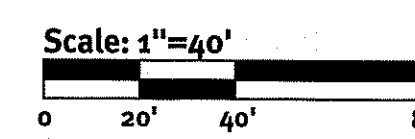
Drawn By: B.F.L. Design By: K.L.D.

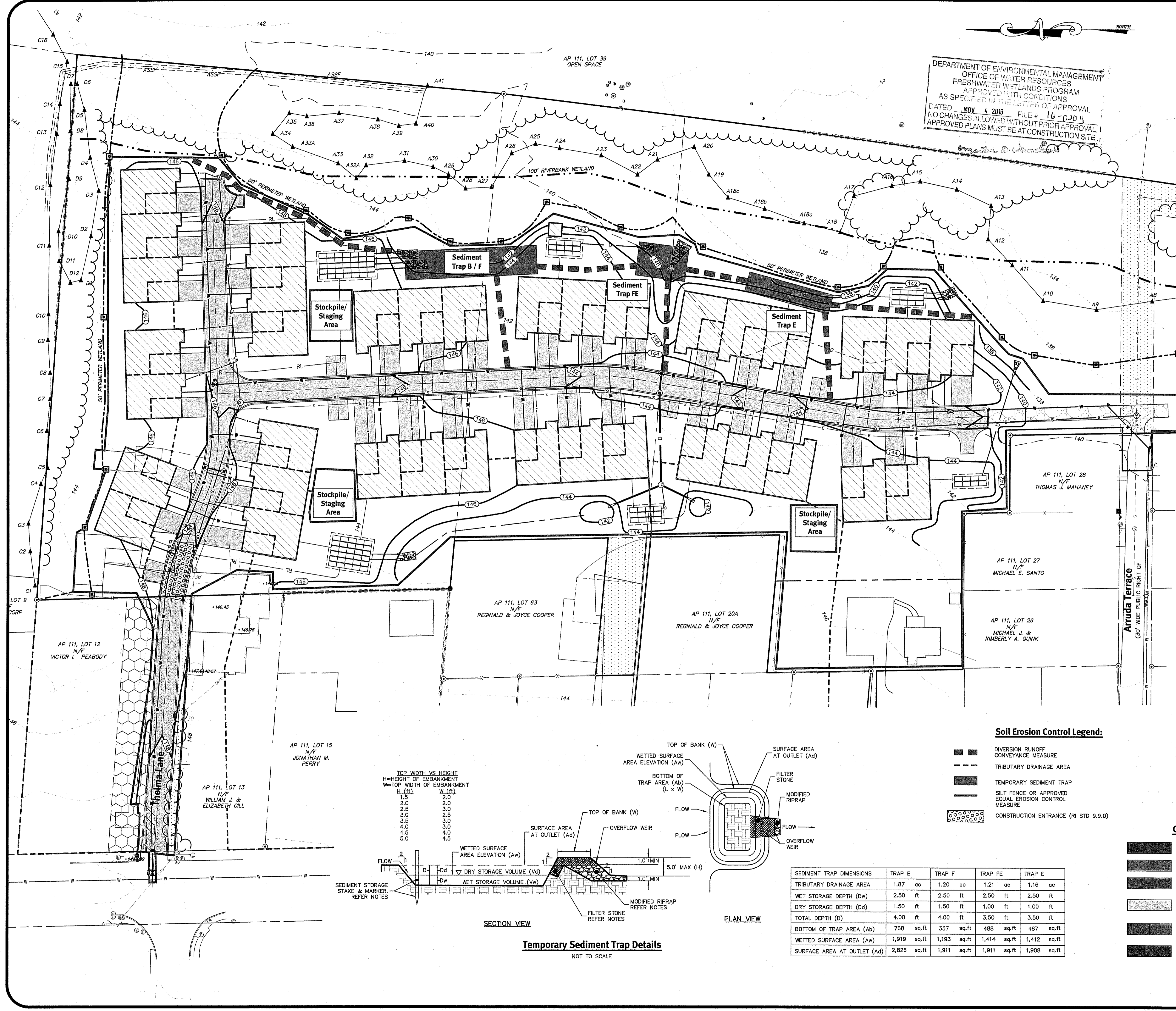
Grading & Drainage Plan
West Main Road
 Applicant: 1 Thelma Lane, Middletown, Rhode Island
 Assessor's Plat 111, Lots 14, 23 & 29

KREG, LLC
 39 Nonsenack Hill Road, West Greenwich, Rhode Island 02877
 Tel: 401-867-0009 Fax: 401-784-3575

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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General Notes:

- ALL EROSION CONTROL, DIVERSIONS, TEMPORARY SEDIMENTATION TRAP, ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION.
- SILT FENCE / STRAW WATTLE MUST BE INSTALLED AROUND ALL PROPOSED TREATMENT AREAS. NO CONSTRUCTION VEHICLES SHALL ENTER THESE STAKED AREAS.
- SILT FENCE (OR AN APPROVED EROSION CONTROL DEVICE) AND DIVERSIONS SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED PAVEMENT AREAS. AFTER INITIAL PAVEMENT GRADING IS COMPLETE AND THE PERMANENT DRAINAGE INFRASTRUCTURE HAS BEEN CONSTRUCTED, THE DRAINAGE NETWORK SHALL BE BROUGHT ONLINE AND THE DIVERSIONS SHALL BE DECONSTRUCTED.
- ONCE THE SEDIMENTATION TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE AREAS SHALL BE BROUGHT TO FINAL DESIGN GRADES.
- INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- SEE SECTION 1.2 OF THE RI SESC HANDBOOK FOR SEQUENCE OF CONSTRUCTION ACTIVITY.
- SEE SECTION 2.2 OF THE RI SESC HANDBOOK FOR PROJECT PHASING.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.
- INFILTRATION BASINS & SAND FILTER AREAS SHALL BE STAKED OFF, DEMARCATED AND PROTECTED FROM CONSTRUCTION TRAFFIC DURING ALL CONSTRUCTION PHASES.
- REFER DETAIL SHEETS FOR FURTHER INFORMATION.

SEDIMENT TRAP NOTES:

- THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES.
- THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES SHALL NOT EXCEED 1.5:1.
- THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
- THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
- TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
- MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET.
- SIDE SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
- MODIFIED RIPRAP SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
- FILTER STONE SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE 1, COLUMN V FILTER STONE.

SEDIMENT TRAP INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
- INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
- CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
- WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
- DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
- THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

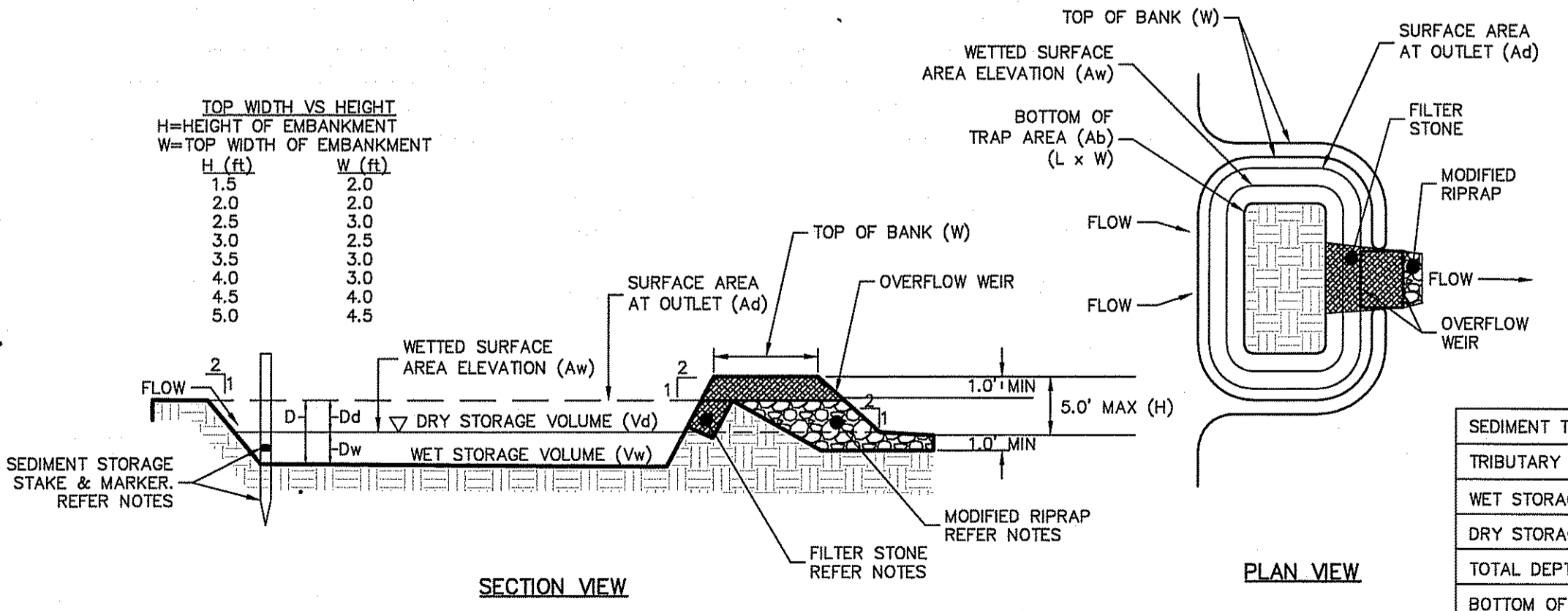
- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
- REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
- EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
- USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.

Soil Erosion Control Legend:

- DIVERSION RUNOFF CONVEYANCE MEASURE
- TRIBUTARY DRAINAGE AREA
- TEMPORARY SEDIMENT TRAP
- SILT FENCE OR APPROVED EQUAL EROSION CONTROL MEASURE
- CONSTRUCTION ENTRANCE (RI STD 9.9.0)

TOP WIDTH VS. HEIGHT

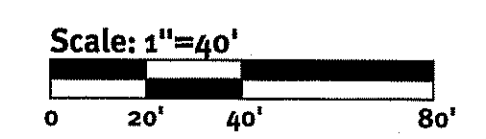
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2.0	2.0
2.5	2.0
3.0	2.5
3.5	3.0
4.0	3.0
4.5	4.0
5.0	4.5



Temporary Sediment Trap Details
 NOT TO SCALE

SEDIMENT TRAP DIMENSIONS

	TRAP B	TRAP F	TRAP FE	TRAP E
TRIBUTARY DRAINAGE AREA	1.87 ac	1.20 ac	1.21 ac	1.16 ac
WET STORAGE DEPTH (Dw)	2.50 ft	2.50 ft	2.50 ft	2.50 ft
DRY STORAGE DEPTH (Dd)	1.50 ft	1.50 ft	1.00 ft	1.00 ft
TOTAL DEPTH (D)	4.00 ft	4.00 ft	3.50 ft	3.50 ft
BOTTOM OF TRAP AREA (Ab)	768 sq.ft	357 sq.ft	488 sq.ft	487 sq.ft
WETTED SURFACE AREA (Aw)	1,919 sq.ft	1,193 sq.ft	1,414 sq.ft	1,412 sq.ft
SURFACE AREA AT OUTLET (Ao)	2,826 sq.ft	1,911 sq.ft	1,911 sq.ft	1,908 sq.ft



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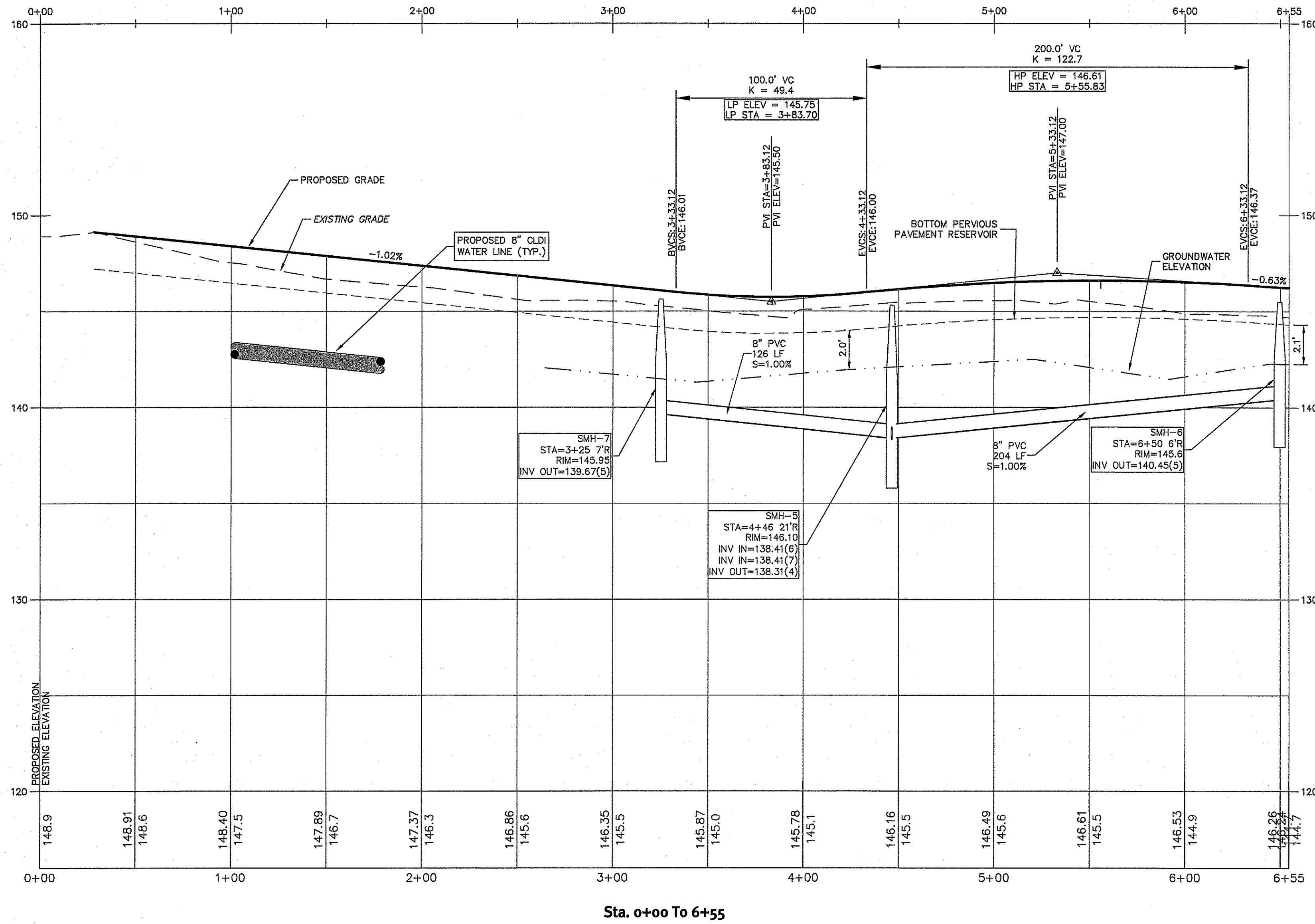
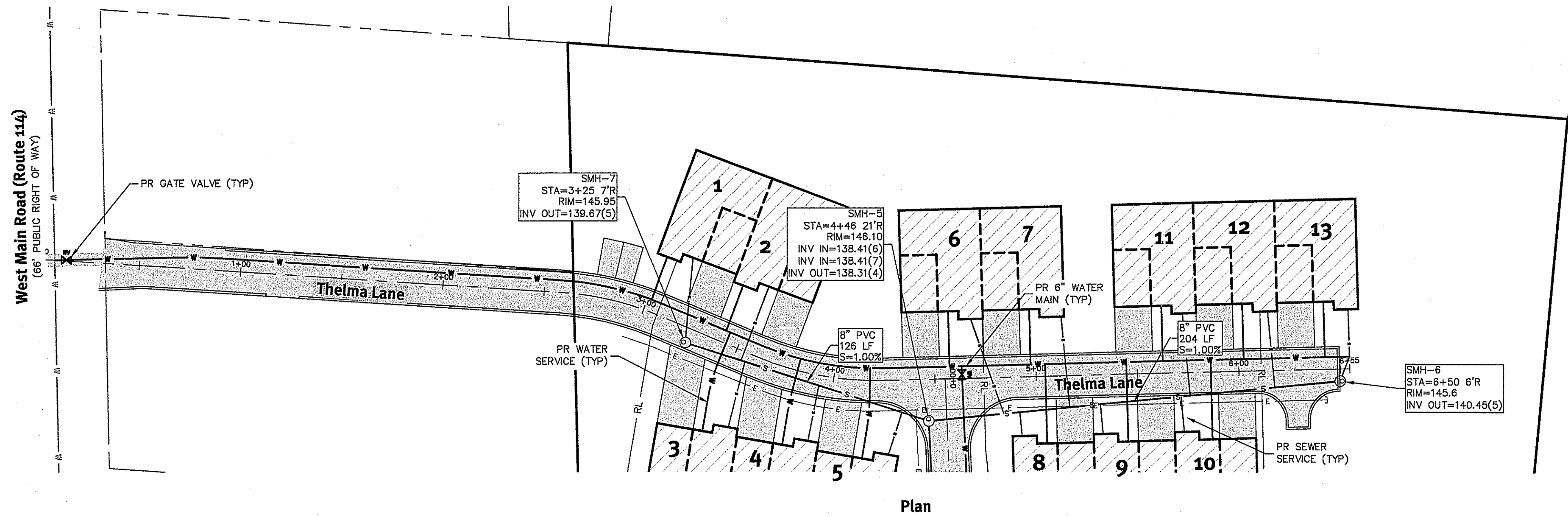
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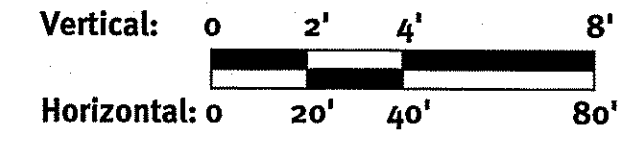
OCT 19 2016
 Office of Water Resources

No.	Date	Description	By:	Design By:
1	10/13/16	Issue for Construction	K.D.	K.J.D.
2	10/13/16	Issue for Construction	K.D.	K.J.D.

