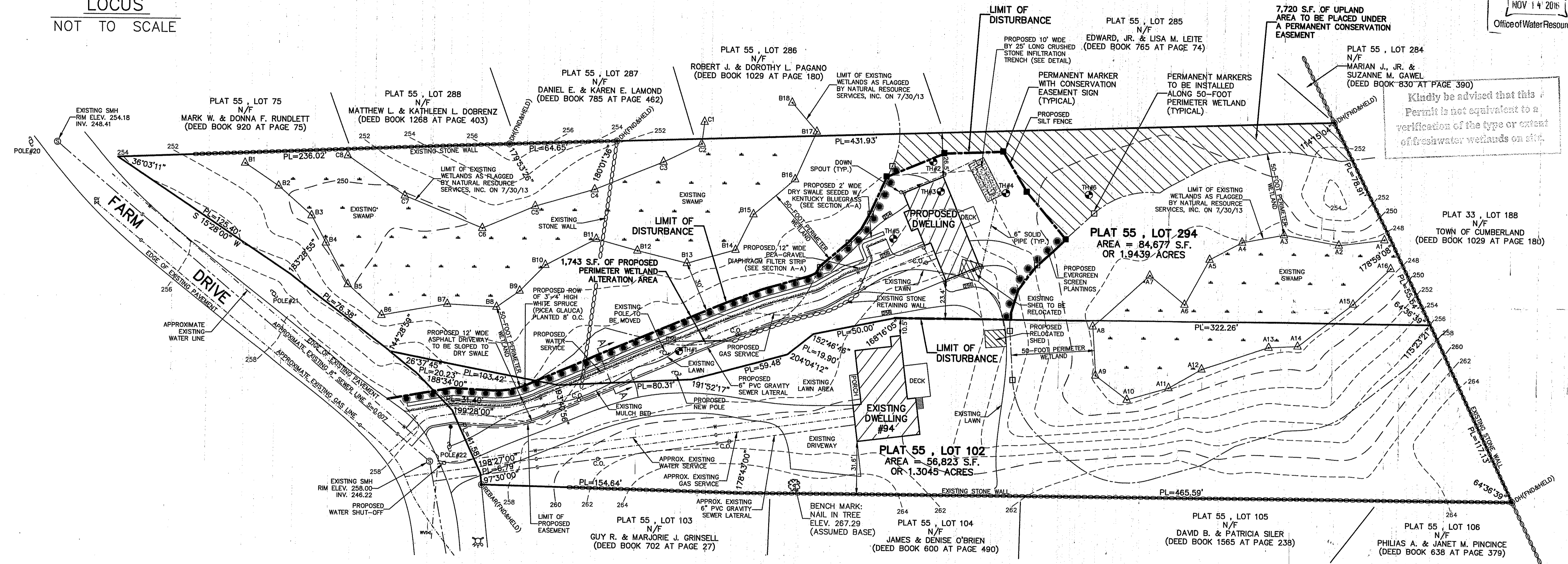


- LEGEND**
- DH DRILL HOLE
 - FND FOUND
 - PL PROPERTY LINE
 - N/F NOW OR FORMERLY
 - S.F. SQUARE FEET
 - S--- SEWER LINE
 - W--- WATER LINE
 - G--- GAS LINE
 - ELEV. ELEVATION
 - INV. INVERT
 - C.O. CLEAN-OUT
 - SMH SEWER MANHOLE
 - TH TEST HOLE

- GENERAL NOTES:**
- THE PARCEL IS PLAT 55, LOT 294.
 - THE TOTAL PARCEL AREA IS 84,677 S.F. OR 1.9439 ACRES.
 - THE AREA IS ZONED: R-1 (AREAS WITH PUBLIC SEWER AND WATER)
 MINIMUM LOT AREA = 25,000 S.F.
 MINIMUM LOT FRONTAGE = 100 FEET
 MINIMUM BUILDING SETBACKS:
 FRONT YARD = 20 FEET
 SIDE YARD = 10 FEET
 REAR YARD = 25 FEET
 MAXIMUM LOT COVERAGE = 20%
 MAXIMUM BUILDING HEIGHT = 35 FEET
 - THE TOP OF FOUNDATION FOR THE PROPOSED DWELLING ON LOT 294 IS TO BE AT ELEV. 260.0.
 - THERE ARE NO EXISTING OR PROPOSED EASEMENTS, PLAT RESTRICTIONS, OR COVENANTS, INCLUDING DRAFT LEGAL DOCUMENTS, AS A RESULT OF THIS SUBDIVISION.

