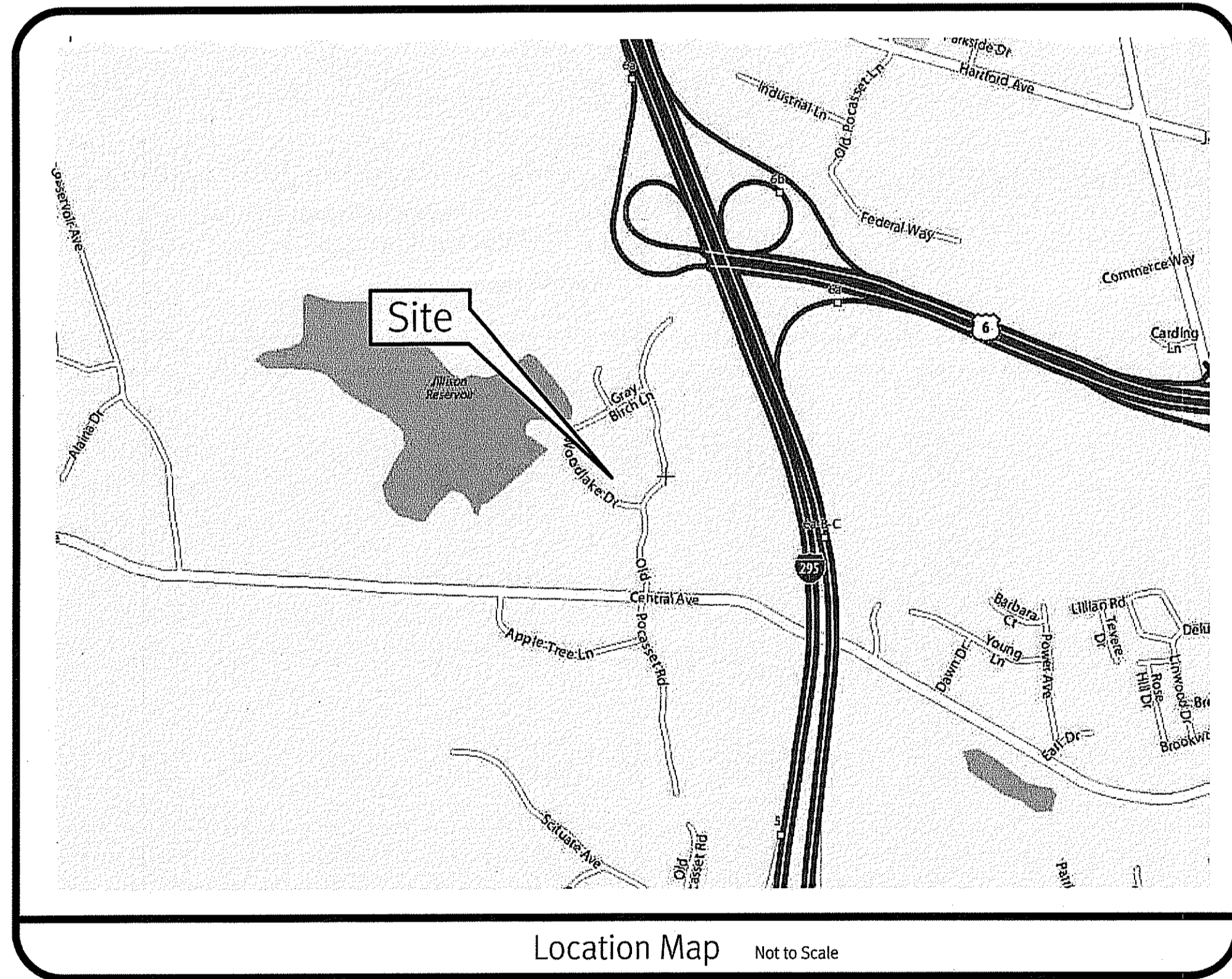


RIDEM Submission

The Preserve at Briarcliffe

Old Pocasset Road
Johnston, Rhode Island

Assessor's Plat 43 Lots 224 & 68
Assessor's Plat 44 Lot 306



Location Map Not to Scale

Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius Plan
3. Existing Conditions Plan
4. Soil Erosion & Sedimentation Control Plan
5. Site Plan
6. Detail-1
7. Detail-2
8. Detail-3

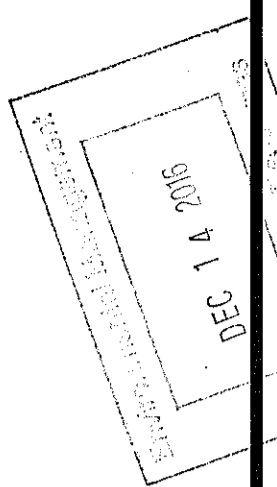
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 26 2017 FILE # 16-0236
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Russo

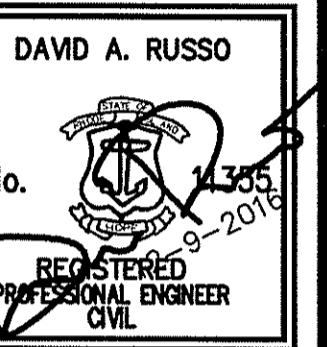
SESC / O&M

The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

Cover Sheet
The Preserve at Briarcliffe
Assessor's Plat 43/71 Lots 224 & 225, Assessor's Plat 44/4, Lots 68 & 306
Johnston, Rhode Island
Client:
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocasset Road, Johnston, Rhode Island 02919
tel. 401-944-2450 fax. 401-944-2455



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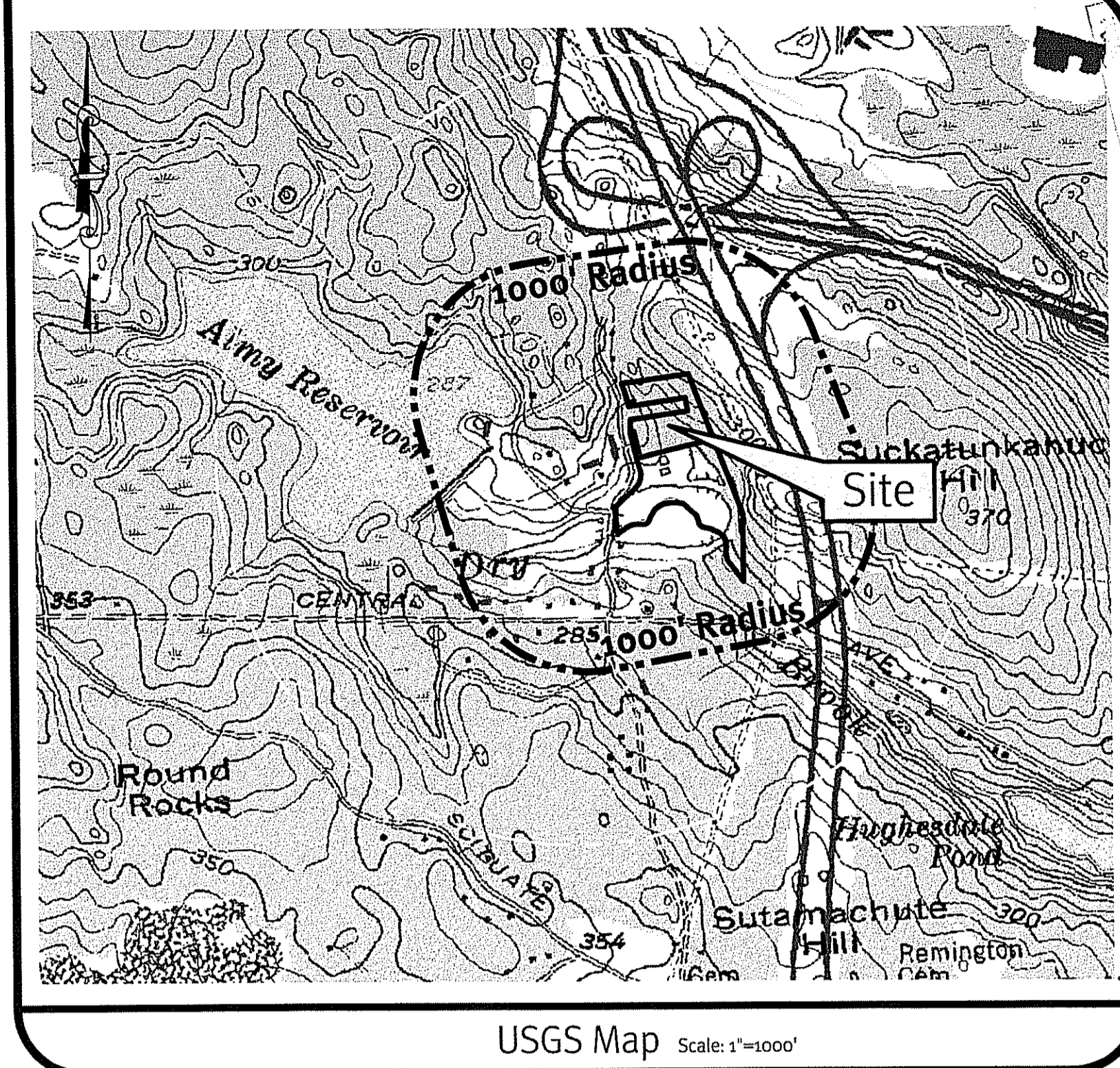
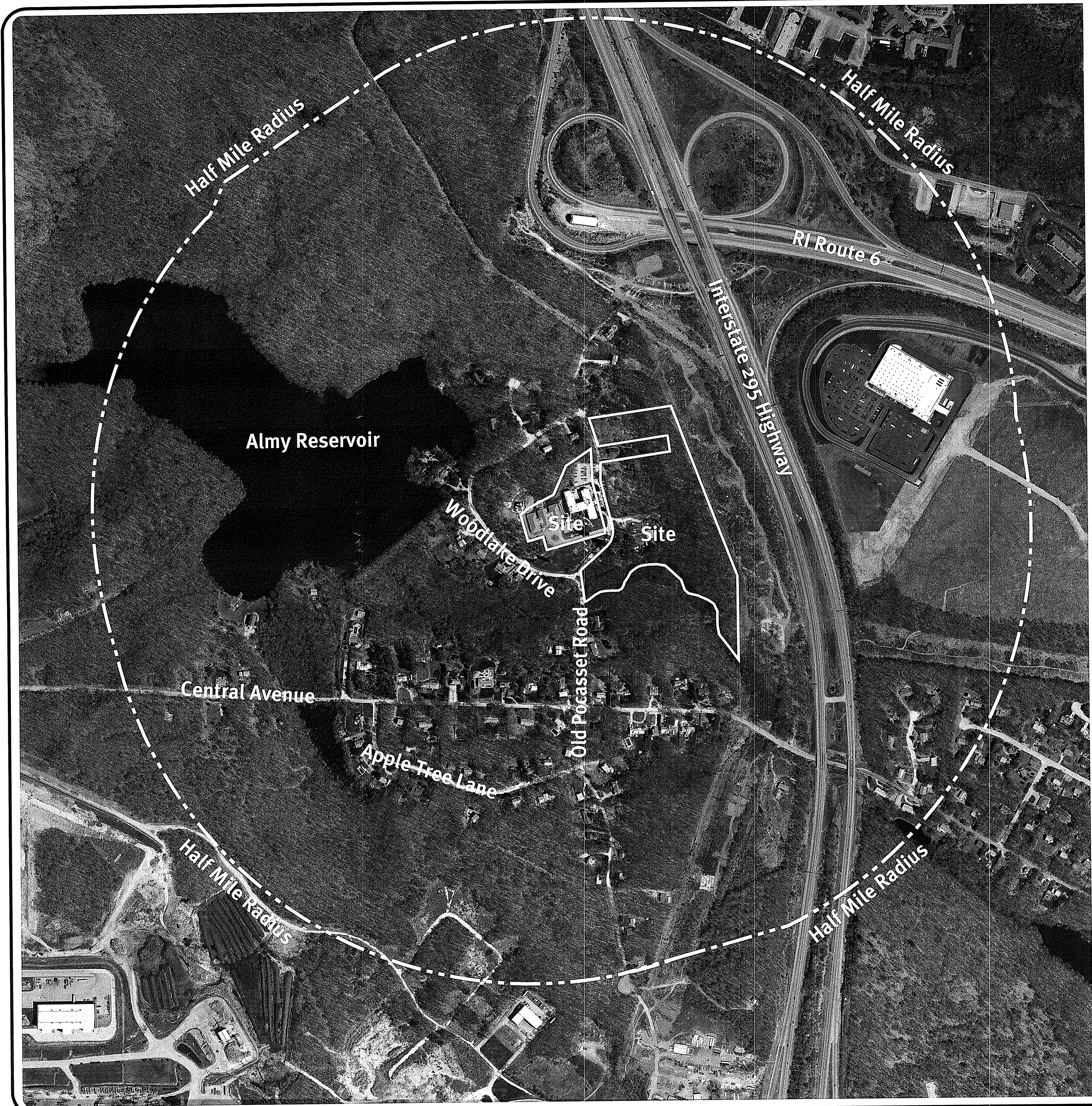
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No.	Date	Description	By
16-0236	11-22-2016	RISEA Response to Comments	J.A.C.
16-0236	11-22-2016	RISEA Response to Comments	J.A.C.
16-0236	11-22-2016	Wetlands Submission	J.A.C.

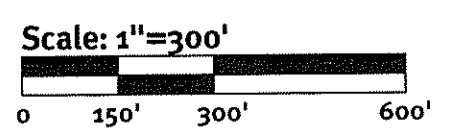
Drawn By: J.A.C. Design By: D.A.R.

F:\main\projects\1154-000_briarcliffe phase 3\final\card drawings\1154-000-cov.dwg Plotfile: 12/12/2016

I:\Main\projects\1154-004_briarcliffe_phase3\autocad drawings\1154-004_cvr.dwg Plotted: 12/22/2016



USGS Map Scale: 1"=1000'



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESH WATER QUALITY PROGRAM
 AS REQUIRED BY THE STATE APPROVAL
 DATE: JAN 26 2017 16-0236
 TO CHANGE FROM STATE APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

Aerial Half Mile Radius
The Preserve at Briarcliffe
 Assessor's Plat 0371 Lots 224 & 229, Assessor's Plat 44/4, Lots 68 & 306
 Johnston, Rhode Island
 Applicant
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocasset Road, Johnston, Rhode Island 02919
 Tel: 401-944-2450 Fax: 401-944-2455
 DE Job No. 1154-004 Copyright 2016 by DiPrete Engineering Associates, Inc.

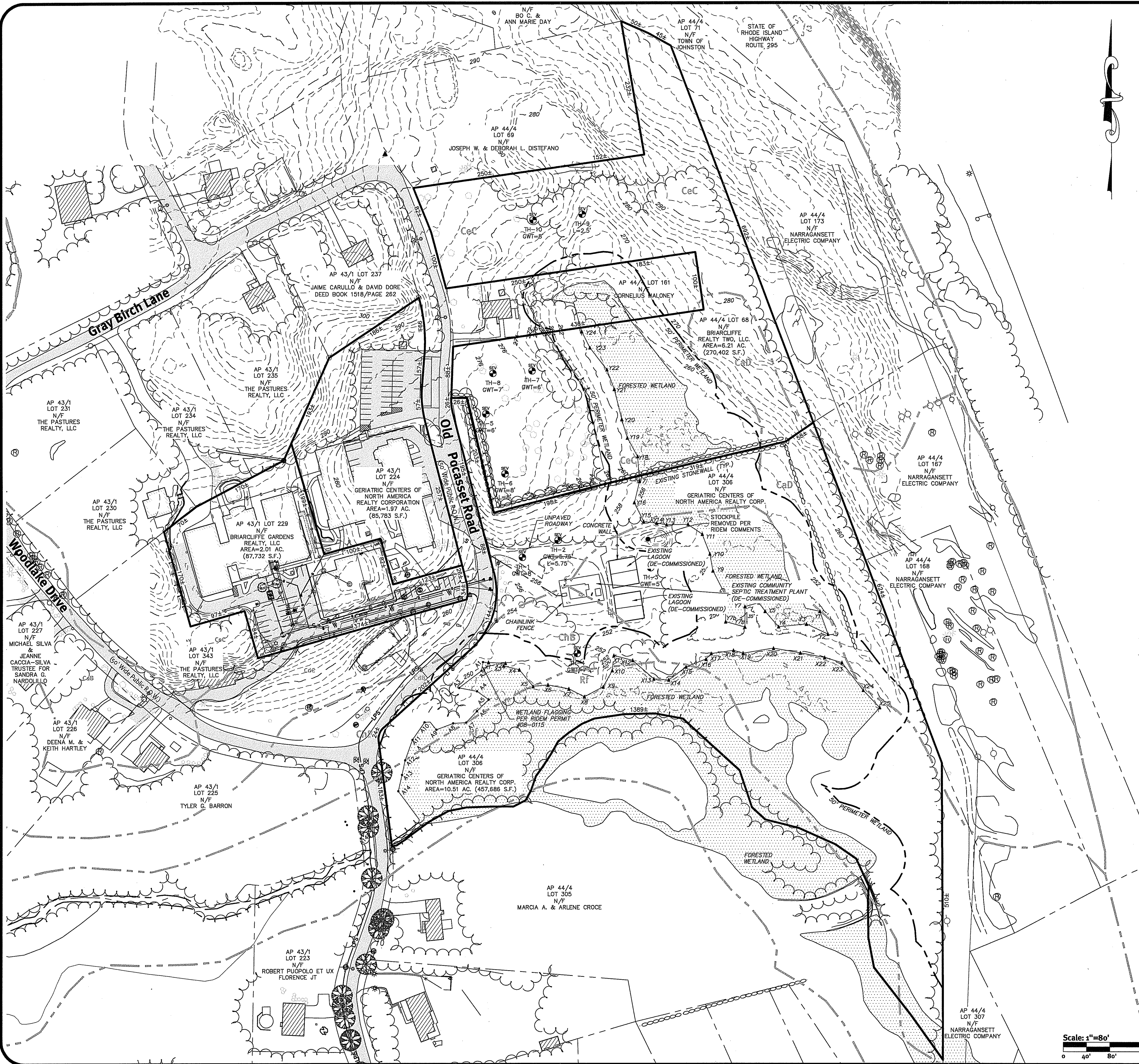
DAVID A. RUSSO
 No. 14305
 REGISTERED PROFESSIONAL ENGINEER
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No.	Date	Description	Drawn By: J.A.C.	Design By: D.A.R.
15-9-2016		PERM Response to Comments		
17-7-2016		PERM Response to Comments		
17-10-2016		PERM Response to Comments		
16-10-2016		PERM Response to Comments		

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General Notes

- THE SITE IS LOCATED ON THE TOWN OF JOHNSTON ASSESSOR'S PLAT 43-1 LOTS 224 & 229 AND ASSESSOR'S PLAT 44-4 LOT 306. THE SITE IS ZONED PLANNED DISTRICT/ CONTINUING CARE RETIREMENT COMMUNITY AND IS APPROXIMATELY 20.05 ACRES.
- THE OWNERS ARE:
 - AP 43-1 LOT 229
BRIARCLIFFE GARDENS REALTY, LLC
49 OLD POCASSET ROAD
JOHNSTON, RI 02919
T: 401-944-2450
 - AP 43-1 LOT 224 & AP 44-4 LOT 306
GERIATRIC CENTERS OF NORTH AMERICA REALTY CORP.
49 OLD POCASSET ROAD
JOHNSTON, RI 02919
- THE APPLICANT IS MEDICAL HOMES OF RHODE ISLAND, INC. d/b/a BRIARCLIFFE MANOR
49 OLD POCASSET ROAD
JOHNSTON, RI 02919
T: 401-944-2450
- THERE ARE NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES LOCATED ON THE SUBJECT PROPERTY TO THE BEST OF OUR KNOWLEDGE.
- THERE ARE NO HISTORIC AREAS, CEMETERIES, FOUNDATIONS LOCATED ON THE SUBJECT PROPERTY.
- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DEA AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK.
- ELEVATIONS, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER PLAN REFERENCE #1. THE CONTOUR INTERVAL IS 2 FOOT. TOPOGRAPHY IS DEPICTED AS ACCURATE TO WITHIN HALF THE CONTOUR INTERVAL.
- SOIL MAPPING OBTAINED FROM "SOIL SURVEY OF RHODE ISLAND", PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THERE IS NO 100 YEAR FLOOD PLAIN LOCATED ON THE SITE. THE SITE IS LOCATED WITHIN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44070202846, MAP REVISED MARCH 2, 2009, FOR TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND. ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THERE ARE NO EXISTING LAKES, PONDS, WATERCOURSES, DRAINAGE PATTERNS, OR WETLANDS WITHIN THE AREA OF DEVELOPMENT OTHER THAN SHOWN ON THE PLAN.
- EXISTING STRUCTURES ARE SHOWN.
- EXISTING GARAGE TO BE RAZED (SEE ARCHITECT PLANS)
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS IV SURVEY. THE PLAN ITSELF CONFORMS ONLY TO A CLASS IV STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.

Plan References

- "EXISTING CONDITIONS PLAN FOR AP 43 LOTS 224, 229, 236 AND 343 SITUATED ON 49 OLD POCASSET ROAD JOHNSTON, RI PREPARED FOR BRIARCLIFFE NURSING HOME." PLAN BY GAROFALO AND ASSOCIATES, INC. DATED APRIL 13, 2006 UNRECORDED.
- "BRIARCLIFFE GARDENS 49 OLD POCASSET ROAD, JOHNSTON, RHODE ISLAND, AP 43/1 LOT 224, 229, 230, 234, 236 AND 343 AP 44/1 LOT 306 ADMINISTRATIVE SUBDIVISION" PREPARED BY INTERNATIONAL MAPPING & SURVEYING CORP. DATED 10-6-08, RECORDED NH THE TOWN OF JOHNSTON LAND EVIDENCE RECORDS IN MAP BOOK 3 AT PAGE 266.

Soil Information

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

CcC - CANTON AND CHARLTON FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
 CcC - CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY, 3 TO 15 PERCENT SLOPES.
 CcD - CANTON-CHARLTON ROCK OUTCROP COMPLEX, 15 TO 35 PERCENT SLOPES
 ChB - CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
 ChC - CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
 R1 - RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS

Legend:

PROPERTY LINE	---
ASSESSORS LINE	- - - - -
WETLAND EDGE	~~~~~
WETLAND HATCH
EXISTING WETLAND FLAGGING	X1 X2 X3
PROPOSED WETLAND FLAGGING	A1 A2 A3
STREAM CENTERLINE	====
50' PERIMETER WETLAND	50' PERIMETER WETLAND
100' RIVERBANK WETLAND	100' RIVERBANK WETLAND
200' RIVERBANK WETLAND	200' RIVERBANK WETLAND
TWO FOOT CONTOUR	230
TEN FOOT CONTOUR	240
SOIL TYPES	CcC
SOIL BOUNDARY LINE	---
EXISTING TREELINE	---
EXISTING ROADWAY	---
EXISTING BUILDING	---
EXISTING DRIVEWAY	---
EXISTING TREE	---
EXISTING SHRUB	---
EXISTING LIGHTPOLE	---
EXISTING UTILITY POLE	---
EXISTING SEWER MANHOLE	---
EXISTING DRAINAGE MANHOLE	---
EXISTING CATCH BASIN	---
EXISTING DOUBLE CATCH BASIN	---
EXISTING FLARED END	---
EXISTING WATER VALVE	---
EXISTING THRUST BLOCK	---
EXISTING GAS VALVE	---
EXISTING HYDRANT	---
EXISTING WATER LINE	---
EXISTING GAS LINE	---
EXISTING ELECTRIC	---
EXISTING DRAINAGE	---
EXISTING UNDERGROUND ELECTRIC	---
DRILL HOLE FOUND	---
IRON ROD/PIPE FOUND	---

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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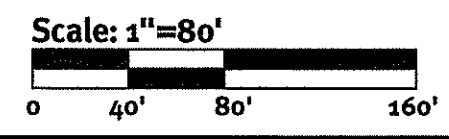
Charles A. Harkin

Existing Conditions Plan

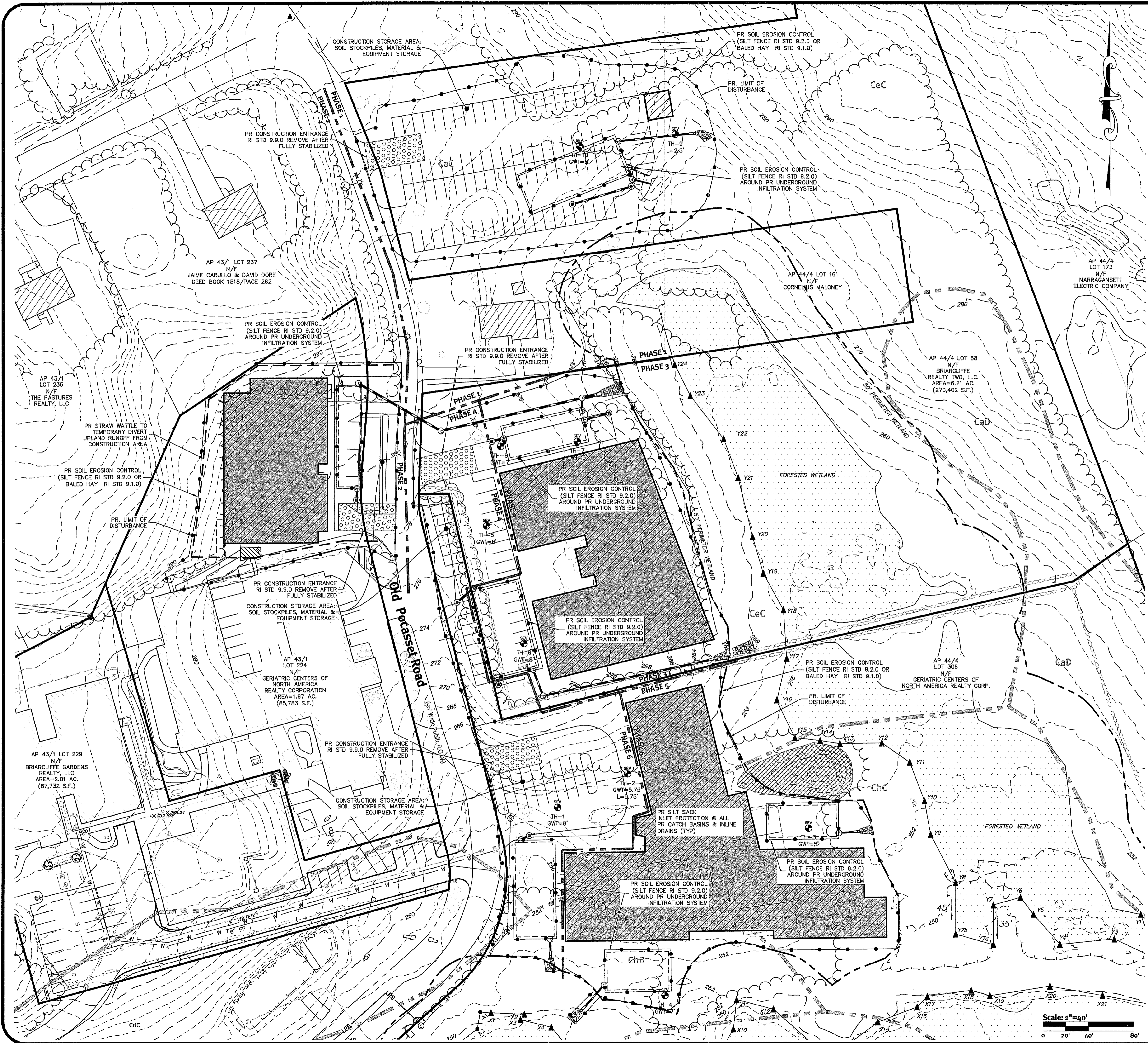
The Preserve at Briarcliffe
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 Johnston, Rhode Island
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocasset Road, Johnston, Rhode Island 02919
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DAWD A. RUSSO
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- General Notes:**
1. THE SITE IS PROPOSED TO BE CONSTRUCTED IN SIX PHASES.
 2. ALL EROSION CONTROL MEASURES ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION.
 3. SILT FENCE OR AN APPROVED EROSION CONTROL AND DIVERSIONS SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE SITE.
 4. VEHICLE MAINTENANCE AND WASHING SHALL OCCUR OFF-SITE.
 5. INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
 6. CONCRETE WASHOUT AREAS TO BE LOCATED IN PARKING AREAS AS NEEDED.
 7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.
 8. UNDERGROUND INFILTRAION AREAS SHALL BE STAKED OFF, DEMARCATED AND PROTECTED FROM CONSTRUCTION TRAFFIC DURING CONSTRUCTION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Charles A. Russo

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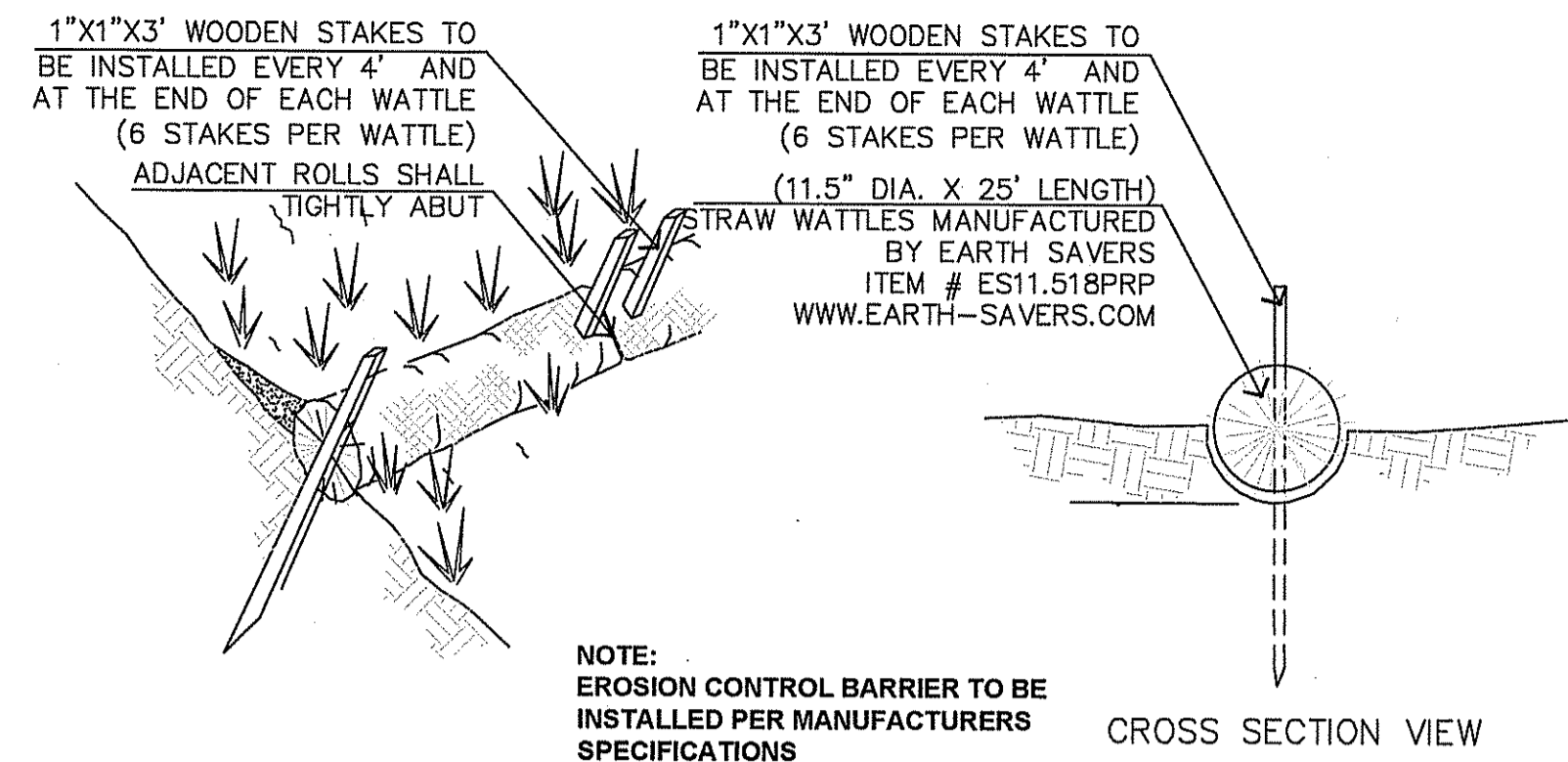
Soil Erosion & Sedimentation Control Plan
The Preserve at Briarcliffe
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 Johnston, Rhode Island
 Applicant: **Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor**
 49 Old Pocasset Road, Johnston, Rhode Island 02919
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DAVID A. RUSSO
 No. 13305
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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No.	Date	Description	Design By: D.A.R.
1	12-13-2016	ISSUE FOR CONSTRUCTION	
2	12-13-2016	ISSUE FOR CONSTRUCTION	
3	12-13-2016	ISSUE FOR CONSTRUCTION	

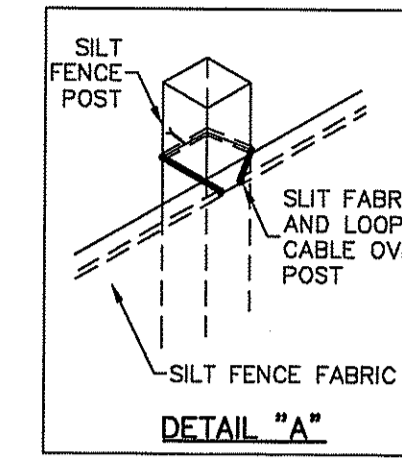
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 Tel: 401-943-1000 Fax: 401-464-6066 www.DiPrete-Eng.com
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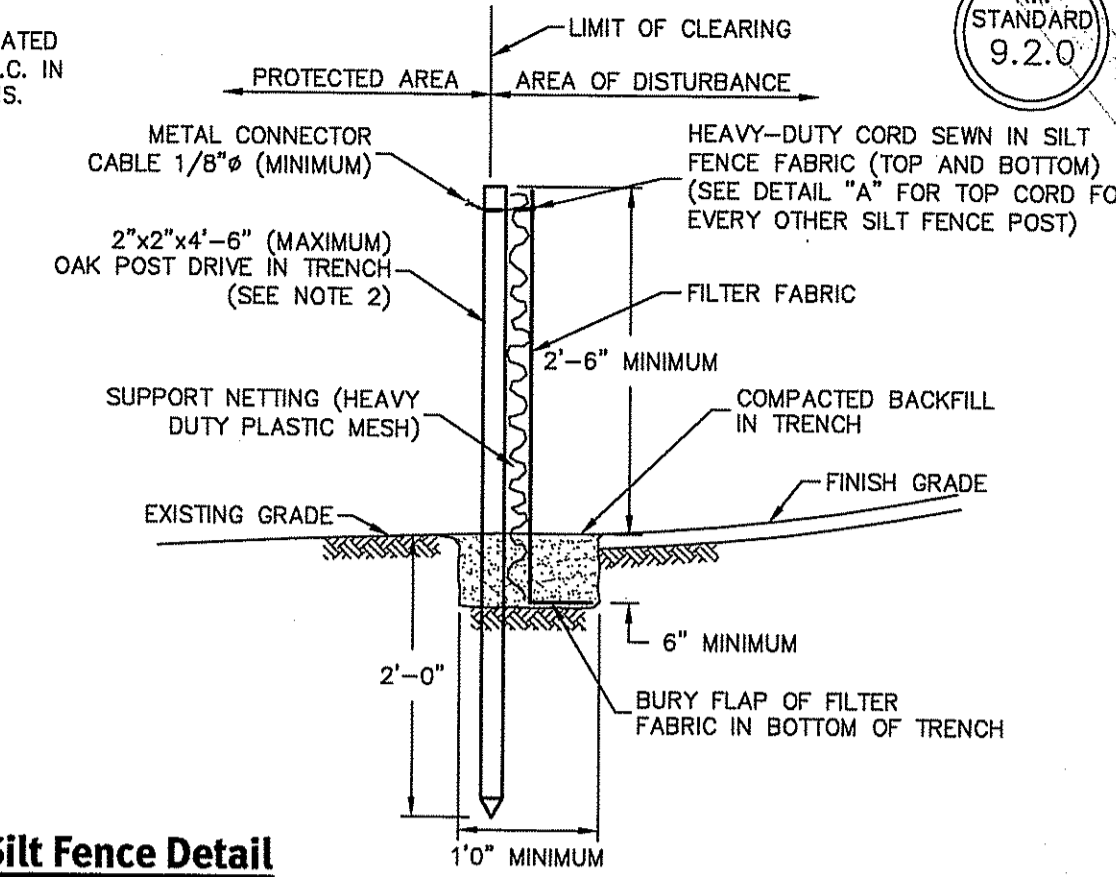
STRAW WATTLE DIVERSION BARRIER

NOT TO SCALE

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVIDE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-8" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

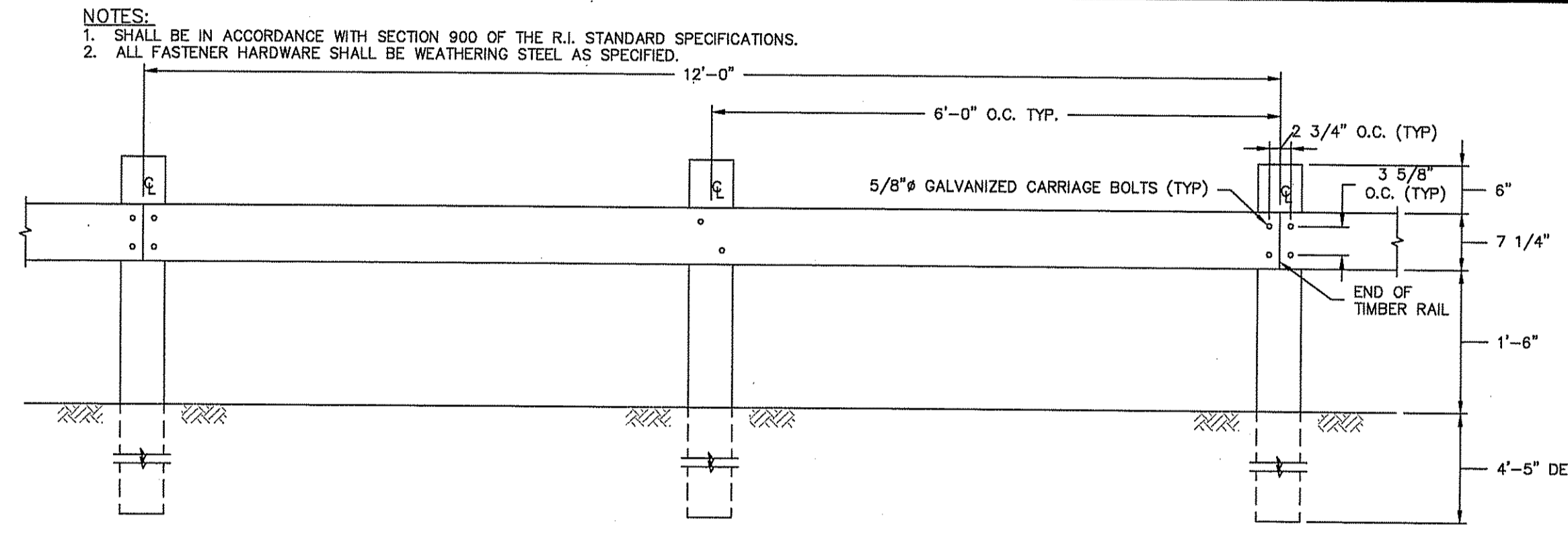


DETAIL "A"



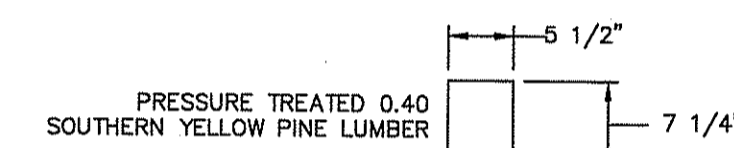
Silt Fence Detail

NOT TO SCALE



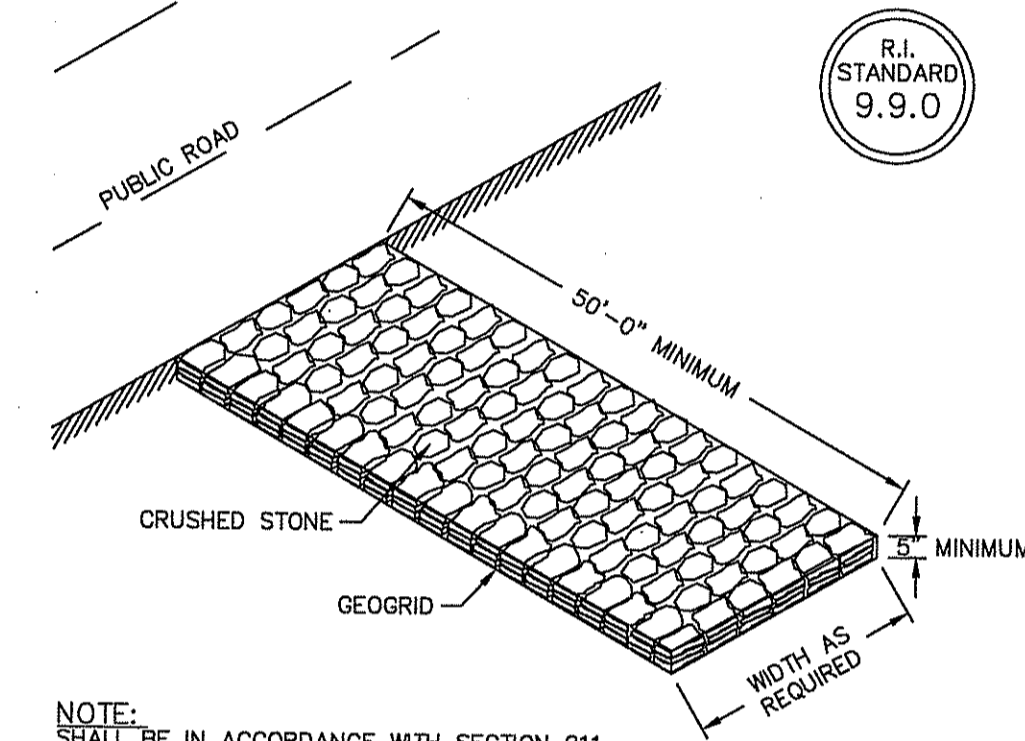
WOOD RAIL DETAIL

8' x 3' x 12'-0"



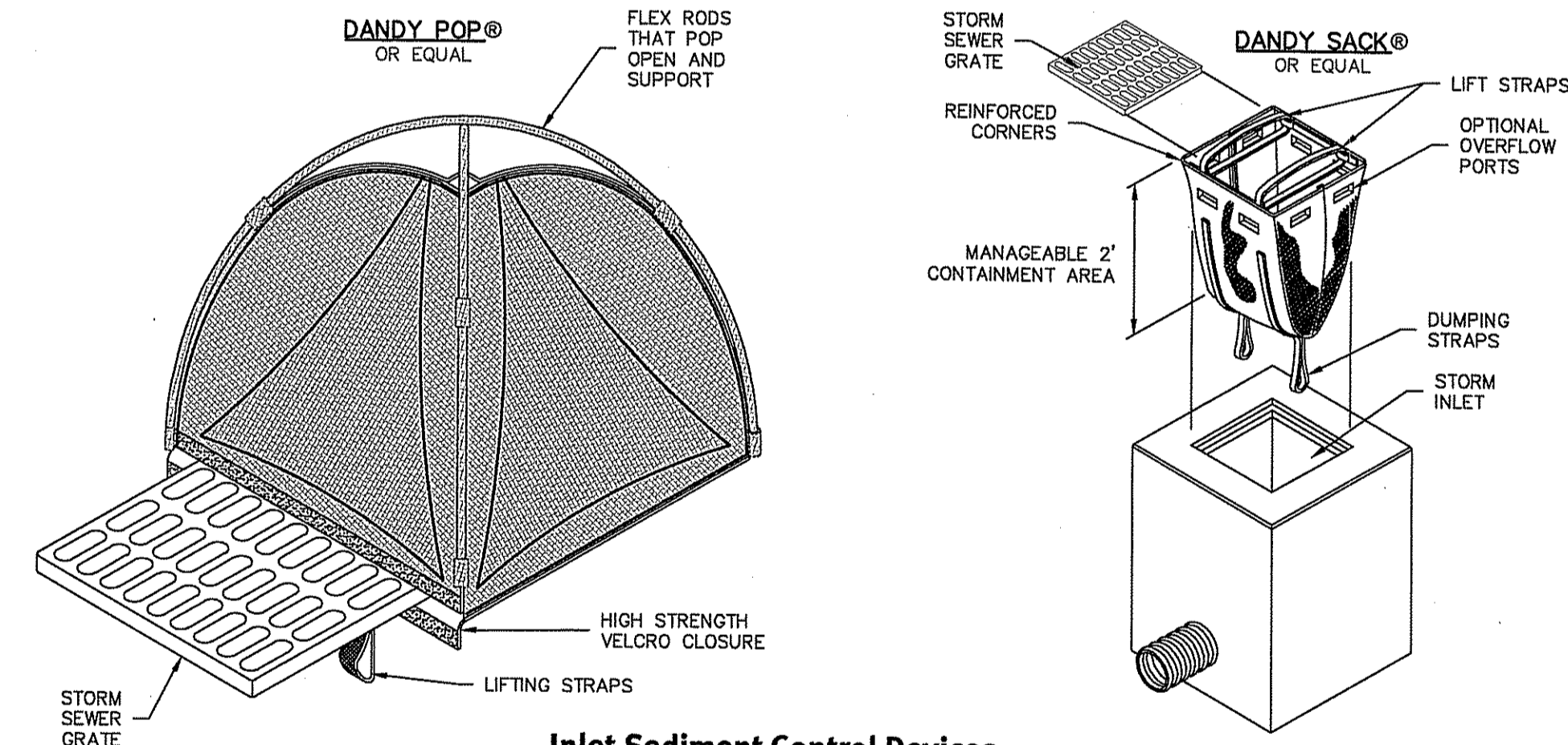
POST TOP VIEW

NOMINAL SIZE: 6"x8" TYP.