Soil Erosion & Sediment Control Plan
West Main Road
 Applicant: 1 Thelma Lane, Middletown, Rhode Island 02842
 Assessor's Plat 111, Lots 14, 23 & 28
KREG, LLC
 39 Noosneck Hill Road, West Greenwich, Rhode Island 02887
 Tel: 401-267-0009 Fax: 401-784-3575
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 4 2016 FILE # 16-0204
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



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Environmental Management

Office of Water Resources

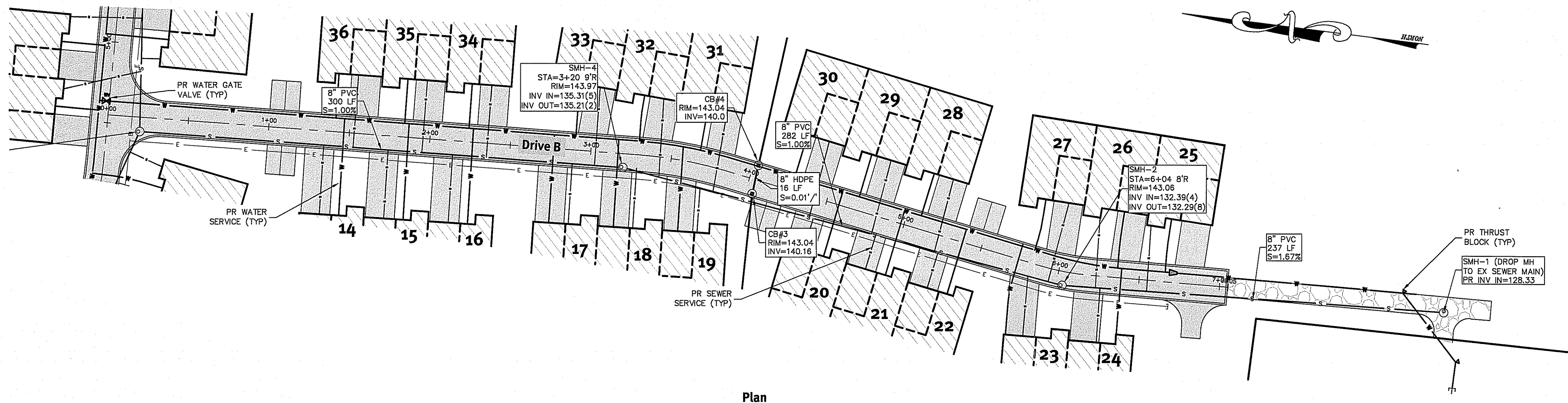
OCT 19 2016

No.	Date	Description	Drawn By: B.E.L.	Design By: K.I.D.
2	02/15/16	REBEL Comments		
1	02/17/16	State Permitting Submission		

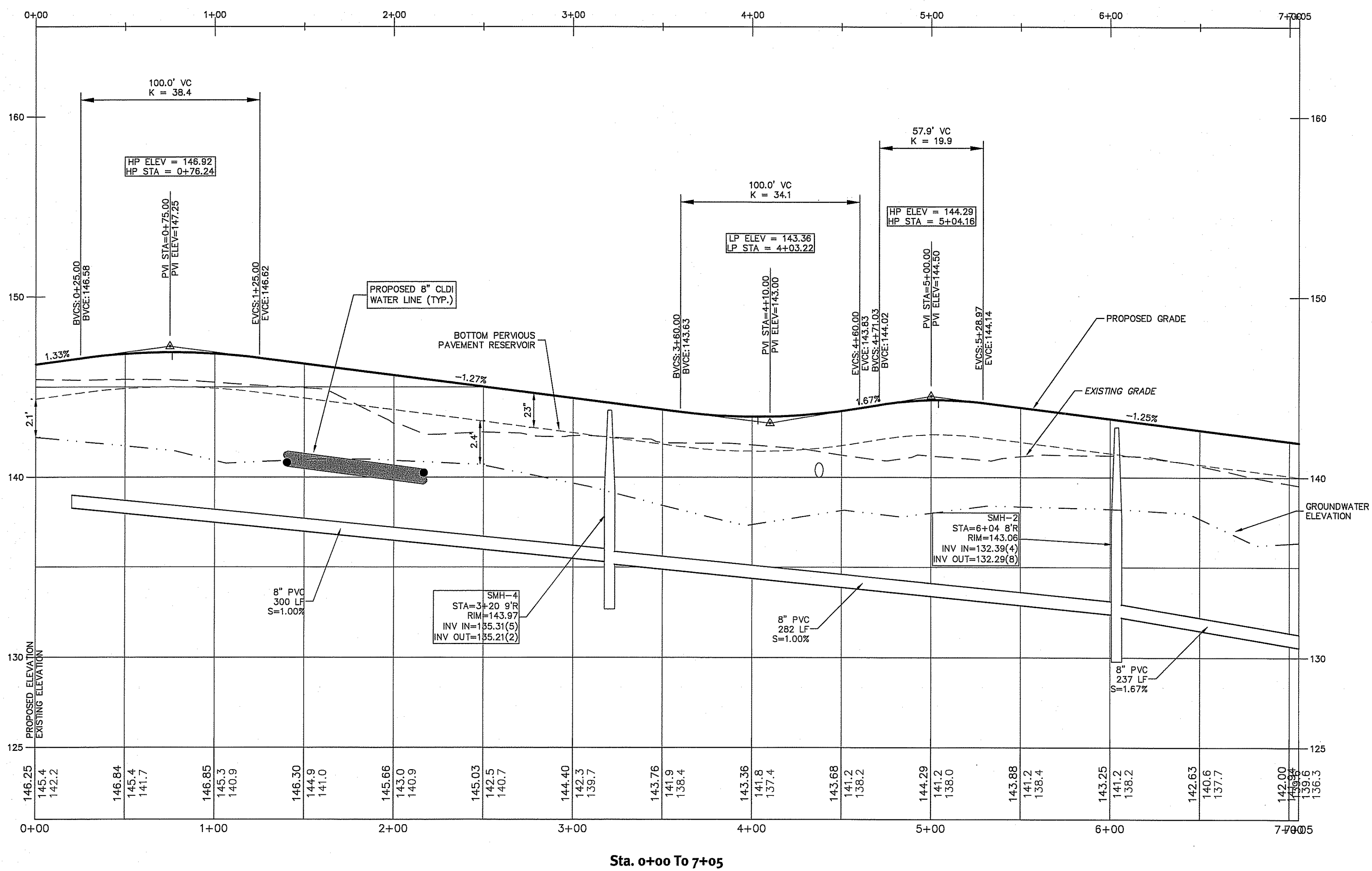
Plan & Profile - Thelma Lane
West Main Road
1 Thelma Lane, Middletown, Rhode Island
Assessor's Plat 111, Lots 14, 23 & 29

Applicant
KREG, LLC
39 Blossmeck Hill Road, West Greenwich, Rhode Island 02817
tel 401-267-0059 fax 401-724-3375

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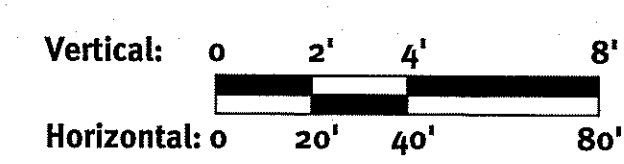


