

PRELIMINARY PLAN SUBMISSION

for

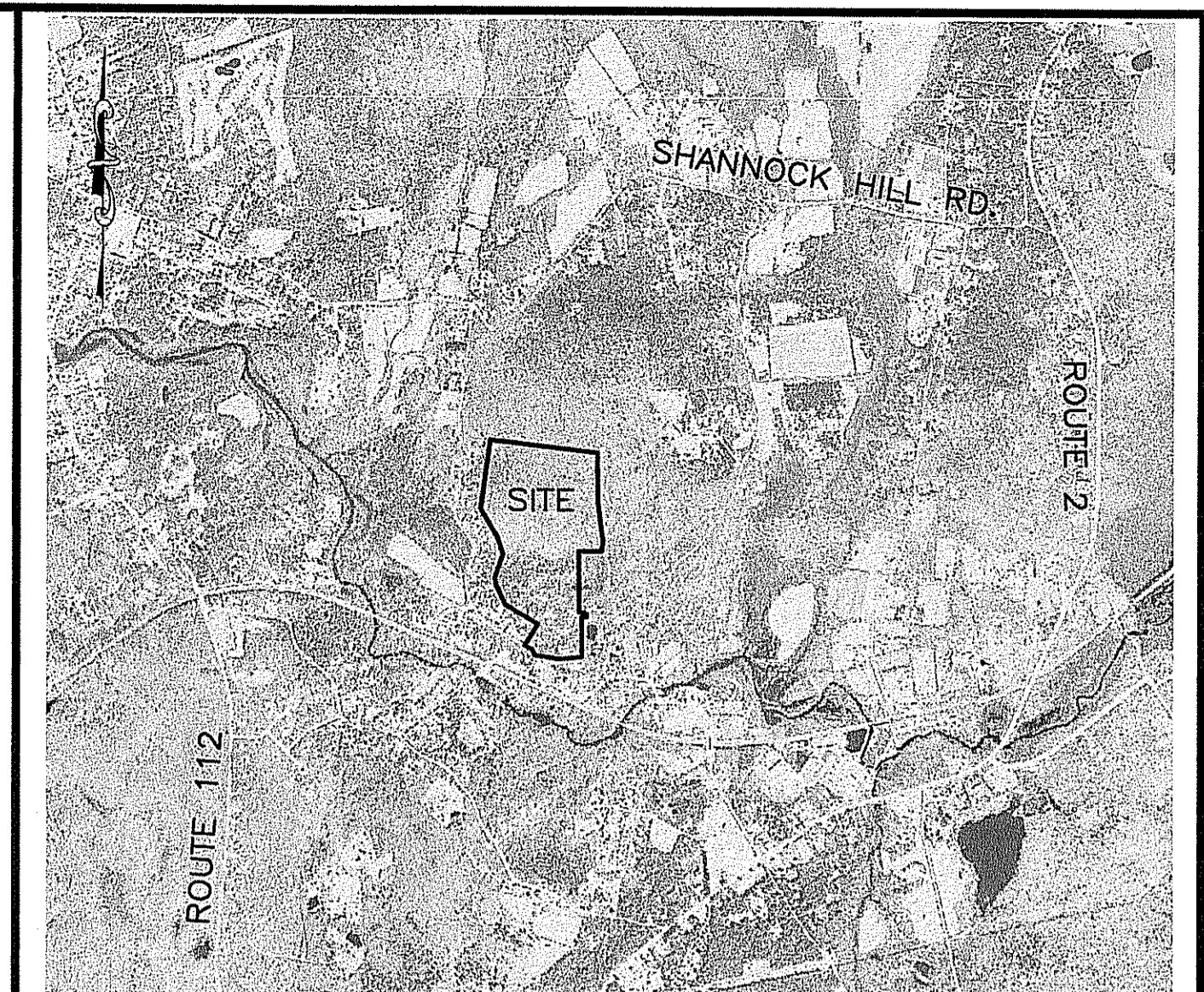
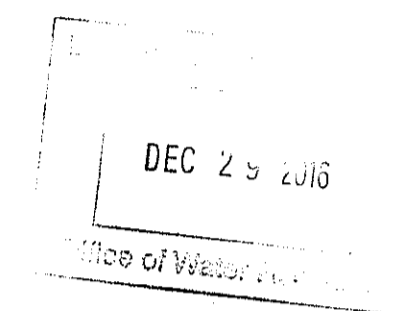
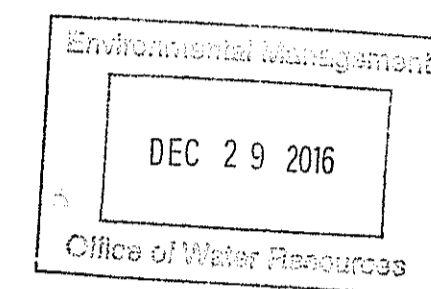
RICHMOND RIDGE COMPREHENSIVE PERMIT A.P. 10D, LOT 46

on

WEST SHANNOCK ROAD

in

RICHMOND, RHODE ISLAND



LOCUS MAP
SCALE: 1"=2,000'

LIST OF DRAWINGS

SITE PLAN DRAWINGS:

- TITLE SHEET
- 500' RADIUS PLAN
- EXISTING CONDITIONS
- LOT LAYOUT PLAN
- GENERAL SITE PLAN 100 SCALE
- GENERAL SITE PLAN 40 SCALE
- SITE PLAN
- SITE PLAN
- DRAINAGE AND UTILITY PLAN
- DRAINAGE AND UTILITY PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- EROSION CONTROL PLAN
- ROADWAY PLAN AND PROFILE
- ROADWAY PLAN AND PROFILE
- LANDSCAPE PLAN
- LANDSCAPE PLAN
- LANDSCAPE PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
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- CONSTRUCTION DETAILS

SUPPLEMENTAL DRAWINGS:

- SITE CONTEXT PLAN, AERIAL & USGS MAP, SHT. 1 OF 1
- SOILS MAP & FLOOD ZONE MAP, SHT. 1 OF 1
- EXISTING CONDITIONS & RESOURCE PLAN, SHT. 1 OF 1
- DEVELOPMENT OVERLAY PLAN, SHT. 1 OF 1
- SURVEY PLAN, SHT. 1 OF 1

PROJECT DATA

ASSESSOR'S PLAT 10D LOT 46
 PARCEL AREA=2,788,648 S.F. (64.02 ACRES)
 ZONING CLASSIFICATION: R-2 - RESIDENTIAL
 TOTAL NUMBER OF PROPOSED LOTS 3
 TOTAL NUMBER OF PROPOSED UNITS 32
 PROPOSED LOT "A" TO BE DEVELOPED (7.14 ACRES)
 PROPOSED LOT "B" AND "C" ARE NOT FOR DEVELOPMENT=(56.87 ACRES)
 TOTAL AREA OF PUBLIC ROADWAYS:
 PROPOSED STREET IS CLASSIFIED AS A PRIVATE DRIVEWAY
 TOTAL = 0 S.F. (0.00 ACRES)
 PROPOSED ROADWAY LENGTHS:
 PROPOSED PRIVATE DRIVEWAY ROAD = 1,299.41 LINEAR FEET

PROJECT NO. 04145.00

RICHMOND RIDGE ZONING TABLE AND WAIVER LISTING

DISTRICTS:

ZONING DISTRICT = R-2
 SHANNOCK VILLAGE DISTRICT = NO
 FLOOD HAZARD OVERLAY DISTRICT = NO
 AQUIFER PROTECTION OVERLAY DISTRICT = YES

ZONE R-2:

	AREA	FRONTAGE	FRONT SETBACKS	FRONT SIDE REAR	BUILDING COVERAGE	
SINGLE FAMILY	2 ACRES	200'	50'	35'	100'	10%
2 FAMILY	3 ACRES	250'	50'	35'	100'	10%

	MAIN STRUCTURE BUILDING HEIGHT	ACCESSORY STRUCTURE BUILDING HEIGHT	ACCESSORY STRUCTURE SIDE YARD SETBACK	ACCESSORY STRUCTURE REAR YARD SETBACK
SINGLE FAMILY	35'	25'	25'	15'
2 FAMILY	35'	25'	25'	15'

AQUIFER PROTECTION OVERLAY DISTRICT:

- SUBSURFACE DISPOSAL OF DOMESTIC SEWAGE:
 MAXIMUM DISPOSAL PER ACRE = 350 GALLONS/DAY
 SUBJECT SITE = 64.02 ACRES
 MAXIMUM ALLOWED BY ORDINANCE = 64.02 AC. X 350 GAL/AC.
 = 22,407 GALLONS/DAY (MAXIMUM)
 PROPOSED DEVELOPMENT WILL DISPOSE = 86 BED X 115 GAL/BED
 + 1 PERSON X 15 GAL./PERSON = 9,905 GAL./DAY
- PROPOSED DEVELOPMENT DOES NOT PROPOSE ROAD SALT STORAGE AND LOADING, SOLID WASTE DISPOSAL, SEPTAGE DISPOSAL, COMMERCIAL OR INDUSTRIAL USE OR STORAGE OF HAZARDOUS MATERIALS.

OFF STREET PARKING:

ORDINANCE REQUIRES TWO PARKING SPACES PER DWELLING UNIT.
 PROPOSED DEVELOPMENT HAS 32 UNITS
 REQUIRED # OF PARKING SPACES = 32 UNITS X 2 PER UNIT = 64 SPACES
 PROPOSED # OF PARKING SPACES = 64 SPACES

ACCESSORY USES:

DEVELOPMENT PROPOSES A PRIVATE COMMUNITY FACILITY BUILDING (18.16.030.N)
 DEVELOPMENT PROPOSES A PRIVATELY OWNED ON-SITE WASTEWATER TREATMENT FACILITY (OWTS) (18.16.030.O)

NONCONFORMING DEVELOPMENT:

SUBJECT PARCEL OF LAND IS CONSIDERED NONCONFORMING BY DIMENSION SINCE LOT FRONTAGE DOES NOT MEET THE MINIMUM STANDARD.

MAXIMUM DENSITY/YIELD PLAN:

PERSUANT TO SECTION 3.3 OF THE LAND DEVELOPMENT & SUBDIVISION REGULATIONS YIELD PLAN GENERATES 23 UNITS, REFER TO YIELD PLAN FOR ADDITIONAL INFORMATION.

BUILDING LOT COVERAGE

LOT #	ZONE	% MAX COVERAGE	BLDG. AREA	LOT SIZE	% PROPOSED COVERAGE
LOT A	R-2 ZONE	10%	27,329 SQ.FT.	311,068 SQ. FT.	8.8%
LOT B	R-2 ZONE	10%	0 SQ.FT.	51,494 SQ. FT.	0%
LOT C	R-2 ZONE	10%	19,144 SQ.FT.	2,426,086 SQ. FT.	0.8%

LOT 'A' BUILDING AREA DATA (INCLUDES PORCH AREAS):

BUILDING #1 = 3,985 SQ. FT.
 BUILDING #2 = 2,797 SQ. FT.
 BUILDING #3 = 3,985 SQ. FT.
 BUILDING #4 = 2,112 SQ. FT.
 BUILDING #5 = 4,291 SQ. FT.
 BUILDING #6 = 2,382 SQ. FT.
 BUILDING #7 = 2,382 SQ. FT.
 BUILDING #8 = 4,291 SQ. FT.
 SHEDS = 52 UNITS X 32 SQ. FT./SHED = 1,024 SQ. FT.
 BUS STOP STRUCTURE = 80 SQ. FT.
 TOTAL = 27,329 SQ. FT.

LOT 'B' BUILDING AREA DATA = NO BUILDINGS PROPOSED

LOT 'C' BUILDING AREA DATA:
 SOLAR PANEL AREA = 19,000 SQ. FT.
 OWTS CONTROL SHED = 144 SQ. FT.
 TOTAL = 19,144 SQ. FT.

REQUESTED WAIVERS

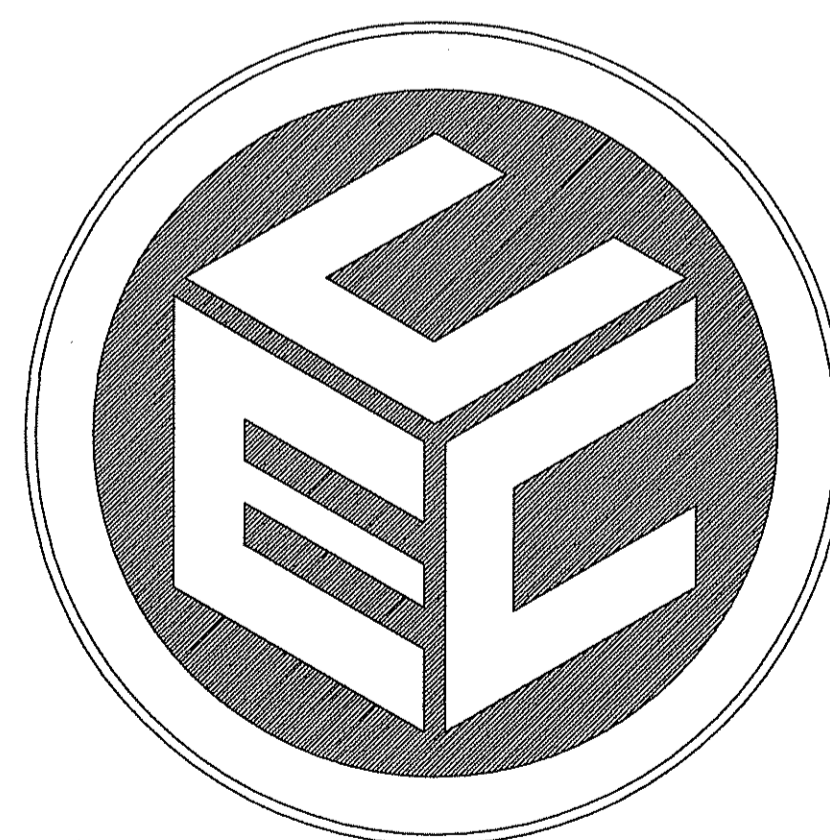
SEE TABLE PROVIDED IN APPLICATION PACKAGE

OWNER

ALTAMONTE RIDGE, LLC
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

APPLICANT

WOMENS DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

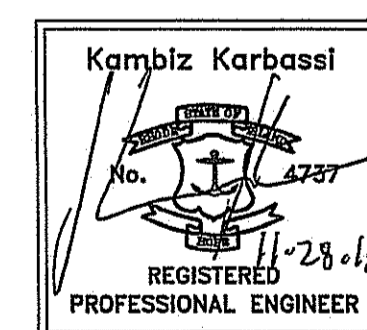


COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
 PROVIDENCE, RI 02908
 (401) 273-6600

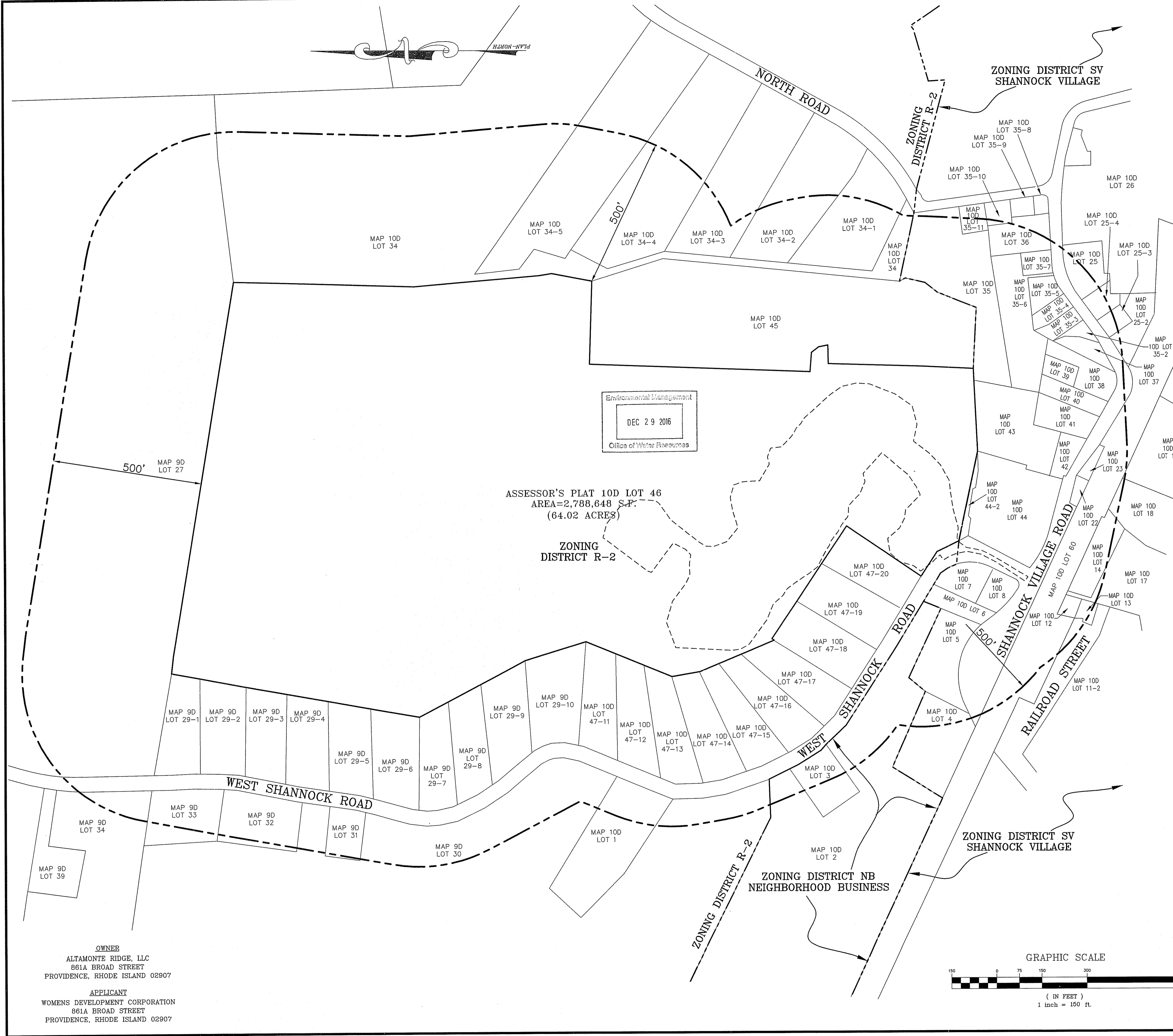
NOVEMBER 18, 2016

REVISED: NOVEMBER 26, 2016



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 06 2017 FILE # 16-0319
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PERMIT AGENCY REVIEW SET



Environmental Management
 DEC 29 2016
 Office of Water Resources

ASSESSOR'S PLAT 10D LOT 46
 AREA=2,788,648 S.F.
 (64.02 ACRES)

ZONING DISTRICT R-2

ZONING DISTRICT SV SHANNOCK VILLAGE

ZONING DISTRICT NB NEIGHBORHOOD BUSINESS

ZONING DISTRICT SV SHANNOCK VILLAGE

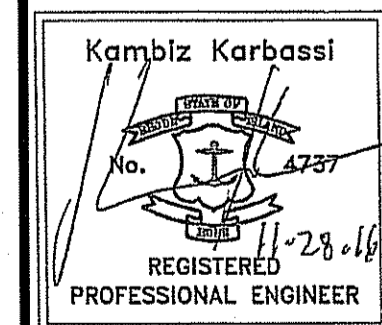
ABUTTERS LIST (NOW OR FORMERLY)

AP LOT	OWNER/ADDRESS	AP LOT	OWNER/ADDRESS
9D 27	Partyka, John L. Jr.	10D 34-4	Harding, Benjamin E. & Alisha & Gardiner, Edward
9D 29-1	Sherman, Margaret L.	10D 34-5	Maine, Thomas Q. Sr & Suzanne M.
9D 29-2	Polsky, Jason M. & Jo-Ann B.	10D 35	Pollard, Ellen M.
9D 29-3	Chacon, Gail L. & Rosendo F.	10D 35-2	Betts, Bradley D. & Lori L.
9D 29-4	Sean & Rebecca Dolan	10D 35-3	Morse, William H. & Farris, Patricia Lee
9D 29-5	Maynard, Scott S.	10D 35-4	Dumont, David R.
9D 29-6	Blacklock, Nicholas & Peltier, Jennifer	10D 35-5	Price, Justin K.
9D 29-7	Poland, Justin & Cuoco, Danielle	10D 35-6	Price, Justin K.
9D 29-8	Huntington, Maryann	10D 35-7	Rural Restorations, LLC.
9D 29-9	Caldwell, Patricia M.	10D 35-10	LaBelle, David A. ET ALS W/Life Estate Labelle, Donald
9D 29-10	Lamontague, Henry M. & Barbara A. Calandra	10D 35-11	Westphal, Dart A. & Ellen M. Pollan
9D 30	Richard, Carl E. & Carolyn S. ET ALS	10D 36	Perkins, Cherrie R.
9D 31	Dennis, Yvonne M. & Joseph M. Manseau	10D 37	White, Melanie J.
9D 32	Morse, Carlton B., Jr.	10D 38	Mann, Benjamin D. & Richard A.
9D 33	Price, David W. & Stephanie L.	10D 39	Mann, Benjamin D. & Richard A.
9D 34	Edwards, Calbert C. with Life Estate Edwards, Cora F.	10D 40	Neuschatz, Sanford
10D 1	Richard, Carl E.	10D 41	Neuschatz, Sanford
10D 2	West Shannock Associates	10D 42	Richard, Carl E.
10D 3	Hawkins, Irrevocable Trust	10D 43	Bressler, Gregory & Michelle S.
10D 4	Macara, Angela M.	10D 44	Mills, Leon R., III & Robin D.
10D 5	Angell, Frank S. & Donna M.	10D 44-2	Mills, Leon R. & Robin D.
10D 6	Taylor, Ricky H. & Kimberly L. (TE) 1/2 int. Boisvert, Robert II & Jessica (TE) 1/2 int.	10D 45	Rural Restorations, LLC
10D 7	Taylor, Ricky H. & Kimberly L. (TE) 1/2 int. Boisvert, Robert II & Jessica (TE) 1/2 int.	10D 47-11	Stanley, Justin Paul
10D 8	State of Rhode Island	10D 47-12	Taylor Real Estate Investing LLC.
10D 12	Vorse, Kenneth G.	10D 47-13	Miller Raymond A.
10D 13	Vorse, Kenneth G.	10D 47-14	Clark, John J. & Loretta A.
10D 14	Clift, Robert J.	10D 47-15	Hathaway, Ryan J. & Jessica L.
10D 15	Combined with Plat 10D Lot 14 Clift, Robert J.	10D 47-16	Jones, Douglas M. & Cynthia E. Reiser
10D 16	Combined with Plat 10D Lot 14 Clift, Robert J.	10D 47-17	Mageau, David
10D 17	Fagre, John R. & Evelyn E.	10D 47-18	Highers, Elizabeth A. & Crandall, Miles R.
10D 18	Sherman, Elwood D. & Sherman, Elwood D, Jr. & Michelle	10D 47-19	Pelletier, Joseph R.
10D 19	Sherman, Leonard James & Stella Ann	10D 47-20	Pelletier, Denise C. & Ronald J.
10D 22	Akinsulire, Wale	10D 60	National Railroad Passenger Corp.
10D 23	Akinsulire, Wale		
10D 25	Washington County Comm. Dev. Corp. c/o Coastal Housing Corp.		
10D 25-2	Sky, Andrew D. & Judie K.		
10D 25-3	Peabody, Kathleen L.		
10D 25-4	Beaudreau, George J. & Janice L.		
10D 34	Jordan, Joshua, N.		
10D 34-1	Wiedenman, Peter T. & Riungu, Elizabeth K.		
10D 34-2	Spears, Craig B., Sr. & Avis L. Hazard Spears		
10D 34-3	Ethier, Ann Marie & McNichol, James David		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Matthew D. Wenzel

PERMIT AGENCY REVIEW SET

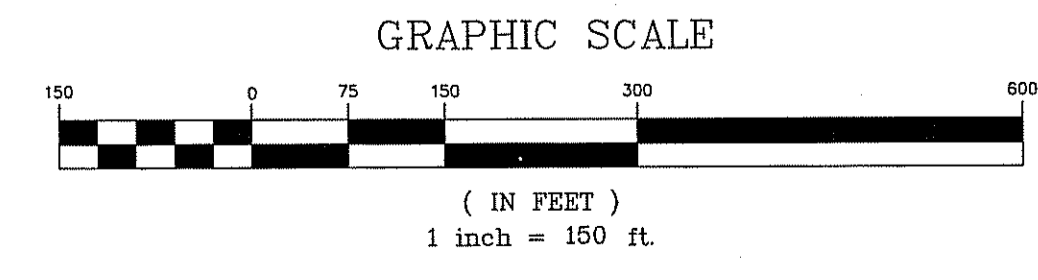


REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

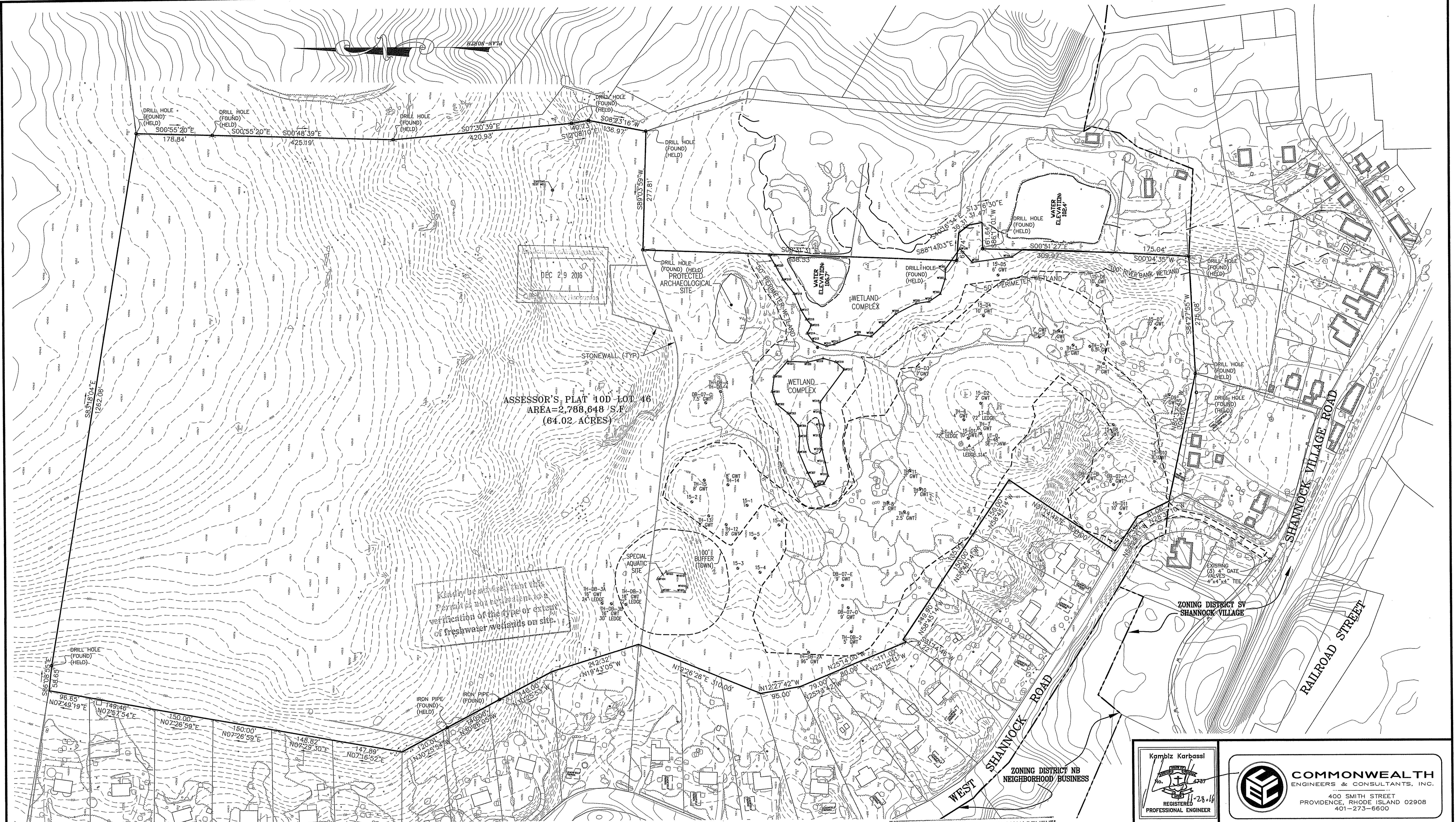
PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
WEST SHANNOCK ROAD
 in
RICHMOND, RHODE ISLAND
500 FOOT RADIUS PLAN

SCALE: 1"=150'	SHEET NO: 2 OF 24	
DRAWN BY: JP	DESIGN BY: TJB	CHECKED BY: KK
DATE: 11/18/16	PROJECT NO.: 04145.00	



OWNER
 ALTAMONTE RIDGE, LLC
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

APPLICANT
 WOMENS DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

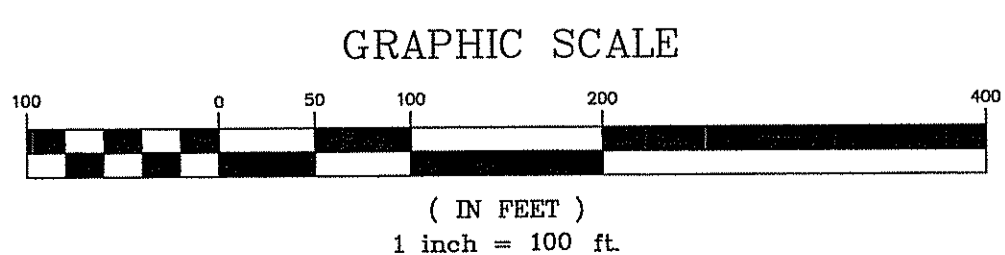


ASSESSOR'S PLAT 10D LOT 46
 AREA=2,788,648 S.F.
 (64.02 ACRES)

Kindly be aware that the
 Permit is valid only upon a
 verification of the type or extent
 of freshwater wetlands on site.

ZONING CONFORMANCE - LAND SUITABLE FOR DEVELOPMENT						
TOTAL LOT AREA AC.	WETLAND AREA AC.	FLOOD ZONE AREA AC.	ABOVE-GROUND UTILITY EASEMENTS AC.	LEDGE & OUTCROP AREA AC.	LAND NOT SUITABLE FOR DEVELOPMENT AC.	LAND SUITABLE FOR DEVELOPMENT AC.
64.02	2.06	0	0.00	11.13	13.19	50.83

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING CONTOURS
 - EXISTING STREAM
 - EXISTING STONE WALL
 - ABUTTING LINE
 - EXISTING TREE LINE
 - 50' WETLAND BUFFER
 - WETLAND FLAG
 - EXISTING WELL
 - TEST HOLE
 - EXISTING WATER LINE
 - EXISTING UTILITY POLE
 - EXISTING SPOT GRADE



OWNER
 ALTAMONTE RIDGE, LLC
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

APPLICANT
 WOMENS DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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PLAN REFERENCE:
 SURVEY PLAN FOR ALTAMONTE RIDGE A.P. 10D LOT 46 WEST SHANNOCK ROAD IN RICHMOND, RHODE ISLAND
 PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. AND COMMONWEALTH LAND SURVEYORS, INC. DATE 10-31-08
 REVISED 2-26-09 SCALE 1"=100' SHEET 1 OF 5.

Kambiz Korbassi
 No. 4227
 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

REVISIONS

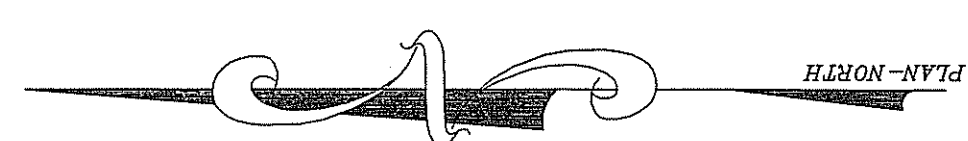
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PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
WEST SHANNOCK ROAD
 in
RICHMOND, RHODE ISLAND
EXISTING CONDITIONS

SCALE: 1"=100' SHEET NO: 3 OF 24
 DRAWN BY: JP DESIGN BY: TJB CHECKED BY: CAN
 DATE: 11/18/16 PROJECT NO.: 04145.00

PERMIT AGENCY REVIEW SET

- NOTES:**
- SITE SITUATED IN THE R-2 ZONING DISTRICT.
 - SITE IS NOT SITUATED IN A FEMA 100-YEAR FLOOD ZONE.
 - SITE IS SITUATED IN A NATURAL HERITAGE AREA.
 - REFERENCE IS MADE TO PREVIOUS RIDEM FRESHWATER WETLAND PERMIT #07-0359.
 - REFERENCE IS MADE TO PREVIOUS RIDEM OWTS PERMITS #0729-2345 AND #0729-2346.



MAP 10D
LOT 34

MAP 10D
LOT 34-5

MAP 10D
LOT 34-4

MAP 10D
LOT 34-3

MAP 10D
LOT 34-2

MAP 10D
LOT 34-1

MAP 10D
LOT 34

NORTH ROAD

MAP 10D
LOT 35-11

MAP 10D
LOT 36

MAP 10D
LOT 25-4

MAP 10D
LOT 25-3

DRILL HOLE (FOUND) (HELD) S00°55'20"E 178.84'

DRILL HOLE (FOUND) (HELD) S00°55'20"E 425.19'

DRILL HOLE (FOUND) (HELD) S00°48'39"E 35'

DRILL HOLE (FOUND) (HELD) S07°30'39"E 420.93'

DRILL HOLE (FOUND) (HELD) S12°08'10"E 40.73'

DRILL HOLE (FOUND) (HELD) S08°23'16"W 136.97'

Environmental Management
DEC 2 9 2016
Office of Water Resources

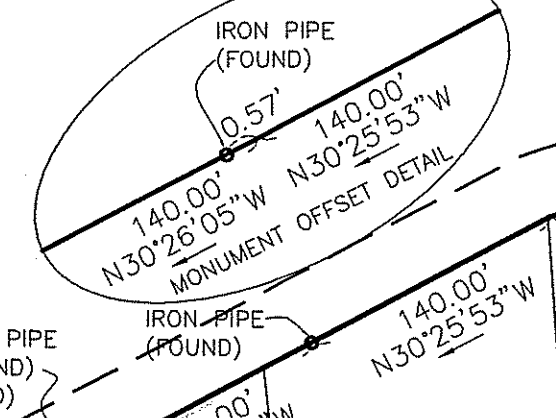
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

ASSESSOR'S PLAT 10D LOT 46
AREA=2,788,648 S.F.
(64.02 ACRES)

PROPOSED LOT 'C'
AREA=2,426,086 S.F.
(55.69 ACRES)
NOT A BUILDABLE LOT

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Martin D. Sanchez



EXISTING STONEWALL (TYP)

MAP 9D LOT 29-5

MAP 9D LOT 29-6

MAP 9D LOT 29-7

MAP 9D LOT 29-8

MAP 9D LOT 29-9

MAP 9D LOT 29-10

MAP 10D LOT 47-11

MAP 10D LOT 47-12

MAP 10D LOT 47-13

MAP 10D LOT 47-14

MAP 10D LOT 47-15

MAP 10D LOT 47-16

MAP 10D LOT 47-17

MAP 10D LOT 47-18

MAP 10D LOT 7

MAP 10D LOT 8

MAP 10D LOT 6

MAP 10D LOT 5

MAP 10D LOT 12

MAP 10D LOT 13

SHANNOCK VILLAGE ROAD

RAILROAD STREET

WEST SHANNOCK ROAD

MAP 9D LOT 27

MAP 10D LOT 18

MAP 10D LOT 17

MAP 10D LOT 14

MAP 10D LOT 11-2

ZONING CONFORMANCE - LAND SUITABLE FOR DEVELOPMENT

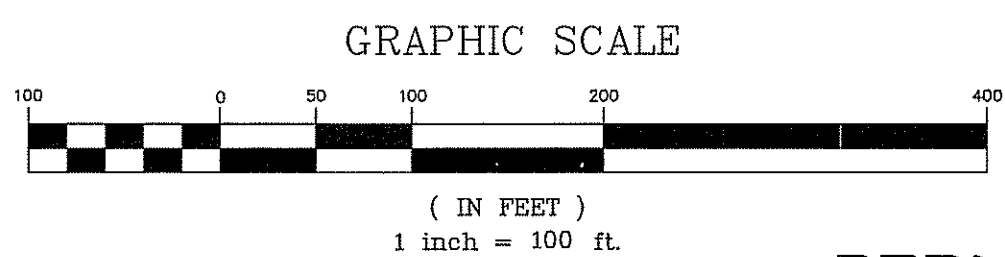
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A	7.14	0.00	0.00	0.00	0.00	0.00	7.14
B	1.18	0.00	0.00	0.00	0.00	0.00	1.18
C	55.69	2.06	0.00	0.00	11.13	13.19	42.50

NOTE: REFER TO PLAN SET FOR LOCATION OF WETLANDS, FLOOD ZONES, ABOVE GROUND UTILITY EASEMENTS AND LEDGE AREAS

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING STREAM
 - EXISTING STONE WALL
 - ABUTTING LINE
 - 50' WETLAND BUFFER
 - WETLAND FLAG
 - BLDG. SETBACK LINE
 - PROP. PERMANENT BOUND

OWNER
ALTAMONTE RIDGE, LLC
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

APPLICANT
WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907



Kambiz Karbassi
No. 11-28-116
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

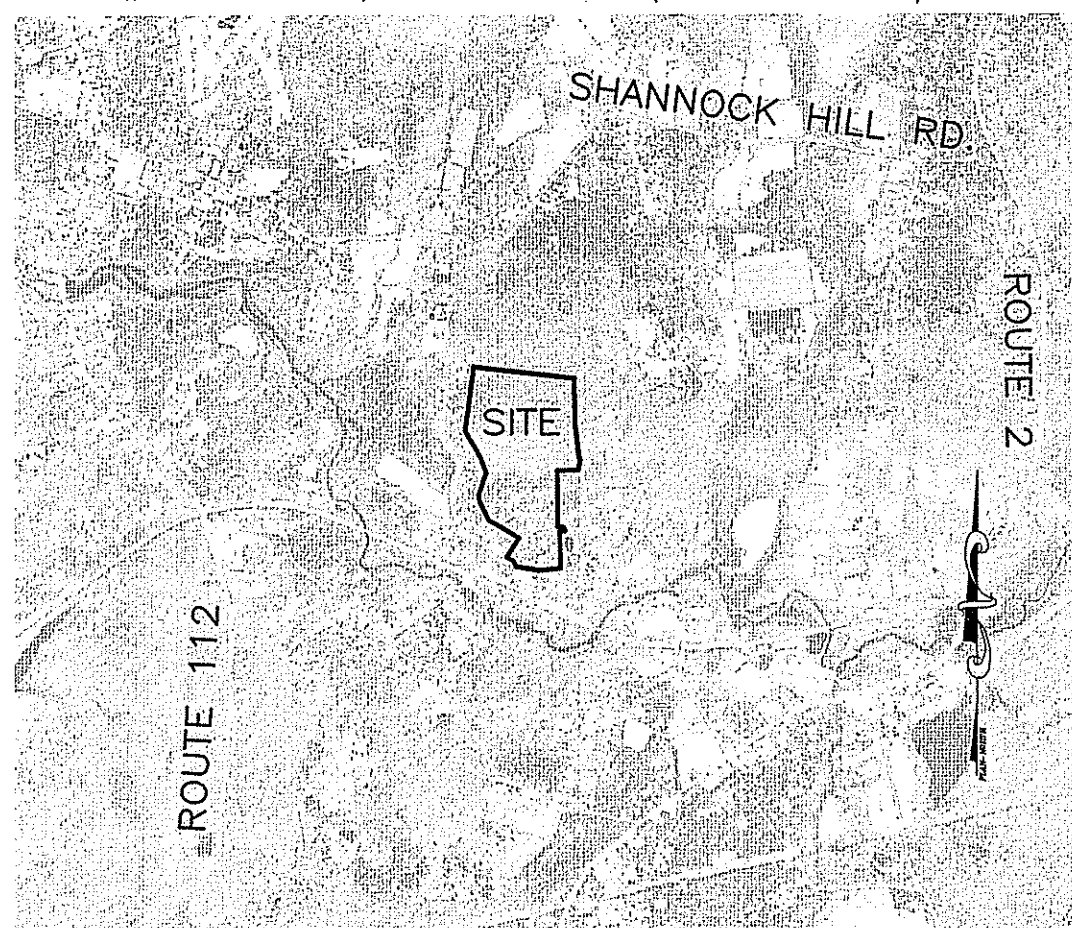
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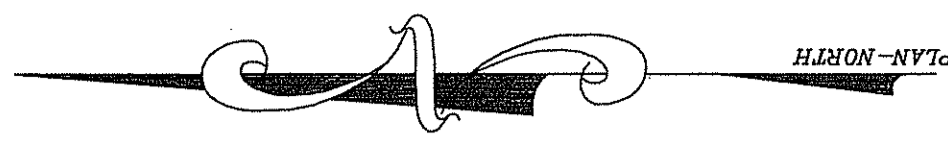
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for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
LOT LAYOUT PLAN

SCALE: 1"=100'
SHEET NO: 4 OF 24
DRAWN BY: JP DESIGN BY: TJP CHECKED BY: CAN
DATE: 11/18/16 PROJECT NO.: 04145.00

PLAN REFERENCE:
SURVEY PLAN FOR ALTAMONTE RIDGE
A.P. 10D LOT 46 WEST SHANNOCK ROAD
IN RICHMOND, RHODE ISLAND, PREPARED
BY COMMONWEALTH ENGINEERS &
CONSULTANTS, INC. AND COMMONWEALTH
LAND SURVEYORS, INC. DATE 10-31-08
REVISED 2-26-09 SCALE 1"=100'
SHEET 1 OF 5

PERMIT AGENCY REVIEW SET



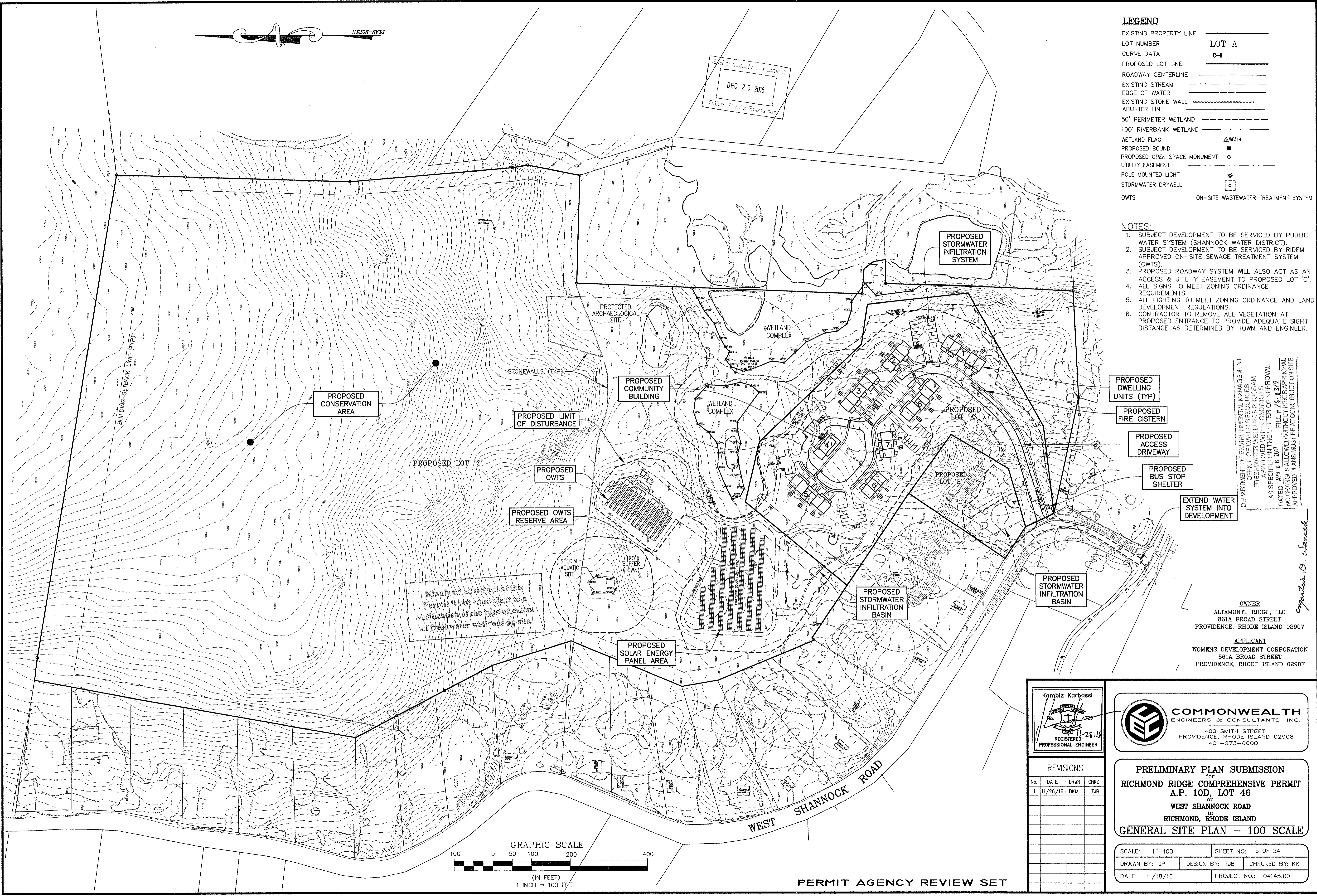


DEC 29 2016
Office of Water Resources

- LEGEND**
- EXISTING PROPERTY LINE _____
 - LOT NUMBER **LOT A**
 - CURVE DATA **C-9**
 - PROPOSED LOT LINE _____
 - ROADWAY CENTERLINE _____
 - EXISTING STREAM _____
 - EDGE OF WATER _____
 - EXISTING STONE WALL _____
 - ABUTTER LINE _____
 - 50' PERIMETER WETLAND _____
 - 100' RIVERBANK WETLAND _____
 - WETLAND FLAG WF314
 - PROPOSED BOUND
 - PROPOSED OPEN SPACE MONUMENT
 - UTILITY EASEMENT _____
 - POLE MOUNTED LIGHT
 - STORMWATER DRYWELL
 - OWTS
 - ON-SITE WASTEWATER TREATMENT SYSTEM

- NOTES:**
1. SUBJECT DEVELOPMENT TO BE SERVICED BY PUBLIC WATER SYSTEM (SHANNOCK WATER DISTRICT).
 2. SUBJECT DEVELOPMENT TO BE SERVICED BY RIDEM APPROVED ON-SITE SEWAGE TREATMENT SYSTEM (OWTS).
 3. PROPOSED ROADWAY SYSTEM WILL ALSO ACT AS AN ACCESS & UTILITY EASEMENT TO PROPOSED LOT 'C'.
 4. ALL SIGNS TO MEET ZONING ORDINANCE REQUIREMENTS.
 5. ALL LIGHTING TO MEET ZONING ORDINANCE AND LAND DEVELOPMENT REGULATIONS.
 6. CONTRACTOR TO REMOVE ALL VEGETATION AT PROPOSED ENTRANCE TO PROVIDE ADEQUATE SIGHT DISTANCE AS DETERMINED BY TOWN AND ENGINEER.