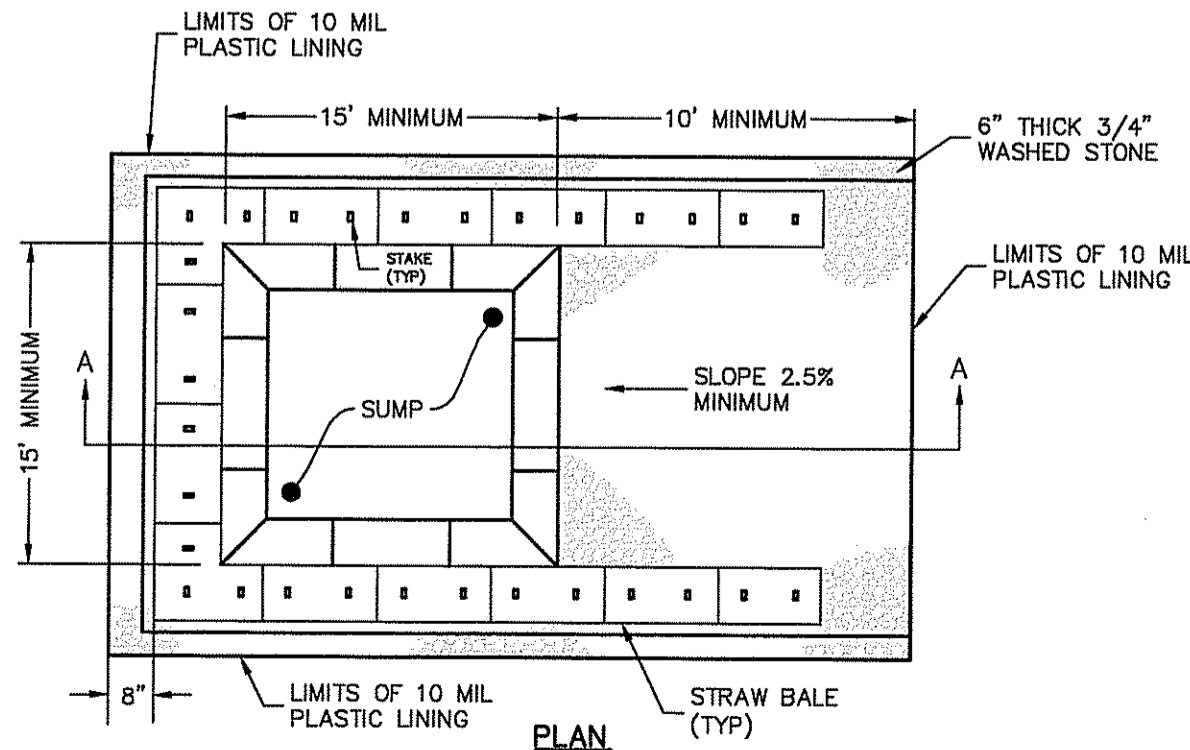
Construction Access

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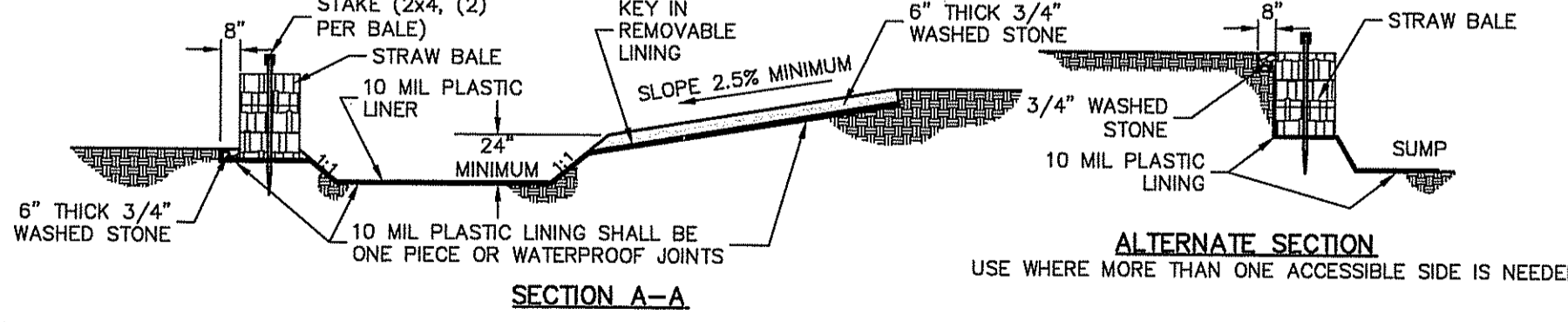


Inlet Sediment Control Devices

NOT TO SCALE



PLAN



SECTION A-A

USE WHERE MORE THAN ONE ACCESSIBLE SIDE IS NEEDED



WASHOUT SIGN

Concrete Washout Area

(NOT TO SCALE)

- NOTES:**
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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Charles A. Russo

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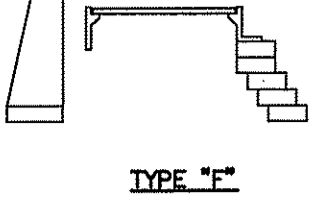
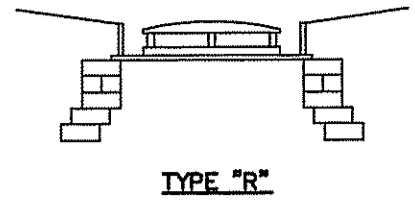
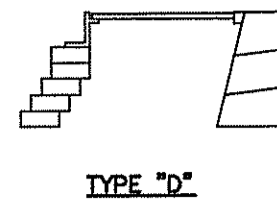
DAVID A. RUSSO
No. 14350
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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No.	Date	Description	By
1	9-25-2016	Initial Response to Comments	J.A.C.
2	9-25-2016	Waivers Submission	J.A.C.

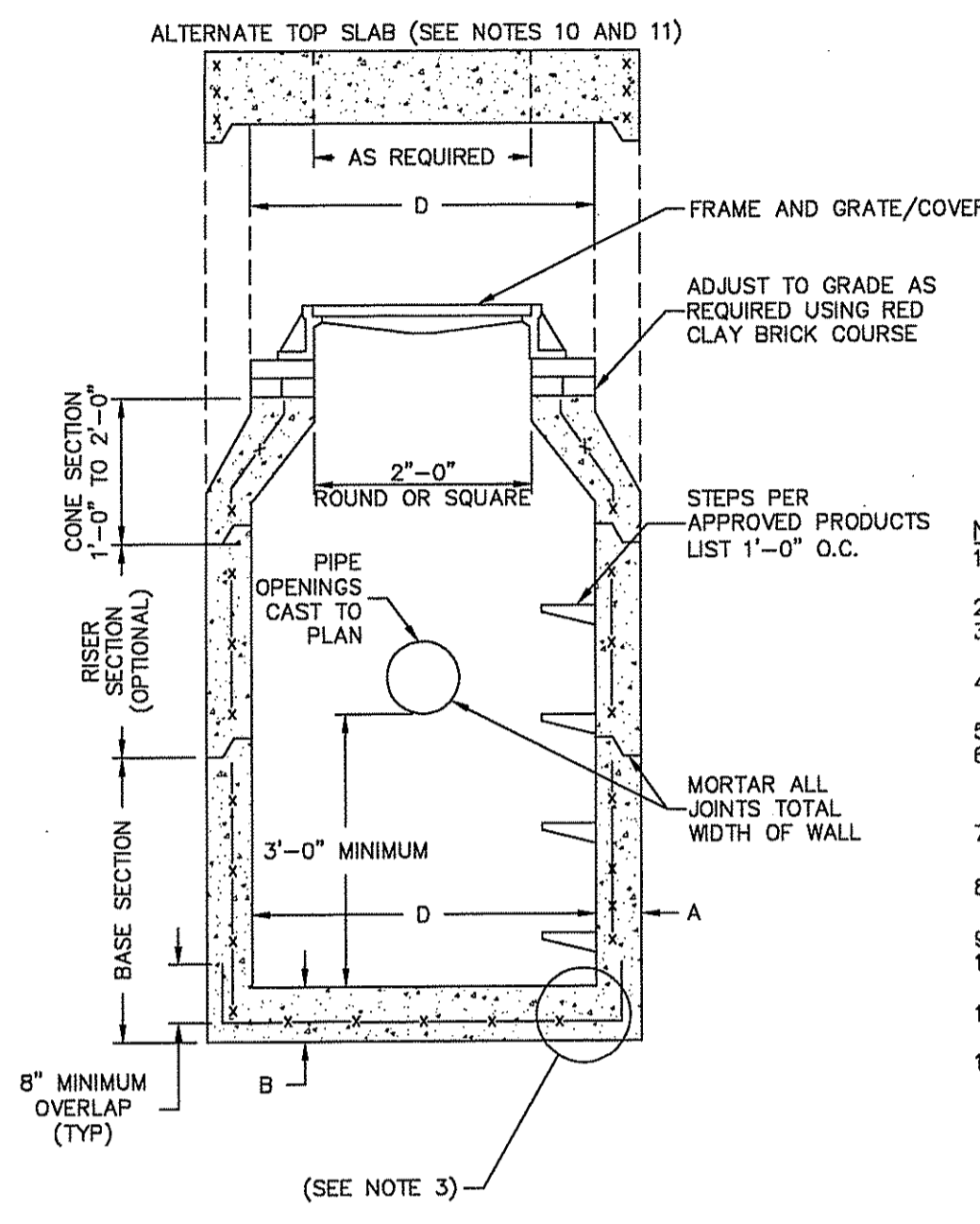
Design By: D.A.R.
Drawn By: J.A.C.

Detail-1
The Preserve at Briarcliffe
Assessor's Plat 4371 Lots 224 & 229, Assessor's Plat 441/Lots 68 & 306
Johnston, Rhode Island
Applicant: **Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor**
49 Old Pocomset Road, Johnston, Rhode Island 02919
tel 401-944-2450 fax 401-944-2455
DE 108 No. 1154-004 Copyright 2016 by DiPrete Engineering Associates, Inc.



TYPE CATCH BASIN AS REQUIRED

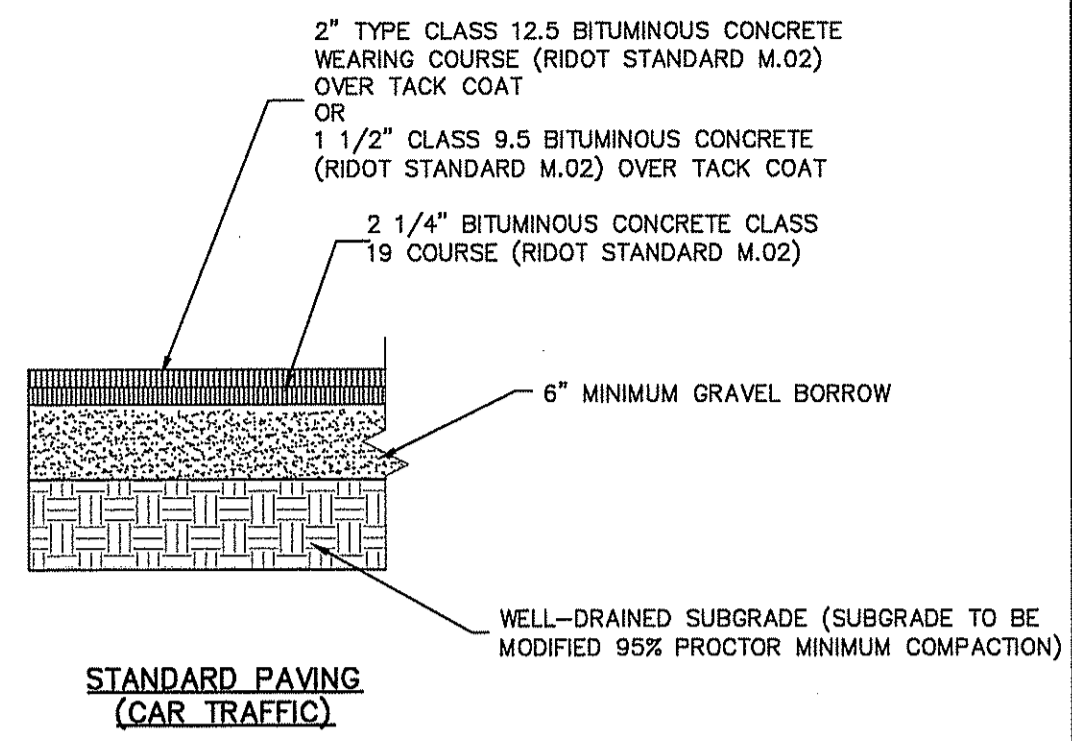
STANDARD 4.4.0



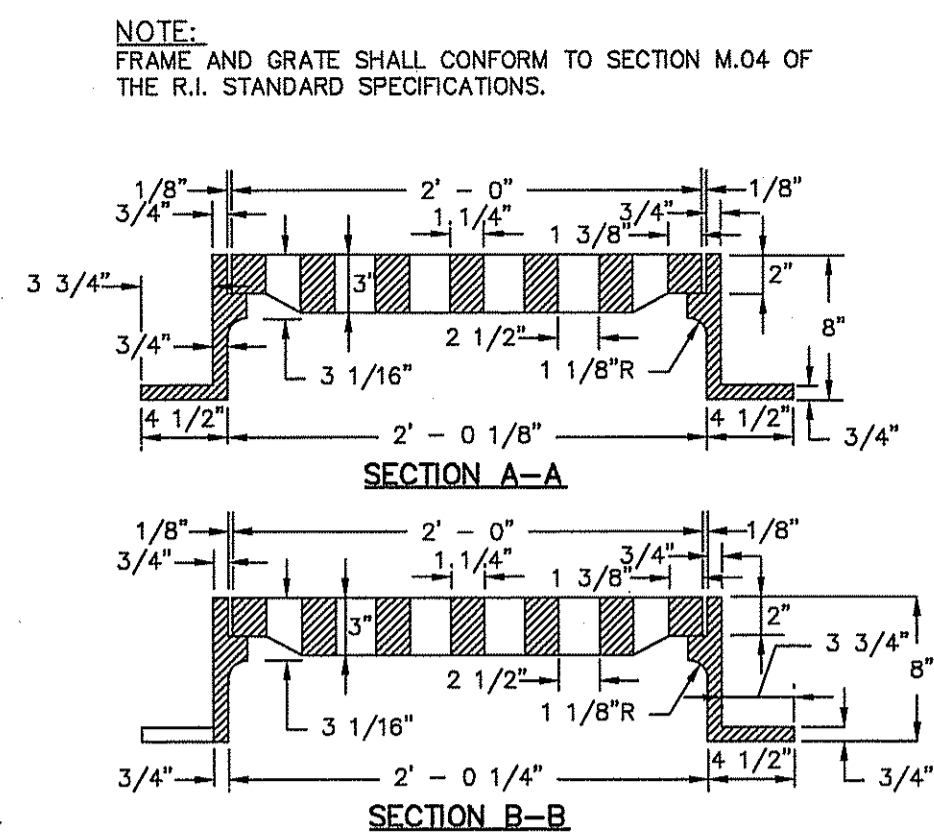
CATCH BASIN DIAMETER (D)	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*	
	A	B
4'-0"	5"	6"
5'-0"	6"	7"
6'-0"	7"	8"

- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQUARE INCH/LIN. FOOT (BOTH WAYS).
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAWCUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

Precast Round Catch Basin
NOT TO SCALE

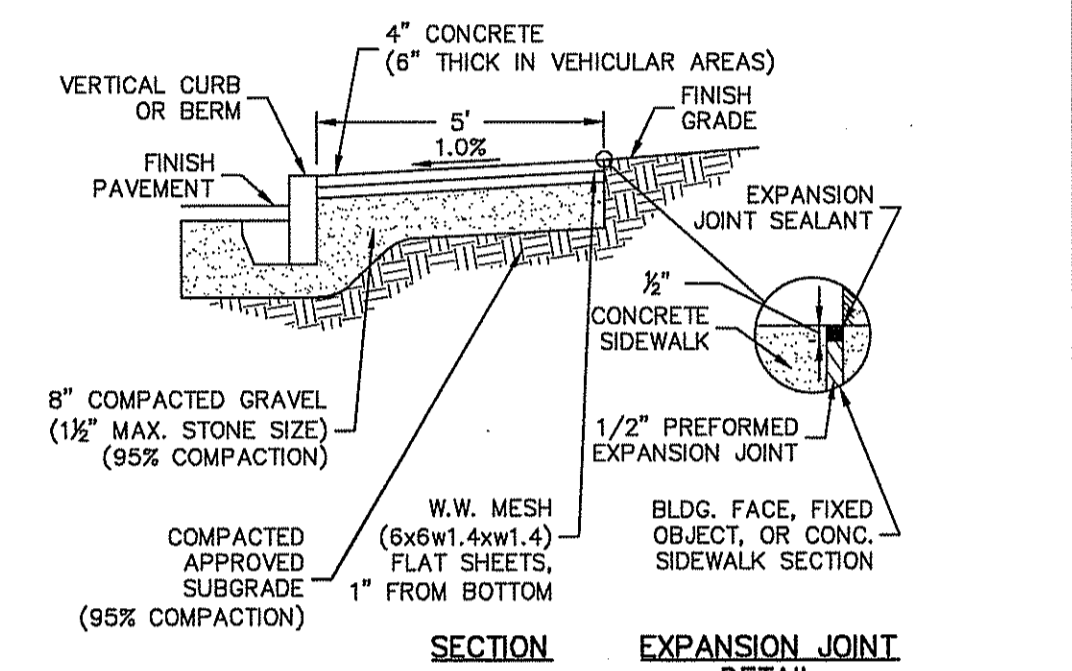


Typical Pavement Section
NOT TO SCALE

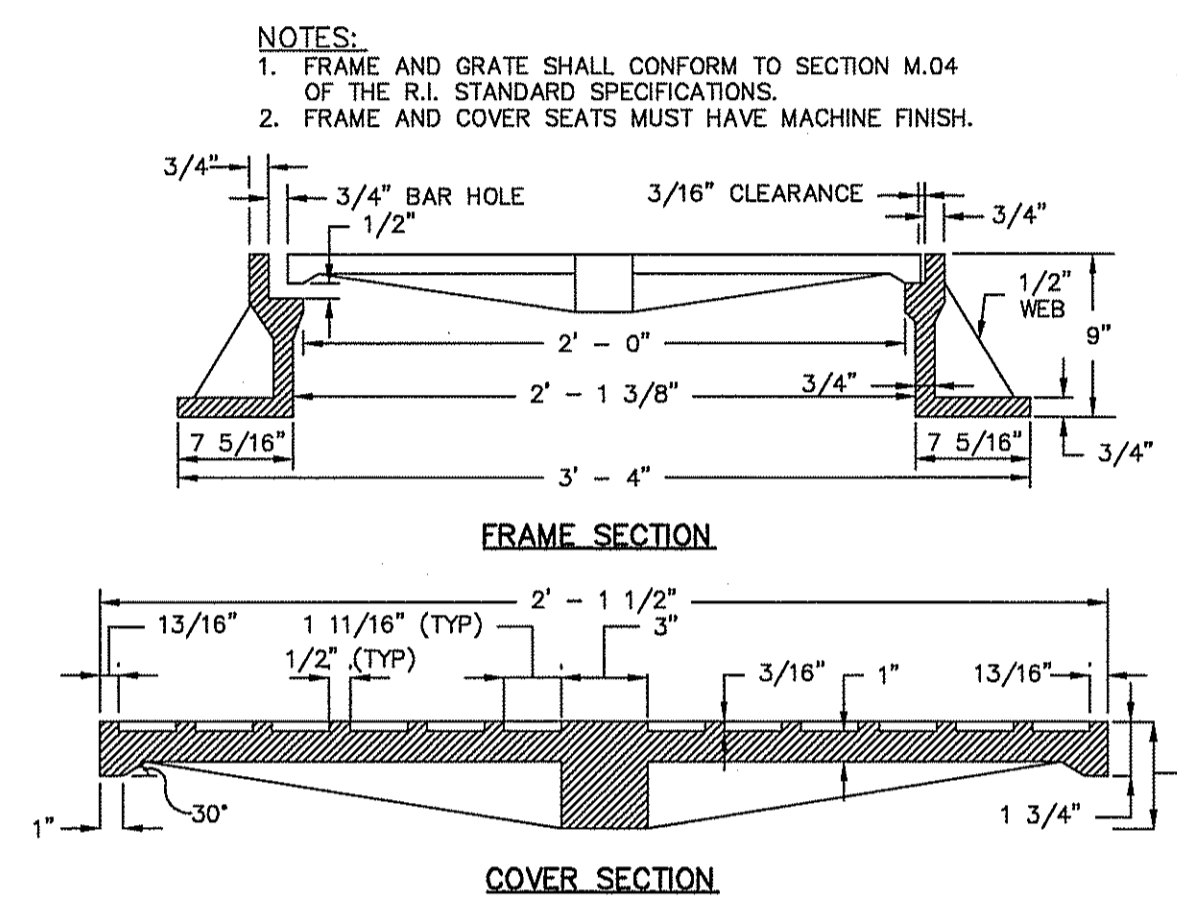


Square Frame And Grate
NOT TO SCALE

R.I. STANDARD 6.3.0

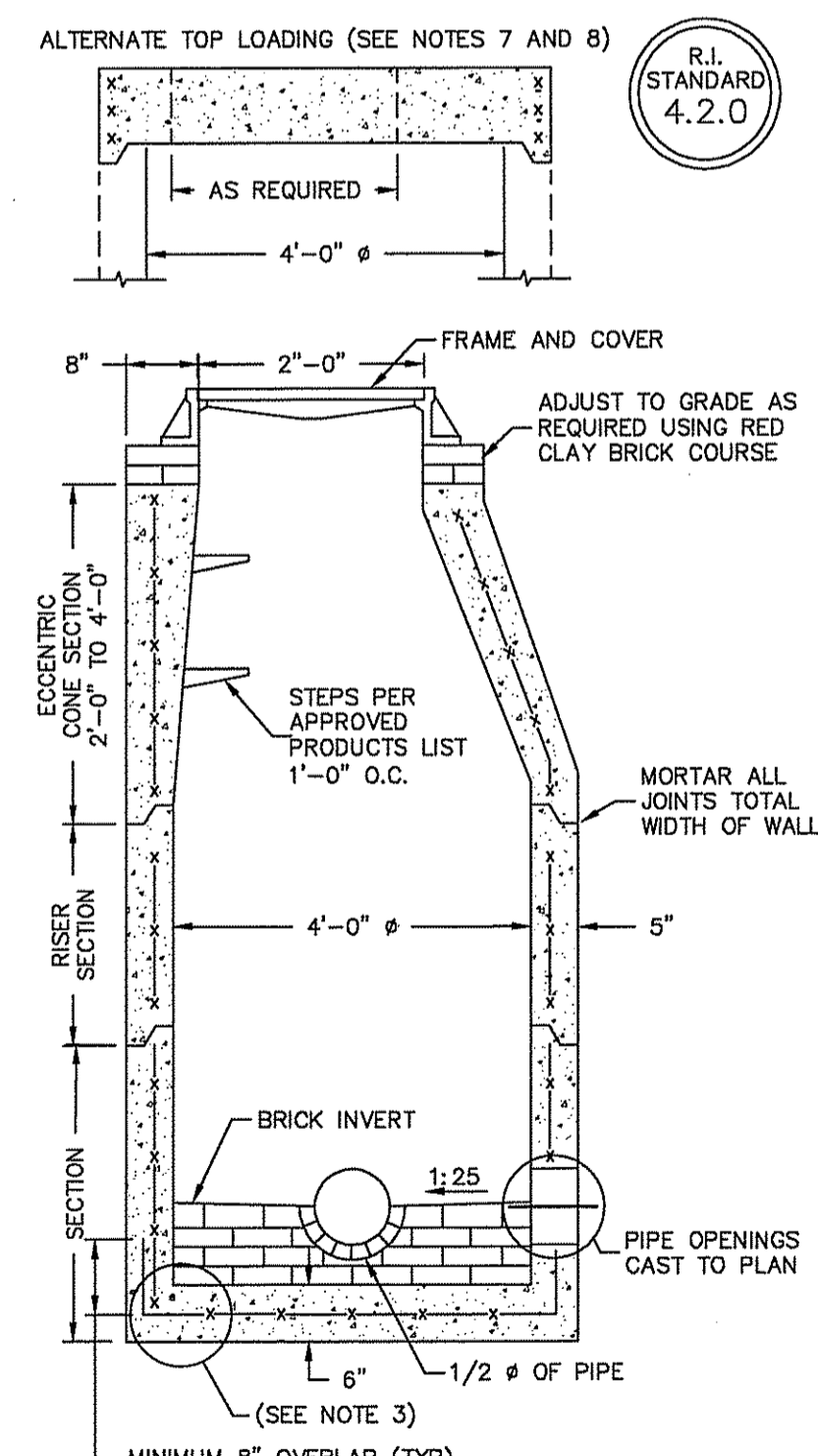


Concrete Sidewalk
NOT TO SCALE



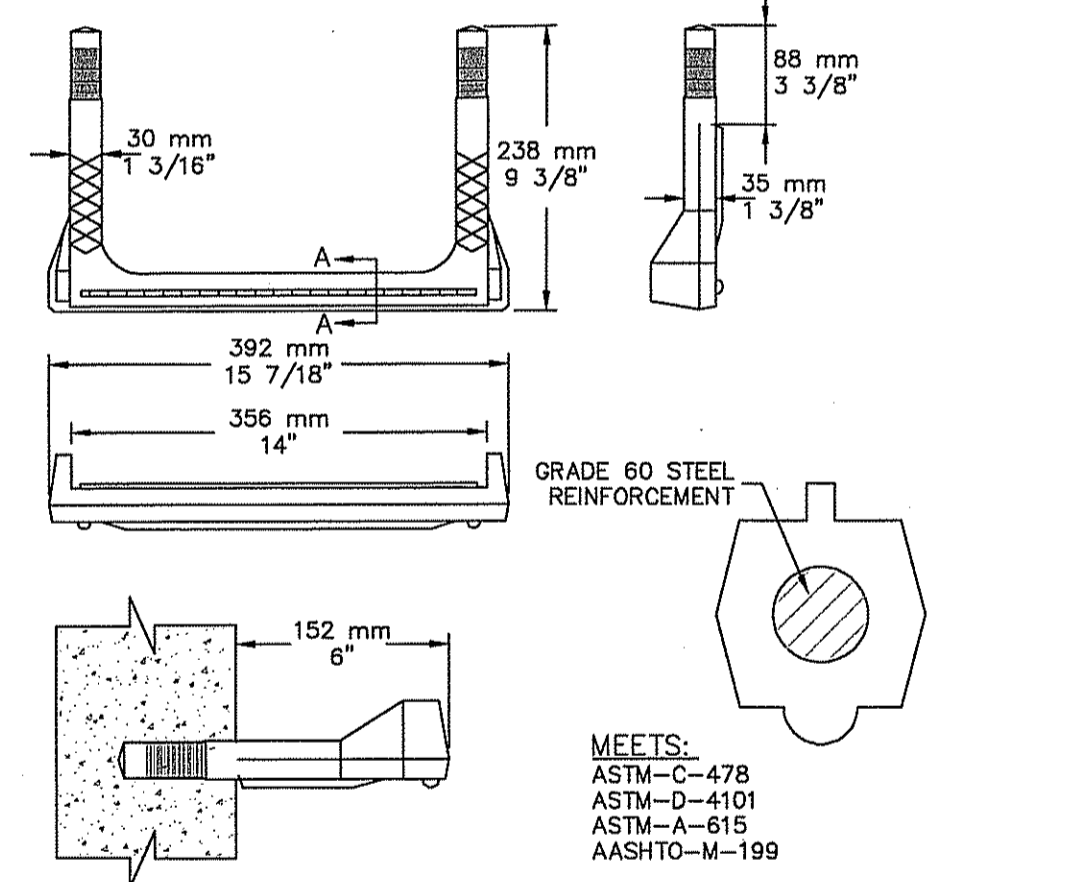
Heavy-Duty Round Frame And Cover
NOT TO SCALE

R.I. STANDARD 6.2.1



- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQUARE INCH/LIN. FOOT MINIMUM.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQUARE INCH/LIN. FOOT (BOTH WAYS).
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAWCUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

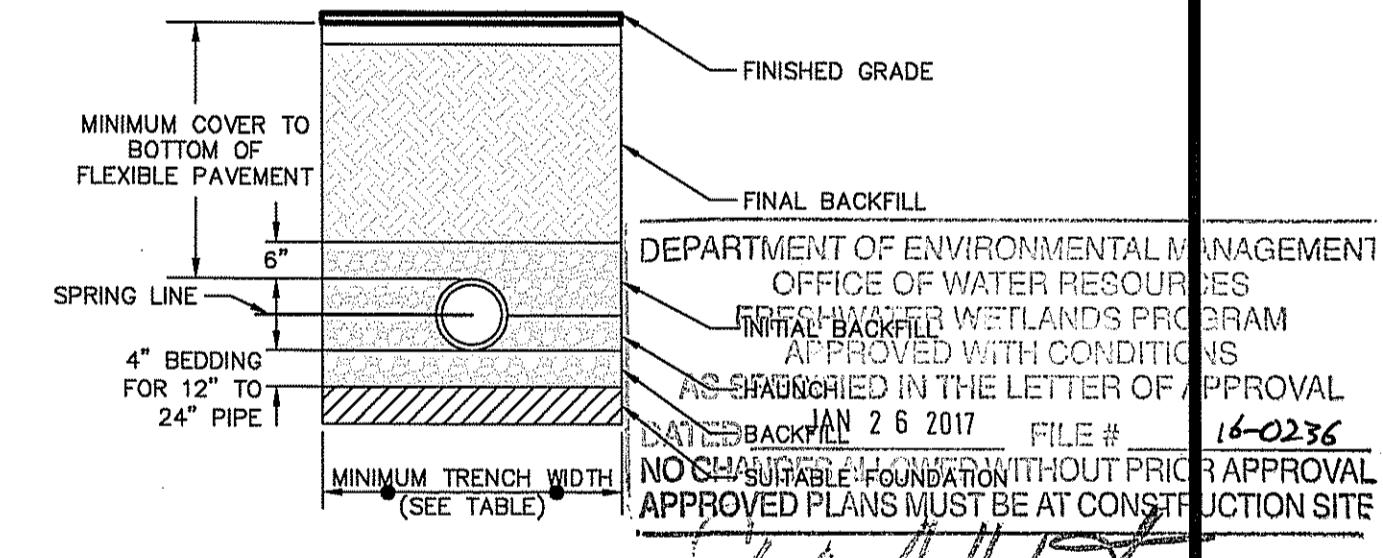
Precast 4'-0" Round Manhole
NOT TO SCALE



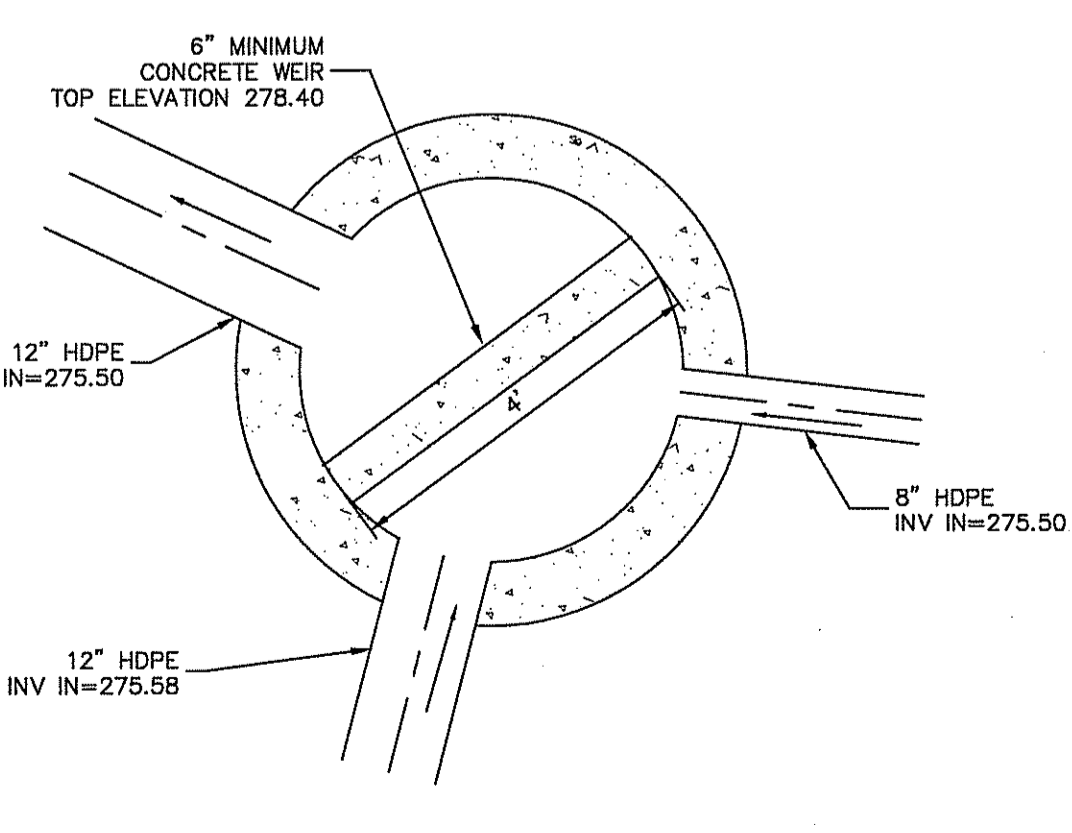
Manhole Step
NOT TO SCALE

- INSTALLATION NOTES:
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST ADDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS II OR III, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. SHOP DRAWINGS SHALL BE PROVIDED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION, FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" PIPE AND 24" OF COVER FOR 54"-60" PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

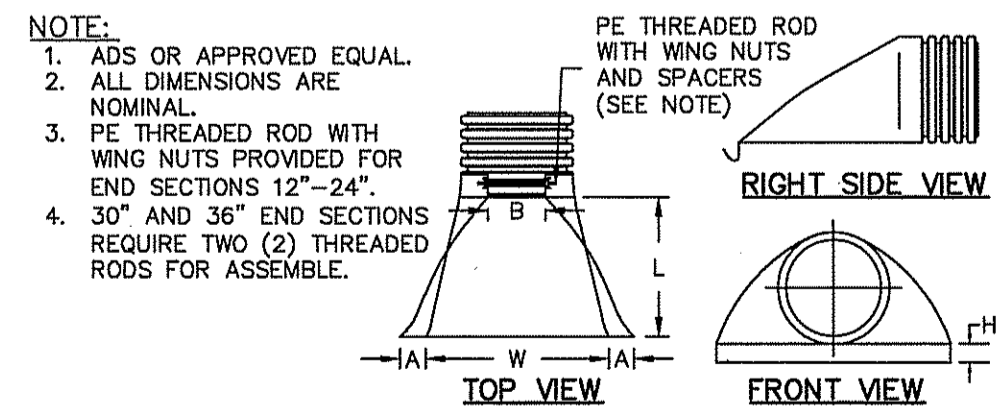
PIPE Ø	MINIMUM TRENCH WIDTH
6"	23"
8"	26"
12"	30"
15"	34"
24"	39"



HDPE Trench Detail
NOT TO SCALE

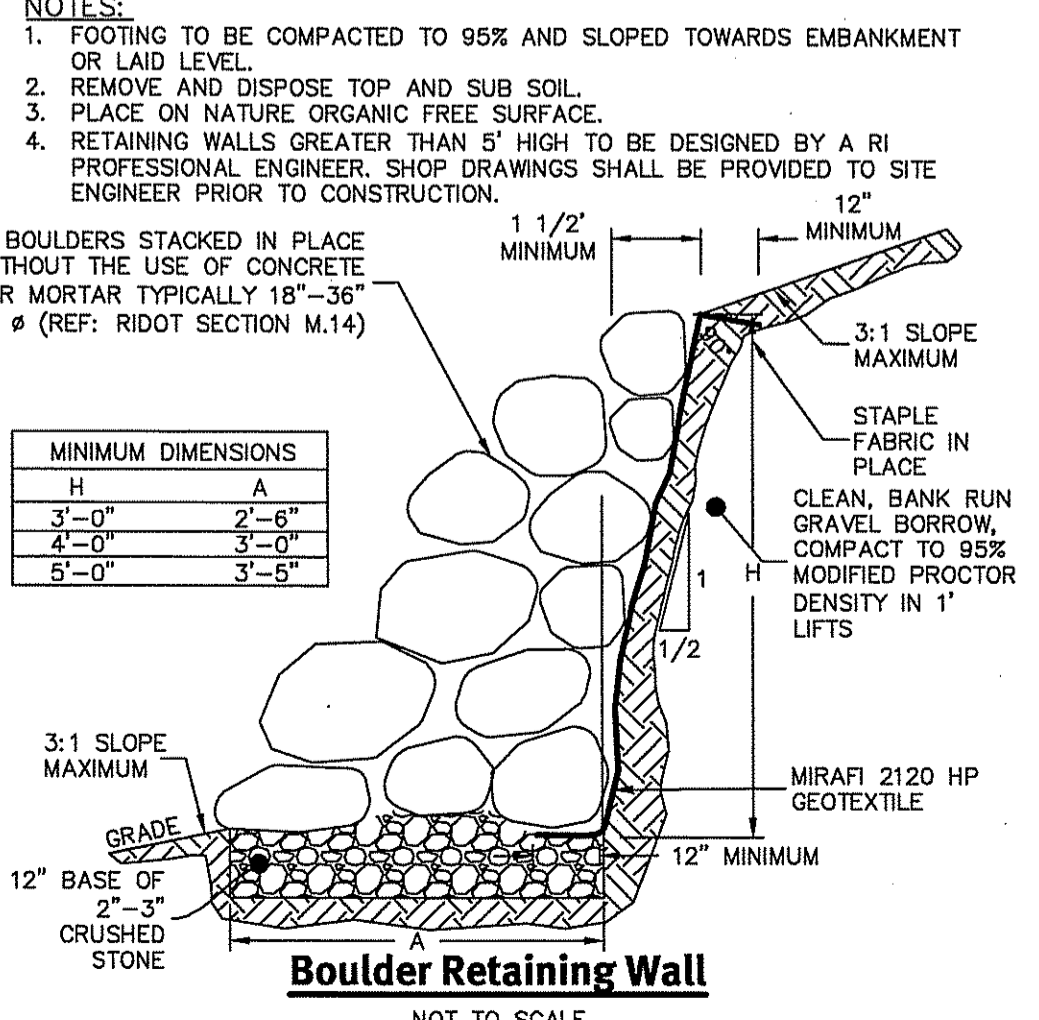


BYPASS-DMH-3 (4'Ø MANHOLE)
SCALE 1"=2'



PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1510NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1810 NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
2410NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
3015NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)
3615NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600 MM)

HDPE Flared End Section
NOT TO SCALE



Boulder Retaining Wall
NOT TO SCALE

The Preserve at Briarcliffe
Assessor's Plat 43/1, Lots 224 & 229, Assessor's Plat 44/4, Lots 68 & 96
Johnston, Rhode Island
Applicant: **Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor**
49 Old Pocomasset Road, Johnston, Rhode Island 02919
tel: 401-944-2450 fax: 401-944-2455
R.I. Job No: 1154-004 Copyright 2016 by DiPrete Engineering Associates, Inc.