LOCUS
NOT TO SCALE

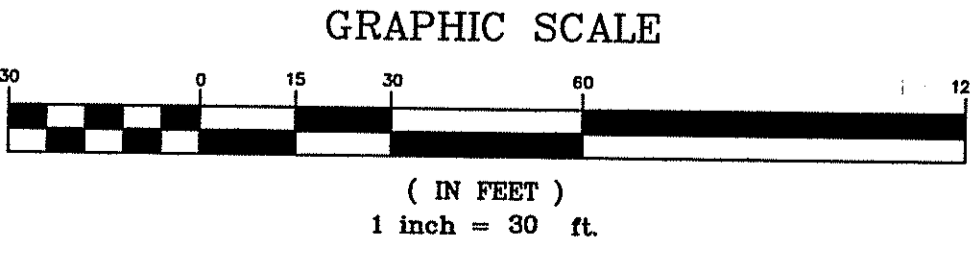
Environmental Management
 NOV 14 2016
 Office of Water Resources



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

STORMWATER MANAGEMENT PLAN:

- THE STORMWATER RUN-OFF FROM THE PROPOSED 12-FOOT WIDE ASPHALT DRIVEWAY IS TO BE SHEET (UNCONCENTRATED) FLOW TO A PROPOSED 2-FOOT WIDE BY 340-FOOT LONG DRY SWALE LOCATED ON THE NORTHERLY SIDE OF AND PARALLEL TO THE PROPOSED DRIVEWAY.
- THE PROPOSED DWELLING ROOF STORMWATER RUN-OFF IS TO BE DIRECTED TO A PROPOSED 10-FOOT WIDE BY 25-FOOT LONG INFILTRATION TRENCH.
- ANY CHANGES TO THE PROPOSED DWELLING AND DRIVEWAY ARE TO REQUIRE A NEW STORMWATER MANAGEMENT PLAN.



NICHOLAS J. PIAMPANO
 No. 6512
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

THIS STAMP IS FOR SITE DRAINAGE PURPOSES ONLY

ADVANCED CIVIL DESIGN, INC.
 CIVIL ENGINEERS

7 COUNTRYSIDE LANE
 SCITUATE, RI 02857

P1: (401) 644-8656
 P2: (401) 473-4404

MICHAEL R. DARVEAU
 No. 1978
 REGISTERED LAND SURVEYOR

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:
 LIMITED CONTENT BOUNDARY SURVEY
 DATA ACCUMULATION SURVEY

MEASUREMENT SPECIFICATION:
 CLASS I
 CLASS III

STATEMENT OF PURPOSE:
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 1) PREPARE A PROPOSED SITE PLAN.

By: MICHAEL R. DARVEAU, PLS#1978
 PRESIDENT, DARVEAU LAND SURVEYING, INC.

DATE: 11/7/16
 COA #LS-A497

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED DEC 13 2016 FILE # 16-0209
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

| | |
|---|---|
| DARVEAU LAND SURVEYING, INC. P.O. BOX 7918 CUMBERLAND, R.I. 02864 PHONE 401-475-5700 E-MAIL: DARVEAUSURVEY@COX.NET | |
| PROPOSED SITE PLAN FOR SUMMIT BUILDERS, LLC PLAT 55, LOTS 102 & 294 FARM DRIVE CUMBERLAND, RHODE ISLAND | SCALE: 1" = 30' REVISED: NOV. 7, 2016 DRAWN BY: S.A.K. DATE: DEC. 29, 2015 PROJECT NO: 2013_028 SHEET NO: 1 OF 2 |

GENERAL CONTRACTOR'S NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE TAKEN FROM EXISTING FIELD LOCATION AND/OR EXISTING PLANS.
2. NO EXCAVATION IS TO OCCUR UNTIL "DIG SAFE" AND ALL APPROPRIATE UTILITY COMPANIES HAVE BEEN NOTIFIED AND MARKED THE EXACT LOCATION ON THE GROUND.

