

MAGNETIC AUGUST 2016

A.P. 10 LOT 198
N/F JOSEPH F. DOTOLI et al

EXIST. POND OUTLET PROPOSED TO REMAIN
FOUR 12" CMP CULVERTS
INV. (S) = 66.1±
INV. (N) VARIES 65.4-65.8

OFF SITE WOODED SWAMP (NOT FLAGGED)

EXIST. EARTHEN DAM PROPOSED TO REMAIN

EXIST. RIP-RAP OVERFLOW SPILLWAY EL. 67.1± PROPOSED TO REMAIN

Per R.I.D.E.M.
Area to be planted in accordance with the restoration requirements listed under Permit Condition No. 11

ALL EXISTING CLEARED AREAS WITHIN 50' OF THE POND, EXCEPT THE PROPOSED GRASS PATH, SHALL BE LEFT UNDISTURBED AND SHALL BE ALLOWED TO REVEGETATE NATURALLY. SEE NOTES 6 AND 7.

BENCHMARK: NAIL FOUND IN 10" TREE
ELEVATION: 100.00' ASSUMED DATUM

REFERENCE FWV APPLICATION NO. 16-0145 FOR PROPOSED HOUSE CONSTRUCTION

A.P. 10 LOT 23

N/F CHARLY ALMONTE
HOUSE #244

IRON ROD FOUND

AREA OF OBSERVED HEADSTONES

EXISTING CEMETERY

APPROX. LIMITS OF GRAVEL FILL & EARTH BERM

EXIST. 10' WIDE GRAVEL ACCESS DRIVEWAY TO REMAIN

A.P. 10 LOT 22

N/F MELANIE P & ALcide A MIMANDE
HOUSE #232

A.P. 10 LOT 24

N/F PETER R. FIORE
HOUSE #254

A.P. 10 LOT 165

N/F MARY LYNN & ROGER LECLAIR

A.P. 10 LOT 33

N/F PETER R. FIORE

A.P. 10 LOT 23

N/F HOWARD F. TUCKER, JR.

EXISTING POND PROPOSED TO REMAIN
WATER ELEV. = 66.1± (9/20/16)

WOODED SWAMP (NOT FLAGGED)

APPROX. LOCATION OF EXISTING PATH TO BE ALLOWED TO RE-VEGETATE NATURALLY. SEE NOTE 9

200' RADIUS FOR ABUTTER NOTIFICATION

APPROX. LOCATION OF EXISTING PATH TO BE ALLOWED TO RE-VEGETATE NATURALLY. SEE NOTE 9

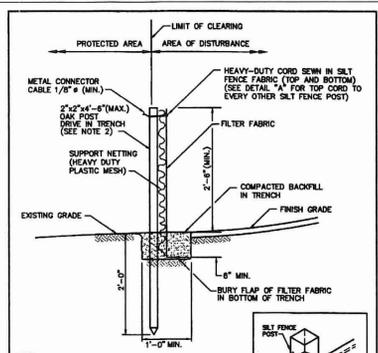
ALL EXISTING WOODED AREAS WITHIN 50' OF THE POND SHALL BE LEFT UNDISTURBED

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 24 2017 FILE # 16-0269
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James A. Hester

LEGEND

	EXIST. STONE WALL
	EXIST. UTILITY POLE
	EXIST. CONTOUR
	EXIST. TREE LINE
	EDGE OF POND
	50' PERIMETER WETLAND
	LIMIT OF DISTURBANCE
	PROP. ELECTRIC FENCE
	EROSION CONTROLS

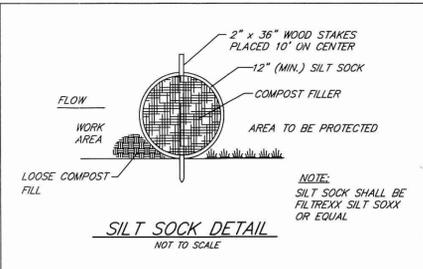


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

SILT FENCE DETAIL

REVISED: *James A. Hester* JUN 15, 1998

SCALE: 1"=60'