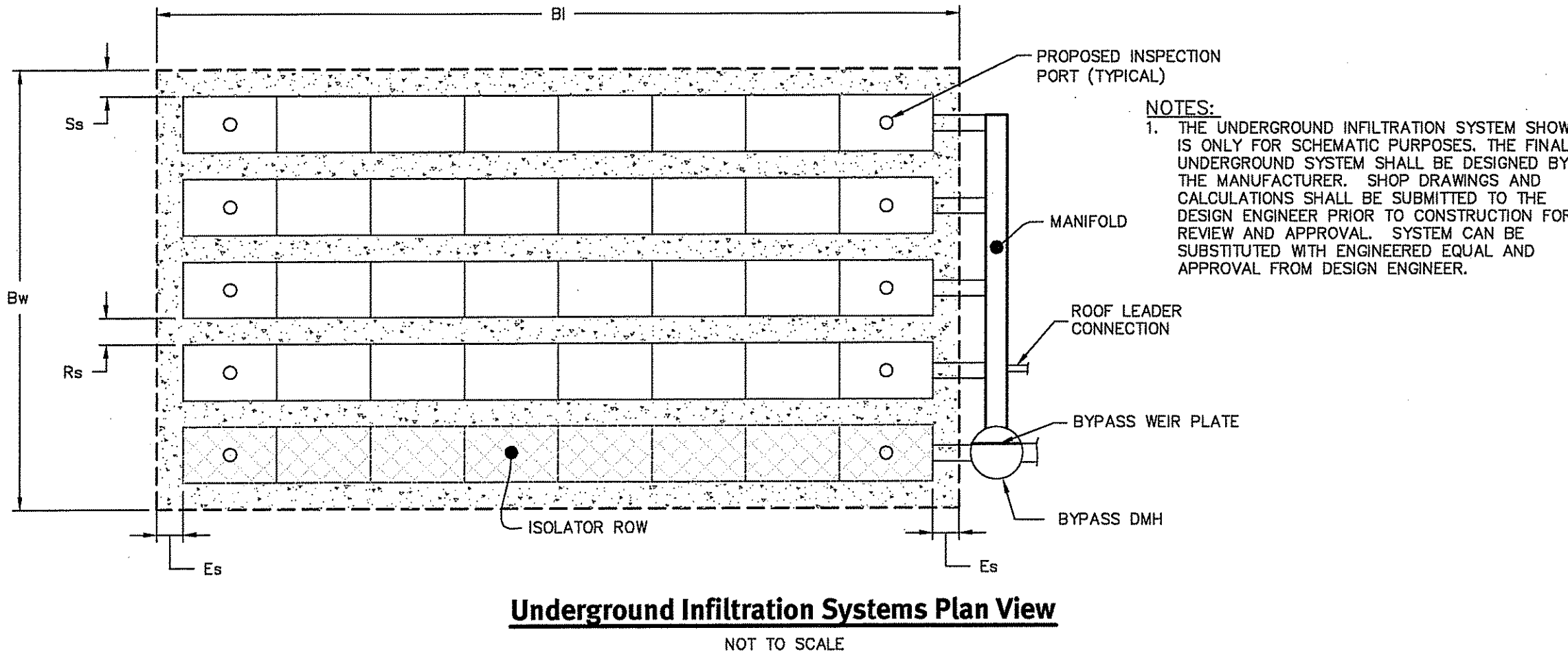
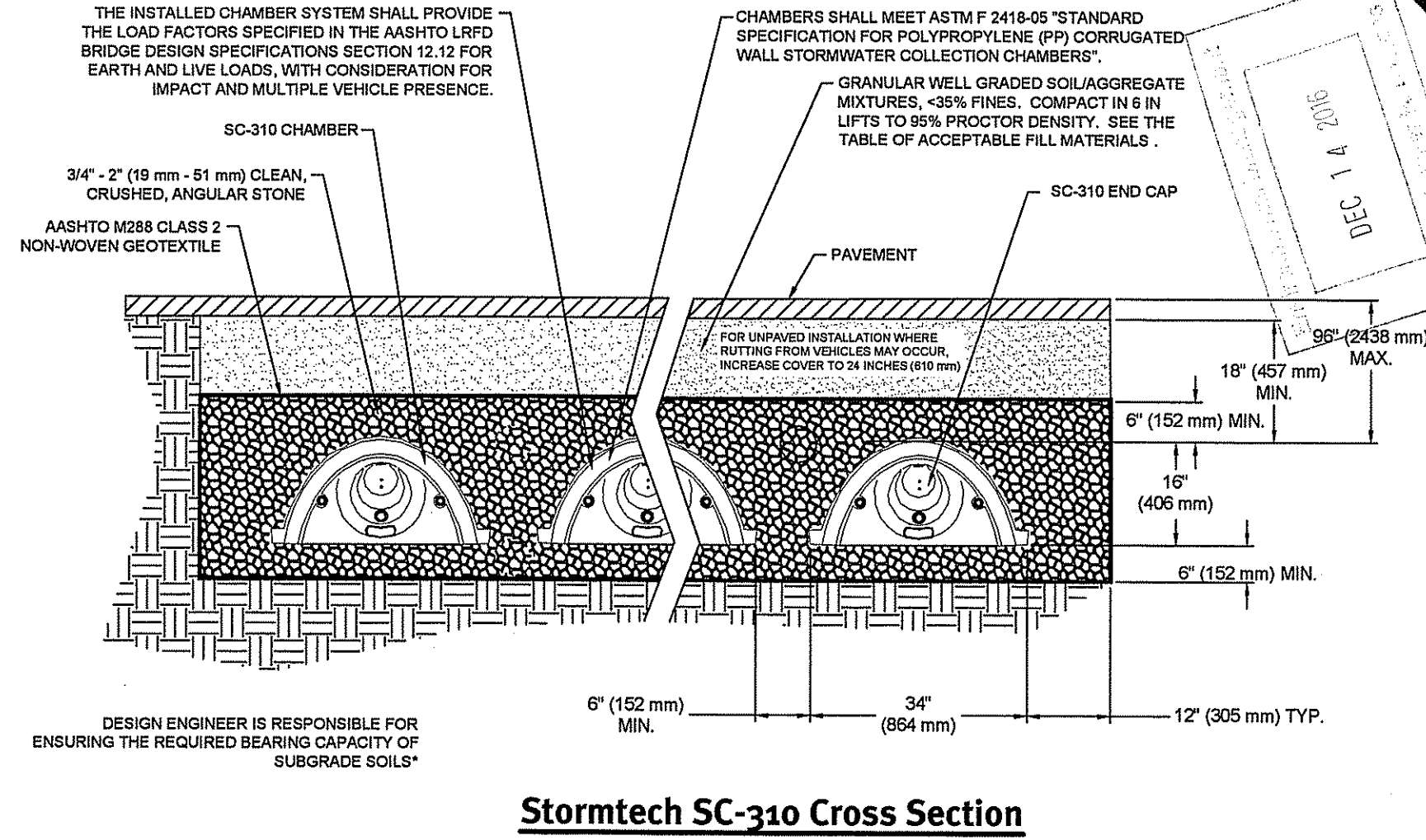
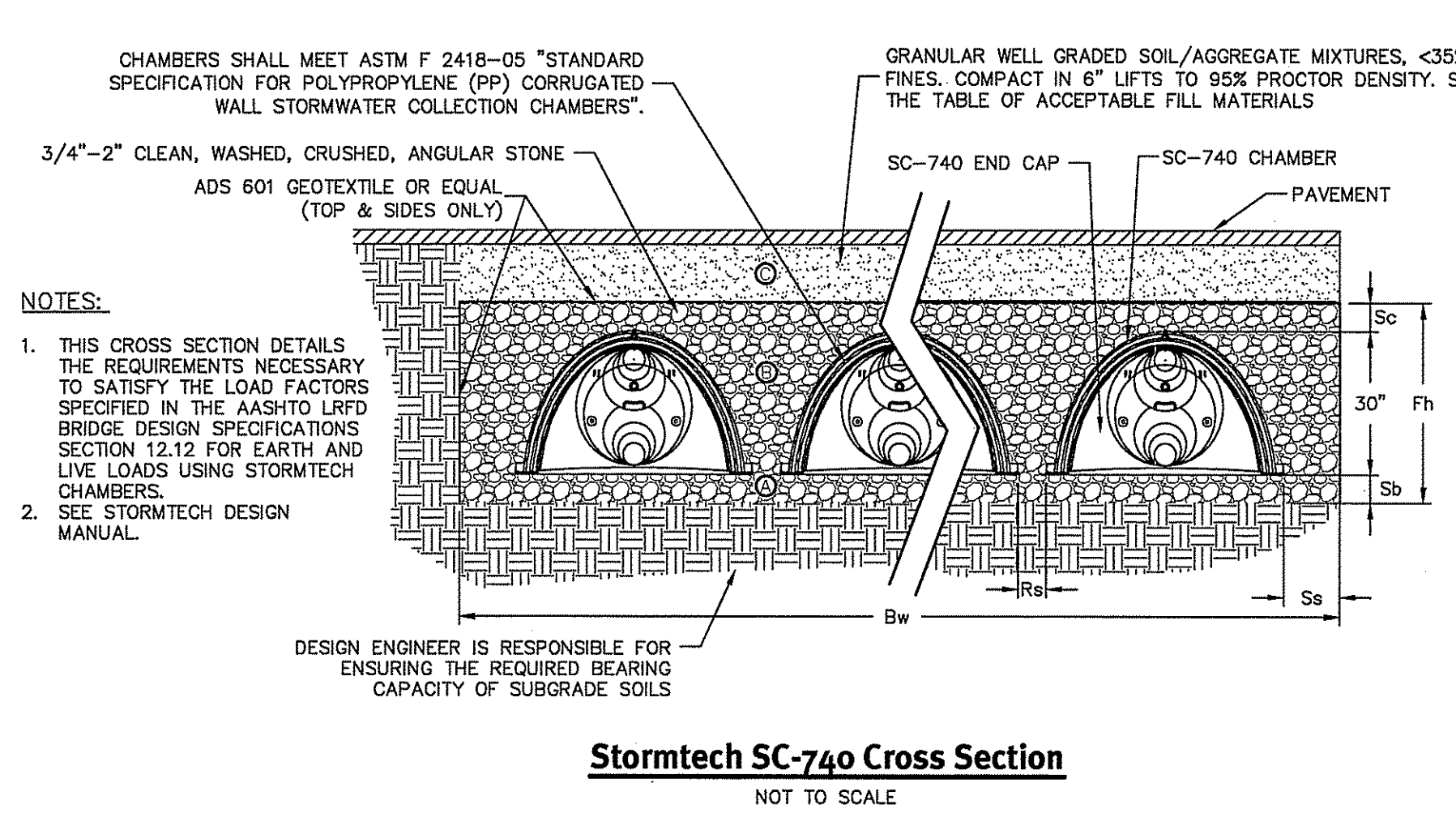
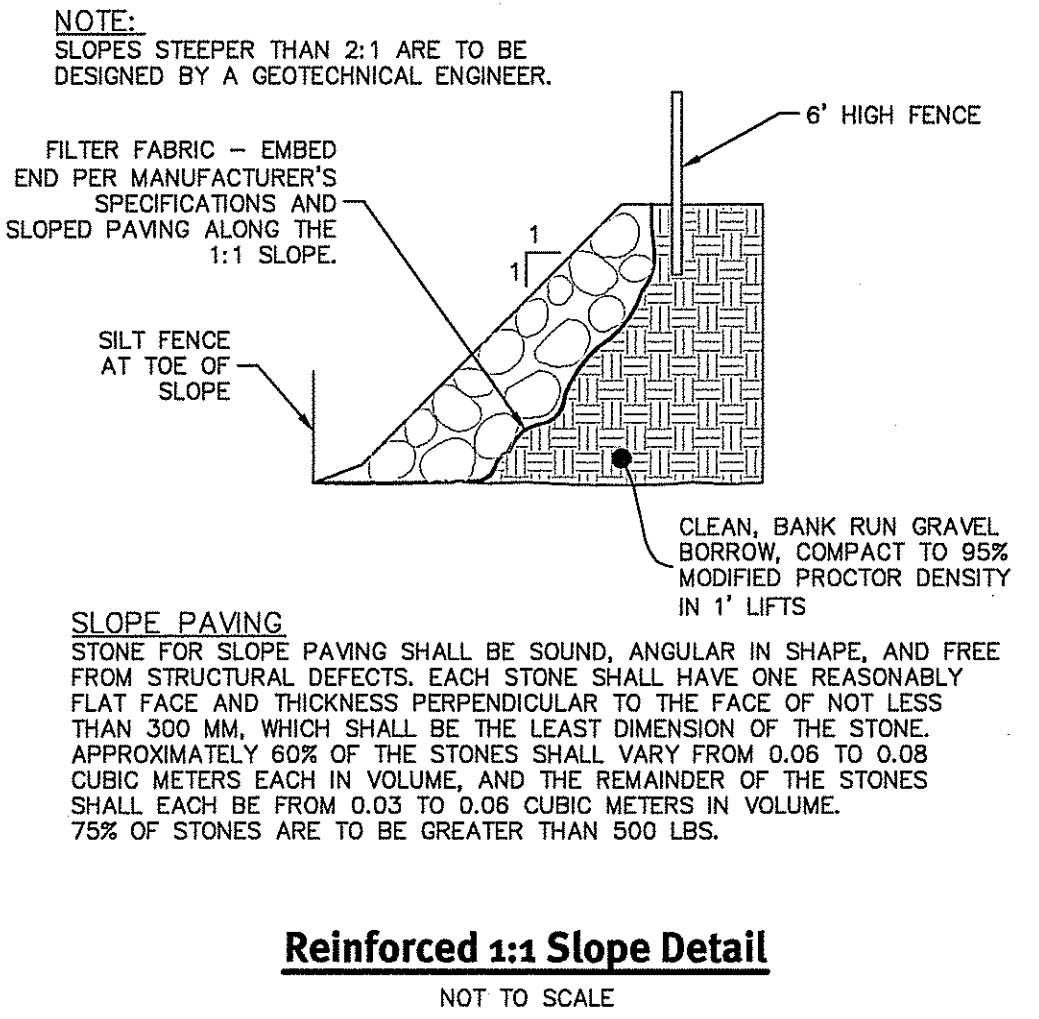
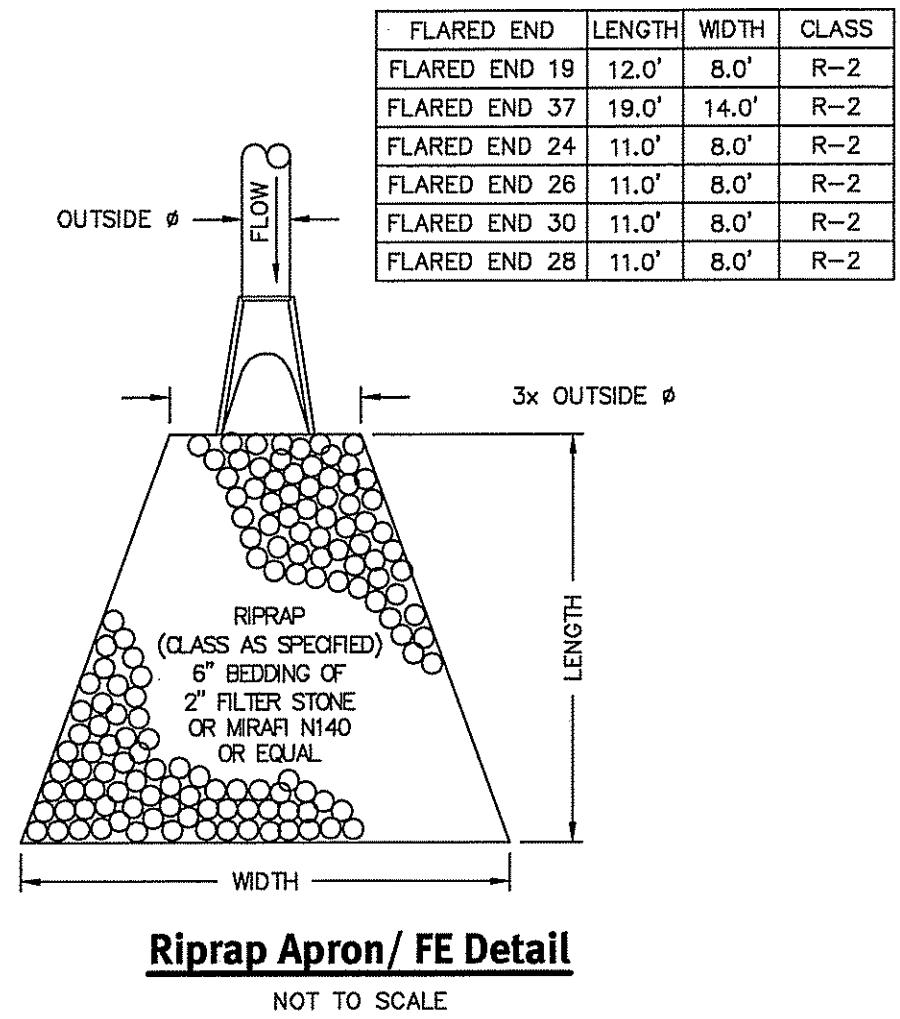
DAVID A. RUSSO
No. 14305
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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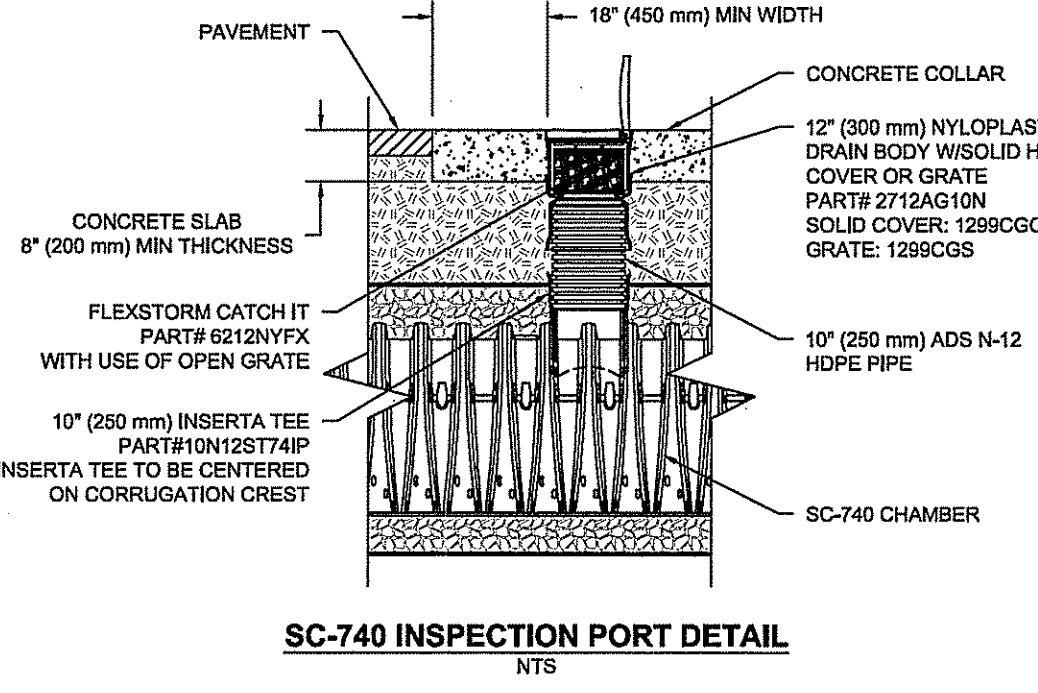
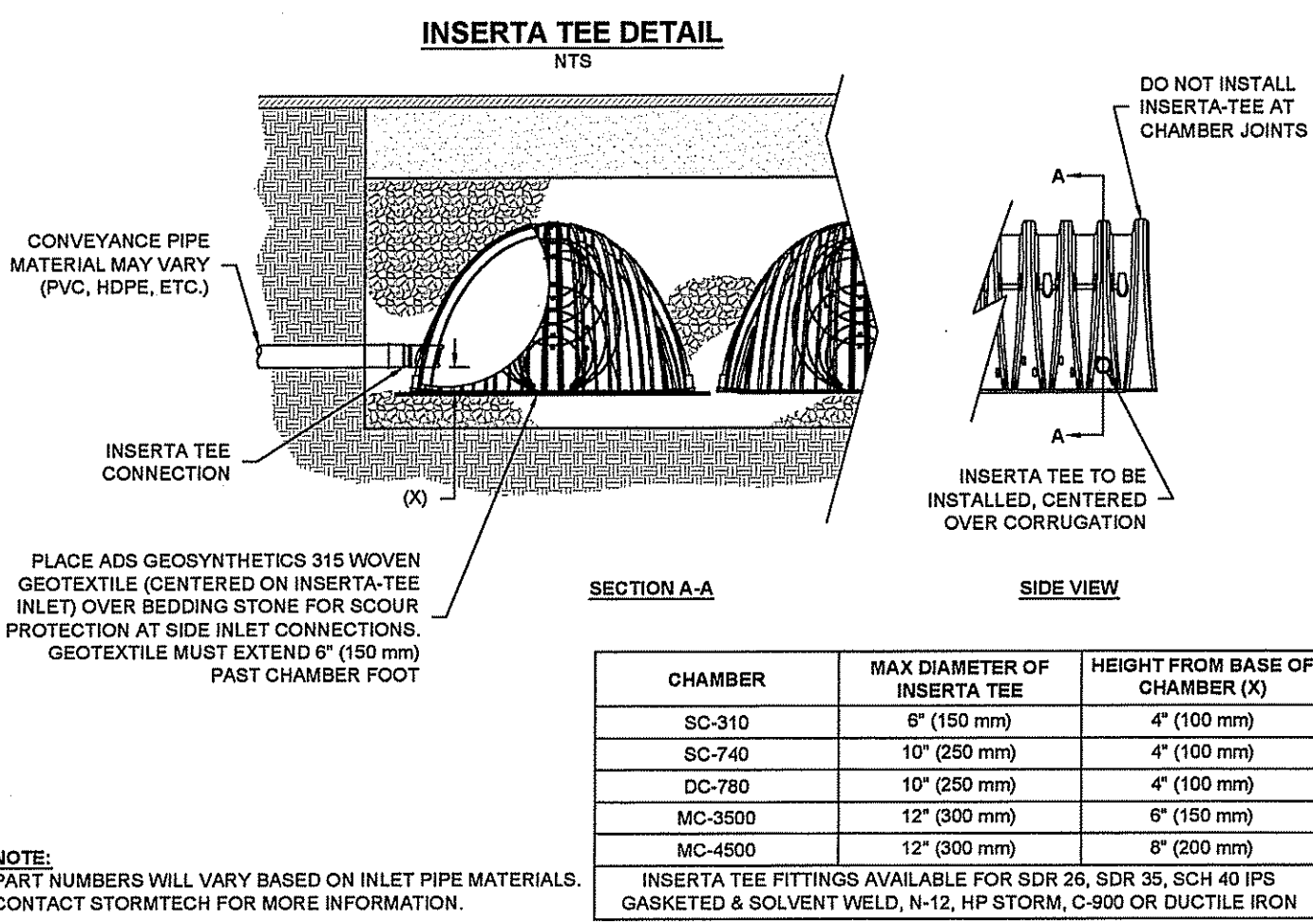
No.	Date	Description	By
1	11-20-16	Issue for Construction	JAC
2	11-20-16	Issue for Construction	JAC
3	11-20-16	Issue for Construction	JAC
4	11-20-16	Issue for Construction	JAC
5	11-20-16	Issue for Construction	JAC

Design By: D.A.R.
Drawn By: J.A.C.

z:\main\projects\1154-004_briarcliffe phase 3\autoexec drawings\1154-004-dmr-ridem.dwg Plotdate: 12/17/2016



System ID	Pond ID	Stormtech Model	Number of Rows	Chambers per Row	Total chambers	Row Spacing (in) (Rs)	Side Stone (in) (Ss)	End Stone (in) (ES)	Stone Cover (in) (Sc)	Stone Base (in) (Sb)	Base Length (ft) (Bl)	Base Width (ft) (Bw)	Field Height (ft) (Fh)	Bottom of Stone Elevation	Test Hole #	Ground Water Elevation	Isolation Row Weir Elevation
UIS-1	140	ADS StormTech SC-740	5	12	60	24	24	24	6	12	89.88	33.25	4.00	274.00	TH-10	271.00	N/A
UIS-2	127	ADS StormTech SC-740	4	9	36	24	24	24	6	12	68.52	27.00	4.00	274.00	TH-8	270.00	275.25
UIS-3	128	ADS StormTech SC-740	6	10	60	24	24	24	6	12	75.64	39.50	4.00	270.50	TH-6	266.20	272.00
UIS-4	112	ADS StormTech SC-740	5	11	55	24	24	24	6	12	82.76	33.25	4.00	253.00	TH-1	249.00	254.50
UIS-5	115	ADS StormTech SC-310	7	8	56	12	12	12	6	6	59.40	27.83	2.33	253.50	TH-3	249.50	N/A
UIS-6	116	ADS StormTech SC-740	5	7	35	24	24	24	6	12	54.28	33.25	4.00	248.50	TH-4	244.00	N/A
UIS-7	222	ADS StormTech SC-310	5	12	60	9	12	12	6	6	95.00	19.17	2.33	277.00	B3,B5	273.00	277.75



INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

A. INSPECT PORTS (IF PRESENT)

A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN

A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE

i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

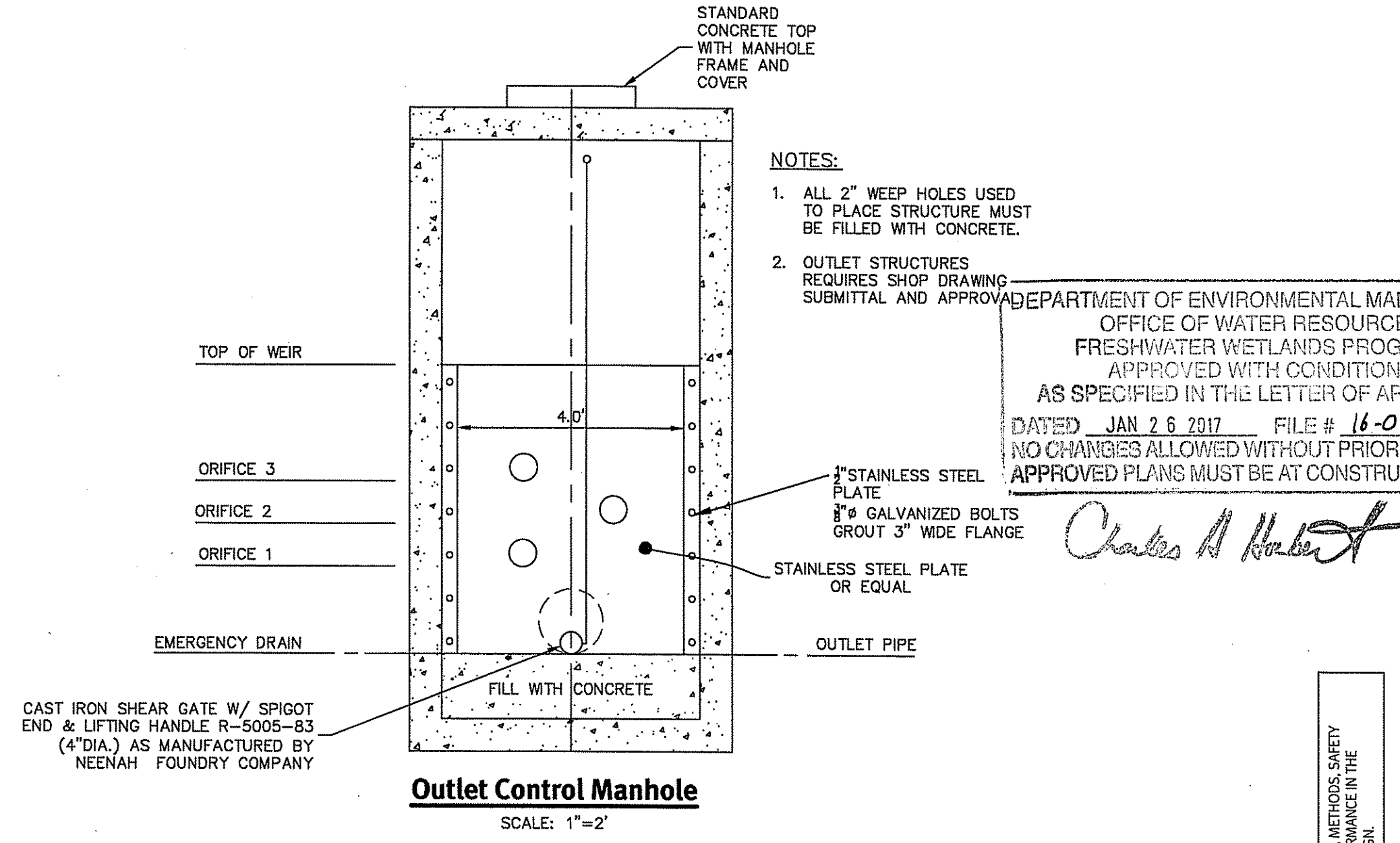
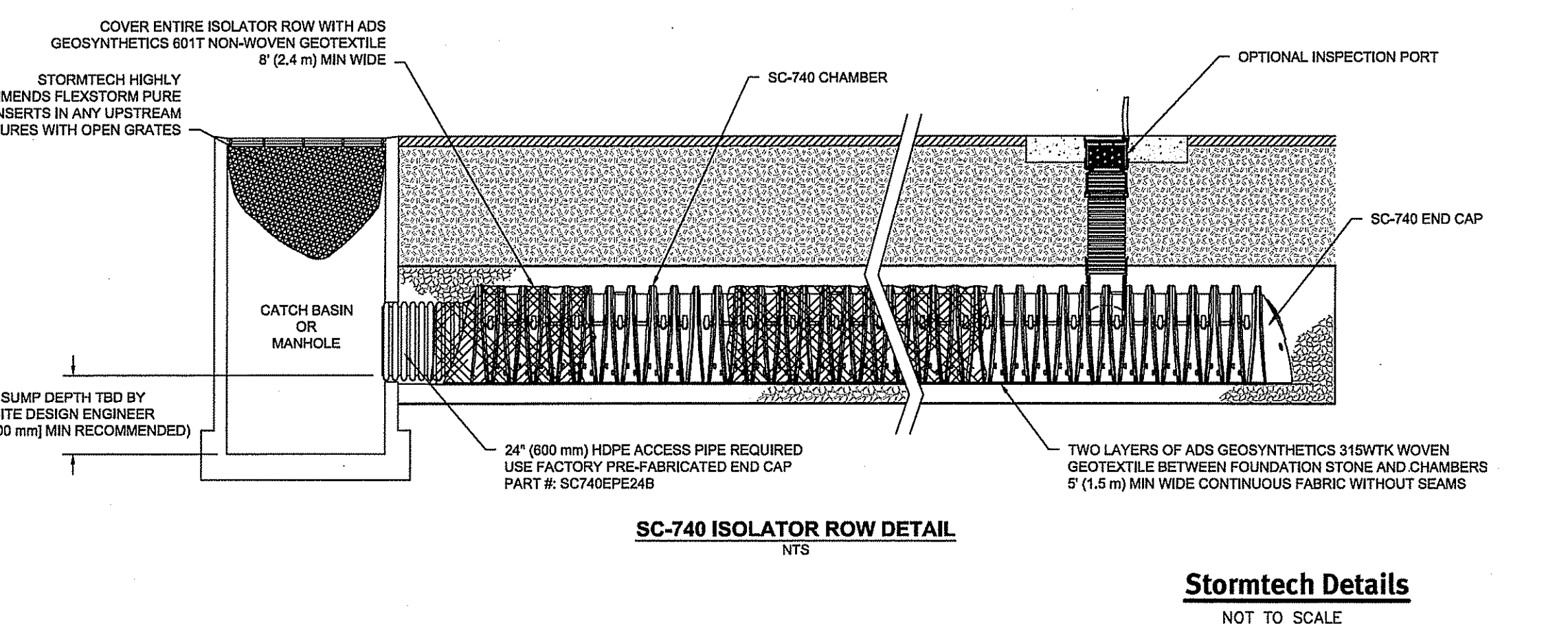
C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



Outlet Control Structure ID	Weir Elevation	Orifice 1 Elev (ft)	Orifice 1 Ø (in)	Orifice 2 Elev (ft)	Orifice 2 Ø (in)	Orifice 3 Elev (ft)	Orifice 3 Ø (in)	Outlet Pipe Invert
(UIS-1) DMH 18	277.90	275.40	4	275.90	5	N/A	N/A	269.88
(UIS-2) DMH 20	277.95	276.00	4	277.00	4	N/A	N/A	274.00
(UIS-3) DMH 22	274.45	271.80	4	272.40	4	273.00	4	270.50
(UIS-4) DMH 35	256.95	254.25	4	254.80	4	255.50	4	253.00
(UIS-5) DMH 29	255.78	254.23	3	254.73	6	254.83	5	253.33
(UIS-6) DMH 27	251.46	250.30	(2) 4 *	251.00	6	N/A	N/A	248.50
(UIS-7) DMH 34	279.30	277.75	(2) 6 **	278.25	6	N/A	N/A	276.50

* 2 - 4" ORIFICES
* 2 - 6" ORIFICES

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-944-6066 www.DiPrete-Eng.com

Engineers • Planners • Surveyors

DAVID A. RUSSO
No. 1305
REGISTERED PROFESSIONAL ENGINEER
CIVIL
9-2016

This regulatory submission set shall not be used for construction purposes unless stamped issued for construction, and signed by a DiPrete Engineering representative.

REV	DATE	DESCRIPTION	BY	CHK
1	10-20-2016	ISSUE FOR PERMITS	JAC	JAC
2	11-2-2016	ISSUE FOR PERMITS	JAC	JAC
3	1-26-2017	ISSUE FOR PERMITS	JAC	JAC

Design By: J.A.C.

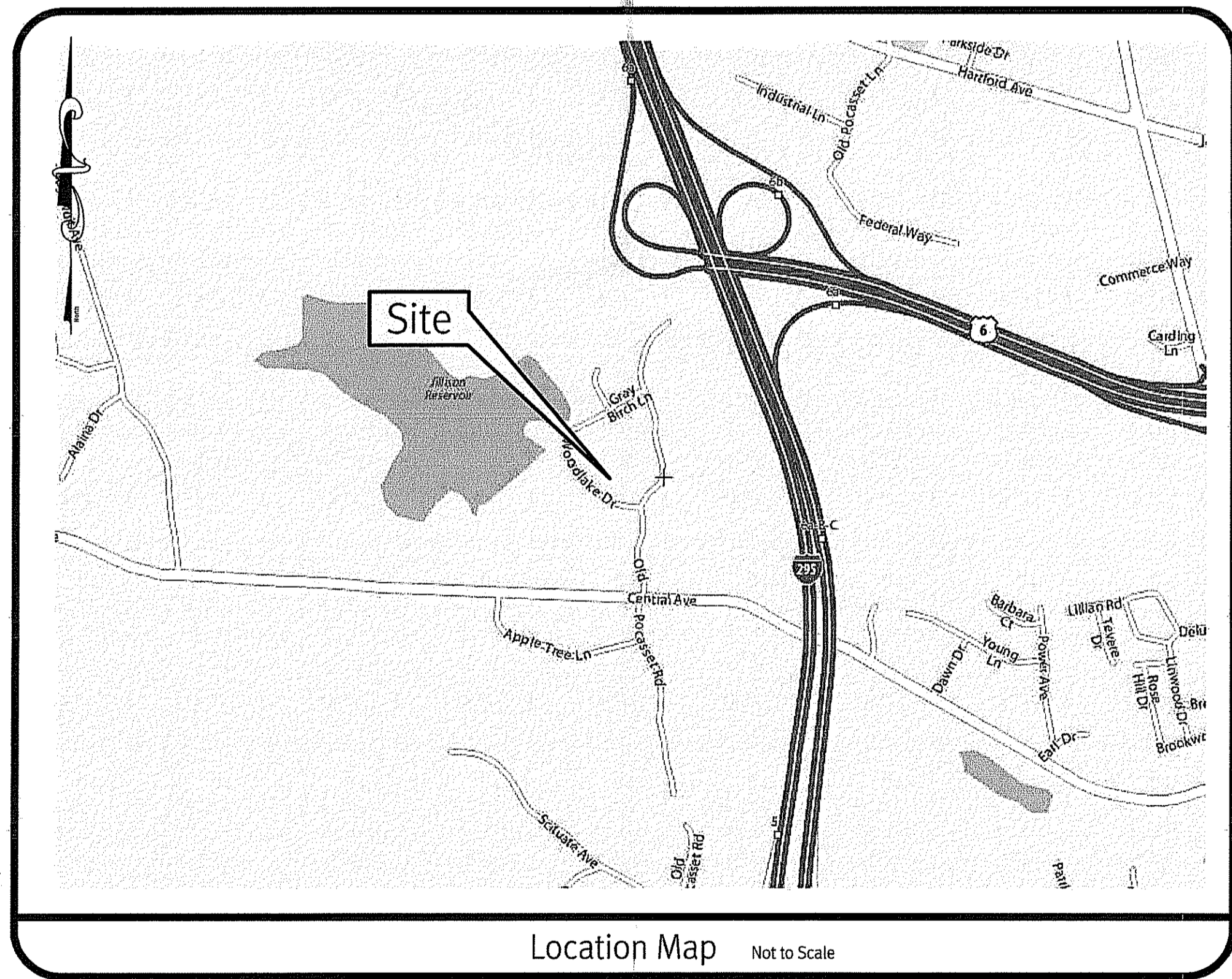
Detail-3
The Preserve at Briarcliffe
Assessor's Plat 437, Lots 224 & 229, Assessor's Plat 444, Lots 68 & 306
Johnston, Rhode Island
Applicant: **Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor**
49 Old Pocasset Road, Johnston, Rhode Island 02919
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RIDEM Submission

The Preserve at Briarcliffe

Old Pocasset Road
Johnston, Rhode Island

Assessor's Plat 43/1 Lots 224 & 229
Assessor's Plat 44/4 Lots 68, 161 & 306



Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius
3. Existing Conditions Plan
4. Site Layout Overall
5. Site Layout Building 2
6. Grading & Drainage - 1
7. Grading & Drainage - 2
8. Grading & Drainage - 3
9. Utility Plan Overall
10. Soil Erosion And Sediment Control Plan
11. Detail Sheet - 1
12. Detail Sheet - 2
13. Detail Sheet - 3
14. Detail Sheet - 4
15. Detail Sheet - 5

Previous Master Plan

Master Plan Approval - The Preserve at Briarcliffe

Environmental Management
JUN 25 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 5 2018 FILE # 16-0236
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Russo

DiPrete Engineering

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tel 401-943-0000 fax 401-464-6006 www.DiPrete-Eng.com