Plan



Sta. 0+00 To 7+05
Drive B Profile

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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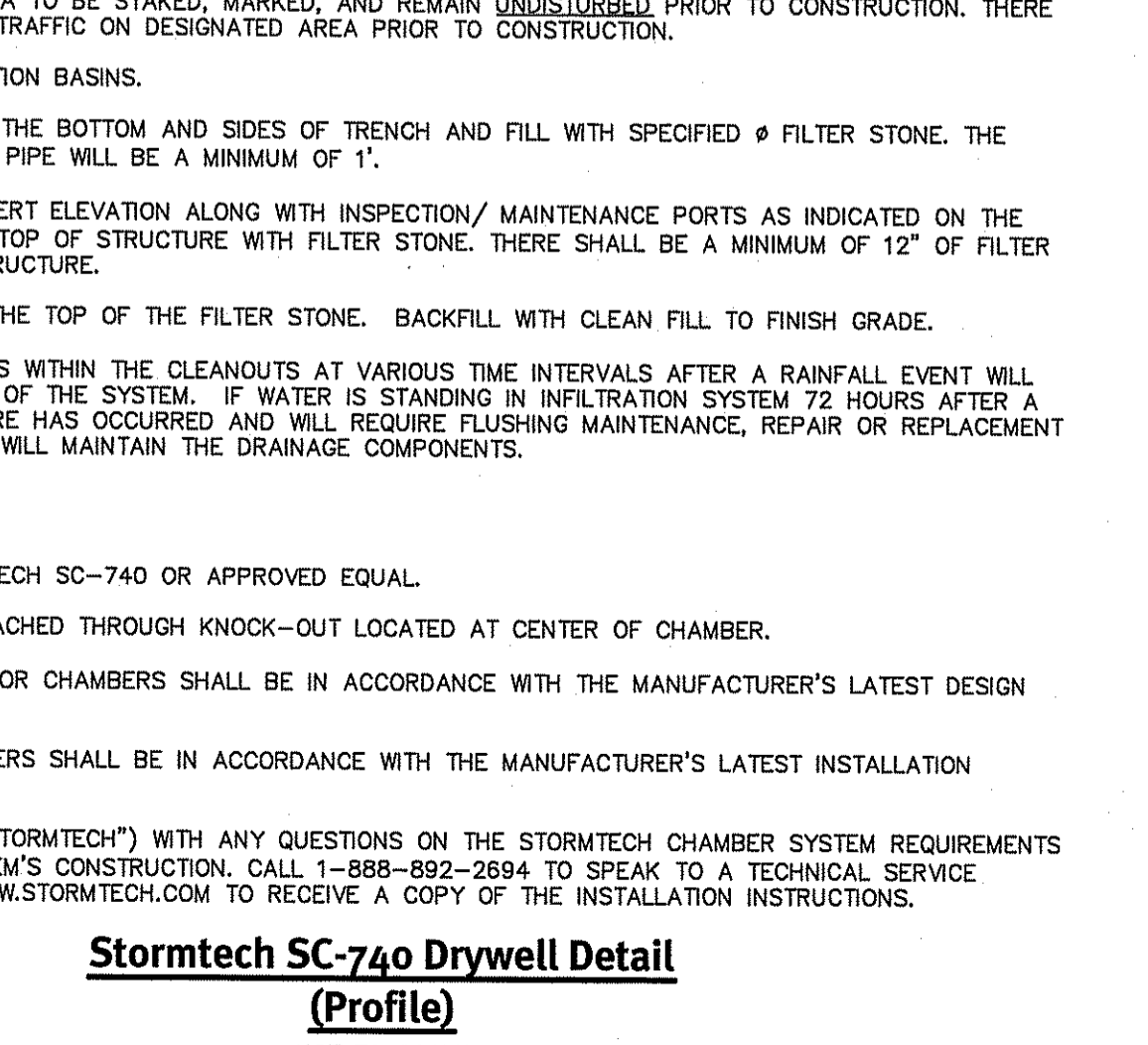
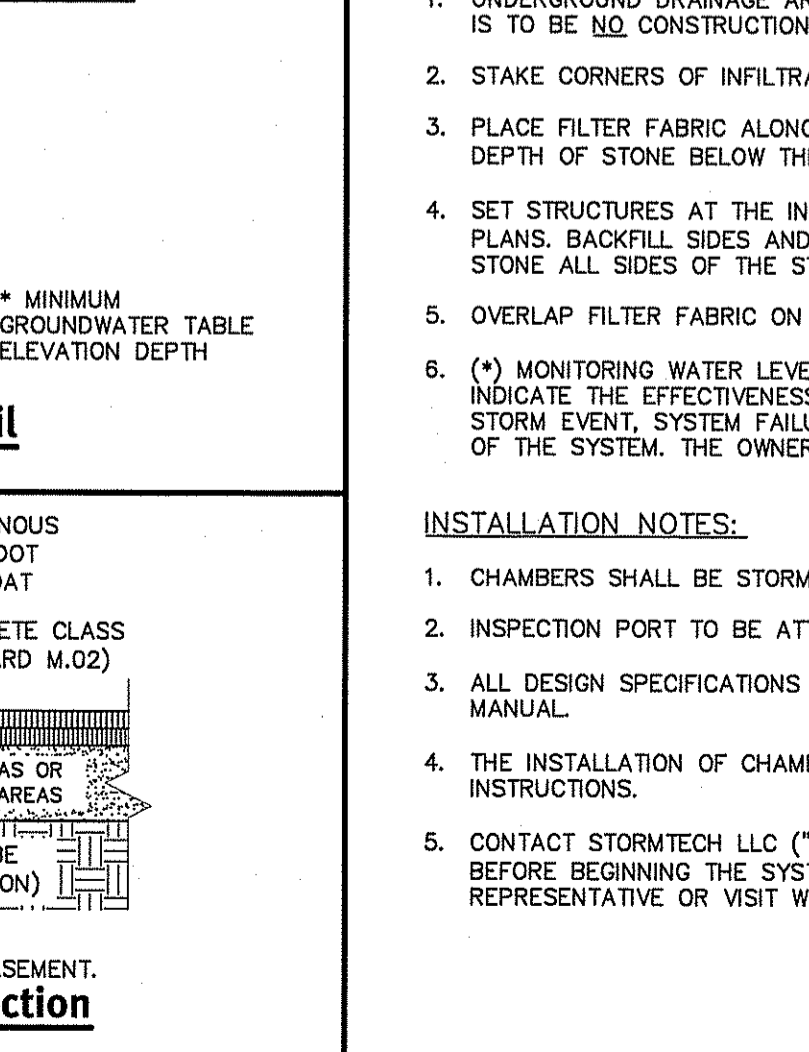
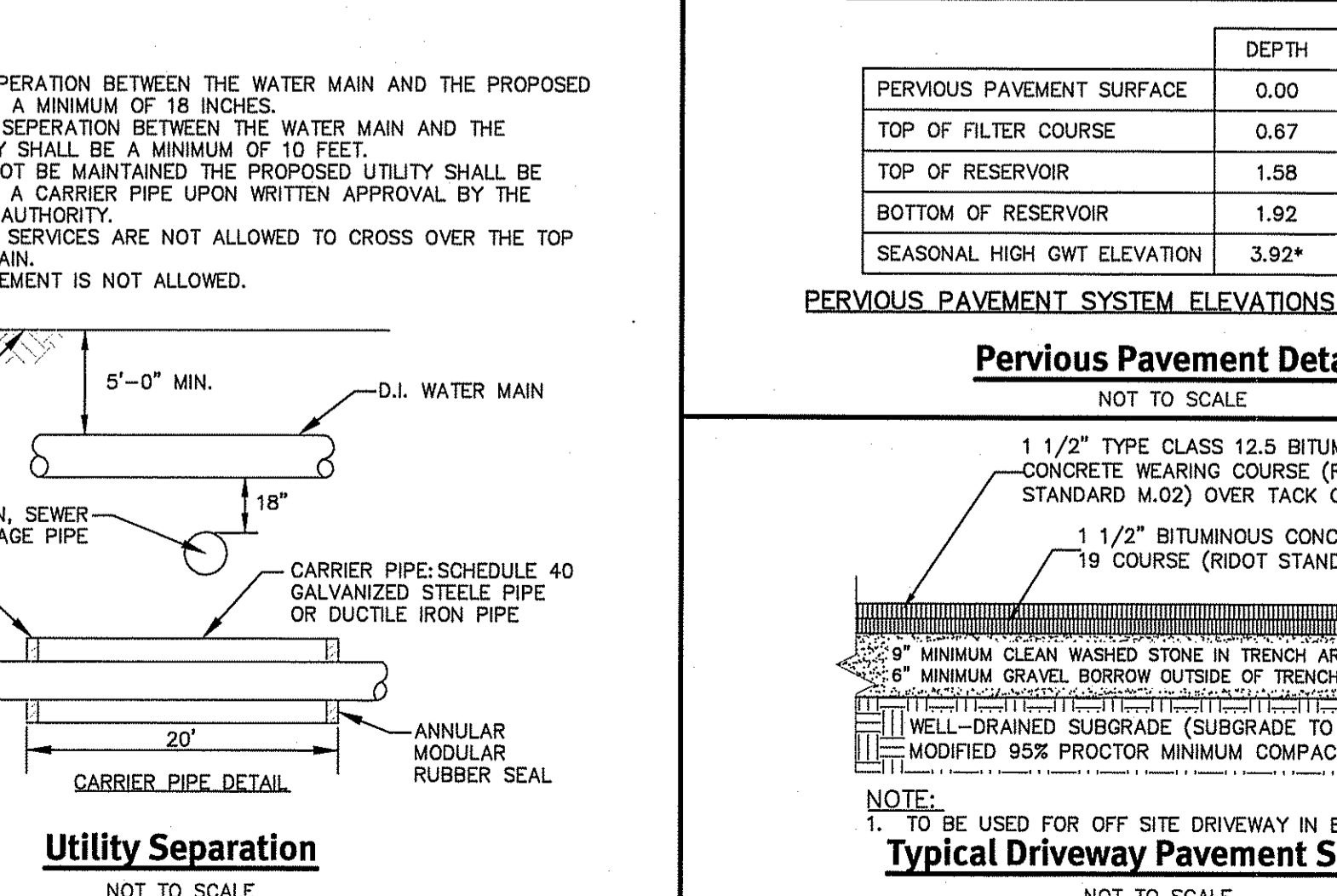
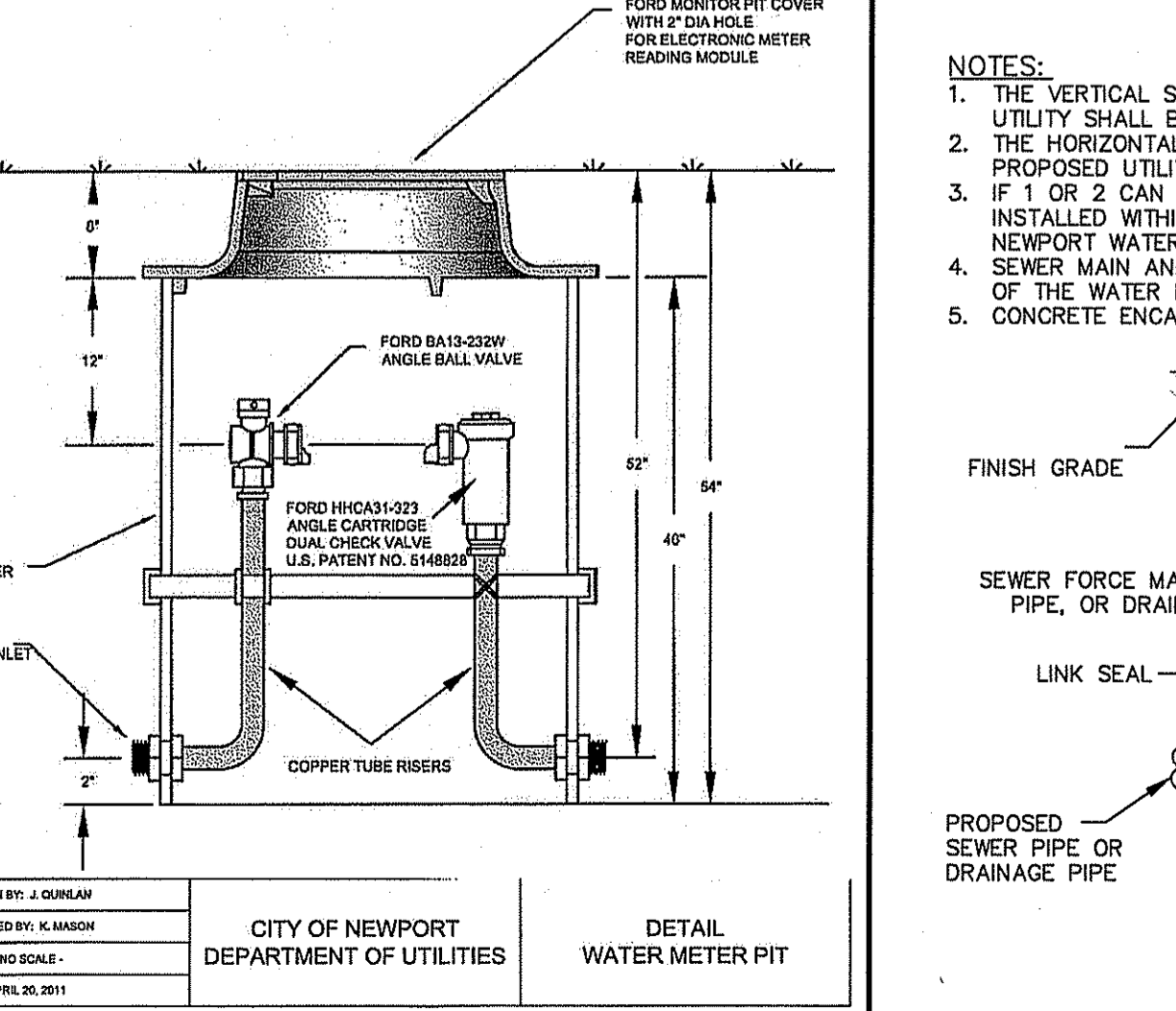
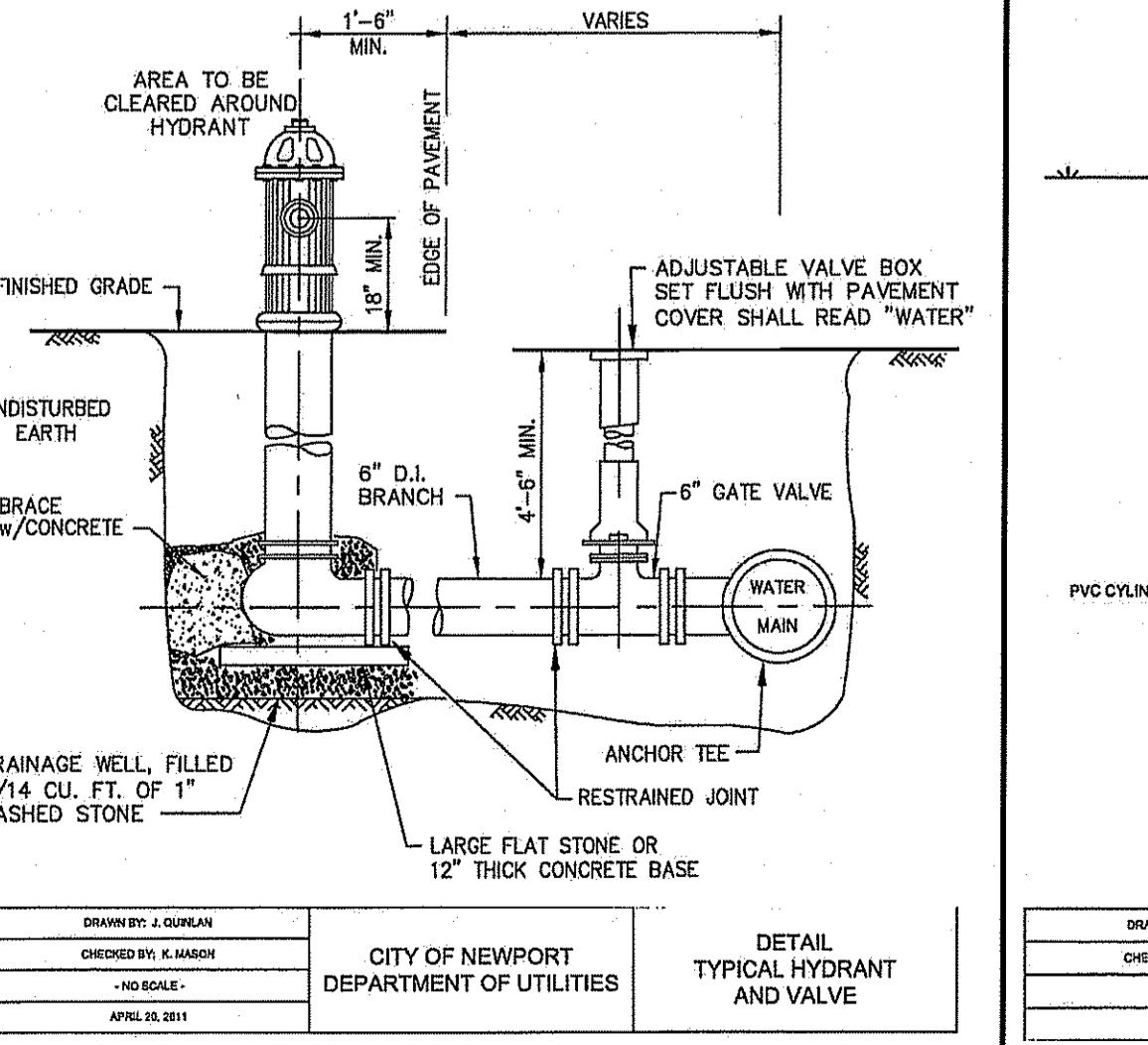
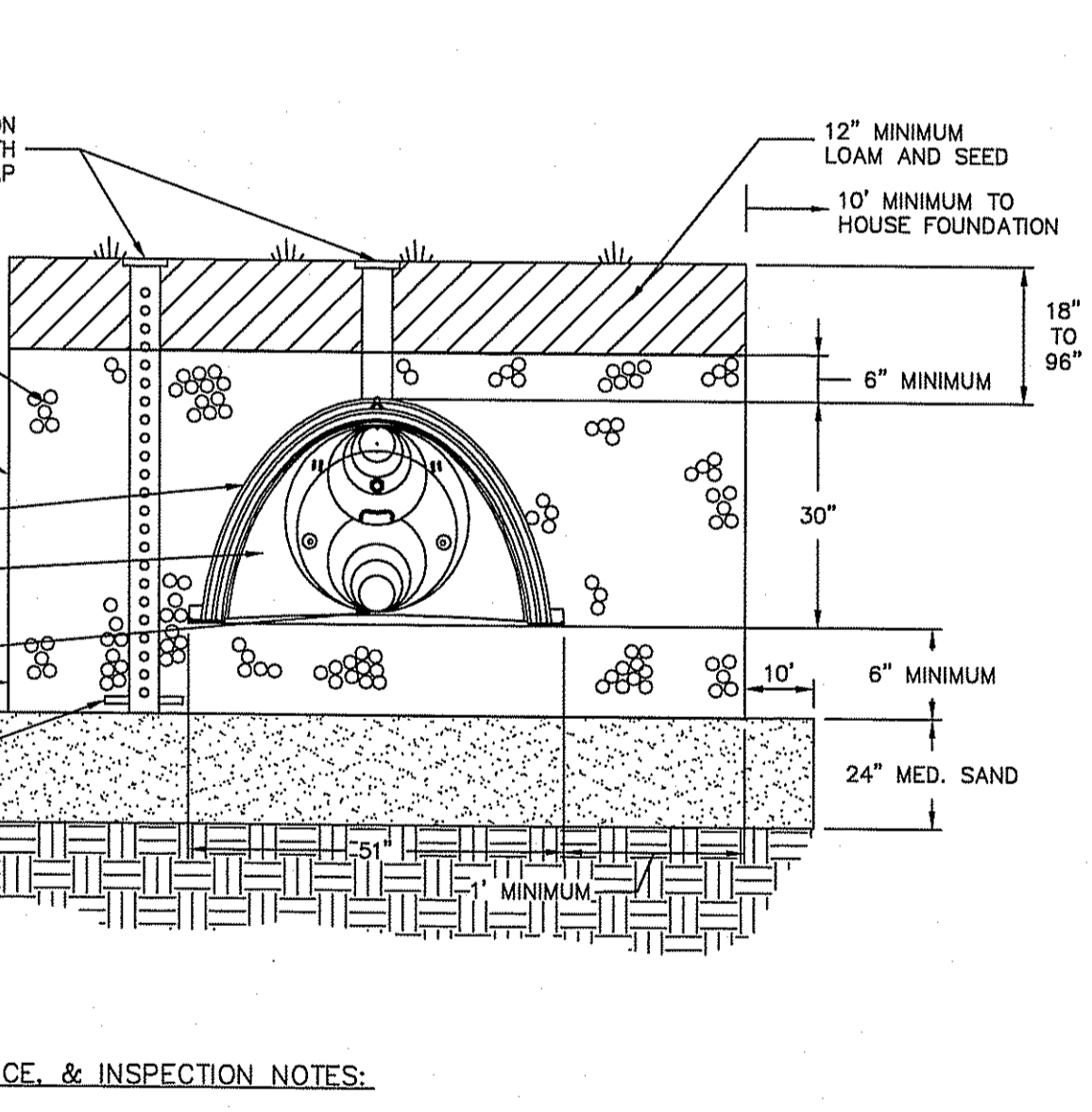
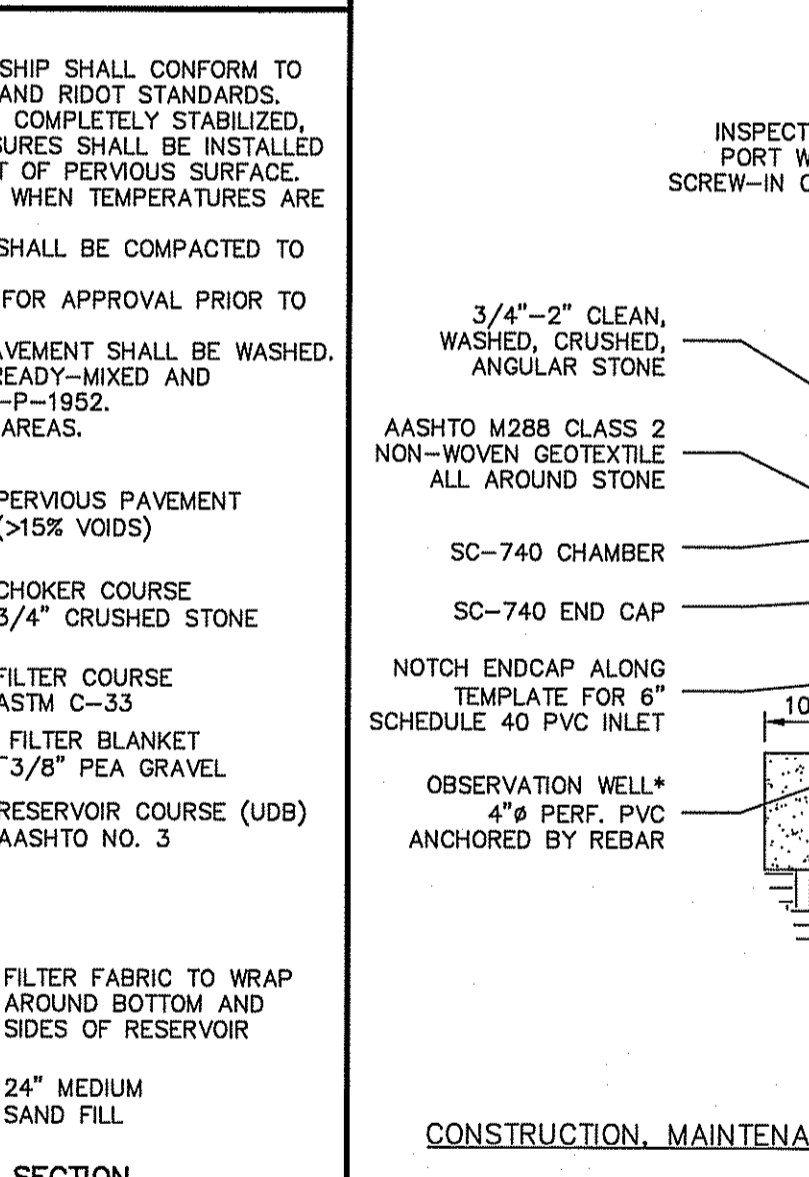
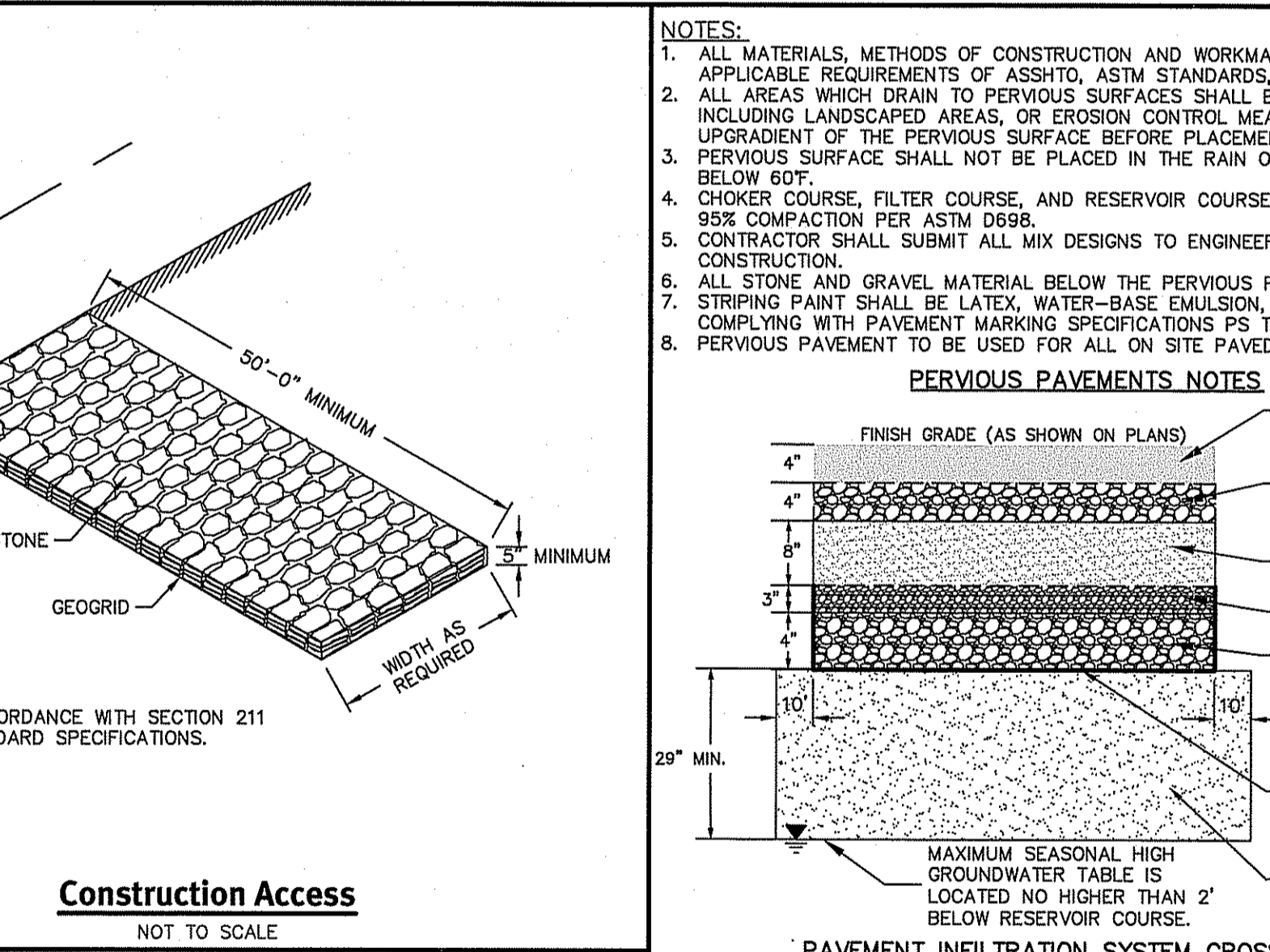
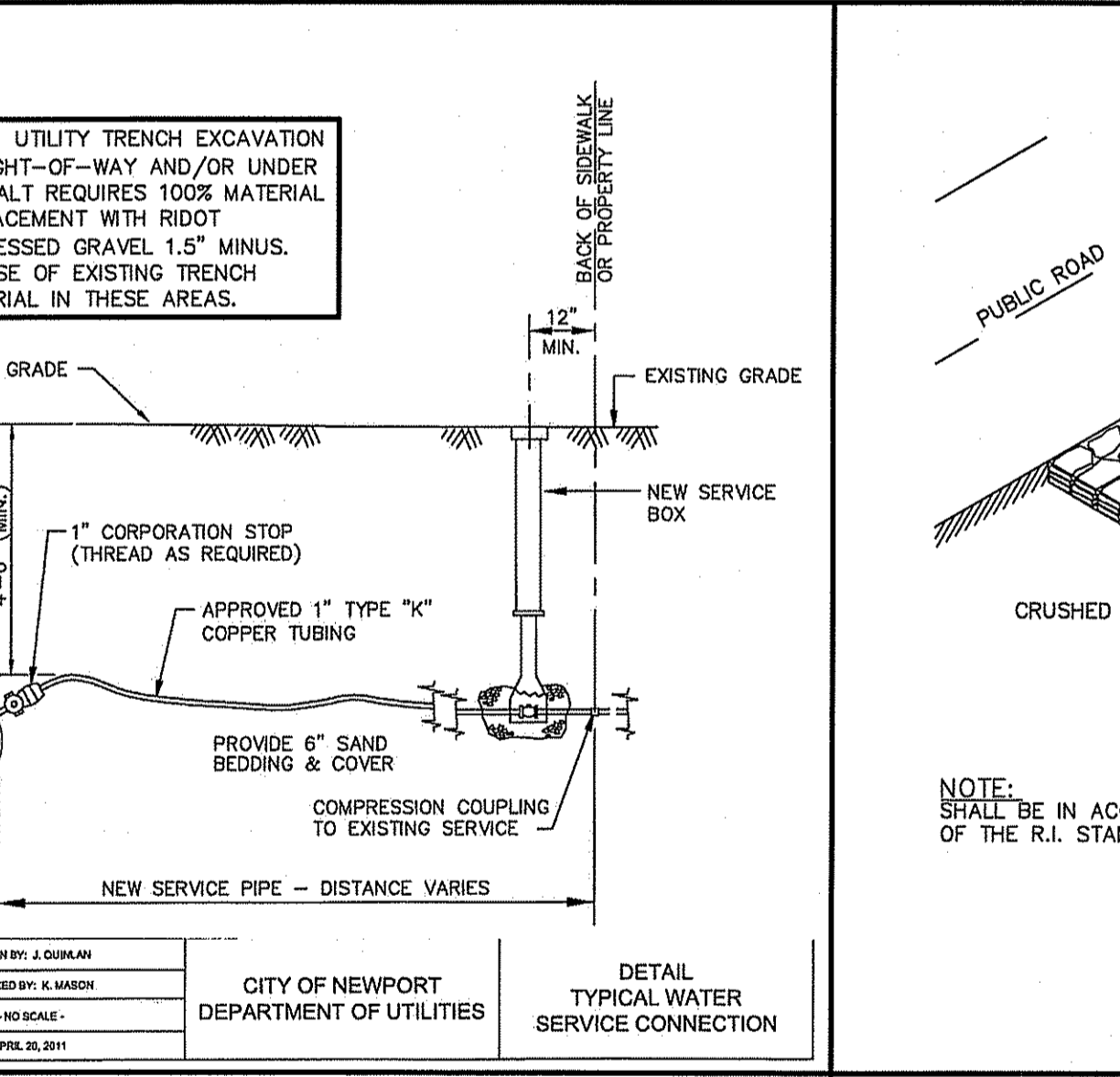
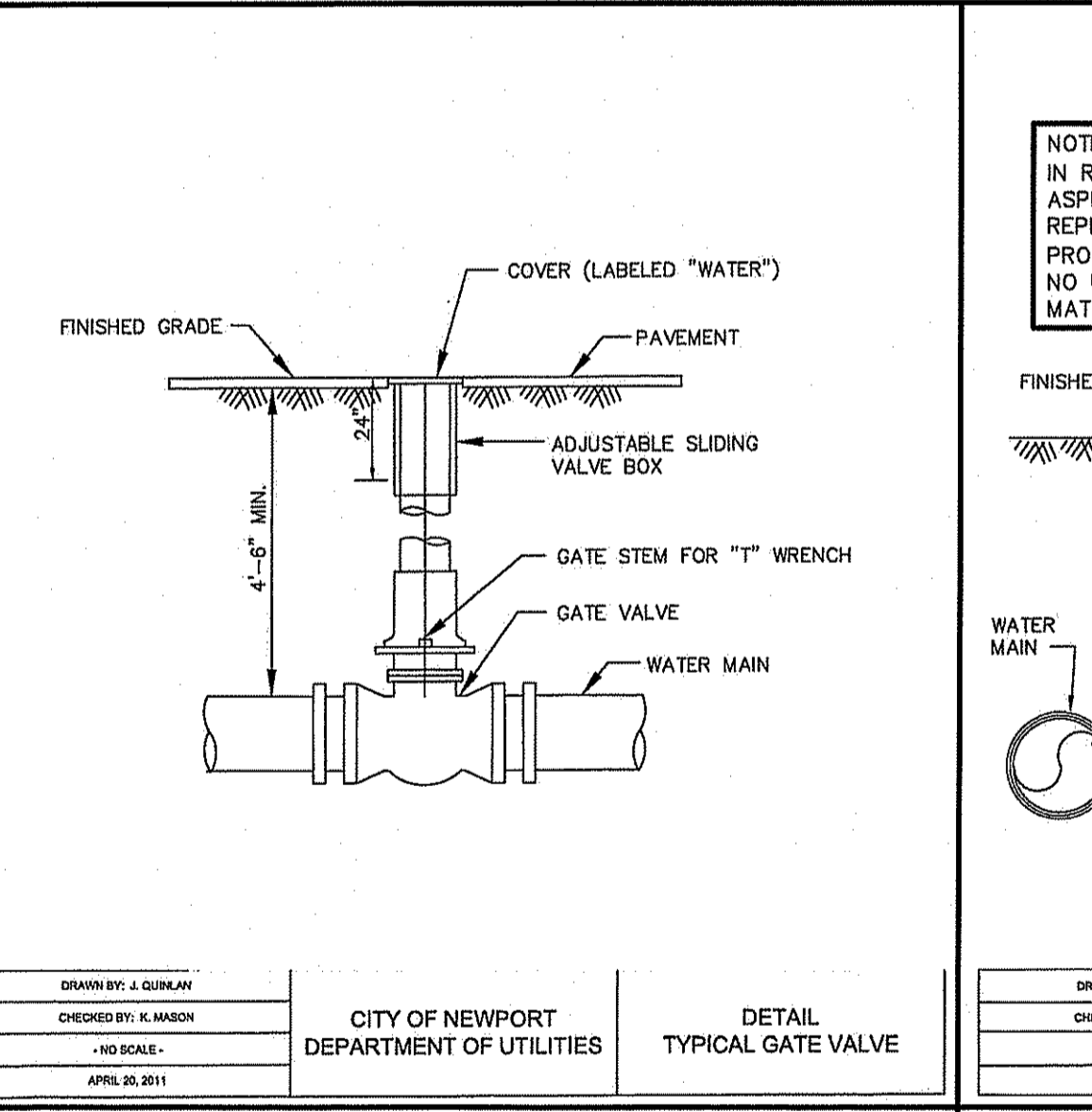
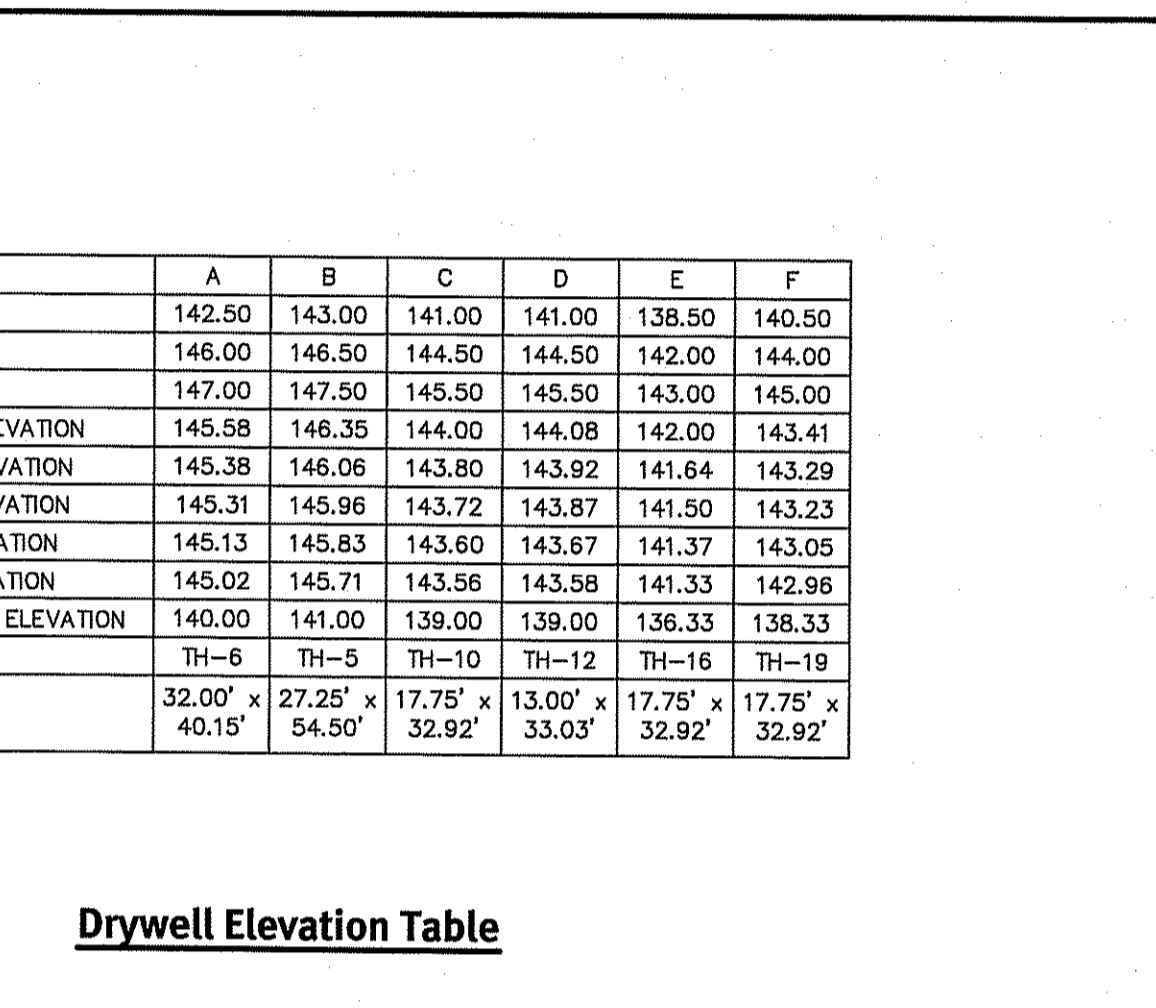
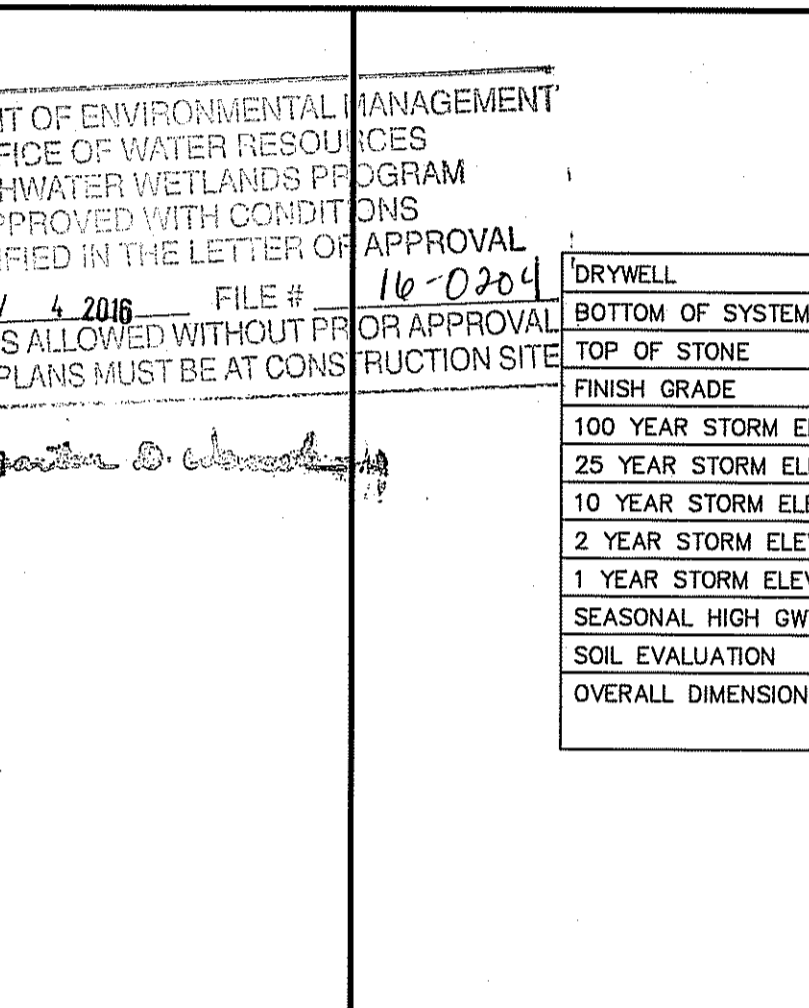
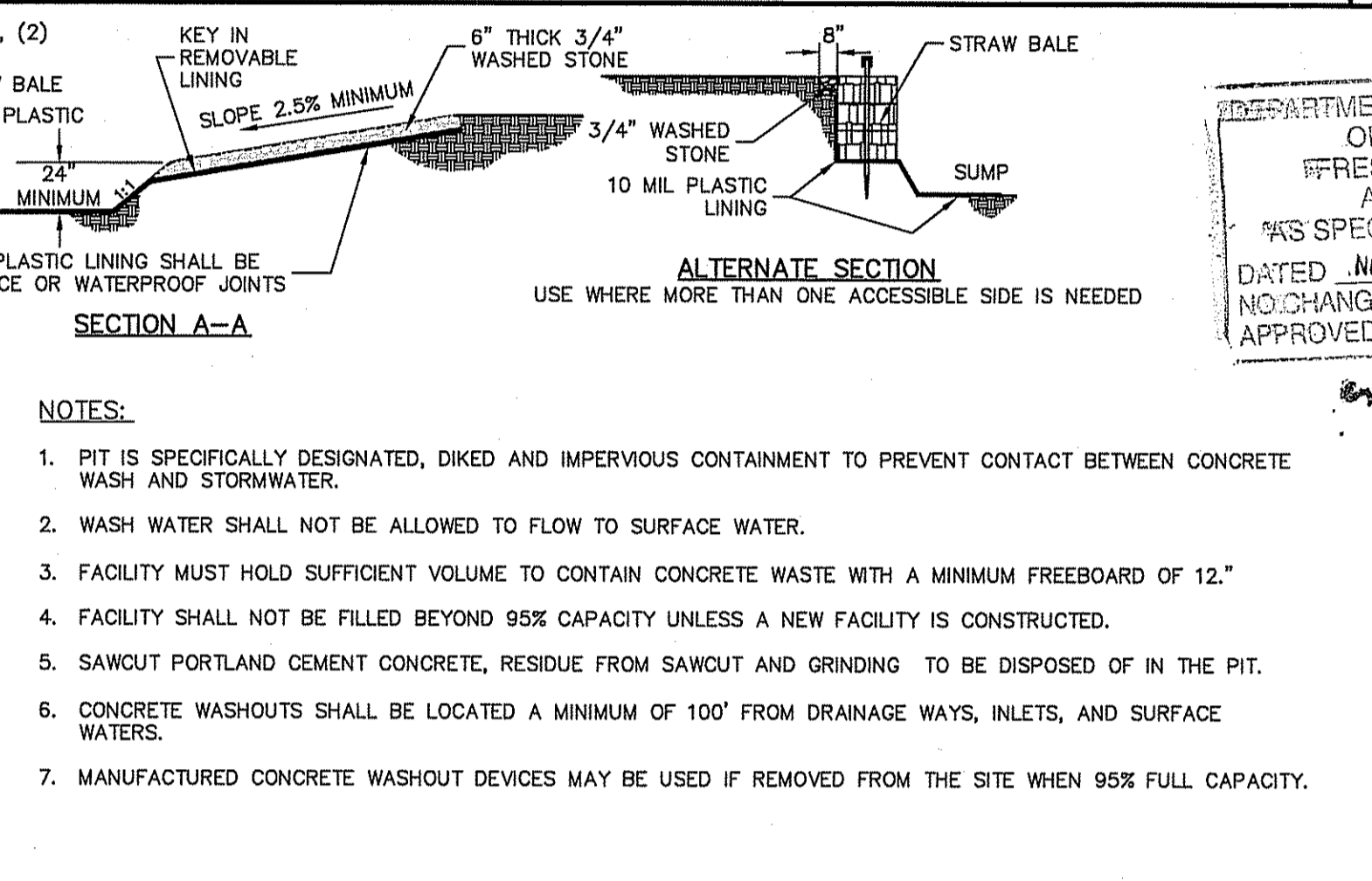
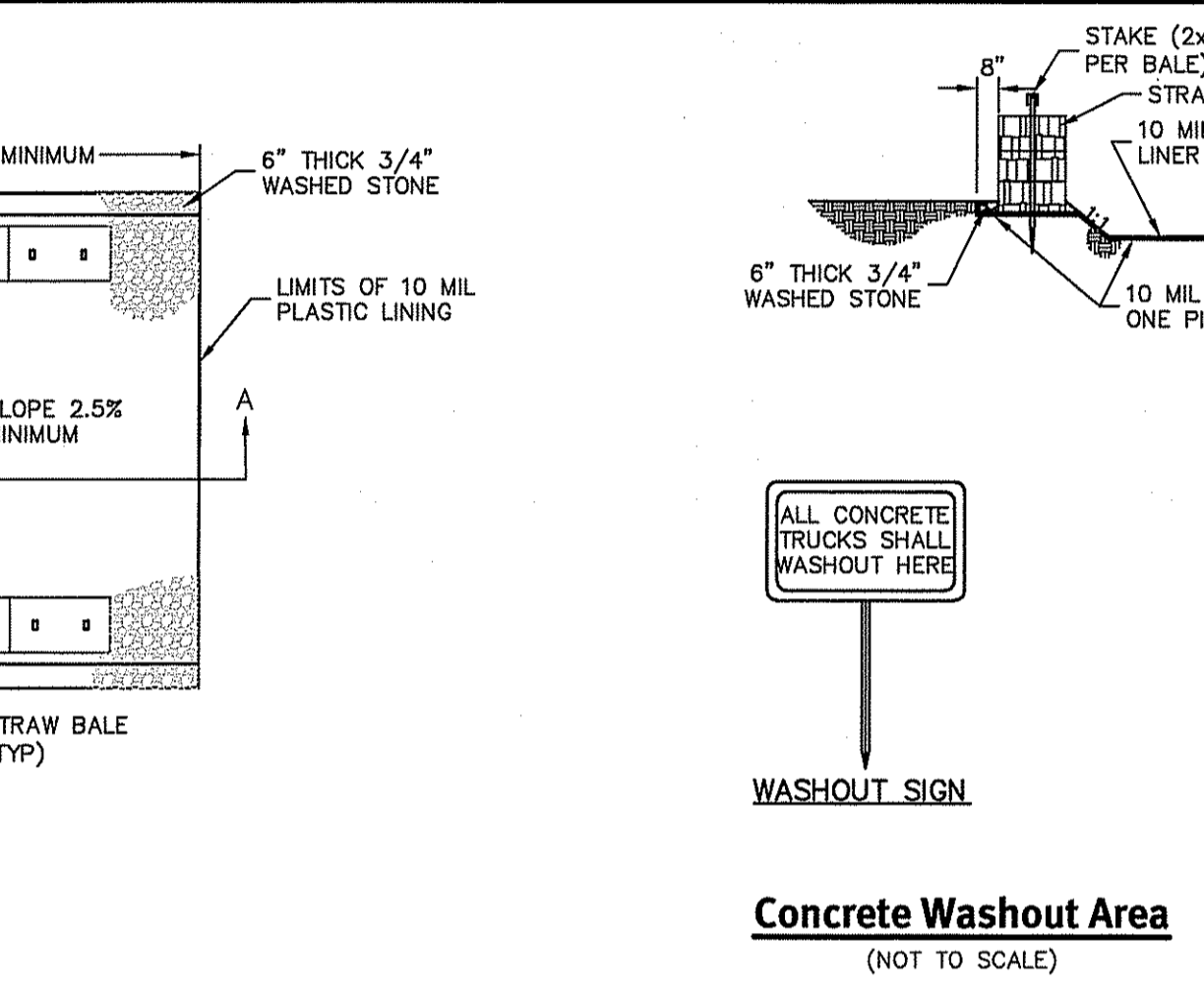