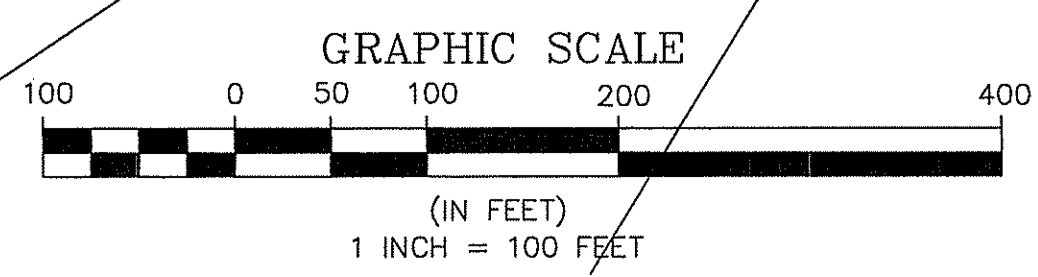
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
FILE # 16-0379
APR 06 2017
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

OWNER
ALTAMONTE RIDGE, LLC
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

APPLICANT
WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907



PERMIT AGENCY REVIEW SET

Kambiz Korbassi
No. 11111
REGISTERED PROFESSIONAL ENGINEER

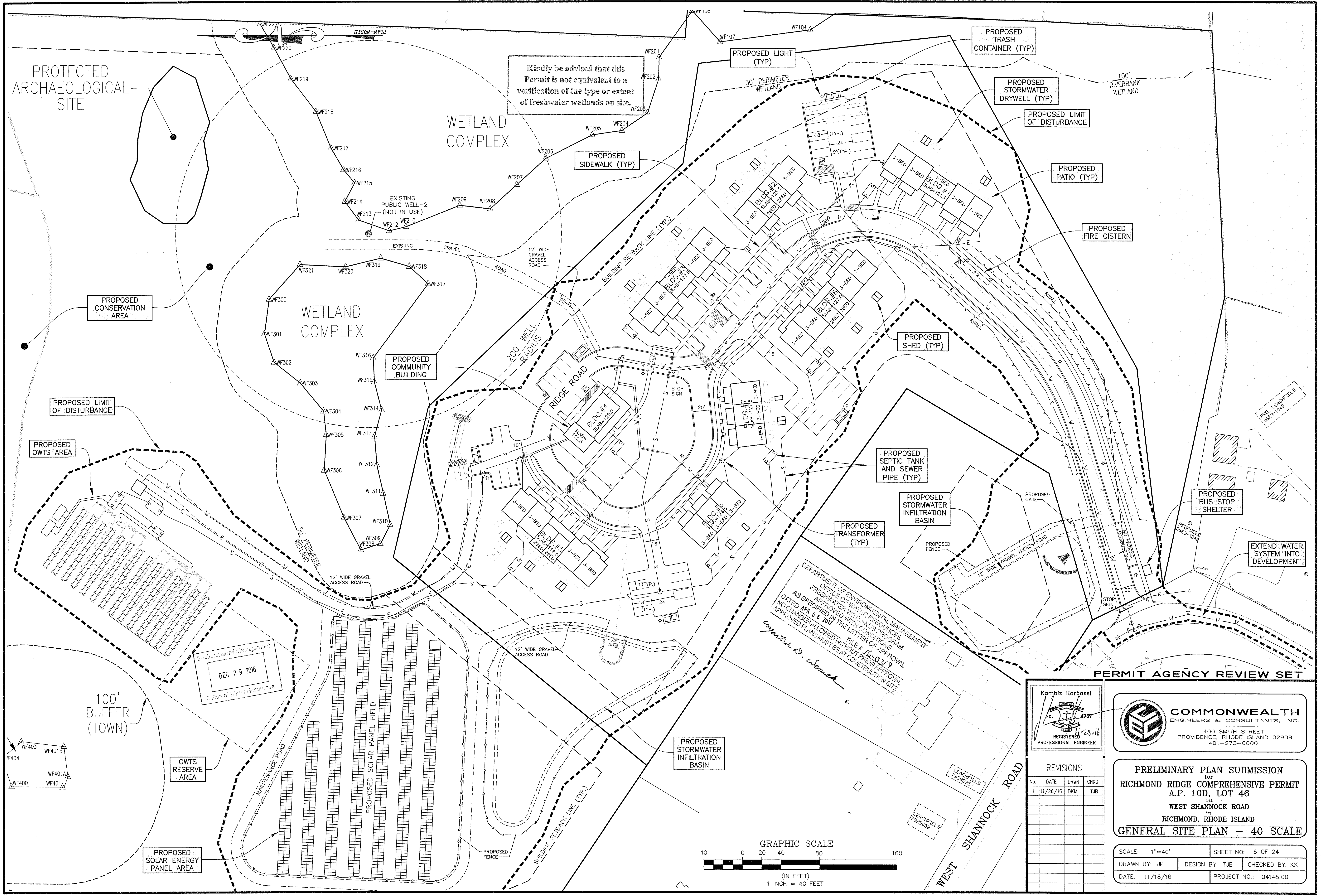
COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
GENERAL SITE PLAN - 100 SCALE

SCALE: 1"=100'	SHEET NO: 5 OF 24
DRAWN BY: JP	DESIGN BY: TJB
DATE: 11/18/16	CHECKED BY: KK
	PROJECT NO.: 04145.00



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 DATED APR 6 2017
 NO CHANGES ALLOWED IN THE LETTER OF APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 FILE # 16-0319
Caroline R. Sawick

PERMIT AGENCY REVIEW SET

Kambiz Karbassi
 No. 0629-104
 REGISTERED PROFESSIONAL ENGINEER

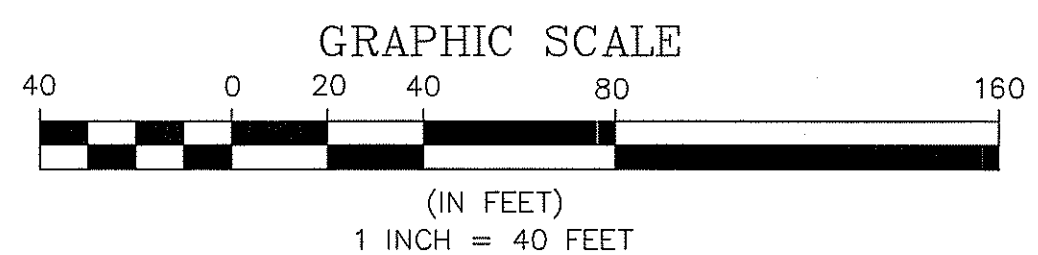
COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

REVISIONS

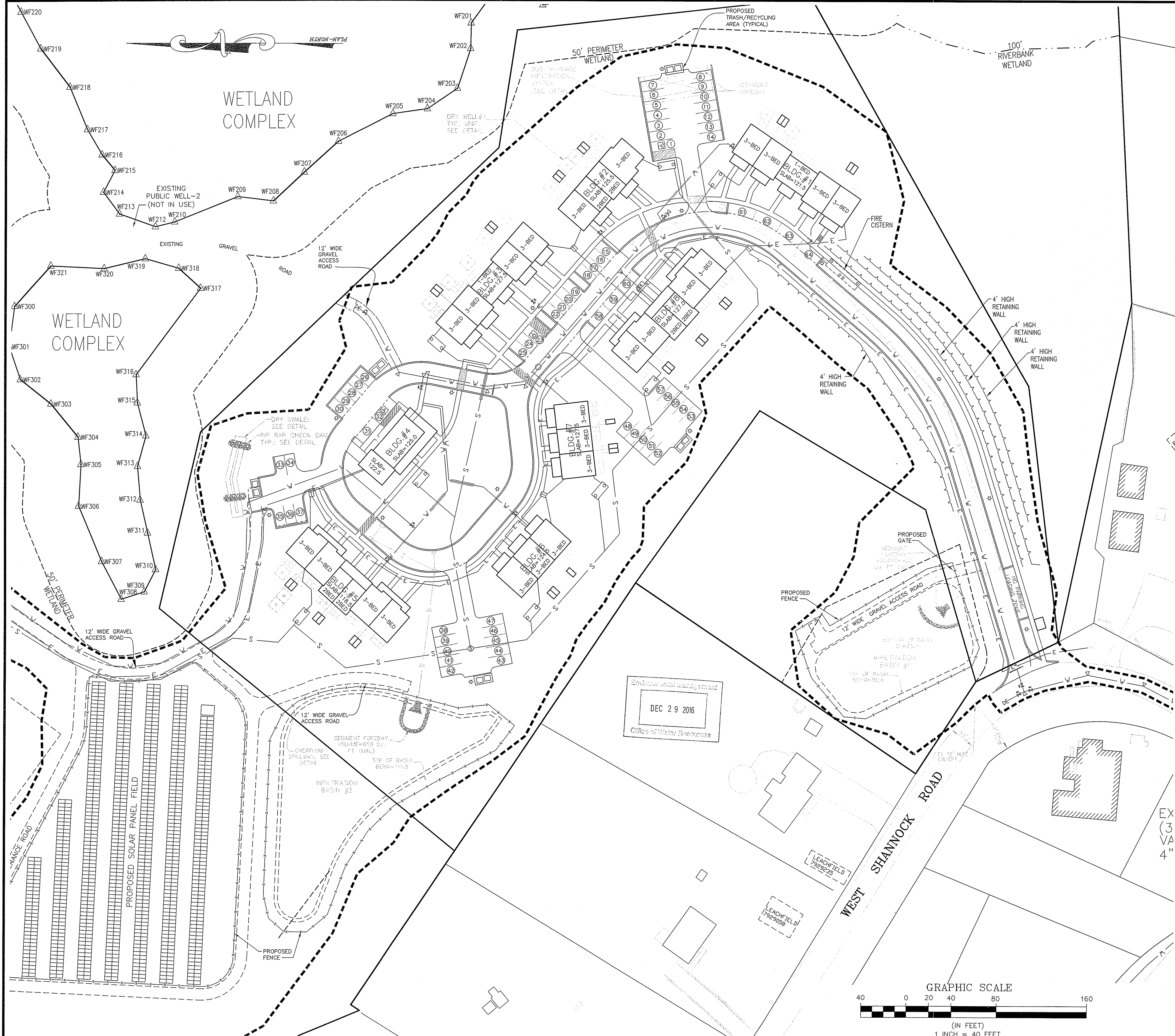
No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
 WEST SHANNOCK ROAD
 in
 RICHMOND, RHODE ISLAND
GENERAL SITE PLAN - 40 SCALE

SCALE: 1"=40'	SHEET NO: 6 OF 24
DRAWN BY: JP	DESIGN BY: TJB
DATE: 11/18/16	CHECKED BY: KK
PROJECT NO.: 04145.00	



Environmental Management
 DEC 29 2016
 Office of Water Resources



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 06 2017 FILE # 16-027
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenczek

PERMIT AGENCY REVIEW SET

OWNER
 ALTAMONTE RIDGE, LLC
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

APPLICANT
 WOMENS DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

DEC 29 2016
 Office of Water Resources

Kambiz Karbassi
 REGISTERED PROFESSIONAL ENGINEER
 No. 11-28-16

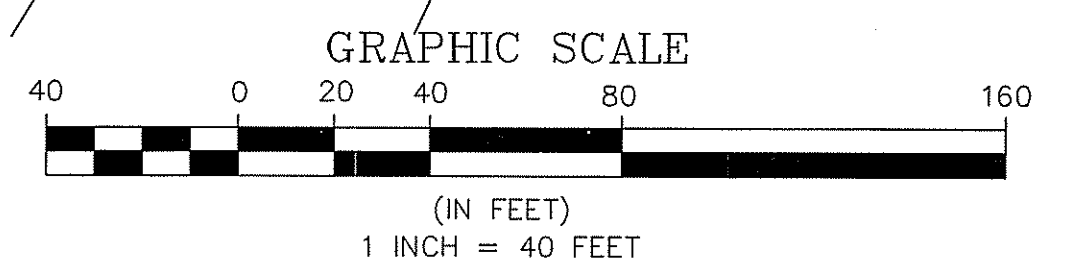
COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

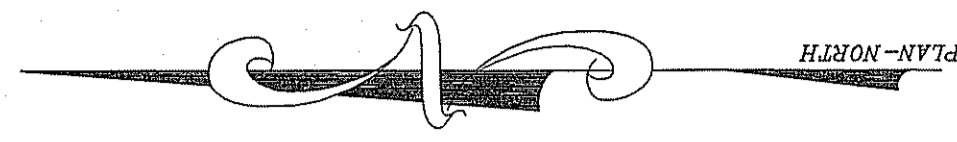
REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
 WEST SHANNOCK ROAD
 in
 RICHMOND, RHODE ISLAND
SITE PLAN

SCALE: 1"=40'
 SHEET NO: 7 OF 24
 DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
 DATE: 11/18/16 PROJECT NO.: 04145.00



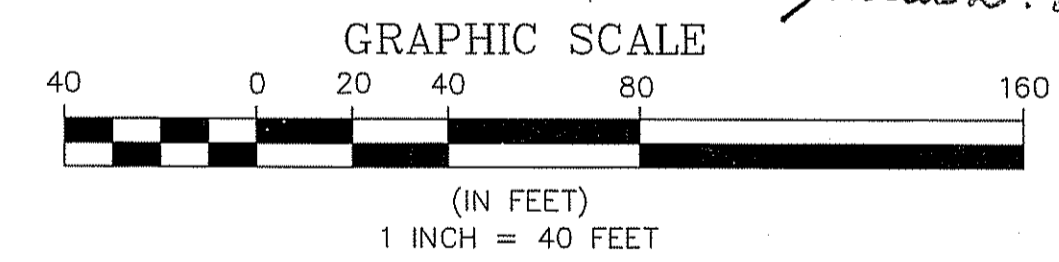


LEGEND

- | | | |
|-----------------------------------|-----------------------------|---|
| EXISTING PROPERTY LINE | PROPOSED GRANITE CURBING | |
| EXISTING STONE WALL | PROPOSED ROADWAY BERM | |
| ABUTTER LINE | PROPOSED WATER LINE | W |
| 50' WETLAND BUFFER | PROPOSED SEWER LINE | S |
| 100' RIVERBANK WETLAND | PROPOSED DRAIN LINE | D |
| WETLAND FLAG | PROPOSED RETAINING WALL | |
| PROPOSED SEWER MANHOLE | PROPOSED UNDERGROUND WIRES | E |
| PROPOSED DRAIN MANHOLE | PROPOSED LOT LINE | |
| PROPOSED CATCH BASIN | PROPOSED ROADWAY CENTERLINE | |
| PROPOSED WATER SERVICE SHUT OFF | PROPOSED GUARDRAIL | |
| PROPOSED SEWER CURB STOP | PROPOSED UTILITY EASEMENT | |
| PROPOSED SIGN | PROPOSED DRAINAGE EASEMENT | |
| PROPOSED ROOF INFILTRATION SYSTEM | | |
| PROPOSED UNDERGROUND FIRE CISTERN | | |
| PROPOSED WATER VALVE | | |

Environmental Management
DEC 29 2016
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 08 2017 FILE # 16-0319
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Martin D. Senczek

PERMIT AGENCY REVIEW SET

Kambiz Korbassi
No. 1128
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

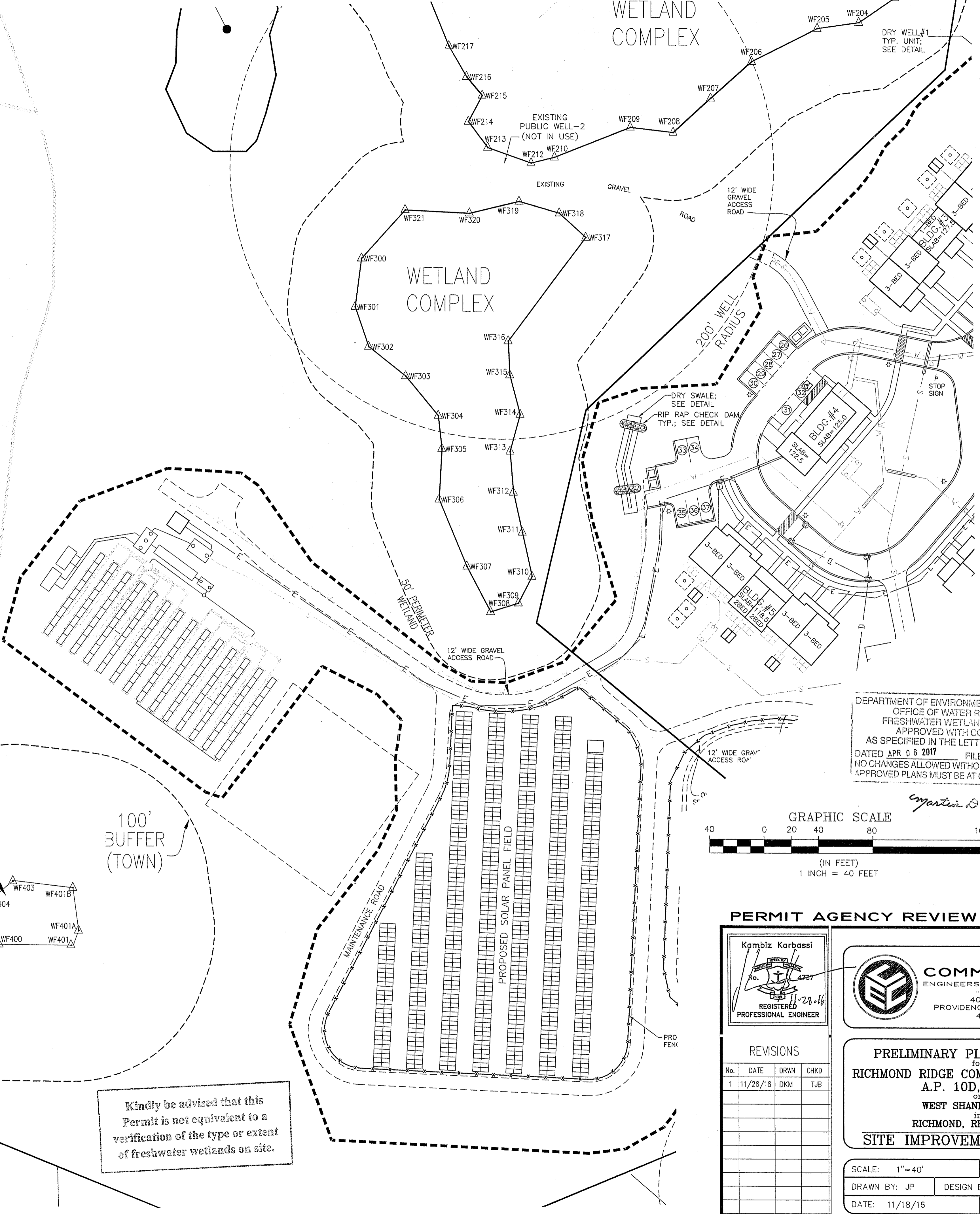
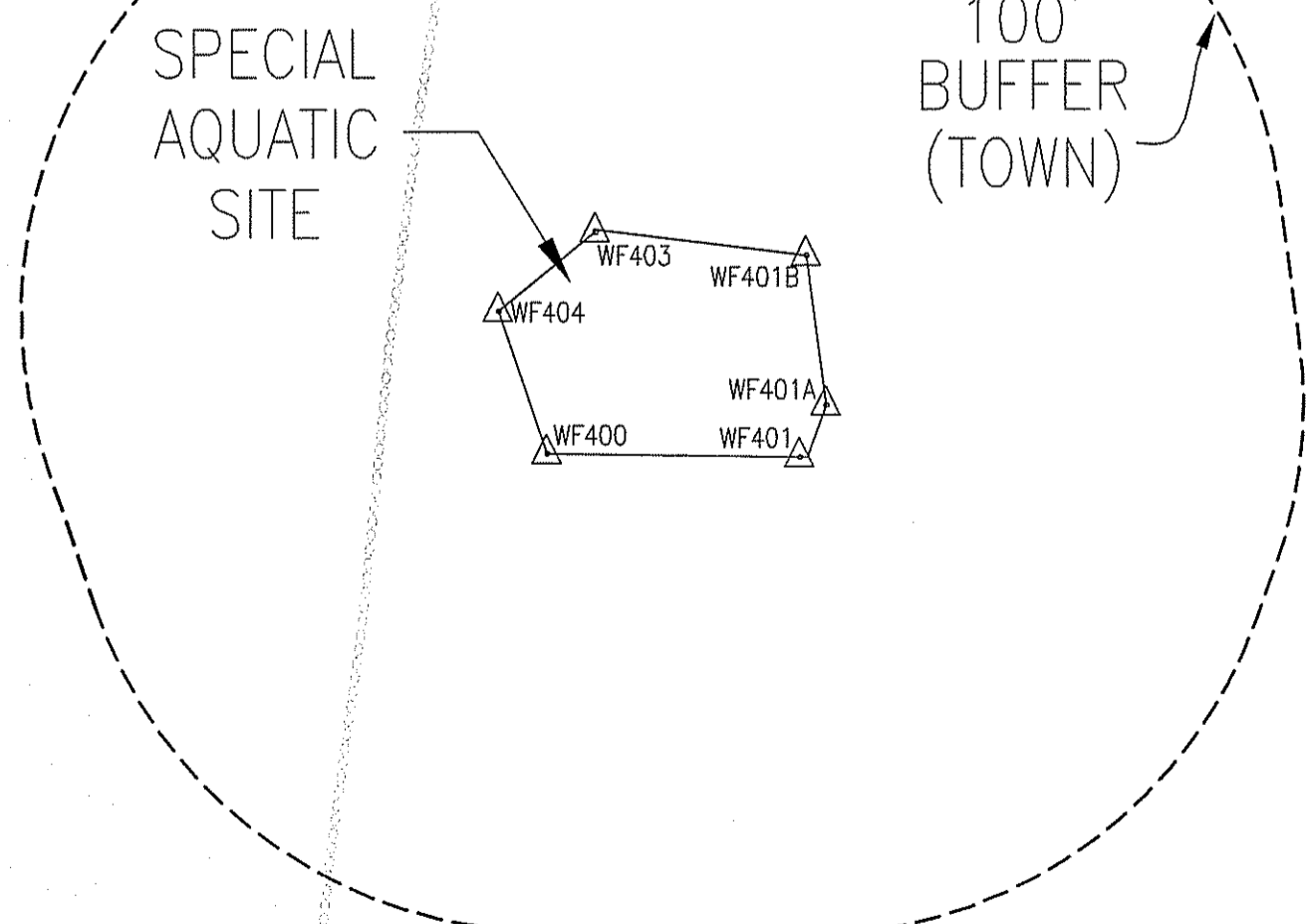
REVISIONS

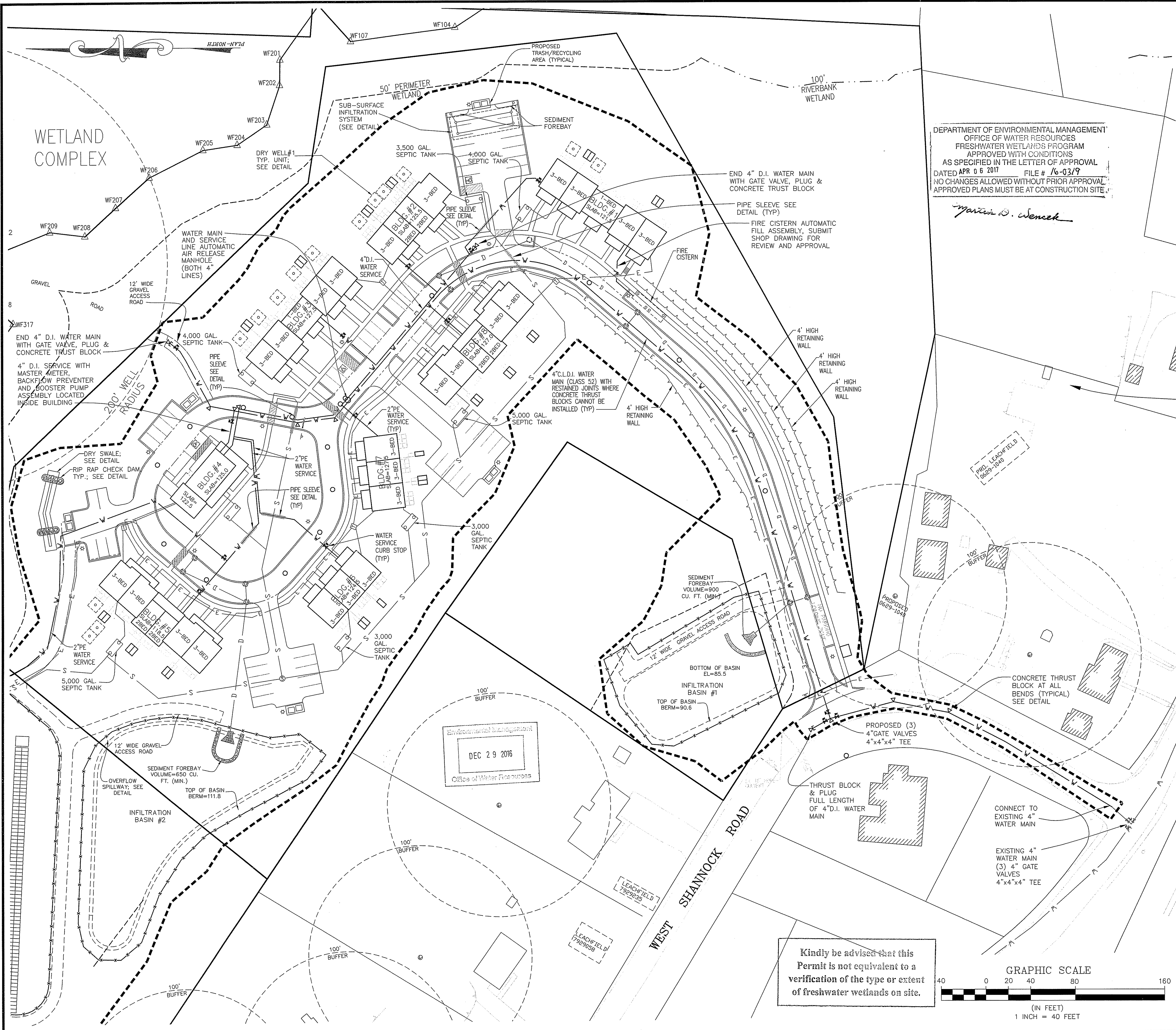
No.	DATE	DRWN	CHKD
1	11/28/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
SITE IMPROVEMENT PLAN - 2

SCALE: 1"=40'
SHEET NO: 8 OF 24
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 11/18/16 PROJECT NO.: 04145.00

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.





LEGEND

- | | |
|-----------------------------------|-----------------------------|
| EXISTING PROPERTY LINE | PROPOSED GRANITE CURBING |
| EXISTING STONE WALL | PROPOSED ROADWAY BERM |
| ABUTTER LINE | PROPOSED WATER LINE |
| 50' WETLAND BUFFER | PROPOSED SEWER LINE |
| 100' RIVERBANK WETLAND | PROPOSED DRAIN LINE |
| WETLAND FLAG | PROPOSED RETAINING WALL |
| PROPOSED SEWER MANHOLE | PROPOSED UNDERGROUND WIRES |
| PROPOSED DRAIN MANHOLE | PROPOSED LOT LINE |
| PROPOSED CATCH BASIN | PROPOSED ROADWAY CENTERLINE |
| PROPOSED WATER SERVICE SHUT OFF | PROPOSED GUARDRAIL |
| PROPOSED SEWER CURB STOP | PROPOSED UTILITY EASEMENT |
| PROPOSED SIGN | PROPOSED DRAINAGE EASEMENT |
| PROPOSED ROOF INFILTRATION SYSTEM | |
| PROPOSED UNDERGROUND FIRE CISTERN | |
| PROPOSED WATER VALVE | |

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 06 2017 FILE # 16-0319
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Martin D. Senack

GENERAL NOTES:

1. THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED UTILITIES AND EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATION AND ELEVATION OF THEIR FACILITIES AND ANY DISCREPANCIES IN THE LOCATION OF ANY UTILITY SHOWN OR ENCOUNTERED DURING CONSTRUCTION SHALL BE REPORTED TO COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET, PROVIDENCE, RHODE ISLAND 02908; (401) 273-6600.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING "DIG-SAFE" AT 1-888-344-7233 TO COMPLY WITH STATE LAW PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY.
3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH ANY APPLICABLE LOCAL, STATE AND FEDERAL LAWS GOVERNING HIS INTENDED ACTIVITIES.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
5. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE APPROPRIATE STATE AND MUNICIPALITY PRIOR TO COMMENCING ANY WORK.

DRAINAGE AND UTILITY NOTES:

1. UNDERGROUND UTILITIES, ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION SERVICES SHALL BE INSTALLED PER THE REQUIREMENTS OF THE APPLICABLE SITE UTILITY PROVIDER.
2. ALL ON SITE STORM WATER DRAINAGE PIPE SHALL BE ADS N-12 S.I. PIPE, OR AN APPROVED EQUAL UNLESS NOTED OTHERWISE ON THE PLANS.
3. ALL DRAINAGE STRUCTURES SHALL BE PRECAST CONCRETE CATCH BASINS OR MANHOLES.
4. METALLIC WARNING TAPE SHALL BE INSTALLED 12" ABOVE ALL STORM DRAIN AND OTHER UTILITIES.
5. CATCH BASINS SHALL BE EQUIPPED WITH RI DOT STD. FRAME & GRATES. SEE DETAILS. DRAIN MANHOLES SHALL BE EQUIPPED WITH RI DOT STD. FRAME AND COVERS, SEE DETAILS.
6. FOR COMPLETE WASTEWATER TREATMENT SYSTEM DETAILS REFERENCE APPROVED RIDEM APPROVED ON-SITE WASTEWATER TREATMENT SYSTEM DESIGN PLANS UNDER APPLICATION #0729-2345 AND #0729-2346 AS REVISED.
7. ALL WATER SYSTEM COMPONENTS SHALL MEET SHANNOCK WATER DISTRICT STANDARDS AND REGULATIONS AND PROJECT MANUAL FOR SUBJECT DEVELOPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
8. ALL DRAINAGE SYSTEM COMPONENTS SHALL MEET RI DOT STANDARDS, RIDEM STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL STANDARDS AND PROJECT MANUAL FOR SUBJECT DEVELOPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ORDERING.

SOLAR ENERGY SYSTEM NOTES:

1. ALL ELECTRICAL CONNECTION AND DISTRIBUTION LINES WITHIN THE FACILITY SHALL BE UNDERGROUND. ELECTRICAL EQUIPMENT BETWEEN THE FACILITY AND THE UTILITY CONNECTION MAY BE ABOVE GROUND IF REQUIRED BY THE UTILITY.
2. TO PREVENT UNAUTHORIZED ACCESS, THE FACILITY SHALL BE ENCLOSED BY A PERIMETER FENCE NO LESS THAN SIX (6) FEET HIGH.
3. EXTERIOR LIGHTING WITHIN THE FACILITY SHALL BE THE MINIMUM NECESSARY AND ALL FIXTURES SHALL BE FULL-CUT OFF FIXTURES APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION.

PERMIT AGENCY REVIEW SET

Kambiz Karbassi
 No. 11-28-16
 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
WEST SHANNOCK ROAD
 in
RICHMOND, RHODE ISLAND
UTILITIES & DRAINAGE PLAN - 1

REVISIONS			
No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

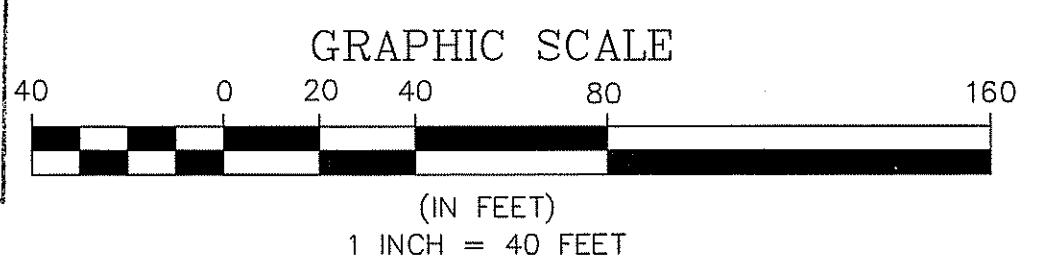
SCALE: 1"=40'

DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK

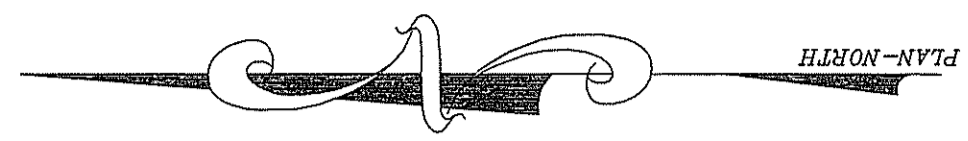
DATE: 11/18/16 PROJECT NO.: 04145.00

SHEET NO: 9 OF 24

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



Environmental Management
 DEC 29 2016
 Office of Water Resources



GENERAL NOTES:

1. THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED UTILITIES AND EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES RELATIVE TO THE LOCATION AND ELEVATION OF THEIR FACILITIES AND ANY DISCREPANCIES IN THE LOCATION OF ANY UTILITY SHOWN OR ENCOUNTERED DURING CONSTRUCTION SHALL BE REPORTED TO COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET, PROVIDENCE, RHODE ISLAND 02908; (401) 273-6600.
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DRAINAGE AND UTILITY NOTES:

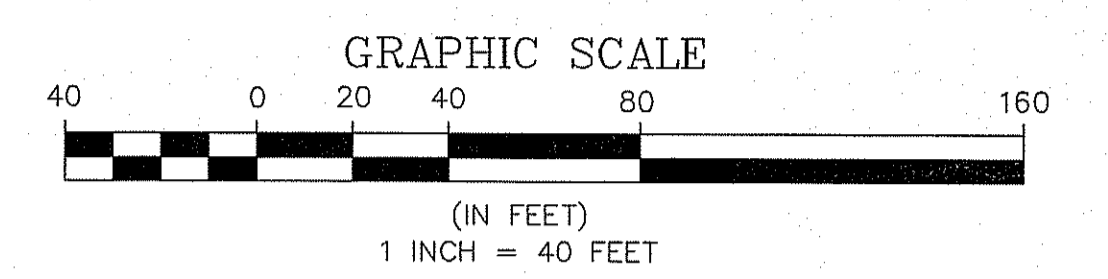
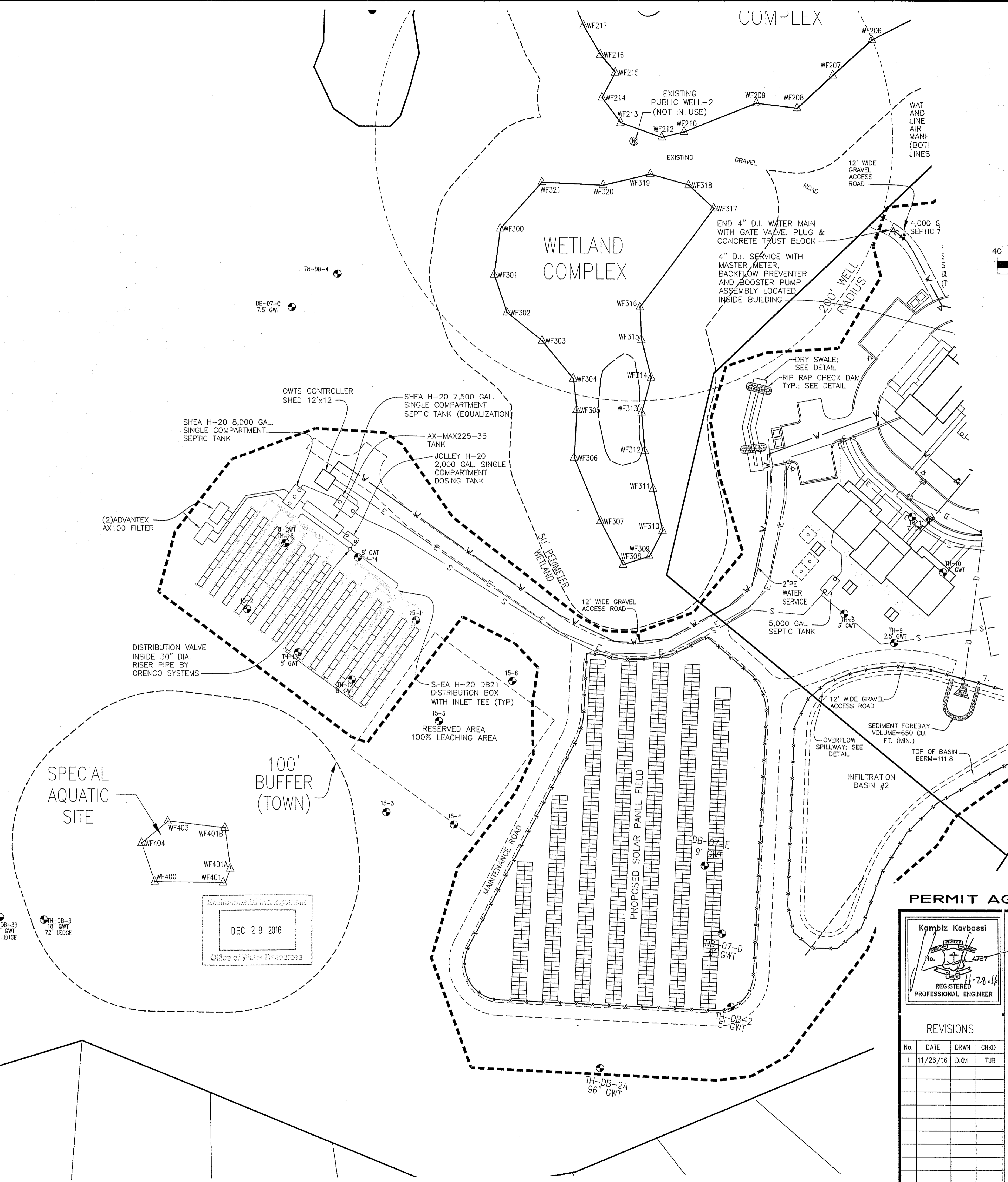
1. UNDERGROUND UTILITIES, ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION SERVICES SHALL BE INSTALLED PER THE REQUIREMENTS OF THE APPLICABLE SITE UTILITY PROVIDER.
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SOLAR ENERGY SYSTEM NOTES:

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LEGEND

EXISTING PROPERTY LINE	—	PROPOSED GRANITE CURBING	—
EXISTING STONE WALL	—	PROPOSED ROADWAY BERM	—
ABUTTER LINE	—	PROPOSED WATER LINE	— W —
50' WETLAND BUFFER	—	PROPOSED SEWER LINE	— S —
100' RIVERSHORE WETLAND	—	PROPOSED DRAIN LINE	— D —
WETLAND FLAG	WF314	PROPOSED RETAINING WALL	—
PROPOSED SEWER MANHOLE	⊙	PROPOSED UNDERGROUND WIRES	— E —
PROPOSED DRAIN MANHOLE	⊙	PROPOSED LOT LINE	—
PROPOSED CATCH BASIN	⊙	PROPOSED ROADWAY CENTERLINE	—
PROPOSED WATER SERVICE SHUT OFF	●	PROPOSED GUARDRAIL	—
PROPOSED SEWER CURB STOP	⊙	PROPOSED UTILITY EASEMENT	—
PROPOSED SIGN	⊙	PROPOSED DRAINAGE EASEMENT	—
PROPOSED ROOF INFILTRATION SYSTEM	⊙		
PROPOSED UNDERGROUND FIRE CISTERN	⊙		
PROPOSED WATER VALVE	⊙		



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 06 2017 FILE # 16-03/9
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Sencel