WATER NOTES:

1. THE BEDDING FOR THE PROPOSED WATER SERVICE SHALL BE SAND, 8" AROUND THE SERVICE. IN AREAS OF LEDGE, THE SAND WILL BE 12" AROUND THE SERVICE.
2. THE PROPOSED WATER SERVICE IS TO BE 1" TYPE K COPPER TUBING.

SEWER NOTES:

1. THE BEDDING FOR THE PROPOSED SEWER LATERAL SHALL BE CLEAN COARSE SAND, 8" AROUND THE SERVICE.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONTRACTOR IS TO HAVE THE SILT FENCE INSTALLED BEFORE THE START OF ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SILT FENCE THROUGHOUT CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE SILT FENCE AFTER ALL STORM EVENTS AND REPAIR THE EROSION CONTROL MEASURES AS NEEDED.
4. ALL AREAS ON SITE NOT TO BE TREATED (ie: BUILDING, PAVEMENT, WALKWAYS, ETC.) ARE TO BE LOAMED AND SEEDED WITH A CONSERVATIVE GRASS SEED MIXTURE AS SOON AS POSSIBLE.
5. THE EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN REVEGETATED AND FULLY ESTABLISHED.

EROSION & SOIL STABILIZATION PROGRAM:

1. TEMPORARY TREATMENTS SHALL CONSIST OF A SILT FENCE, HAY BALES, WATTLES (MULCH TUBES), OR PROTECTIVE COVERS SUCH AS FABRIC MATS.
2. ALL CONTROLS SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED COVER IS ESTABLISHED.
3. NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCT. 15.
4. ALL FILL, IF REQUIRED, SHALL BE CLEAN AND THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RIDPW STANDARD SPECIFICATION SECTION 202.

SEDIMENTATION CONTROL PROGRAM:

1. A TEMPORARY SILT FENCE, HAY BALES, WATTLES, OR PROTECTIVE COVER SHALL BE INSTALLED PRIOR TO CONSTRUCTION & SHALL BE MAINTAINED CONTINUALLY. IN ADDITION TO THE LINE OF THE SILT FENCE AT THE LIMIT OF PERMANENT DISTURBANCE, TEMPORARY BARRIERS SHALL BE CONSTRUCTED AT THE TOE OF THE DISTURBED (CUT OR FILL) SLOPES UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED.
2. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE FLOW DURING STORMS AND PERIODS OF RAINFALL.
3. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.

SLOPE STABILIZATION AND VEGETATION:

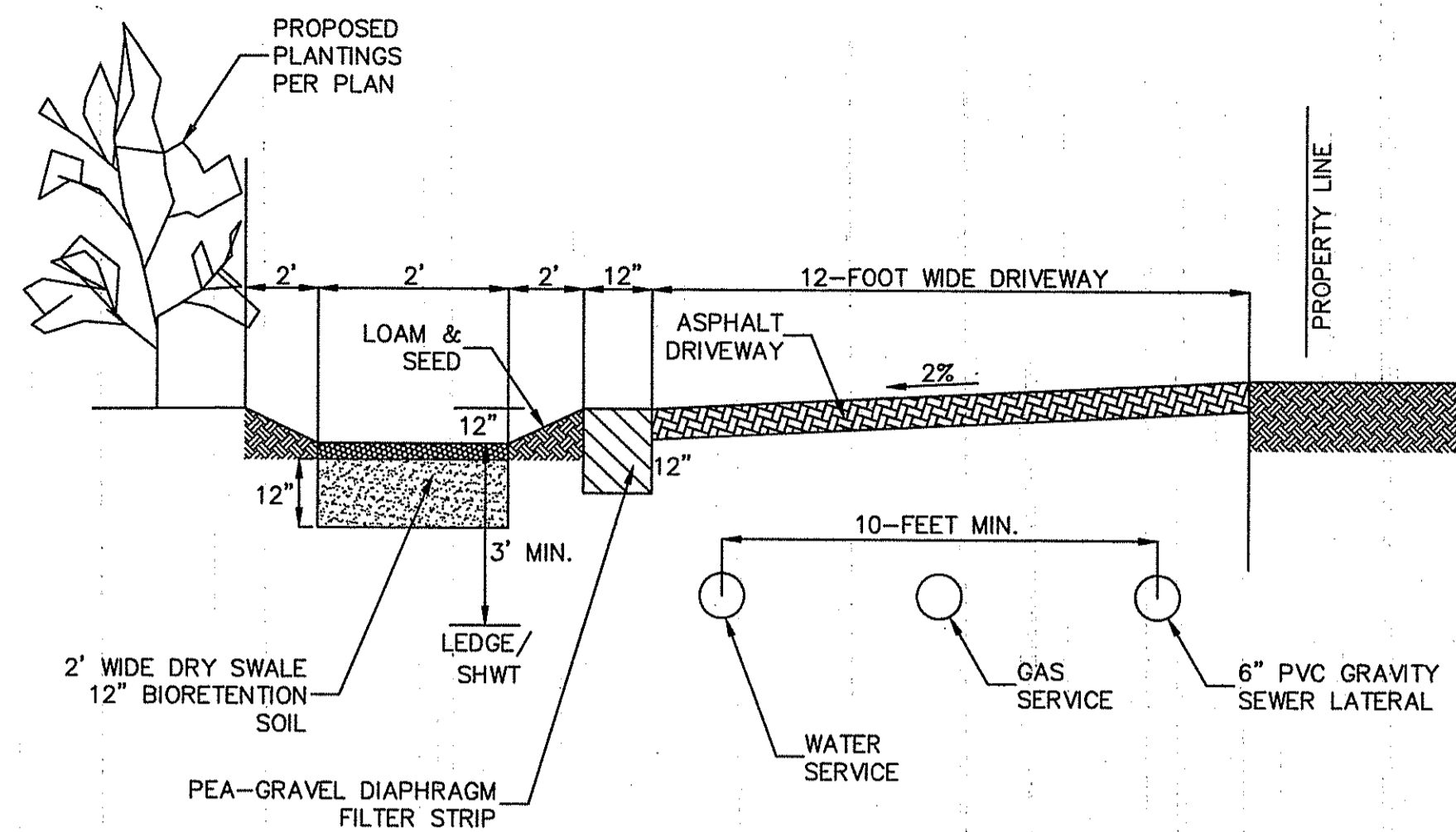
1. ALL CONTROLS SHALL BE PLACED AT THE TOE OF ALL DISTURBED SLOPES. THIS SHALL BE MAINTAINED AS A SEDIMENT BARRIER UNTIL THE SLOPES ARE STABILIZED WITH GRASS.
2. THE DISTURBED SLOPES (CUT OR FILL) SHALL BE IMMEDIATELY MULCHED AS AN EROSION PROTECTION MEASURE.
3. MAINTAIN MULCH UNTIL THE SLOPES ARE STABILIZED WITH A SATISFACTORY GROWTH OF GRASS.
4. VEGETATION REMOVED MAY BE SHREDDED AND CHIPPED ON SITE FOR USE AS MULCH, OR IT MAY BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
5. THE RESEEDING OF THE DISTURBED SLOPES SHALL BE CONDUCTED WITH SEED MATERIALS SELECTED FOR PRODUCTION OF A QUICK COVER AND HARDY STAND. PARTICULARLY A CONSERVATION GRASS SEED OR COMPARABLE. THE SEEDING SHALL BE IN ACCORDANCE WITH COMMON NURSERY PRACTICE IN THE RHODE ISLAND AREA.
6. PROVIDED THAT THE PROVISIONS OF THIS SEDIMENTATION & EROSION CONTROL PLAN ARE IMPLEMENTED, THERE WILL BE NO ADVERSE ENVIRONMENTAL EFFECTS FROM THE PROPOSED CONSTRUCTION.