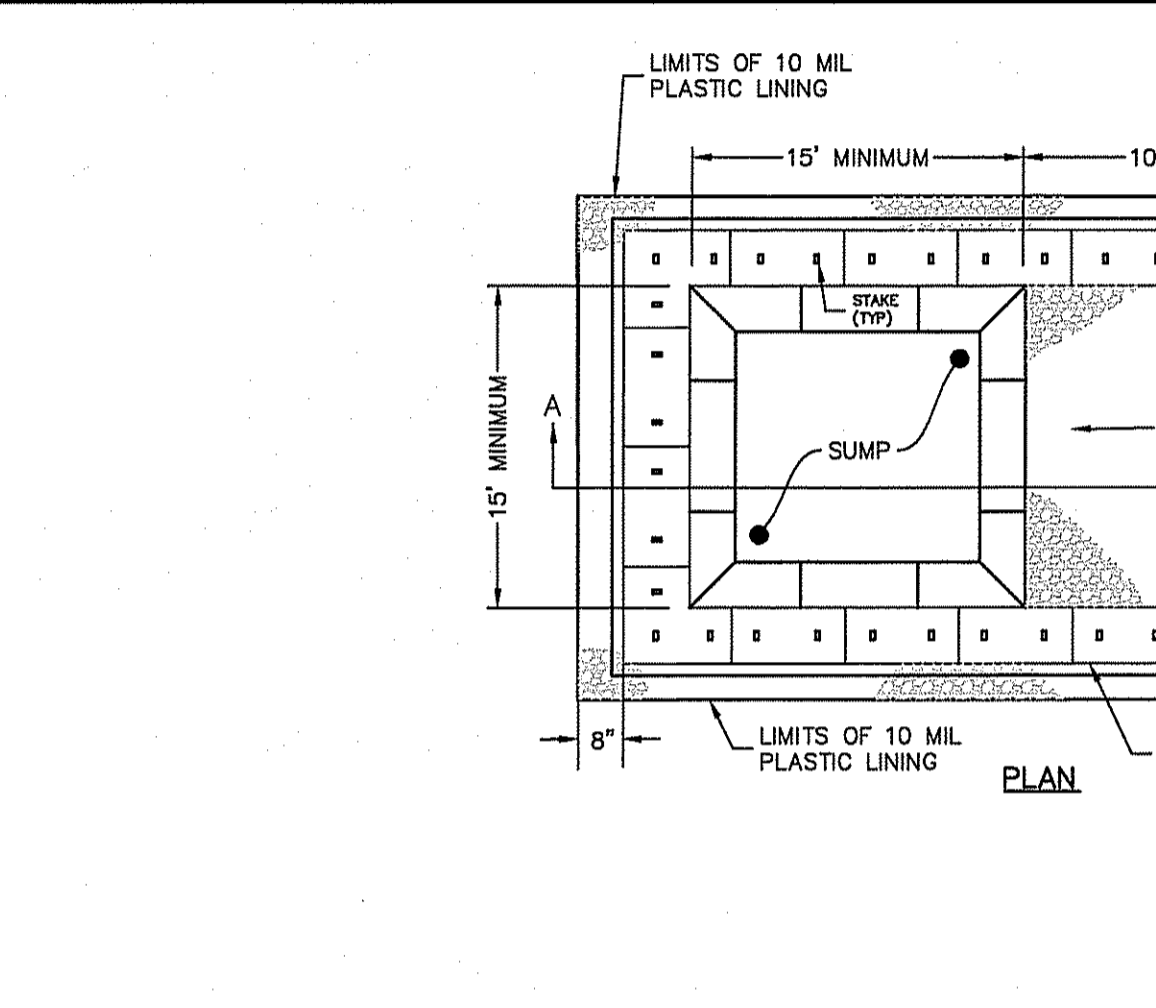
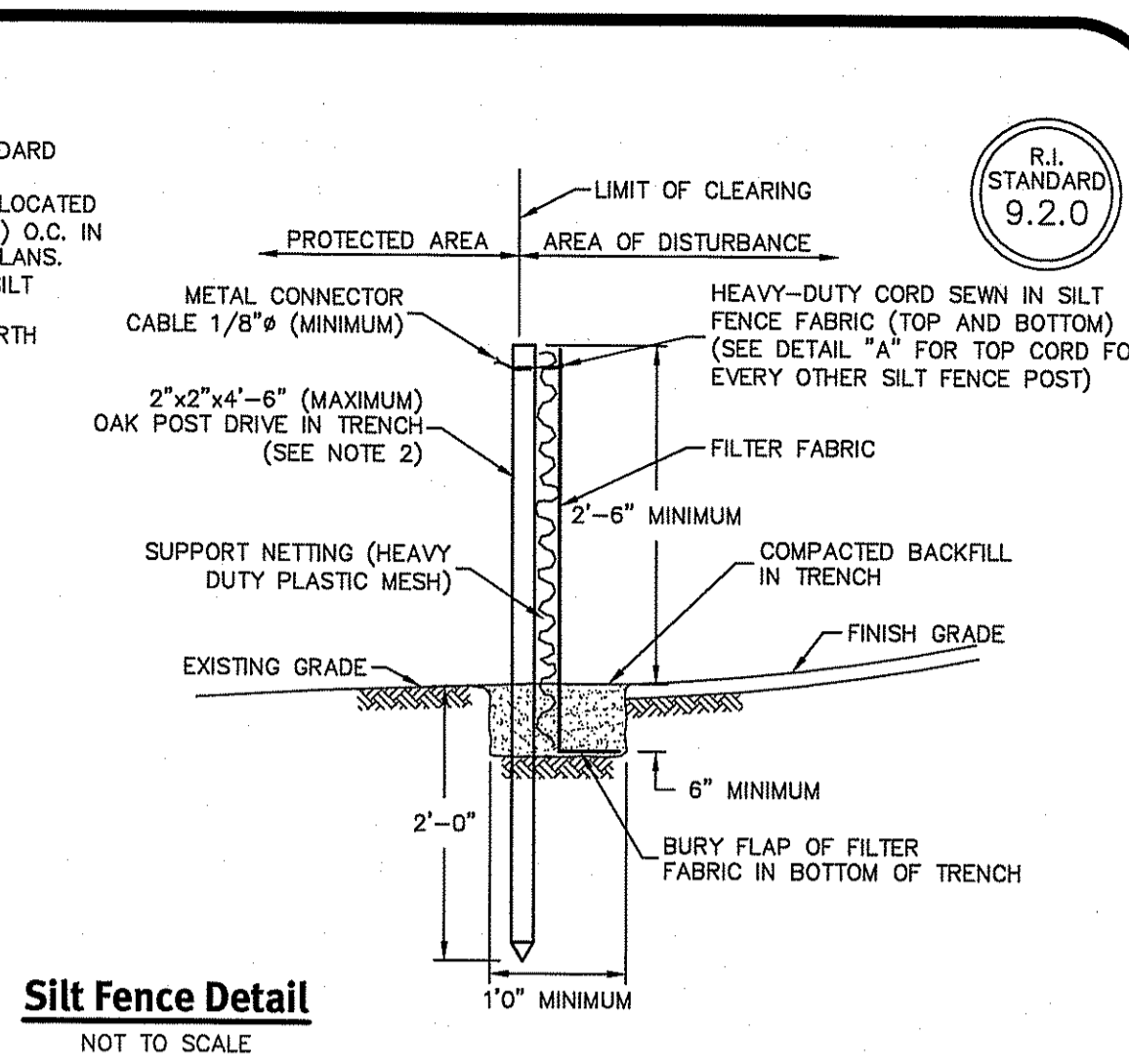
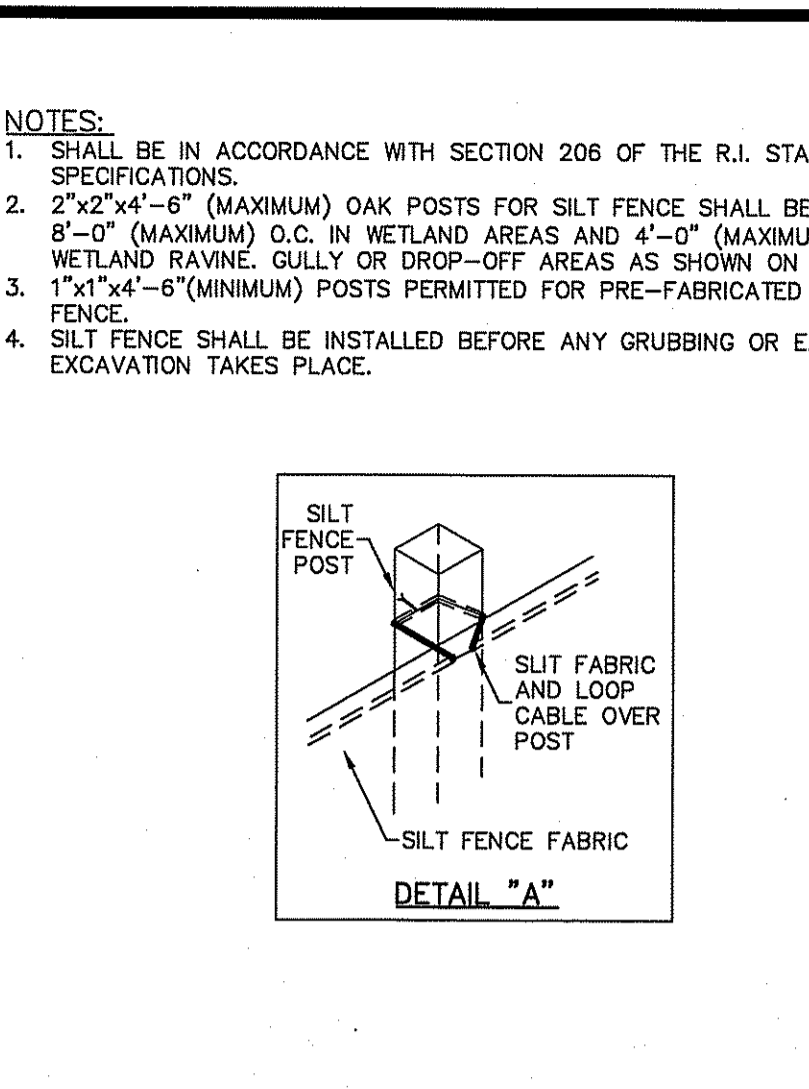
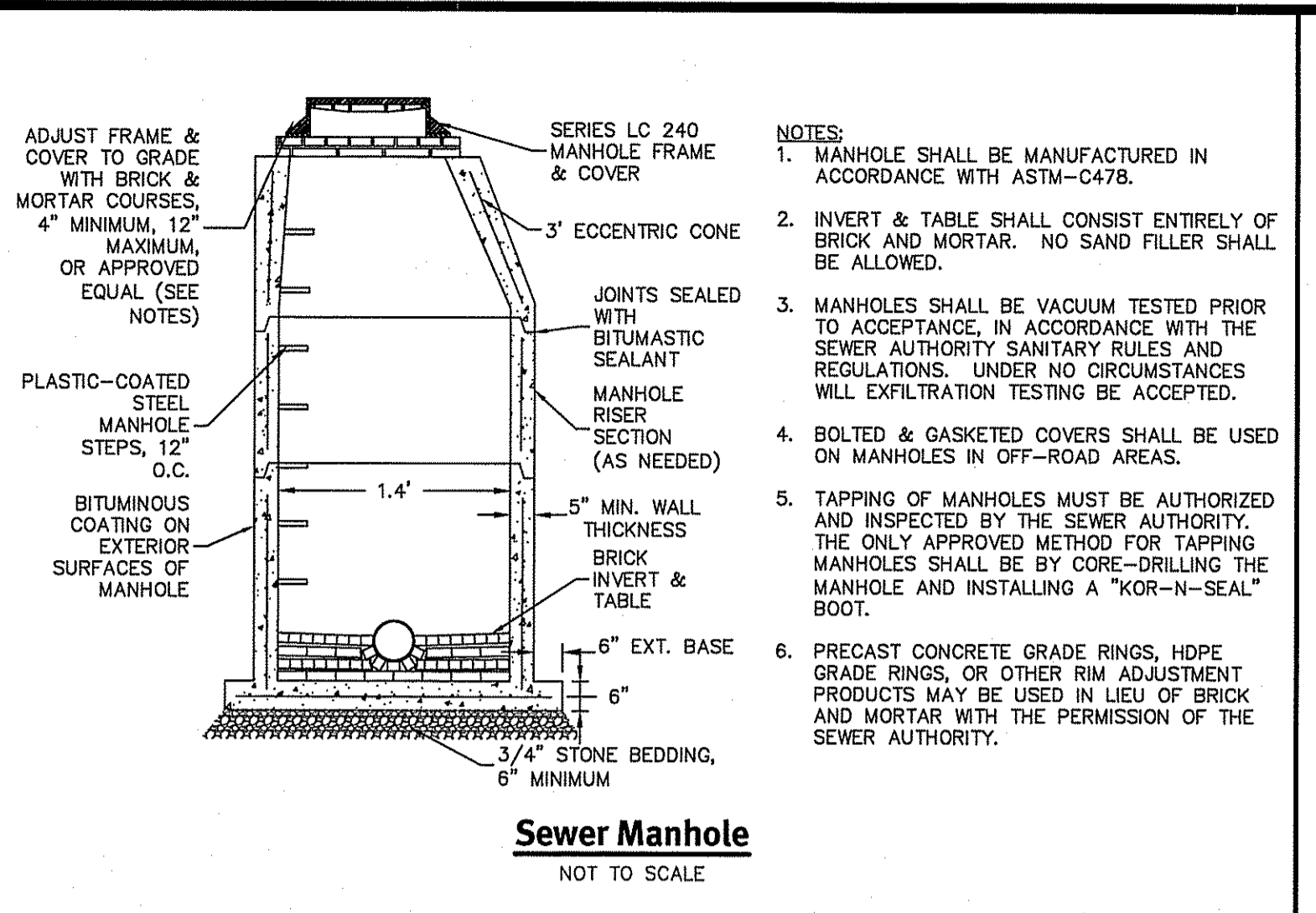
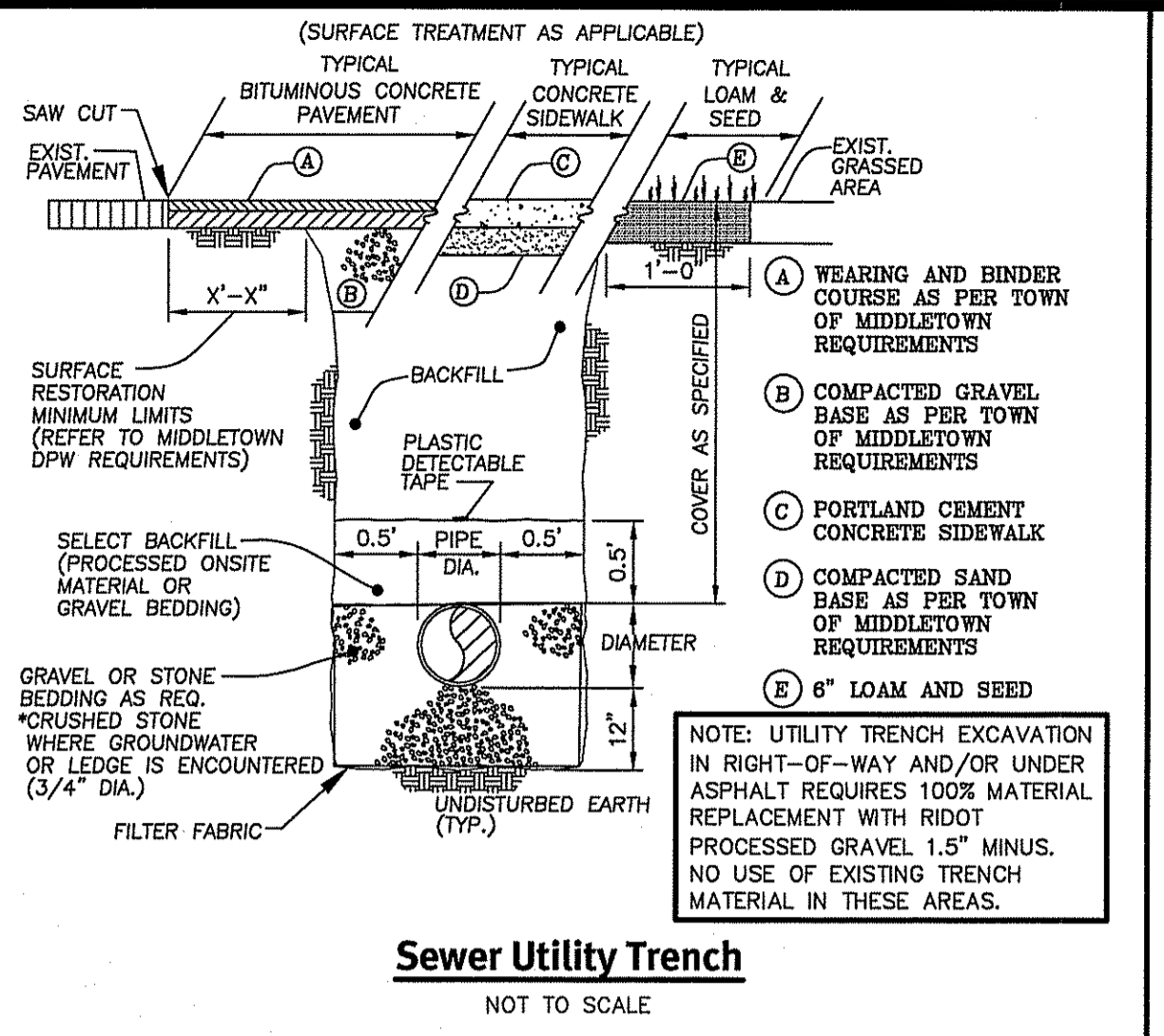
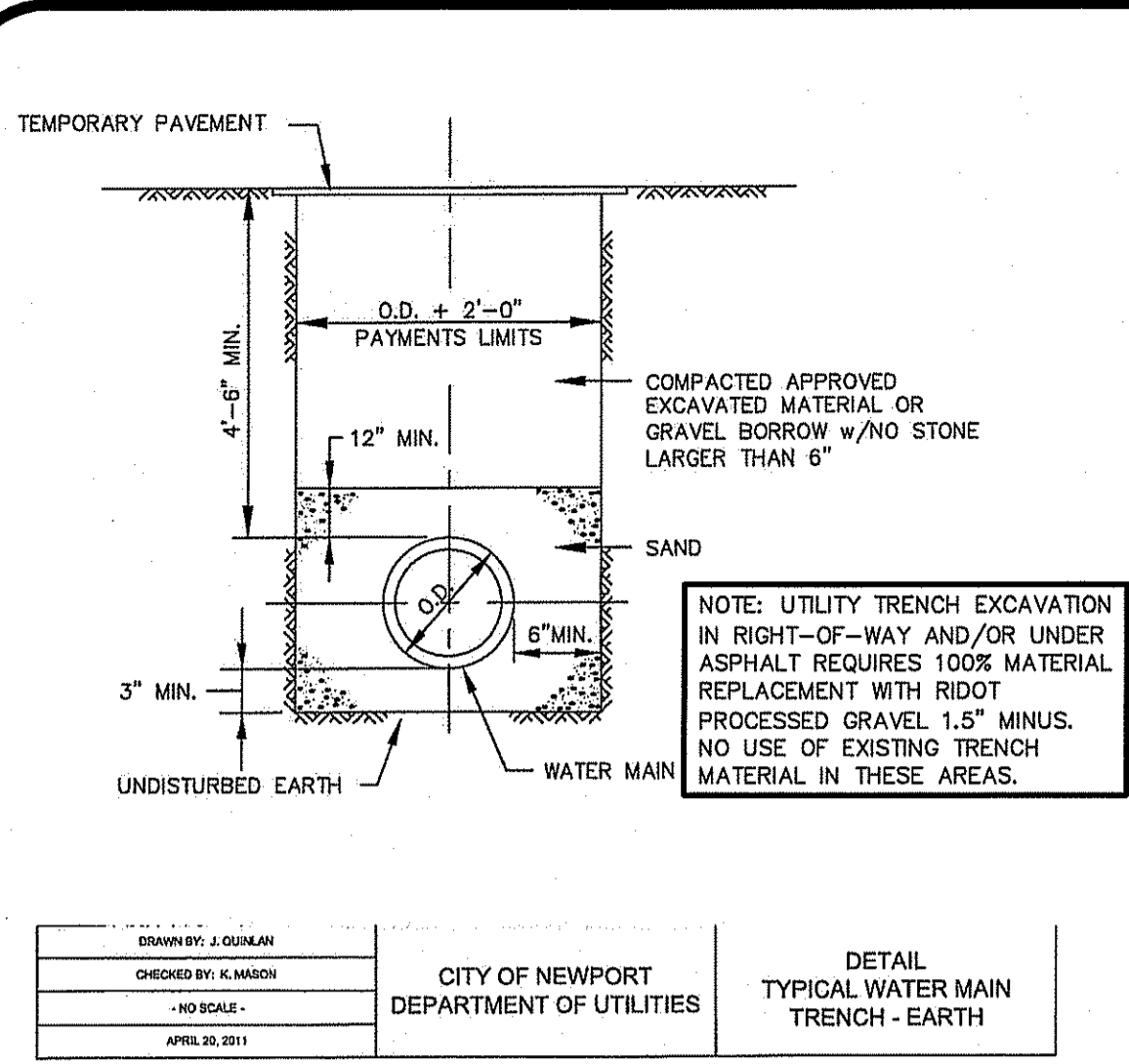
Plan & Profile - Drive B
West Main Road
1 Thelma Lane, Middletown, Rhode Island
Assessor's Plat 111, Lots 1A, 23 & 25B
KREG, LLC
39 Nooseneck Hill Road, West Greenwich, Rhode Island 02887
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No.	Date	Description	Drawn By	Check By
1	10/13/16	RECEIVED	B.F.L.	B.F.L.
2	10/13/16	PLAN REVIEW	B.F.L.	B.F.L.
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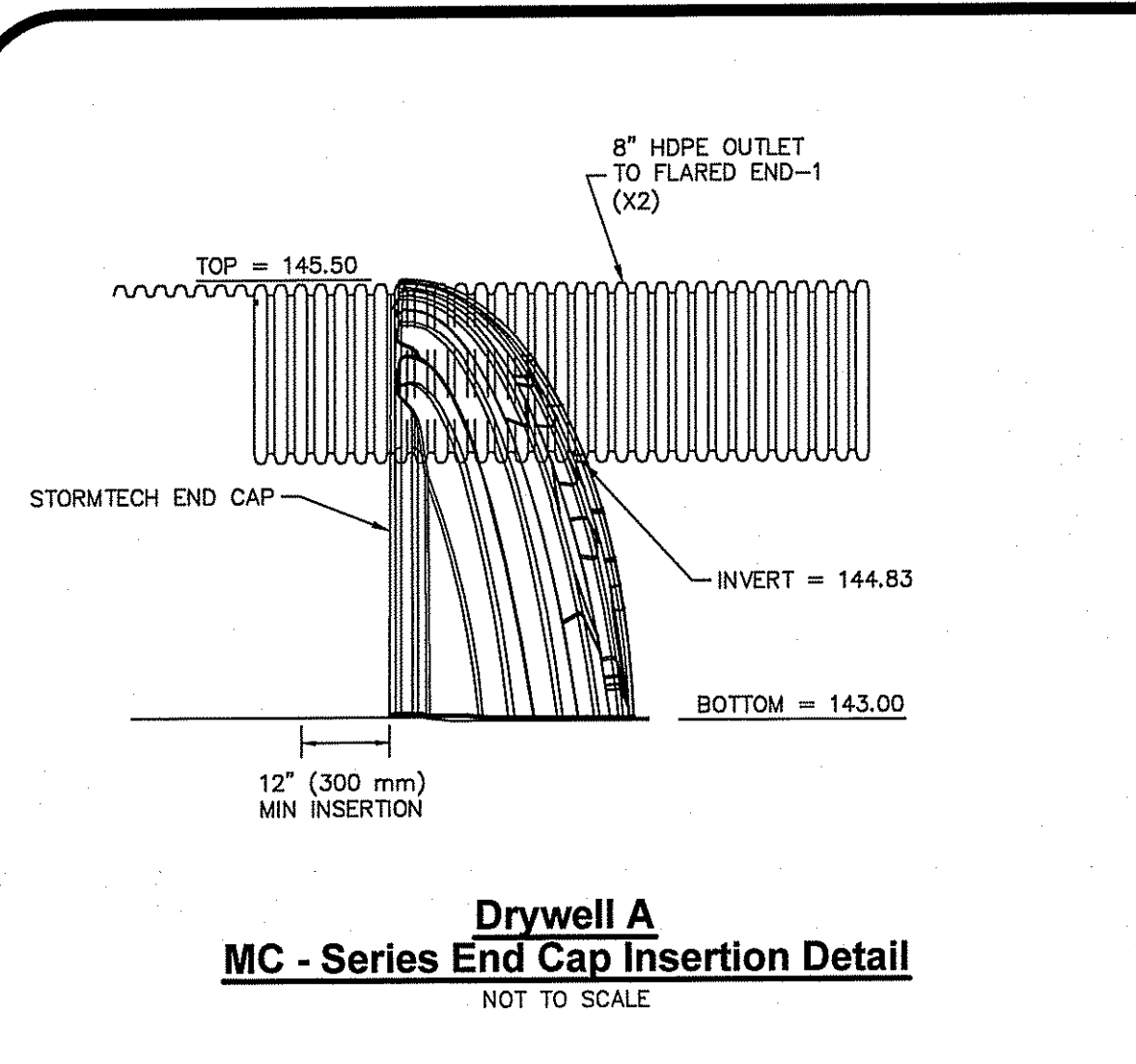