DEC 29 2016
Office of Water Resources

PERMIT AGENCY REVIEW SET

Kambiz Karbassi
REGISTERED PROFESSIONAL ENGINEER

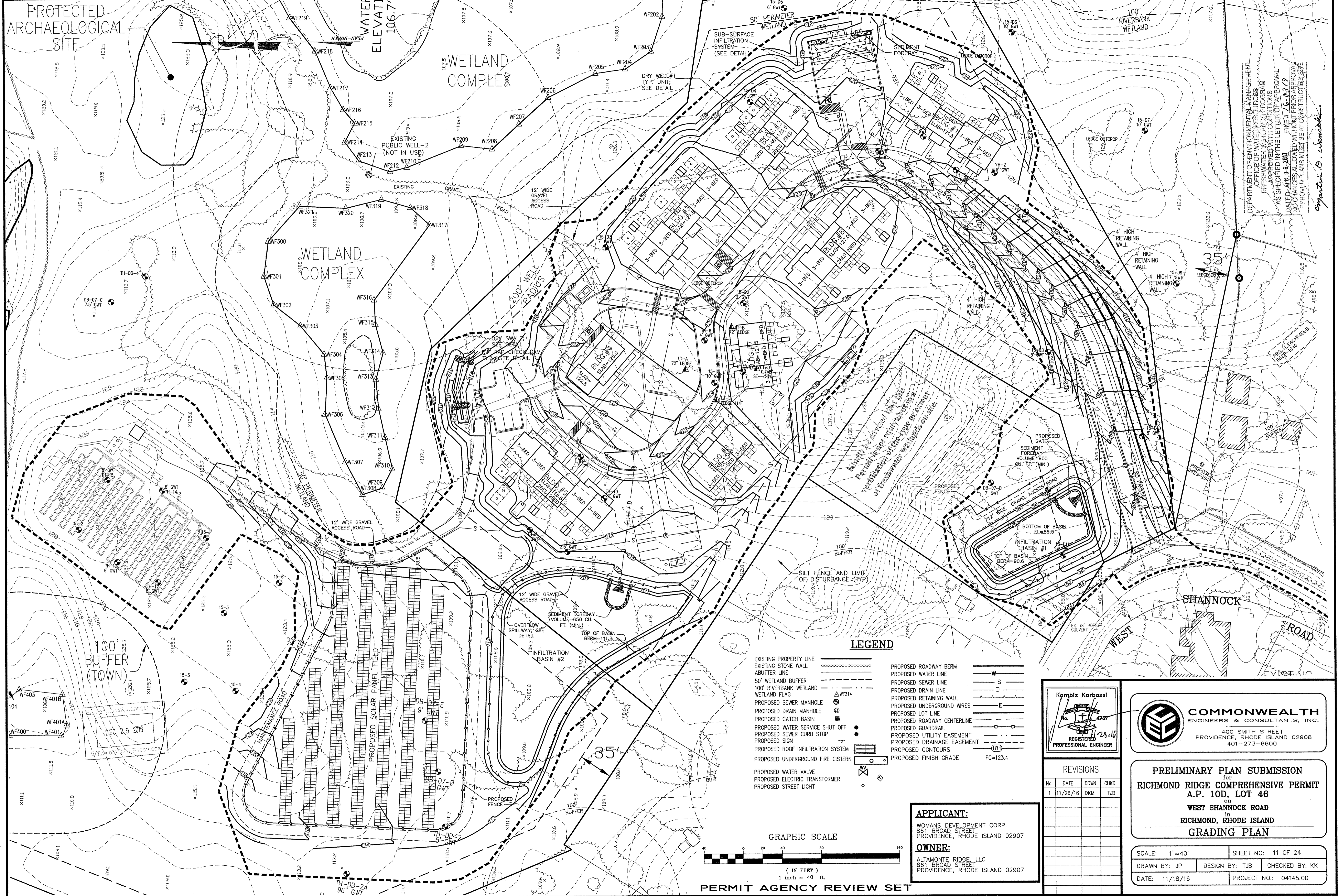
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
UTILITIES & DRAINAGE PLAN - 2

SCALE: 1"=40'	SHEET NO: 10 OF 24
DRAWN BY: JP	DESIGN BY: TJB
DATE: 11/18/16	CHECKED BY: KK
	PROJECT NO.: 04145.00

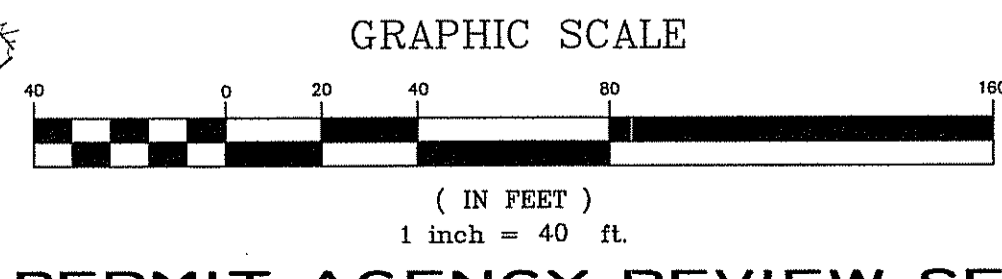


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 18 2011 FILE # 76-0319
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 PROPOSED PLANS MUST BE AT CONSTRUCTION STAGE

Stephen D. Venezia

LEGEND

- EXISTING PROPERTY LINE
- EXISTING STONE WALL
- ABUTTER LINE
- 50' WETLAND BUFFER
- 100' RIVERBANK WETLAND
- WETLAND FLAG
- PROPOSED SEWER MANHOLE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED WATER SERVICE SHUT OFF
- PROPOSED SEWER CURB STOP
- PROPOSED SIGN
- PROPOSED ROOF INFILTRATION SYSTEM
- PROPOSED UNDERGROUND FIRE CISTERN
- PROPOSED WATER VALVE
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED STREET LIGHT
- PROPOSED ROADWAY BERM
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED DRAIN LINE
- PROPOSED RETAINING WALL
- PROPOSED UNDERGROUND WIRES
- PROPOSED LOT LINE
- PROPOSED ROADWAY CENTERLINE
- PROPOSED GUARDRAIL
- PROPOSED UTILITY EASEMENT
- PROPOSED DRAINAGE EASEMENT
- PROPOSED CONTOURS
- PROPOSED FINISH GRADE
- W
- S
- D
- E
- FG=123.4



PERMIT AGENCY REVIEW SET

Kambiz Karbassi
 No. 4227
 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

REVISIONS			
No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
WEST SHANNOCK ROAD
 in
RICHMOND, RHODE ISLAND
GRADING PLAN

SCALE: 1"=40'	SHEET NO: 11 OF 24
DRAWN BY: JP	DESIGN BY: TJB
CHECKED BY: KK	
DATE: 11/18/16	PROJECT NO.: 04145.00

APPLICANT:
 WOMANS DEVELOPMENT CORP.
 861 BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

OWNER:
 ALTAMONTE RIDGE, LLC
 861 BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

DEC 29 2016

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 06 2017 FILE # 16-0319
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

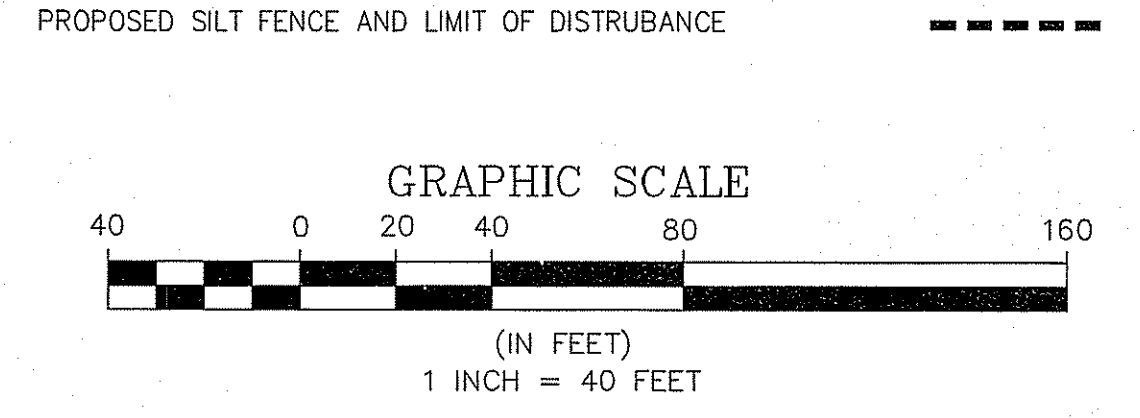
Martin D. Wenczek

Environmental Management
 DEC 29 2016
 Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

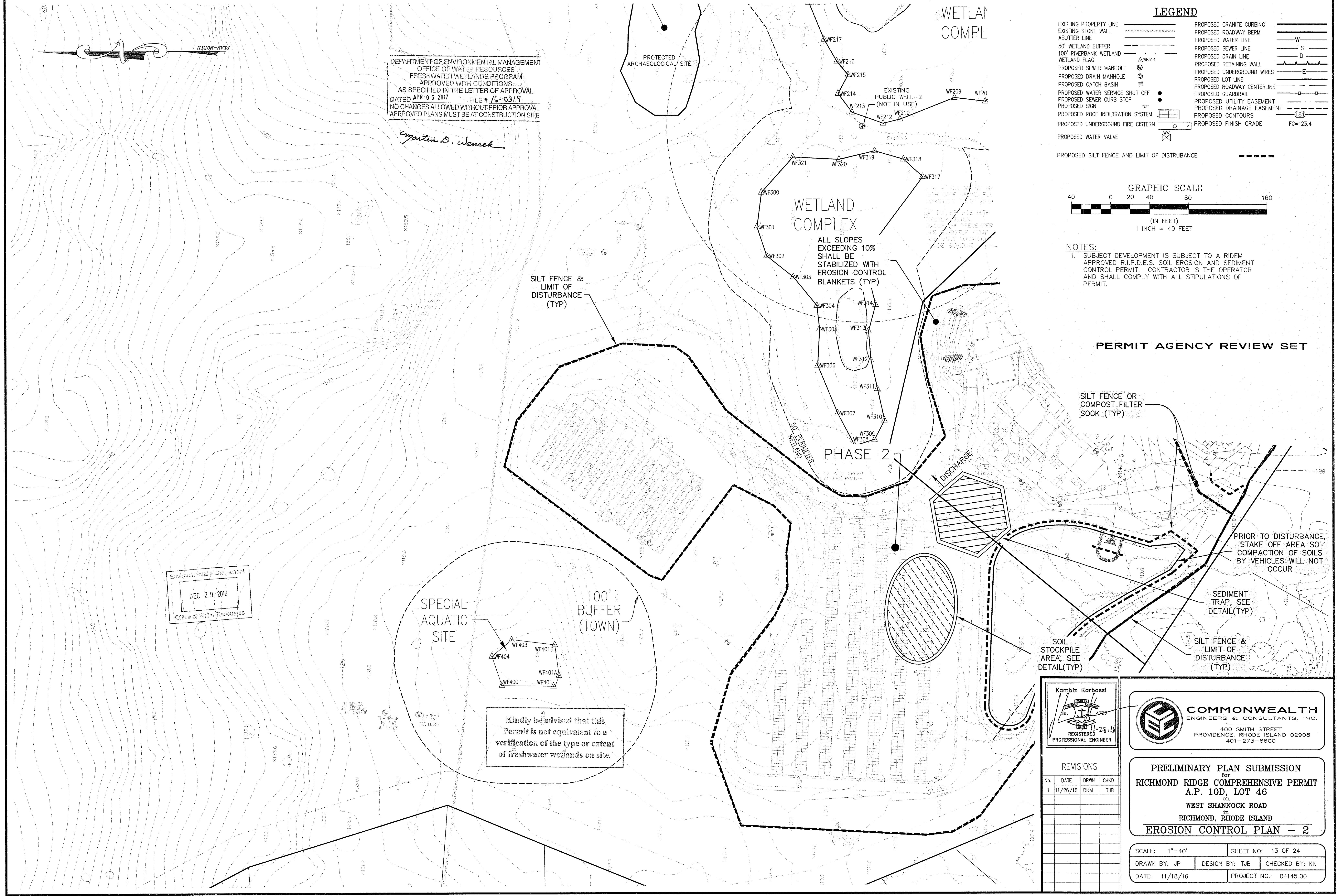
LEGEND

EXISTING PROPERTY LINE	PROPOSED GRANITE CURBING	
EXISTING STONE WALL	PROPOSED ROADWAY BERM	
ABUTTER LINE	PROPOSED WATER LINE	
50' WETLAND BUFFER	PROPOSED SEWER LINE	
100' RIVERBANK WETLAND	PROPOSED DRAIN LINE	
WETLAND FLAG	PROPOSED RETAINING WALL	
PROPOSED SEWER MANHOLE	PROPOSED UNDERGROUND WIRES	
PROPOSED DRAIN MANHOLE	PROPOSED LOT LINE	
PROPOSED CATCH BASIN	PROPOSED ROADWAY CENTERLINE	
PROPOSED WATER SERVICE SHUT OFF	PROPOSED GUARDRAIL	
PROPOSED SEWER CURB STOP	PROPOSED UTILITY EASEMENT	
PROPOSED SIGN	PROPOSED DRAINAGE EASEMENT	
PROPOSED ROOF INFILTRATION SYSTEM	PROPOSED CONTOURS	
PROPOSED UNDERGROUND FIRE CISTERN	PROPOSED FINISH GRADE	
PROPOSED WATER VALVE		



NOTES:
 1. SUBJECT DEVELOPMENT IS SUBJECT TO A RIDEM APPROVED R.I.P.D.E.S. SOIL EROSION AND SEDIMENT CONTROL PERMIT. CONTRACTOR IS THE OPERATOR AND SHALL COMPLY WITH ALL STIPULATIONS OF PERMIT.

PERMIT AGENCY REVIEW SET



Kambiz Karbassi
 REGISTERED PROFESSIONAL ENGINEER
 No. 112816

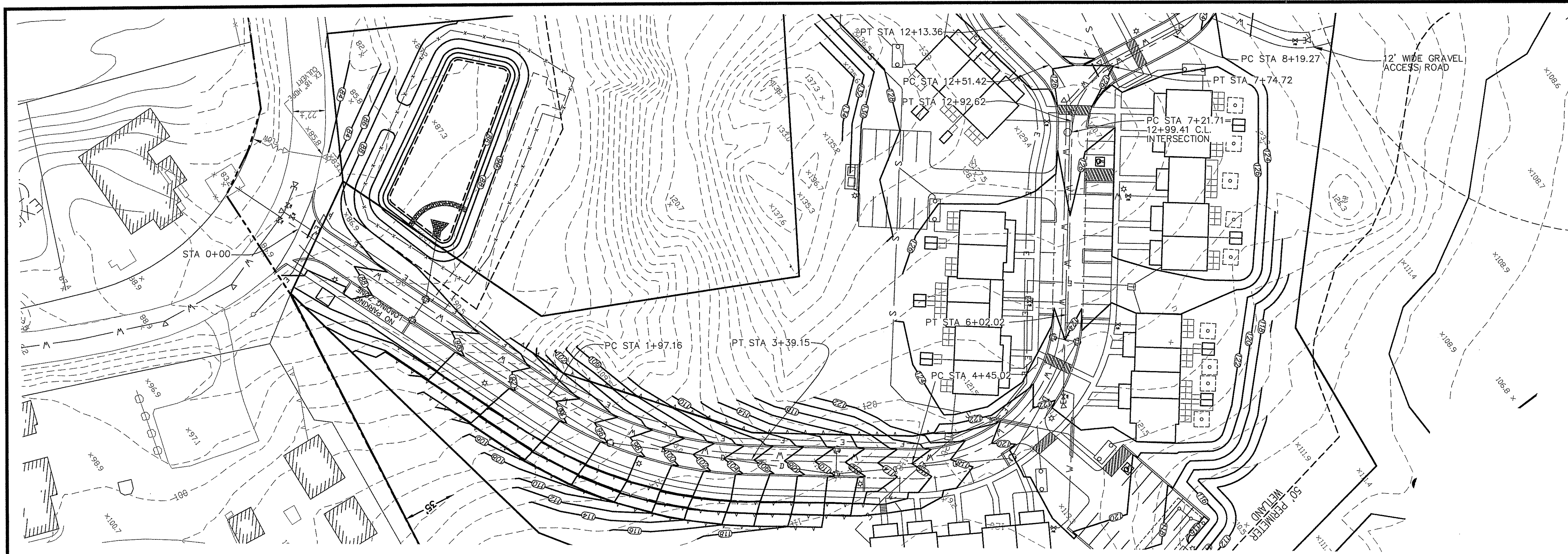
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

REVISIONS

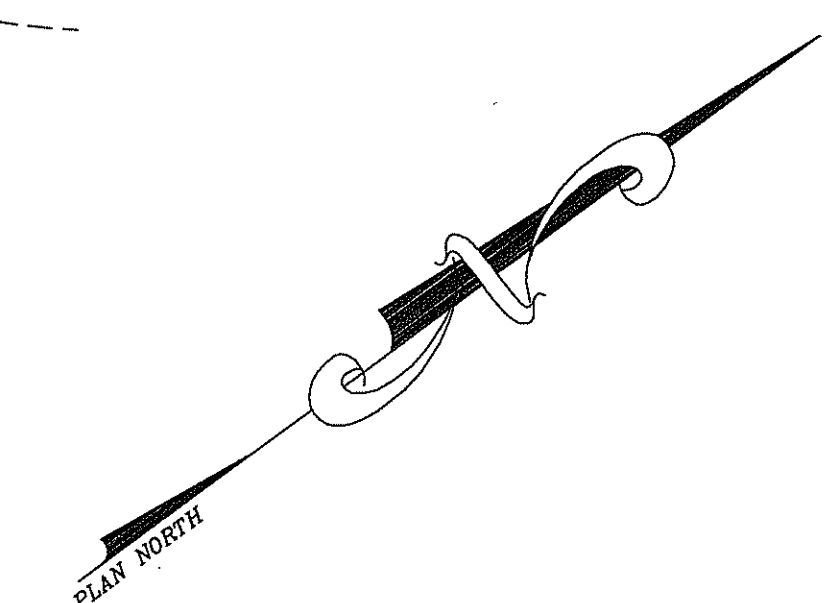
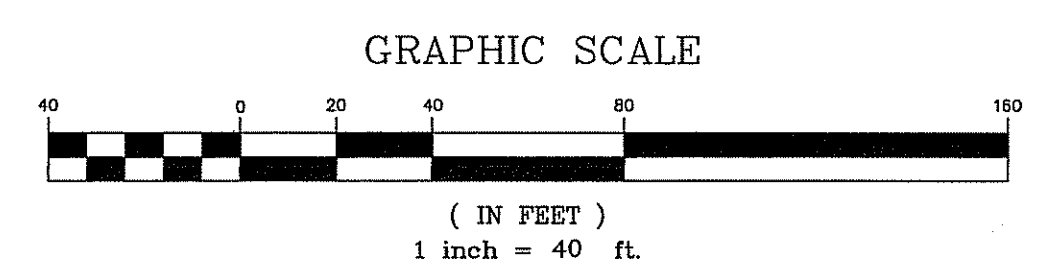
No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
WEST SHANNOCK ROAD
 in
RICHMOND, RHODE ISLAND
EROSION CONTROL PLAN - 2

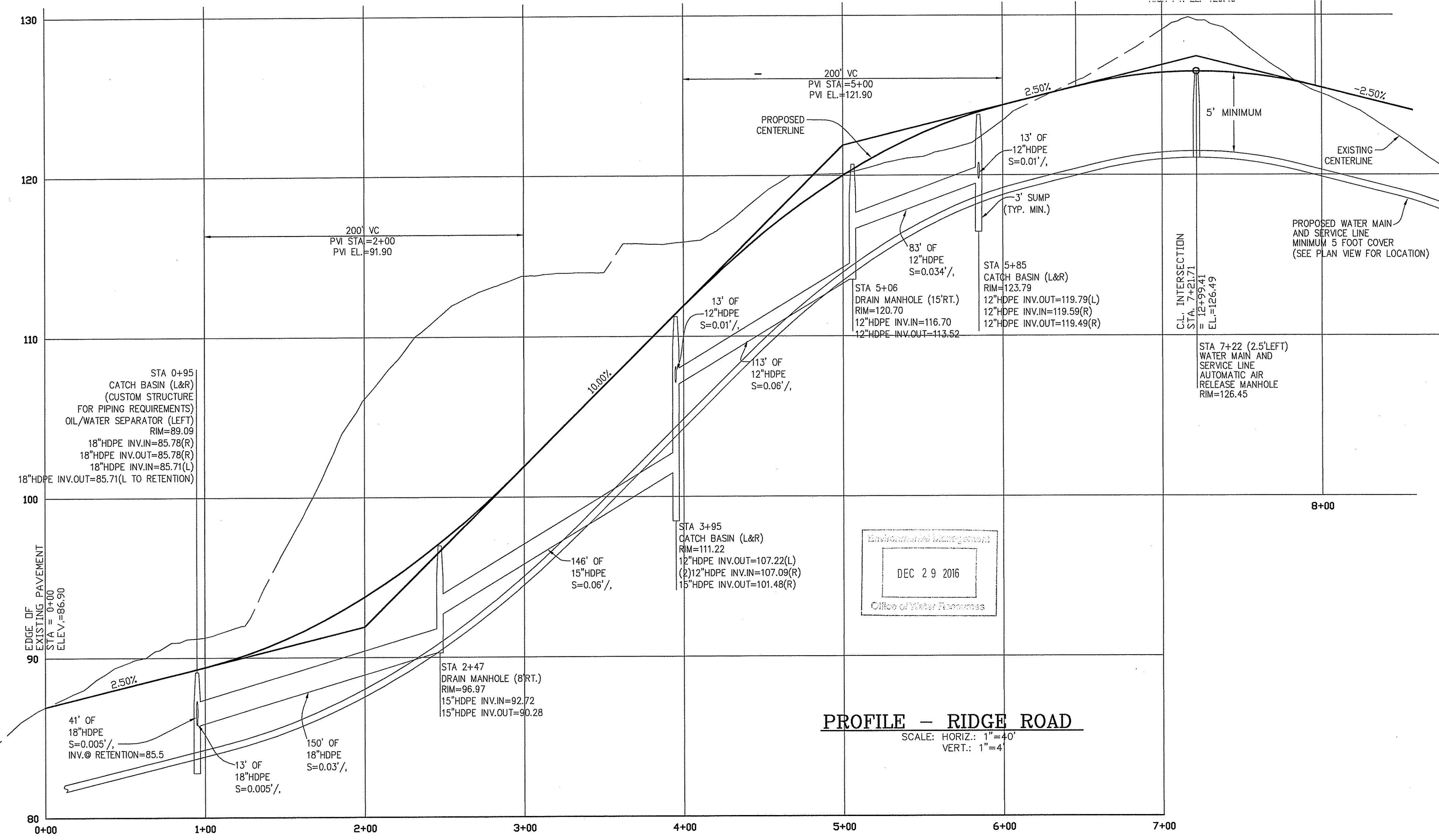
SCALE: 1"=40'
 SHEET NO: 13 OF 24
 DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
 DATE: 11/18/16 PROJECT NO.: 04145.00



PLAN - RIDGE ROAD
SCALE: 1"=40'



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING STONE WALL
 - ABUTTER LINE
 - 50' WETLAND BUFFER
 - 100' RIVERBANK WETLAND
 - WETLAND FLAG
 - PROPOSED SEWER MANHOLE
 - PROPOSED DRAIN MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED WATER SERVICE SHUT OFF
 - PROPOSED SEWER CURB STOP
 - PROPOSED SIGN
 - PROPOSED ROOF INFILTRATION SYSTEM
 - PROPOSED UNDERGROUND FIRE CISTERN
 - PROPOSED GRANITE CURBING
 - PROPOSED ROADWAY BERM
 - PROPOSED WATER LINE
 - PROPOSED SEWER LINE
 - PROPOSED DRAIN LINE
 - PROPOSED RETAINING WALL
 - PROPOSED UNDERGROUND WIRES
 - PROPOSED LOT LINE
 - PROPOSED ROADWAY CENTERLINE
 - PROPOSED GUARDRAIL
 - PROPOSED UTILITY EASEMENT
 - PROPOSED DRAINAGE EASEMENT



PROFILE - RIDGE ROAD
SCALE: HORIZ.: 1"=40'
VERT.: 1"=4'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 05 2017 FILE # 16-0319
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Matthew B. Wencsek

PERMIT AGENCY REVIEW SET

Kambiz Karbassi
REGISTERED PROFESSIONAL ENGINEER
No. 11-28-16

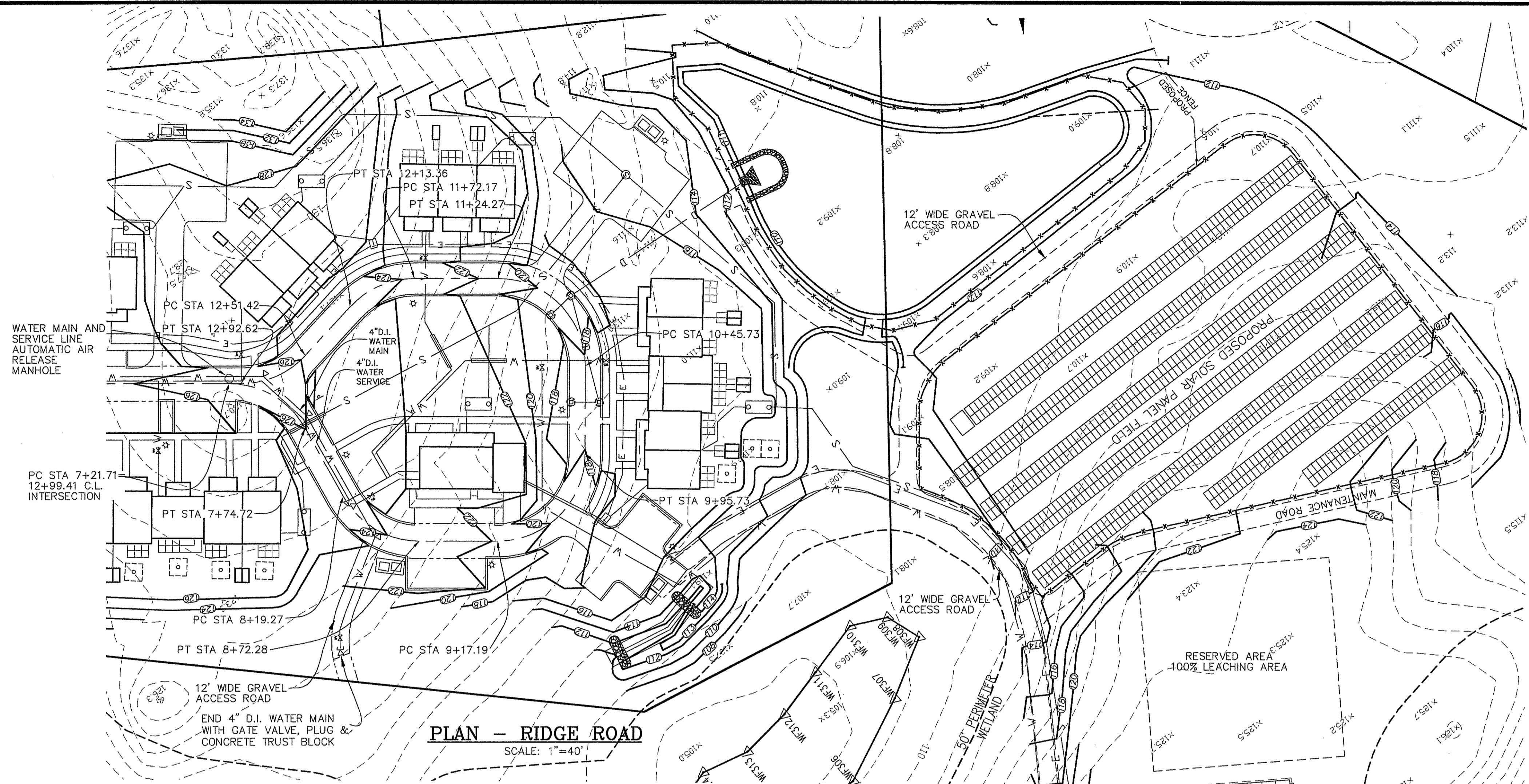
COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

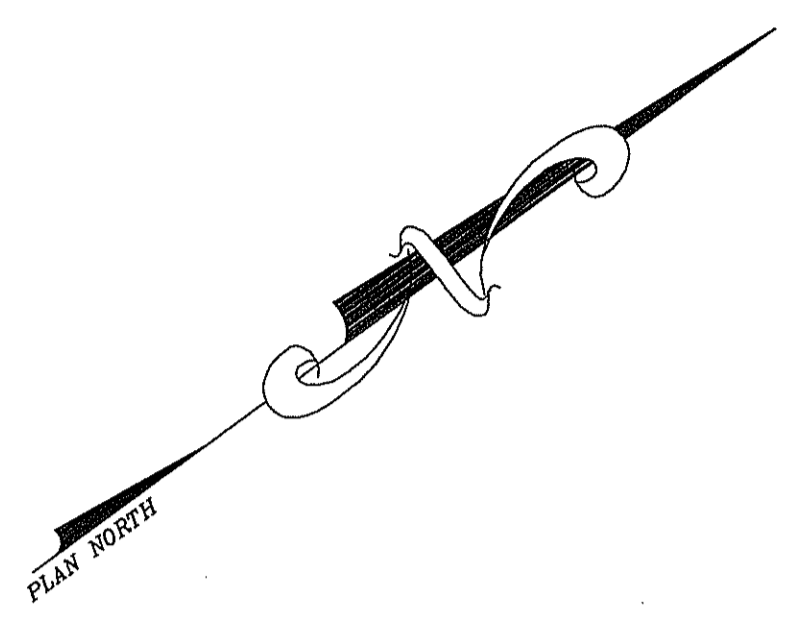
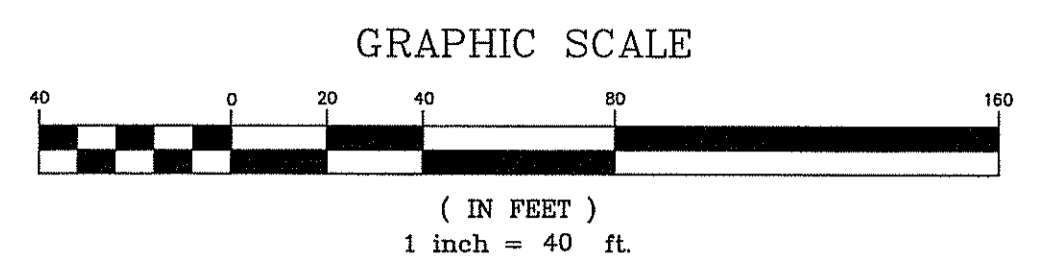
No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
ROADWAY PLAN AND PROFILE-1

SCALE: 1"=40'	SHEET NO: 14 OF 24
DRAWN BY: JP	DESIGN BY: TJB
DATE: 11/18/16	CHECKED BY: KK
	PROJECT NO.: 04145.00

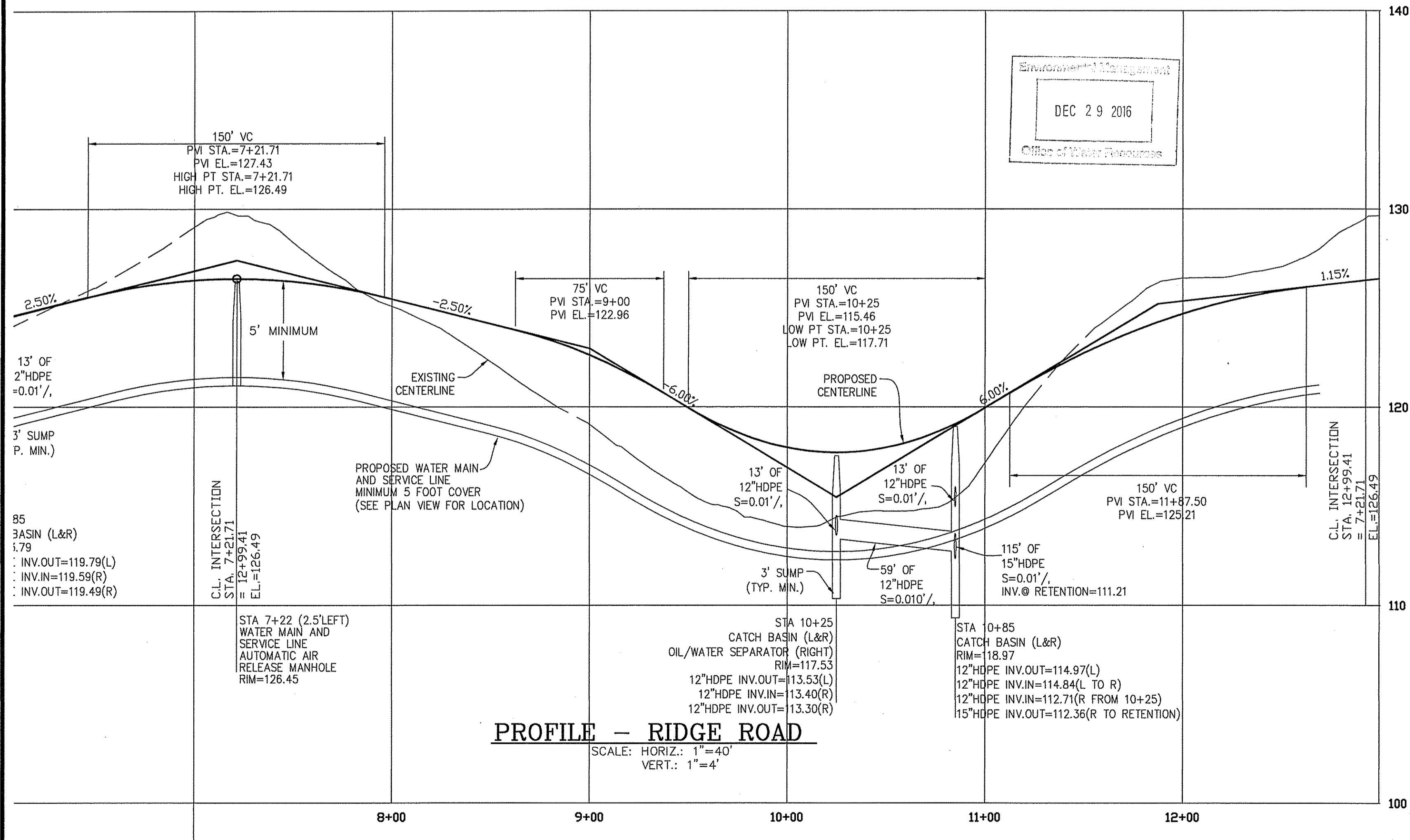


PLAN - RIDGE ROAD
SCALE: 1"=40'



LEGEND

- EXISTING PROPERTY LINE
- EXISTING STONE WALL
- ABUTTER LINE
- 50' WETLAND BUFFER
- 100' RIVERBANK WETLAND
- WETLAND FLAG
- PROPOSED SEWER MANHOLE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED WATER SERVICE SHUT OFF
- PROPOSED SEWER CURB STOP
- PROPOSED SIGN
- PROPOSED ROOF INFILTRATION SYSTEM
- PROPOSED UNDERGROUND FIRE CISTERN
- PROPOSED WATER VALVE
- PROPOSED GRANITE CURBING
- PROPOSED ROADWAY BERM
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED DRAIN LINE
- PROPOSED RETAINING WALL
- PROPOSED UNDERGROUND WIRES
- PROPOSED LOT LINE
- PROPOSED ROADWAY CENTERLINE
- PROPOSED GUARDRAIL
- PROPOSED UTILITY EASEMENT
- PROPOSED DRAINAGE EASEMENT



PROFILE - RIDGE ROAD
SCALE: HORIZ.: 1"=40'
VERT.: 1"=4'

Environmental Management
DEC 29 2016
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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DATED APR 06 2017 FILE # 16-0349
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Christopher D. Wensek

PERMIT AGENCY REVIEW SET

Kambiz Kurbassi
Professional Engineer
No. 11-28-16

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
ROADWAY PLAN AND PROFILE-2

SCALE: 1"=40'	SHEET NO: 15 OF 24
DRAWN BY: JP	DESIGN BY: TJB
DATE: 11/18/16	CHECKED BY: KK
	PROJECT NO.: 04145.00

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

MASTER PLANT SCHEDULE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
Ar	8	Acer rubrum October Glory	October Glory red maple	2.5-3" cal.	B&B	6' STD.
AAB	6	Amelanchier canadensis Autumn Brilliance	Autumn Brilliance shadbush	7-8'	B&B	CLUMP
BC	10	Betula nigra Cully	Cully river birch	7-8'	B&B	CLUMP
CKF	26	Calamagrostis Karl Foerster	Karl Foerster feather reed grass	#1	CAN	5' o.c.
CBS	30	Coreopsis Baby Sun	Baby Sun tickseed	#1	CAN	---
Fg	15	Festuca glauca	Blue fescue	#1	CAN	---
Gti	13	Gleditsia triacanthos inermis Shademaster	Shademaster honeylocust	3-3.5" cal.	B&B	6' STD.
Ig	39	Ilex glabra Shamrock	Shamrock inkberry	2.5-3'	B&B	5' o.c.
Iv	19	Ilex verticillata Red Sprite	Red Sprite winterberry	#5	CAN	5' o.c.
JM	3	Juniperus scopulorum Moonglow	Moonglow juniper	4-5'	B&B	5' o.c.
Jv	9	Juniperus virginiana	Eastern red cedar	5-6'	B&B	8' o.c.
Lt	9	Liriodendron tulipifera	Tuliptree	2-2.5" cal.	B&B	6' STD.
Mc	38	Muhlenbergia capillaris	Pink hair grass	#1	CAN	5' o.c.
Pmm	2	Pinus mugo Mughus	Mugo pine	#3	CAN	---
Pr	25	Pinus rigida	Pitch pine	6-7'	B&B	10' o.c.
PfG	6	Potentilla fruticosa Gold Drop	Gold Drop potentilla	#2	CAN	3' o.c.
Pma	10	Prunus maritima	Beach plum	#3	CAN	10' o.c.
Ra	19	Rhus aromatica	Aromatic sumac	#3	CAN	5' o.c.
Vd	19	Viburnum dentatum	Arrowwood	#3	CAN	10' o.c.
Vt	3	Viburnum trilobum Baileys Compact	Baileys Compact highbush cranberry	#5	CAN	3' o.c.

LANDSCAPE NOTES:

- 1) ALL PLANT MATERIAL TO CONFORM TO AAN STANDARDS.
- 2) ALL PLANT MATERIAL TO RECEIVE THREE INCHES OF SHREDDED PINE BARK MULCH.
- 3) ALL PLANT MATERIAL TO BE GUARANTEED TO SURVIVE AT LEAST ONE FULL YEAR FROM DATE OF PLANTING.
- 4) ALL PLANT MATERIAL SUBJECT TO FIELD VERIFICATION OF LOCATION AND SPECIES.
- 5) THERE WILL BE NO PLANT MATERIAL SUBSTITUTIONS WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- 6) DISTURBED SOILS WITHIN THE PROJECT LIMITS ARE TO BE LOAMED AND SEEDED WITH A MINIMUM OF 4" OF LOAM AND APPLICABLE SEEDING MIXTURE.