STORMWATER MANAGEMENT PLAN:

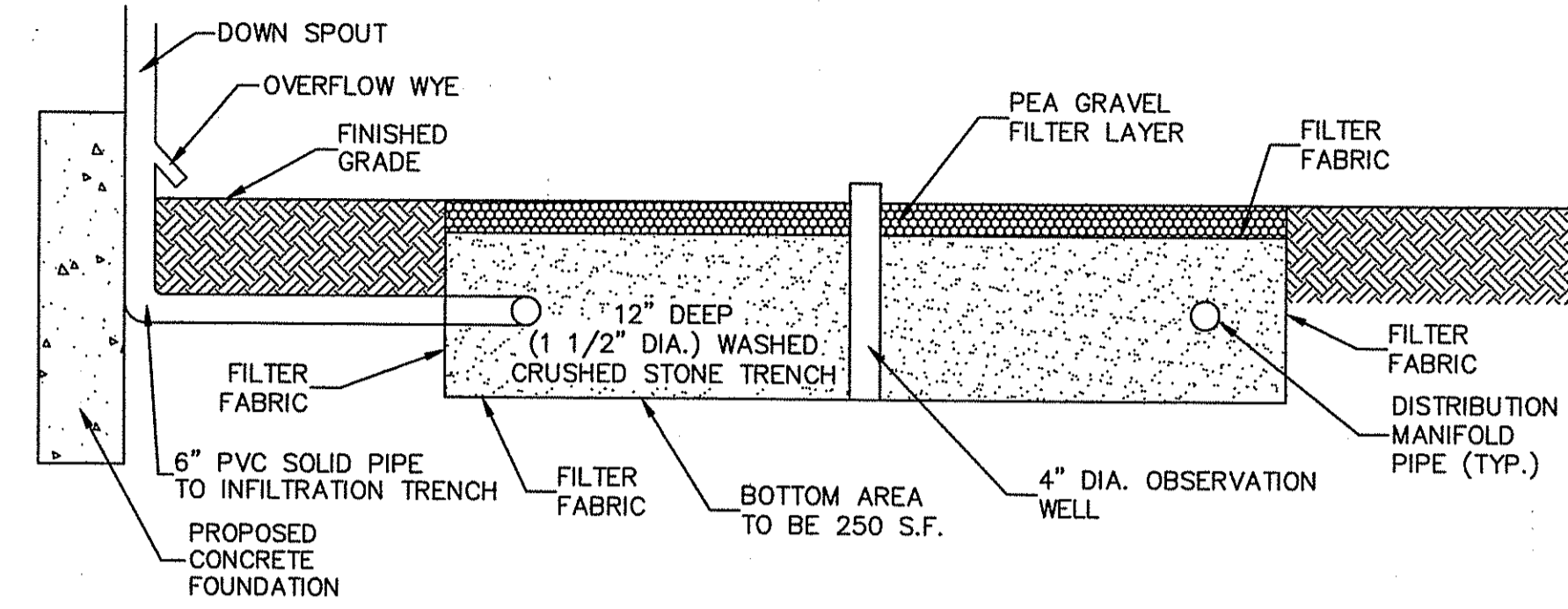
1. THE STORMWATER RUN-OFF FROM THE PROPOSED 12-FOOT WIDE ASPHALT DRIVEWAY IS TO BE SHEET (UNCONCENTRATED) FLOW TO A PROPOSED 2-FOOT WIDE BY 340-FOOT LONG DRY SWALE LOCATED ON THE NORTHERLY SIDE OF AND PARALLEL TO THE PROPOSED DRIVEWAY.
2. THE PROPOSED DWELLING ROOF STORMWATER RUN-OFF IS TO BE DIRECTED TO A PROPOSED 10-FOOT WIDE BY 25-FOOT LONG INFILTRATION TRENCH.
3. ANY CHANGES TO THE PROPOSED DWELLING AND DRIVEWAY ARE TO REQUIRE A NEW STORMWATER MANAGEMENT PLAN.