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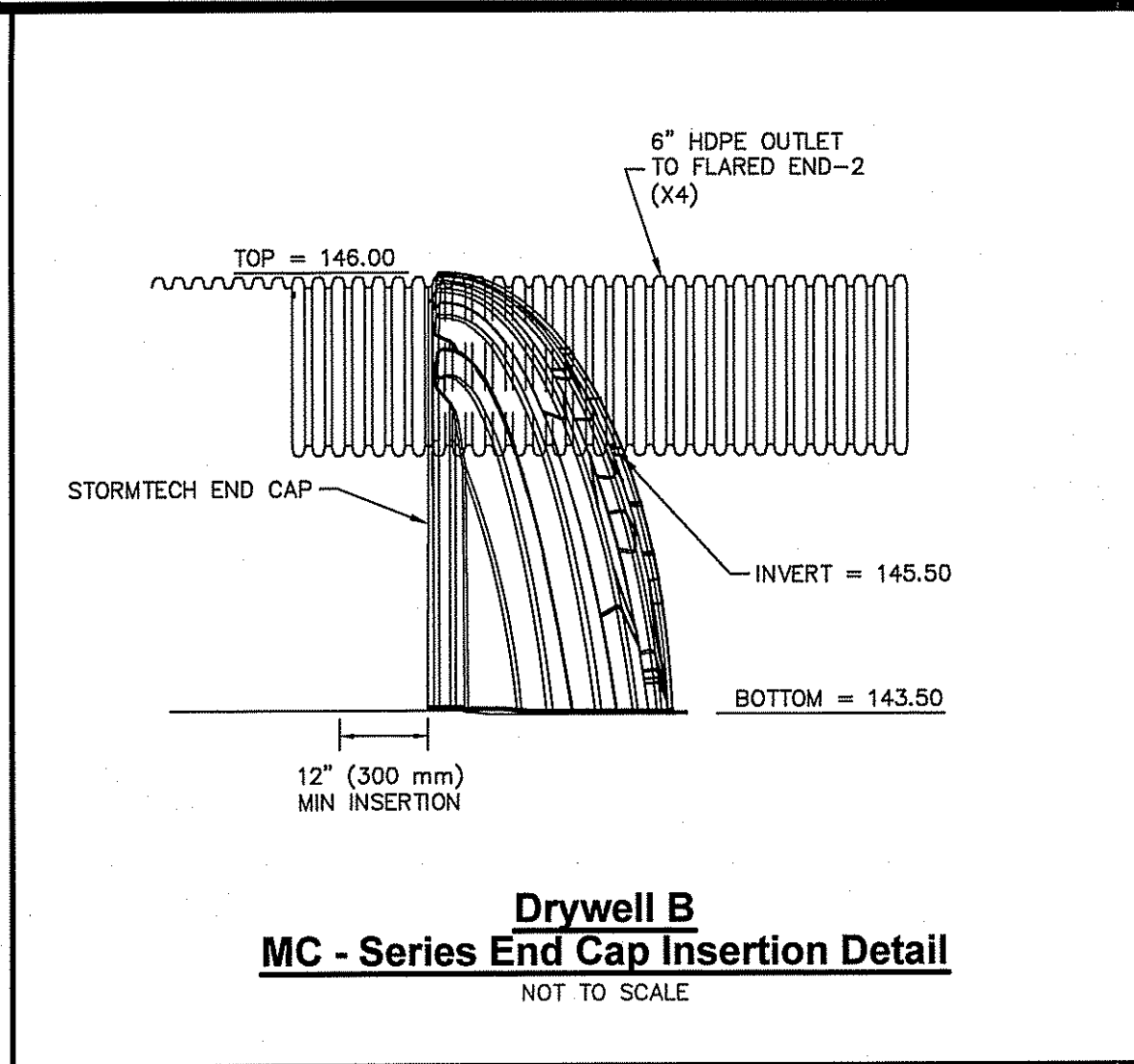
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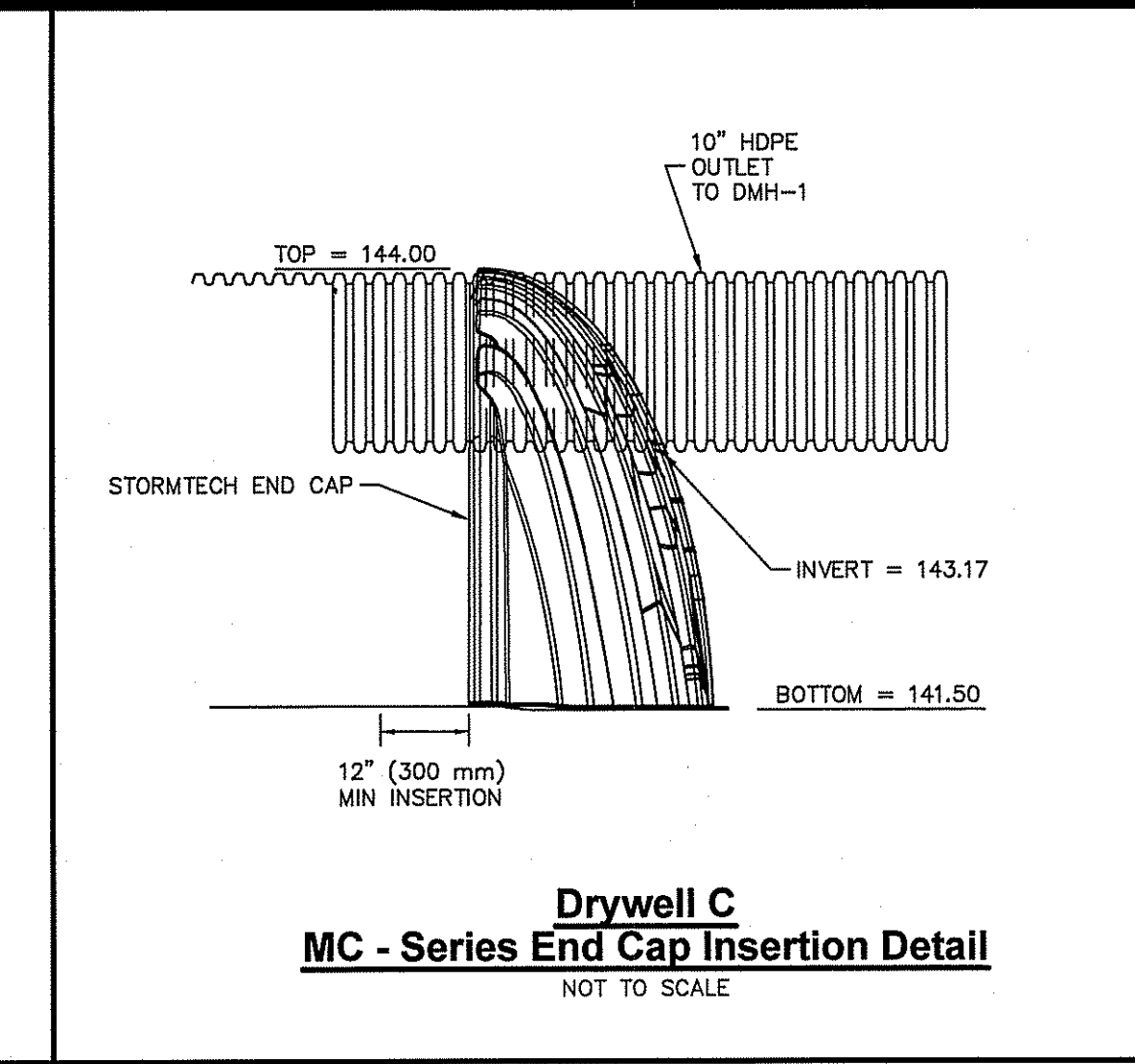
Detail Sheet - 1
West Main Road
 1 Thelma Lane, Middletown, Rhode Island
 Assessor's Plat 111, Lots 14, 23 & 28
KREG, LLC
 39 Nonesuch Hill Road, West Greenwich, Rhode Island 02887
 Tel: (401) 267-0009 Fax: (401) 794-2575
 Design By: B.F.L.