PLANTING DATES

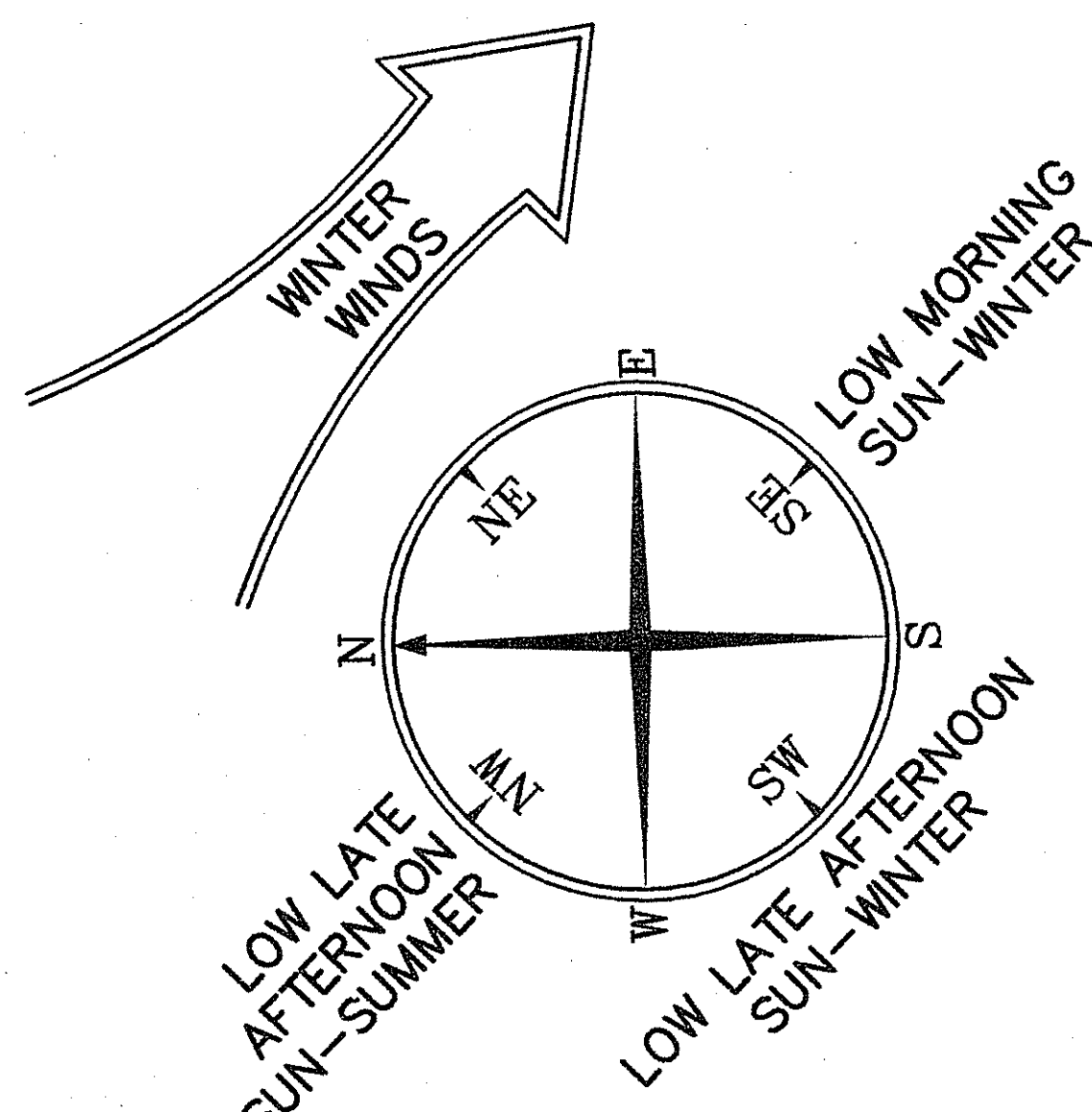
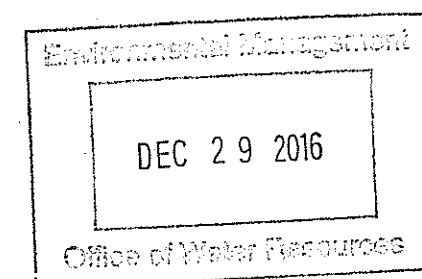
SPRING: MARCH 15-JUNE 15
FALL: SEPT. 1 - OCTOBER 31

SEEDING DATES

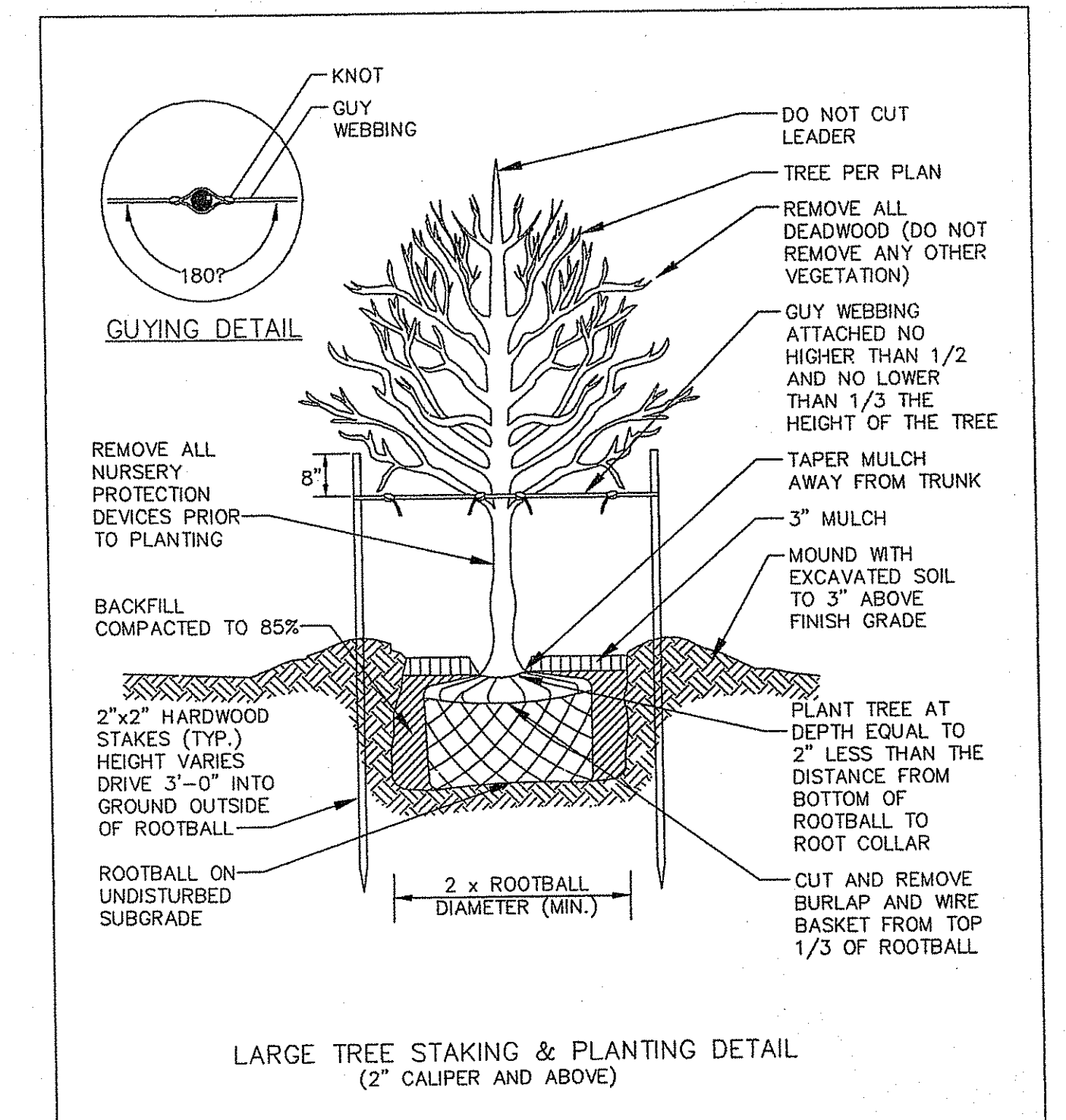
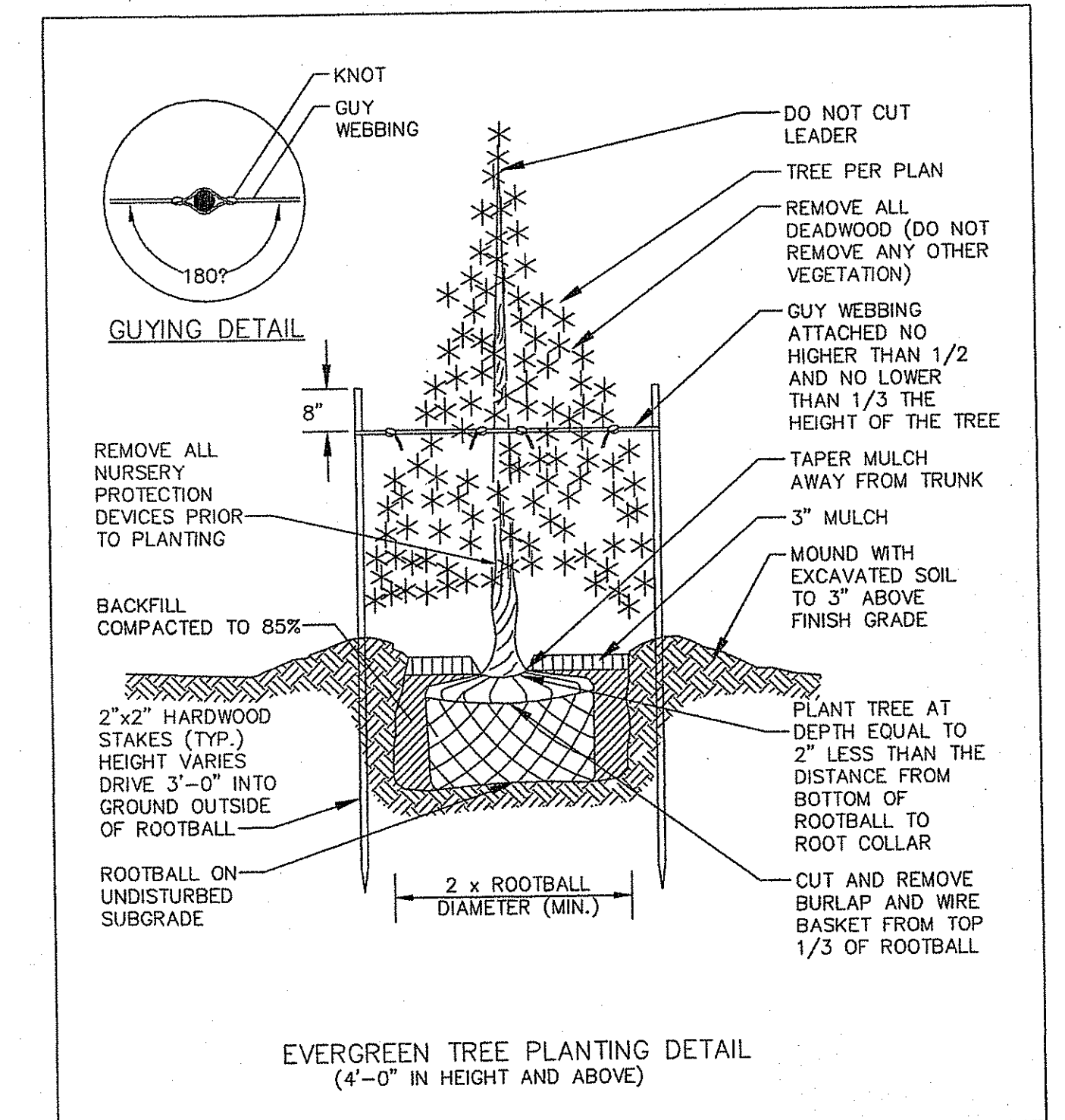
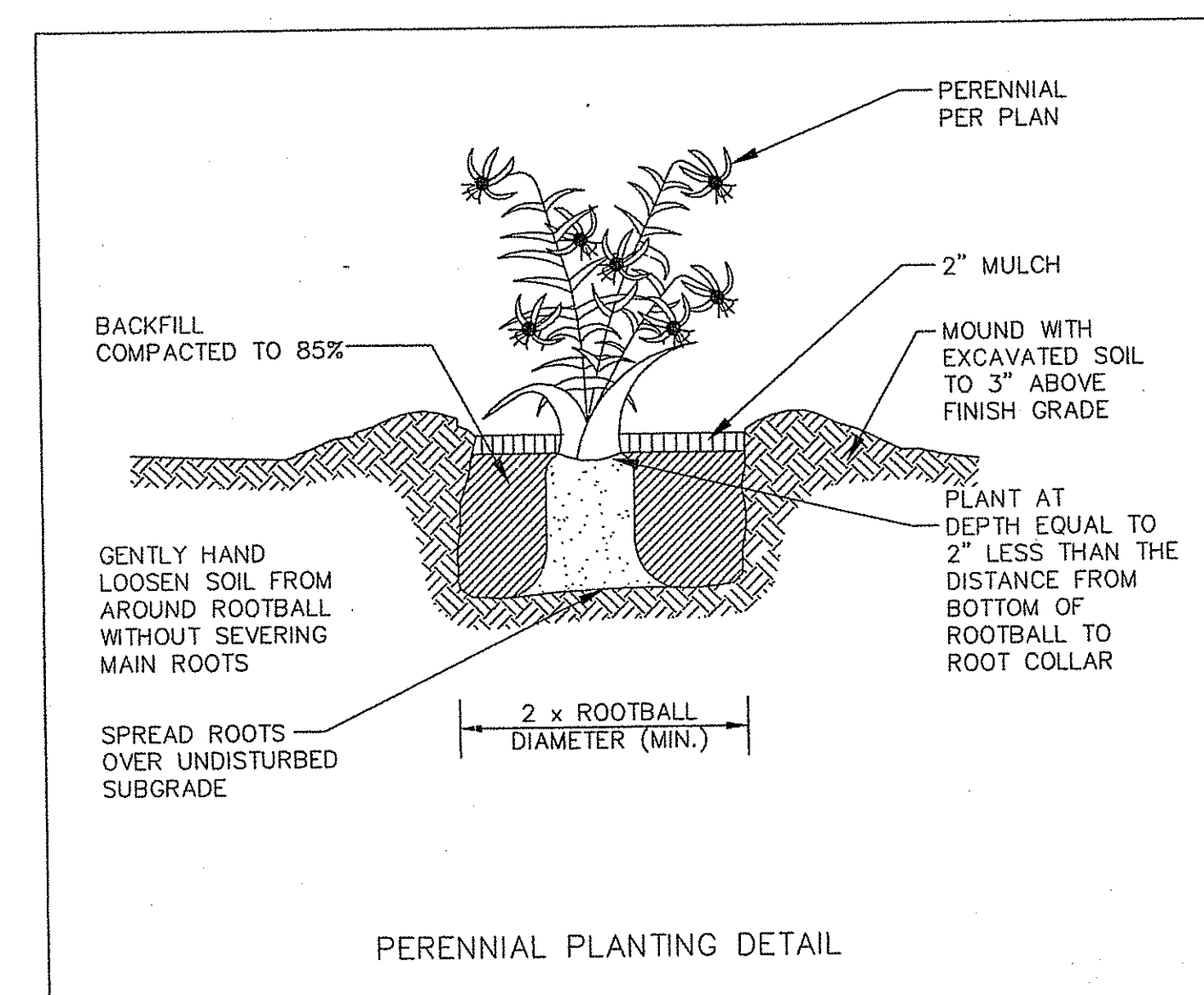
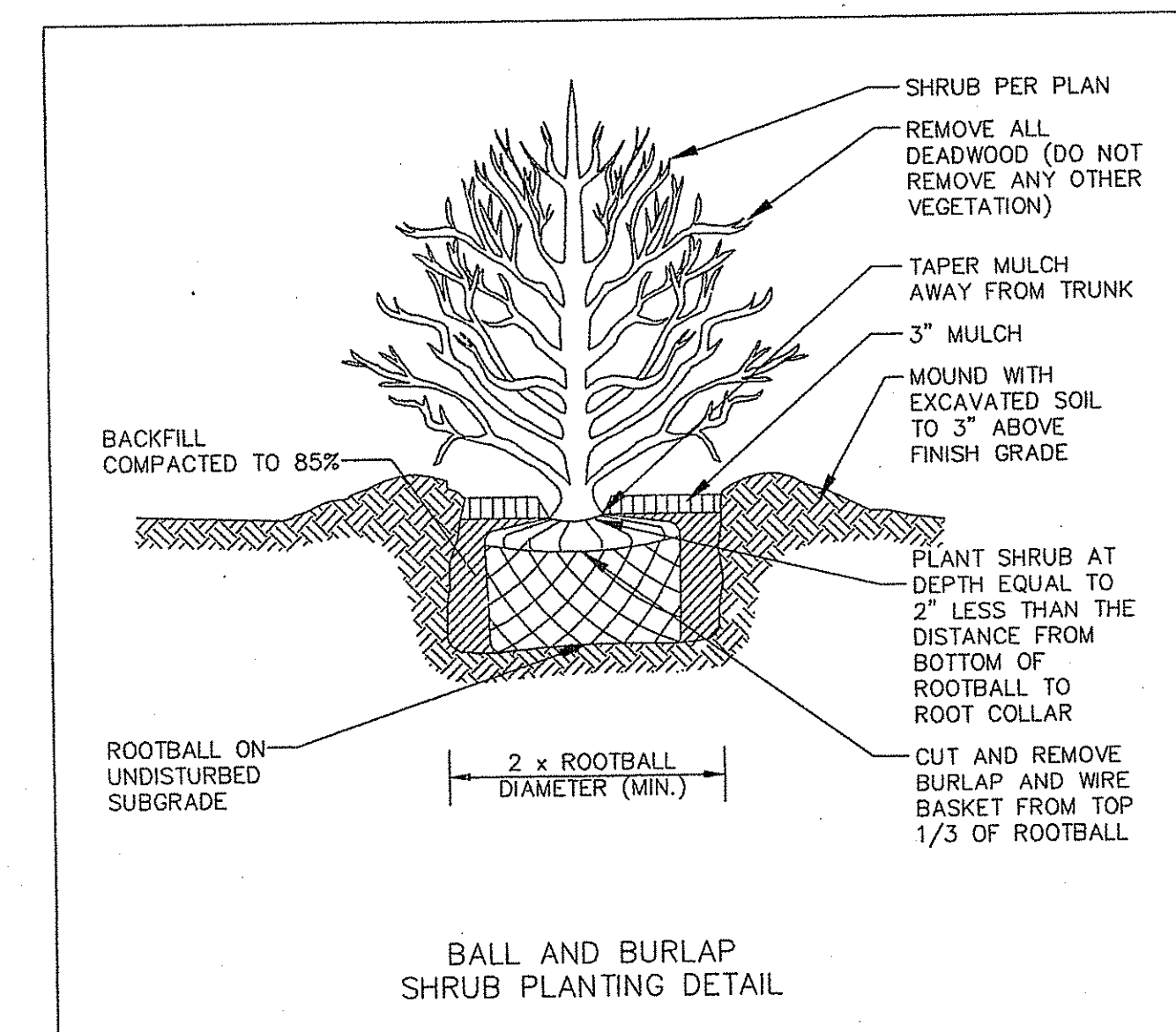
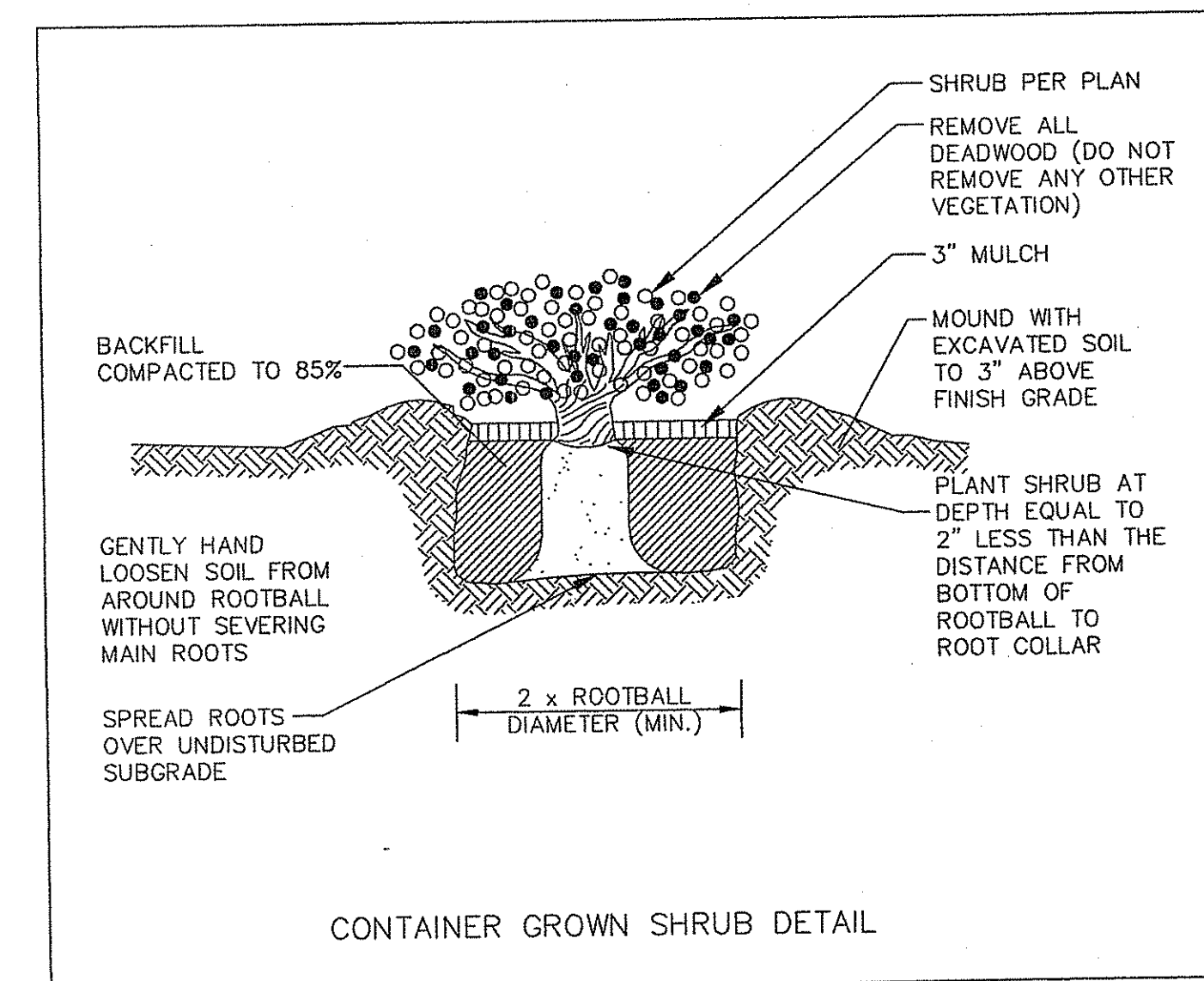
SPRING: APRIL 1-JUNE 15
FALL: AUGUST 15 - SEPT. 30

BARE ROOT PLANTING DATES

SPRING: MARCH 15-APRIL 15
FALL: OCTOBER 1 - OCTOBER 31



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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DATED APR 06 2017 FILE # 16-0319
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PRELIMINARY PLAN SUBMISSION
for
**RICHMOND RIDGE
A.P. 10D, LOT 46
WEST SHANNOCK ROAD**
in
RICHMOND, RHODE ISLAND
LANDSCAPE DETAIL SHEET

SCALE: AS NOTED	SHEET NO:
DRAWN BY: KAB	DESIGN BY: KAB
DATE: 11/18/16	CHECKED BY: SMC
PROJECT NO.: 04145.00	





SPLIT CEDAR 3-RAIL FENCE

(3)PFG

(15)Fg

(3)Vt

(30)CBS

(3)PFG

(15)Fg

(1)Pmm

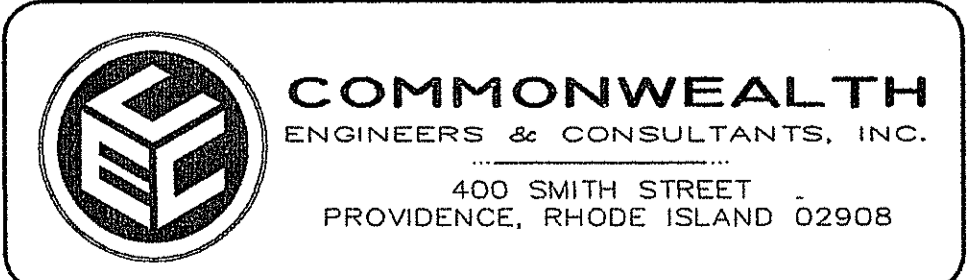
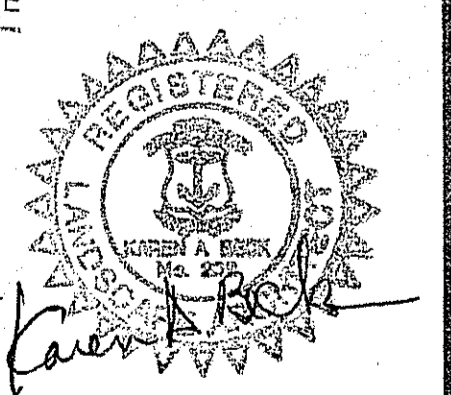
(3)JM

(1)Pmm

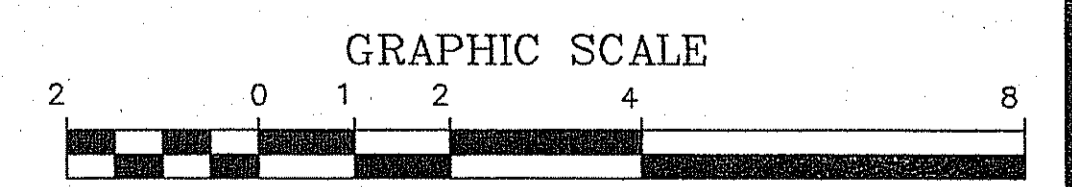
Environmental Management
DEC 29 2016
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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DATED APR. 06 2017 FILE # 16-0319
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenczek

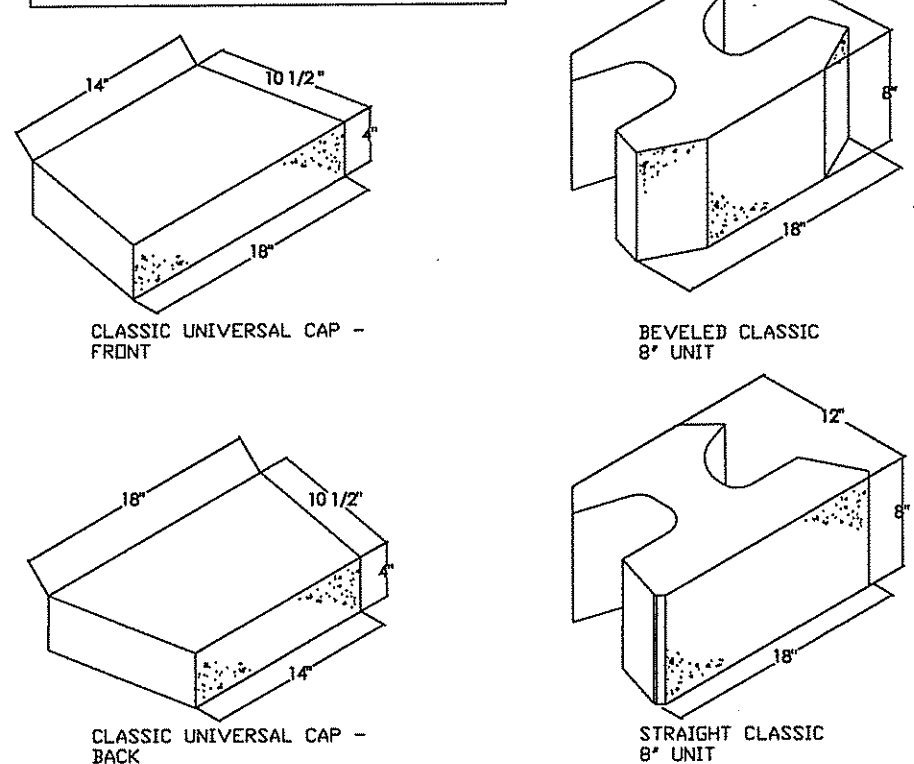


PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE
A.P. 10D, LOT 46
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
LANDSCAPE DETAIL SHEET



SCALE: 1"=2'	SHEET NO:
DRAWN BY: KAB	DESIGN BY: KAB
DATE: 11/18/16	CHECKED BY: SMC
	PROJECT NO.: 04145.00

NOTE: SAMPLE SUBMITTAL REQUIRED FOR OWNER SELECTION OF FACE PATTERN AND STONE COLOR.



ROCKWOOD OR APPROVED EQUAL VERTICAL BLOCK RETAINING WALL

GENERAL INFORMATION

ABSORPTION... MEETS OR EXCEEDS ASTM C90-75 STANDARDS
 COMPRESSIVE STRENGTH... 3000 PSI APPROXIMATE MINIMUM (UNLESS OTHERWISE SPECIFIED)
 COMPOSITION... HIGH STRENGTH, HIGH DENSITY, "0" SLUMP CONCRETE

UNIT INFORMATION

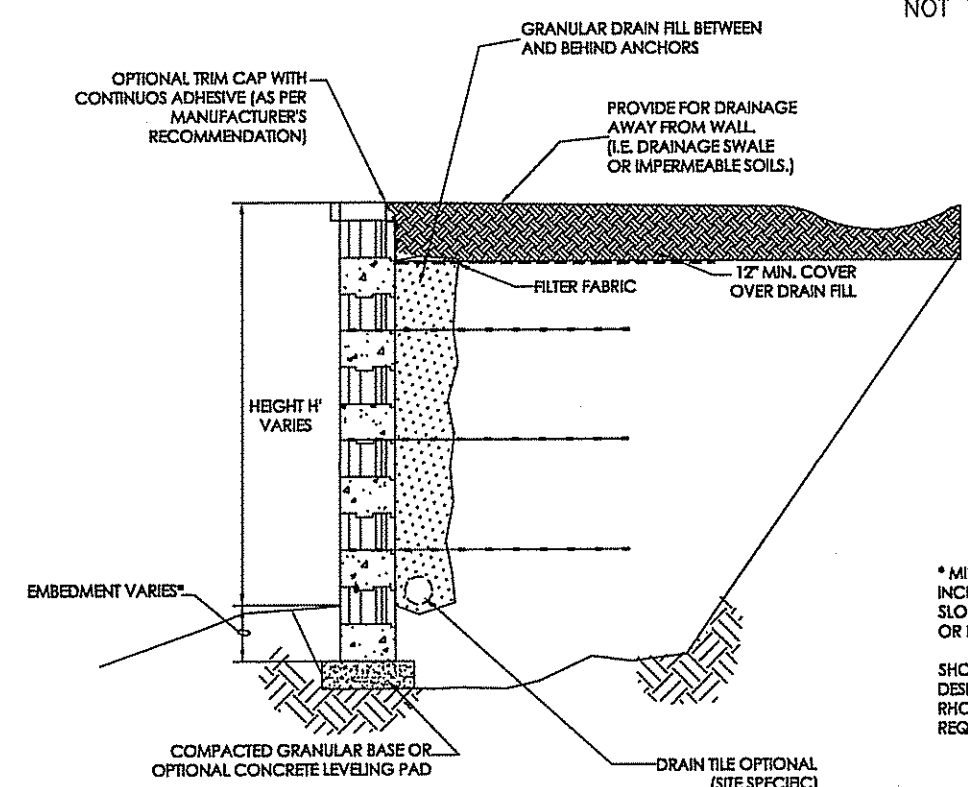
BEVELED CLASSIC UNIT:
 18" BEVELED SPLIT FACE 8 1/2" X 18" W, 78 LBS. APPROX. 1.00 SQ. FT. FACE
 STRAIGHT CLASSIC UNIT:
 18" STRAIGHT SPLIT FACE 8 1/2" X 18" W, 80 LBS. APPROX. 1.00 SQ. FT. FACE
 UNIVERSAL CAP STRAIGHT SPLIT FACE 4 1/2" X 18" W FRONT AND 4 1/2" X 14" W BACK, 54 LBS. APPROX.
 0.30 SQ. FT. FRONT, 0.39 SQ. FT. BACK
 AVERAGE RUNNING LENGTH IS 16" (SEE INSTALLATION MANUAL)

FACE OPTIONS

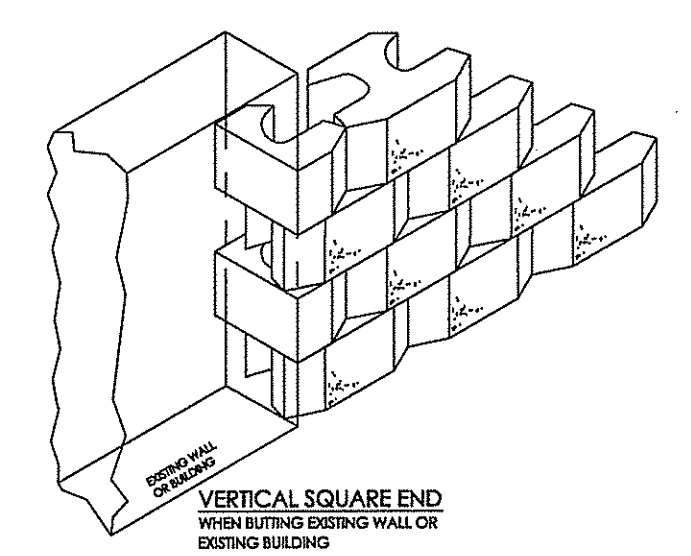
FACE PATTERNS BEVELED SPLIT FACE
 STRAIGHT SPLIT FACE
 RUSTIC FACE

ROCKWOOD CLASSIC 8 VERTICAL

NOT TO SCALE



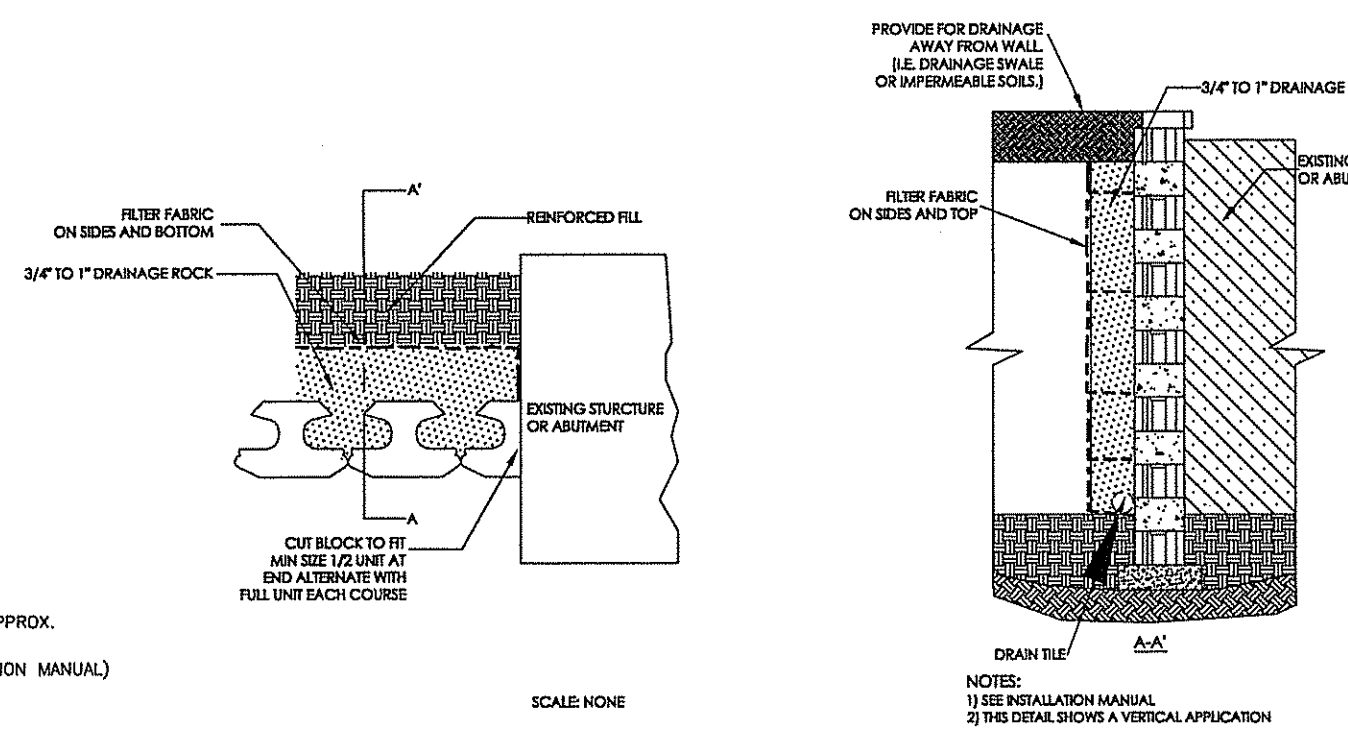
ROCKWOOD TYPICAL SECTION
NOT TO SCALE



ROCKWOOD CLASSIC 8 VERTICAL
NOT TO SCALE

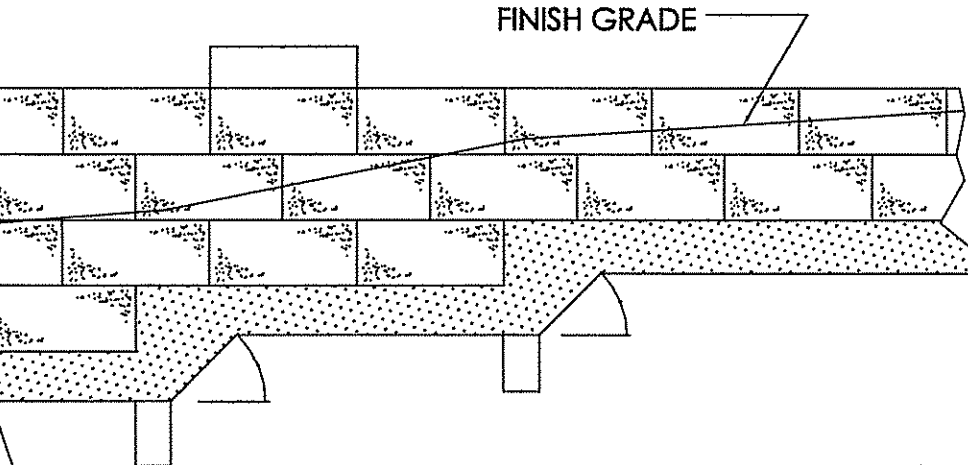
ROCKWOOD WALL ABUTMENT DETAIL

NOT TO SCALE



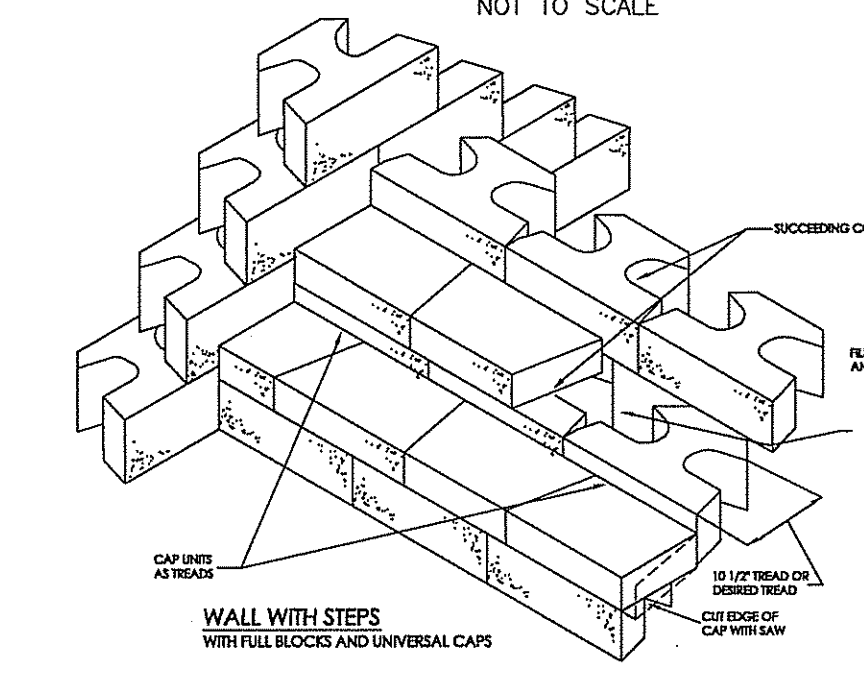
ROCKWOOD LEVELING PAD DETAILS

NOT TO SCALE



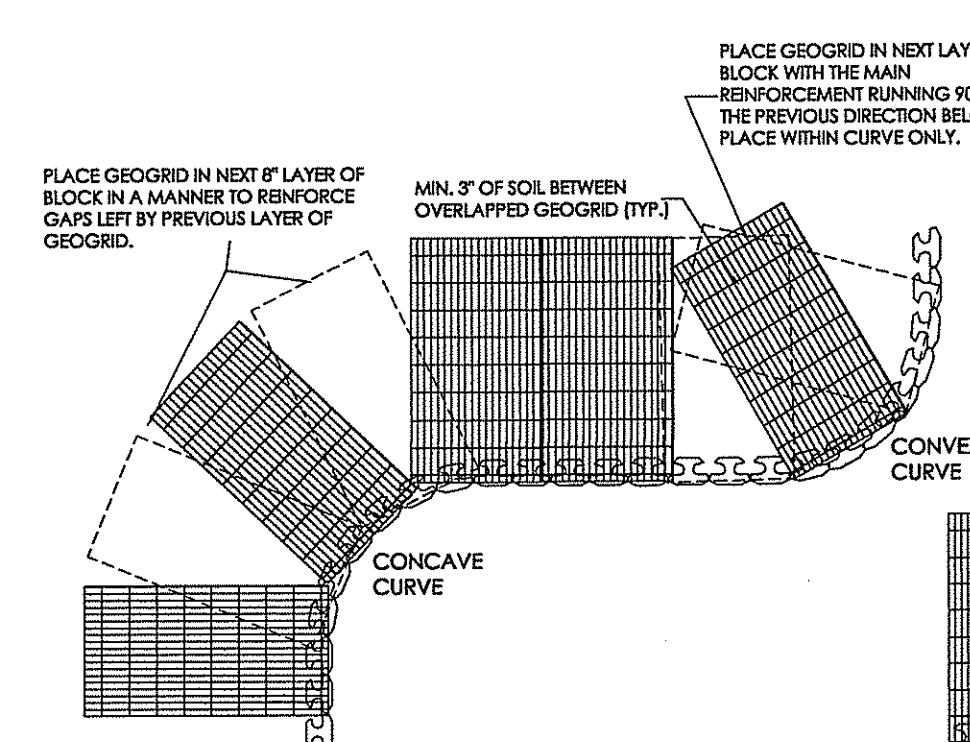
ROCKWOOD LEVELING PAD STEP DETAIL

NOT TO SCALE



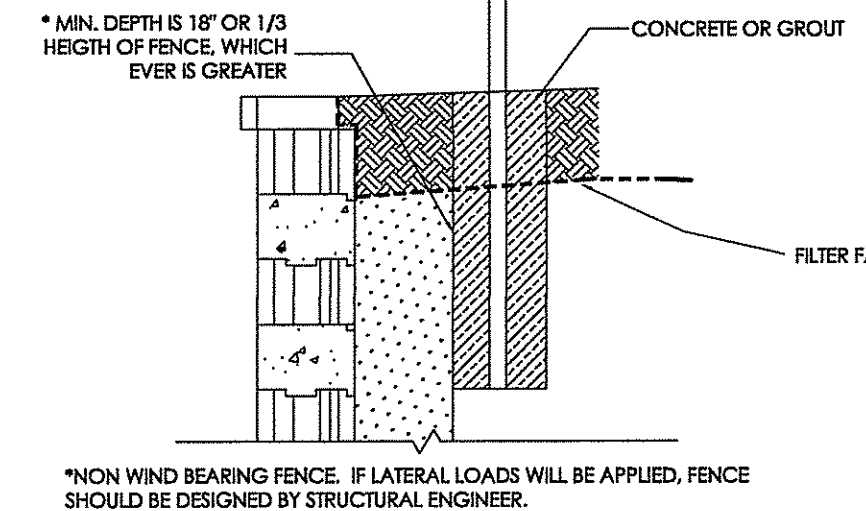
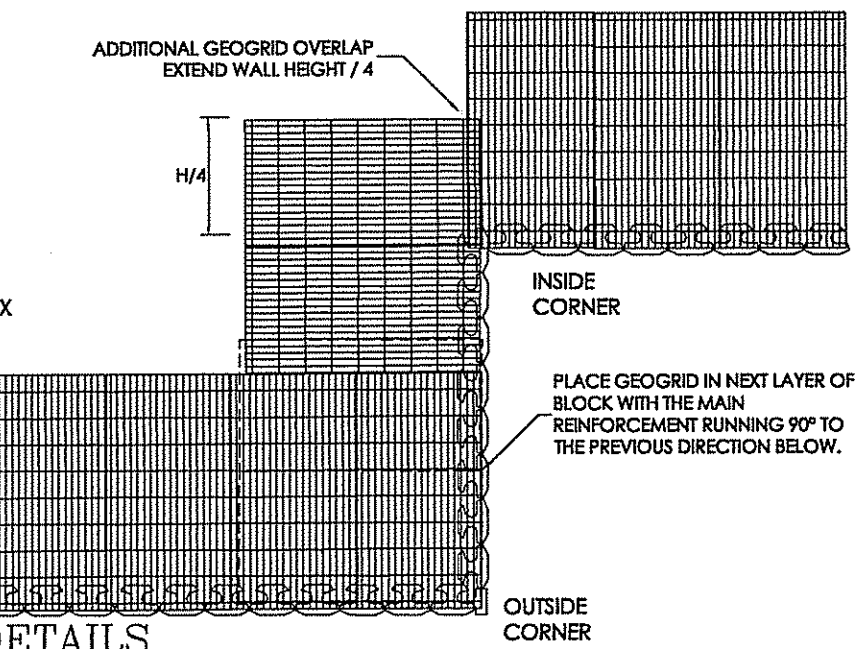
ROCKWOOD STEPS AND CORNERS