Engineers • Planners • Surveyors

DAVID A. RUSSO
No. 4385
REGISTERED PROFESSIONAL ENGINEER CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'issued for construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	Design By: D.A.R.
1	02/27/2018	RIDEM Permit Modification - RIDEM Sheet 13	M.L.O.
2	02/27/2018	RIDEM Permit Modification - RIDEM Sheet 14	M.L.O.
3	02/27/2018	RIDEM Permit Modification - RIDEM Sheet 15	M.L.O.
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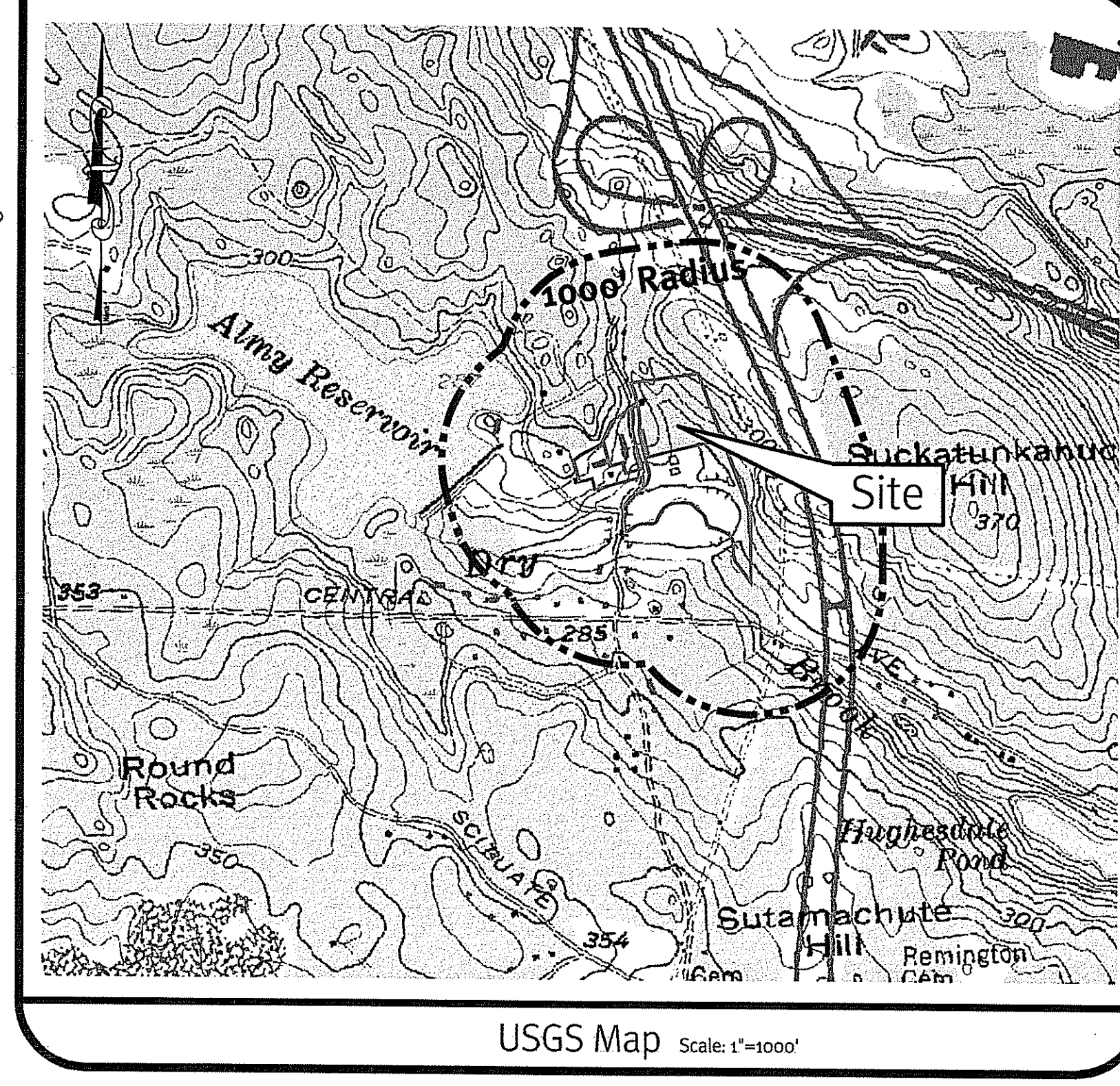
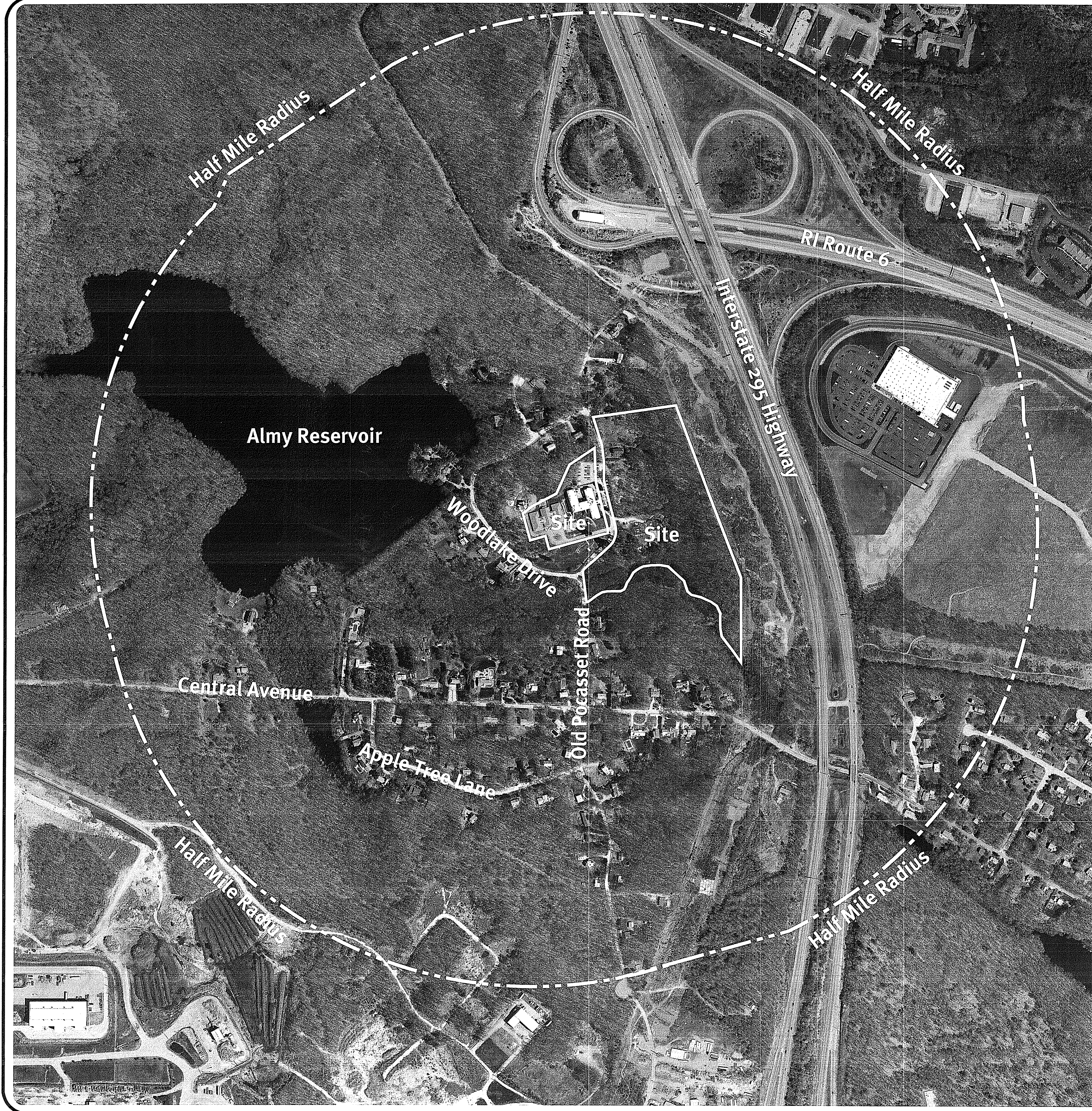
Cover Sheet
The Preserve at Briarcliffe
Assessor's Plat 43/1 Lots 224 & 229, Assessor's Plat 44/4 Lots 68, 161 & 306
Johnston, Rhode Island
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocasset Road, Johnston, Rhode Island 02919
tel 401-944-2450 fax 401-944-2455
DE Job No: 1154-004 Copyright 2018 by DiPrete Engineering Associates, Inc.

SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

JUN 25 2018

Z:\email\projects\1154-004 Briarcliffe phase 3\submissions & approvals\02.02.2018\ridem submission\cad-data files\1154-004-cov.dwg Plotter: 6/27/2018

z:\veman\projects\1154-004\briccliffe\phase 3\submissions & approvals\20180525-prm-codem resubmission\cad-data files\1154-004-cvr.dwg Plotted: 6/27/2018



Environmental Management
JUN 25 2018
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 5 2018 FILE # 16-0236
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Justin A. Hester

DIPrete Engineering

Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-7000 Fax: 401-943-6006 www.DIPrete-Eng.com

Engineers • Planners • Surveyors

DAVID A. RUSSO
 No. 1235
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a DIPrete Engineering representative.

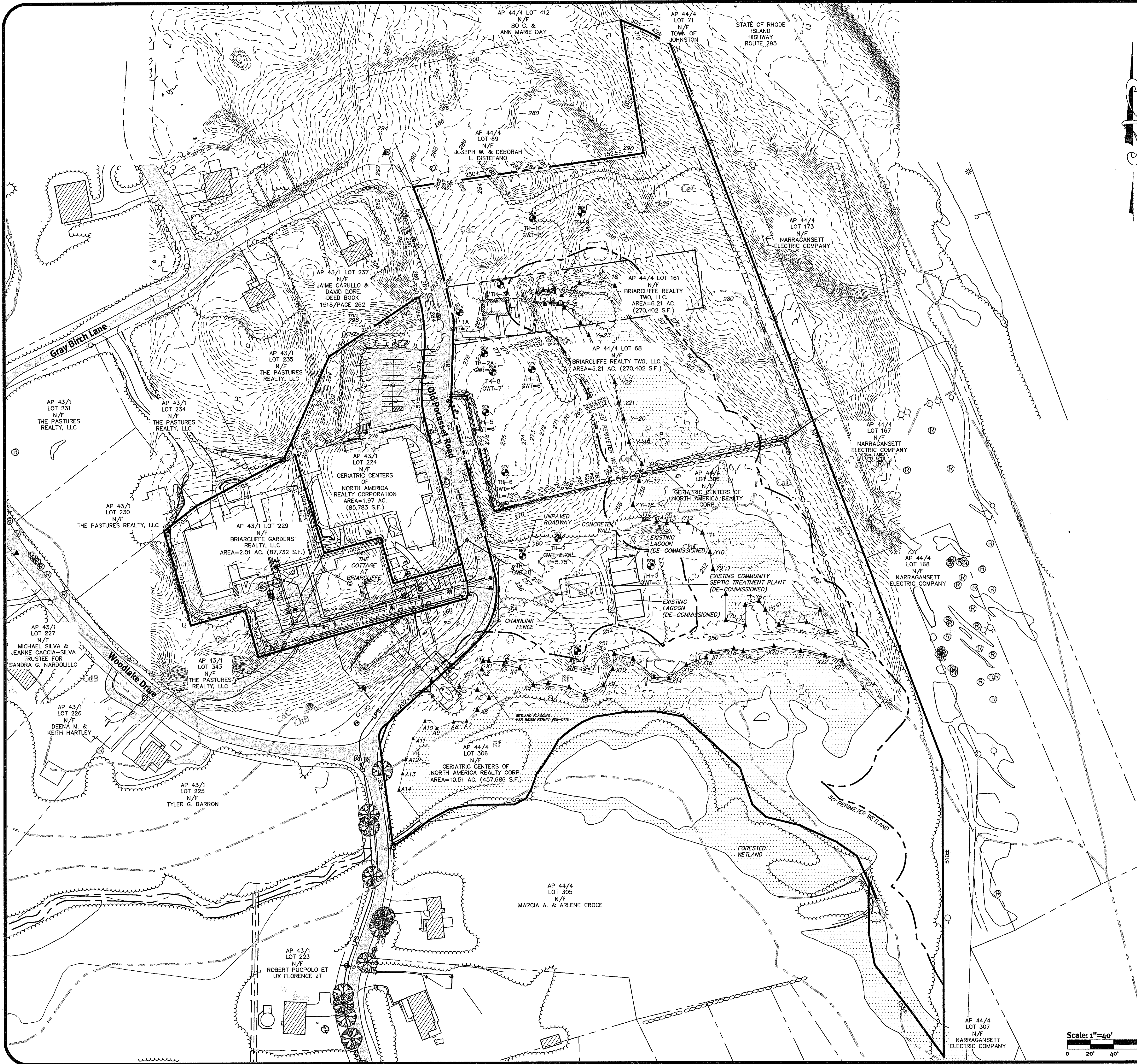
The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By:
1	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
2	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
3	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
4	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
5	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
6	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
7	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
8	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
9	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.
10	6/27/2018	PROJ. PLAN, Modification - Section Sheet 14	J.A.C.

Design By: J.A.C.

**Aerial Half Mile Radius
 The Preserve at Briarcliffe**
 Assessor's Plat 43/1, LOTS 224 & 229, Assessor's Plat 44/4, Lots 68, 65 & 306
 Johnston, Rhode Island
 Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocasset Road, Johnston, Rhode Island 02939
 Tel: 401-944-2450 Fax: 401-944-2455

05 Job No: 1154-004 Copyright 2018 by DIPrete Engineering Associates, Inc.



General Notes

- THE SITE IS LOCATED ON THE TOWN OF JOHNSTON ASSESSOR'S PLAT 43-1 LOTS 224 & 229 AND ASSESSOR'S PLAT 44-4 LOTS 68 & 306. THE SITE IS ZONED PLANNED DISTRICT/ CONTINUING CARE RETIREMENT COMMUNITY AND IS APPROXIMATELY 20.70 ACRES.
- THE OWNERS ARE:
 - AP 43-1 LOT 229
BRIARCLIFFE GARDENS REALTY, LLC
49 OLD POCASSET ROAD
JOHNSTON, RI 02919
T: 401-944-2450
 - AP 43-1 LOT 224 & AP 44-4 LOT 306
GERIATRIC CENTERS OF NORTH AMERICA REALTY CORP.
49 OLD POCASSET ROAD
JOHNSTON, RI 02919
 - AP 44-4 LOT 68
BRIARCLIFFE REALTY TWO LLC
49 OLD POCASSET ROAD
JOHNSTON, RI 02919
 - AP 44-4 LOT 161
CORNELIUS MALONEY
54 OLD POCASSET ROAD
JOHNSTON, RI 02919
- PREPARED FOR
MEDICAL HOMES OF RHODE ISLAND, INC. d/b/a BRIARCLIFFE MANOR
49 OLD POCASSET ROAD
JOHNSTON, RI 02919
T: 401-944-2450
- THERE ARE NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES LOCATED ON THE SUBJECT PROPERTY TO THE BEST OF OUR KNOWLEDGE.
- THERE ARE NO HISTORIC AREAS, CEMETERIES, FOUNDATIONS LOCATED ON THE SUBJECT PROPERTY.
- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DEA AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK.
- ELEVATIONS, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) PER PLAN REFERENCE #1. THE CONTOUR INTERVAL IS 2 FOOT. TOPOGRAPHY IS DEPICTED AS ACCURATE TO WITHIN HALF THE CONTOUR INTERVAL.
- THERE IS NO 100 YEAR FLOOD PLAIN LOCATED ON THE SITE. THE SITE IS LOCATED WITHIN FEMA FLOOD ZONE X, REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007002846, MAP REVISED MARCH 2, 2009, FOR TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND, ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS IV SURVEY. THE PLAN ITSELF CONFORMS ONLY TO A CLASS IV STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.

- Plan References**
- "EXISTING CONDITIONS PLAN FOR AP 43 LOTS 224, 229, 236 AND 343 SITUATED ON 49 OLD POCASSET ROAD JOHNSTON, RI PREPARED FOR BRIARCLIFFE NURSING HOME." PLAN BY GAROFALO AND ASSOCIATES, INC. DATED APRIL 13, 2006 UNRECORDED.
 - "BRIARCLIFFE GARDENS 49 OLD POCASSET ROAD, JOHNSTON, RHODE ISLAND, AP 43/1 LOT 224, 229, 230, 234, 236 AND 343 AP 44/1 LOT 306 ADMINISTRATIVE SUBDIVISION PREPARED BY INTERNATIONAL MAPPING & SURVEYING CORP. DATED 10-6-09. PREPARED FOR THE TOWN OF JOHNSTON LAND EVIDENCE RECORDS IN MAP BOOK 3 AT PAGE 160.

Soil Information

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

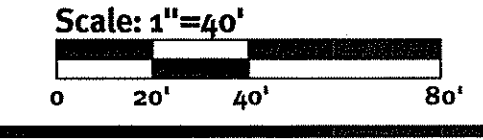
CdC CANTON AND CHARLTON FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
 CcC CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY, 3 TO 15 PERCENT SLOPES
 ChC CANTON CHARLTON-ROCK OUTCROP COMPLEX, 15 TO 35 PERCENT SLOPES
 ChB CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
 ChC CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
 Rf RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS

Legend:

PROPERTY LINE	---
ASSESSORS LINE	---
WETLAND EDGE	---
WETLAND HATCH	---
EXISTING WETLAND FLAGGING	A1 A2 A3
PROPOSED WETLAND FLAGGING	A1 A2 A3
STREAM CENTERLINE	---
50' PERIMETER WETLAND	---
100' RIVERBANK WETLAND	---
200' RIVERBANK WETLAND	---
TWO FOOT CONTOUR	238
TEN FOOT CONTOUR	240
SOIL TYPES	CdC
SOIL BOUNDARY LINE	---
EXISTING TREELINE	---
EXISTING ROADWAY	---
EXISTING BUILDING	---
EXISTING DRIVEWAY	---
EXISTING TREE	○
EXISTING SHRUB	○
EXISTING LIGHTPOLE	○
EXISTING UTILITY POLE	○
EXISTING SEWER MANHOLE	○
EXISTING DRAINAGE MANHOLE	○
EXISTING CATCH BASIN	○
EXISTING DOUBLE CATCH BASIN	○
EXISTING FLARED END	○
EXISTING WATER VALVE	○
EXISTING THRUST BLOCK	○
EXISTING GAS VALVE	○
EXISTING HYDRANT	○
EXISTING WATER LINE	---
EXISTING GAS LINE	---
EXISTING ELECTRIC	---
EXISTING DRAINAGE	---
EXISTING UNDERGROUND ELECTRIC	---
DRILL HOLE FOUND	○
IRON ROD/PIPE FOUND	○

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Engineers • Planners • Surveyors

DAVID A. RUSSO
 No. 4335
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

JUN 25 2018

Office of Water Resources

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The contractor is responsible for all of the means, methods, techniques, practices, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By	Design By: J.A.C.
1	05-29-2018	Initial Plan	J.A.C.	J.A.C.
2	06-12-2018	Revised Plan	J.A.C.	J.A.C.
3	06-25-2018	Final Plan	J.A.C.	J.A.C.
4	06-25-2018	Final Plan	J.A.C.	J.A.C.

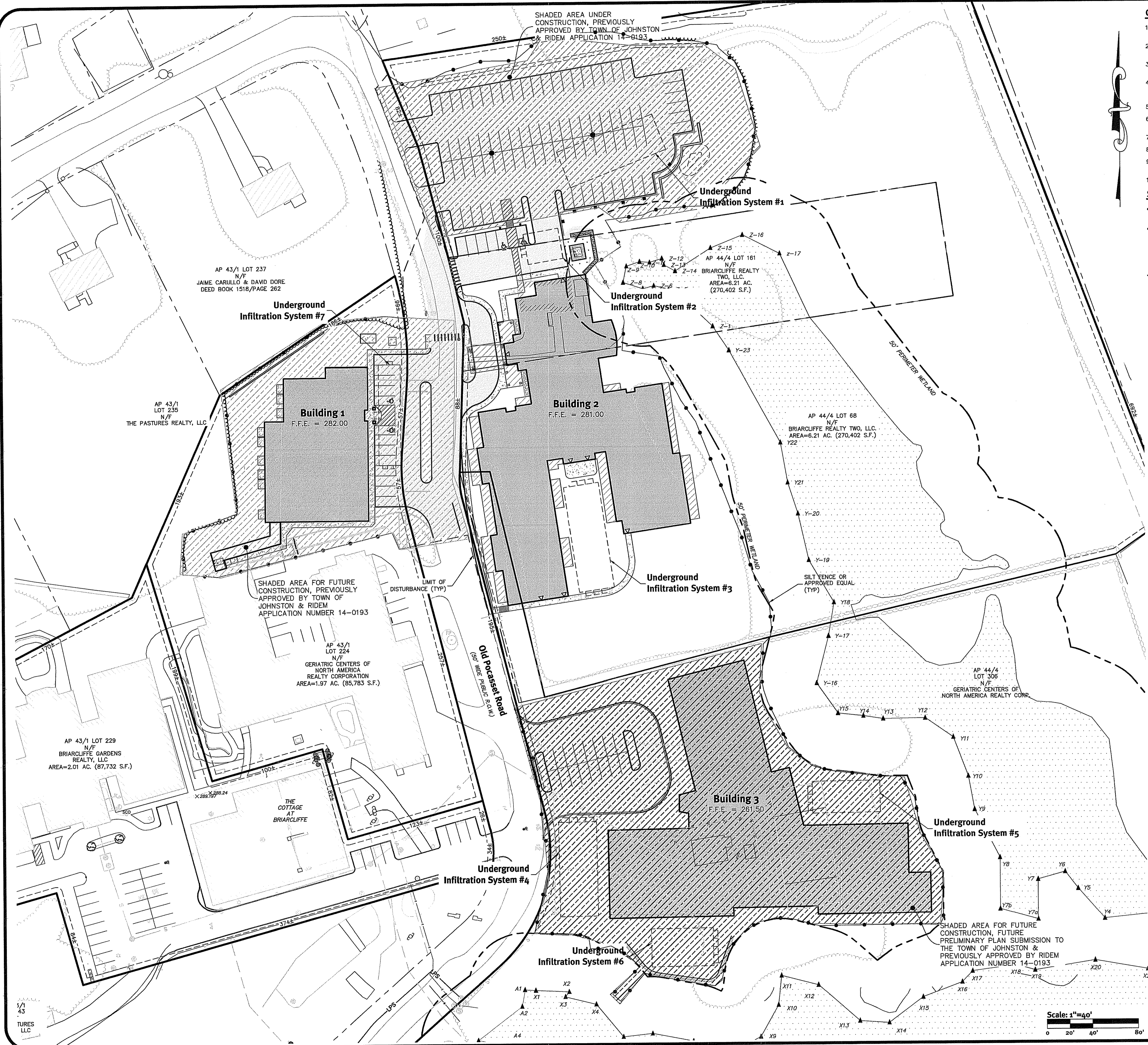
Existing Conditions Plan - The Preserve at Briarcliffe

Assessor's Plat 43/1 Lots 224 & 229, Assessor's Plat 44/4, Lots 68, 161 & 306
 Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocasset Road, Johnston, Rhode Island 02919
 Tel: 401-944-2450 Fax: 401-944-2455

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z:\domain\projects\1154-004_briarcliffe_phase_3\submissions & approvals\02180525-prfm-sdgm_resubmission\cad-data_files\1154-004-dsm-bldg_2.dwg Plotted: 6/27/2018

z:\main\projects\1154-004_briarcliffe_phase_3\submissions & approvals\20180525-prim-ndem-resubmission\east-data\1154-004-dem-bldg-2.dwg Plotted: 6/27/2018



General Notes

- 1. ALL BOUNDARY MONUMENTATION SHOWN ON PLAN IS EXISTING. NO NEW MONUMENTATION IS PROPOSED AT THIS TIME.
- 2. THE SITE IS PROPOSED TO BE BUILT IN MULTIPLE PHASES. CONSTRUCTION TO BEGIN SPRING 2017 OR UPON RECEIPT OF ALL APPROVALS.
- 3. THE SITE IS SERVICED BY PUBLIC WATER AND WILL BE CONNECTED TO THE MUNICIPAL SEWER SYSTEM.
- 4. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF JOHNSTON SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE STORMWATER MANAGEMENT SYSTEM MEETS RIDEM BEST MANAGEMENT PRACTICES.
- 5. NO ALTERATION OF FRESHWATER WETLANDS ARE PROPOSED.
- 6. NO RIGHTS-OF-WAY ARE PROPOSED. THE EXISTING DRAINAGE EASEMENT WILL NEED TO BE EXPANDED. REFERENCE DEED BOOK 1956 PAGE 110.
- 7. NO ADVERSE POTENTIAL IMPACTS ARE FORESEEABLE FROM THE PROPOSED DEVELOPMENT.
- 8. METES AND BOUNDS DESCRIPTION TO BE SUBMITTED PRIOR TO FINAL RECORDING.
- 9. LANDSCAPING TO BE REMOVED IS TO BE REPLACED IN ACCORDANCE WITH TOWN OF JOHNSTON ZONING REGULATIONS SECTION 340-27.2
- 10. ALL LIGHTING TO BE SHIELDED ALONG WETLAND EDGE.

State Permits Received

- RIDEM FRESHWATER WETLANDS PROGRAM (APP #12-0074) (FOR WORK ON ASSESSOR'S PLAT 43-1 LOTS 224 & 229)
- RIDEM FRESHWATER WETLANDS EDGE VERIFICATION (APP #14-0193) (FOR WORK ON ASSESSOR'S PLAT 43-1 LOTS 224 & 229 AND PLAT 44/4 LOTS 306 & 68)

Dimensional Regulations

ZONING:	PLANNED DISTRICT (CONTINUING CARE RETIREMENT COMMUNITY)
MINIMUM LOT AREA:	-
MINIMUM FRONTAGE:	5'
MINIMUM FRONT YARD:	5'
MINIMUM SIDE YARD:	5'
MINIMUM REAR YARD:	5'
MAXIMUM LOT COVERAGE:	50% OF NET TRACT
MAXIMUM BUILDING HEIGHT:	35'
MINIMUM DISTANCE BETWEEN STRUCTURES:	35' (10' VARIANCE REQUESTED)

Parking Regulations:

PARKING USE:	CONTINUING CARE RETIREMENT COMMUNITY
PARKING REQUIREMENT:	1 SPACE / EVERY 3 BEDS
FACILITY BED COUNT:	
EXISTING BRIARCLIFF MANOR:	122 BEDS
EXISTING BRIARCLIFF GARDENS:	43 BEDS
EXISTING THE COTTAGE AT BRIARCLIFF:	20 BEDS
PROPOSED BUILDING 1:	30 BEDS
PROPOSED BUILDING 2:	82 BEDS
PROPOSED BUILDING 3:	60 BEDS
EXISTING PARKING SPACES:	79 SPACES
REQUIRED PARKING SPACES:	120 SPACES
PARKING SPACES PROVIDED:	147 SPACES

Layout and Materials:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE PRECAST CONCRETE, MONOLITHIC CONCRETE OR AS LABELED ON THE PLANS.
- 4. SIDEWALK SHALL BE CONCRETE, OR AS LABELED ON THE PLANS.
- 5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- 6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 7. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- 8. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE TEAM CONTRACT DOCUMENTS.

Demolition Notes:

- 1. ALL EXISTING UTILITIES SHOWN APPROXIMATELY ON THIS PLAN AND NOT SHOWN OTHERWISE, OR INFORMATION PROVIDED TO DDP ENGINEERING BY THE OWNER TO CHANGE, THE LOCATIONS OF UNDERGROUND UTILITIES AND CONDUITS ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER STATE AND MUNICIPAL DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 IN MA, ME, NH, RI & VT, CALL 1-800-922-4455 IN CT 72 HOURS (48 HOURS IN VT AND CT) PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
- 2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- 3. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON OLD POCASSET ROAD STREET.
- 4. ANY DAMAGE TO EXISTING BUILDING AND PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS WITHIN THE LIMIT OF WORK UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS TO INCLUDE BUT NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- 6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK SHALL BE RESTORED TO MATCH THE DESIGN PLANS.

Environmental Management
JUN 25 2018
Office of Water Resources

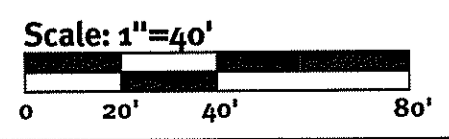
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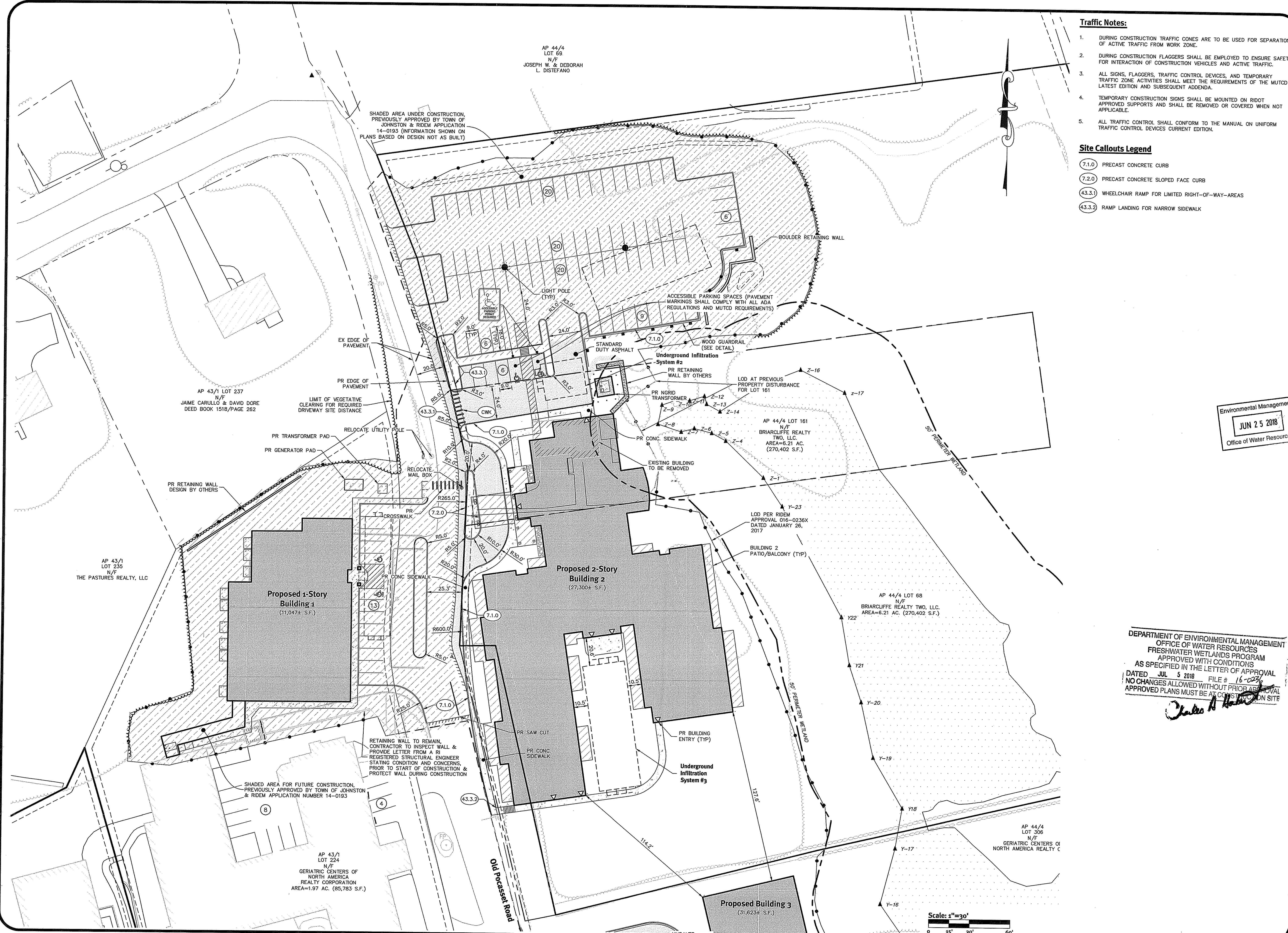
DAWD A. RUSSO
No. 1385
REGISTERED PROFESSIONAL ENGINEER CIVIL

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No.	Date	Description	By:
1	6/27/2018	Initial Permit Modification - Street Sheet 11	J.A.C.
2	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
3	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
4	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
5	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
6	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
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9	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
10	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
11	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
12	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
13	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
14	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
15	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
16	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
17	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
18	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
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32	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
33	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
34	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
35	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
36	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
37	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
38	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
39	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
40	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
41	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
42	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
43	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
44	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
45	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
46	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
47	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
48	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
49	6/27/2018	Initial Permit Modification - Submittal	J.A.C.
50	6/27/2018	Initial Permit Modification - Submittal	J.A.C.

Site Layout Overall
The Preserve at Briarcliffe
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Prepared for
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Tel: 401-943-1000 Fax: 401-461-6006
DE Job No.: 1154-004 Copyright © 2018 by Diprete Engineering Associates, Inc.





- Traffic Notes:**
- DURING CONSTRUCTION TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE.
 - DURING CONSTRUCTION FLAGGERS SHALL BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
 - ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES SHALL MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
 - TEMPORARY CONSTRUCTION SIGNS SHALL BE MOUNTED ON RIDOT APPROVED SUPPORTS AND SHALL BE REMOVED OR COVERED WHEN NOT APPLICABLE.
 - ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES CURRENT EDITION.

- Site Callouts Legend**
- (7.1.0) PRECAST CONCRETE CURB
 - (7.2.0) PRECAST CONCRETE SLOPED FACE CURB
 - (43.3.1) WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY-AREAS
 - (43.3.2) RAMP LANDING FOR NARROW SIDEWALK

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No.	Date	Description	By
1	02-22-2018	Initial Permit Application	M.D.
2	05-22-2018	Final Permit Application	M.D.
3	05-22-2018	Final Permit Application	M.D.
4	05-22-2018	Final Permit Application	M.D.
5	05-22-2018	Final Permit Application	M.D.
6	05-22-2018	Final Permit Application	M.D.
7	05-22-2018	Final Permit Application	M.D.
8	05-22-2018	Final Permit Application	M.D.
9	05-22-2018	Final Permit Application	M.D.
10	05-22-2018	Final Permit Application	M.D.
11	05-22-2018	Final Permit Application	M.D.
12	05-22-2018	Final Permit Application	M.D.
13	05-22-2018	Final Permit Application	M.D.
14	05-22-2018	Final Permit Application	M.D.
15	05-22-2018	Final Permit Application	M.D.
16	05-22-2018	Final Permit Application	M.D.
17	05-22-2018	Final Permit Application	M.D.
18	05-22-2018	Final Permit Application	M.D.
19	05-22-2018	Final Permit Application	M.D.
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21	05-22-2018	Final Permit Application	M.D.
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23	05-22-2018	Final Permit Application	M.D.
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26	05-22-2018	Final Permit Application	M.D.
27	05-22-2018	Final Permit Application	M.D.
28	05-22-2018	Final Permit Application	M.D.
29	05-22-2018	Final Permit Application	M.D.
30	05-22-2018	Final Permit Application	M.D.

**Site Layout Building 2
 The Preserve at Briarcliffe**
 Assessor: File 4/21 Lots 224 & 229, Assessor's Plat 04/14, Lots 65, 161 & 306
 Pawtucket, Rhode Island
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocomset Road, Johnston, Rhode Island 02919
 tel. 401-944-2450 fax. 401-944-2455
 DE 048 No. 1154-004 Copyright 2018 by DiPrete Engineering Associates, Inc.

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See Grading & Drainage - 2



- ADA Notes:**
- ALL IMPROVEMENTS SHALL COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE.
 - MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 4.5% OR 0.045' /', AND MAXIMUM CROSS SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 0.015' /'.
 - MAXIMUM SLOPE IN ALL DIRECTIONS FOR ALL ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE 0.015' /'.
 - A 5'x5' LANDING WITH A MAXIMUM SLOPE OF 1.5% OR 0.015' /', IN ALL DIRECTIONS SHALL BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSES.
 - SIDEWALK CURB RAMPS SHALL COMPLY WITH DIPRETE ENGINEERING DETAILS THAT MEET OR EXCEEDING RIDOT STANDARDS 43.3.0, 43.3.1, & 43.4.1 AS SHOWN ON THE DETAIL SHEET.
 - PLEASE NOTE THAT THE GRADING AND PLAN VIEWS AS WELL AS THE STANDARD DETAILS MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS AND RAMPS TO ADA STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA STANDARDS. IN THE EVENT OF ANY CONFLICTS THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Abbreviations:

EXISTING	EX	SEWER MANHOLE	SMH
PROPOSED	PR	DRAINAGE MANHOLE	DMH
FINISH FLOOR ELEVATION	FFE	CATCH BASIN	CB
ASSESSOR'S PLAT	AP	DOUBLE GRATED CATCH BASIN	DCB
NOW OR FORMERLY	N/F	ROOF DRAIN	RD
TYPICAL	TYP	FLARED END SECTION	FES
BOTTOM OF WALL	BW	CONCRETE	CONC
TOP OF WALL	TW	INVERT	INV
TOP OF CURB/ TOP OF CONCRETE	TC	ON CENTER	OC
BOTTOM OF CURB/ BOTTOM OF CONCRETE	BC	NYLOPLAST INLINE DRAIN (24" DI FRAME & DOME GRATE PAINTED BLACK)	IN
LANDSCAPE AREA	LA		

Legend:

- PROPERTY LINE
- ASSESSOR'S LINE
- WETLAND EDGE
- WETLAND HATCH
- EXISTING WETLAND FLAGGING
- PROPOSED WETLAND FLAGGING
- STREAM CENTERLINE
- 50' PERIMETER WETLAND
- 100' RIVERBANK WETLAND
- 200' RIVERBANK WETLAND
- TWO FOOT CONTOUR
- TEN FOOT CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- SOIL TYPES
- SOIL BOUNDARY LINE
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING ROADWAY
- PROPOSED ROADWAY
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED DRAIN LINE
- PROPOSED ROOF LEADER
- PROPOSED FLARED END
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED OVERHEAD WIRES
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED ELECTRIC, TELEPHONE, CABLE LINE
- PROPOSED GAS LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED WATER VALVE
- PROPOSED THRUST BLOCK
- PROPOSED CONCRETE (PAD, SIDEWALK)
- PROPOSED PAVEMENT STRIPING (4" WHITE STRIPING 2" ON CENTER @ 45')
- PROPOSED ACCESSIBLE PARKING SPACE SYMBOL
- PROPOSED ACCESSIBLE VAN SPACE SYMBOL

Environmental Management
JUN 25 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 5 2018 FILE # 16-0236
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY: *James H. Hester*

Scale: 1"=20'

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-0000 fax 401-943-6006 www.Diprete-Eng.com

DAVID A. RUSSO
No. 1355
REGISTERED PROFESSIONAL ENGINEER CIVIL

Grading & Drainage - 1
The Preserve at Briarcliffe
Assessor's Plat 44/4, Lots 224 & 229, Assessor's Plat 44/4, Lots 55, 101 & 306
Johnston, Rhode Island
Prepared for:
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocasset Road, Johnston, Rhode Island 02919
tel 401-944-2450 fax 401-944-2455
DE Job No: 1154-004, Copyright 2018 by Diprete Engineering Associates, Inc.

DESIGN BY: J.A.C.
DRAWN BY: J.A.C.
DATE: 5-25-2018
NO. 1355

SHEET 6 OF 15

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z:\main\projects\1154-004_briarcliffe phase 3\submissions & approvals\20180525-prm-odm-resubmission\cad\data\illus\1154-004-dsr-bldg_2.dwg Plotdate: 6/27/2018



UIC Notes:

PROPOSED UNDERGROUND DRAINAGE SYSTEM MEETS ALL THE FOLLOWING UIC MINIMUM SETBACK REQUIREMENTS:

1. 400 FEET FROM ALL PUBLIC WATER WELLS (SAND & GRAVEL)
2. 200 FEET FROM ALL PUBLIC WATER WELLS (BEDROCK)
3. 200 FEET FROM ALL SURFACE DRINKING WATER SUPPLY IMPOUNDMENTS
4. 100 FEET FROM ALL PRIVATE DRINKING WATER WELLS
5. 100 FEET FROM ALL OTHER SURFACE WATERS
6. 25 FEET FROM ALL OWTS & OTHER GROUNDWATER DISCHARGE SYSTEMS
7. 25 FEET FROM ALL BUILDING FOUNDATIONS IF SYSTEM IS ABOVE SLAB ELEVATION
8. 10 FEET FROM ALL PROPERTY LINES
9. 10 FEET FROM ALL BUILDING FOOTINGS

Environmental Management
JUN 25 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 5 2018 FILE # 16-0296
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Haber

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Engineers - Planners - Surveyors

DAVID A. RUSSO
No. 4305
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

NO.	DATE	DESCRIPTION	DESIGN BY: D.A.R.
1	6/27/2018	RI/DM Permit Modification - Revised Sheet 13	
2	6/27/2018	RI/DM Permit Modification - Submission	
3	6/27/2018	RI/DM Permit Modification - Submission	
4	6/27/2018	RI/DM Permit Modification - Submission	
5	6/27/2018	RI/DM Permit Modification - Submission	
6	6/27/2018	RI/DM Permit Modification - Submission	
7	6/27/2018	RI/DM Permit Modification - Submission	
8	6/27/2018	RI/DM Permit Modification - Submission	
9	6/27/2018	RI/DM Permit Modification - Submission	
10	6/27/2018	RI/DM Permit Modification - Submission	

Grading & Drainage - 2
The Preserve at Briarcliffe
Assessor's Plat 43/1 Lots 224 & 229, Assessor's Plat 44/1, Lots 65, 161 & 306
Johnston, Rhode Island
Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocasset Road, Johnston, Rhode Island 02919
tel 401-944-2450 fax 401-944-2455

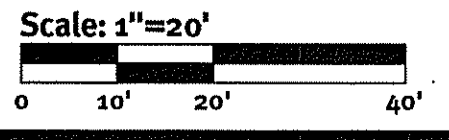
See Grading & Drainage - 2



Z:\Main\projects\1154-004_briarcliffe_phase_3\submissions & approvals\20180625-prm-cdem_reubmission\cad-data\files\1154-004-dsm-bldg-2.dwg Plotdate: 6/27/2018

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 5 2018 FILE # 16-0256
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Hubert



Grading & Drainage - 3
The Preserve at Briarcliffe
 Assessor's Plat 43/1 Lots 224 & 229, Assessor's Plat 44/4, Lots 165, 161 & 306
 Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocasset Road, Johnston, Rhode Island 02919
 Tel: 401-942-2450 Fax: 401-941-2455
 © Job No: 1154-004 Copyright: 2018 by DiPrete Engineering Associates, Inc.

DAVID A. RUSSO
 No. 1385
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

Environmental Management
 JUN 25 2018
 Office of Water Resources
 This regulatory submission set shall be used for construction purposes unless stamped, issued for construction, and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By:	Design By:
1	6/27/2018	ISSUE FOR PERMIT MODIFICATION - REVISED SHEET 13	J.A.C.	J.A.C.
2	6/27/2018	ISSUE FOR PERMIT MODIFICATION - REVISED SHEET 13	J.A.C.	J.A.C.
3	6/27/2018	ISSUE FOR PERMIT MODIFICATION - REVISED SHEET 13	J.A.C.	J.A.C.
4	6/27/2018	ISSUE FOR PERMIT MODIFICATION - REVISED SHEET 13	J.A.C.	J.A.C.