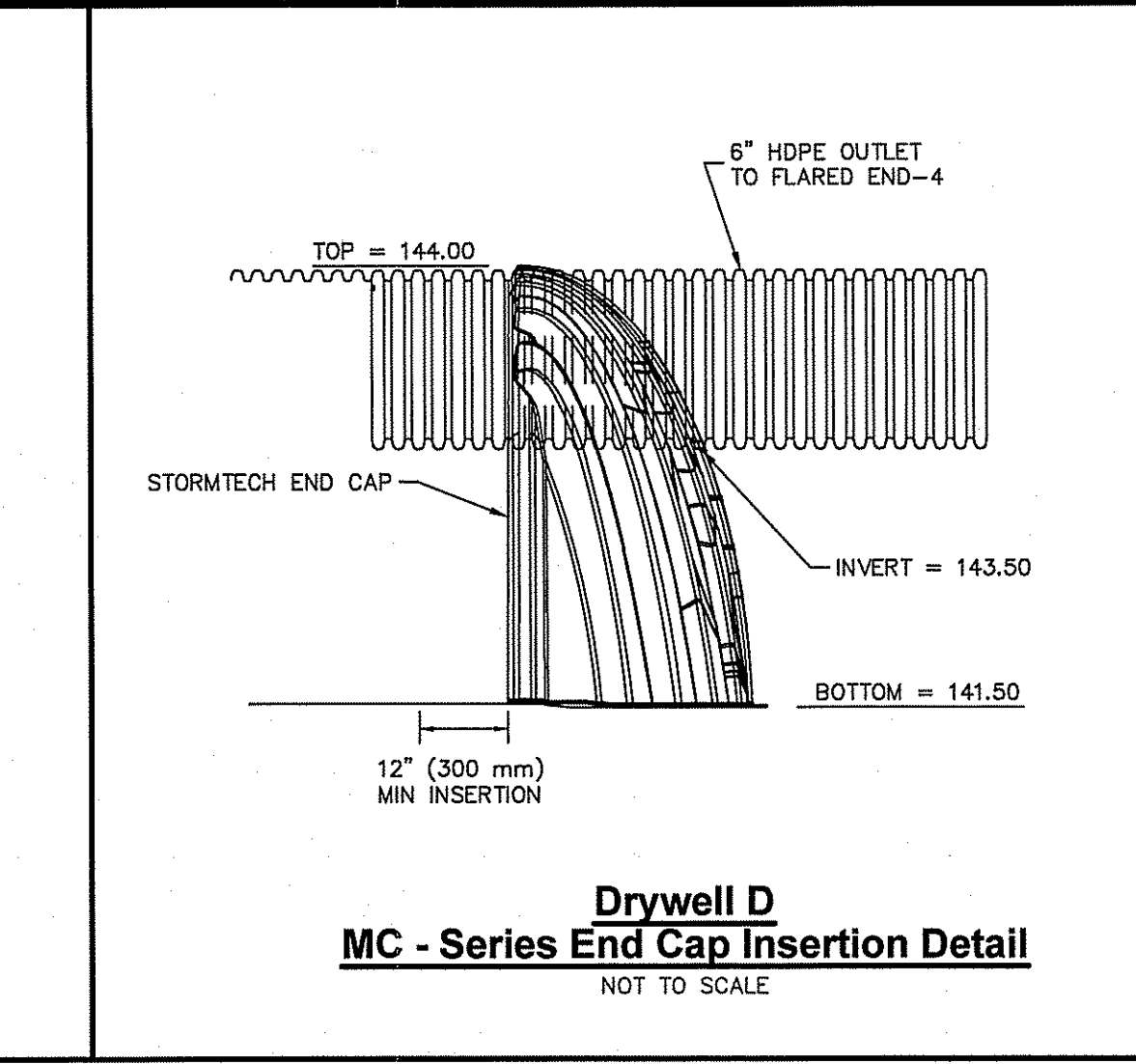
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NOT TO SCALE