NOT TO SCALE



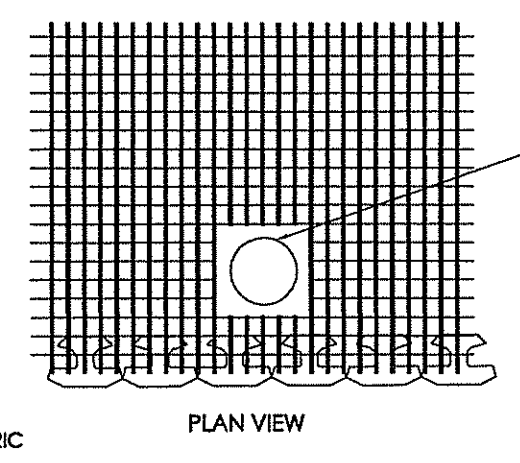
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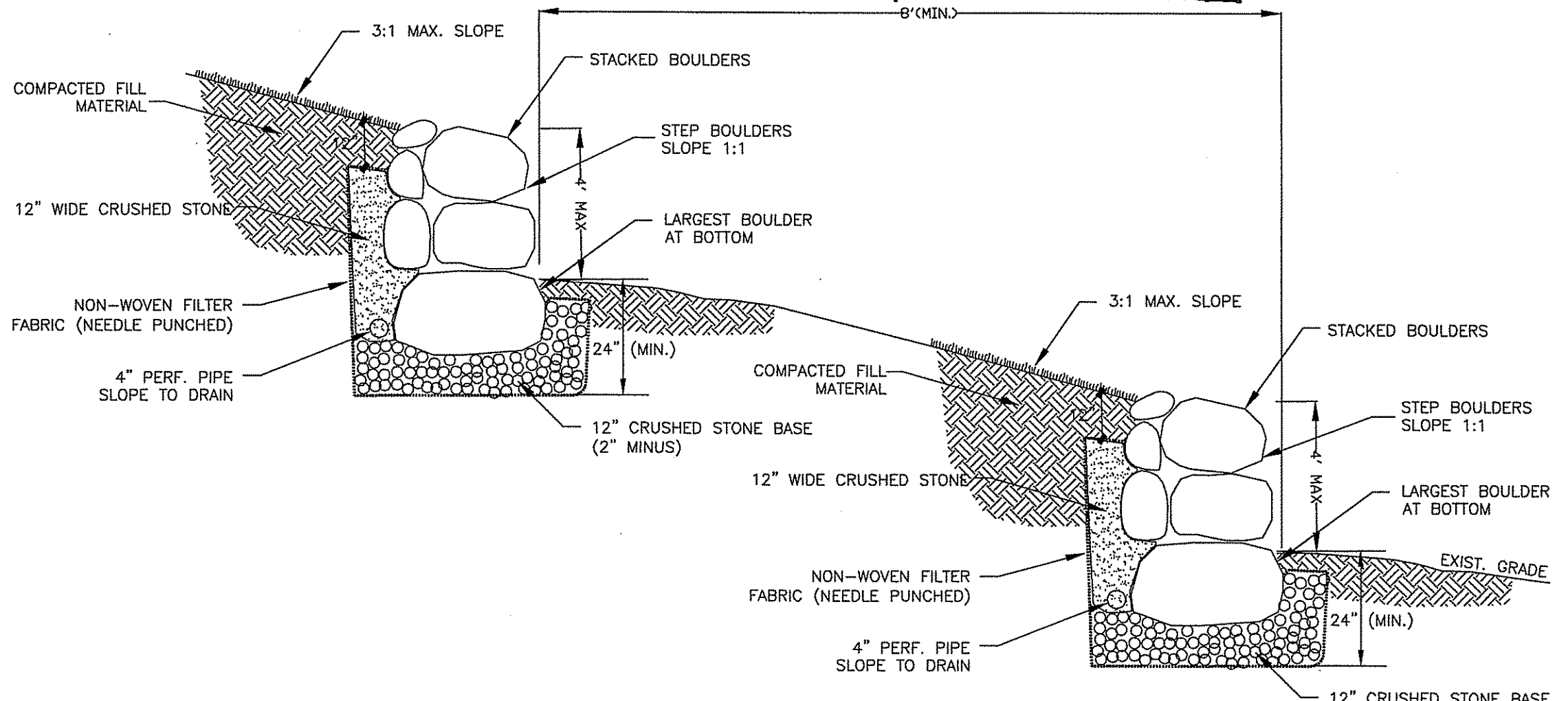


ROCKWOOD FENCE NEAR WALL DETAIL

NOT TO SCALE

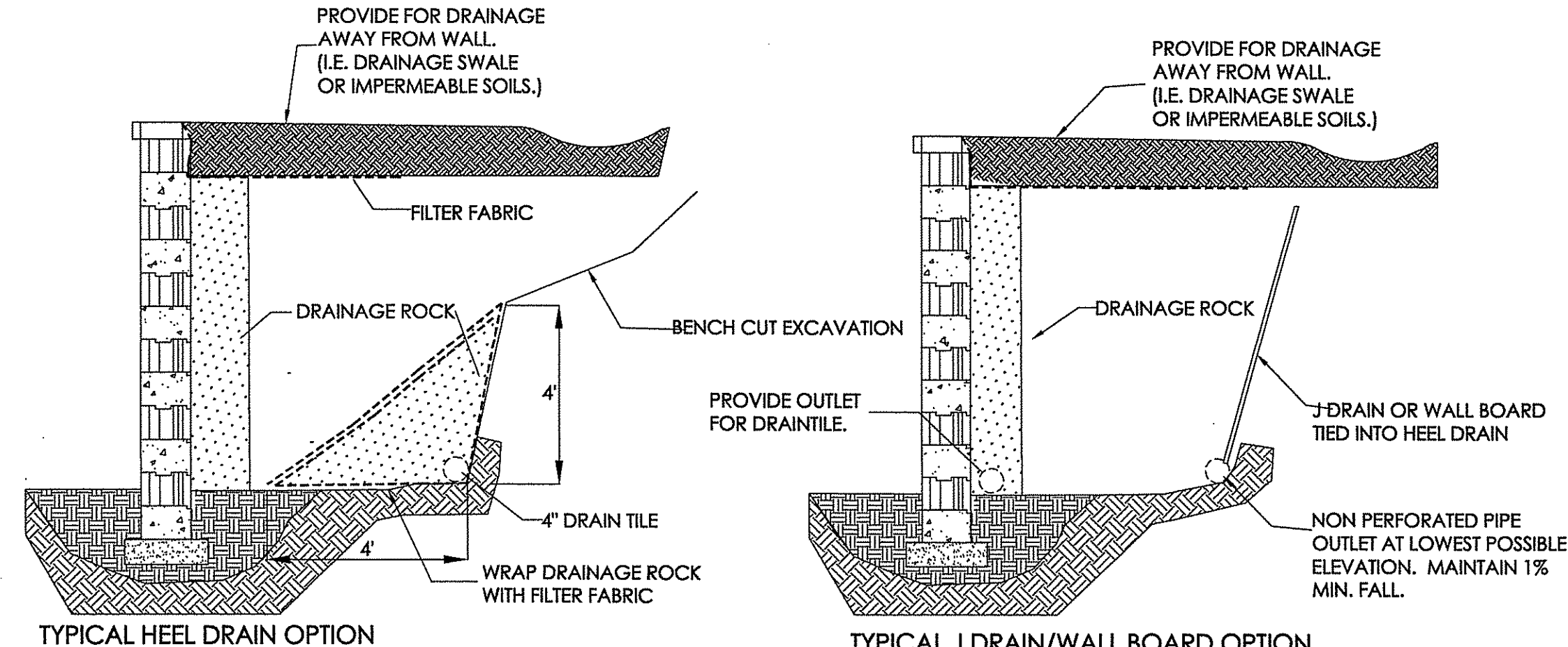


DEC 29 2016
 Office of Water Resources



OPTIONAL BOULDER RETAINING WALL

NOT TO SCALE



ROCKWOOD DRAINAGE OPTIONS TO REMEDIATE BACK CUT SEEPAGE

PERMIT AGENCY REVIEW SET

Kambiz Karbassi
 No. 4757
 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908

REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PRELIMINARY PLAN SUBMISSION
 for
RICHMOND RIDGE COMPREHENSIVE PERMIT
 A.P. 10D, LOT 46
 on
WEST SHANNOCK ROAD
 in
RICHMOND, RHODE ISLAND
CONSTRUCTION DETAILS #1

SCALE: AS NOTED	SHEET NO: 19 OF 24
DRAWN BY: JP	DESIGN BY: TJB
DATE: 11/18/16	CHECKED BY: KK
	PROJECT NO.: 04145.00

WALPOLE WOODWORKERS
 P.O. Box 151, 767 East Street, Walpole, MA 02081
 1 (800) 343-6948 Fax: (508) 688-7301
 commsales@walpolewood.net
 www.walpolewoodworkers.com

WALPOLE DUXBURY POST AND RAIL FENCE
 Type 8' Section Length - Northern White Cedar
 FENCE SHOP DRAWING SUBMITTAL REQUIRED. SPLIT RAIL FENCE NOT TO SCALE

NOTES:
 1. All information here is property of Walpole Woodworkers, Inc.
 2. Installation to be completed in accordance with manufacturer's specifications.
 3. Do not scale drawings.
 4. Specifications shown can be changed by the manufacturer only.
 5. CONTRACTORS NOTE: For product and company information visit "www.CADdetails.com/info" Reference number 675-008.

Standard Gate Widths:
 3' (35")
 3-1/2' (41")
 4' (47")
 5' (59")
 6' (71")

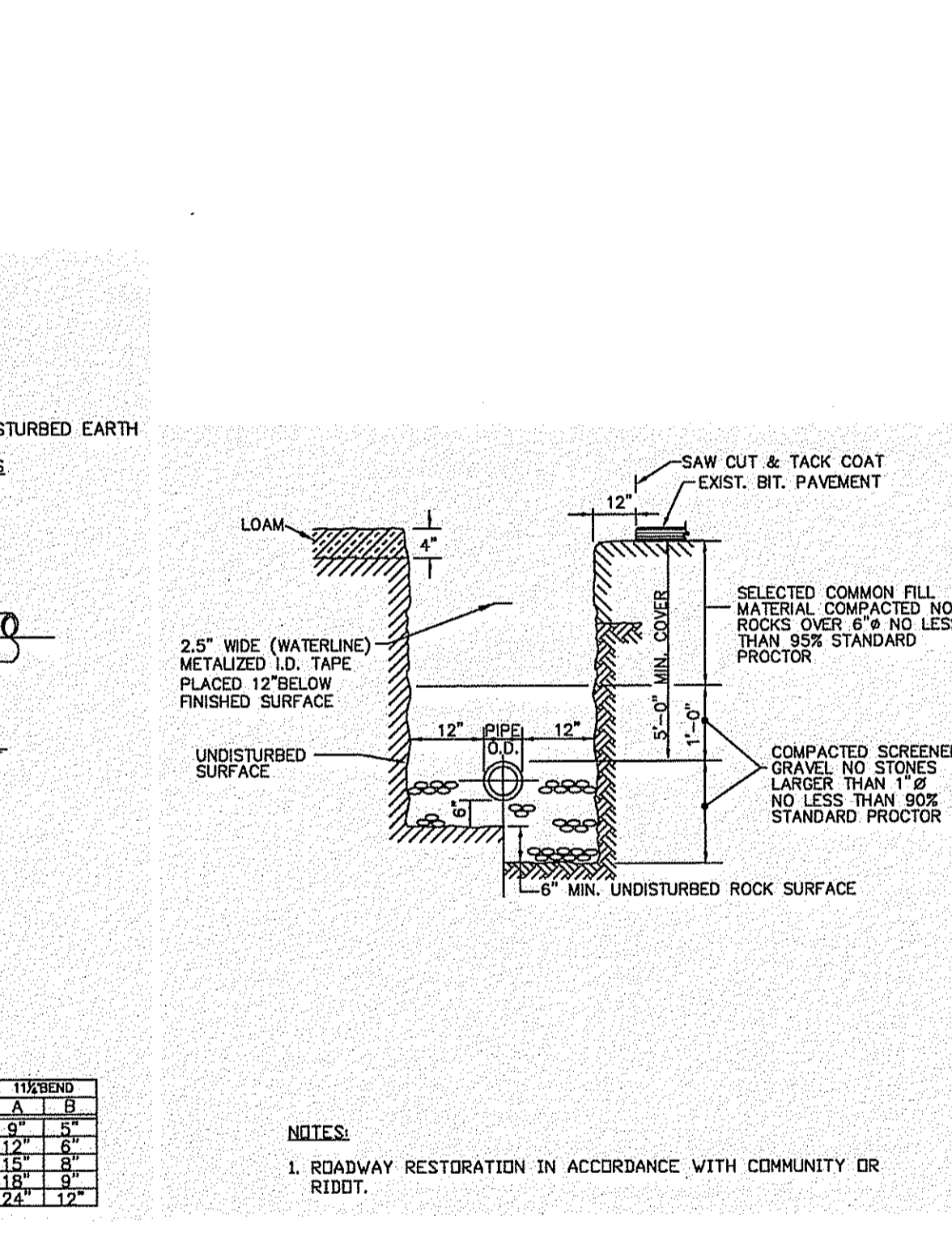
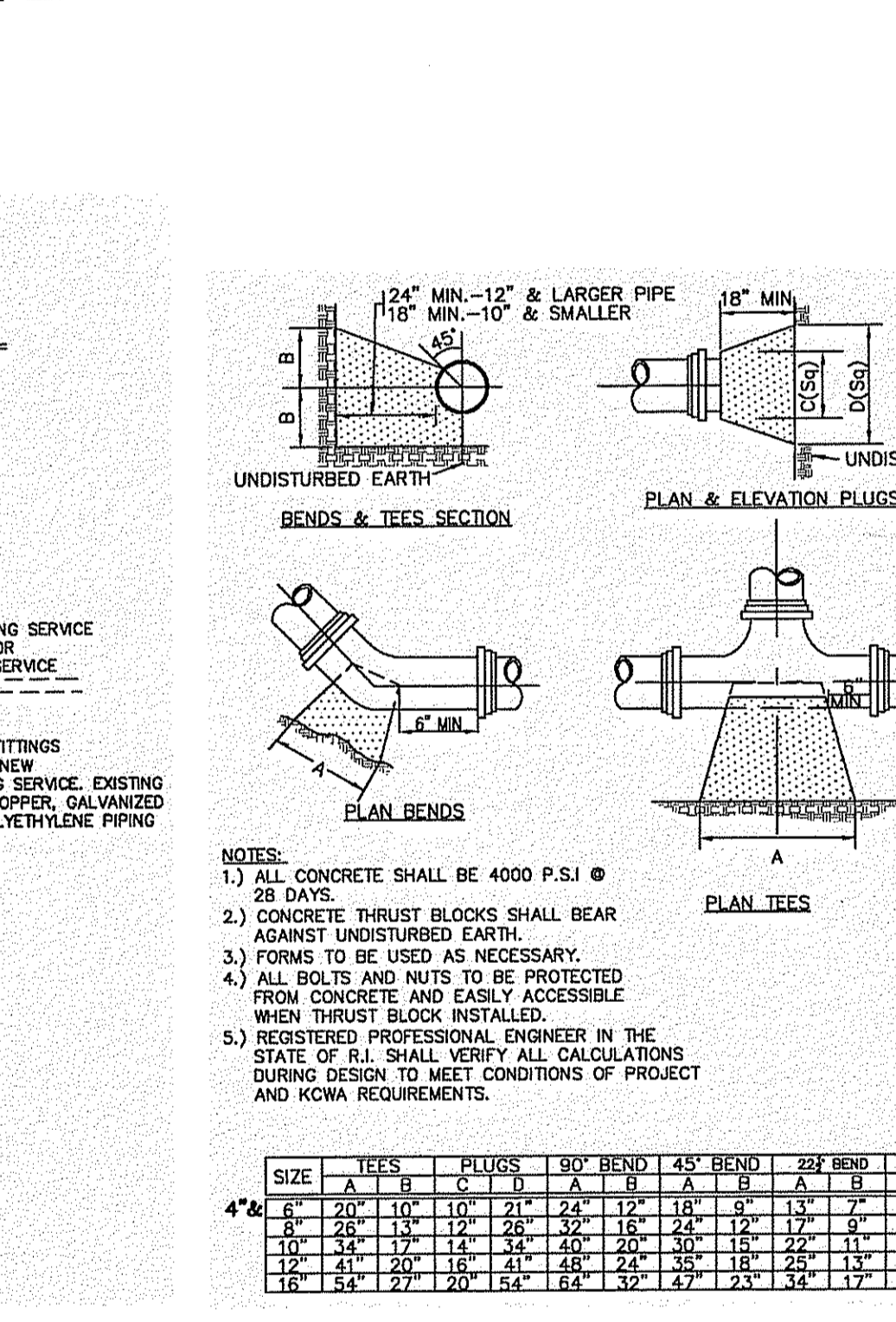
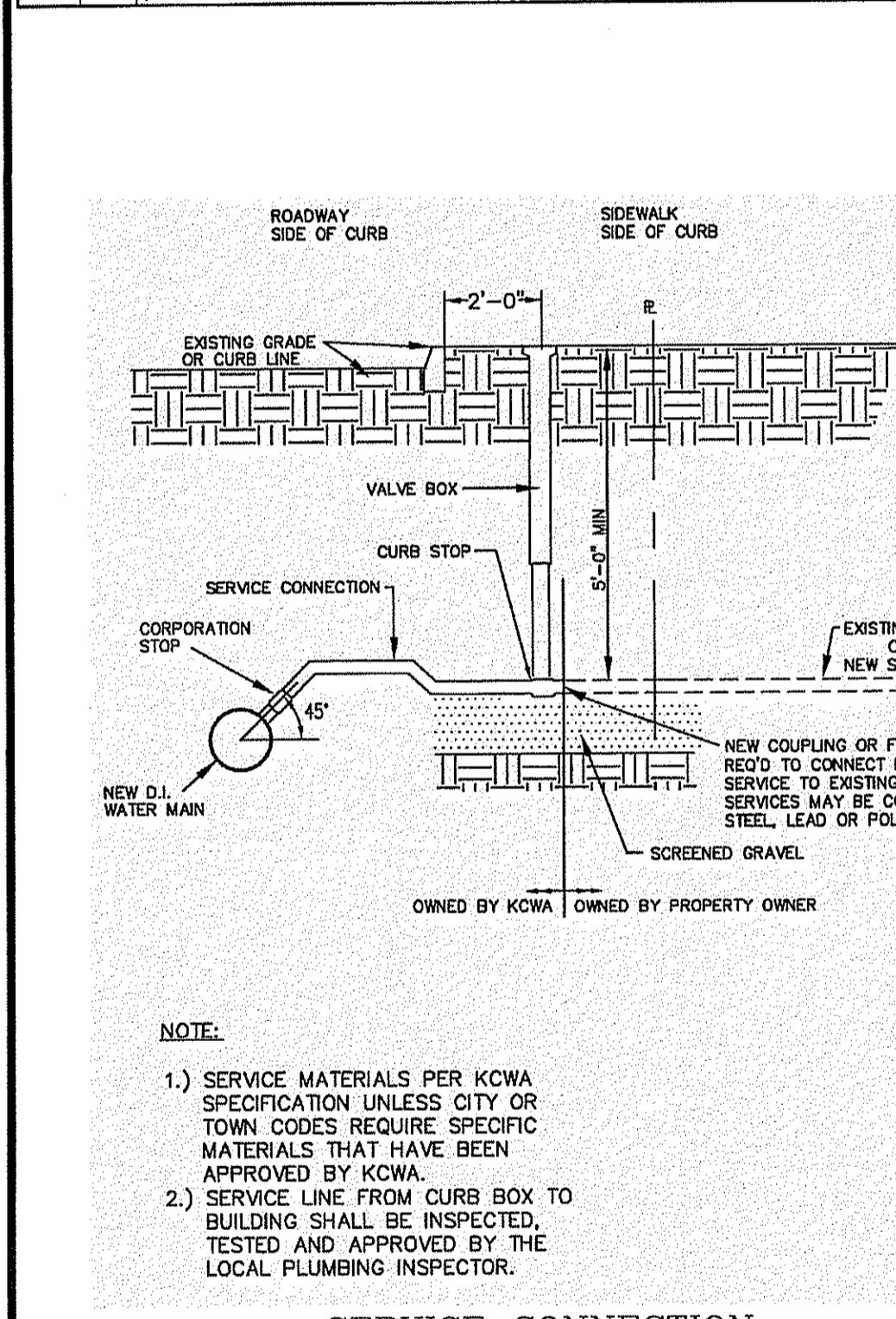
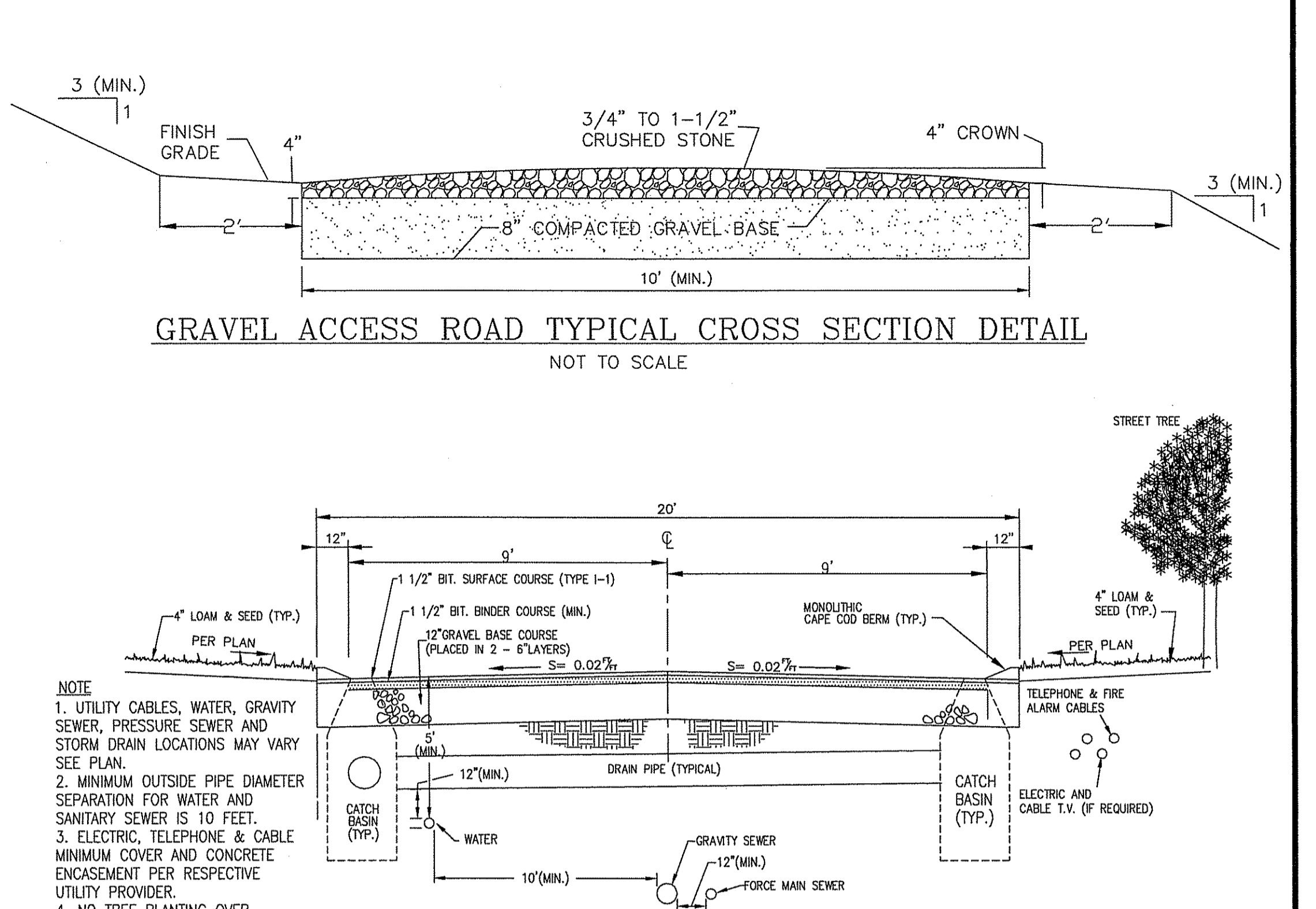
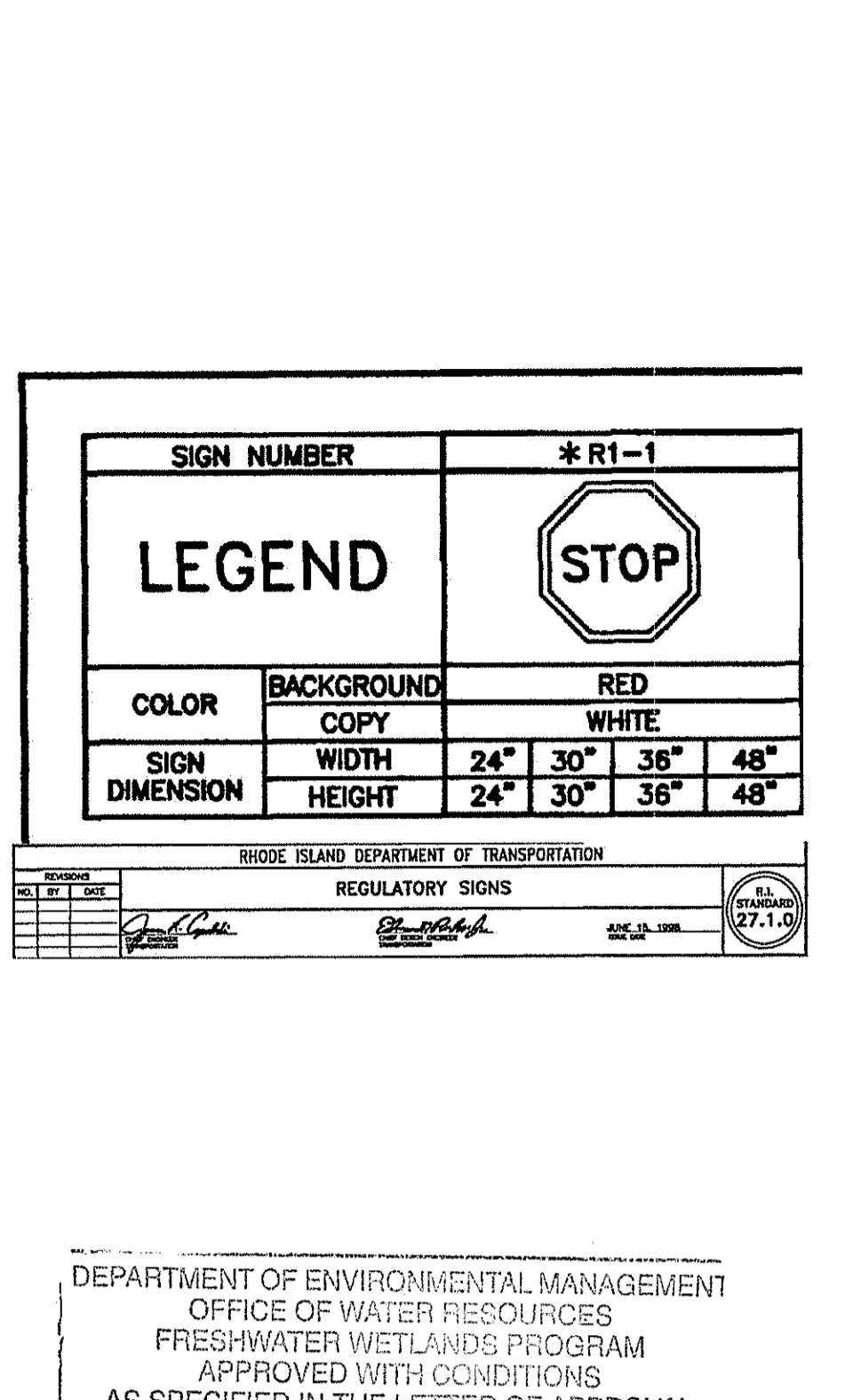
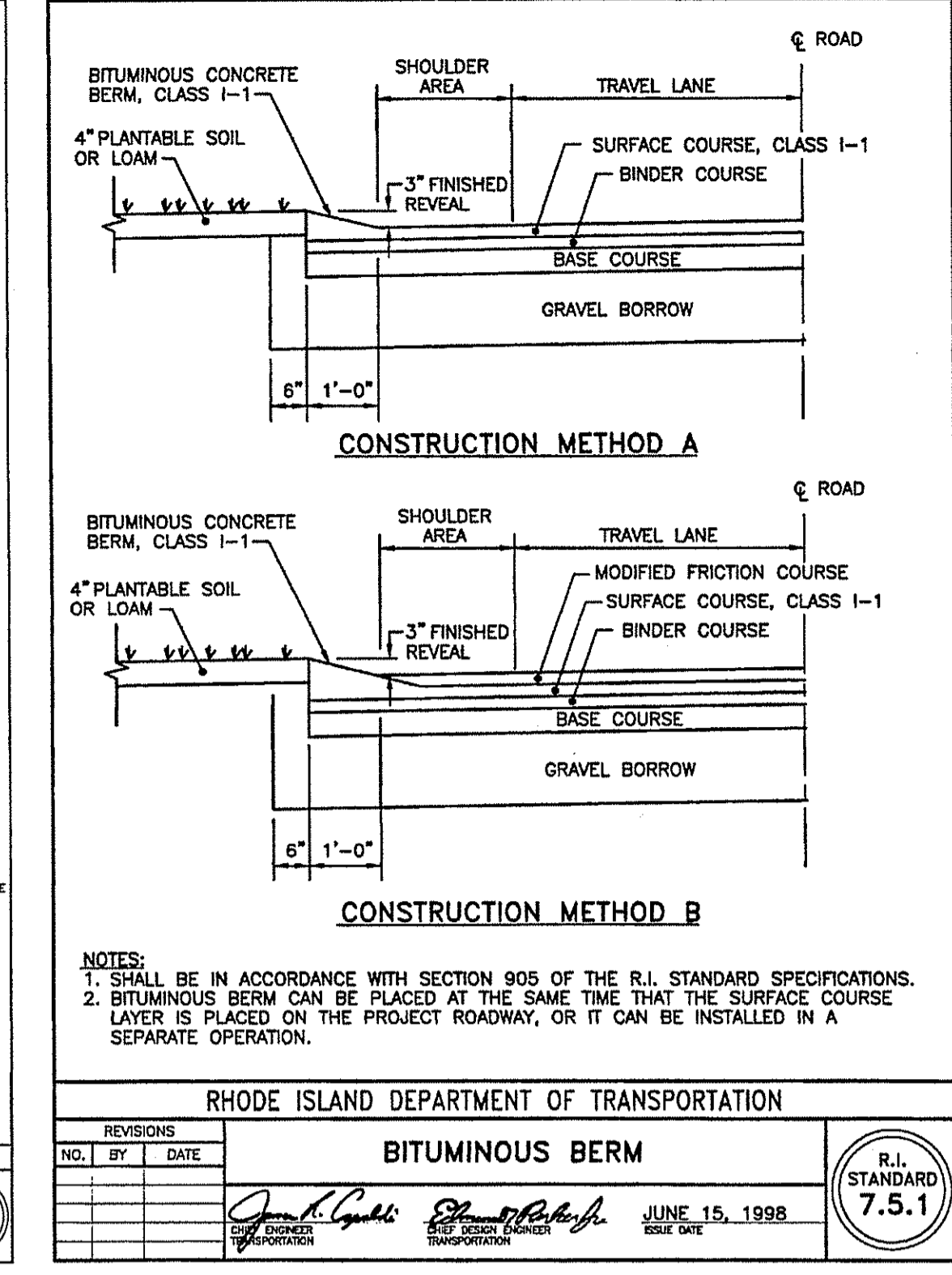
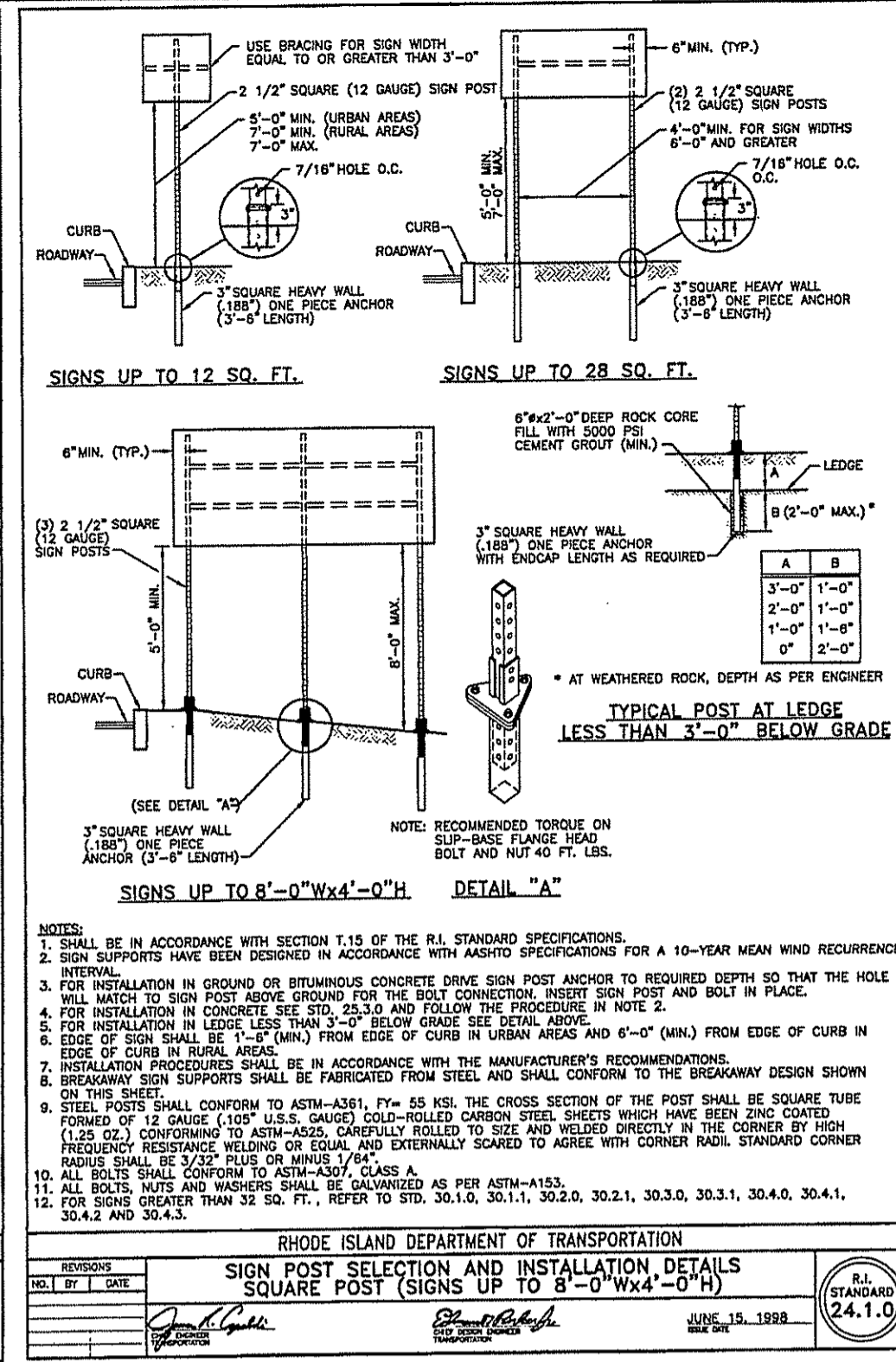
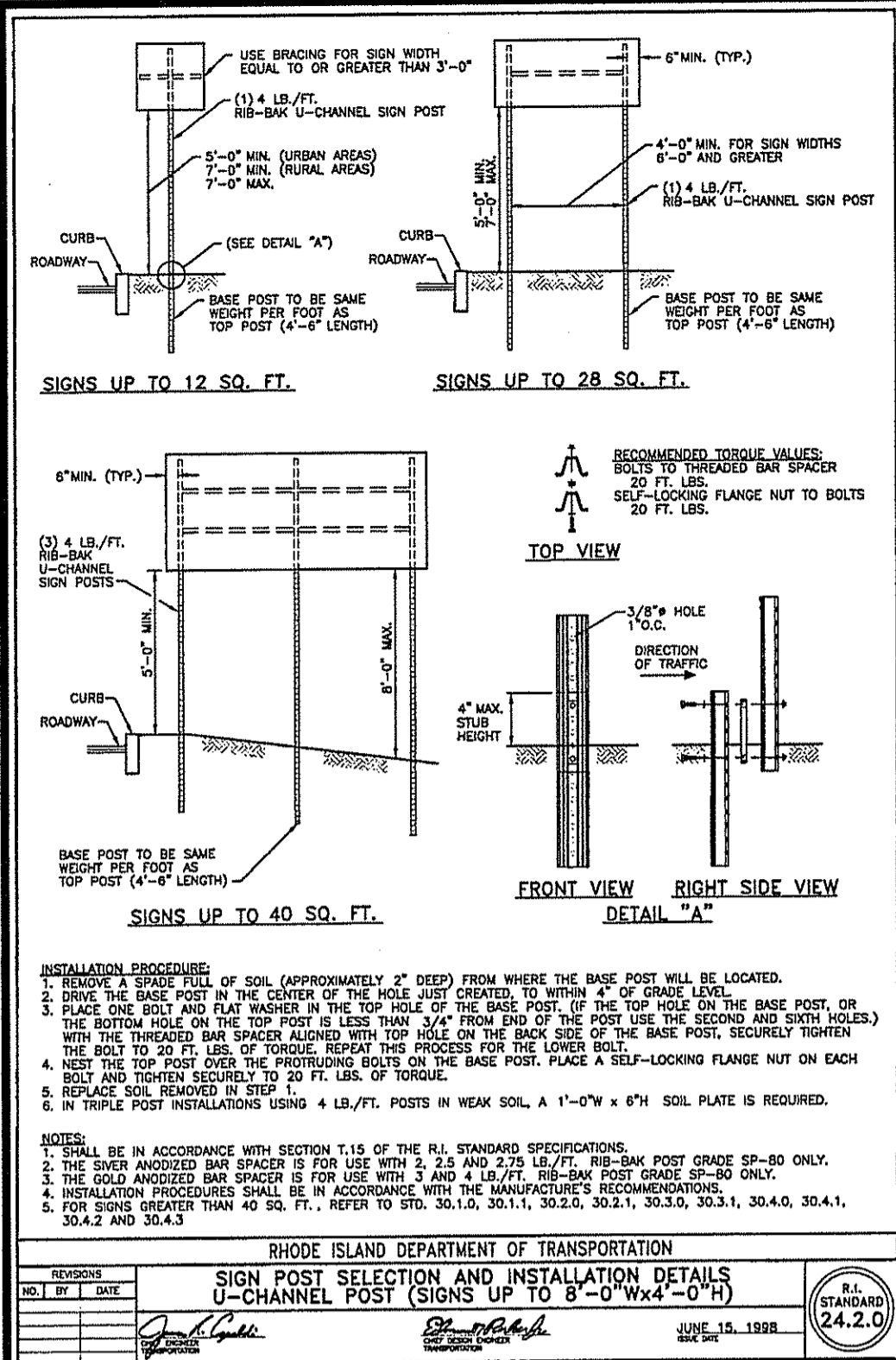
AVAILABLE FENCE HEIGHTS (FEET)

ELEVATION WITH SINGLE GATE

ELEVATION WITH DOUBLE GATE

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 802 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 8 GAUGE STREET CLIPS TO BE USED TO FASTEN SPRING TENSION WIRE TO LINE POST.
 3. SPRING TENSION WIRE - NO. 7 GAUGE CORRUGATED HEAVILY GALVANIZED (2.0 OZ. PER SQ. FT.) ALUMINUM COATED (0.4 OZ. PER SQ. FT.)
 4. ALL PIPES REFER TO SCHEDULE 40 NOMINAL PIPE SIZES.
 5. A 1 1/4"-2.27# TOP RAIL MAY BE SUBSTITUTED FOR THE TOP TENSION WIRE WHEN THE FENCE IS NOT LOCATED IN THE CLEAR ZONE.
 6. WHEN A TOP RAIL IS USED, LOCATE THE BRACE RAIL AT 1/2 H.
 7. WHEN A TOP RAIL IS USED, DELETE THE BOTTOM SPRING TENSION WIRE.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
 CHAIN LINK FENCE
 5'-0" TO 6'-0"
 R.I. STANDARD 31.2.0
 JUNE 15, 1998
 DATE