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6006 www.DiPrete-Eng.com
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- ### Grading and Utility Notes:
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON-SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
 - CONSTRUCTION TO COMMENCE SPRING 2017 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
 - ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF JOHNSTON STANDARD SPECIFICATIONS AND DETAILS.
 - SEQUENCE OF CONSTRUCTION PROVIDED/SHOWN IN SECC MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
 - PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
 - ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
 - ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
 - ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
 - ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
 - ALL COMPONENTS OF THE DRAINAGE, SEWER AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
 - NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
 - ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
 - ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. ENVIRONMENTAL MANAGEMENT
 - NO STUMP DUMPS ARE PROPOSED ON-SITE.
 - ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 IN MA, ME, NH, RI & VT. CALL 1-800-922-4455 IN CT 72 HOURS (48 HOURS IN VT AND CT) PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
 - IF CONCRETE TRUCKS ARE WASHED OUT ON-SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel 401-943-1000 Fax 401-464-6066 www.DiPrete-Eng.com
Engineers • Planners • Surveyors

DAVID A. RUSSO
No. 1385
REGISTERED PROFESSIONAL ENGINEER
CIVIL

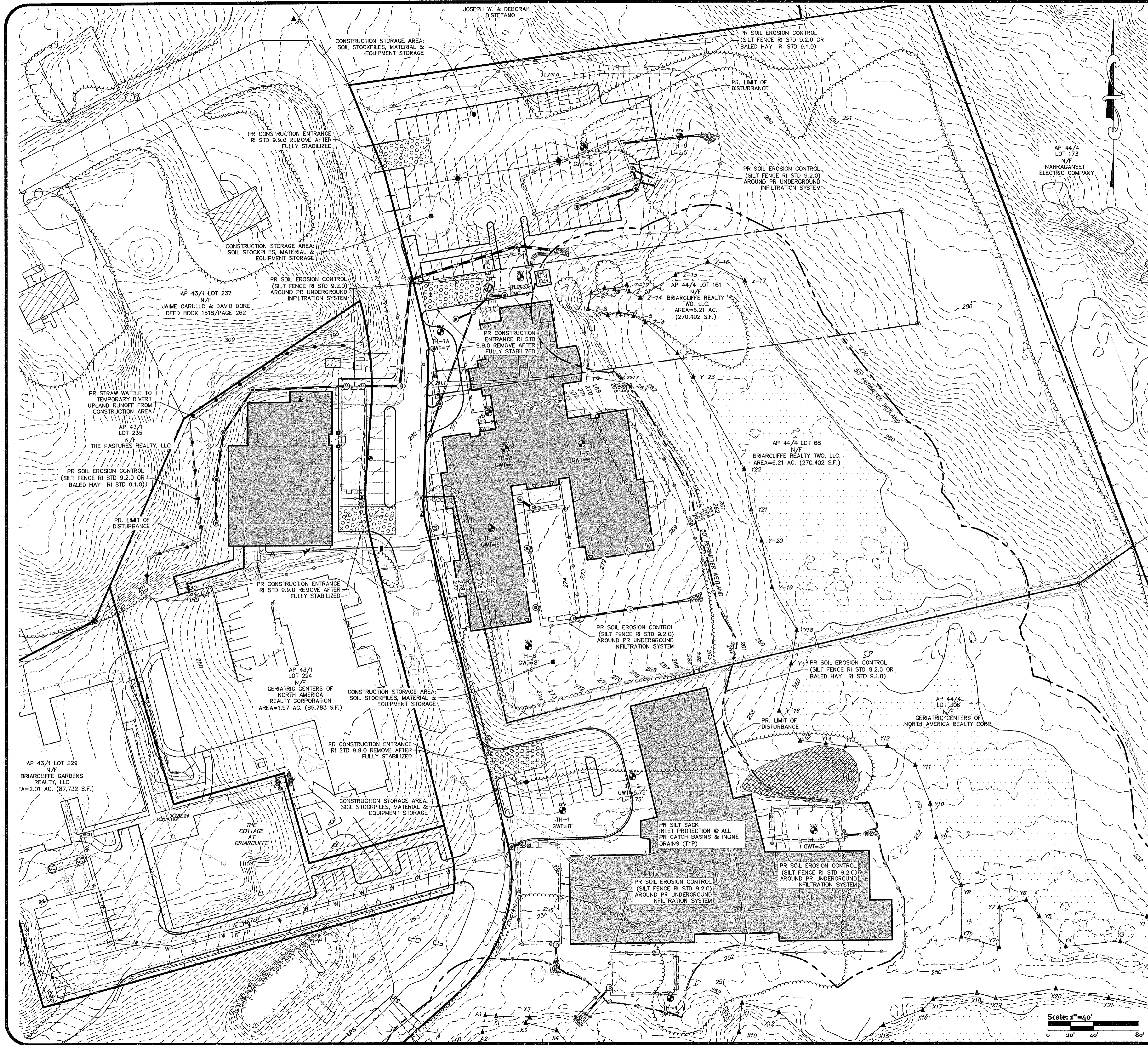
JUN 2 2018
Office of Water Resources
This regulatory submission set shall be used for construction purposes unless stamped and signed by a Diprete Engineering representative.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 5 2018 FILE # 16-0236
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE USED AT CONSTRUCTION SITE

James H. Hobbs

No.	Date	Description	By
1	6-29-2018	Final Permit Modification - Revised Sheet 13	J.A.C.
2	6-29-2018	Final Permit Modification - Revised Sheet 14	J.A.C.
3	6-29-2018	Final Permit Modification - Revised Sheet 15	J.A.C.
4	6-29-2018	Final Permit Modification - Revised Sheet 16	J.A.C.
5	6-29-2018	Final Permit Modification - Revised Sheet 17	J.A.C.
6	6-29-2018	Final Permit Modification - Revised Sheet 18	J.A.C.
7	6-29-2018	Final Permit Modification - Revised Sheet 19	J.A.C.
8	6-29-2018	Final Permit Modification - Revised Sheet 20	J.A.C.
9	6-29-2018	Final Permit Modification - Revised Sheet 21	J.A.C.
10	6-29-2018	Final Permit Modification - Revised Sheet 22	J.A.C.
11	6-29-2018	Final Permit Modification - Revised Sheet 23	J.A.C.
12	6-29-2018	Final Permit Modification - Revised Sheet 24	J.A.C.
13	6-29-2018	Final Permit Modification - Revised Sheet 25	J.A.C.
14	6-29-2018	Final Permit Modification - Revised Sheet 26	J.A.C.
15	6-29-2018	Final Permit Modification - Revised Sheet 27	J.A.C.
16	6-29-2018	Final Permit Modification - Revised Sheet 28	J.A.C.
17	6-29-2018	Final Permit Modification - Revised Sheet 29	J.A.C.
18	6-29-2018	Final Permit Modification - Revised Sheet 30	J.A.C.
19	6-29-2018	Final Permit Modification - Revised Sheet 31	J.A.C.
20	6-29-2018	Final Permit Modification - Revised Sheet 32	J.A.C.
21	6-29-2018	Final Permit Modification - Revised Sheet 33	J.A.C.
22	6-29-2018	Final Permit Modification - Revised Sheet 34	J.A.C.
23	6-29-2018	Final Permit Modification - Revised Sheet 35	J.A.C.
24	6-29-2018	Final Permit Modification - Revised Sheet 36	J.A.C.
25	6-29-2018	Final Permit Modification - Revised Sheet 37	J.A.C.
26	6-29-2018	Final Permit Modification - Revised Sheet 38	J.A.C.
27	6-29-2018	Final Permit Modification - Revised Sheet 39	J.A.C.
28	6-29-2018	Final Permit Modification - Revised Sheet 40	J.A.C.
29	6-29-2018	Final Permit Modification - Revised Sheet 41	J.A.C.
30	6-29-2018	Final Permit Modification - Revised Sheet 42	J.A.C.
31	6-29-2018	Final Permit Modification - Revised Sheet 43	J.A.C.
32	6-29-2018	Final Permit Modification - Revised Sheet 44	J.A.C.
33	6-29-2018	Final Permit Modification - Revised Sheet 45	J.A.C.
34	6-29-2018	Final Permit Modification - Revised Sheet 46	J.A.C.
35	6-29-2018	Final Permit Modification - Revised Sheet 47	J.A.C.
36	6-29-2018	Final Permit Modification - Revised Sheet 48	J.A.C.
37	6-29-2018	Final Permit Modification - Revised Sheet 49	J.A.C.
38	6-29-2018	Final Permit Modification - Revised Sheet 50	J.A.C.
39	6-29-2018	Final Permit Modification - Revised Sheet 51	J.A.C.
40	6-29-2018	Final Permit Modification - Revised Sheet 52	J.A.C.
41	6-29-2018	Final Permit Modification - Revised Sheet 53	J.A.C.
42	6-29-2018	Final Permit Modification - Revised Sheet 54	J.A.C.
43	6-29-2018	Final Permit Modification - Revised Sheet 55	J.A.C.
44	6-29-2018	Final Permit Modification - Revised Sheet 56	J.A.C.
45	6-29-2018	Final Permit Modification - Revised Sheet 57	J.A.C.
46	6-29-2018	Final Permit Modification - Revised Sheet 58	J.A.C.
47	6-29-2018	Final Permit Modification - Revised Sheet 59	J.A.C.
48	6-29-2018	Final Permit Modification - Revised Sheet 60	J.A.C.
49	6-29-2018	Final Permit Modification - Revised Sheet 61	J.A.C.
50	6-29-2018	Final Permit Modification - Revised Sheet 62	J.A.C.
51	6-29-2018	Final Permit Modification - Revised Sheet 63	J.A.C.
52	6-29-2018	Final Permit Modification - Revised Sheet 64	J.A.C.
53	6-29-2018	Final Permit Modification - Revised Sheet 65	J.A.C.
54	6-29-2018	Final Permit Modification - Revised Sheet 66	J.A.C.
55	6-29-2018	Final Permit Modification - Revised Sheet 67	J.A.C.
56	6-29-2018	Final Permit Modification - Revised Sheet 68	J.A.C.
57	6-29-2018	Final Permit Modification - Revised Sheet 69	J.A.C.
58	6-29-2018	Final Permit Modification - Revised Sheet 70	J.A.C.
59	6-29-2018	Final Permit Modification - Revised Sheet 71	J.A.C.
60	6-29-2018	Final Permit Modification - Revised Sheet 72	J.A.C.
61	6-29-2018	Final Permit Modification - Revised Sheet 73	J.A.C.
62	6-29-2018	Final Permit Modification - Revised Sheet 74	J.A.C.
63	6-29-2018	Final Permit Modification - Revised Sheet 75	J.A.C.
64	6-29-2018	Final Permit Modification - Revised Sheet 76	J.A.C.
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70	6-29-2018	Final Permit Modification - Revised Sheet 82	J.A.C.
71	6-29-2018	Final Permit Modification - Revised Sheet 83	J.A.C.
72	6-29-2018	Final Permit Modification - Revised Sheet 84	J.A.C.
73	6-29-2018	Final Permit Modification - Revised Sheet 85	J.A.C.
74	6-29-2018	Final Permit Modification - Revised Sheet 86	J.A.C.
75	6-29-2018	Final Permit Modification - Revised Sheet 87	J.A.C.
76	6-29-2018	Final Permit Modification - Revised Sheet 88	J.A.C.
77	6-29-2018	Final Permit Modification - Revised Sheet 89	J.A.C.
78	6-29-2018	Final Permit Modification - Revised Sheet 90	J.A.C.
79	6-29-2018	Final Permit Modification - Revised Sheet 91	J.A.C.
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81	6-29-2018	Final Permit Modification - Revised Sheet 93	J.A.C.
82	6-29-2018	Final Permit Modification - Revised Sheet 94	J.A.C.
83	6-29-2018	Final Permit Modification - Revised Sheet 95	J.A.C.
84	6-29-2018	Final Permit Modification - Revised Sheet 96	J.A.C.
85	6-29-2018	Final Permit Modification - Revised Sheet 97	J.A.C.
86	6-29-2018	Final Permit Modification - Revised Sheet 98	J.A.C.
87	6-29-2018	Final Permit Modification - Revised Sheet 99	J.A.C.
88	6-29-2018	Final Permit Modification - Revised Sheet 100	J.A.C.
89	6-29-2018	Final Permit Modification - Revised Sheet 101	J.A.C.
90	6-29-2018	Final Permit Modification - Revised Sheet 102	J.A.C.
91	6-29-2018	Final Permit Modification - Revised Sheet 103	J.A.C.
92	6-29-2018	Final Permit Modification - Revised Sheet 104	J.A.C.
93	6-29-2018	Final Permit Modification - Revised Sheet 105	J.A.C.
94	6-29-2018	Final Permit Modification - Revised Sheet 106	J.A.C.
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99	6-29-2018	Final Permit Modification - Revised Sheet 111	J.A.C.
100	6-29-2018	Final Permit Modification - Revised Sheet 112	J.A.C.
101	6-29-2018	Final Permit Modification - Revised Sheet 113	J.A.C.
102	6-29-2018	Final Permit Modification - Revised Sheet 114	J.A.C.
103	6-29-2018	Final Permit Modification - Revised Sheet 115	J.A.C.
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185	6-29-2018	Final Permit Modification - Revised Sheet 197	

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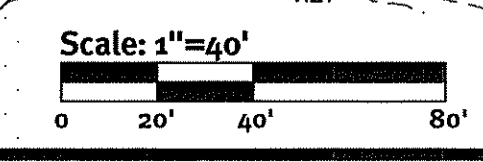


- General Notes:**
1. ALL EROSION CONTROL MEASURES ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION.
 2. SILT FENCE OR AN APPROVED EROSION CONTROL AND DIVERSIONS SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE SITE.
 3. VEHICLE MAINTENANCE AND WASHING SHALL OCCUR OFF-SITE.
 4. INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
 5. CONCRETE WASHOUT AREAS TO BE LOCATED IN PARKING AREAS AS NEEDED.
 6. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.
 7. UNDERGROUND INFILTRAION AREAS SHALL BE STAKED OFF, DEMARCATED AND PROTECTED FROM CONSTRUCTION TRAFFIC DURING CONSTRUCTION.

Environmental Management
JUN 25 2018
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESH WATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED **JUN 9 2018** FILE # **16-0236**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Haber



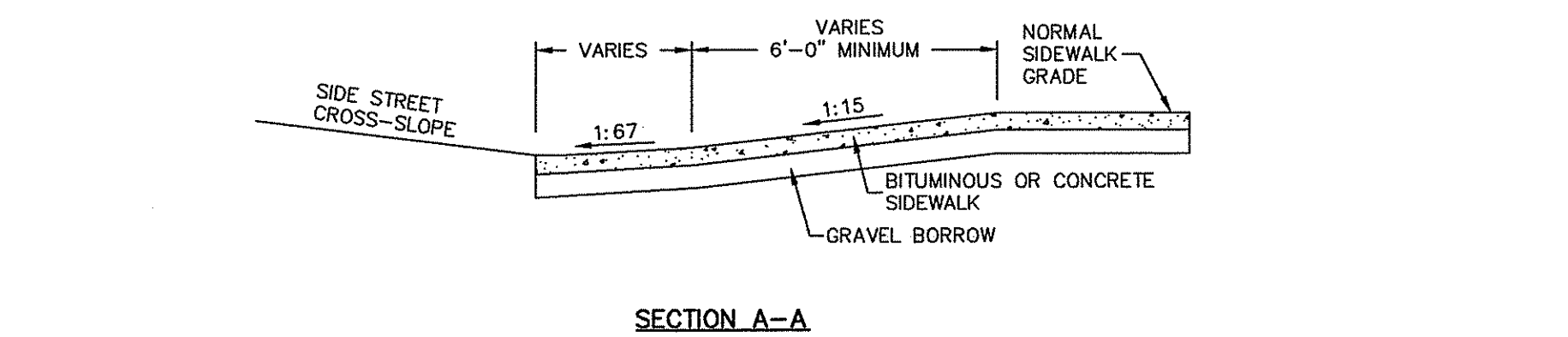
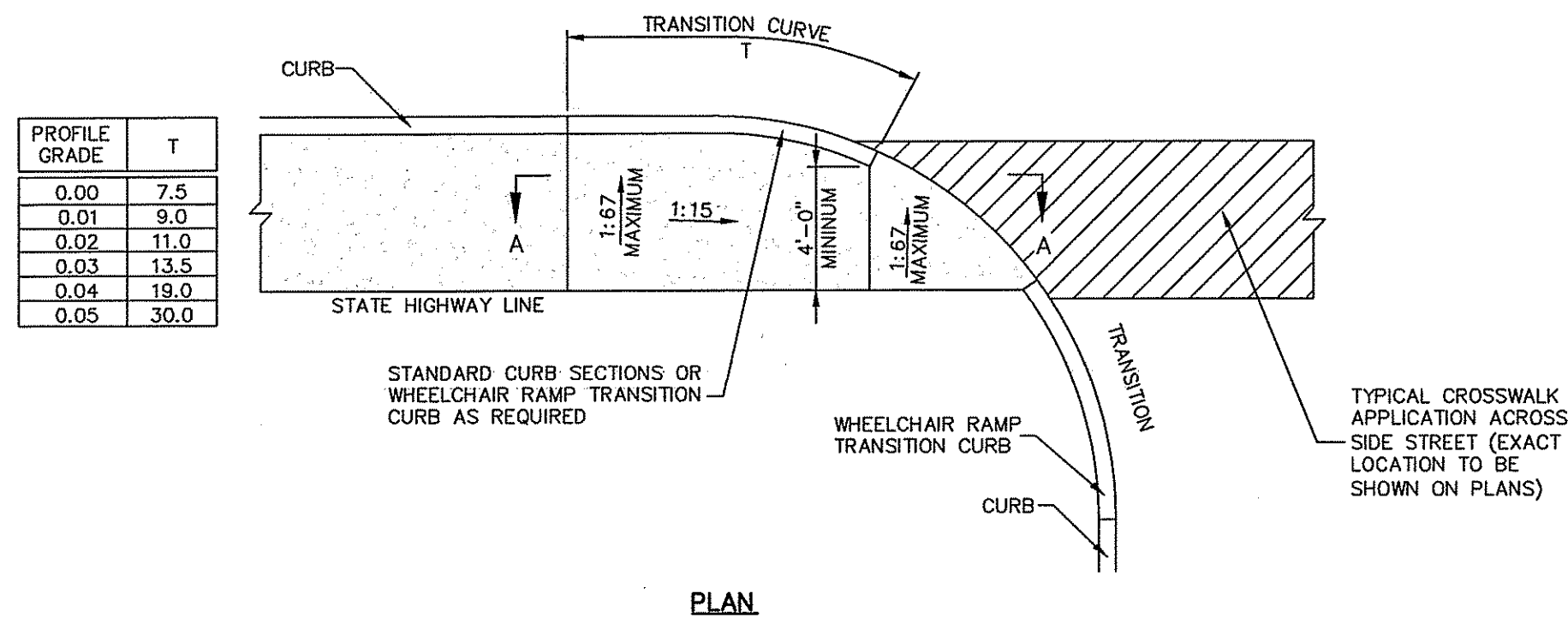
DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-949-1000 Fax: 401-464-6000 www.DiPrete-Eng.com
Engineers • Planners • Surveyors

DAVID A. RUSSO
 No. **4355**
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

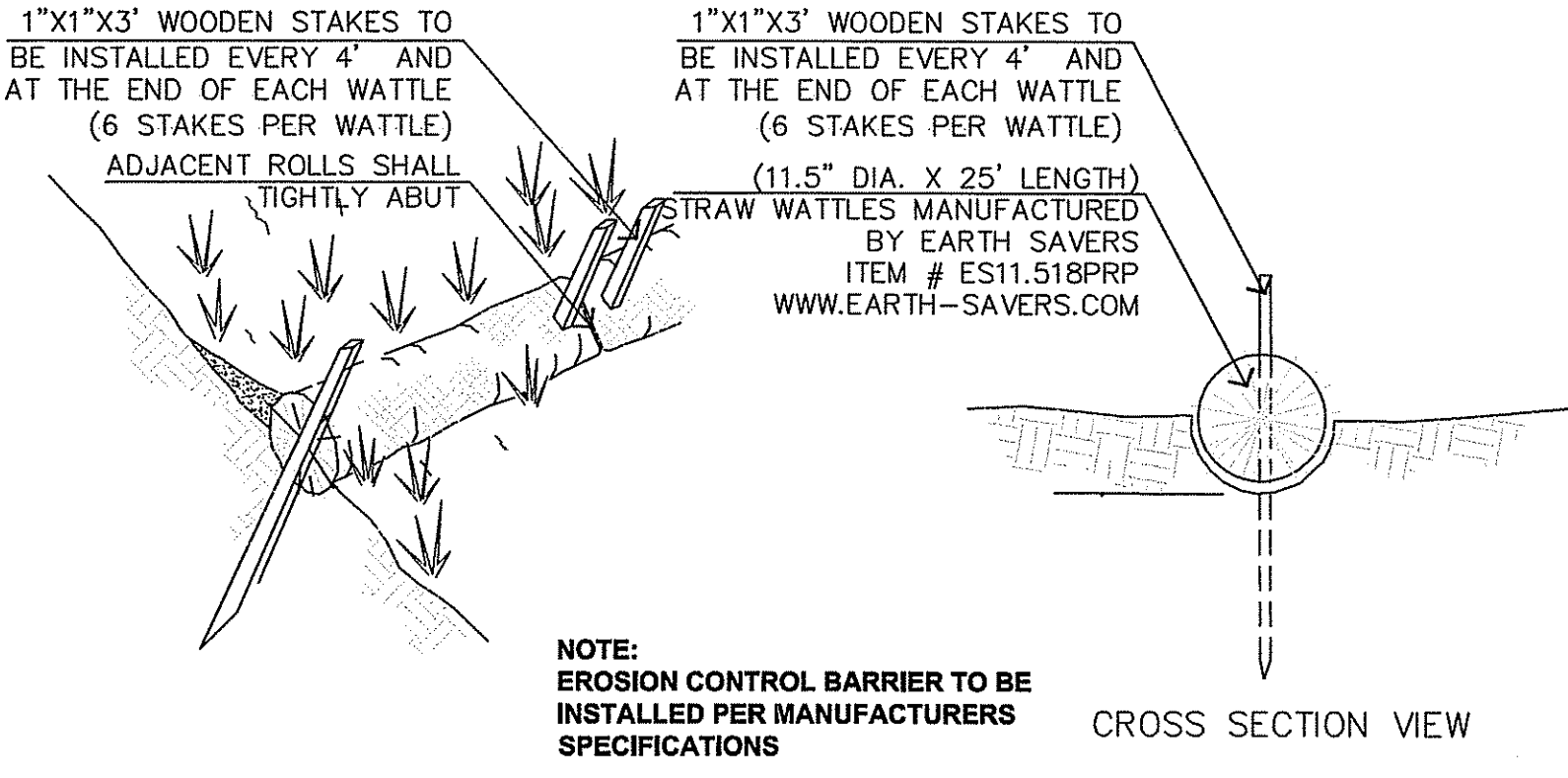
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1	6/27/2018	Initial Permit Modification - Reopen Sheet 13	JAC	
2	6/27/2018	Initial Permit Modification - Reopen Sheet 13	JAC	
3	6/27/2018	Initial Permit Modification - Reopen Sheet 13	JAC	
4	6/27/2018	Initial Permit Modification - Reopen Sheet 13	JAC	

Soil Erosion And Sediment Control Plan
The Preserve at Briarcliffe
 Assessor's Plat 43/1 Lots 224 & 229, Assessor's Plat 44/4, Lots 68, 161 & 306
 Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocomset Road, Johnston, Rhode Island 02919
 Tel: 401-949-2850 Fax: 401-949-2855
 DE REG No: 1154-004 Copyright 2018 by DiPrete Engineering Associates, Inc.



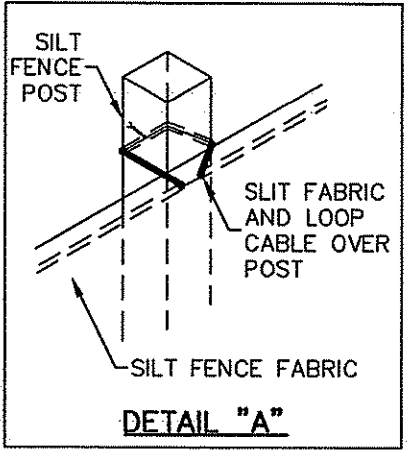
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THIS DETAIL IS TO BE USED ONLY WHEN STATE RIGHT-OF-WAY IS LIMITED TO BACK OF SIDEWALK, AND SIDEWALK IS NARROW WITH NO PEDESTRIAN TRAFFIC FROM SIDE STREET.
 3. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, IF POSSIBLE, THE OBSTRUCTION WILL BE PLACED SUCH THAT IT FALLS OUTSIDE OF THE RAMP.
 4. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 5. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 6. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 7. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 8. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 9. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 10. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
 11. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.3.1.

**Wheelchair Ramp
For Limited Right-Of-Way Areas (ADA)**
NOT TO SCALE

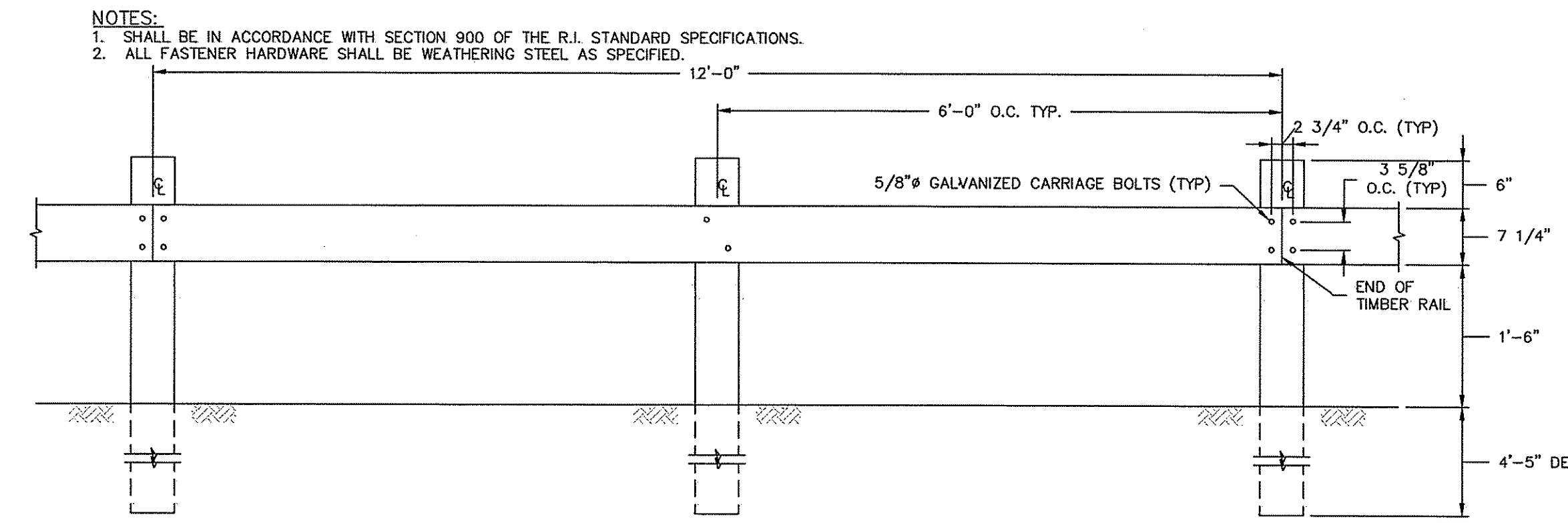
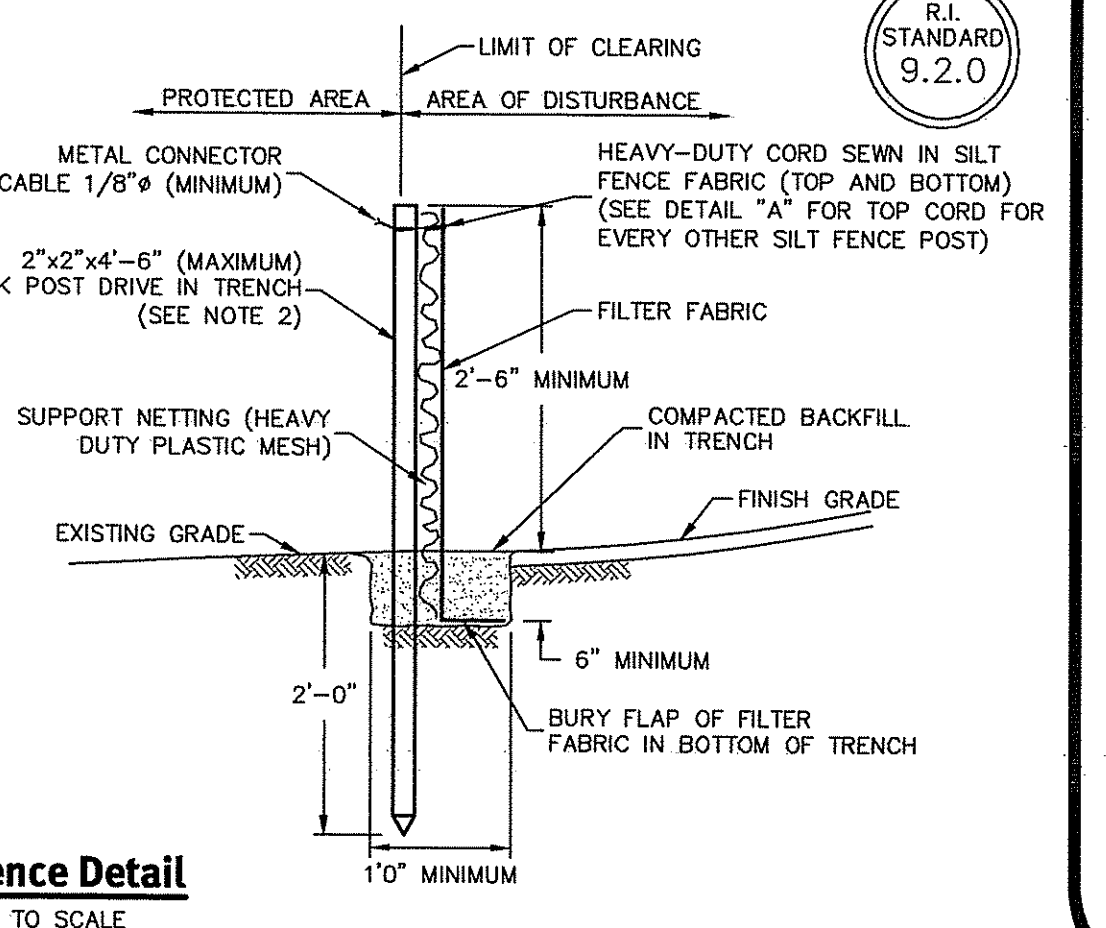


STRAW WATTLE DIVERSION BARRIER
NOT TO SCALE

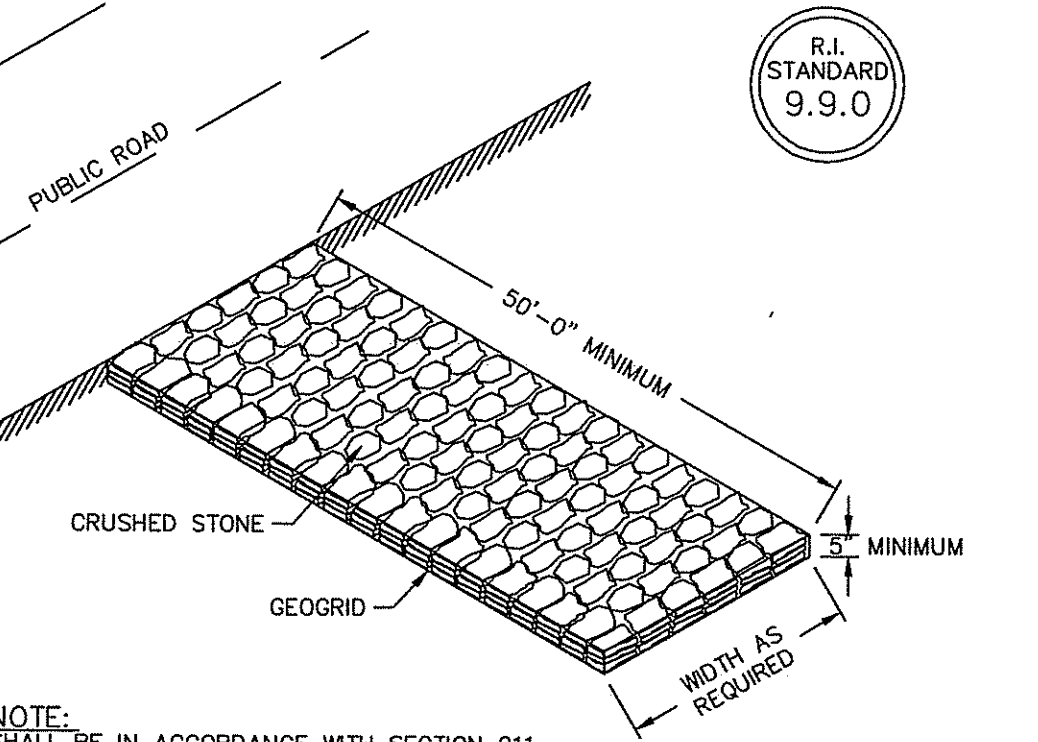
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAFFINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



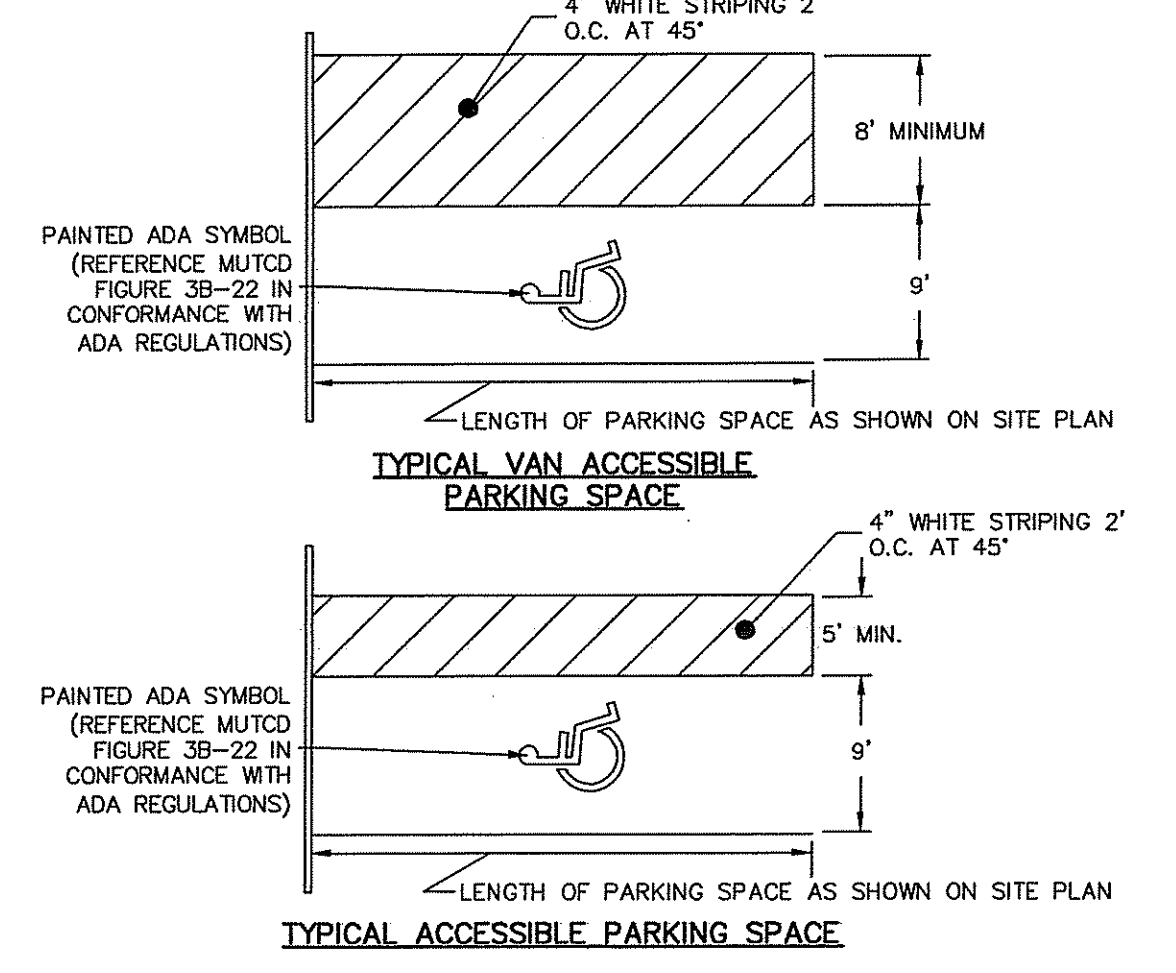
Silt Fence Detail
NOT TO SCALE



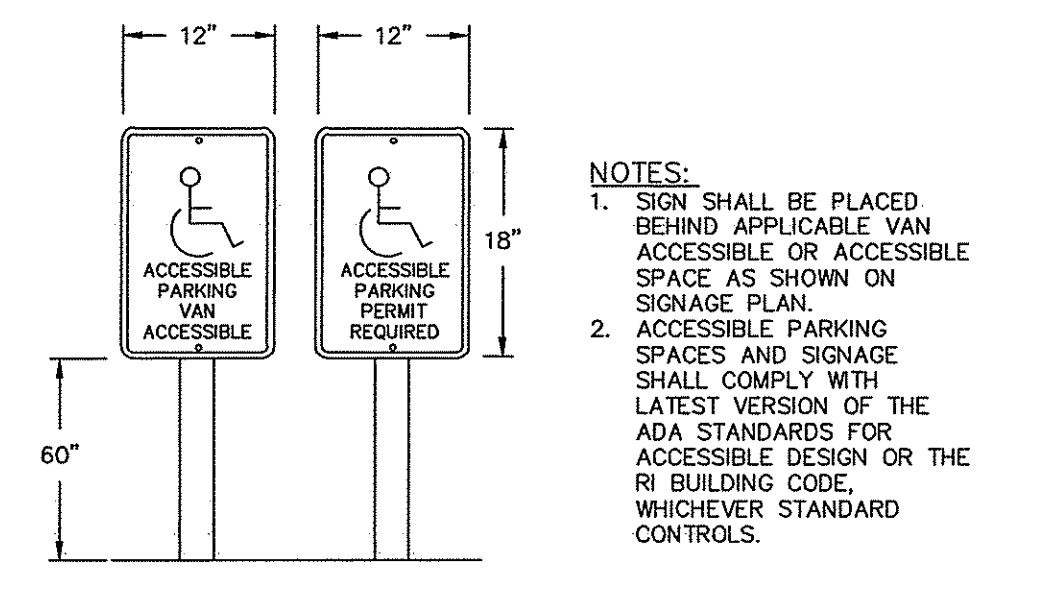
Wood Guardrail
NOT TO SCALE



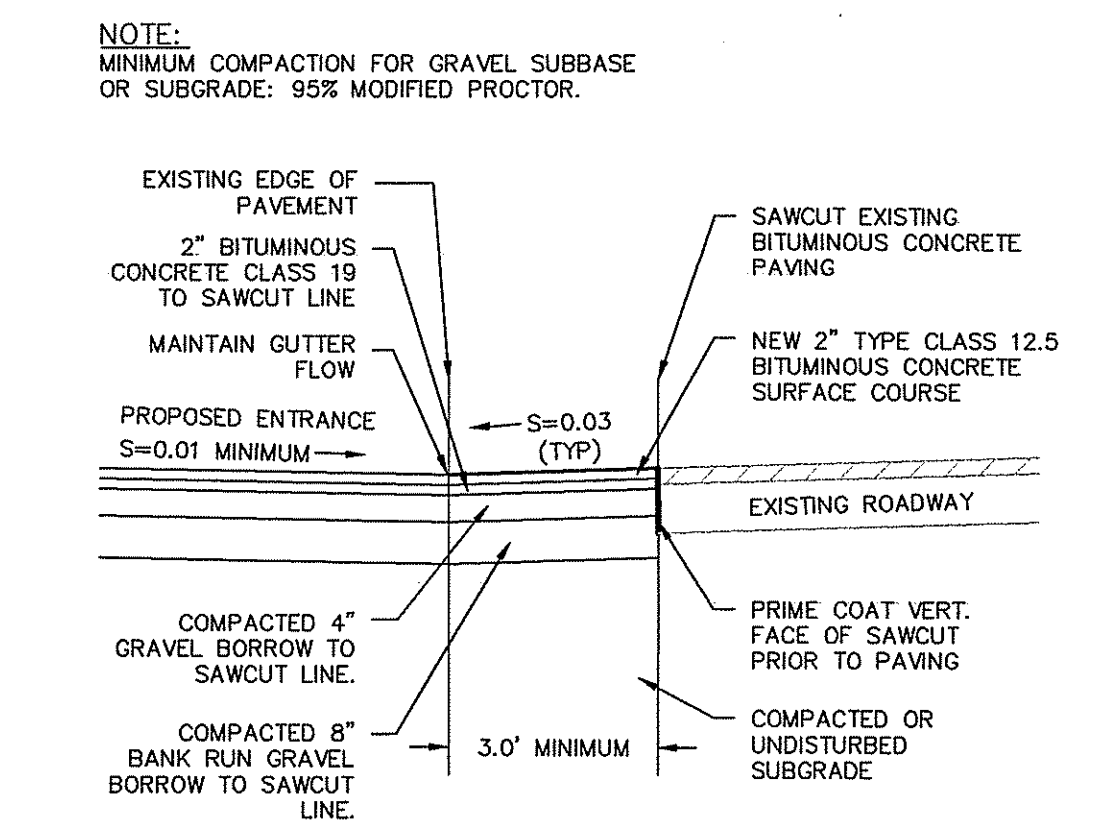
Construction Access
NOT TO SCALE



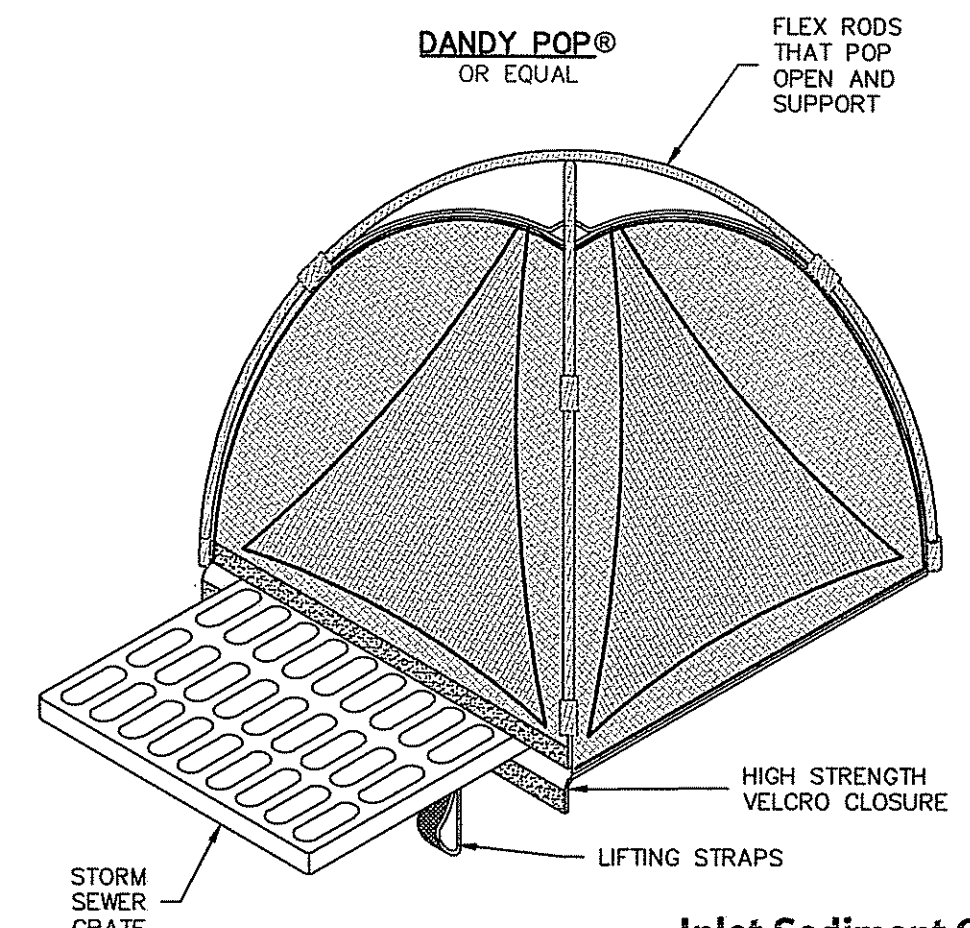
Typical Accessible Parking Spaces
NOT TO SCALE