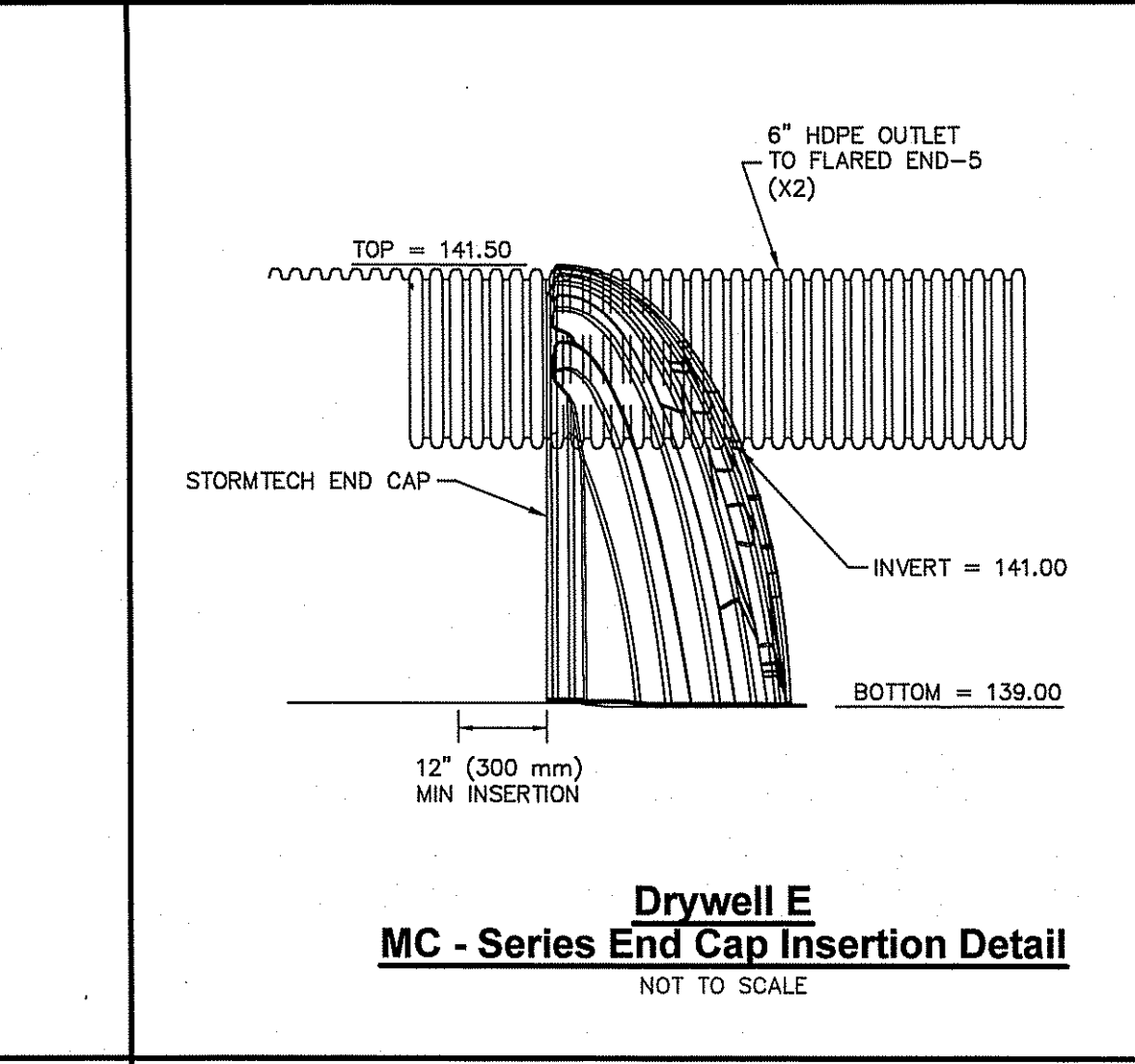
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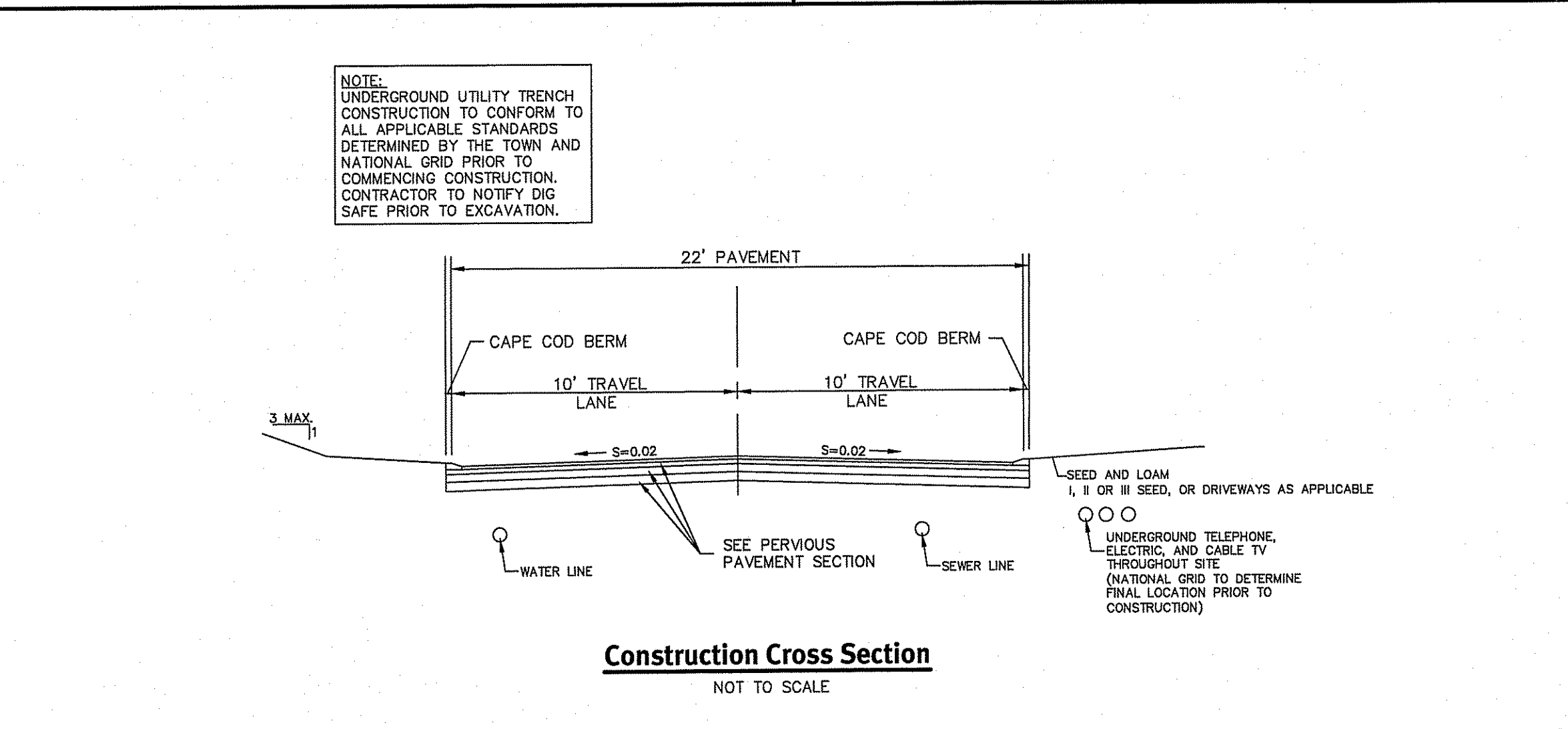
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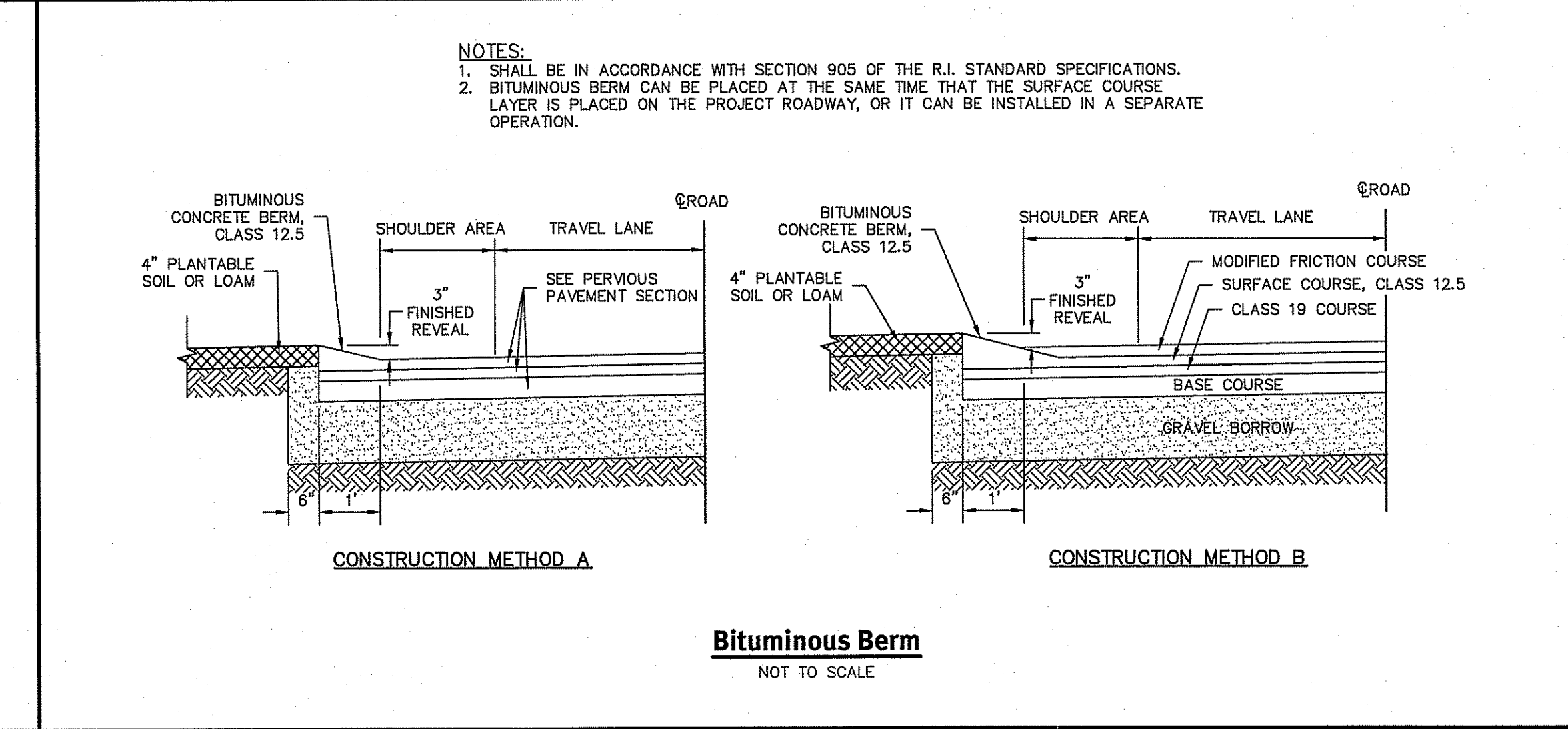
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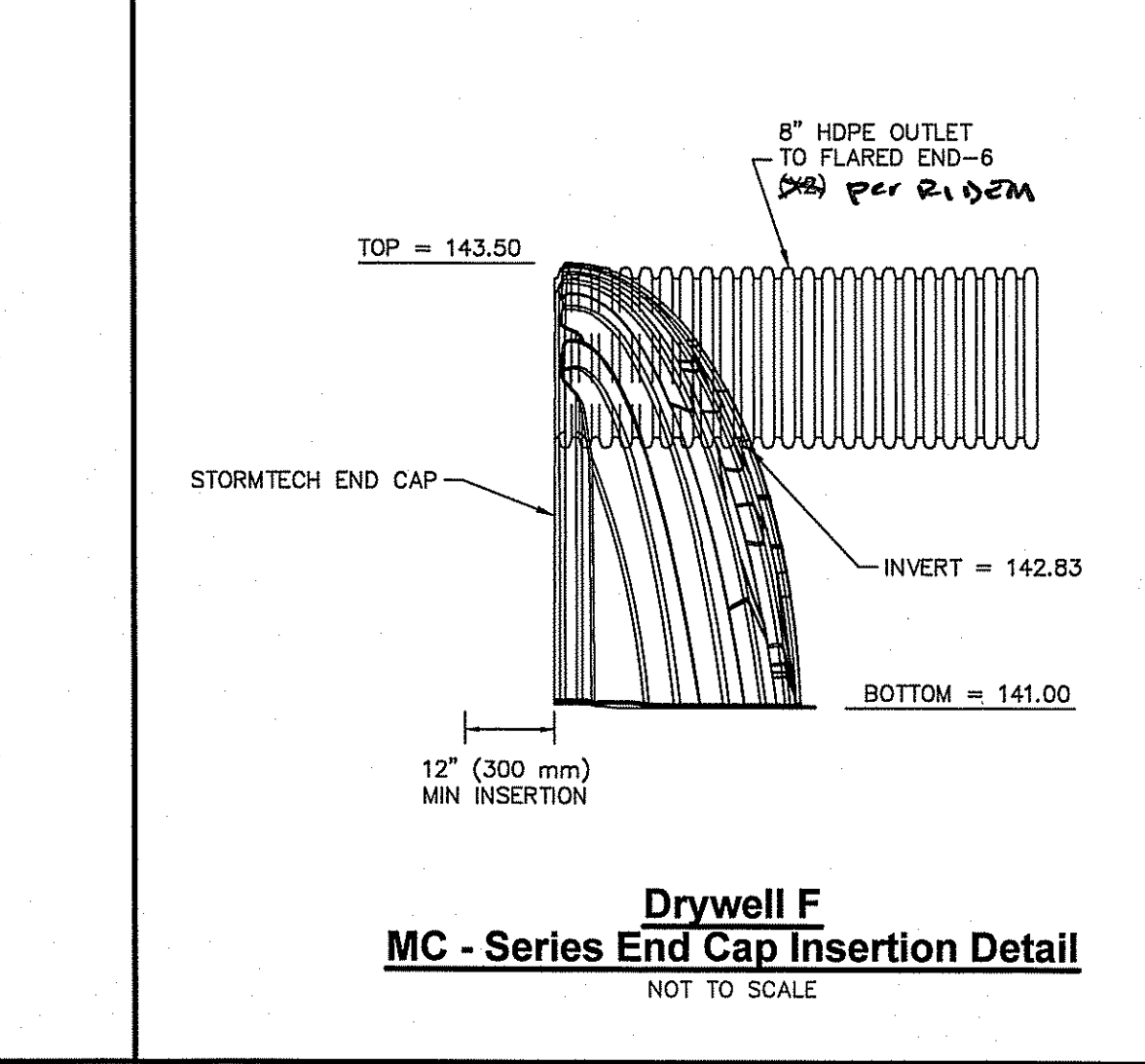
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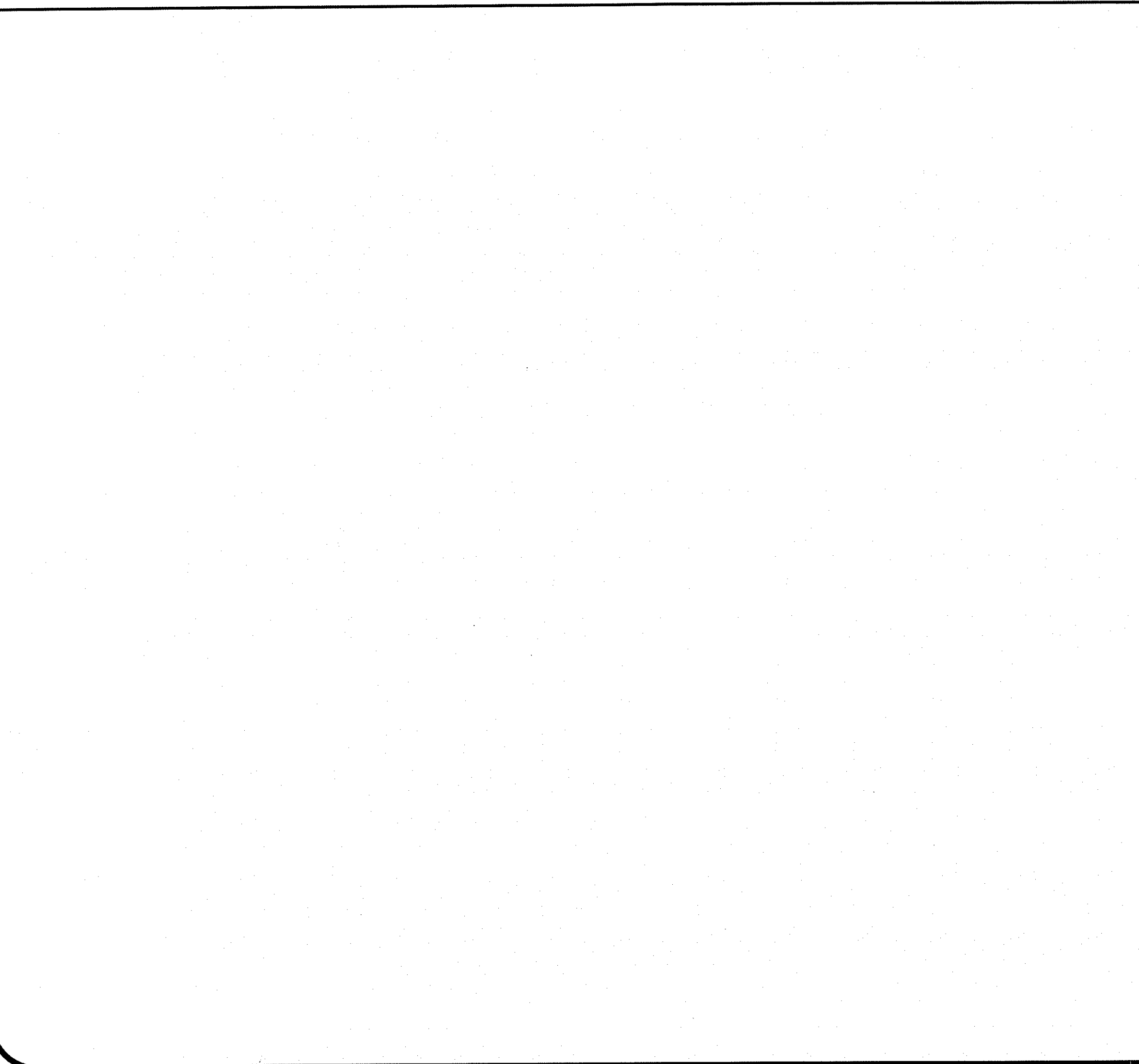
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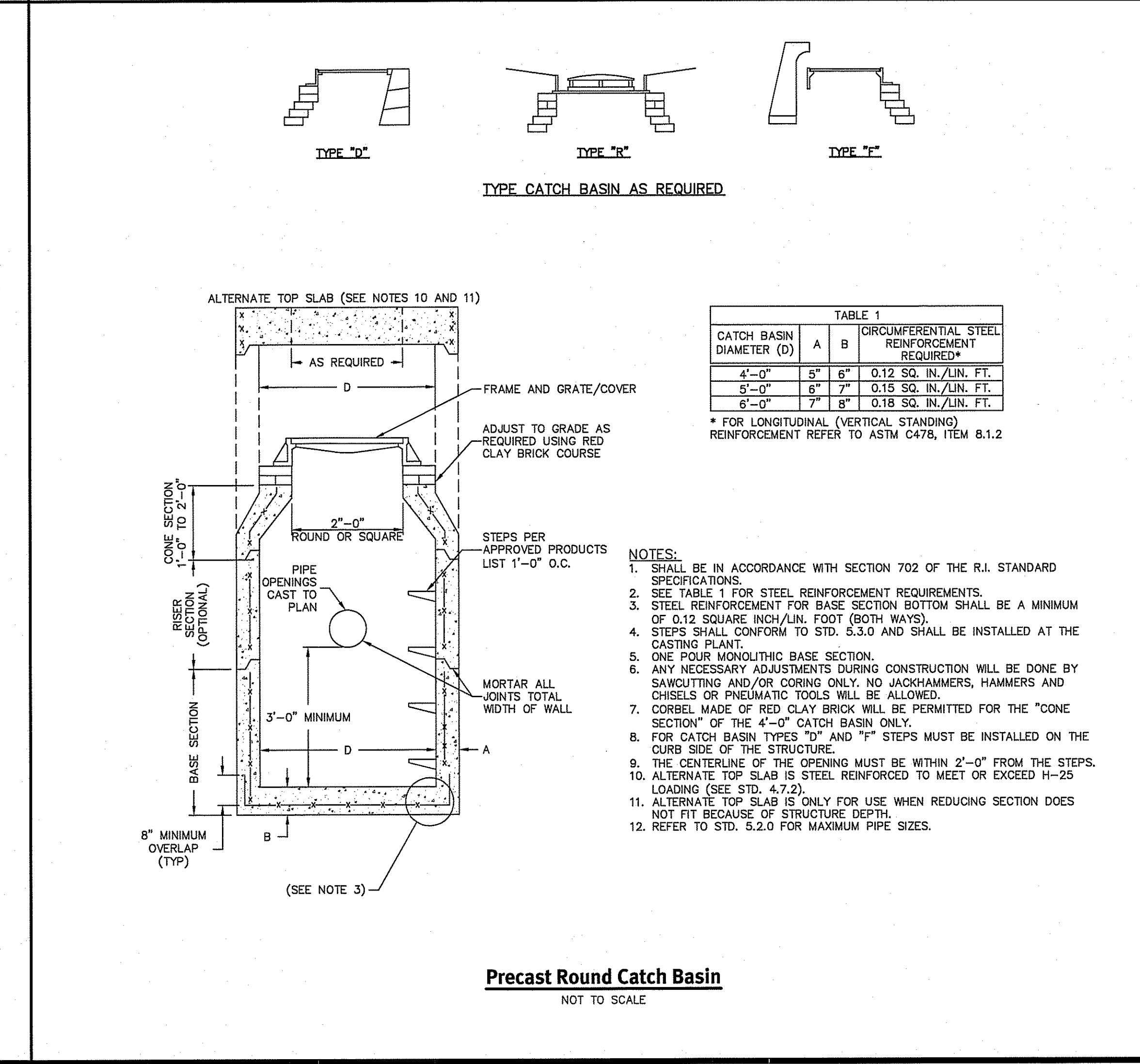
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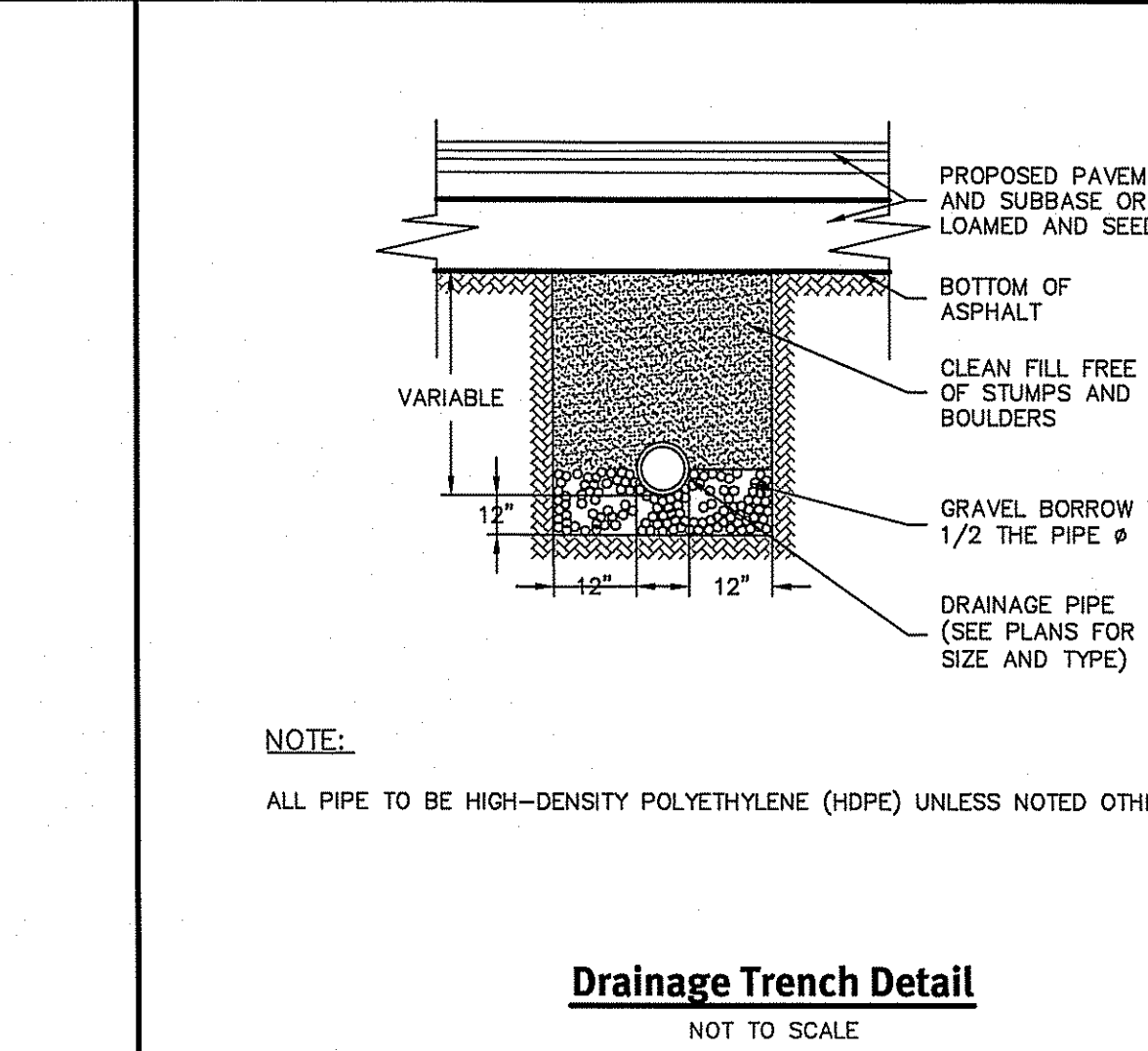
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Precast Round Catch Basin
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Drainage Trench Detail
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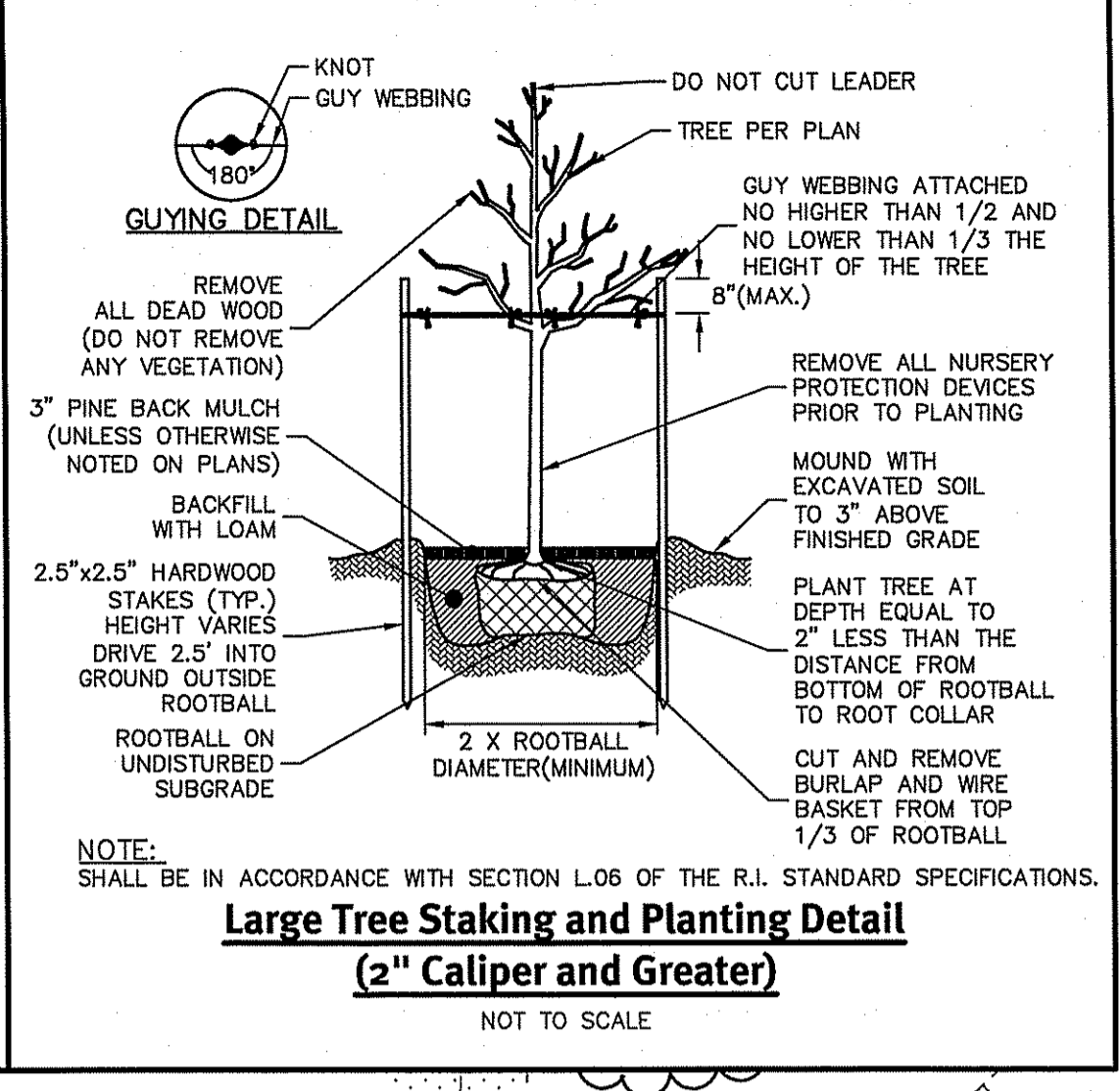
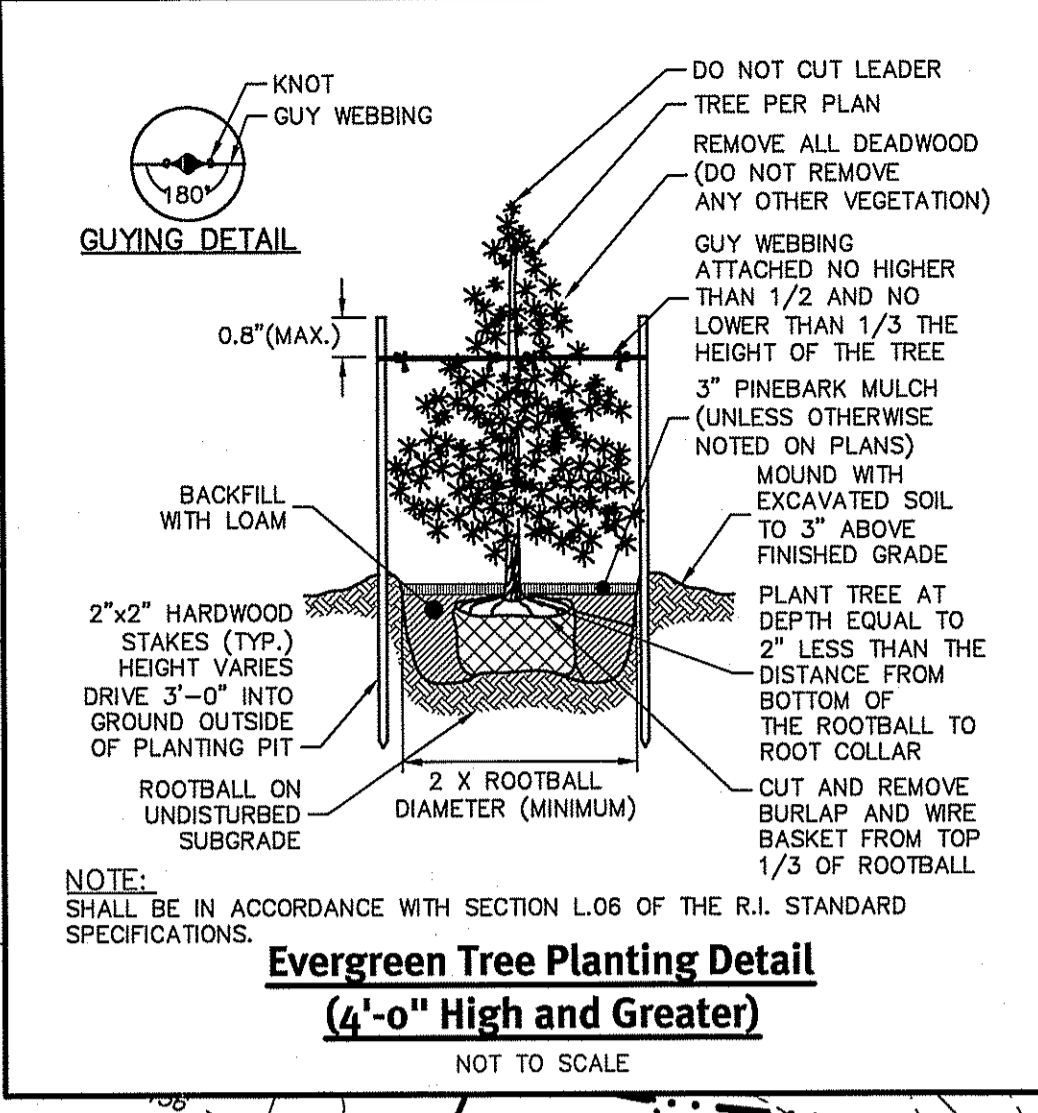
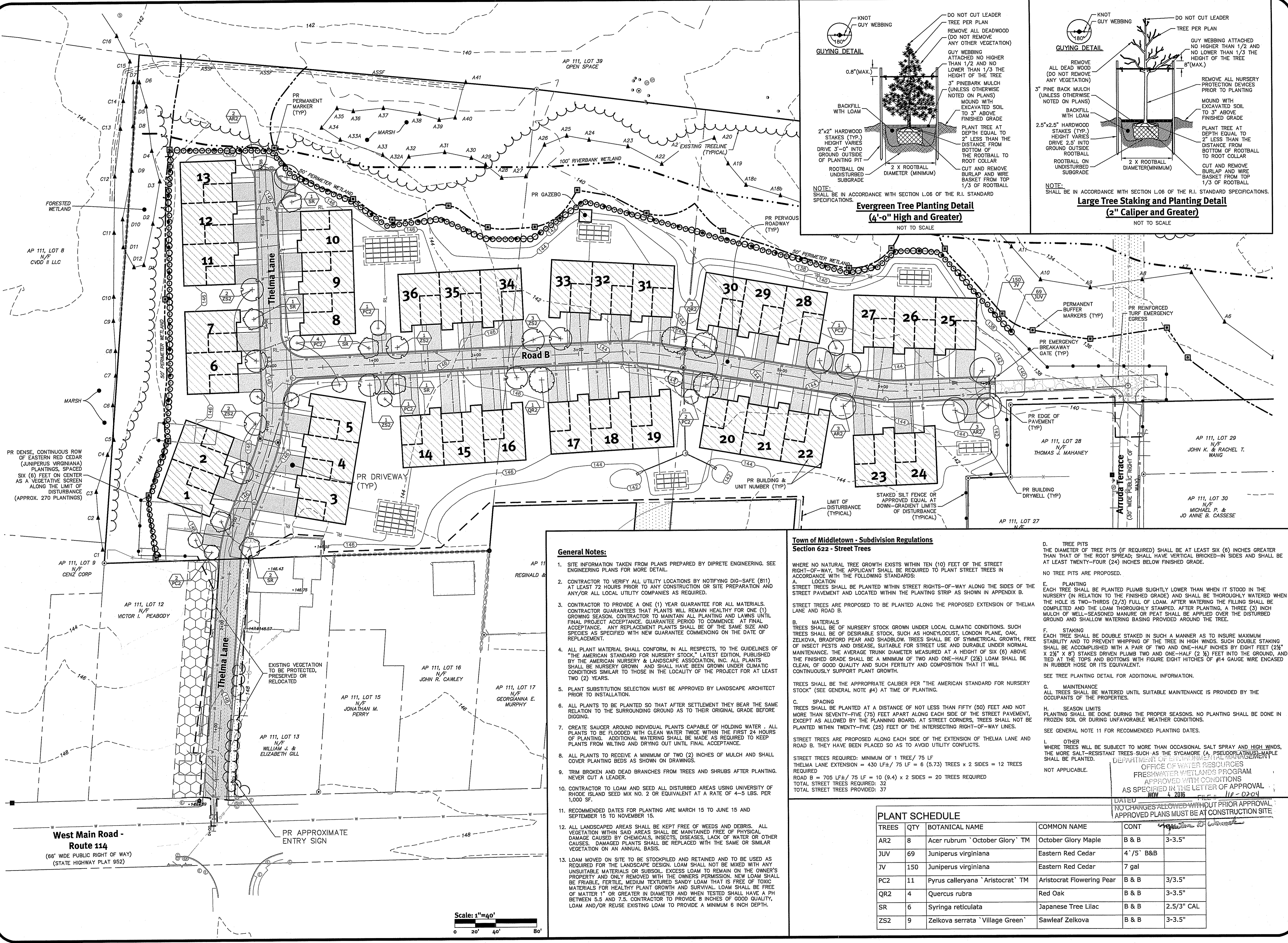