BASE PLAN NOTES

- THIS PLAN IS A PRODUCT OF BOTH A FIELD "TOPOGRAPHIC/ FEATURE LOCATION" SURVEY AND DATA DERIVED FROM SECONDARY SOURCES. FIELD DATA INCLUDES THE SURVEY LOCATION/ELEVATION OF THE POND, THE DAM AND CULVERTS, THE FOUNDATION, THE WELL AND THE DRIVEWAY. COMPILED DATA INCLUDES THE EXISTING TOPOGRAPHY IN THE VICINITY (WITHIN 100±') OF THE FOUNDATION.
- THE EXISTING TOPOGRAPHY AROUND THE FOUNDATION IS TAKEN FROM A PLAN ENTITLED "DWTS SITE PLAN - PINE ORCHARD ROAD GLOUCESTER, RHODE ISLAND A.P. 10, LOT 33 DATE APRIL 2016 - JOE CASALI ENGINEERING, INC. THE BENCHMARK WAS RECOVERED AND USED AS THE VERTICAL DATUM HERE.
- THE PROPERTY LINES ARE TAKEN FROM A PLAN ENTITLED "PLAN OF LAND FOR GEORGE CHARRETTE GLOUCESTER, R.I. MARCH 1987 SCALE: 1 INCH EQUALS 80 FEET" BY NATIONAL ENGINEERS - LAND SURVEYORS, INC.
- SEE GENERAL NOTE 9 ABOVE.

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY	MEASUREMENT SPECIFICATION
NOT A BOUNDARY SURVEY	NONE
TYPE OF SURVEY-OTHER	MEASUREMENT SPECIFICATION
DATA ACCUMULATION SURVEY	CLASS III
COMPLATION PLAN	CLASS II BOUNDARY AND TOPOGRAPHY PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES HEREON DO NOT REPRESENT A BOUNDARY OPINION AND ARE SUBJECT TO SUCH CHANGES AS AN AUTHORITY IN THE FIELD (BOUNDARY) SURVEY MAY (WELLS) DISCLOSE

STATEMENT OF PURPOSE

THE PURPOSE OF THIS SURVEY WAS TO COLLECT TOPOGRAPHIC AND PHYSICAL FEATURE LOCATION DATA FOR USE BY THE DESIGNER IN THE PREPARATION OF THE SITE PLAN. A SURVEY OF EXISTING CONDITIONS AS DEPICTED HEREON WAS CONDUCTED ON-THE-GROUND IN SEPTEMBER, 2016, USING A CONVENTIONAL TOTAL STATION INSTRUMENT.

BY: *John Mensinger*
JOHN MENSINGER, PROFESSIONAL LAND SURVEYOR NO. 1806 © SCITUATE SURVEYS, INC. COA NO. 430
IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "MET" STAMP, THEN IT IS NOT AN AUTHENTICATED VERSION.

SCITUATE SURVEYS, INC.
410 TIQOUE AVENUE
COVENTRY, RHODE ISLAND 02816
401.821.8101
LAND SURVEYING / MAPPING / SITE PLANNING
PROJECT NO.: SS2779

DATE: MAR 27 2017

REVISION	DATE	DESCRIPTION
	2-14-17	

OWNER & APPLICANT
PETER R. FIORE
254 PINE ORCHARD ROAD
POST OFFICE BOX 391
CHEPACHET, RI 02814
401-480-3006

PROPOSED POND
ASSESSORS PLAT 10 LOT 33
POLE 22 PINE ORCHARD ROAD
GLOUCESTER, RI

S.F.M. ENGINEERING ASSOCIATES
410 TIQOUE AVENUE
COVENTRY, RI 02816
PHONE: 401-826-3736
FAX: 401-826-1711
SCOTT@SFM.NECCOMAIL.COM

SFM
DRN. BY: SFM
CHK. BY: JZL
SCALE: 1"= 60'
DATE: OCT. 21, 2016
DWG: SFMB425P
SHEET 1 OF 1
PERMITTING SUBMISSION