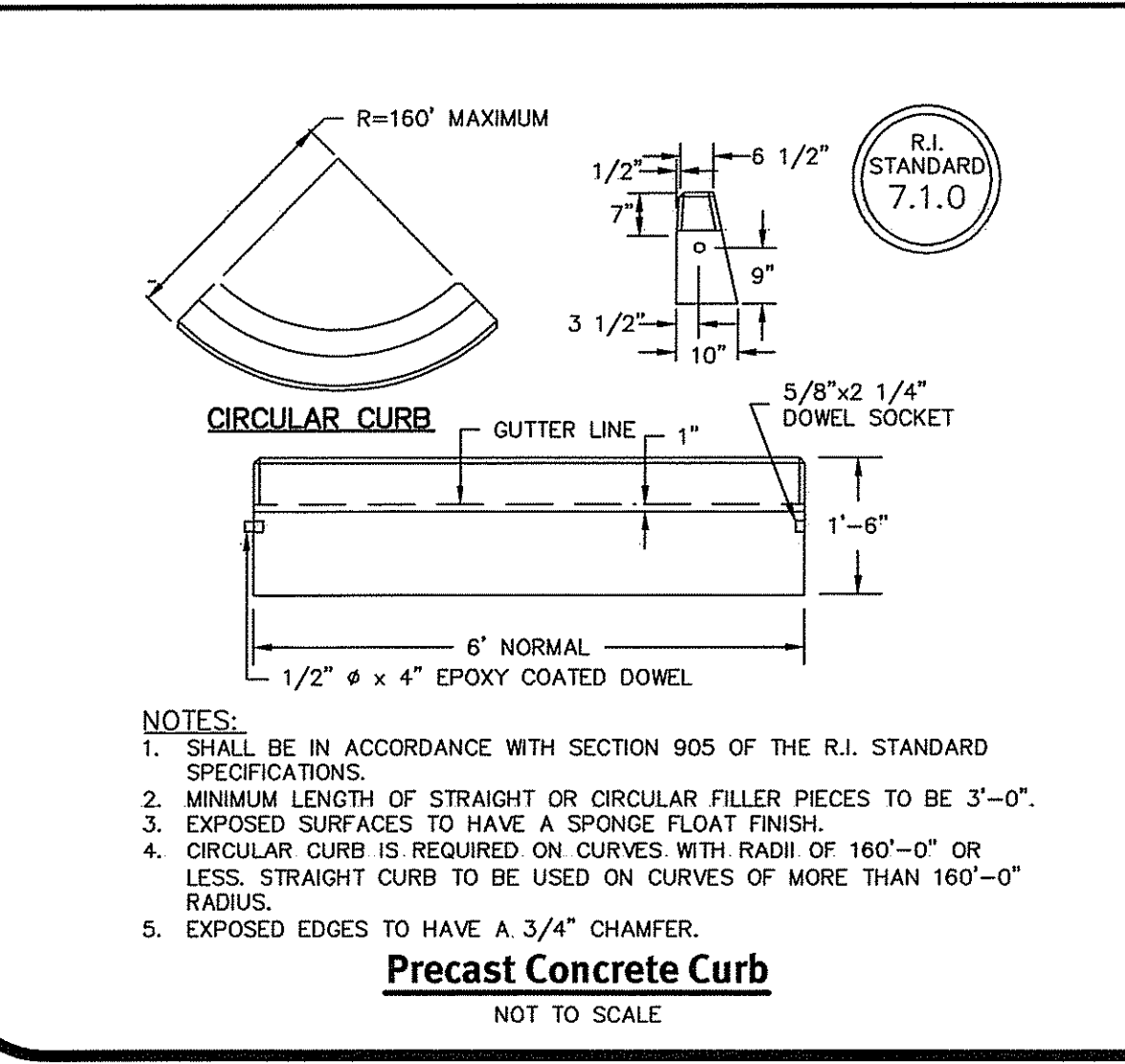
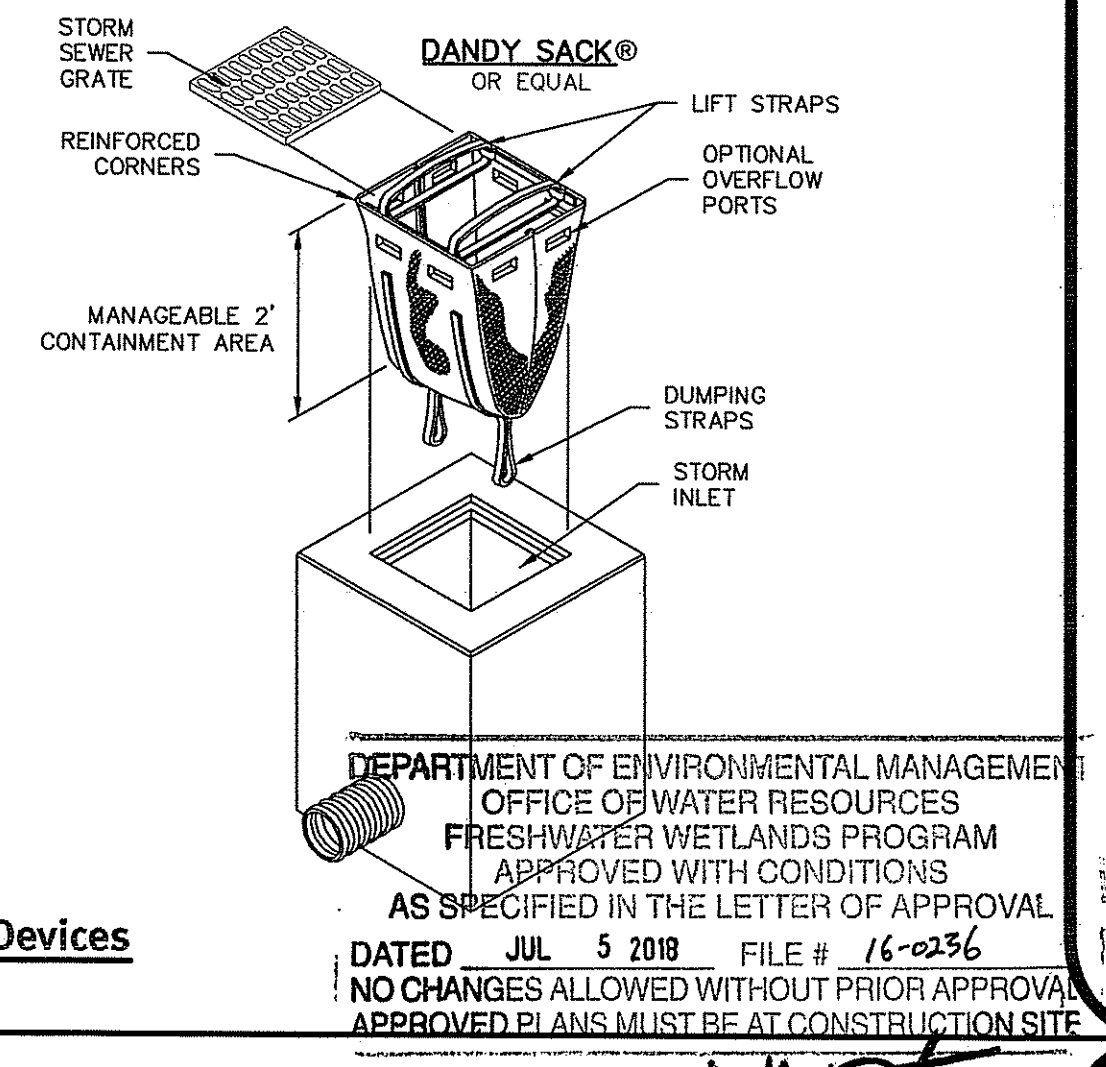
Typical Accessible Parking Post & Sign
NOT TO SCALE



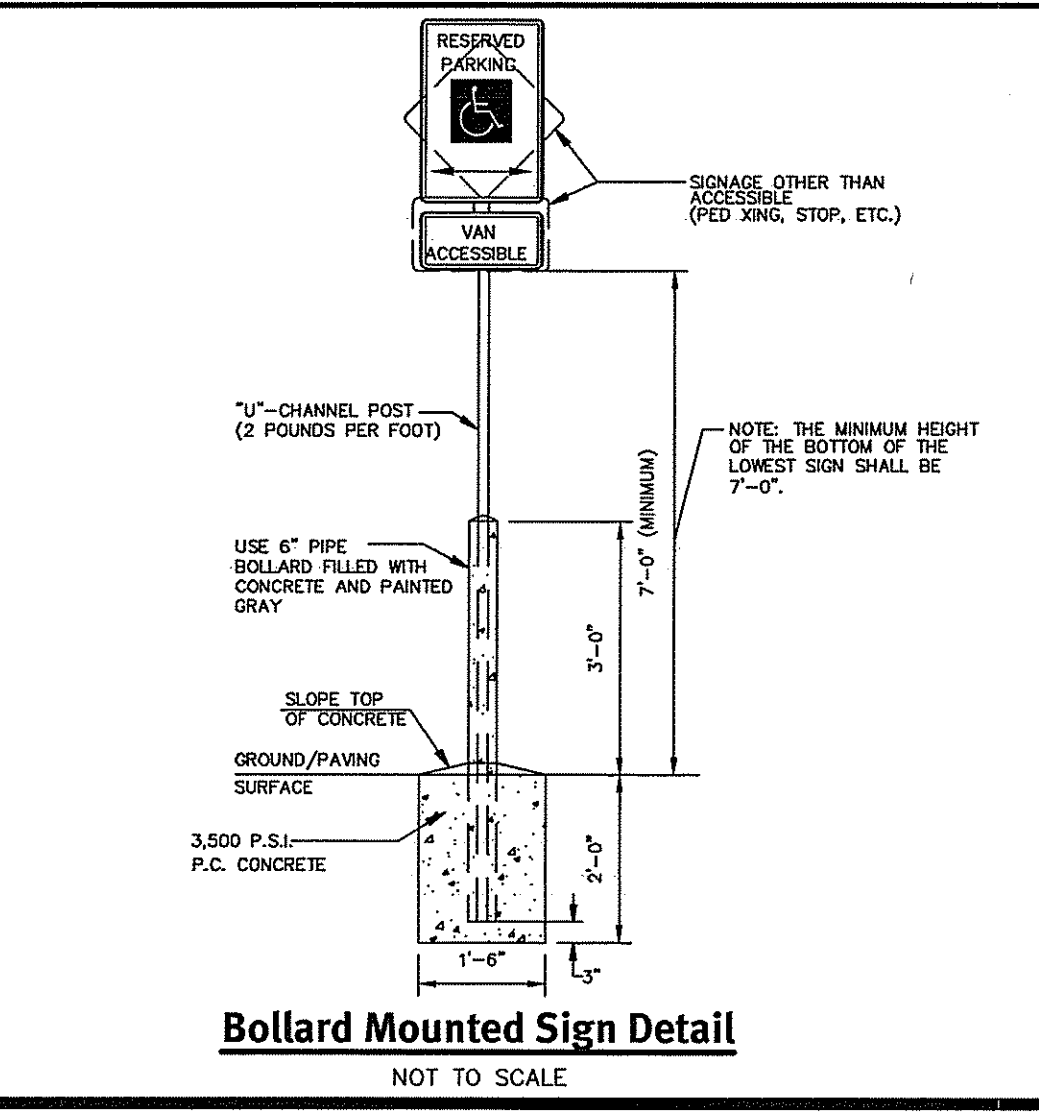
Entrance Access Sawcut & Match
NOT TO SCALE



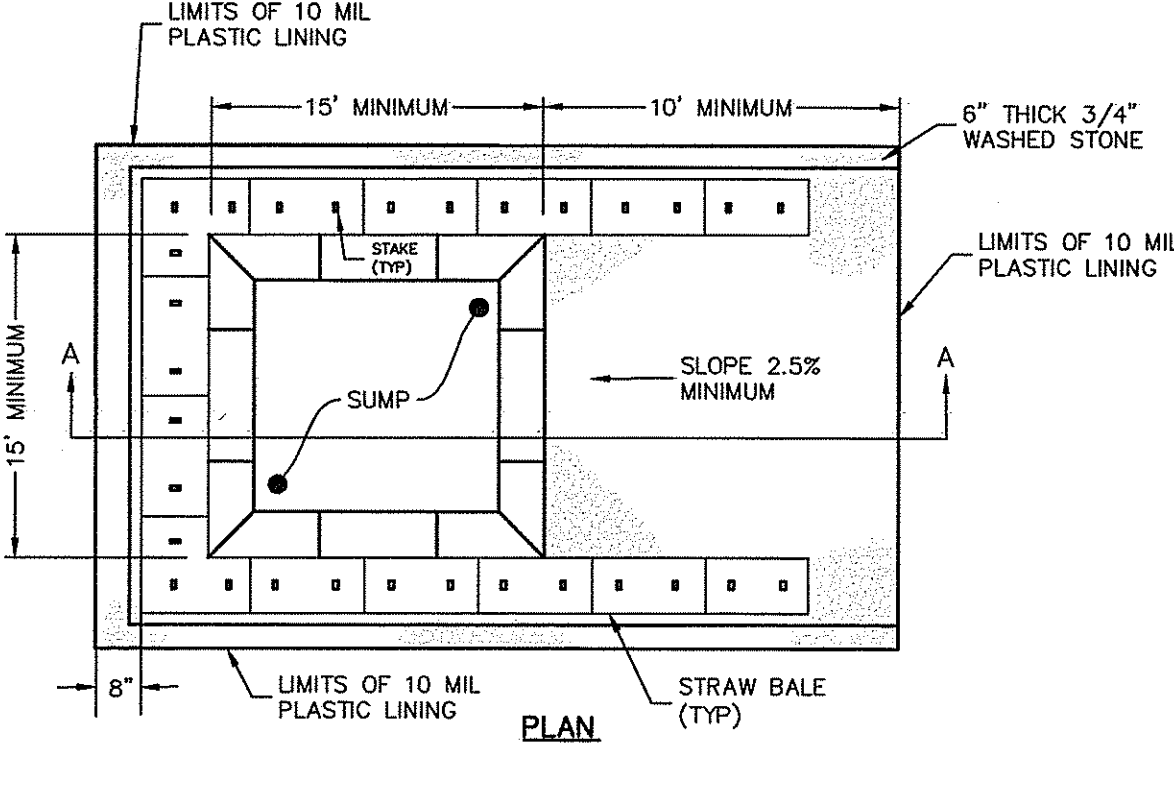
Inlet Sediment Control Devices
NOT TO SCALE



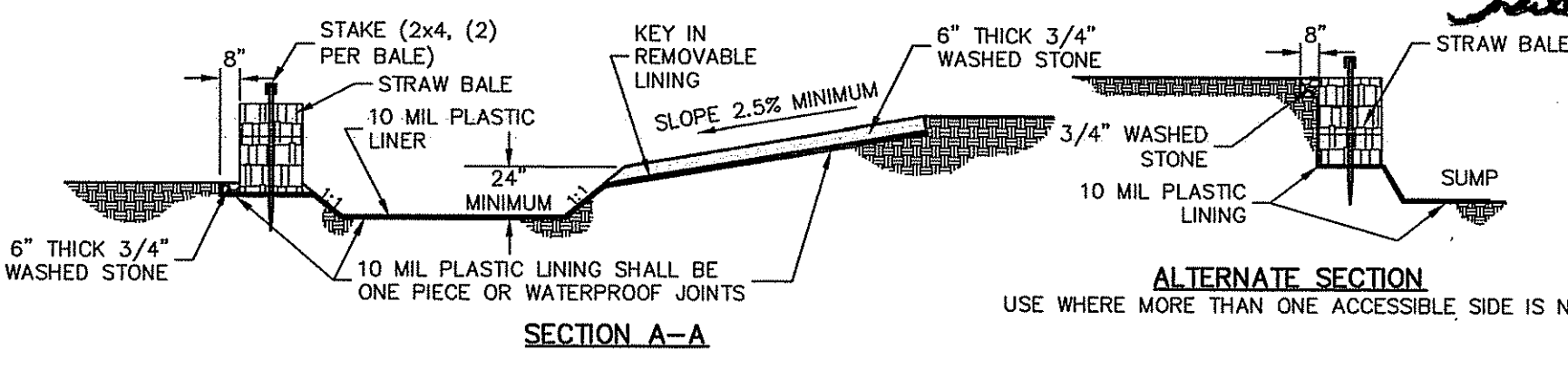
Precast Concrete Curb
NOT TO SCALE



Bollard Mounted Sign Detail
NOT TO SCALE



Concrete Washout Area
(NOT TO SCALE)



- NOTES:**
1. PIT IS SPECIFICALLY DESIGNED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel. 401-943-1000 fax. 401-664-6066 www.DiPrete-Eng.com

Engineers • Planners • Surveyors

DAVID A. RUSSO
No. 1335
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Environmental Management
JUN 25 2018
Office of Water Resources

This regulatory submission is hereby submitted for review and approval for construction purposes unless otherwise stamped. Issued for Construction and signed by the Engineer/Planner/Designer.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By:
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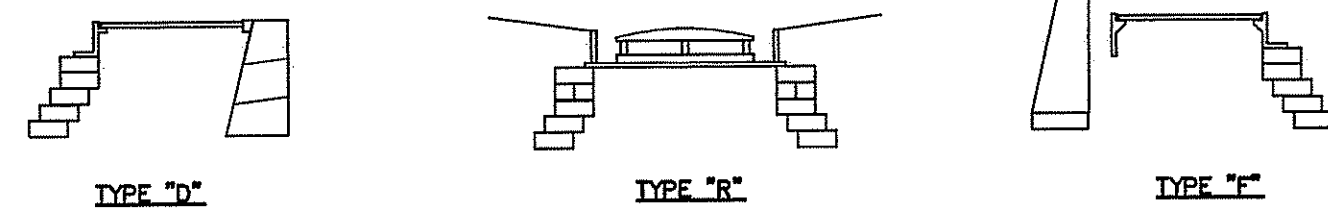
Detail Sheet - 1

The Preserve at Briarcliffe
Assessor's Plat 437, Lots 224 & 225, Assessor's Plat 44/4, Lots 68, 165 & 396
Johnston, Rhode Island
Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocasset Road, Johnston, Rhode Island 02939
tel. 401-944-2450 fax. 401-944-2459

DESIGN BY: J.A.C. DATE: 03-2018

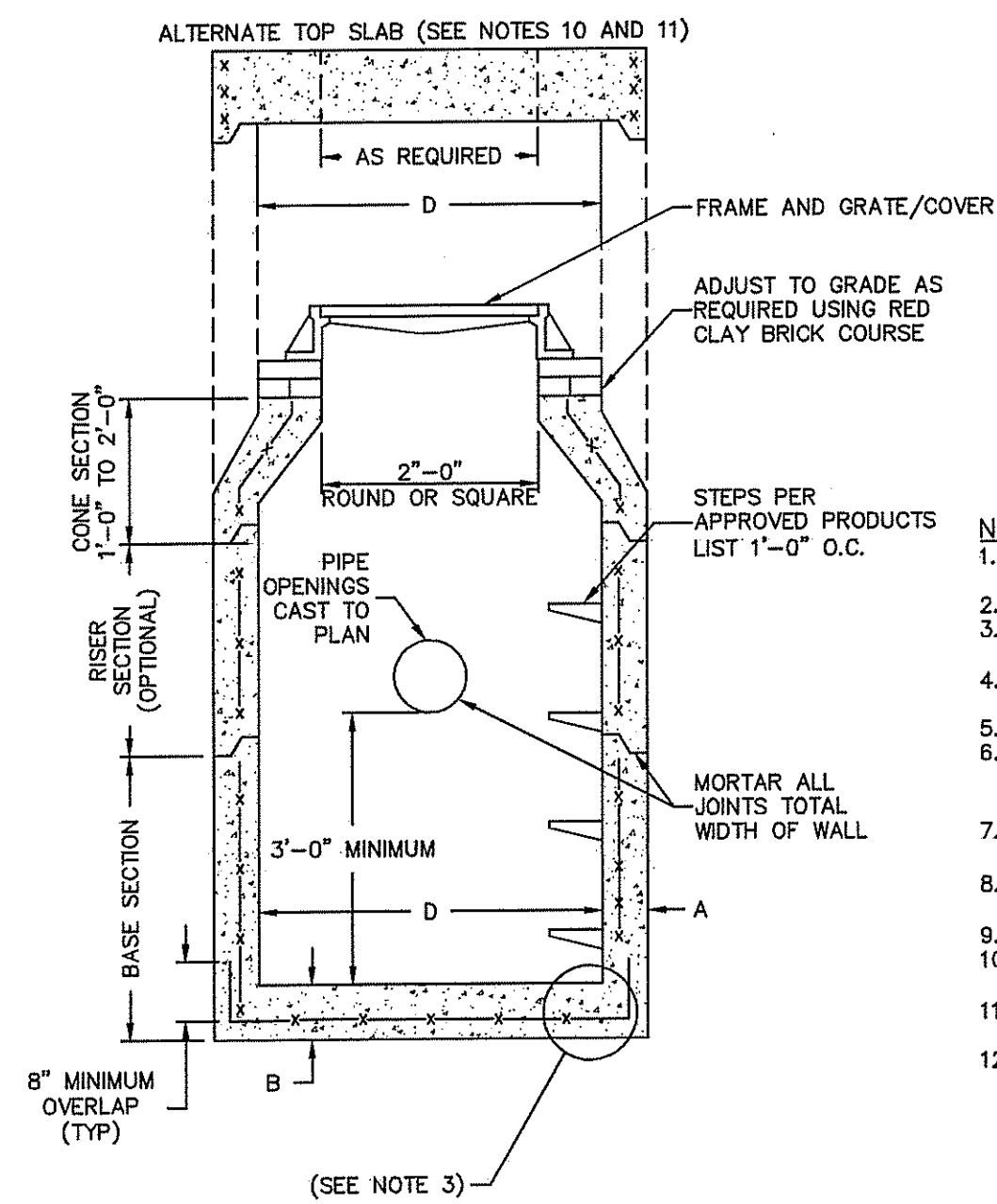
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SHEET 11 OF 15



TYPE "D" TYPE "R" TYPE "F"
TYPE CATCH BASIN AS REQUIRED

STANDARD
4.4.0

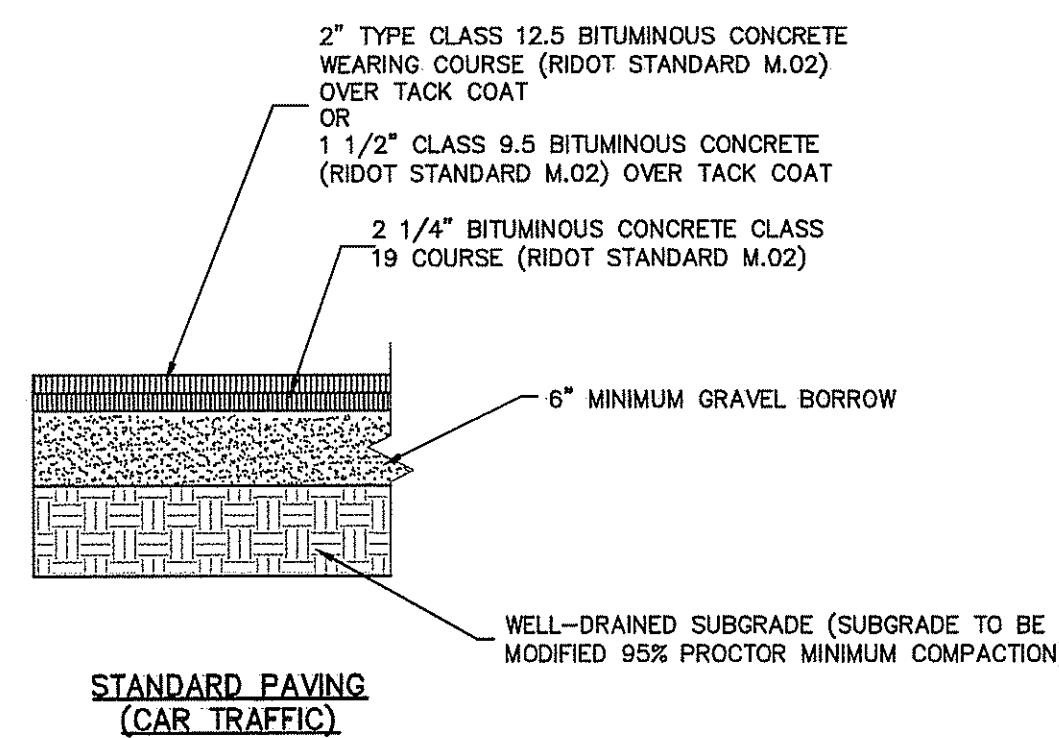


Precast Round Catch Basin
NOT TO SCALE

D	A	B	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*
4'-0"	5"	6"	0.12 SQ. IN./LIN. FT.
5'-0"	6"	7"	0.15 SQ. IN./LIN. FT.
6'-0"	7"	8"	0.18 SQ. IN./LIN. FT.

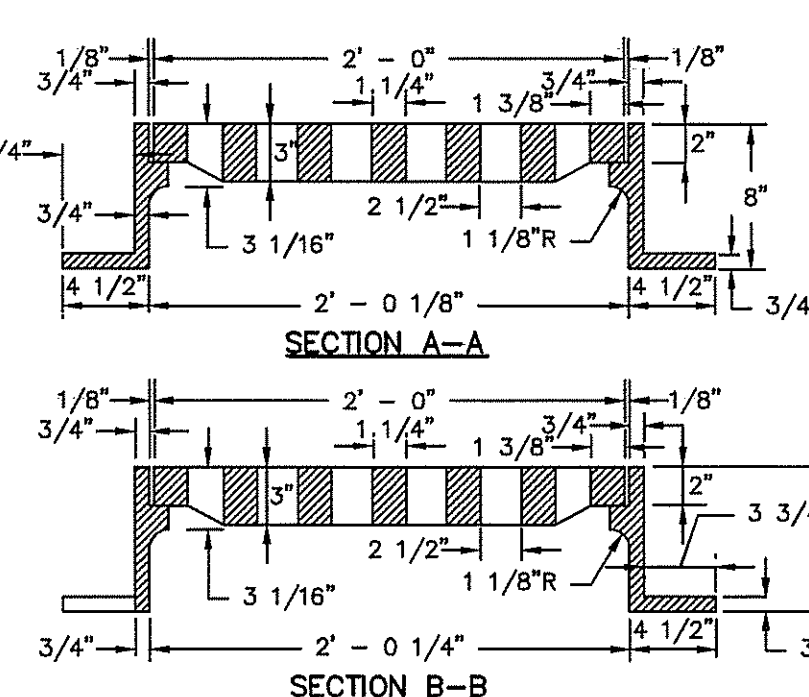
* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQUARE INCH/LIN. FOOT (BOTH WAYS).
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAWCUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.



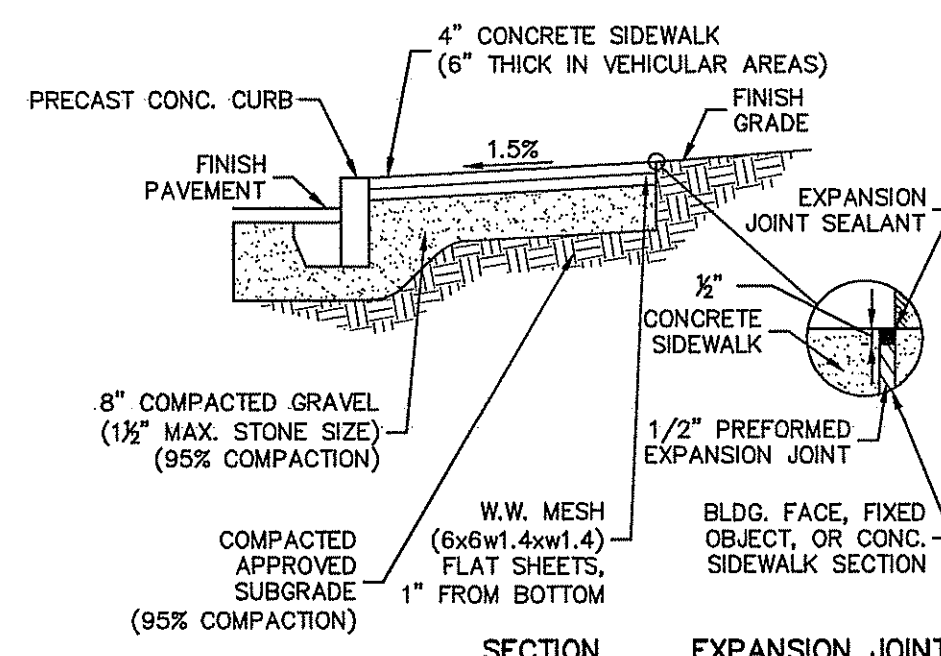
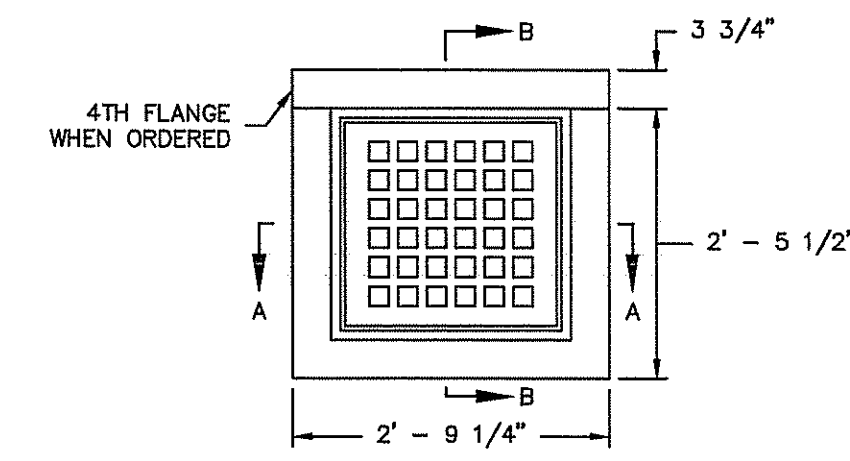
Typical Pavement Section
NOT TO SCALE

NOTE:
FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.



Square Frame And Grate
NOT TO SCALE

R.I.
STANDARD
6.3.0

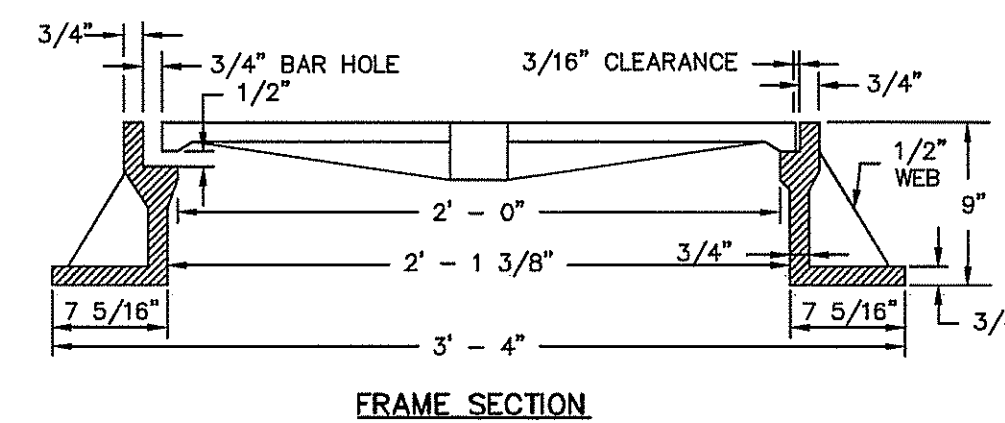


SECTION EXPANSION JOINT
DETAIL

- NOTE:
- PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
 - PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
 - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 - CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II.
 - MATCH ALL EXISTING SIDEWALK WIDTH WHERE APPLICABLE.
 - SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 - FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

Concrete Sidewalk
NOT TO SCALE

NOTES:
1. FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
2. FRAME AND COVER SEATS MUST HAVE MACHINE FINISH.

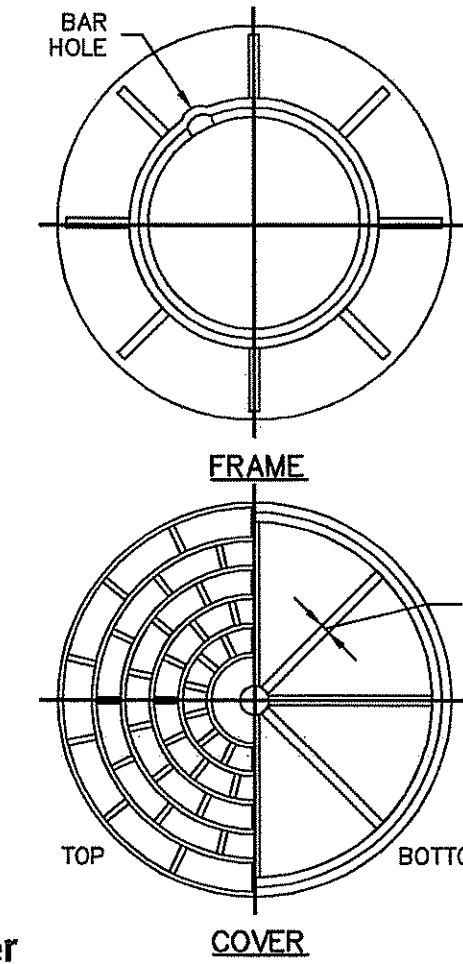


FRAME SECTION

COVER SECTION

Heavy-Duty Round Frame And Cover
NOT TO SCALE

R.I.
STANDARD
6.2.1

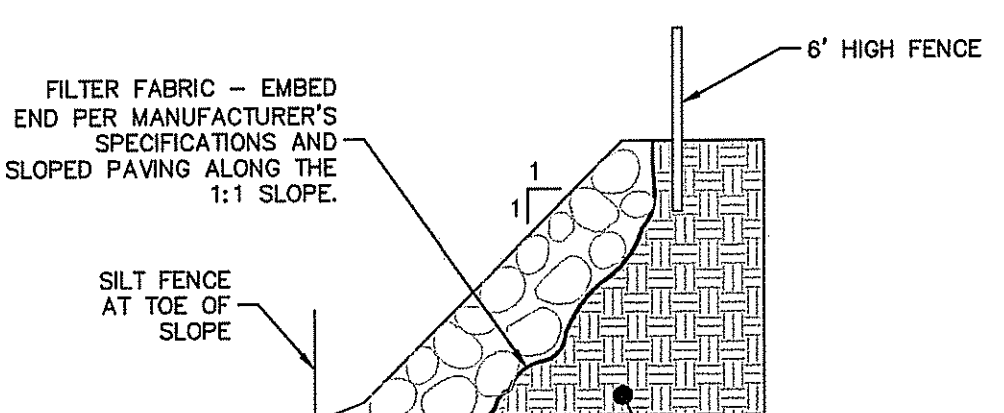


Environmental Management
Office of Water Resources
JUN 25 2018

DAVID A. RUSSO
No. 4355
REGISTERED PROFESSIONAL ENGINEER
CIVIL

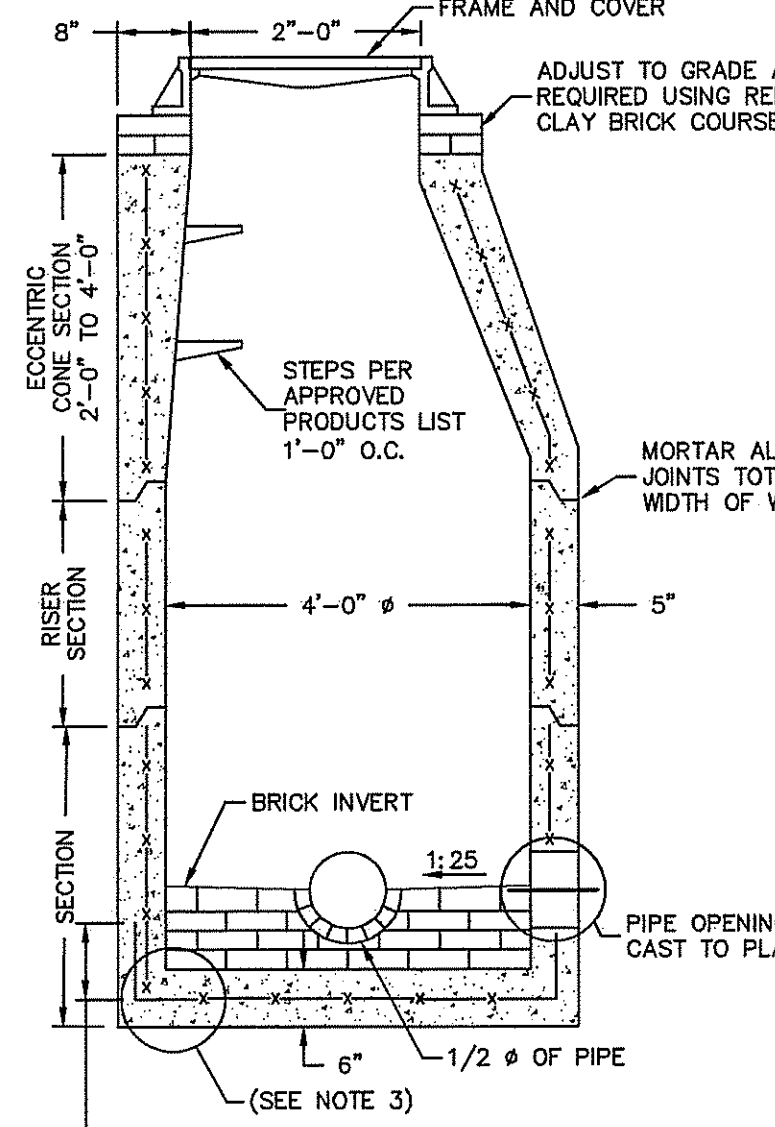
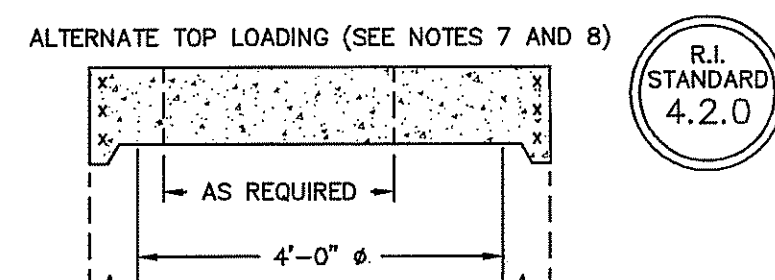
Environmental Management
Office of Water Resources
MAY 16 2018

Design By: J.A.C.
Checked By: J.A.C.
Drawn By: J.A.C.