MAINTENANCE PLAN FOR THE CRUSHED STONE INFILTRATION TRENCHES:

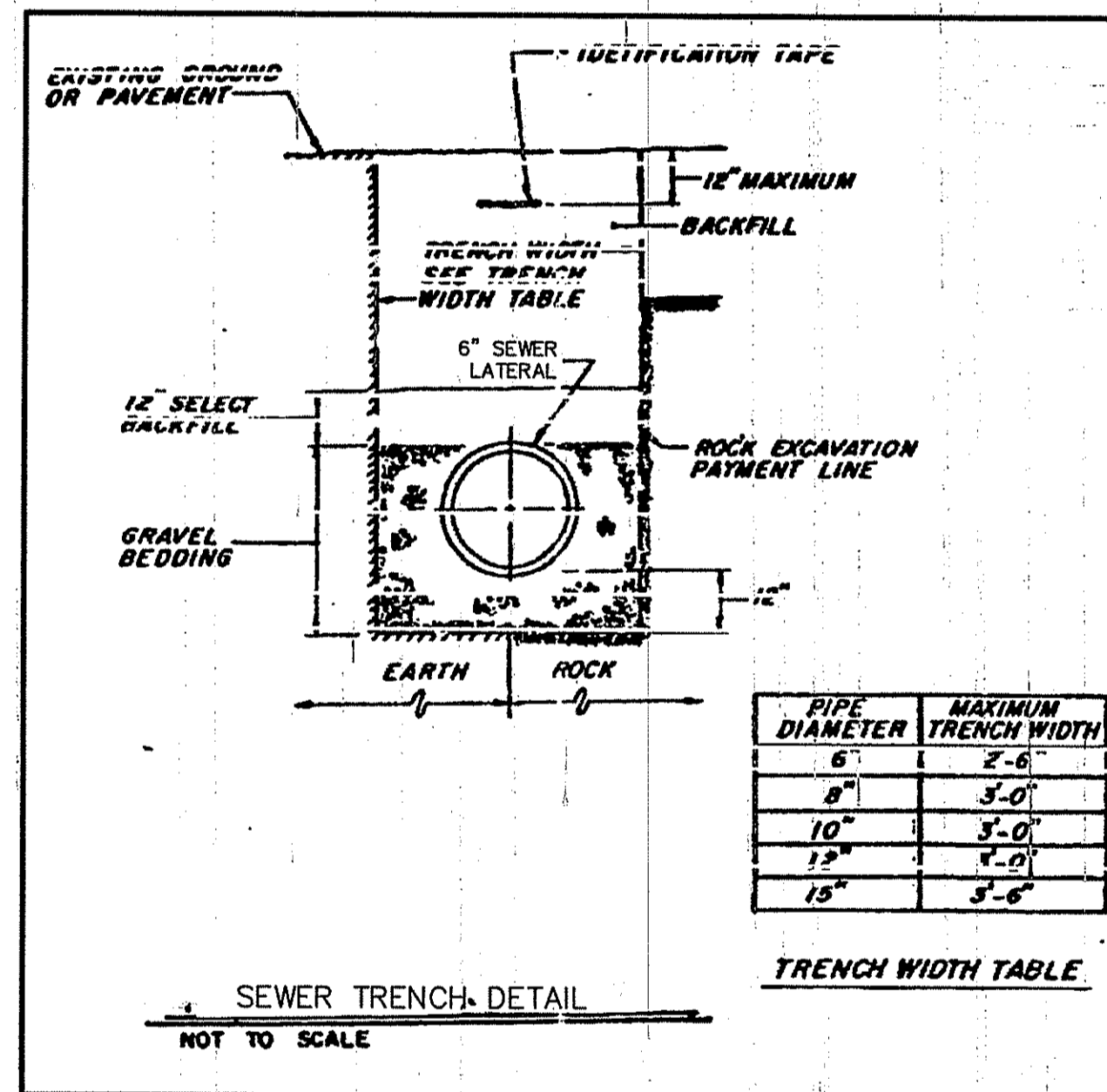
1. THE OWNER IS RESPONSIBLE TO INSURE THAT THE STORMWATER MEASURES ON SITE ARE MAINTAINED PROPERLY AND FUNCTIONING AS DESIGNED.
2. THE STORMWATER MEASURES ON-SITE ARE TO BE INSPECTED ON AN ANNUAL BASIS OR AFTER ALL LARGE STORM EVENTS AND REPAIRED AS NEEDED.
3. THE INSPECTION OF THE STORMWATER MEASURES WILL INCLUDE:
 - * BUILDING GUTTERS AND DOWN SPOUTS.
 - * THE INFILTRATION TRENCH (THROUGH THE OBSERVATION WELL).
 - * THE ASPHALT DRIVEWAY AREA.
 - * ANY OTHER ITEMS THAT DO NOT ALLOW THE STORMWATER SYSTEMS TO OPERATE PROPERLY.
4. THE STORMWATER MEASURES ARE TO BE REPAIRED IF THE FOLLOWING IS ENCOUNTERED DURING THE INSPECTION PROCESS:
 - * CLOGGED GUTTERS AND/OR DOWN SPOUTS ARE TO BE CLEANED.
 - * ALL DEBRIS AND OTHER MATERIAL ON THE DRIVEWAY THAT DOES NOT ALLOW RUN-OFF TO FLOW TO THE INFILTRATION TRENCH IS TO BE CLEARED.
 - * ALL OTHER ISSUES THAT WILL NOT ALLOW THE STORMWATER SYSTEMS TO OPERATE PROPERLY ARE TO BE REPAIRED AS NEEDED.