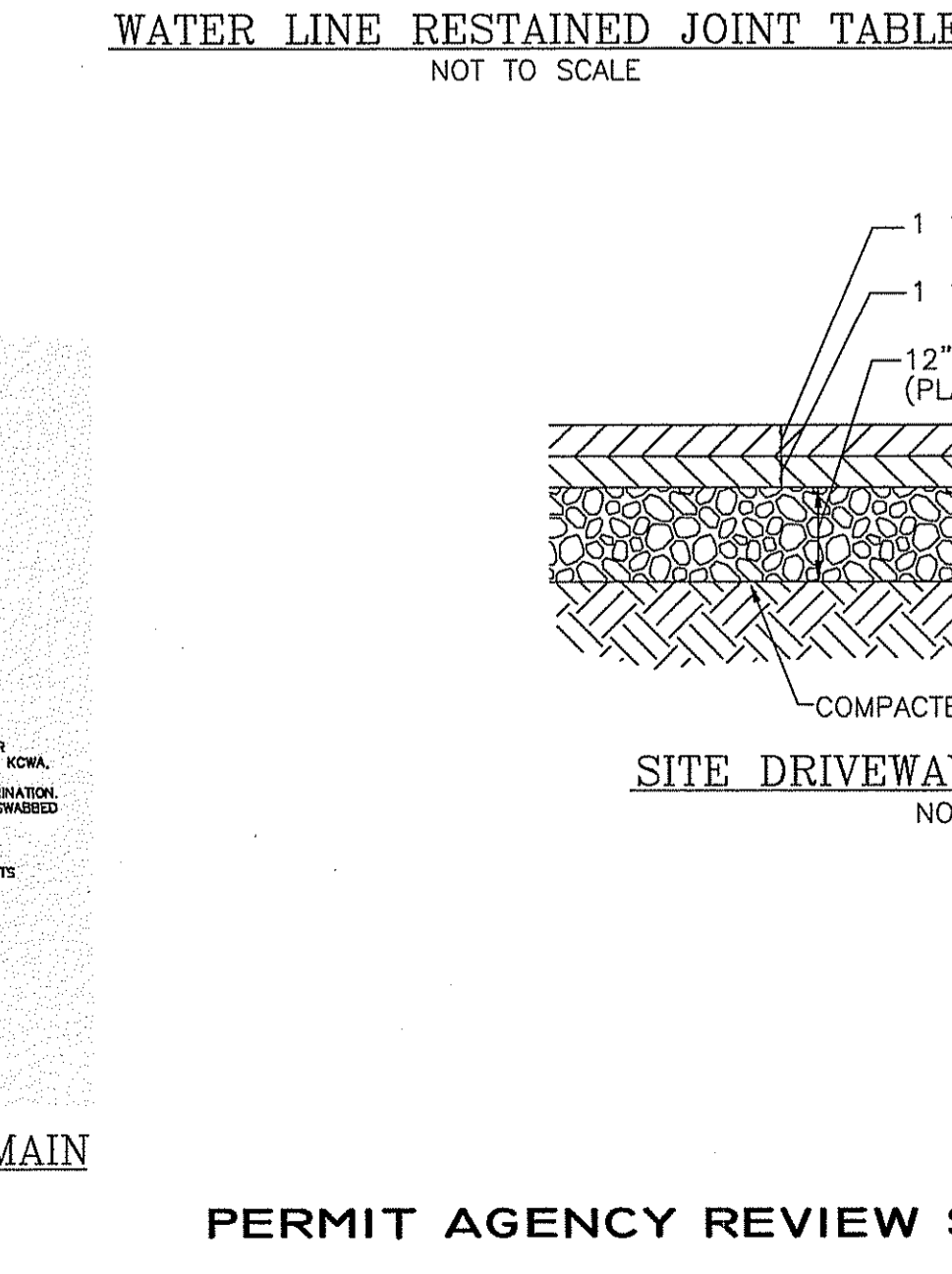
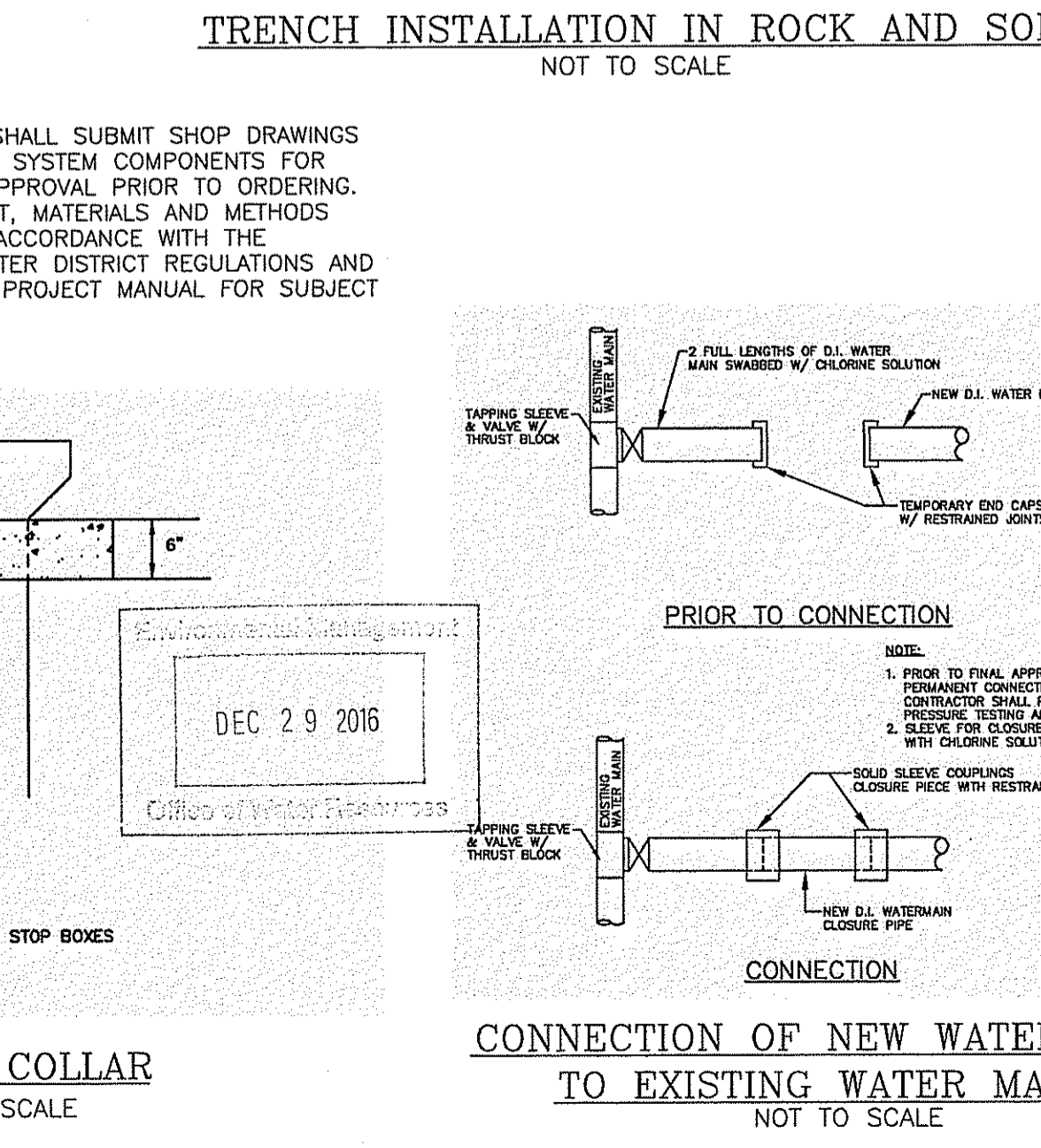
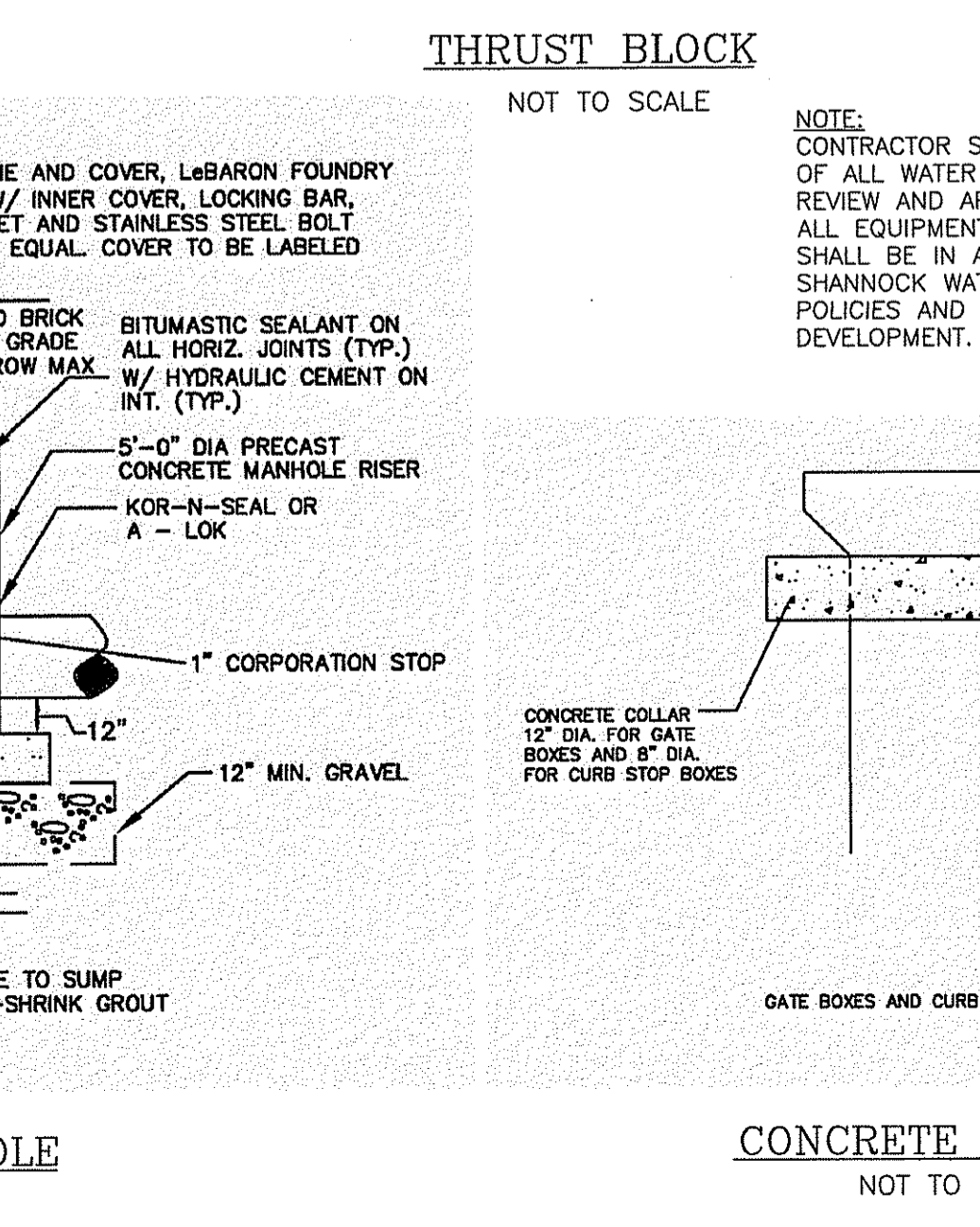
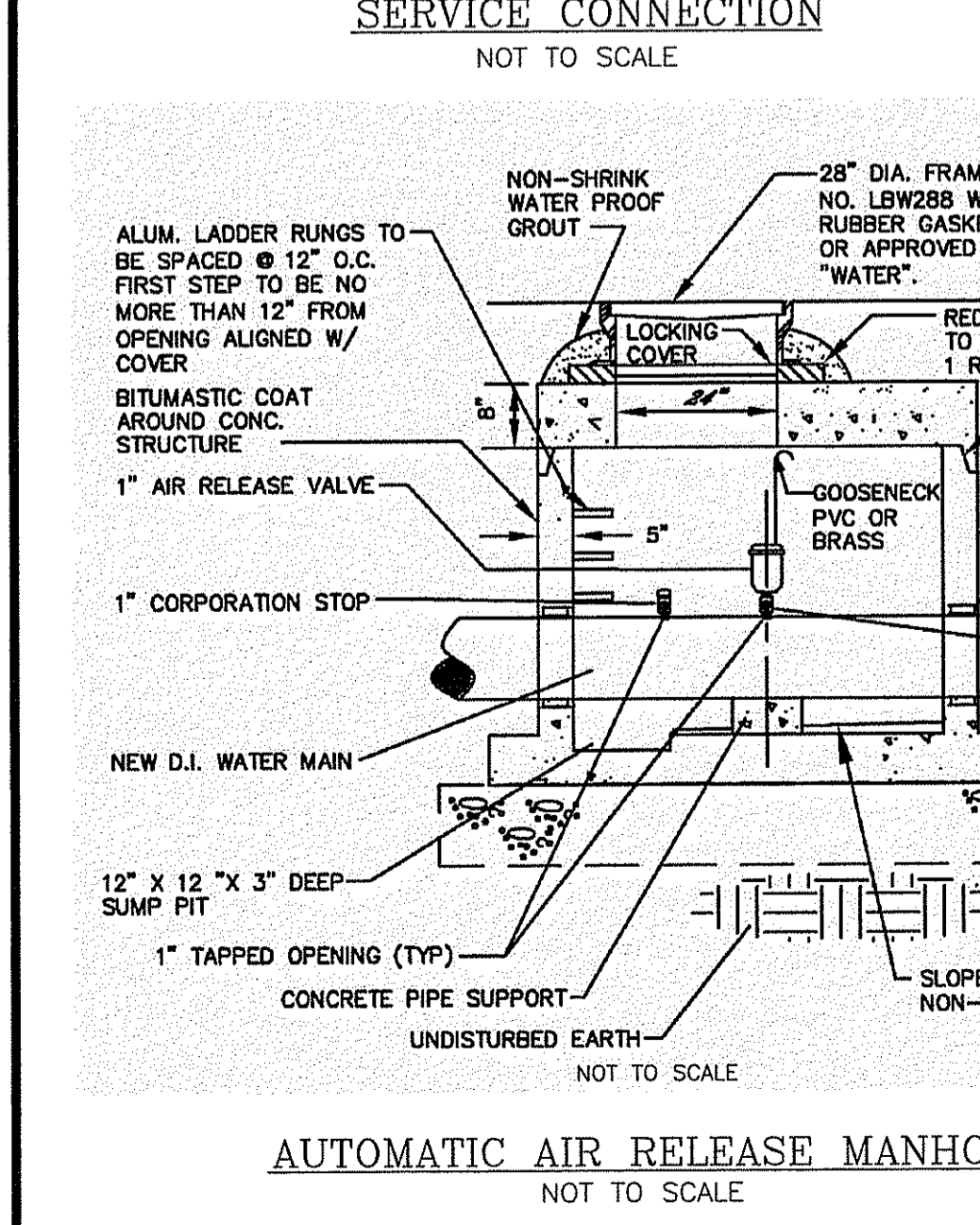
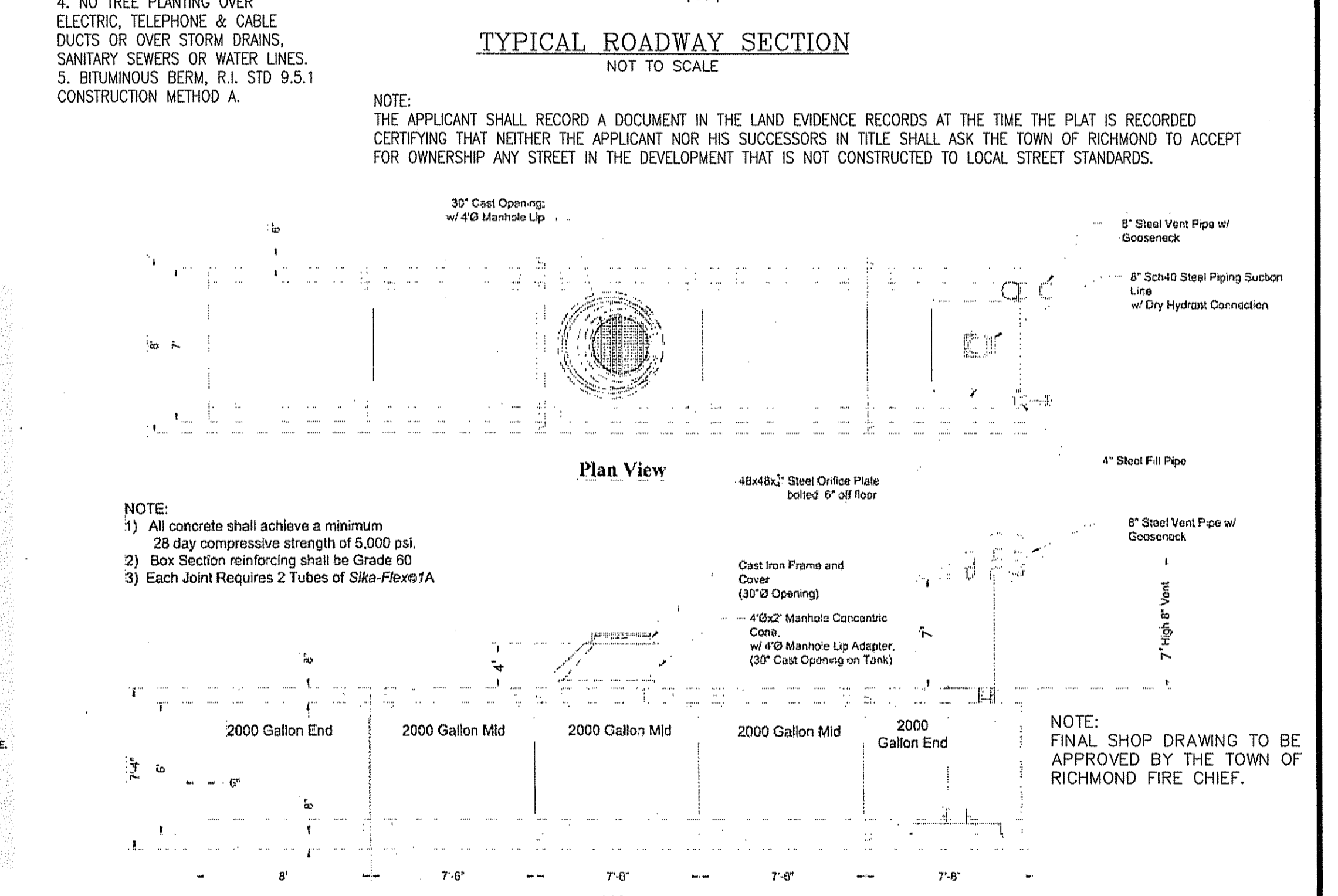


RESTRAINED PIPE LENGTHS FOR RESTRAINED FITTINGS

FITTING	RESTRAINED LENGTH
12" PLUG	94"
12" TEE	44"
12" 90°	56"
12" 45°	44"
12" 22 1/2°	22"
12" 11 1/4°	22"
8" PLUG	59"
8" TEE	44"
8" 90°	44"
8" 45°	22"
8" 22 1/2°	22"
8" 11 1/4°	22"
6" x 6"	44"
6" PLUG & 4" PLUG	44"
6" TEE & 4" TEE	22"
6" 90° & 4" 90°	22"
6" 45° & 4" 45°	22"
6" 22 1/2° & 4" 22 1/2°	22"
6" 11 1/4° & 4" 11 1/4°	22"

NOTES:

- ALL JOINTS INCLUDING PIPE JOINTS, VALVE JOINTS, AND FITTING JOINTS SHALL BE RESTRAINED WITHIN THE LIMITS OF RESTRAINED LENGTHS LISTED ON THIS TABLE. MECHANICAL JOINT PIPE AND MECHANICAL RESTRAINTS SHALL BE IN ACCORDANCE WITH THE ABOVE TABLE.
- THE TABLE SHOWS LENGTHS OF PIPES WHICH MUST BE RESTRAINED ON BOTH SIDES OF THE FITTING.
- ALL DEAD END PIPE SHALL BE PROPERLY RESTRAINED PRIOR TO PRESSURE TESTING.
- REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF R.I. SHALL VERIFY ALL RESTRAINED CALCULATIONS & LENGTHS DURING DESIGN, MEETING ALL REQUIREMENTS OF THE KCWA.



PERMIT AGENCY REVIEW SET

OWNER
ALMAMONTE RIDGE, LLC
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

APPLICANT
WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

REVISIONS

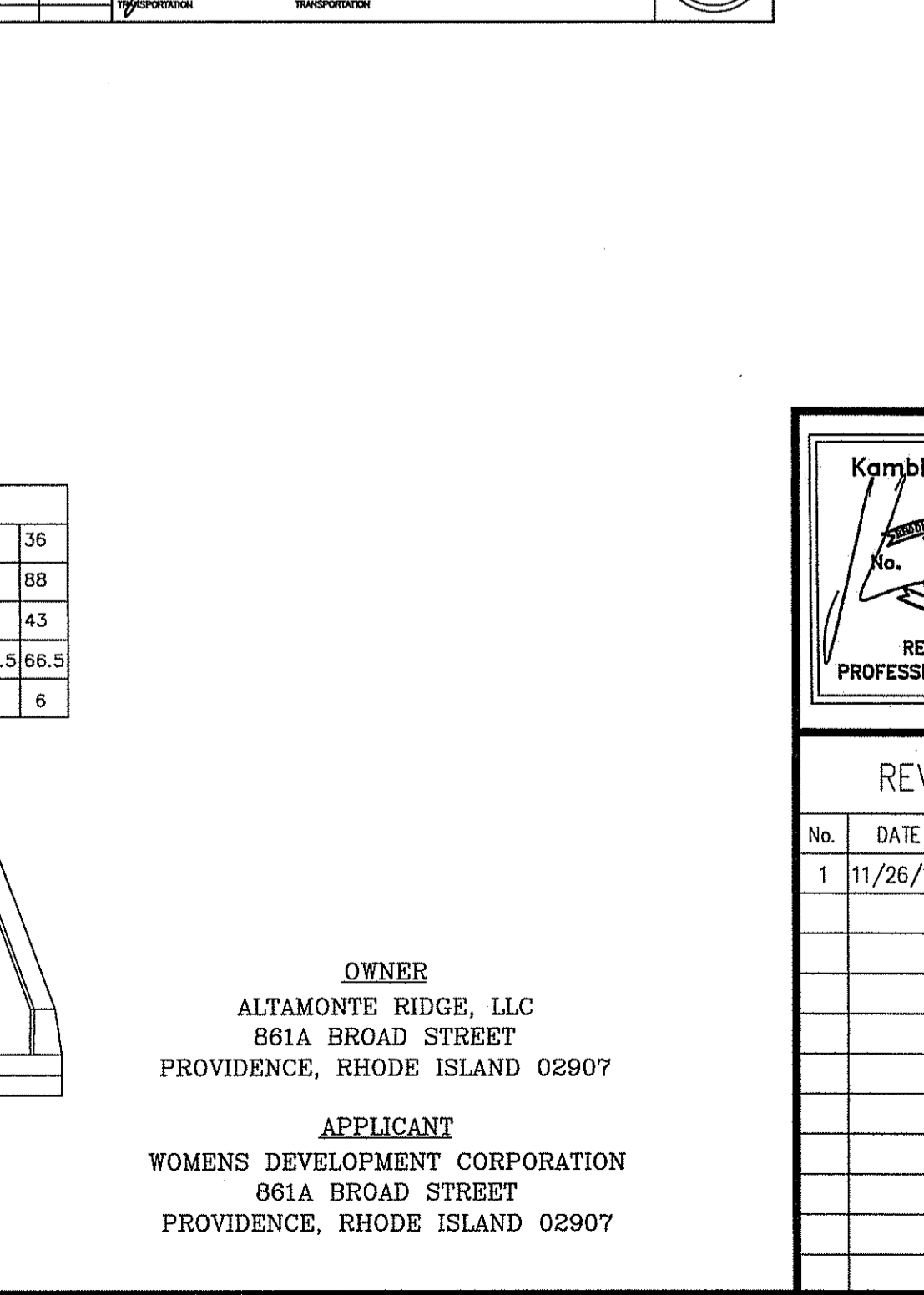
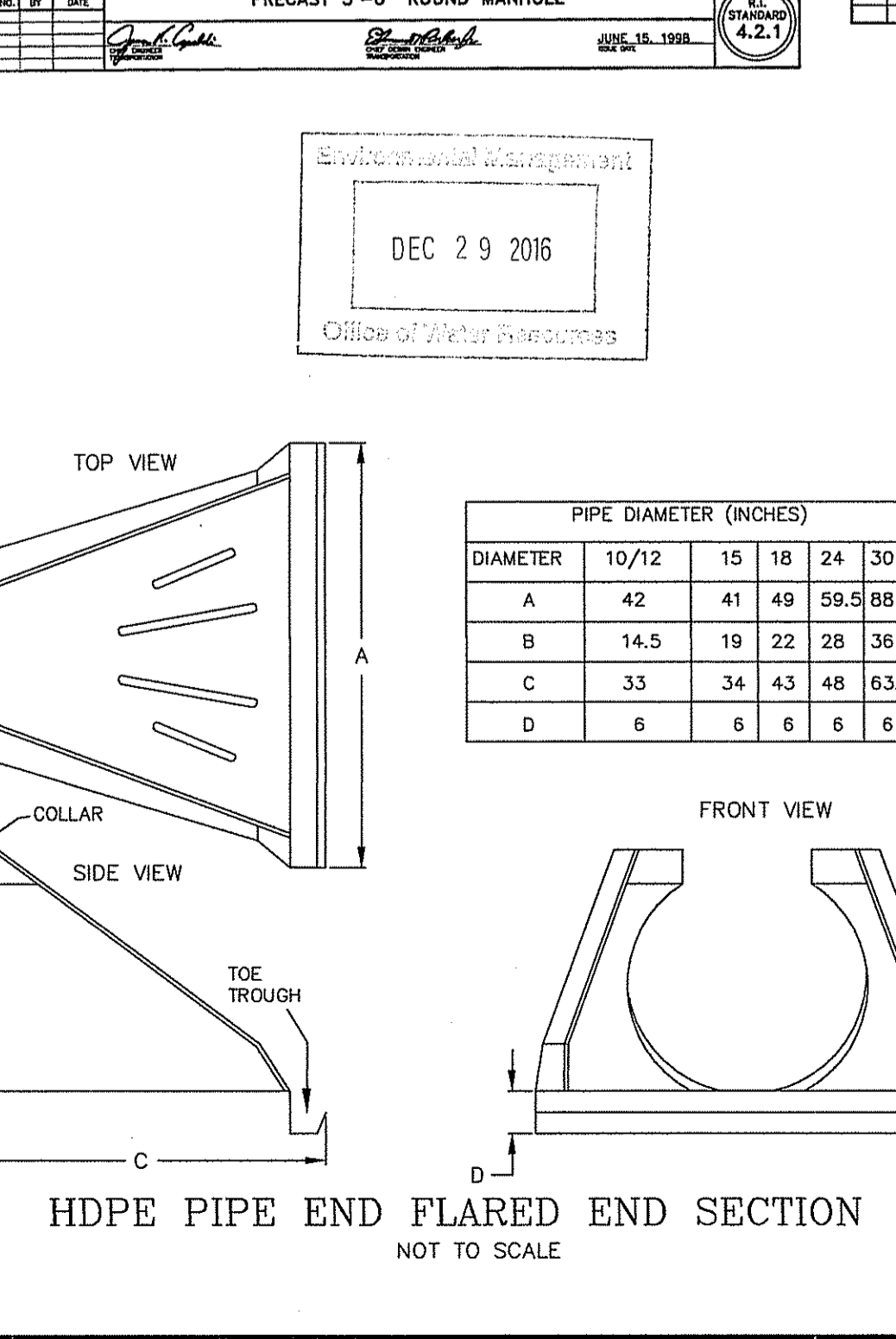
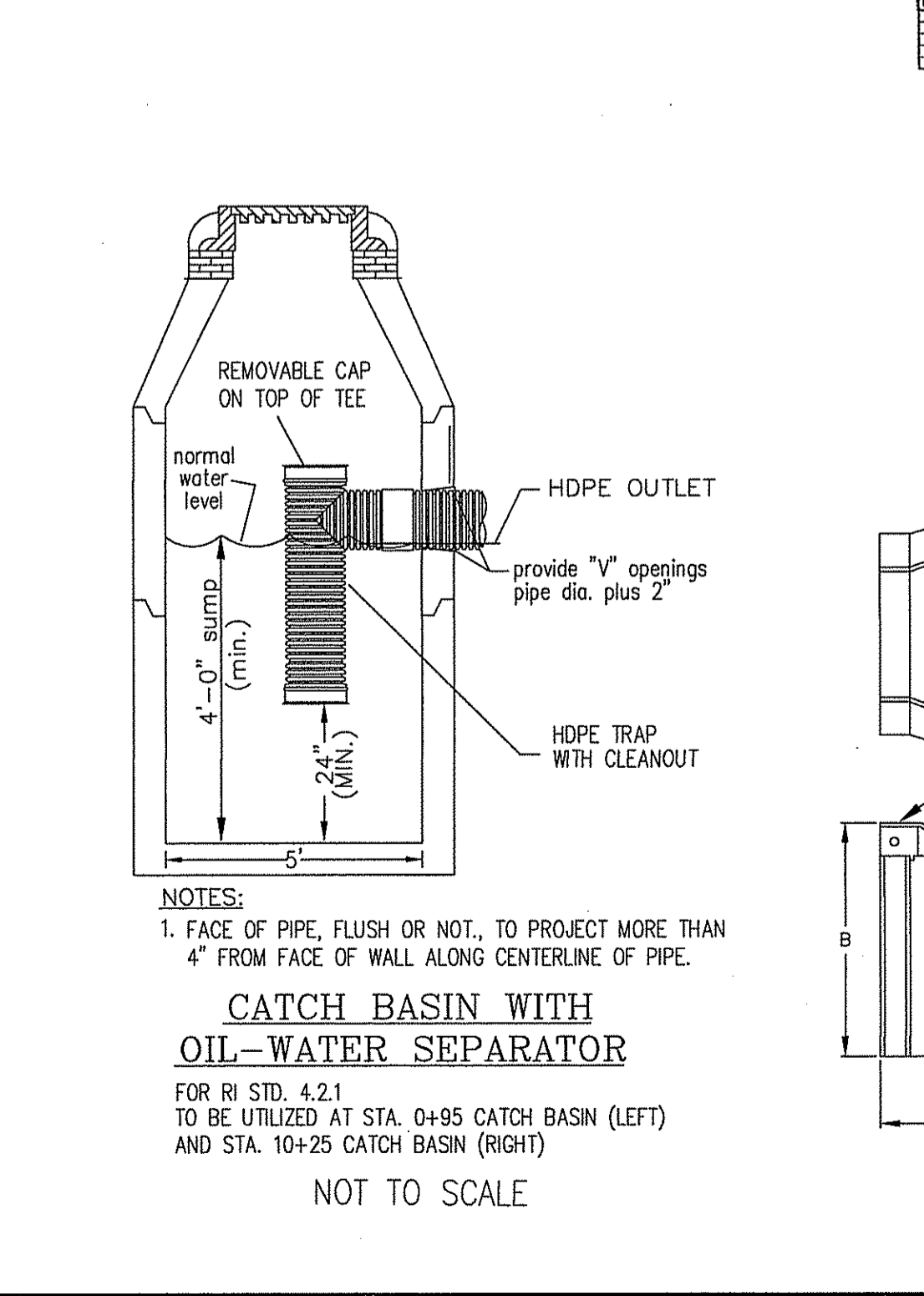
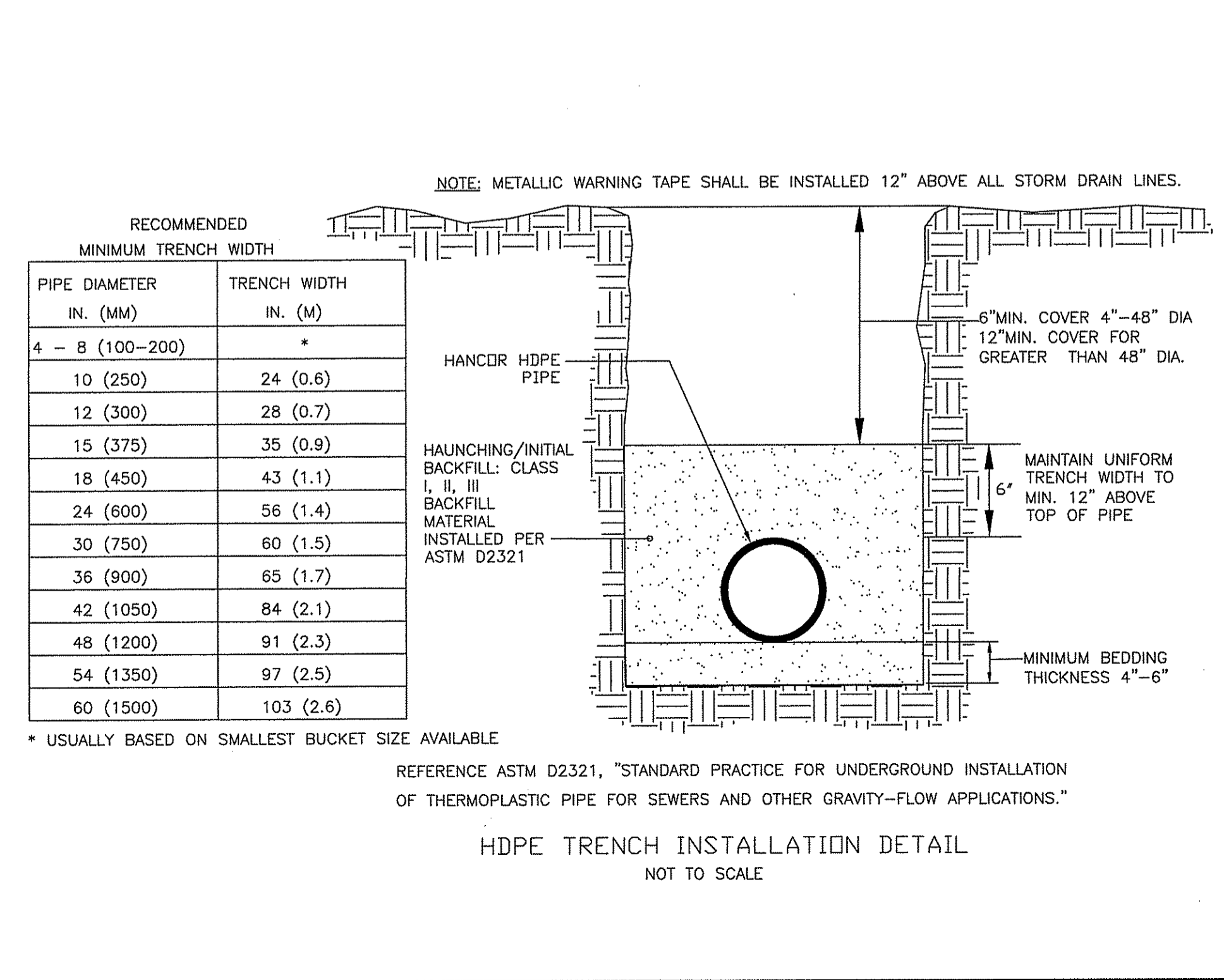
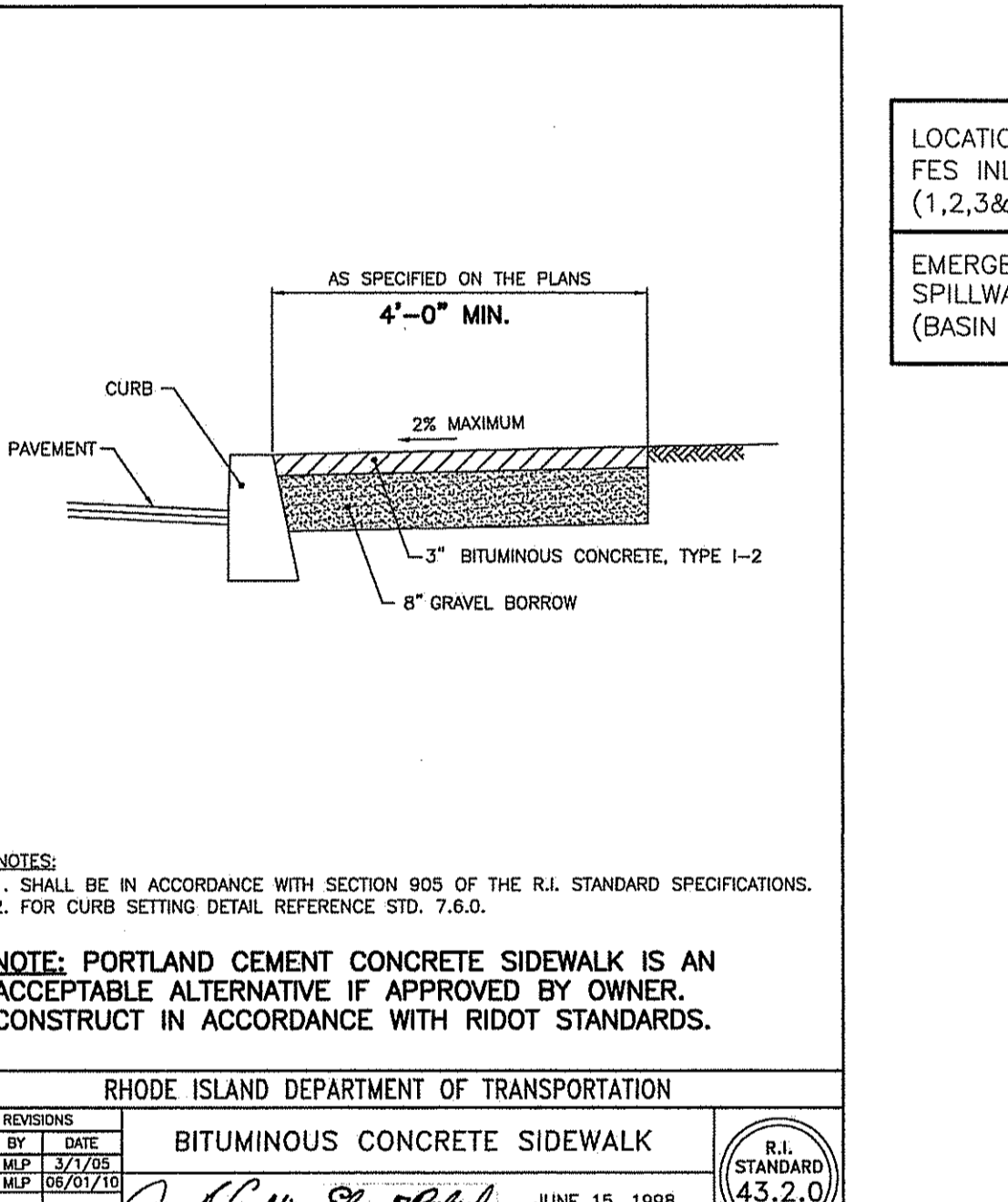
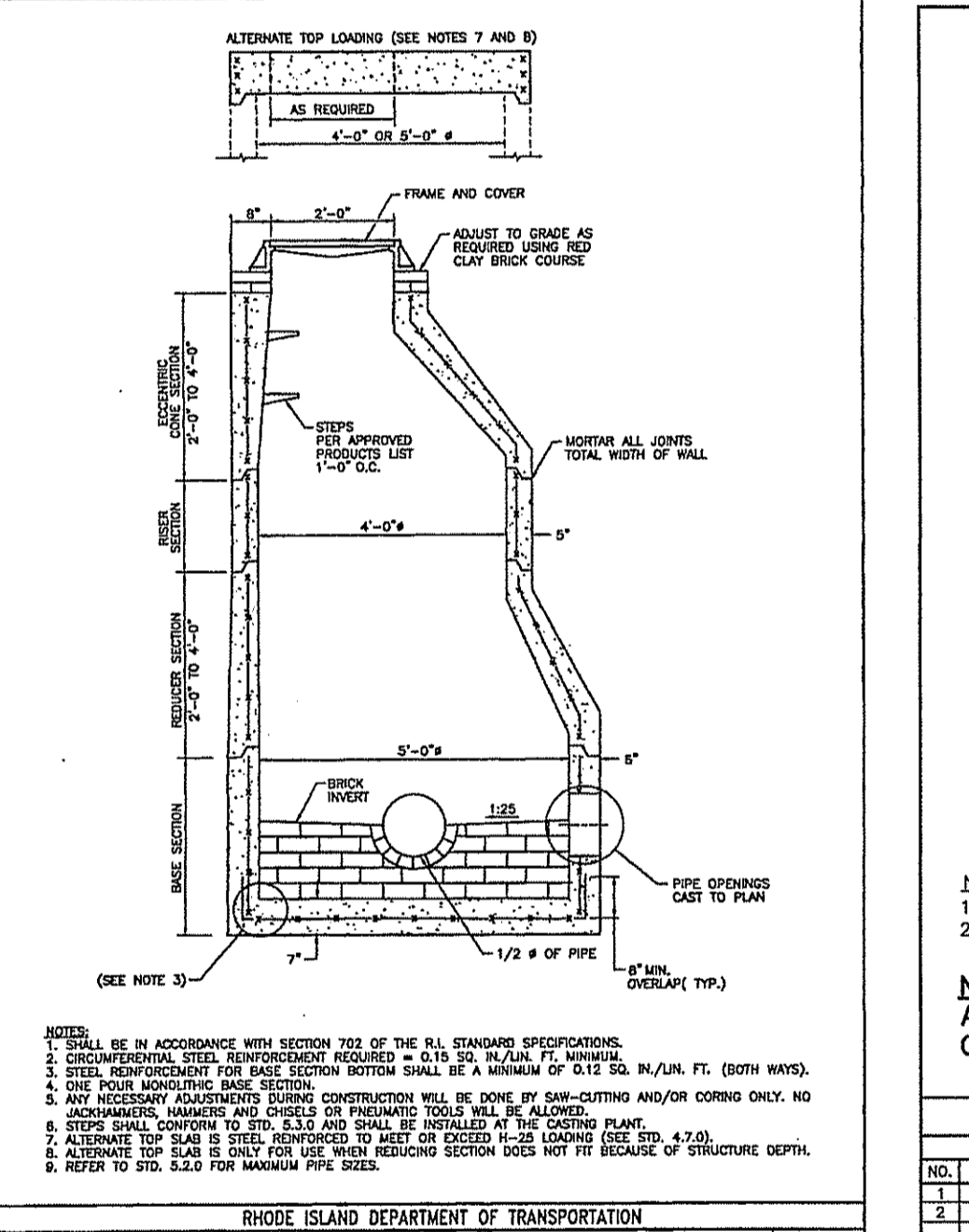
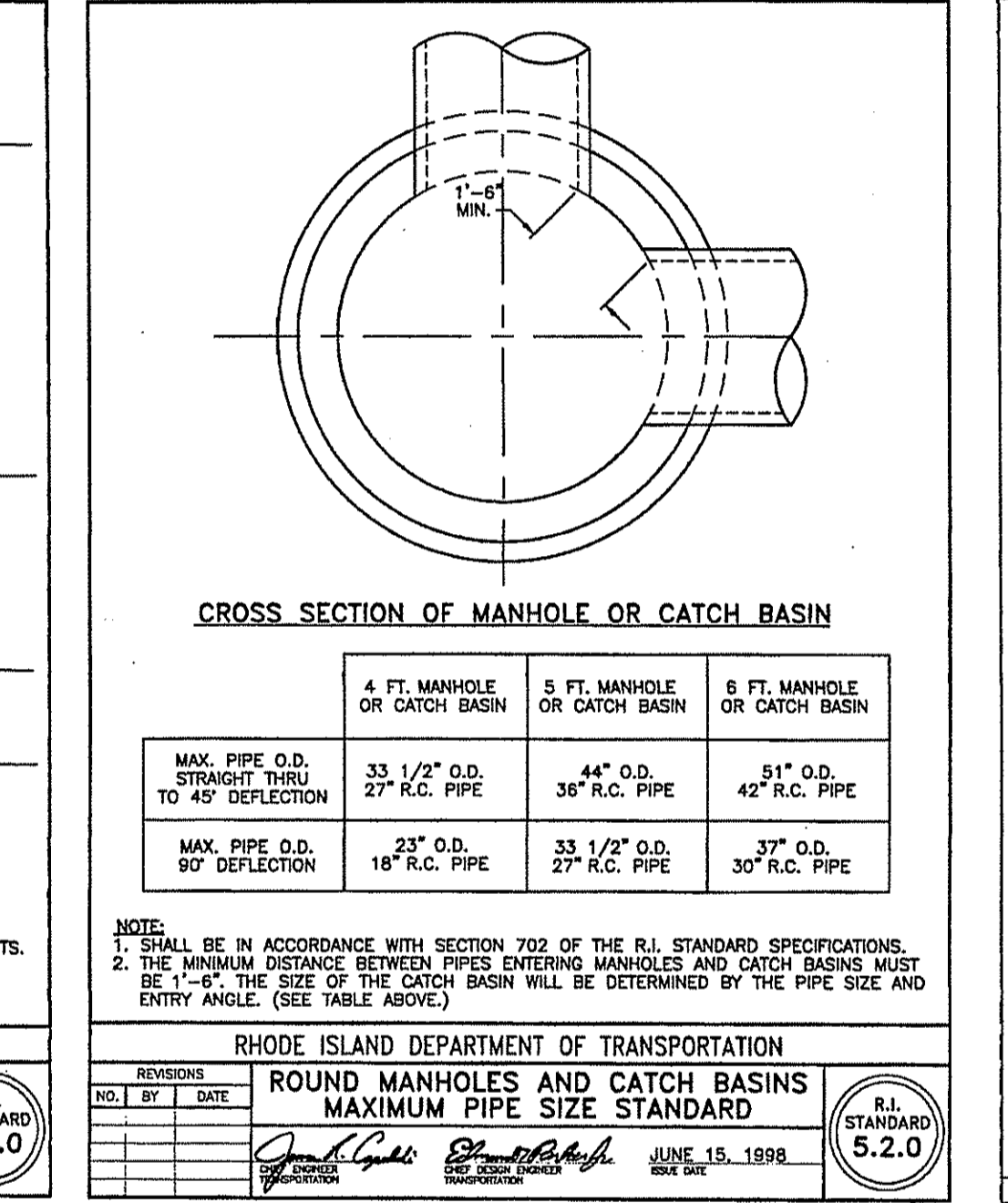
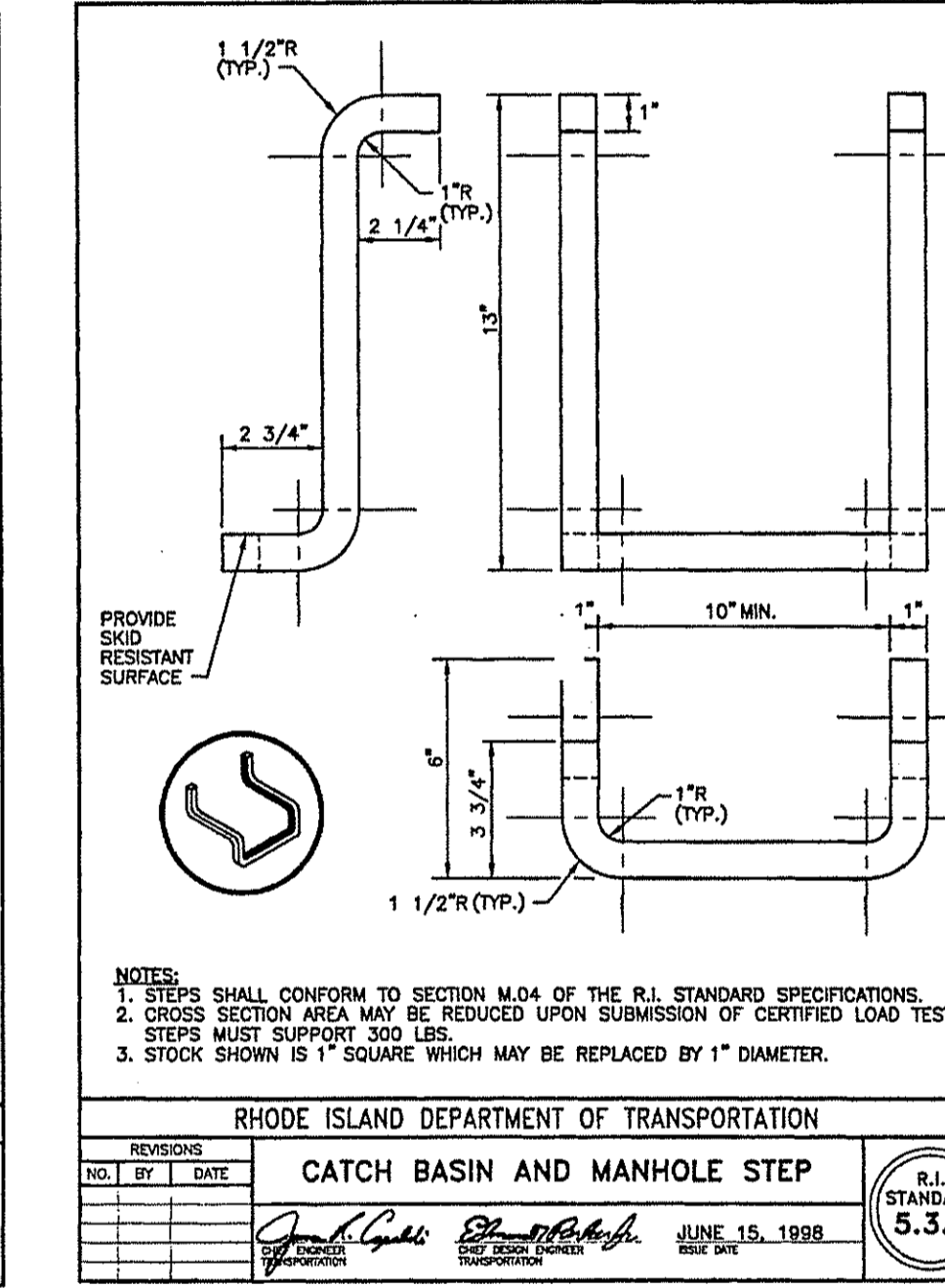
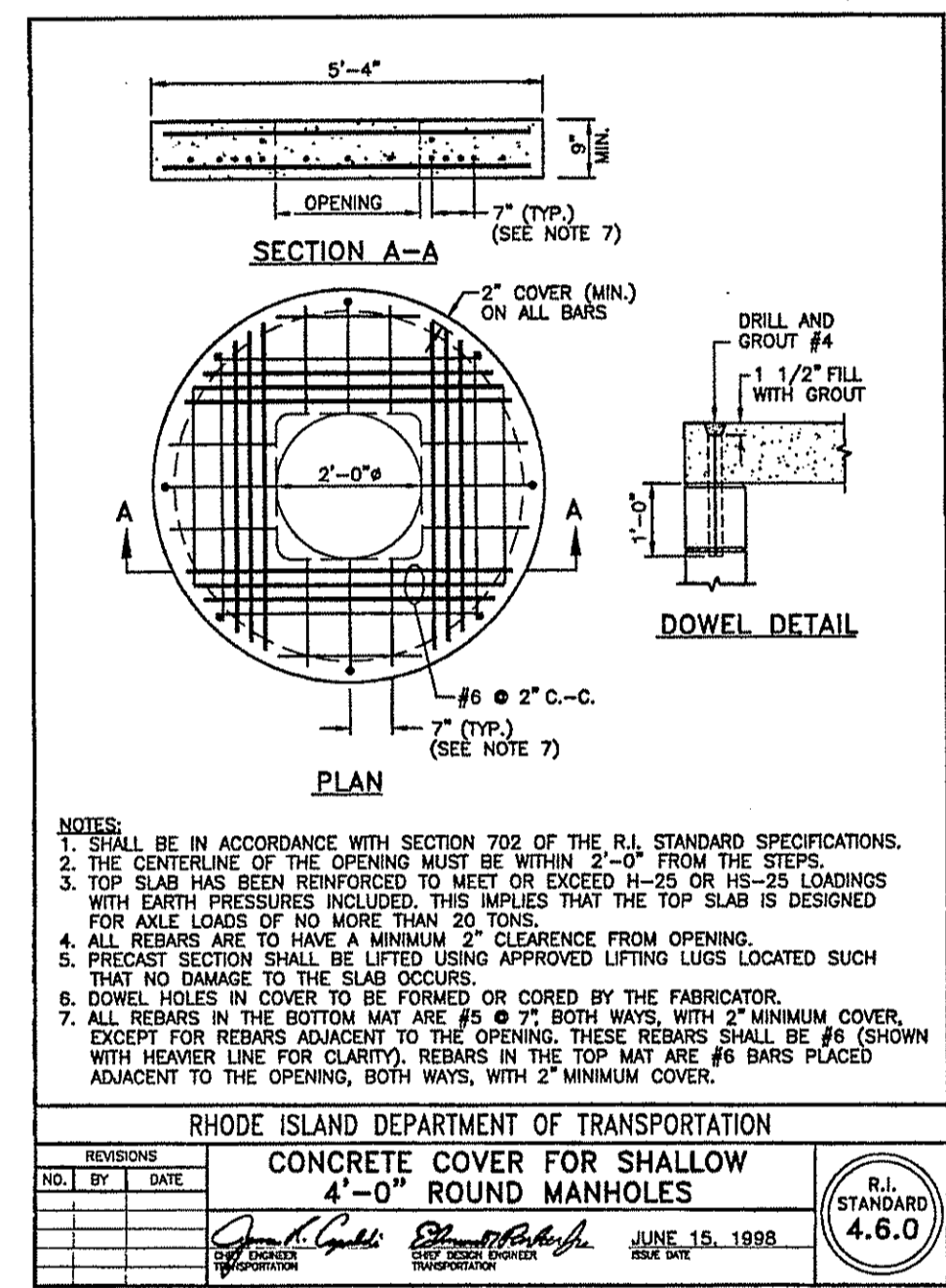
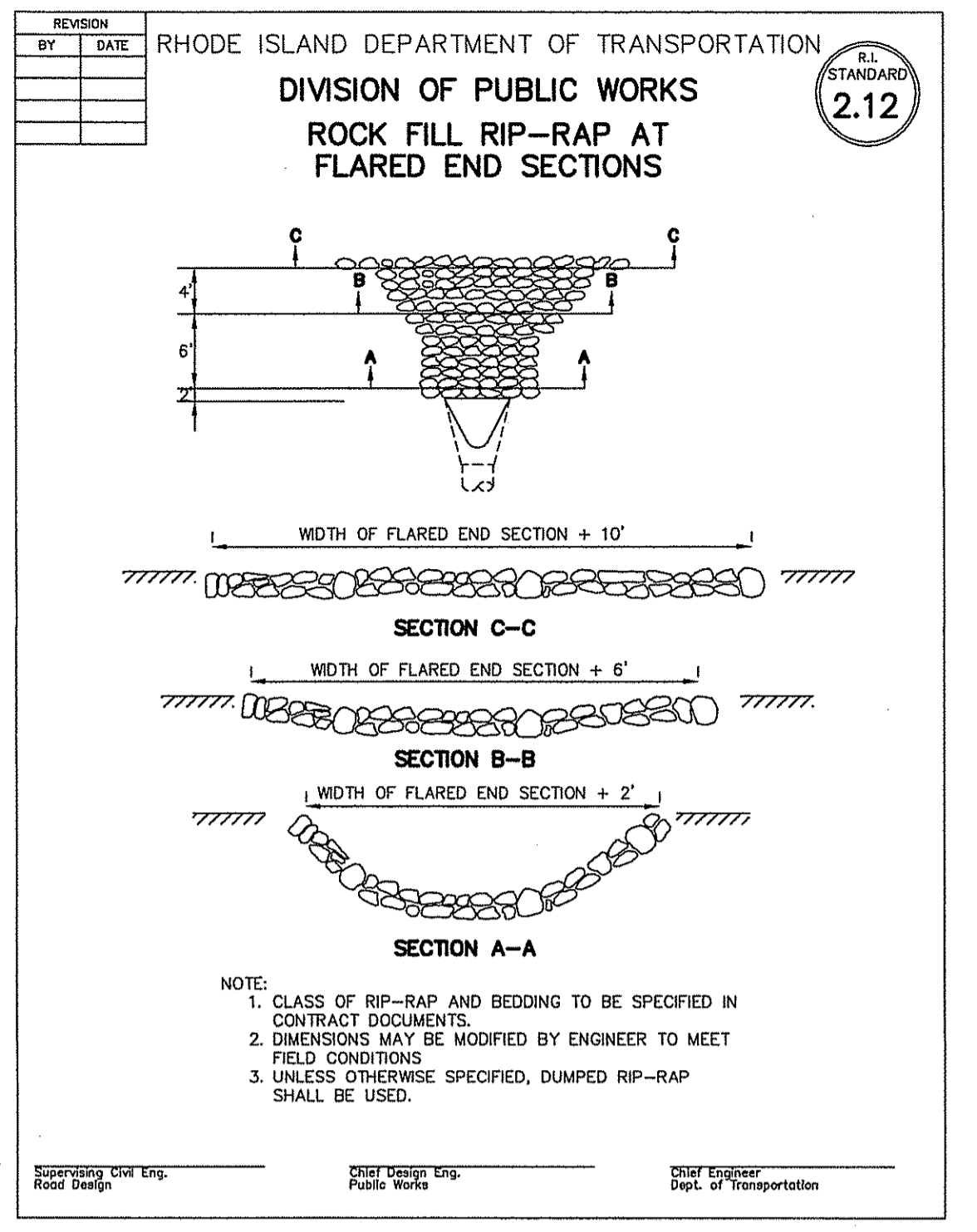
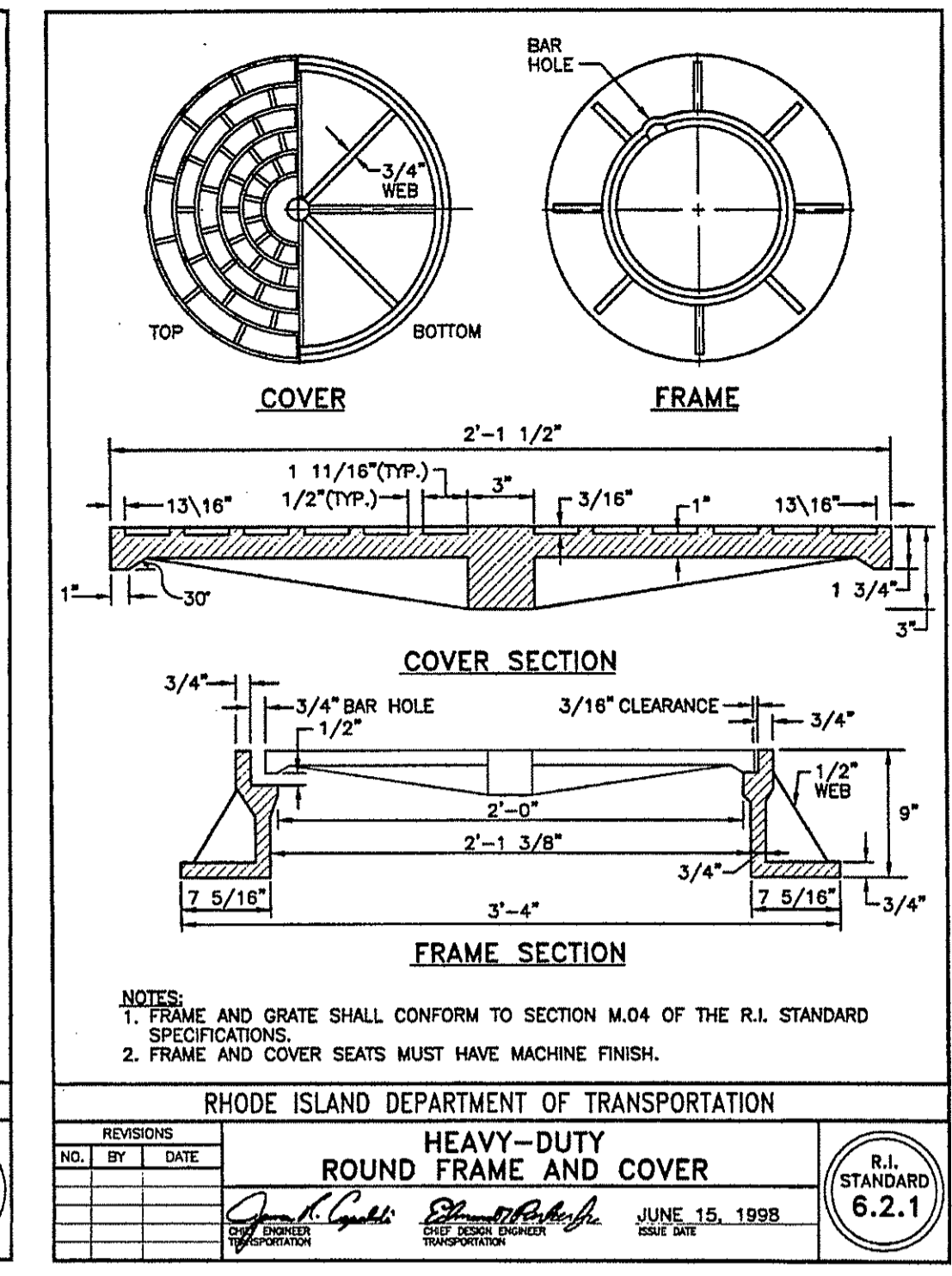
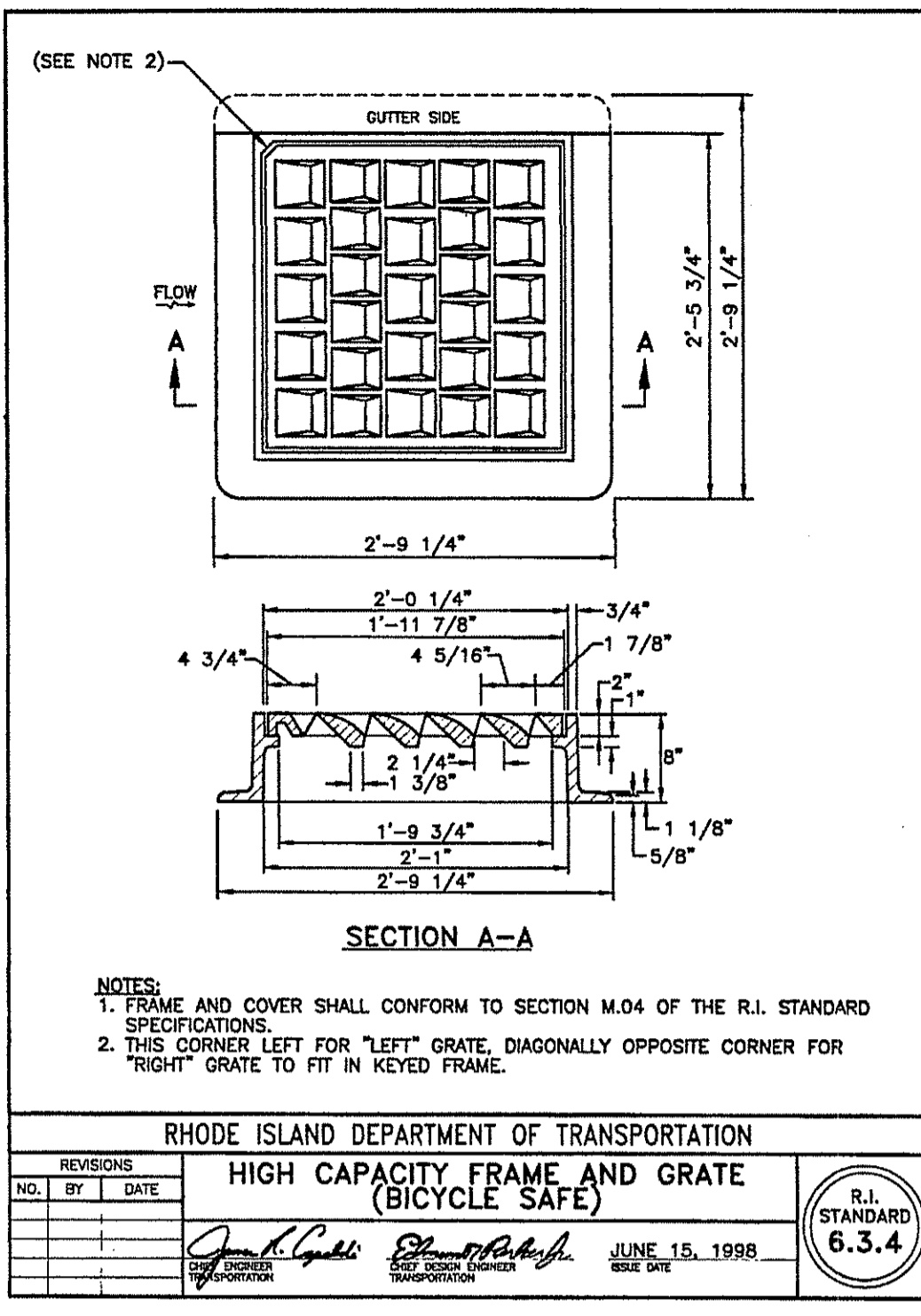
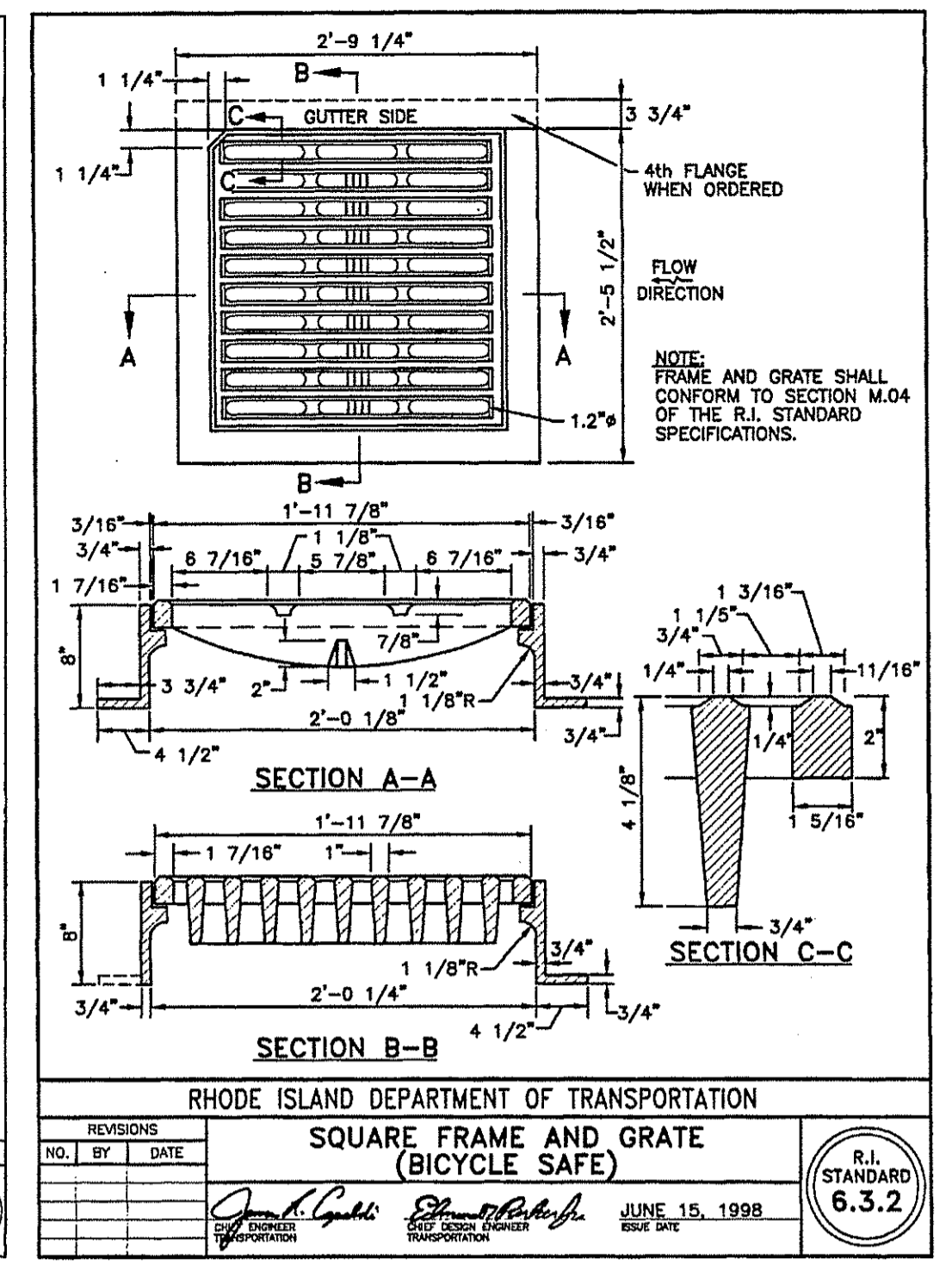
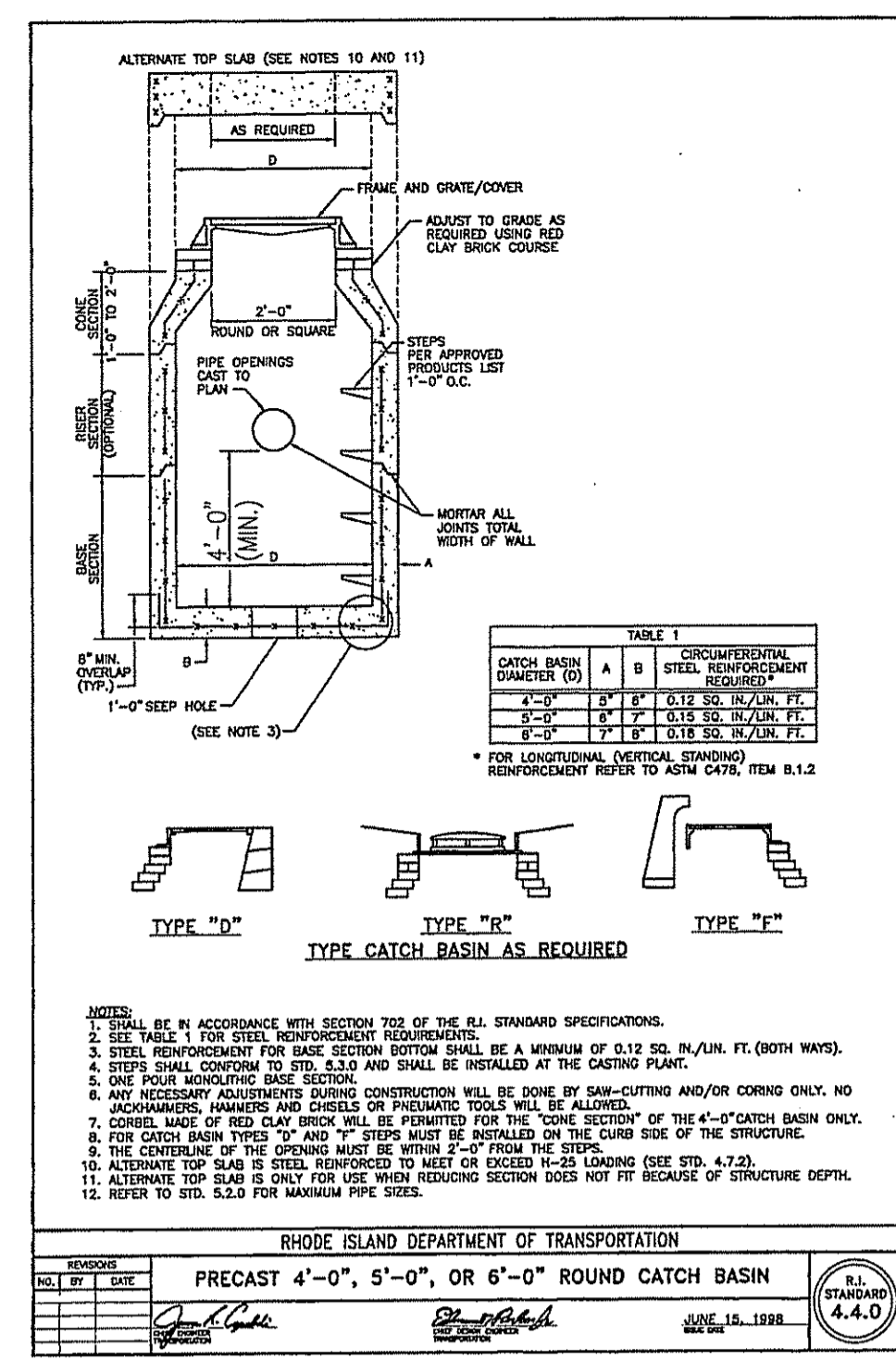
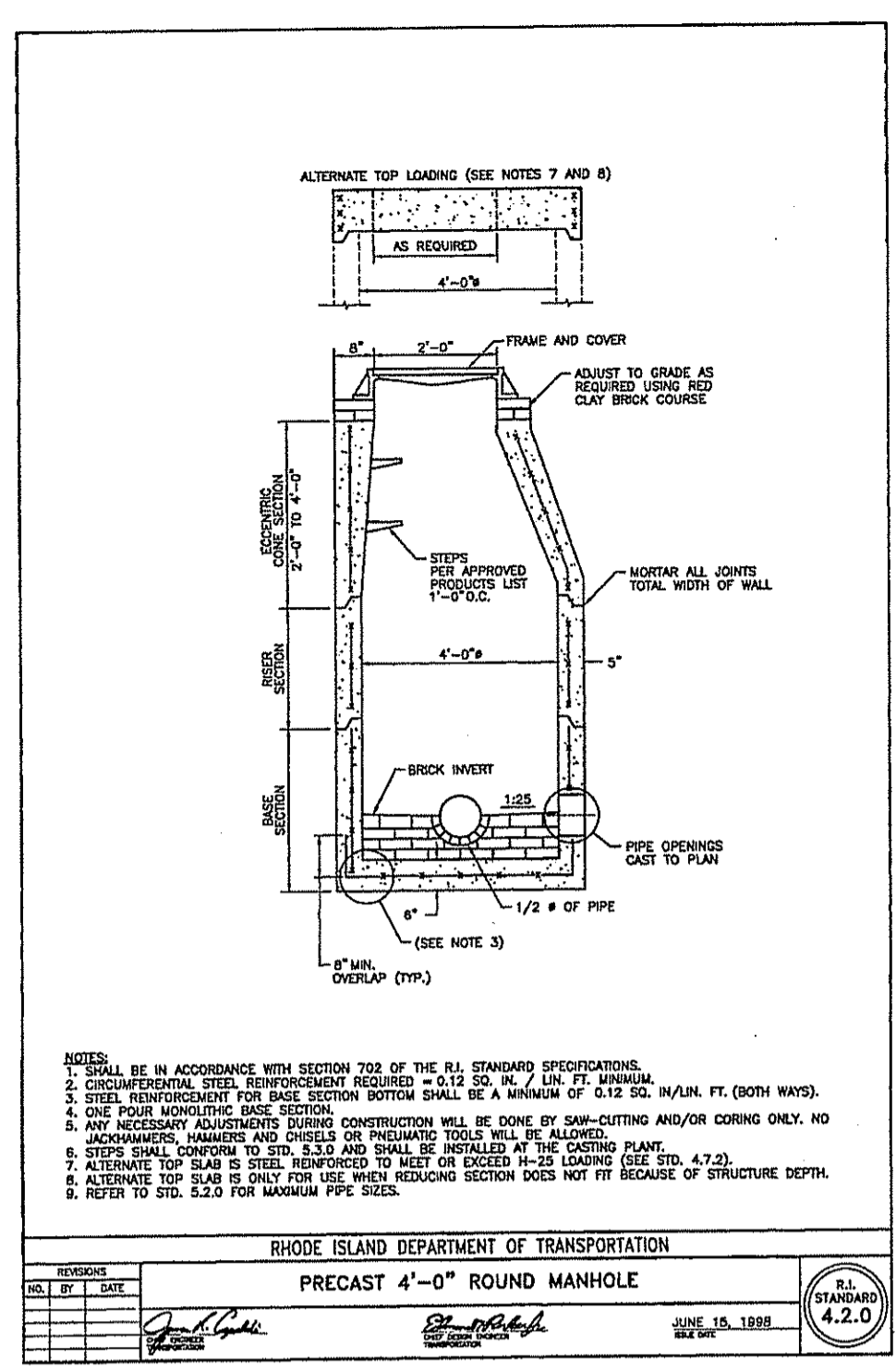
No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