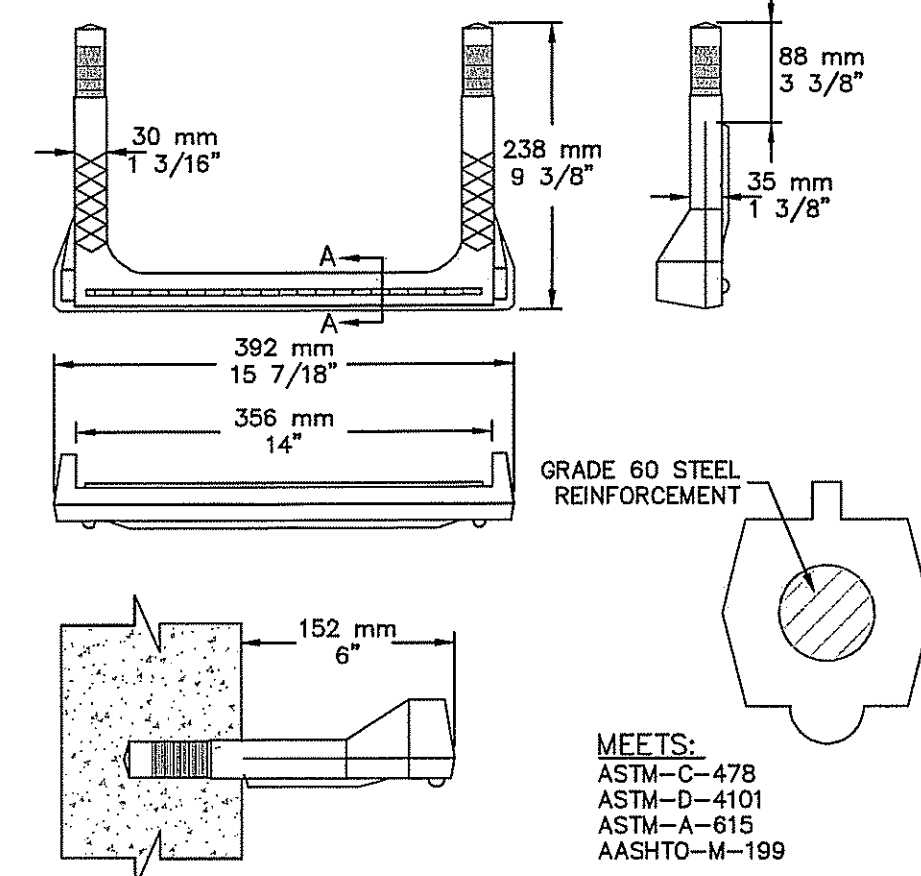
Reinforced 1:1 Slope Detail
NOT TO SCALE

NOTE: THIS SLOPE DESIGN IS INDICATIVE ONLY AND MUST BE DESIGNED AND CONFIRMED BY A R.I. PROFESSIONAL GEOTECHNICAL ENGINEER.



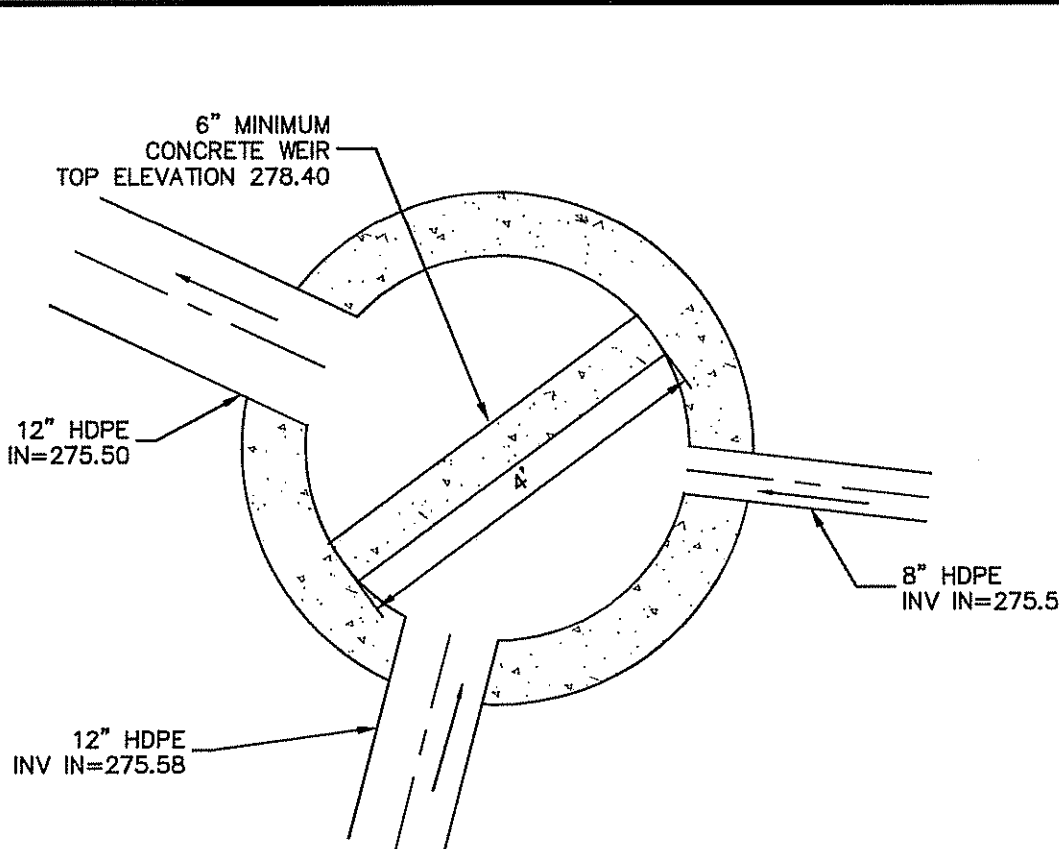
Precast 4'-0" Round Manhole
NOT TO SCALE

- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQUARE INCH/LIN. FOOT MINIMUM.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQUARE INCH/LIN. FOOT (BOTH WAYS).
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAWCUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.



Manhole Step
NOT TO SCALE

MEETS:
ASTM-C-478
ASTM-D-4101
ASTM-A-615
AASHTO-M-199

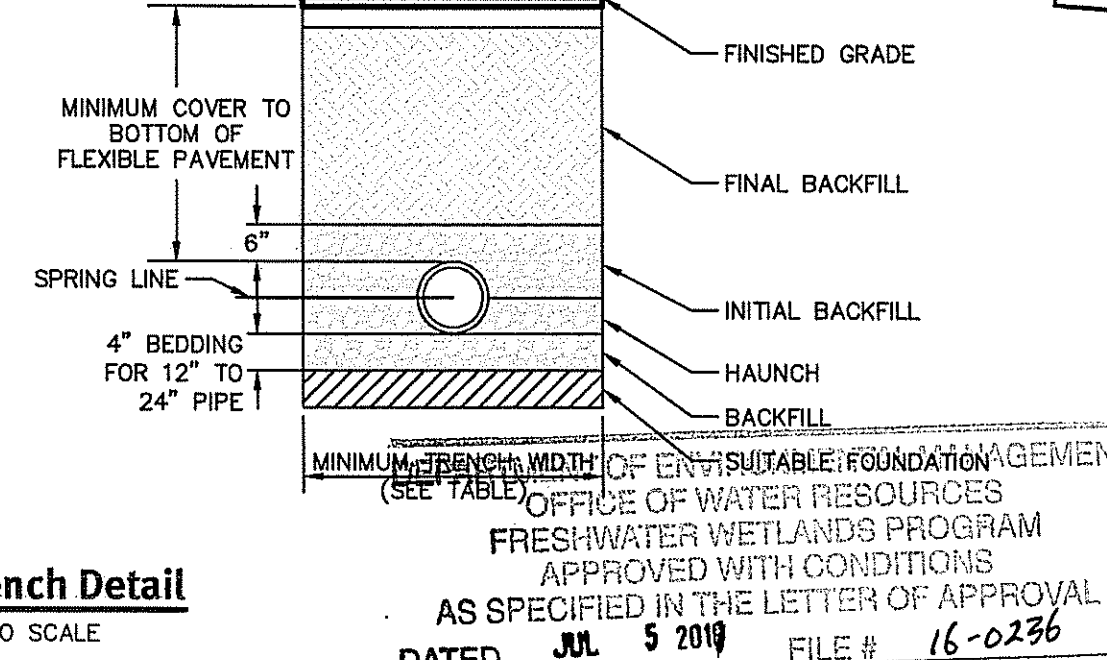


BYPASS-DMH-3 (4' MANHOLE)
SCALE 1"=2'

INSTALLATION NOTES:

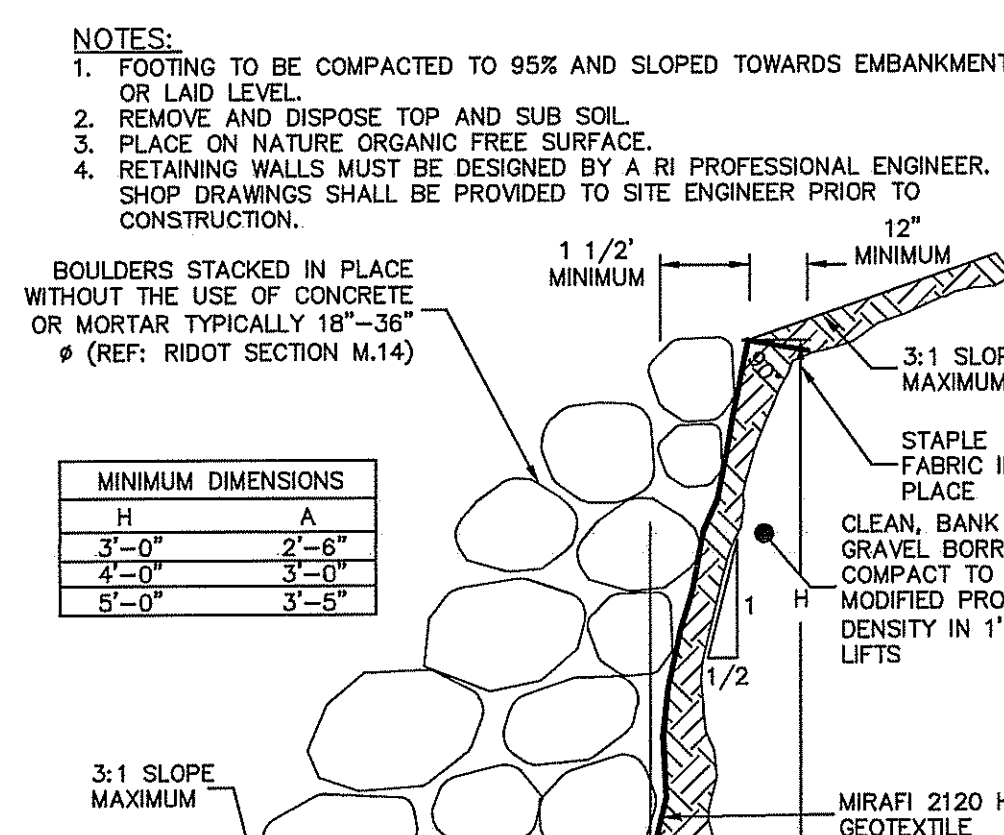
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO THE GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" PIPE AND 24" OF COVER FOR 54"-60" PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MINIMUM TRENCH WIDTH
6"	23"
8"	26"
12"	30"
15"	34"
24"	39"



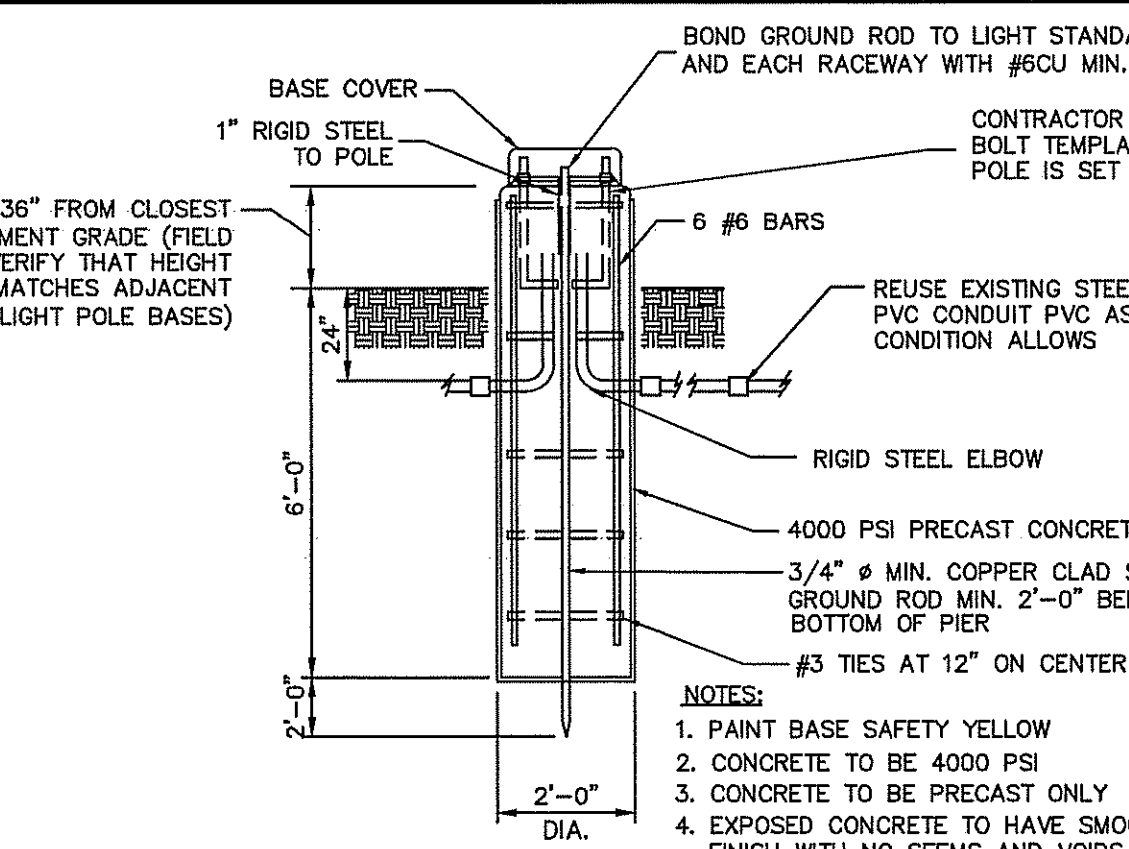
HDPE Trench Detail
NOT TO SCALE

FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 5 2019 FILE # 16-0236
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Boulder Retaining Wall
NOT TO SCALE

NOTE: THIS WALL DESIGN IS INDICATIVE ONLY. ALL WALLS MUST BE DESIGNED AND CONFIRMED BY A R.I. PROFESSIONAL GEOTECHNICAL ENGINEER.

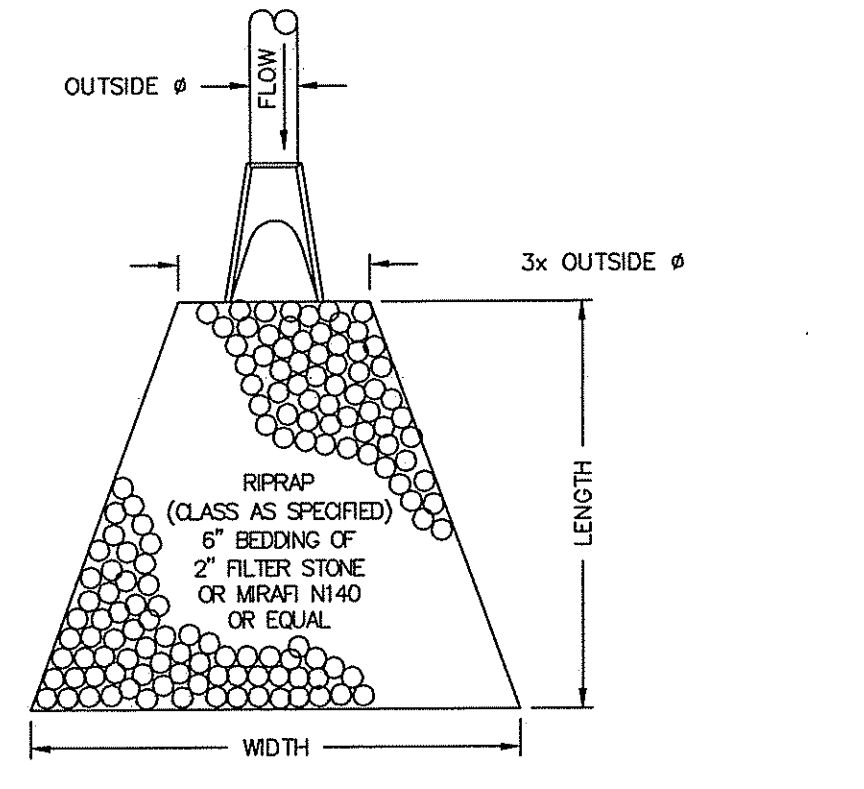


Light Pole Base
NOT TO SCALE

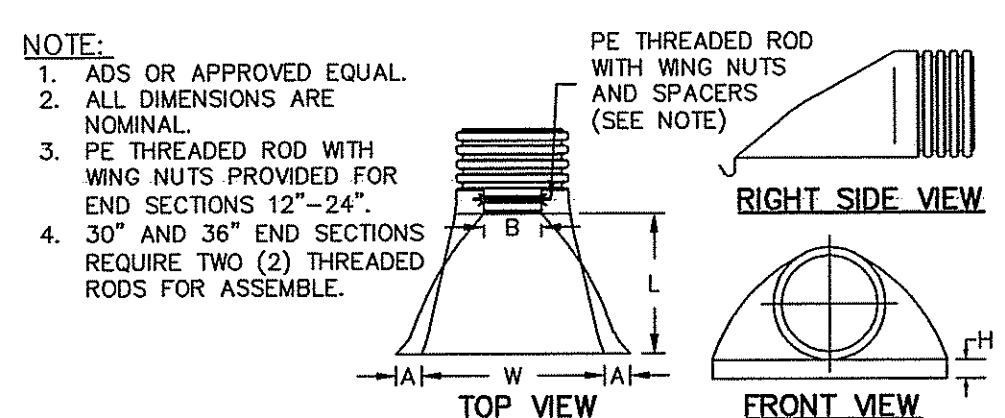
NOTE: CONTRACTOR TO FIELD VERIFY LIGHT POLE AND COMPONENTS PRIOR TO INSTALLING NEW LIGHT POLE BASE.

Detail Sheet - 2
The Preserve at Briarcliffe
Assessor's Plat 43/1 Lots 224 & 229, Assessor's Plat 44/A, Lots 465, 461 & 306
Johnston, Rhode Island
Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocasset Road, Johnston, Rhode Island 02919
Tel: 401-942-2850 Fax: 401-942-2855
DE 105 No. 1154-004 Copyright 2018 by DiPrete Engineering Associates, Inc.

FLARED END	LENGTH	WIDTH	CLASS
FLARED END 19	12.0'	8.0'	R-2
FLARED END 37	16.0'	11.0'	R-2

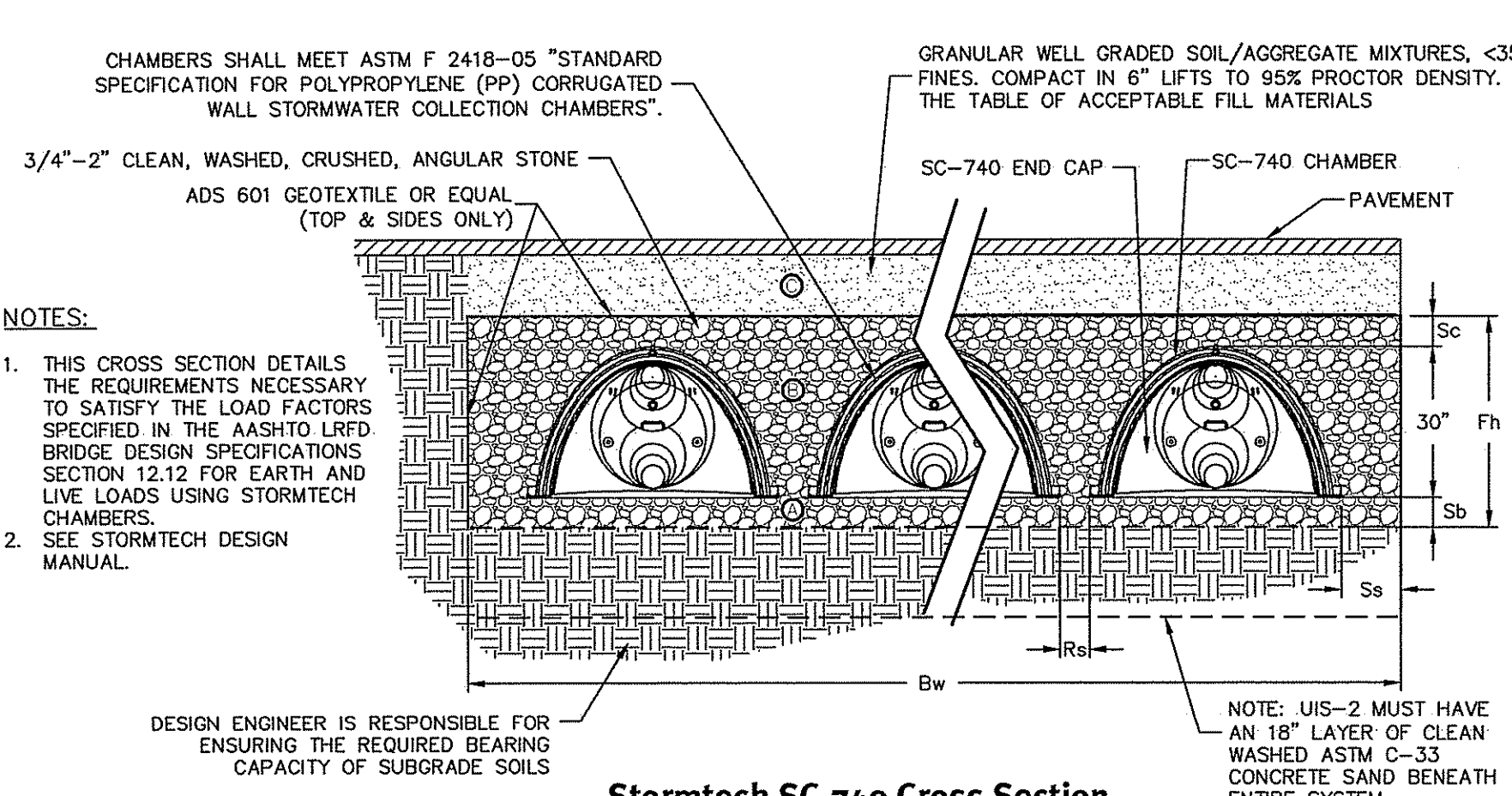


Riprap Apron/ FE Detail
NOT TO SCALE

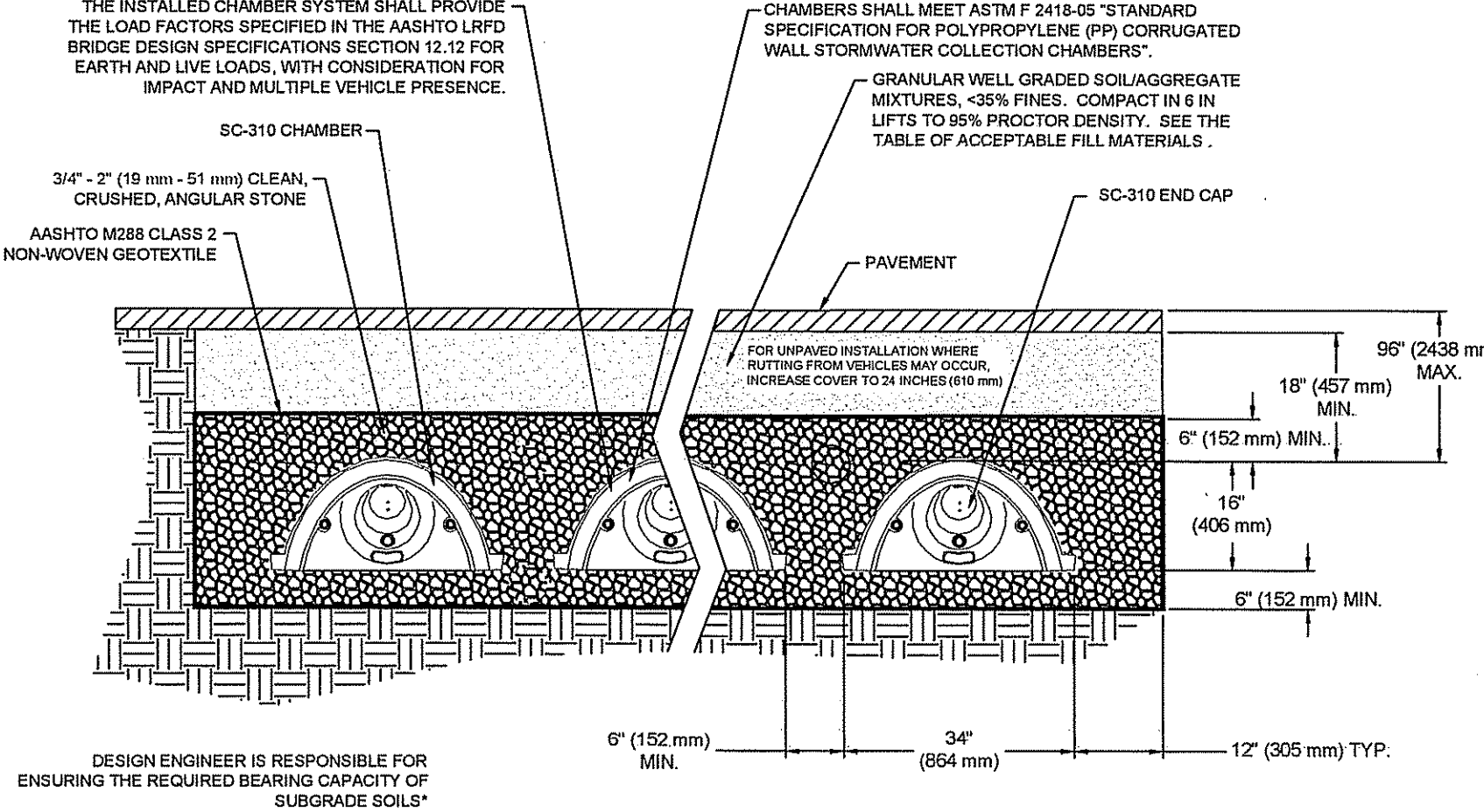


PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1510NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1810 NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
2410NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
3015NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)
3615NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600 MM)

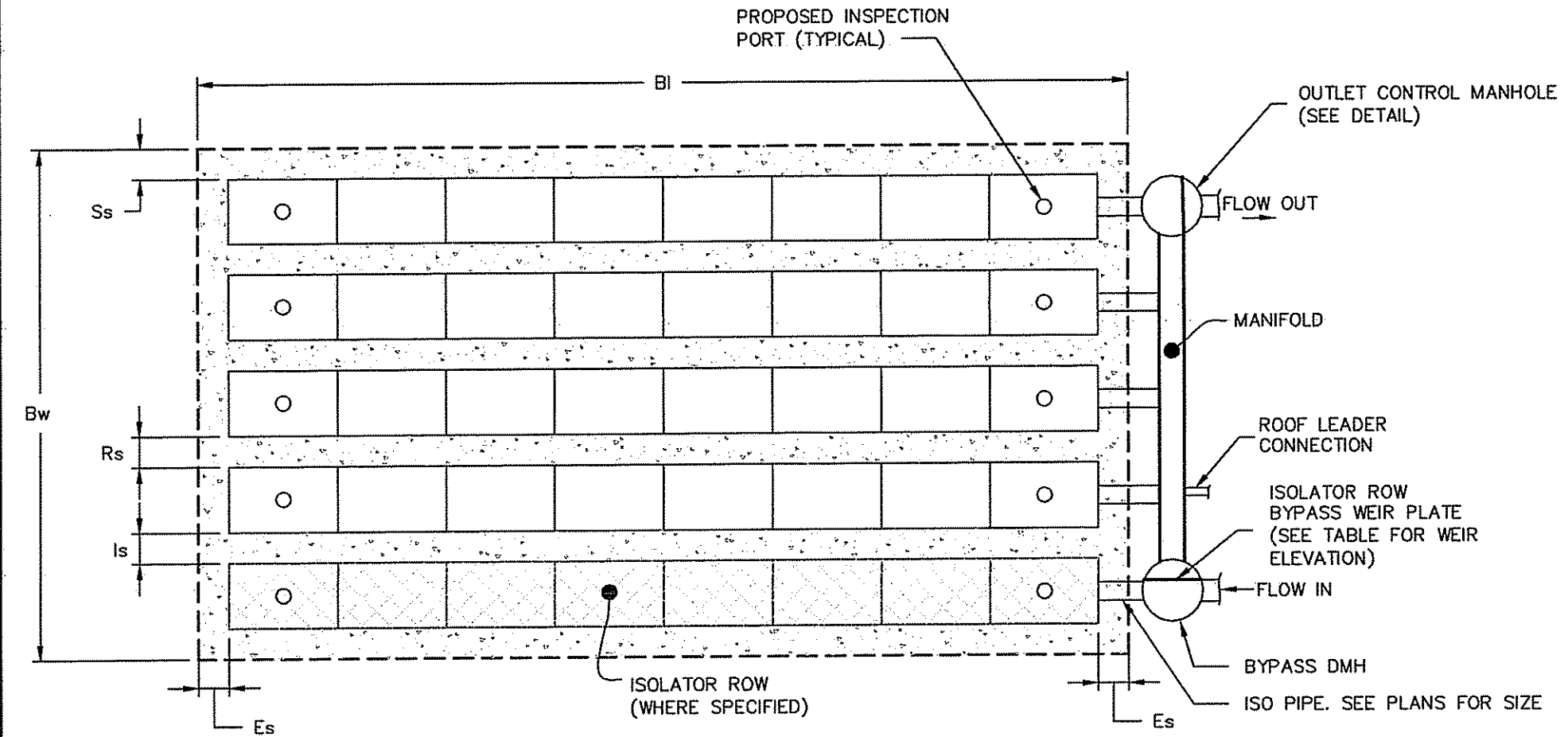
HDPE Flared End Section
NOT TO SCALE



Stormtech SC-740 Cross Section
NOT TO SCALE



Stormtech SC-310 Cross Section
NOT TO SCALE

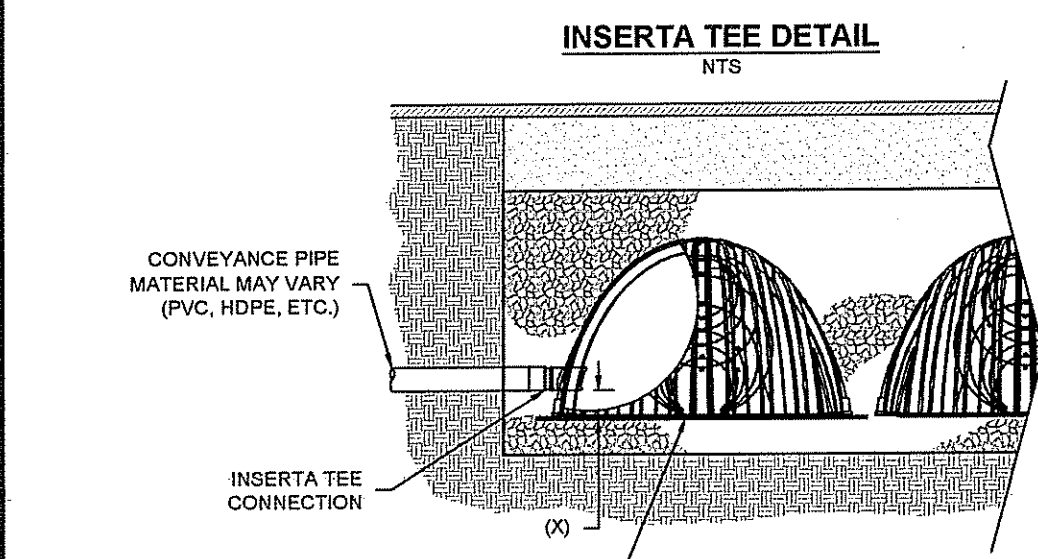


Underground Infiltration Systems Plan View
NOT TO SCALE

NOTES:
1. THE UNDERGROUND INFILTRATION SYSTEM SHOWN IS ONLY FOR SCHEMATIC PURPOSES. THE FINAL UNDERGROUND SYSTEM SHALL BE DESIGNED BY THE MANUFACTURER. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION FOR REVIEW AND APPROVAL. SYSTEM CAN BE SUBSTITUTED WITH ENGINEERED EQUAL AND APPROVAL FROM DESIGN ENGINEER.

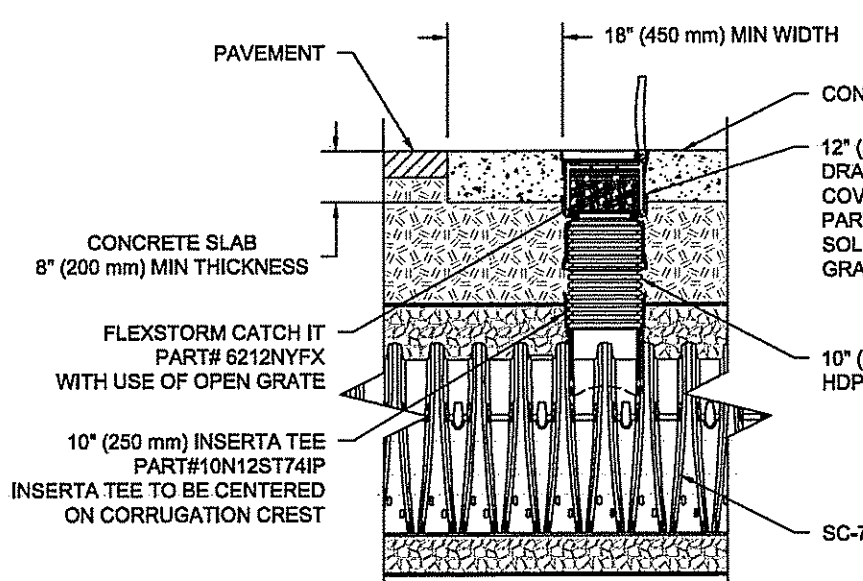
System ID	Pond ID	Stormtech Model	Number of Isolator Rows	Number of Rows (no Isolator)	Chambers per Isolator Row	Chambers per Row (no Isolator)	Total Chambers	Isolator Spacing (in)	Row Spacing (in)	Side Stone (in)	End Stone (in)	Stone Cover (in)	Stone Base (in)	Base Length (ft)	Base Width (ft)	Field Height (ft)	Bottom of Stone Elevation	Test Hole #	Ground Water Elevation	Isolation Row Weir Elevation
UIS-1	140	ADS StormTech SC-740	N/A	5	N/A	12	60	N/A	24	24	24	6	12	89.88	33.25	4.00	274.00	TH-10	271.00	N/A
UIS-2	170	ADS StormTech SC-740	1	4	4	4	16	24	6	12	12	6	6	30.92	26.75	3.50	275.00	TH-8	270.00	276.75
UIS-3	180	ADS StormTech MC-3500	N/A	4	N/A	12	48	N/A	9	18	18	12	9	82.74	30.92	5.50	273.50	TH-5	270.00	N/A
UIS-4	112	ADS StormTech SC-740	1	5	11	11	55	N/A	24	24	24	6	12	82.75	33.25	4.00	255.00	TH-1	249.00	254.50
UIS-5	115	ADS StormTech SC-310	N/A	7	N/A	8	56	N/A	12	12	12	6	5	59.40	27.83	2.93	253.50	TH-3	249.50	N/A
UIS-6	116	ADS StormTech SC-740	N/A	5	N/A	7	35	N/A	24	24	24	6	12	94.28	33.25	4.00	248.50	TH-4	244.00	N/A
UIS-7	206	ADS StormTech SC-310	1	5	12	12	60	18	9	12	12	6	6	87.88	19.17	2.93	277.00	TH-8	273.00	278.00

*NOTE: UIS-2 MUST HAVE AN 18" LAYER OF CLEAN WASHED ASTM C-33 CONCRETE SAND BENEATH ENTIRE SYSTEM.

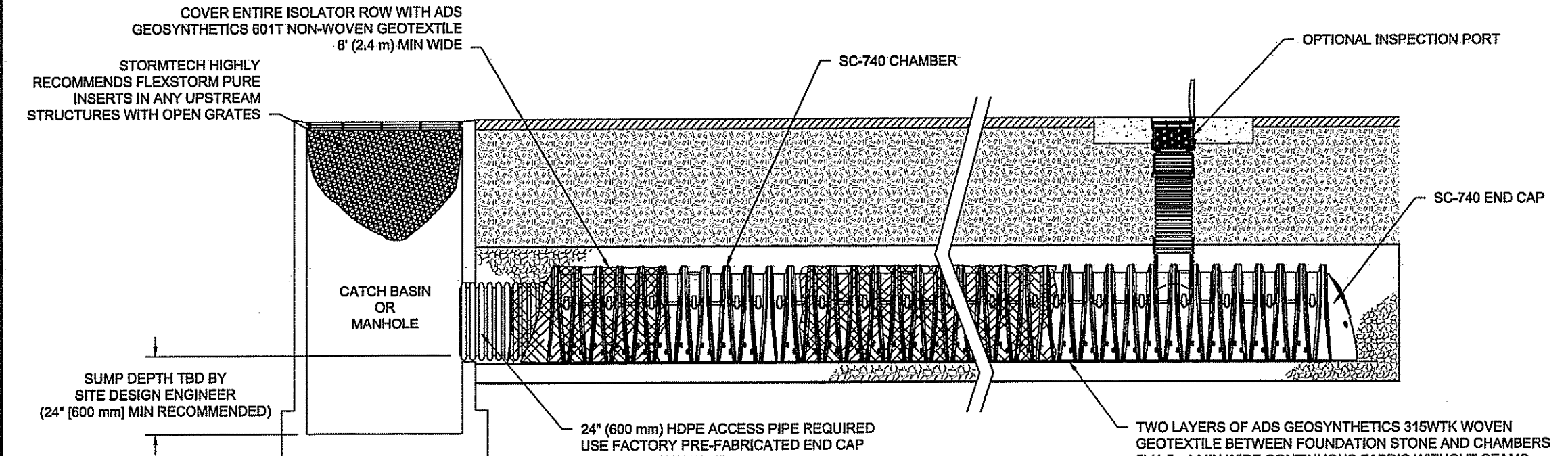


CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (X)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
DC-750	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	6" (200 mm)

INSERTA TEE FITTINGS AVAILABLE FOR SDR 26, SDR 35, SCH 40 IPS GASKETED & SOLVENT WELD, N-12, HP STORM, C-900 OR DUCTILE IRON



SC-740 INSPECTION PORT DETAIL
NTS



Stormtech Isolator Row Detail
NTS

Stormtech Details
NOT TO SCALE

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN

A.2. REMOVE AND CLEAN FLEXTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE

B.3. MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

B.3.1. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.3.2. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

C. VACUUM STRUCTURE SUMP AS REQUIRED

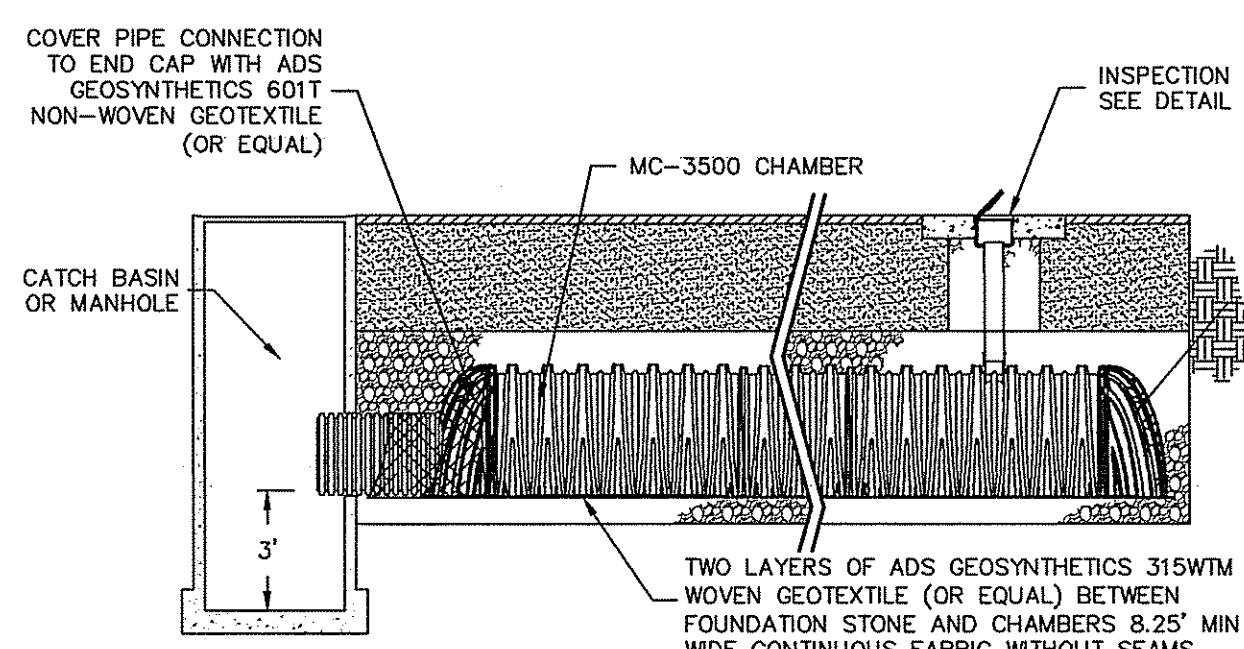
STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

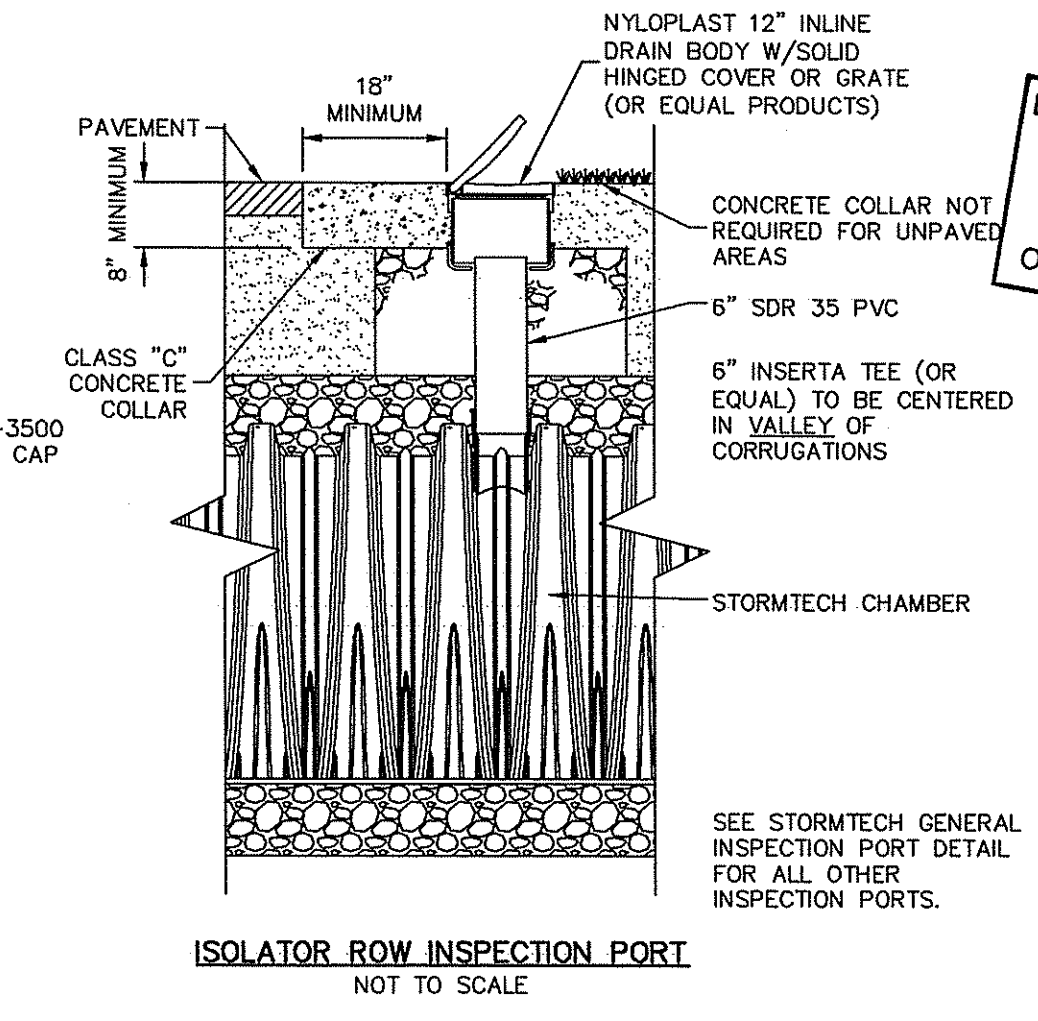
NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.