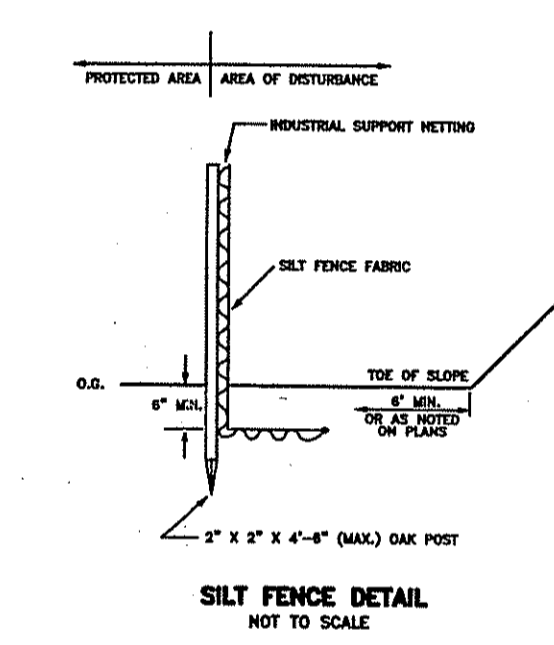
CROSS-SECTION A-A
NOT TO SCALE



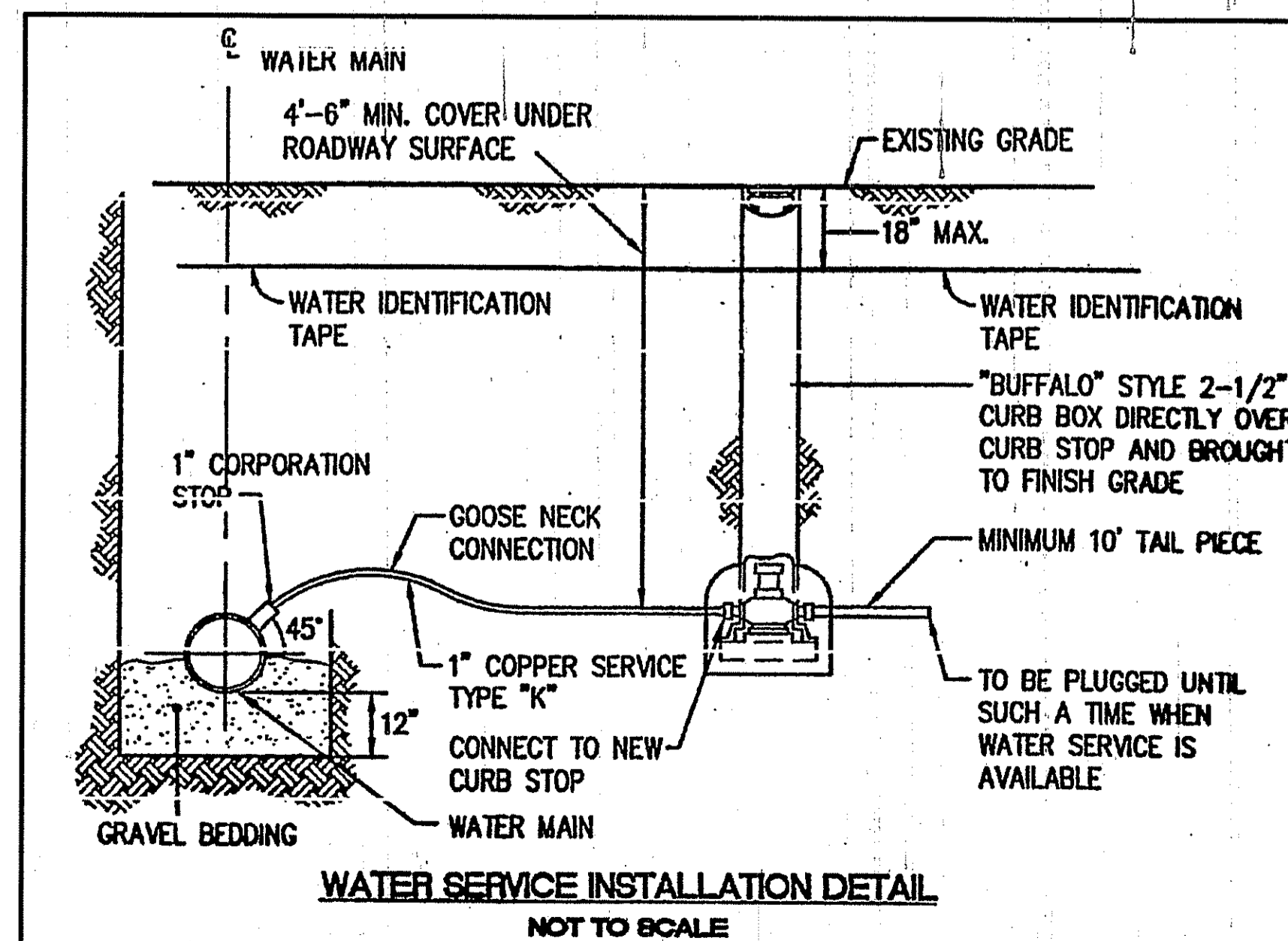
INFILTRATION TRENCH DETAIL
NOT TO SCALE



SEWER TRENCH DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE



WATER SERVICE INSTALLATION DETAIL
NOT TO SCALE

Kindly be advised that this Foundation is subject to a verification of the type or extent of foundation work on site.

Environmental Management
NOV 14 2016
Office of Water Resources

Nicholas J. Piampiano
NO. 1978
PROFESSIONAL LAND SURVEYOR

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
PROFESSIONAL ENGINEER
DEC 13 2016
FILE # 16-0209
AS SHOWN ON THESE PLANS, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMITS AND APPROVALS OBTAINED FROM THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.

NICHOLAS J. PIAMPIANO
No. 6512
REGISTERED PROFESSIONAL ENGINEER (CIVIL)
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ADVANCED CIVIL DESIGN, INC.
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P.O. BOX 7918
CUMBERLAND, R.I. 02864
PHONE 401-475-5700
E-MAIL: DARVEAUSURVEY@COX.NET

PROPOSED SITE PLAN FOR
SUMMIT BUILDERS, LLC
PLAT 55, LOT 102 & 294
FARM DRIVE
CUMBERLAND, RHODE ISLAND

SCALE: AS NOTED
DRAWN BY: S.A.K.
REVISION: NOV. 7, 2016
DATE: DEC. 29, 2015
PROJECT NO: 2013_028
SHEET NO: 2 OF 2