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Environmental Management
Office of Water Resources
Design By: K.J.D.

Detail Sheet - 2
West Main Road
1 Thelma Lane, Middletown, Rhode Island
Assessor's Plat 111, Lots 14, 23 & 23B
Applicant: **KREG, LLC**
39 Nonesneck Hill Road, West Greenwich, Rhode Island 02887
Tel: 401-527-0009 Fax: 401-784-3575
SHEET 10 OF 11



- General Notes:**
- SITE INFORMATION TAKEN FROM PLANS PREPARED BY DIPRETE ENGINEERING. SEE ENGINEERING PLANS FOR MORE DETAIL.
 - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
 - CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
 - ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
 - PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
 - CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
 - ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
 - TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
 - CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING UNIVERSITY OF RHODE ISLAND SEED MIX NO. 2 OR EQUIVALENT AT A RATE OF 4-5 LBS. PER 1,000 SF.
 - RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
 - ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
 - LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRAGILE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.

Town of Middletown - Subdivision Regulations Section 622 - Street Trees

WHERE NO NATURAL TREE GROWTH EXISTS WITHIN TEN (10) FEET OF THE STREET RIGHT-OF-WAY, THE APPLICANT SHALL BE REQUIRED TO PLANT STREET TREES IN ACCORDANCE WITH THE FOLLOWING STANDARDS:

A. LOCATION
STREET TREES SHALL BE PLANTED WITHIN STREET RIGHTS-OF-WAY ALONG THE SIDES OF THE STREET PAVEMENT AND LOCATED WITHIN THE PLANTING STRIP AS SHOWN IN APPENDIX B. STREET TREES ARE PROPOSED TO BE PLANTED ALONG THE PROPOSED EXTENSION OF THELMA LANE AND ROAD B.

B. MATERIALS
TREES SHALL BE OF NURSERY STOCK GROWN UNDER LOCAL CLIMATIC CONDITIONS. SUCH TREES SHALL BE OF DESIRABLE STOCK, SUCH AS HONEYLOCUST, LONDON PLANE, OAK, ZELKOVA, BRADFORD PEAR AND SHADBLow. TREES SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECT PESTS AND DISEASE, SUITABLE FOR STREET USE AND DURABLE UNDER NORMAL MAINTENANCE. THE AVERAGE TRUNK DIAMETER MEASURED AT A HEIGHT OF SIX (6) ABOVE THE FINISHED GRADE SHALL BE A MINIMUM OF TWO AND ONE-HALF (2½) INCHES. TREES SHALL BE CLEAN, OF GOOD QUALITY AND SUCH FERTILITY AND COMPOSITION THAT IT WILL CONTINUOUSLY SUPPORT PLANT GROWTH.

TREES SHALL BE THE APPROPRIATE CALIBER PER "THE AMERICAN STANDARD FOR NURSERY STOCK" (SEE GENERAL NOTE #4) AT TIME OF PLANTING.

C. SPACING
TREES SHALL BE PLANTED AT A DISTANCE OF NOT LESS THAN FIFTY (50) FEET AND NOT MORE THAN SEVENTY-FIVE (75) FEET APART ALONG EACH SIDE OF THE STREET PAVEMENT, EXCEPT AS ALLOWED BY THE PLANNING BOARD. AT STREET CORNERS, TREES SHALL NOT BE PLANTED WITHIN TWENTY-FIVE (25) FEET OF THE INTERSECTING RIGHT-OF-WAY LINES.

STREET TREES ARE PROPOSED ALONG EACH SIDE OF THE EXTENSION OF THELMA LANE AND ROAD B. THEY HAVE BEEN PLACED SO AS TO AVOID UTILITY CONFLICTS.

STREET TREES REQUIRED: MINIMUM OF 1 TREE / 75 LF
THELMA LANE EXTENSION = 430 LF ± / 75 LF = 6 (5.73) TREES x 2 SIDES = 12 TREES REQUIRED
ROAD B = 705 LF ± / 75 LF = 10 (9.4) x 2 SIDES = 20 TREES REQUIRED
TOTAL STREET TREES REQUIRED: 32
TOTAL STREET TREES PROVIDED: 37

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
AR2	8	Acer rubrum 'October Glory'™	October Glory Maple	B & B	3-3.5"
JUV	69	Juniperus virginiana	Eastern Red Cedar	4' / 5' B&B	
JV	150	Juniperus virginiana	Eastern Red Cedar	7 gal	
PC2	11	Pyrus calleryana 'Aristocrat'™	Aristocrat Flowering Pear	B & B	3/3.5"
QR2	4	Quercus rubra	Red Oak	B & B	3-3.5"
SR	6	Syringa reticulata	Japanese Tree Lilac	B & B	2.5/3" CAL
ZS2	9	Zelkova serrata 'Village Green'	Sawleaf Zelkova	B & B	3-3.5"

D. TREE PITS
THE DIAMETER OF TREE PITS (IF REQUIRED) SHALL BE AT LEAST SIX (6) INCHES GREATER THAN THAT OF THE ROOT SPREAD; SHALL HAVE VERTICAL BRICKED-IN SIDES AND SHALL BE AT LEAST TWENTY-FOUR (24) INCHES BELOW FINISHED GRADE.
NO TREE PITS ARE PROPOSED.

E. PLANTING
EACH TREE SHALL BE PLANTED PLUMB SLIGHTLY LOWER THAN WHEN IT STOOD IN THE NURSERY (IN RELATION TO THE FINISH GRADE) AND SHALL BE THOROUGHLY WATERED WHEN THE HOLE IS TWO-THIRDS (2/3) FULL OF LOAM. AFTER WATERING THE FILLING SHALL BE COMPLETED AND THE LOAM THOROUGHLY STAMPED. AFTER PLANTING, A THREE (3) INCH MULCH OF WELL-SEASONED MANURE OR PEAT SHALL BE APPLIED OVER THE DISTURBED GROUND AND SHALLOW WATERING BASING PROVIDED AROUND THE TREE.

F. STAKING
EACH TREE SHALL BE DOUBLE STAKED IN SUCH A MANNER AS TO INSURE MAXIMUM STABILITY AND TO PREVENT WHIPPING OF THE TREE IN HIGH WINDS. SUCH DOUBLE STAKING SHALL BE ACCOMPLISHED WITH A PAIR OF TWO AND ONE-HALF INCHES BY EIGHT FEET (2½" X 2½" X 8') STAKES DRIVEN PLUMB TWO AND ONE-HALF (2½) FEET INTO THE GROUND, AND TIED AT THE TOPS AND BOTTOMS WITH FIGURE EIGHT HITCHES OF #14 GAUGE WIRE ENCASED IN RUBBER HOSE OR ITS EQUIVALENT.

SEE TREE PLANTING DETAIL FOR ADDITIONAL INFORMATION.

G. MAINTENANCE
ALL TREES SHALL BE WATERED UNTIL SUITABLE MAINTENANCE IS PROVIDED BY THE OCCUPANTS OF THE PROPERTIES.

H. SEASON LIMITS
PLANTING SHALL BE DONE DURING THE PROPER SEASONS. NO PLANTING SHALL BE DONE IN FROZEN SOIL OR DURING UNFAVORABLE WEATHER CONDITIONS.
SEE GENERAL NOTE 11 FOR RECOMMENDED PLANTING DATES.

I. OTHER
WHERE TREES WILL BE SUBJECT TO MORE THAN OCCASIONAL SALT SPRAY AND HIGH WINDS, THE MORE SALT-RESISTANT TREES SUCH AS THE SYCAMORE (A. PSEUDOPLATANUS), MAPLE SHALL BE PLANTED.

DEPARTMENT OF WATER RESOURCES
OFFICE OF WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
NOV 4 2016 FILE # 116-0204

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Diprete Engineering
99 Broadway, Newport, RI 02840
Tel: 401-639-5890 Fax: 401-664-6066 www.diprete-eng.com

Environmental Management
Office of Water Resources
NOV 4 2016 FILE # 116-0204

Landscape Plan
West Main Road
Thelma Lane, Middletown, Rhode Island
Assessor's Plat 111, Lots 14, 23 & 23B

KREG, LLC
39 Nooseneck Hill Road, West Greenwich, Rhode Island 02897
Tel: 401-267-0009 Fax: 401-784-3575

Design By: K.J.D.

APPLICANT
KREG, LLC
39 Nooseneck Hill Road, West Greenwich, Rhode Island 02897
Tel: 401-267-0009 Fax: 401-784-3575

DESIGNER
Diprete Engineering
99 Broadway, Newport, Rhode Island 02840
Tel: 401-639-5890 Fax: 401-664-6066

Scale: 1"=40'

SHEET 11 OF 11