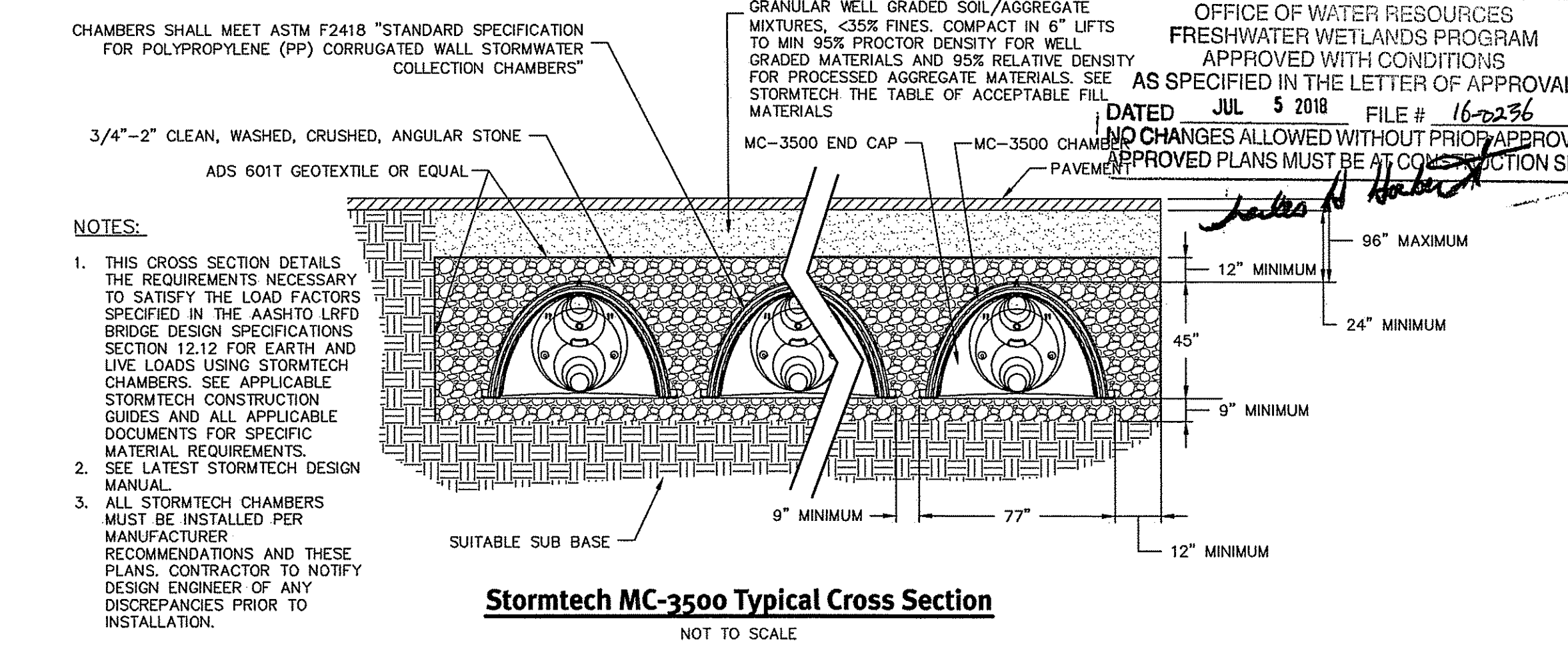
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



Stormtech Isolator Row Detail (MC-3500)
NOT TO SCALE



ISOLATOR ROW INSPECTION PORT
NOT TO SCALE



Stormtech MC-3500 Typical Cross Section
NOT TO SCALE

NOTES:

1. THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.

2. SEE LATEST STORMTECH DESIGN MANUAL.

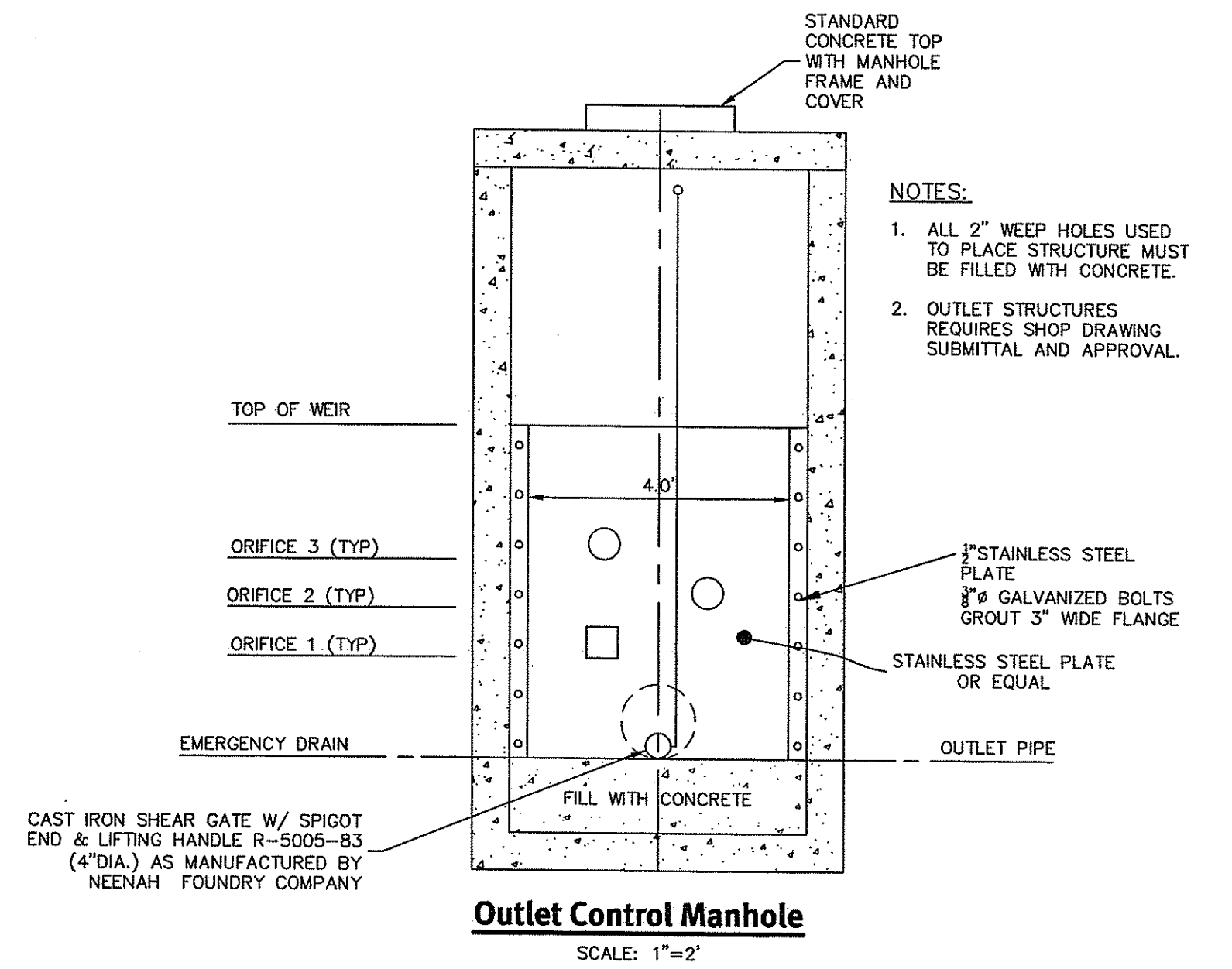
3. ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.

DAVID A. RUSSO
No. 1355
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Environmental Management
JUN 25 2018
Office of Water Resources

Environmental Management
MAY 16 2018
Office of Water Resources

Detail Sheet - 3
The Preserve at Briarcliffe
Assessor's Plat 441, Lots 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocomset Road, Johnston, Rhode Island 02919
Tel: 401-944-2150 Fax: 401-944-2425
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Outlet Control Structure ID	Weir Elevation	Orifice 1		Orifice 2		Orifice 3		Outlet Pipe Invert
		Elev (ft)	Ø (in) or rectangle (in)	Elev (ft)	Ø (in) or rectangle	Elev (ft)	Ø (in) or rectangle	
(UIS-1) DMH 18	277.90	275.40	4 Ø	275.90	5 Ø	N/A	N/A	274.00
(UIS-2) DMH 50	278.00	276.50	4 Ø	N/A	N/A	N/A	N/A	274.50
(UIS-3) DMH 68	278.00	275.20	4 Ø	276.30	4 Ø	277.25	5x5	274.40
(UIS-4) DMH 25	256.95	254.25	4 Ø	254.80	4 Ø	255.50	4 Ø	253.00
(UIS-5) DMH 29	255.78	254.23	3 Ø	254.73	6 Ø	254.83	5 Ø	253.33
(UIS-6) DMH 27	251.46	250.30	(2) 4 Ø	251.00	6 Ø	N/A	N/A	248.50
(UIS-7) DMH 34	279.30	277.75	(2) 6 Ø	278.25	6 Ø	N/A	N/A	277.90

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 5 2018 FILE # 16-0236
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James H. Haber

Environmental Management
 UN 1018
 Office of Water Resources
 MAY 16 2018
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Drawn By: J.A.C.	Design By: D.A.R.
1	02/20/18	Initial Permit Modification - Revised Sheet 12		
2	03/20/18	Initial Permit Modification - Revised Sheet 12		
3	05/20/18	Initial Permit Modification - Revised Sheet 12		
4	06/20/18	Initial Permit Modification - Revised Sheet 12		

Detail Sheet - 4
The Preserve at Briarcliffe
 Assessor's Plat 43/1, Lots 224 & 229, Assessor's Plat 44/4, Lots 68, 66, 61 & 306
 Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
 49 Old Pocomset Road, Johnston, Rhode Island 02919
 Tel: 401-944-3450, Fax: 401-944-2455
 DE Job No: 1154-004 Copyright 2018 by DiPrete Engineering Associates, Inc.

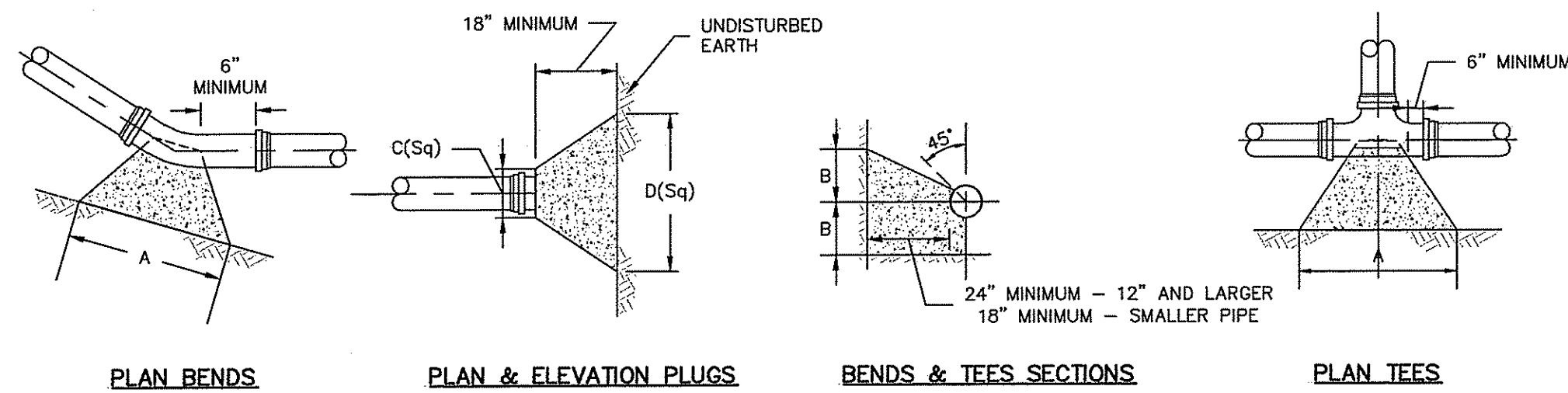
DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-944-6006 www.DiPrete-Eng.com

Engineers • Planners • Surveyors

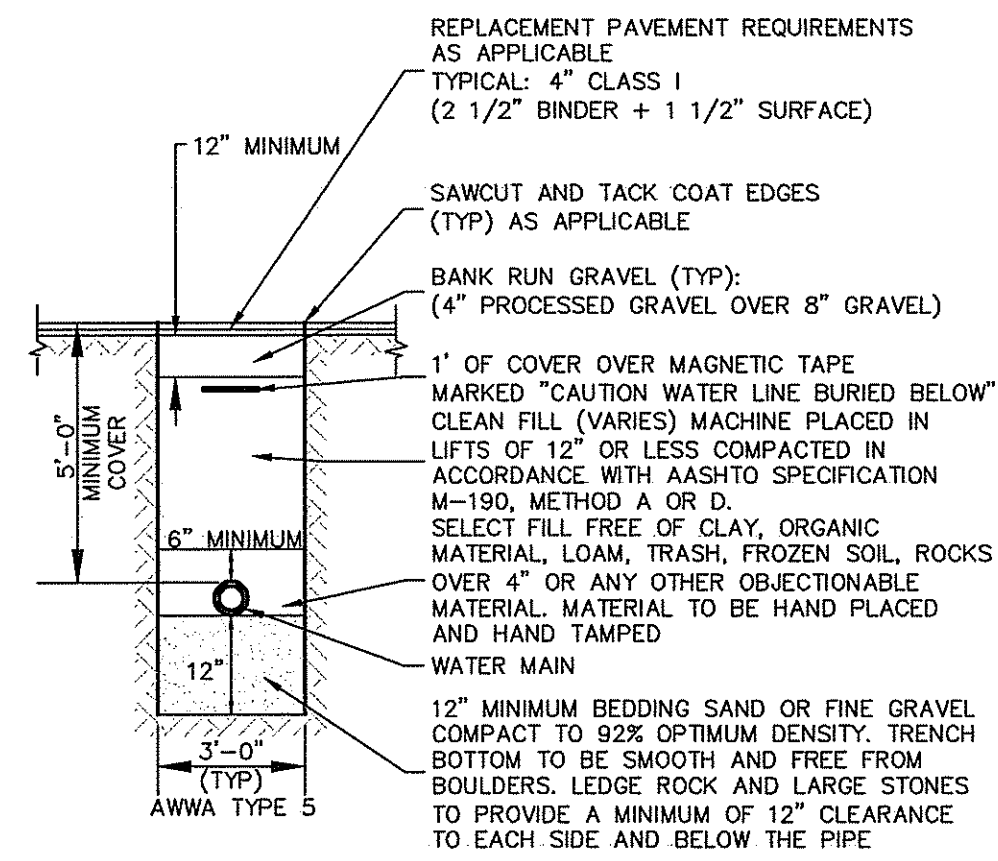
DAVID A. RUSSO
 No. 1385
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

- NOTES:**
- ALL CONCRETE SHALL BE 4,000 P.S.I. @ 28 DAYS
 - CONCRETE THRUST BLOCKS SHALL BE AGAINST UNDISTURBED EARTH
 - FORMS TO BE USED AS NECESSARY
 - ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED
 - REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF RHODE ISLAND SHALL VERIFY CALCULATIONS DURING DESIGN TO MEET CONDITIONS OF PROJECT.

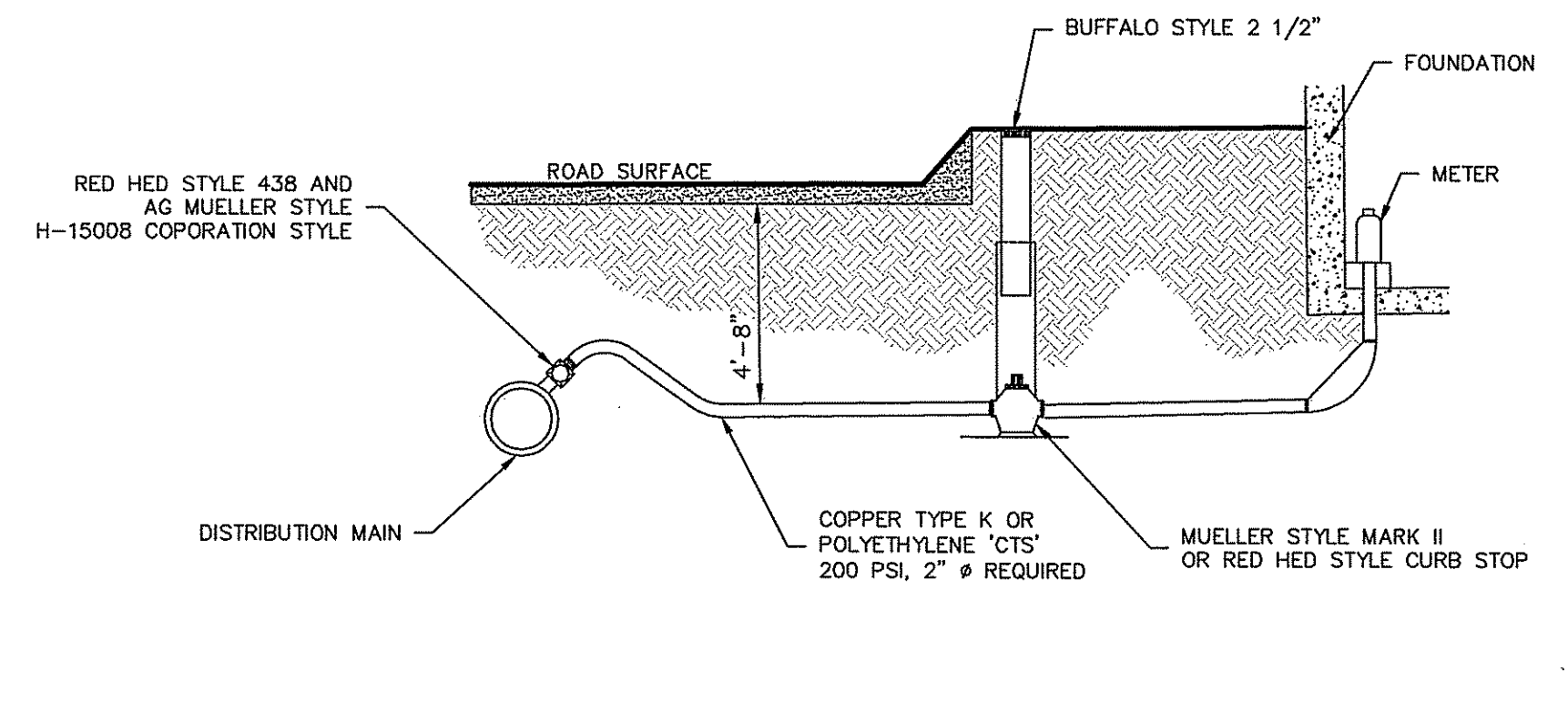
SIZE	TEES				PLUGS				90° BEND				45° BEND				22.5° BEND				11.25° BEND			
	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D
6"	20"	10"	10"	21"	24"	12"	18"	9"	13"	7"	9"	5"												
8"	26"	13"	12"	26"	32"	16"	24"	12"	17"	9"	12"	6"												
10"	34"	17"	14"	34"	40"	20"	30"	15"	22"	11"	15"	8"												
12"	41"	20"	16"	41"	48"	24"	35"	18"	25"	13"	18"	9"												
16"	54"	27"	20"	54"	64"	32"	47"	23"	34"	17"	24"	12"												



Thrust Block
NOT TO SCALE

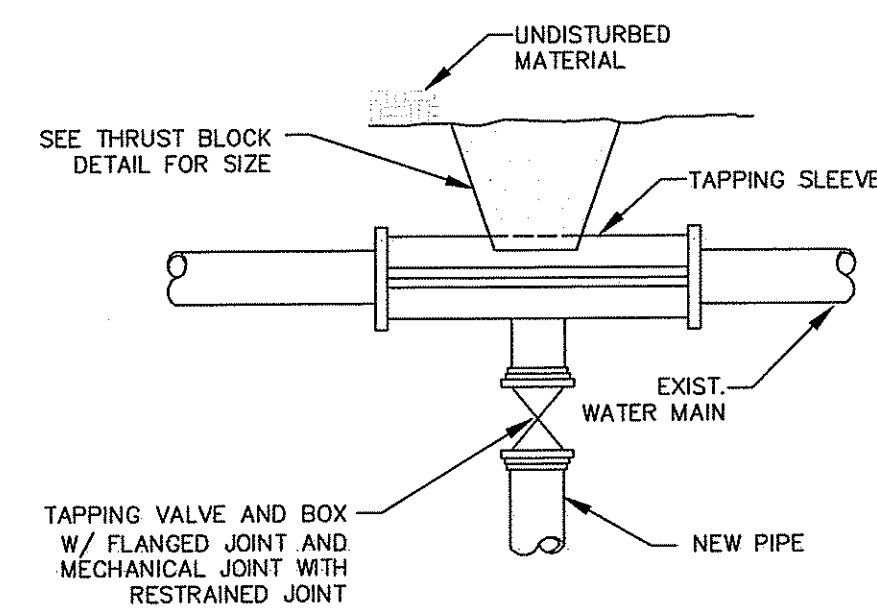


Water Trench Detail
NOT TO SCALE



Water Service Installation (TYP)
NOT TO SCALE

- NOTES:**
- TAPPING SLEEVE AND VALVE TO BE SWABBED WITH CHLORINE SOLUTION.
 - CONTRACTOR TO VERIFY SIZE OF EXISTING WATER MAIN PRIOR TO PURCHASE OF TAPPING SLEEVE.



WATER TAPPING SLEEVE AND VALVE
NOT TO SCALE

Sewer Line/Water Main Separation Policy For Design Of Sanitary Sewers

A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS

SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE DIVISION MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:

- THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
- THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND
- IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN.

IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:

- ENCASEMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10' EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
- DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.

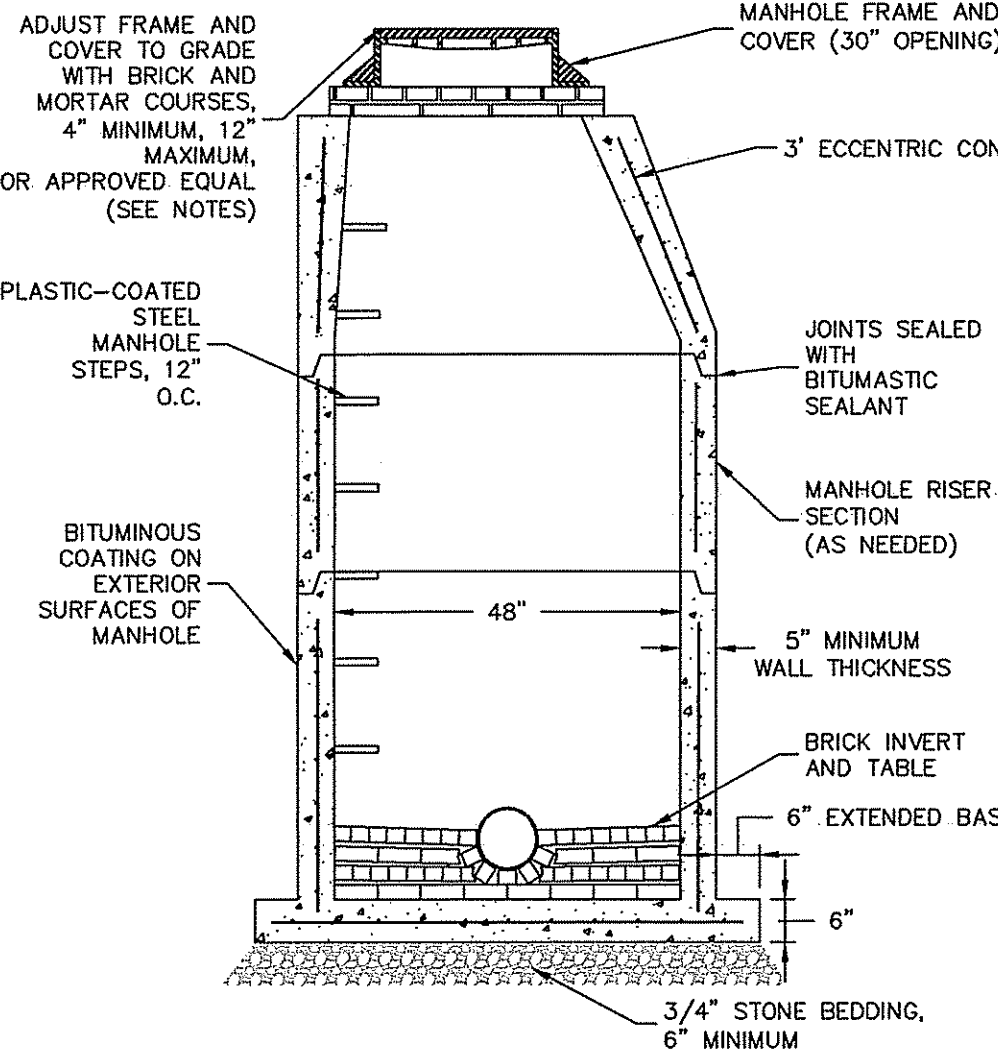
B. SEWERS CROSSING WATER MAINS

SEWERS CROSSING OVER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.

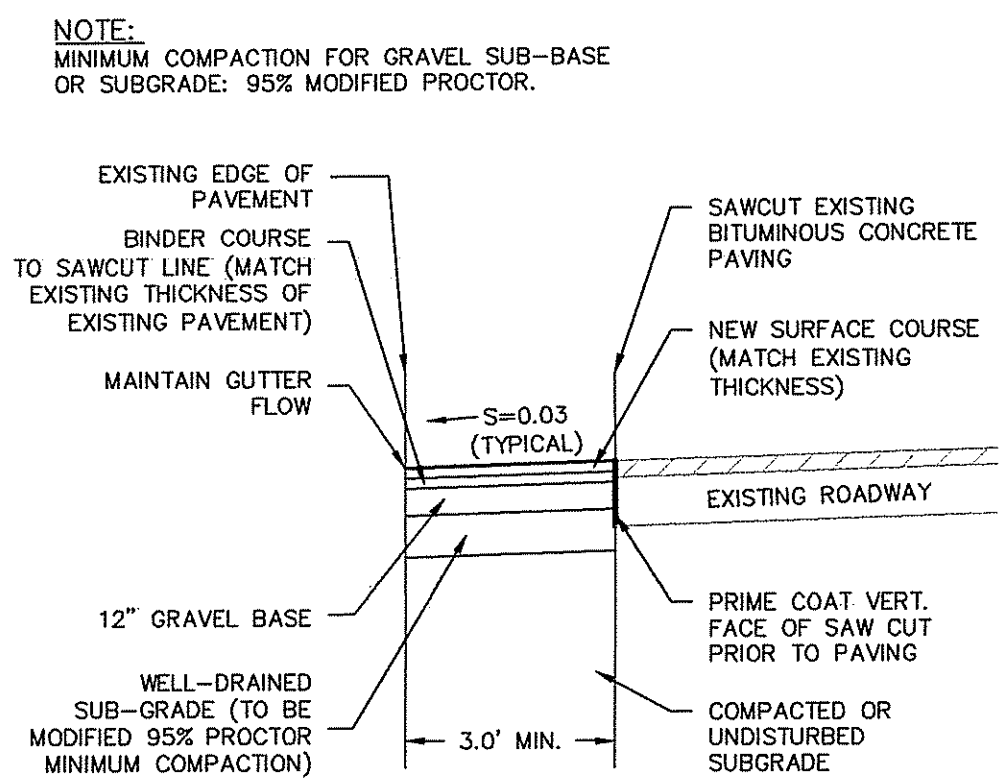
WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:

- THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS, OR
- EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE DIVISION, OR
- ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE DIVISION.

- NOTES:**
- MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478.
 - INVERT AND TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR. NO SAND FILLER SHALL BE ALLOWED.
 - MANHOLES SHALL BE VACUUM TESTED PRIOR TO ACCEPTANCE, IN ACCORDANCE WITH THE SEWER AUTHORITY SANITARY RULES AND REGULATIONS. UNDER NO CIRCUMSTANCES WILL EXFILTRATION TESTING BE ACCEPTED.
 - BOLTED AND GASKETED COVERS SHALL BE USED ON MANHOLES IN OFF-ROAD AREAS.
 - TAPPING OF MANHOLES MUST BE AUTHORIZED AND INSPECTED BY THE SEWER AUTHORITY. THE ONLY APPROVED METHOD FOR TAPPING MANHOLES SHALL BE BY CORE-DRILLING THE MANHOLE AND INSTALLING A "KOR-N-SEAL" BOOT.
 - PRECAST CONCRETE GRADE RINGS, HDPE GRADE RINGS, OR OTHER RIM ADJUSTMENT PRODUCTS MAY BE USED IN LIEU OF BRICK AND MORTAR WITH THE PERMISSION OF THE SEWER AUTHORITY.



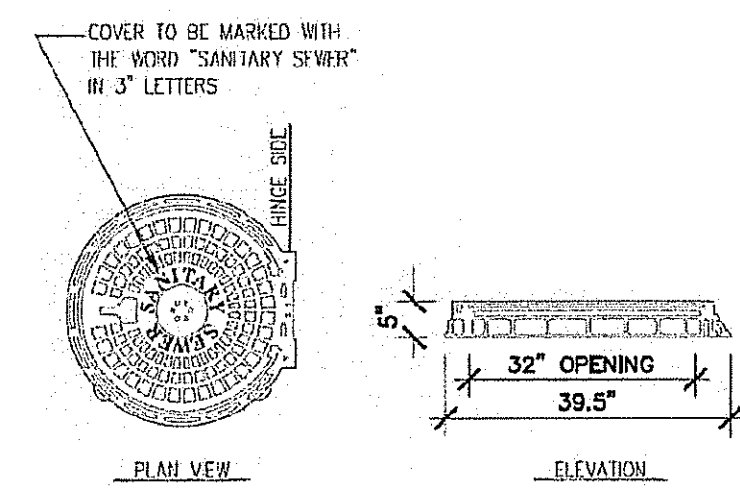
Sewer Manhole
NOT TO SCALE



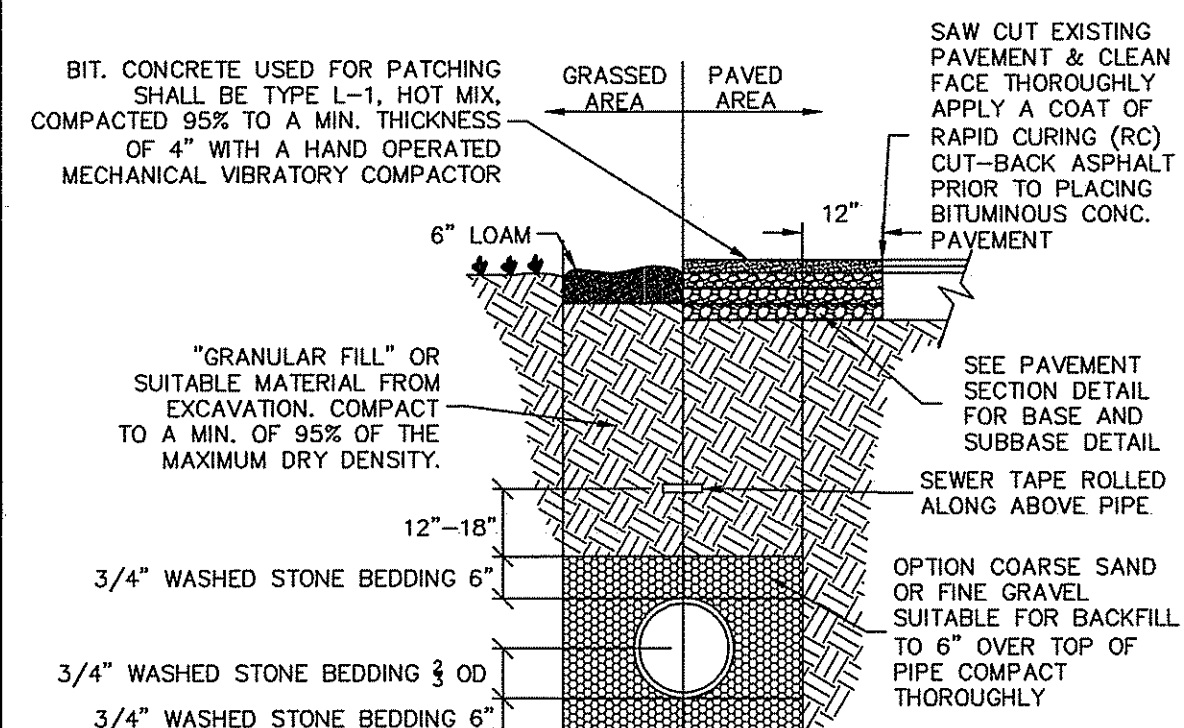
SAWCUT & MATCH
NOT TO SCALE

NOTE:

- SEWER MANHOLE COVER AND FRAME SHALL BE PAMREX OR APPROVED EQUAL. COVER AND FRAME SHALL BE MANUFACTURED FROM DUCTILE IRON.
- COVERS SHALL BE DUALY HINGED AND INCORPORATE A 90 DEGREE BLOCKING SYSTEM TO PREVENT ACCIDENTAL CLOSURE. COVERS SHALL BE ONE MAN OPERABLE USING STANDARD TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A TEST LOAD OF 80,000 LBS.
- FRAMES SHALL BE CIRCULAR, INCORPORATE A SEATING RING AND A FITTED PLUG IN EACH HINGE HOUSING, AND BE AVAILABLE IN A 32 INCH CLEAR OPENING. THE FRAME DEPTH SHALL NOT EXCEED 5 INCHES, AND THE FLANGE SHALL INCORPORATE BEDDING SLOTS, BOLT HOLES, AND LIFTING EYES.
- ALL COMPONENTS SHALL BE BLACK COATED



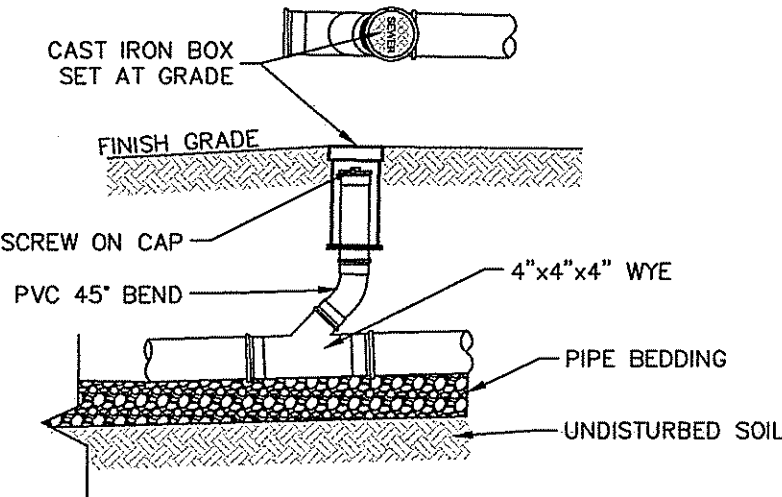
Sanitary Sewer Cover
NOT TO SCALE



Sewer Line Trench Detail
NOT TO SCALE

NOTES:

- ALL PIPE AND FITTINGS SHALL BE GASKETED 4" SDR 35 PVC PIPE.
- CRUSHED STONE BEDDING SHALL BE PLACED FROM 6" BELOW PIPE INVERT TO THE SPRINGLINE OF THE PIPE, UNLESS OTHERWISE DIRECTED BY THE INSPECTOR OR ENGINEER.
- A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE. FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100'.
- ALL PVC CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER."

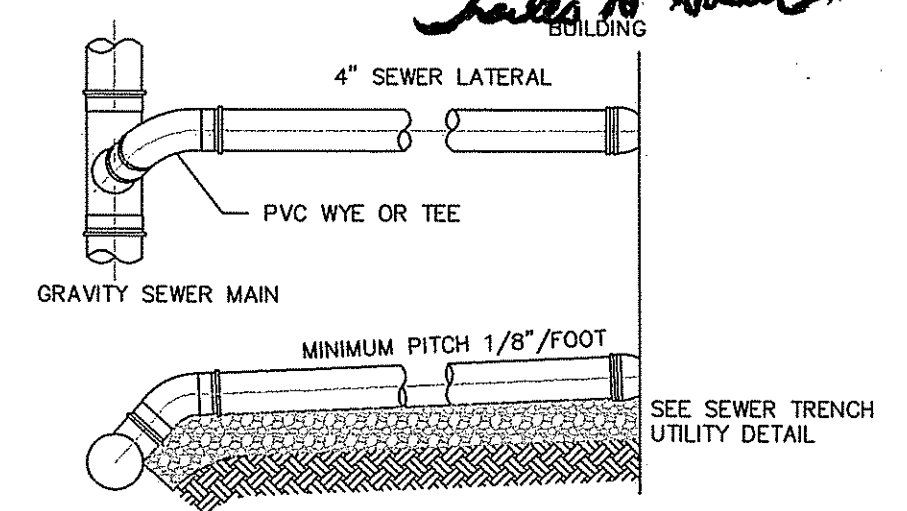


Sewer Cleanout
NOT TO SCALE

Grease Interceptor
NOT TO SCALE

GALLON CAPACITY	600	800	1000	1500	2000	2500	3000	4000	5000	6000	7000
UV MODEL NO.	577-GA	577-GA	4484-GA	5106-GA	612-GA	712-GA	712-GA	814-GA	818-GA	818-GA	818-GA
DIM "A"	7'-0"	7'-0"	9'-0"	11'-2"	12'-8"	12'-8"	13'-1"	13'-1"	15'-7"	19'-11"	19'-11"
DIM "B"	4'-8"	4'-8"	5'-0"	5'-8"	6'-8"	6'-8"	8'-0"	8'-0"	9'-7"	9'-11"	9'-11"
DIM "C"	7'-0"	7'-0"	7'-2"	7'-2"	8'-0"	8'-0"	8'-7"	8'-7"	10'-0 1/2"	10'-5"	10'-5"
DIM "D"	3'-7"	4'-8"	4'-3"	4'-3"	4'-7"	5'-6 1/2"	5'-1"	6'-8"	7'-4"	7'-1"	8'-0"
WATER DEPTH DIM "E"	3'-3"	4'-4"	3'-10"	3'-11"	3'-9 1/2"	4'-9"	4'-8"	6'-3"	6'-1"	5'-8"	6'-7"

- NOTE:**
- CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 4500 PSI
 - REBAR: ASTM A-615 GRADE 60
 - MESH: ASTM A-185 GRADE 65
 - DESIGN: ACI-318-02 BUILDING CODE, ASTM C-857 "MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES"
 - LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 - FILL WITH CLEAN WATER PRIOR TO START-UP OF SYSTEM
 - CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 - GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER



- NOTES:**
- ALL PIPE AND FITTINGS SHALL BE GASKETED 4" SDR 35 PVC PIPE.
 - ALL PVC CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER."

Sewer Wye Detail
NOT TO SCALE

DAVID A. RUSSO
No. 1305
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Environmental Management
JUN 25 2018
Office of Water Resources

Environmental Management
MAY 16 2018
Office of Water Resources

No.	Date	Description	Design By: J.A.C.
1	02/27/2018	010314 Permit Modification - Revised Sheet 15	
2	03/22/2018	010314 Permit Modification - Revised Sheet 15	
3	03/22/2018	010314 Permit Modification - Revised Sheet 15	
4	03/22/2018	010314 Permit Modification - Revised Sheet 15	

Detail Sheet - 5

The Preserve at Briarcliffe
Assessor's Plat 437, Lots 224, & 229, Assessor's Plat 441, Lots 468, 467 & 306
Johnston, Rhode Island

Prepared for
Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor
49 Old Pocomset Road, Johnston, Rhode Island 02919
Tel: 401-944-2450 Fax: 401-944-2455

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