PROFESSIONAL ENGINEER
Kambiz Korbassi
No. 11-28-16
REGISTERED PROFESSIONAL ENGINEER

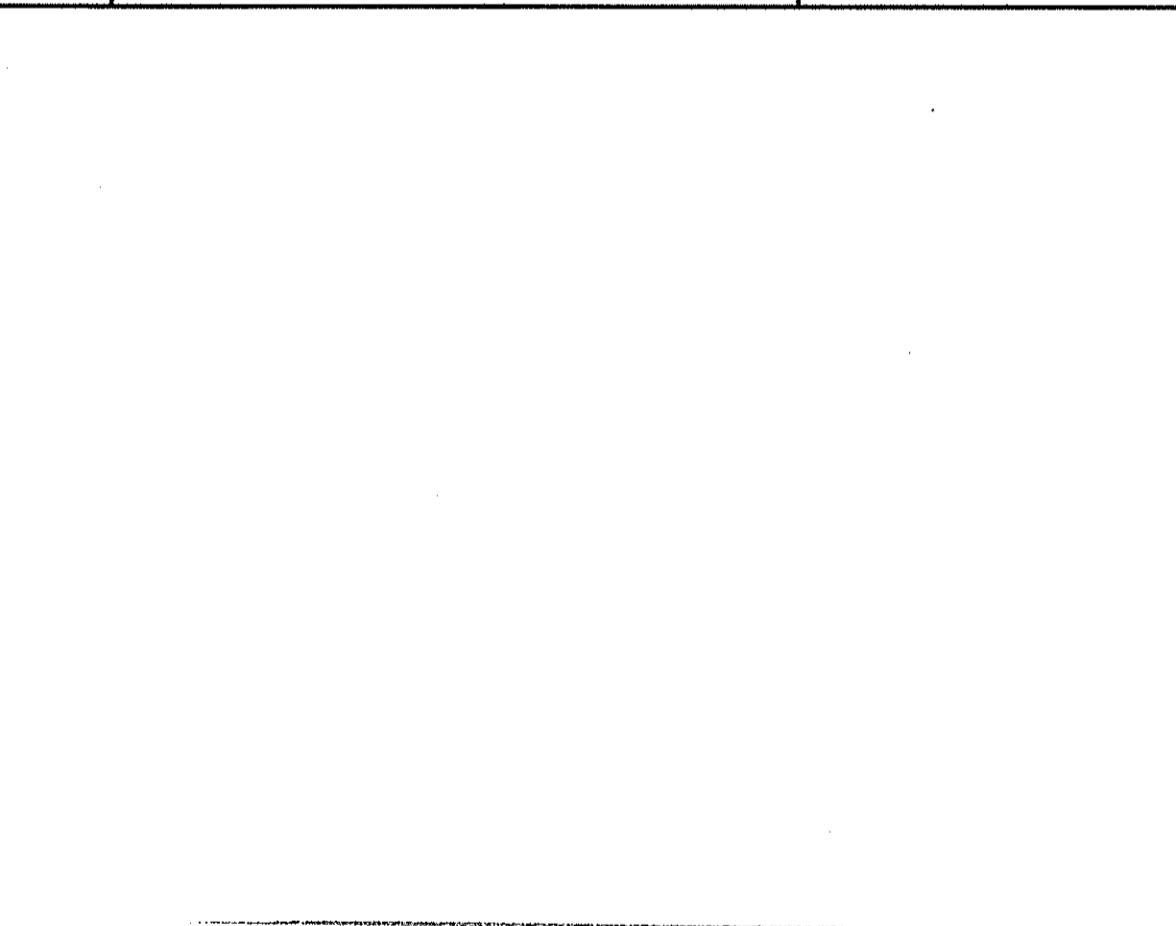
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908

PRELIMINARY PLAN SUBMISSION
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
RICHMOND, RHODE ISLAND
CONSTRUCTION DETAILS #2

SCALE: AS NOTED SHEET NO: 20 OF 24
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 11/18/16 PROJECT NO.: 04145.00



LOCATION FES INLETS (1,2,3&4)	NSA SIZE MODIFIED NO.(RIP-RAP, BEDDING) R-3, FS-2	DEPTH(RIP-RAP, BEDDING) 12", 6"
EMERGENCY SPILLWAYS (BASIN 1,2&3)	R-2, FS-1	6", 3"



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 06 2017 FILE # 16-0319
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Matthew D. Wenseck

PERMIT AGENCY REVIEW SET

Kambiz Karbassi
REGISTERED PROFESSIONAL ENGINEER

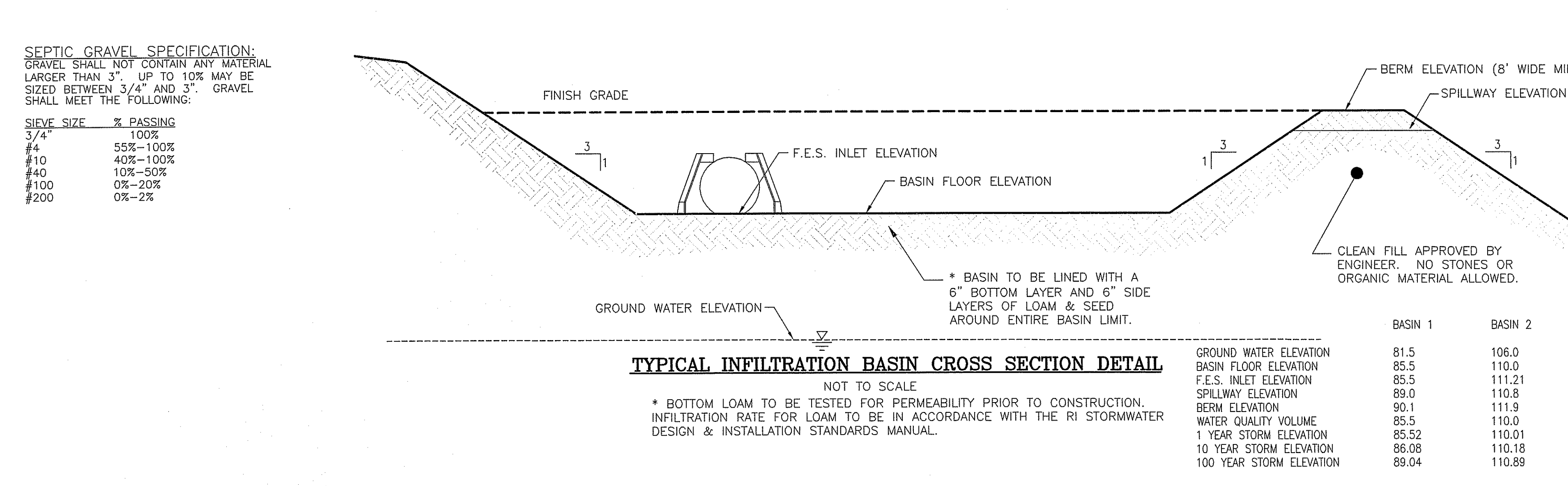
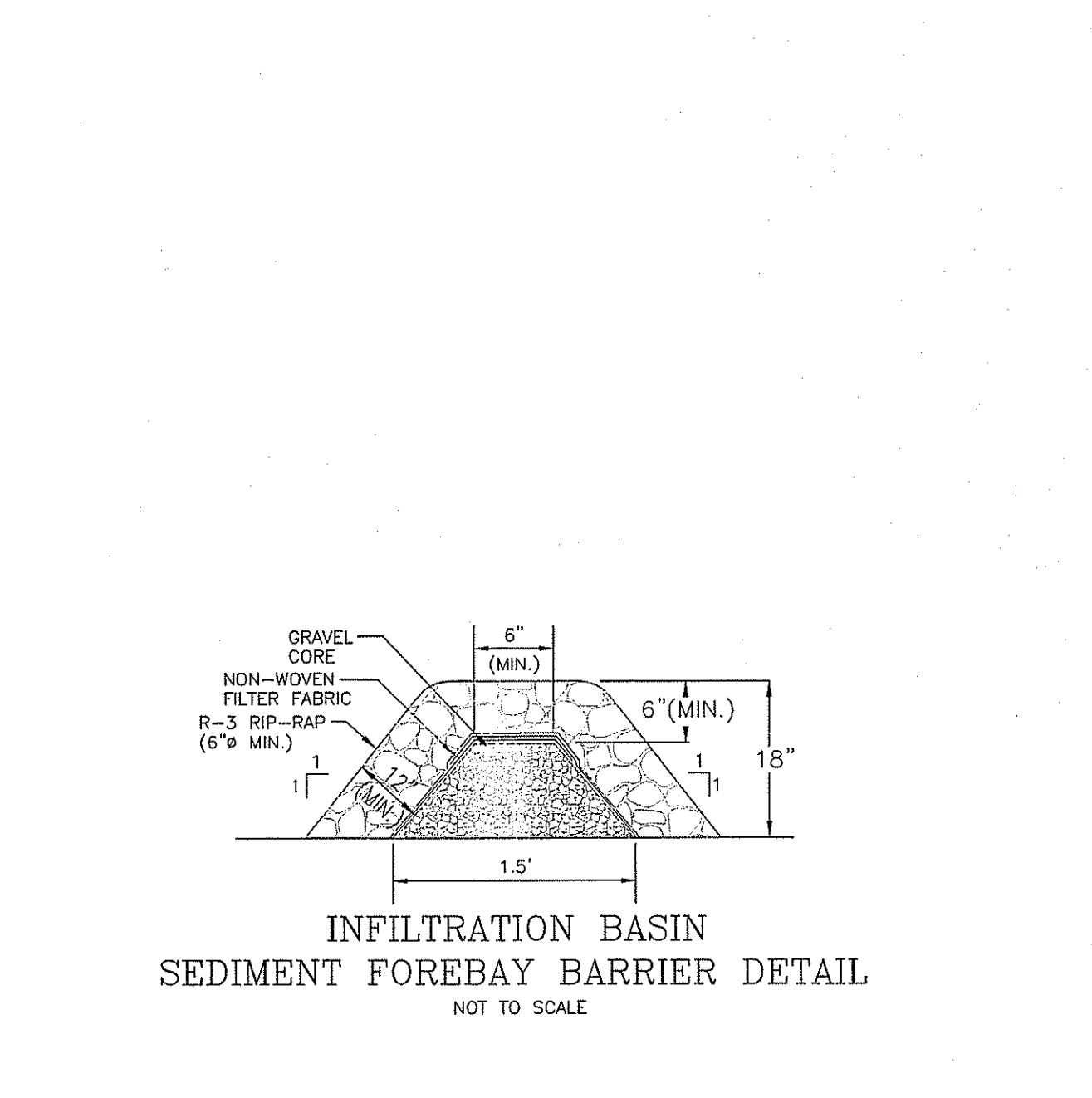
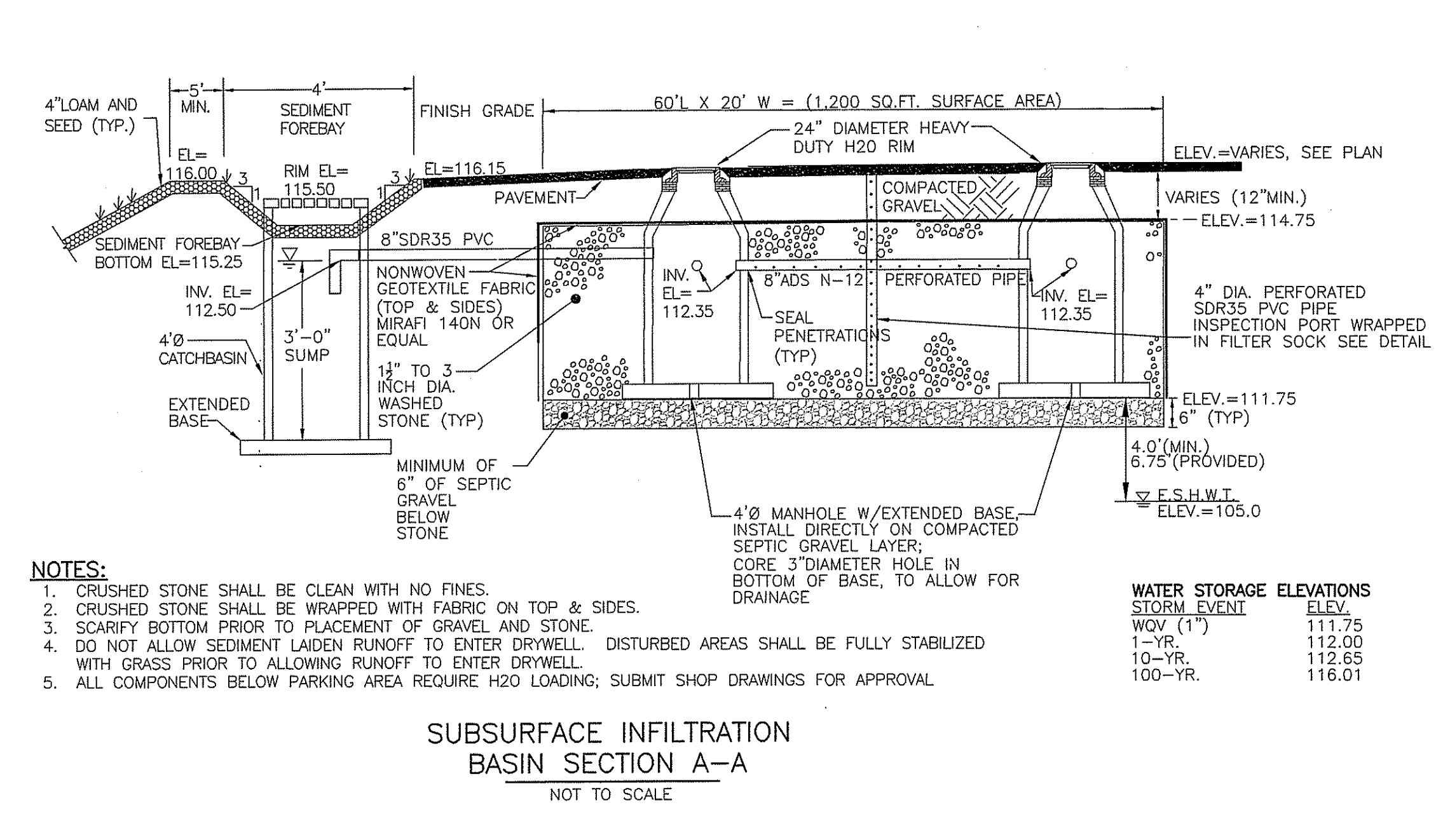
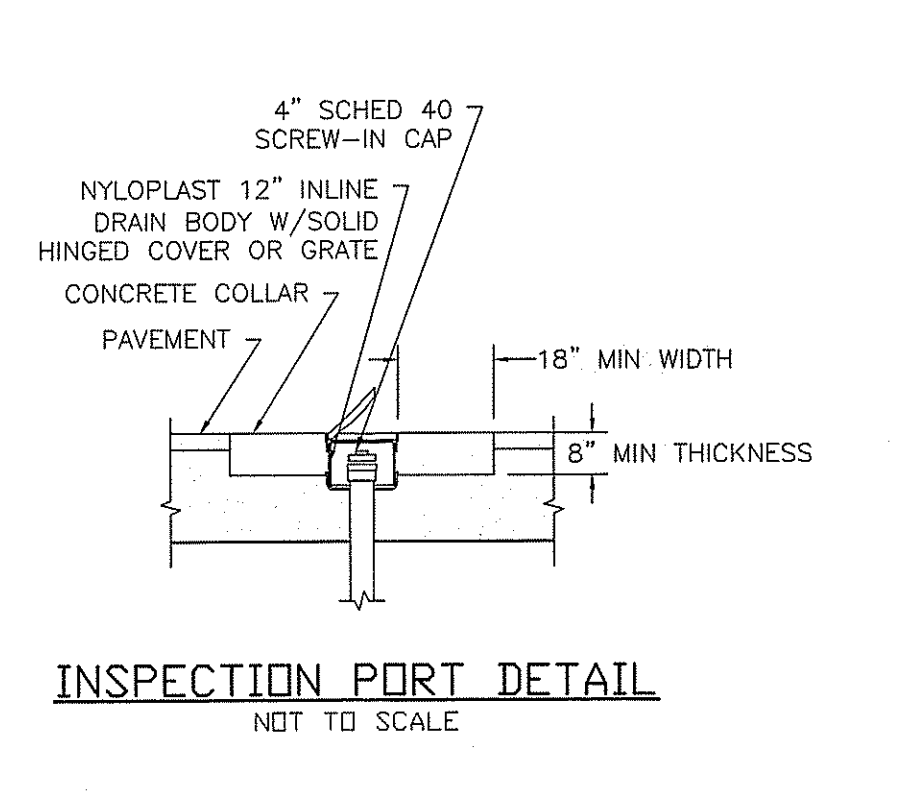
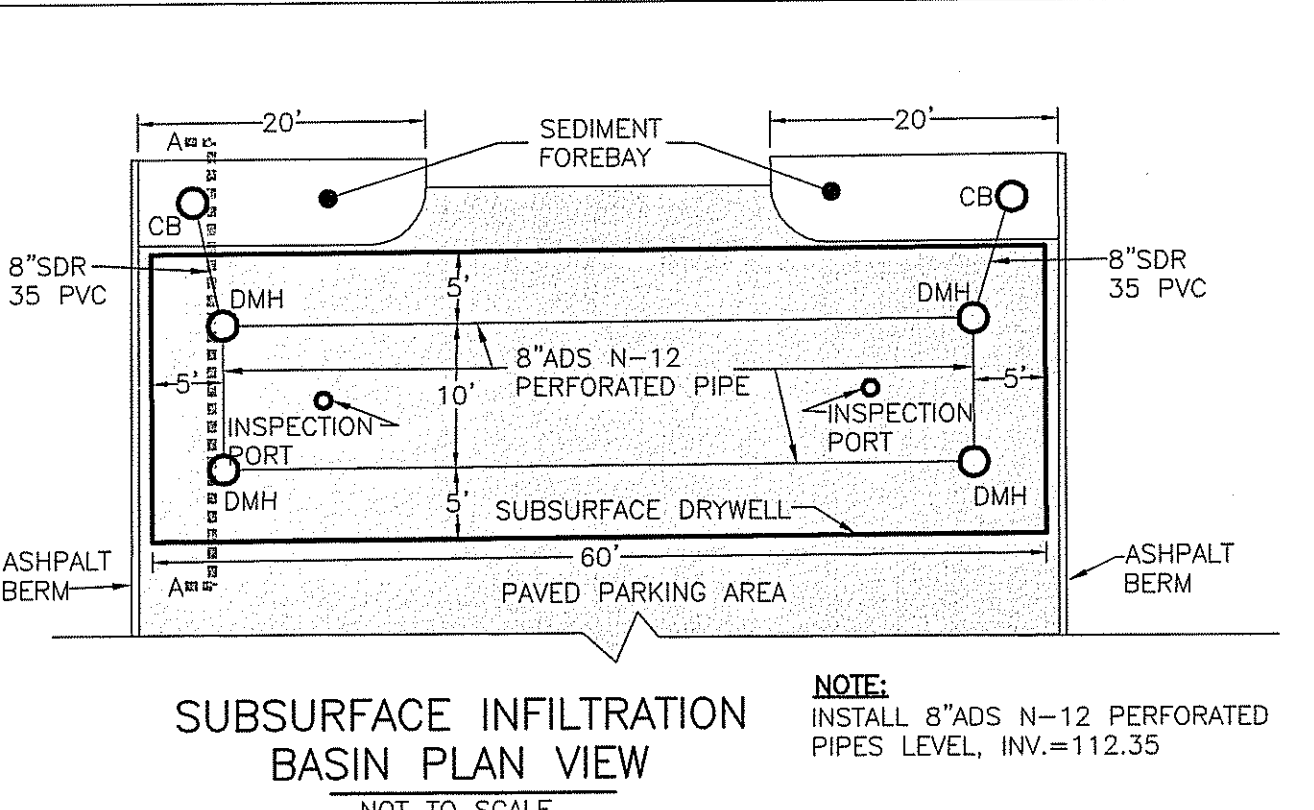
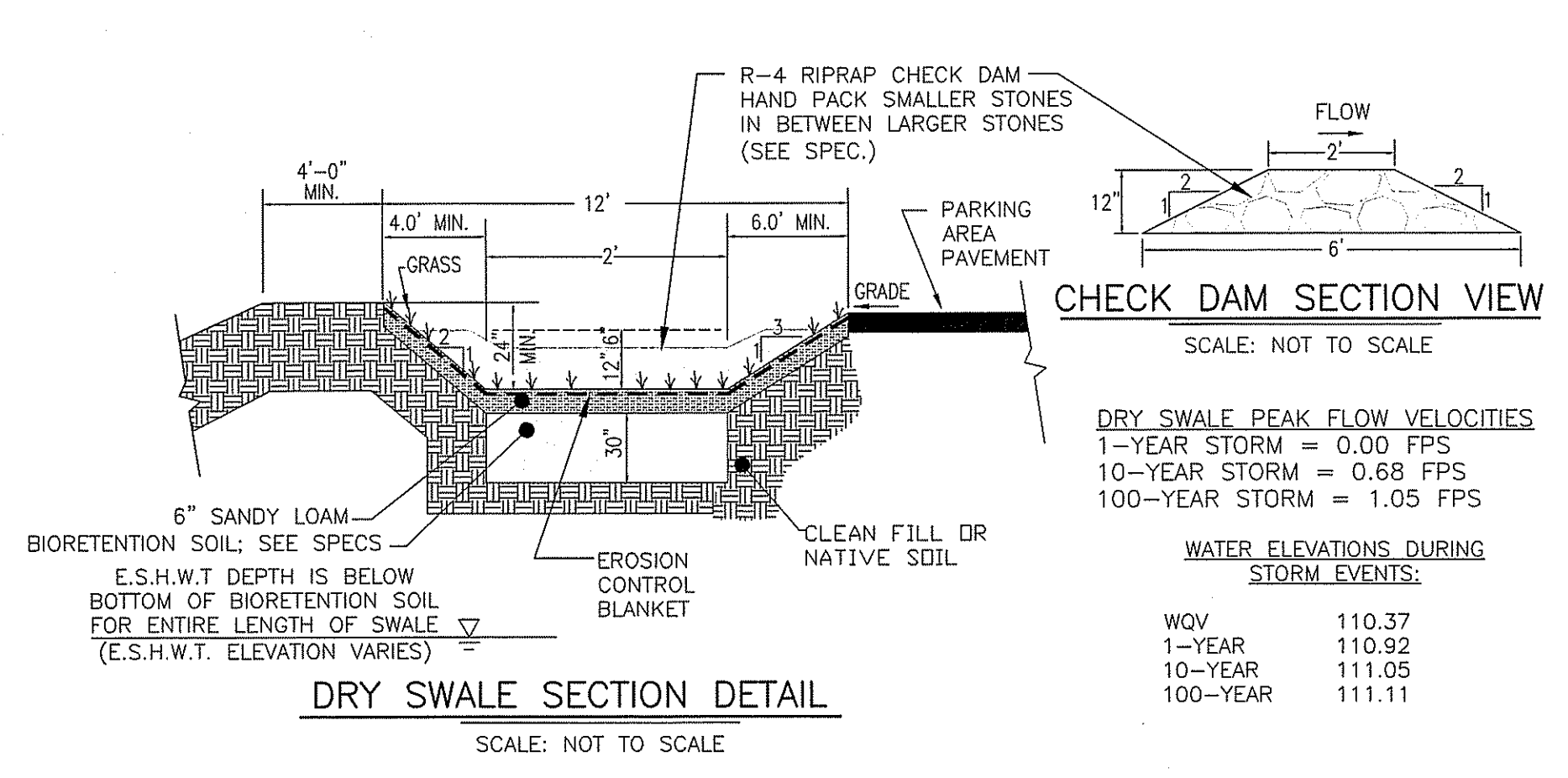
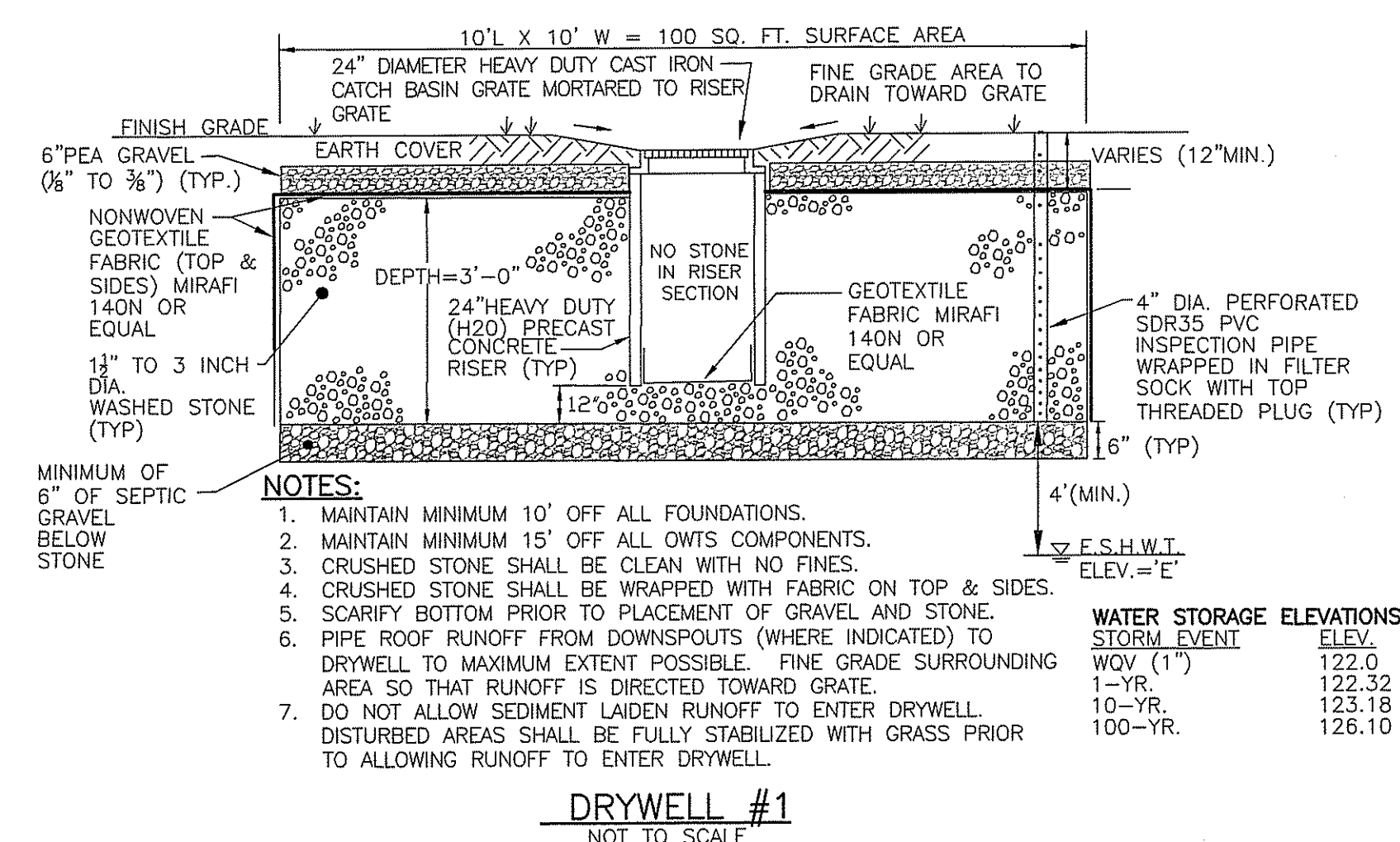
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908

PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 48
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
CONSTRUCTION DETAILS #3

SCALE: AS NOTED SHEET NO: 21 OF 24
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 11/18/16 PROJECT NO.: 04145.00

REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB



- DRAINAGE SYSTEM—INSPECTION, MAINTENANCE & REPAIR:**
1. THE PROPERTY OWNERS SHALL MAINTAIN THE PROPOSED DRAINAGE SYSTEM COMPONENTS. A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND A MAINTENANCE COMPANY TRAINED AND EXPERIENCED WITH THE MAINTENANCE REQUIREMENTS DETAILED IN THE 'RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL', LATEST EDITION KNOWN AS THE 'MANUAL'.
 2. INSPECTIONS ARE ESSENTIAL FOR THE LONGEVITY OF THE DRAINAGE SYSTEMS. THE DRAINAGE SYSTEM SHOULD BE INSPECTED IN ACCORDANCE WITH THE 'MANUAL' BY THE MAINTENANCE COMPANY. RECORDS OF INSPECTIONS SHALL BE MAINTAINED BY THE OWNER AND MAINTENANCE COMPANY. IN NO CASE SHALL LESS THAN TWO INSPECTIONS OCCUR EACH CALENDAR YEAR, TYPICALLY SPRING AND FALL. THE ENTIRE SYSTEM SHALL ALSO BE INSPECTED AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.7 INCHES OF RAIN).
 3. INSPECTIONS SHALL BE IN ACCORDANCE WITH THE 'MANUAL'. A SUMMARY OF THE REQUIREMENTS ARE DESCRIBED BELOW THE MAJORITY OF WHICH IS TAKEN DIRECTLY FROM THE 'MANUAL'. THE INSPECTOR SHALL REFER TO THE 'MANUAL' FOR ADDITIONAL INSIGHT ON INSPECTION METHODS AND REQUIREMENTS. ALL CHECKLISTS IN THE MANUAL SHALL BE FILLED OUT BY THE INSPECTOR. ALL DEFICIENCIES DISCOVERED SHALL BE BROUGHT TO THE OWNER'S ATTENTION IN WRITING.
- DRAIN MANHOLES & CATCH BASINS:**
- A. REMOVE TRASH AND LITTER.
 - B. REPAIR ALL STRUCTURAL DEFECTS IMMEDIATELY.
 - C. REMOVE ALL ACCUMULATED SEDIMENT AND DISPOSED OFF-SITE IN ACCORDANCE WITH STATE & FEDERAL REGULATIONS.
- PIPES & OUTLETS:**
- A. ALL CLOGGED OR SEDIMENT FILLED PIPES WHICH ARE MORE THAN 10% SEDIMENT FILLED SHALL BE CLEANED OUT IMMEDIATELY. WHEN CLEANING OUT PIPES, ENSURE DOWNSTREAM AREAS ARE PROTECTED FROM SEDIMENT DISCHARGES. DISPOSE OFF-SITE IN ACCORDANCE WITH STATE & FEDERAL REGULATIONS.
 - B. REMOVE TRASH AND LITTER.
- DRYWELLS:**
- DRYWELLS SHALL BE INSPECTED ANNUALLY AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR, 24 HOUR TYPE III PRECIPITATION EVENT.
- IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES (DRYWELL #1) TO BELOW THE DESIGN RATE, THE TOP 6 INCHES SHALL BE REMOVED AND THE SURFACE ROTO-TILLED TO A DEPTH OF 12 INCHES. THE BASIN BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS.
- SURFACE INFILTRATION PRACTICES SHOULD BE MOWED AT LEAST 2 TIMES/YR. STABILIZE ERODED BANKS AND REPAIR ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES AS NECESSARY.
- REMOVE LEAVES & DEBRIS INSIDE MANHOLES & CATCH BASINS.
- INSPECT INSIDE OF INSPECTION PIPE TO DETERMINE WATER DRAINS WITHIN 48 HOURS.

- INFILTRATION BASIN MAINTENANCE:**
1. INSPECTION OF THE BASIN SHALL BE PERFORMED AT LEAST TWICE PER YEAR, PREFERABLY DURING A STORM EVENT, TO INSPECT FOR PROPER FUNCTIONING OF THE FACILITY.
 2. SEDIMENTS SHALL BE REMOVED FROM THE BASIN DURING THE FIRST (INITIAL) YEAR OF OPERATION AND EVERY YEAR THEREAFTER.
 3. THE GRASSSED AREAS OF THE BASIN SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. AS PART OF EACH BASIN INSPECTION, THE DRAINAGE DISCHARGE POINTS (FLARED END SECTIONS, RIPRAP AREAS, ETC.) SHALL BE INSPECTED AND IF FOUND TO BE DAMAGED, BLOCKED BY TRASH/DEBRIS/SEDIMENT, ERODED, ETC. THEY SHALL BE REPAIRED IMMEDIATELY. THE BASIN SHALL ALSO BE MOWED AT LEAST ONCE PER GROWING SEASON.
 4. IN ORDER TO RE-ESTABLISH THE INFILTRATION RATE FOR THE BASIN, THE BASIN SHALL BE DEEP TILLED, FOLLOWED BY RE-GRADING AND LEVELING, EVERY 5 TO 10 YEARS, BASED UPON BASIN INSPECTION OF THE INFILTRATION RATES ON A YEARLY BASIS. SAND OR ORGANIC MATTER MAY ALSO BE TILLED INTO THE BASIN SOILS TO AID INFILTRATION.
 5. IF STANDING WATER IS FOUND IN ANY OF THE BASINS ON THIS SITE MORE THAN THREE (3) DAYS AFTER A RAINFALL EVENT, THE BASIN(S) SHALL BE DETERMINED TO BE FAILED AND THE OWNER SHALL BE RESPONSIBLE TO HAVE THE BASIN(S) INSPECTED BY A REGISTERED R.I. PROFESSIONAL ENGINEER AND REPLACED IMMEDIATELY.
 6. THE TOWN OF RICHMOND WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE INFILTRATION BASINS.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 06 2017 FILE # 16-0318
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wencel

PERMIT AGENCY REVIEW SET

Kambiz Karbassi
REGISTERED PROFESSIONAL ENGINEER
No. 1227
1-28-16

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908

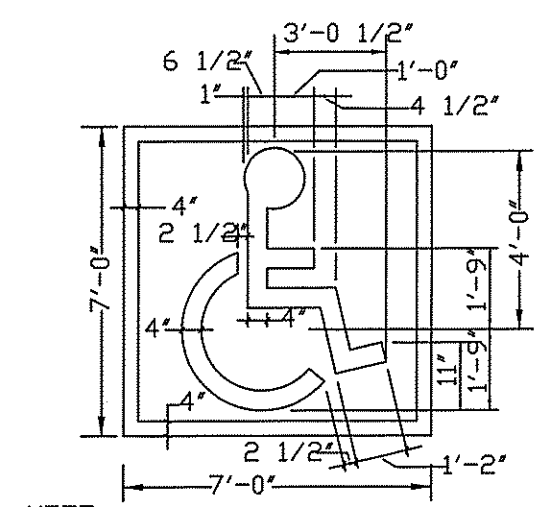
PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
CONSTRUCTION DETAILS #4

REVISIONS				
No	DATE	DRWN	CHKD	
1	11/26/16	DKM	TJB	

OWNER
ALTAMONTE RIDGE, LLC
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

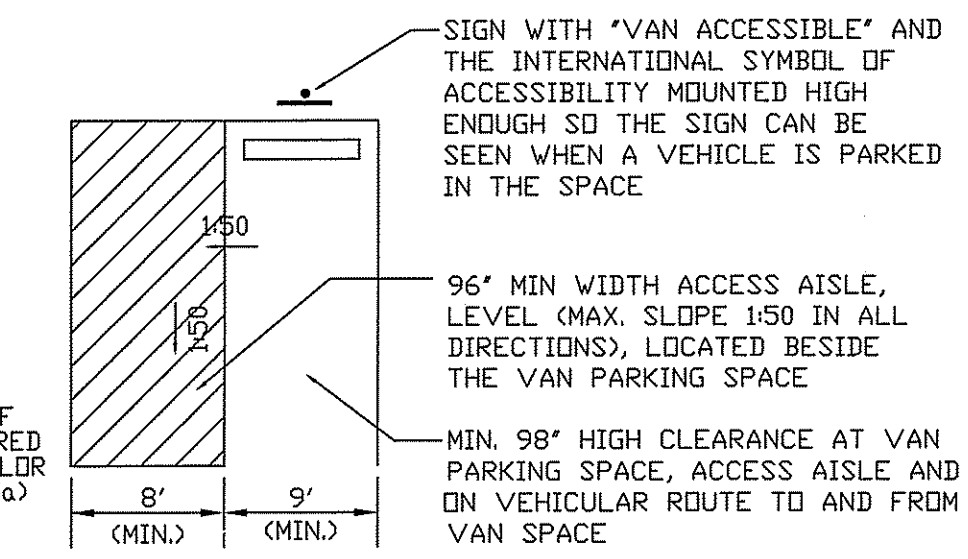
APPLICANT
WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

SCALE: AS NOTED SHEET NO: 22 OF 24
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 11/18/16 PROJECT NO.: 04145.00



NOTE: SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL. SYMBOLS ARE REQUIRED TO CONTRAST WITH BACKGROUND. (COLOR NO. 10590 IN FEDERAL STANDARD 595) DOUBLE COAT. (TYPICAL)

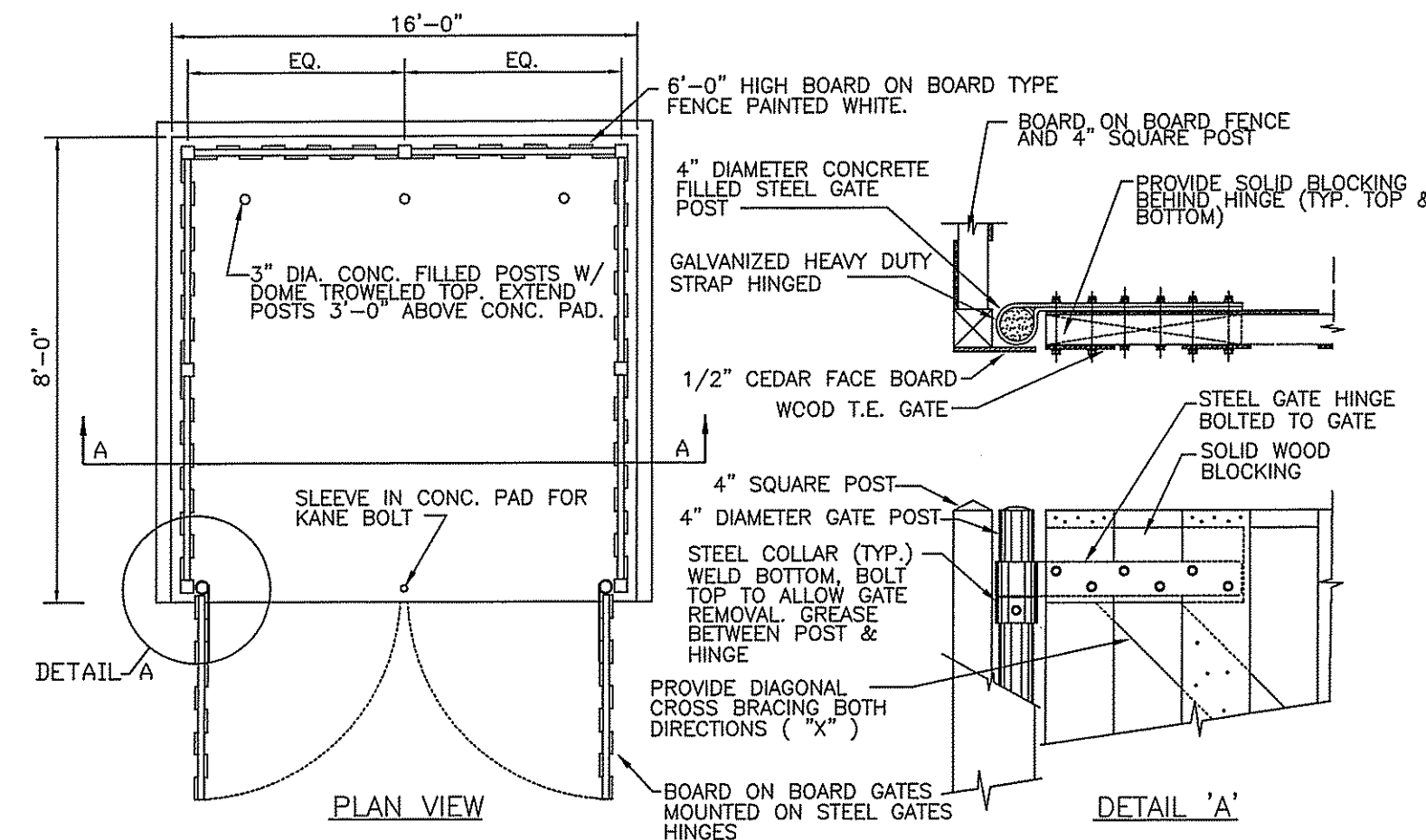
HANDICAPPED PARKING SYMBOL
NOT TO SCALE



HANDICAP PARKING SPACES
NOT TO SCALE

ADA ACCESSIBILITY NOTES:

1. THE PROJECT SITE SHALL BE CONSTRUCTED IN CONFORMANCE WITH DEPARTMENT OF JUSTICE 28 CFR PART 36 "ADA STANDARDS FOR ACCESSIBLE DESIGN", LATEST REVISION/AMENDMENT.
2. THE CONTRACTOR SHALL NOT ALTER THE GRADING ON THE PLAN UNLESS APPROVED BY THE ENGINEER.
3. ALL WORK SHALL CONFORM TO "ADA STANDARDS FOR ACCESSIBLE DESIGN" AND CITY STANDARDS.
4. ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2% (1:50).
5. ALL ADA PARKING SPACES SHALL BE FURNISHED WITH THE APPROPRIATE SIGNS AND MARKINGS.
6. ALL CURB RAMP SHALL BE FURNISHED WITH DETECTABLE WARNINGS.
7. ANY ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 5% (1:20) IS CONSIDERED A RAMP. RAMP SHALL HAVE A MAXIMUM SLOPE OF 1:12.5 FOR A MAXIMUM HORIZONTAL DISTANCE OF 6 FEET. A 60 INCH X 60 INCH LANDING IS REQUIRED AT EACH END OF THE RAMP. RAMP GREATER THAN 6' LONG REQUIRE HANDRAILS IN ACCORDANCE WITH ADA REQUIREMENTS.



DUMPSTER ENCLOSURE TYPICAL DETAIL
NOT TO SCALE

Max-Span™ Plus POST SYSTEM



Technical Data Sheet

Industry's best quality, test & certification and bankability

Industry's longest spans and fewest foundations: as few as 190 per MW

Articulating purlin connections to navigate up to 15% terrain slopes

Supports all poly, glass and thin film modules

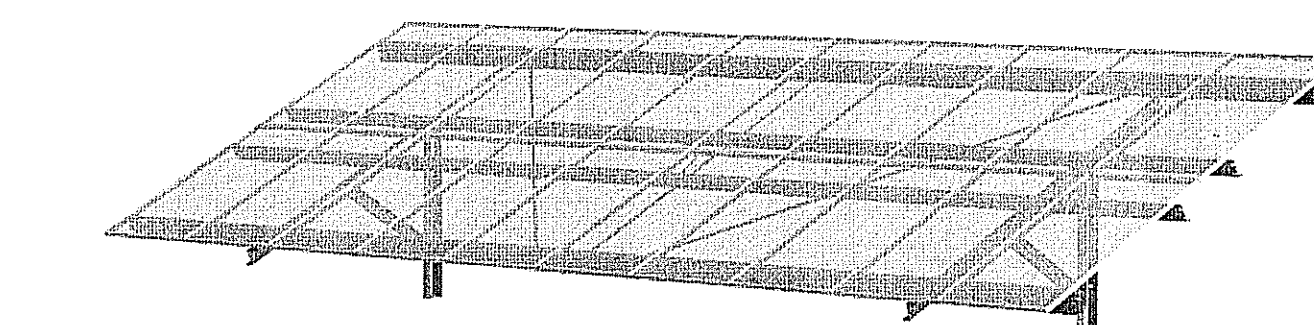
Rugged design enables 150 mph wind and 90 psf snow loads

Turnkey install, pull test and geotech services available

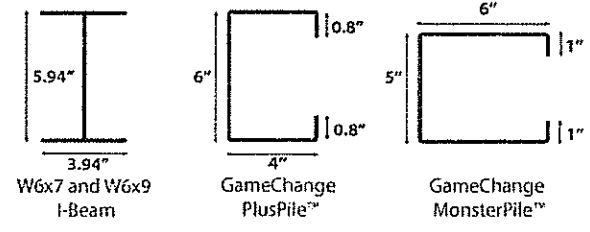
Wind tunnel tested by industry leader CPP

INSTALLATION NOTES:

1. APPLY MINIMUM OF 4" OF LOAM COVER BENEATH AND BETWEEN SOLAR PANELS & SEED WITH RYE AND/OR FINE AND TALL FESCUE GRASS
2. DEPTH OF FOOTING AND SPACING DETERMINED BY INSTALLER AND/OR MANUFACTURER BASED UPON SOIL TYPE.



Foundation	Strip Width	Strip Spacing	Lateral Resistance	Width
I-Beam (W6x7 and W6x9)	13.82"	100%	3.94"	100%
PlusPile™	15.6"	113%	4"	102%
MonsterPile™	19"	137%	6"	152%



Max-Span™ Plus POST SYSTEM

TEL: 212 388 5160
info@gamechangesolar.com
gamechangesolar.com

Technical Data Sheet

Features

- Industry's most flexible racking system handles undulating ground conditions
- Telescoping post bracket with 6 inches vertical adjustment for fast top of pile leveling
- Multiple Foundation Options: I-Beam, PlusPile™ and MonsterPile™
- MonsterPile™ alternate interchangeable pile is six inches wide facing south and specifically designed for loose soils
- Supports all double-sided glass thin film & other modules
- Up to 4 ft. ground clearance eliminates snow & vegetation shading issues
- Galvanized Z purlins have integrated trays for easy wire management
- Integrated grounding with star washers or teether module clamps included - approved under ETL / UL 2703
- 5 to 35' tilt with multiple inter-row spacing options
- Panels rapidly attach to purlins using rivets or bolts and flange nuts

Test & Certification

- Meets IBC and ASME standards for structural loading
- ETL / UL 467 GameChange top mount clamps or star washers included
- ETL / UL 2703 tested
- Independent assessment by Black & Veatch
- Warranty 20 years

Calculations

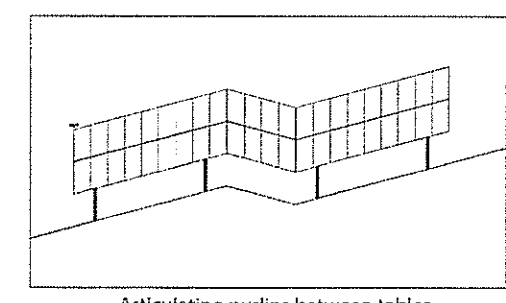
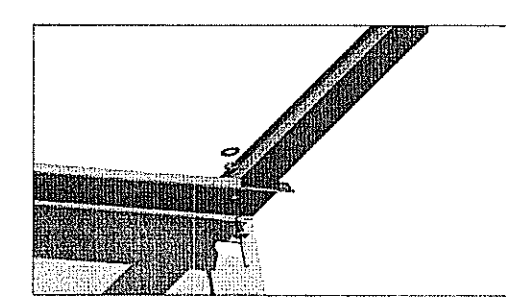
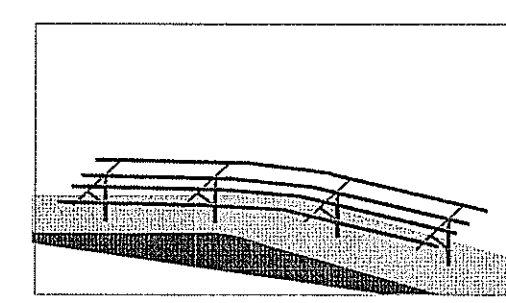
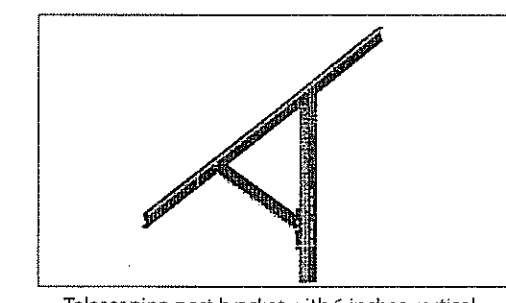
- 100% code compliant designs for any locality
- Third-party structural PE stamped drawings and calculations
- Available 2 up in portrait and 4 up in landscape poly & 5 to 10 up thin film panels
- Individual system structural calcs based on regional load values
- Design loads according to IBC 2006 or 2009

Pull Test, Geotech & Installation Services

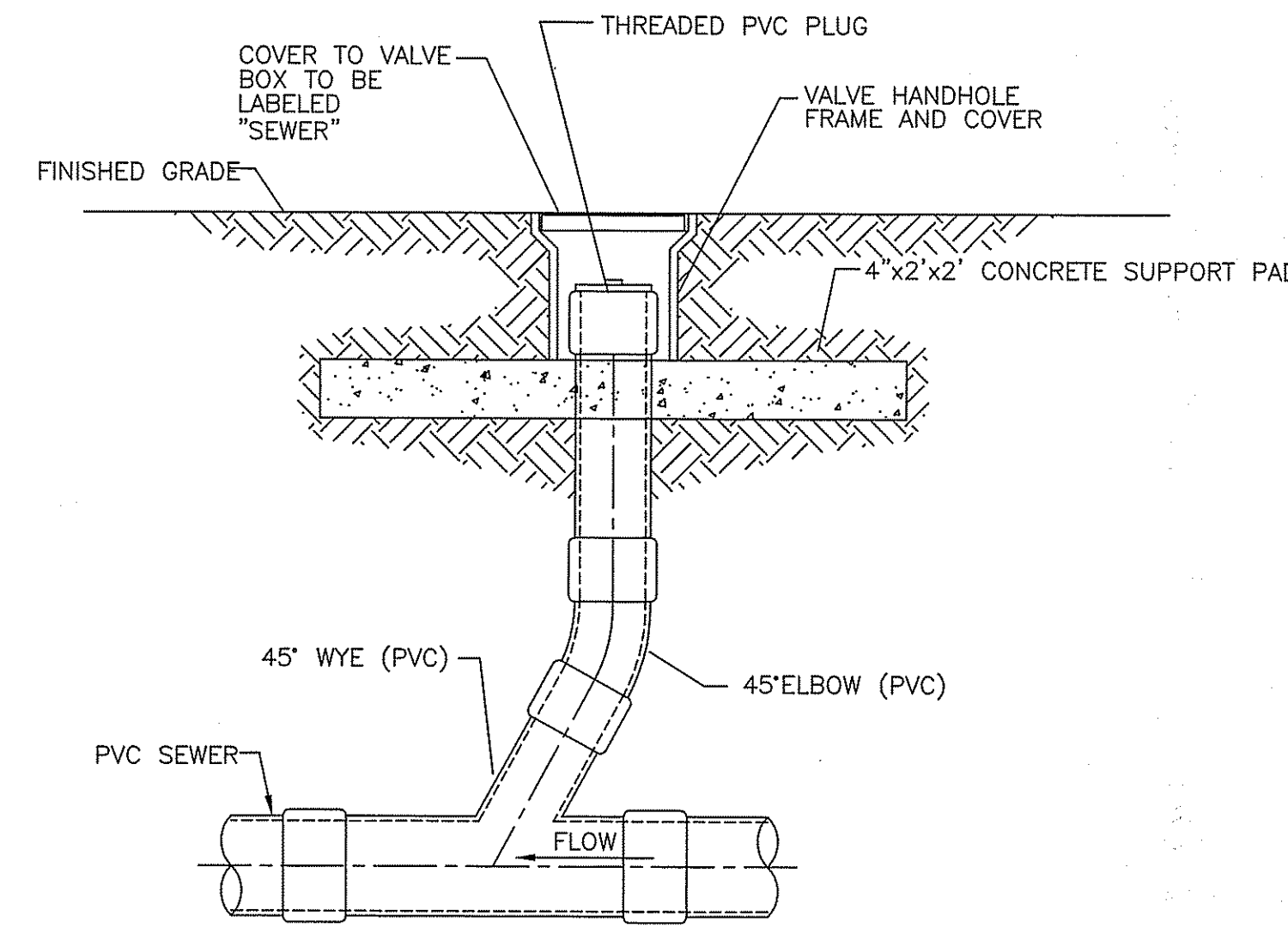
- Free pull test on orders over 5 MW
- Vertical and lateral resistance of the post is determined by pull test
- Pull test data is analyzed by our in-house engineering team in parallel with geotechnical report to give the best and most accurate information for embedment depth and post type
- Turnkey installation of piles, racks and modules available

Material

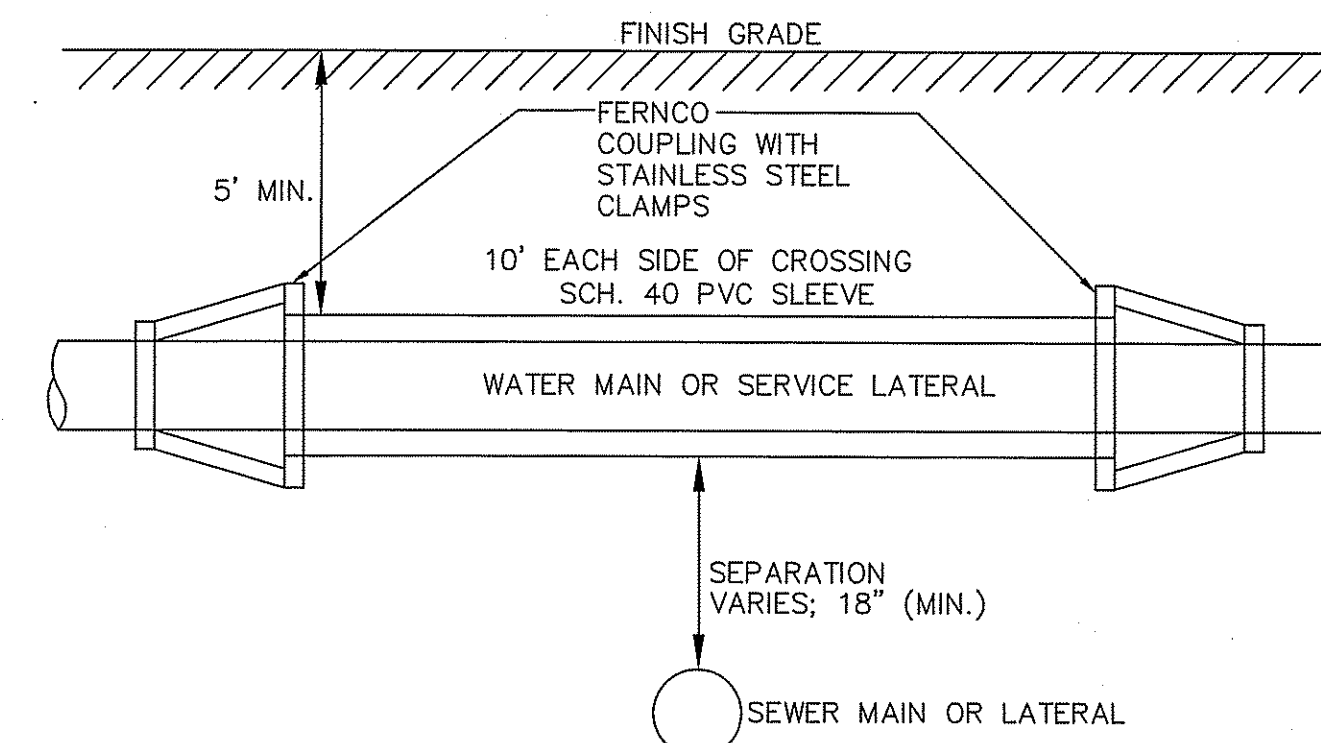
- Posts: G235 galvanized steel (HDG ASTM123 option also available)
- Galvanized purlins, NS beam, brace: G90 galvanized steel
- Star washer or ETL / UL top mount teether panel clamp: stainless steel
- Associated hardware: magnacoat 3/8", 1/2" and 3/4" x 1" hex or serrated flange hex bolts, 3/8", 1/2" and 3/4" serrated flange nuts HDG or magnacoat, 3/4" washers: stainless steel 1/4" - 20 serrated flange nuts, 1/4" - 20 x 3/4" hex bolts: or if mounting panel using stainless steel panel mounting clamps: 1/4" - 20 x 2.5" hex bolts, or 1.5" - 2.5" T-bolts, stainless steel 1/4" - 20 serrated flange nuts



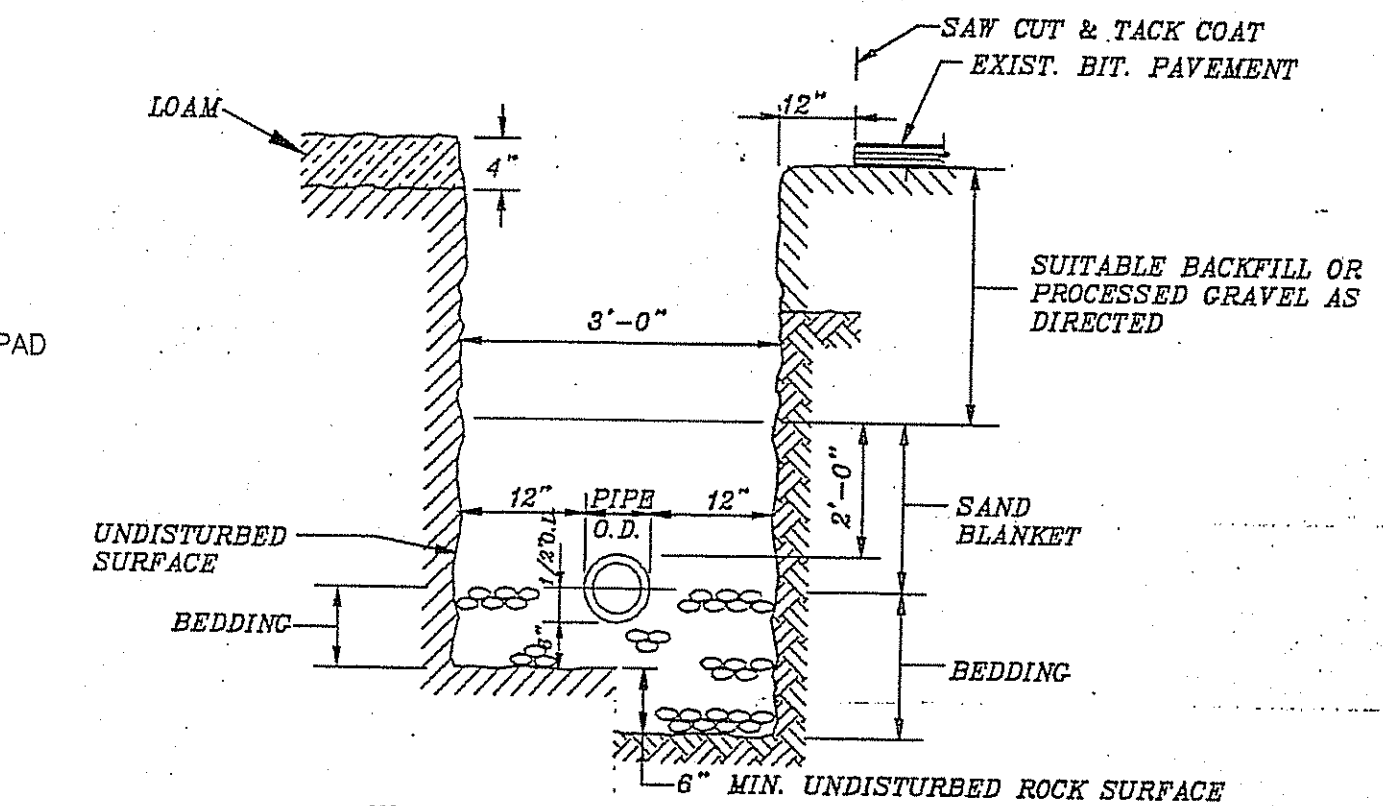
SOLAR PANEL TYPICAL DETAIL
NOT TO SCALE



CLEANOUT DETAIL
NOT TO SCALE

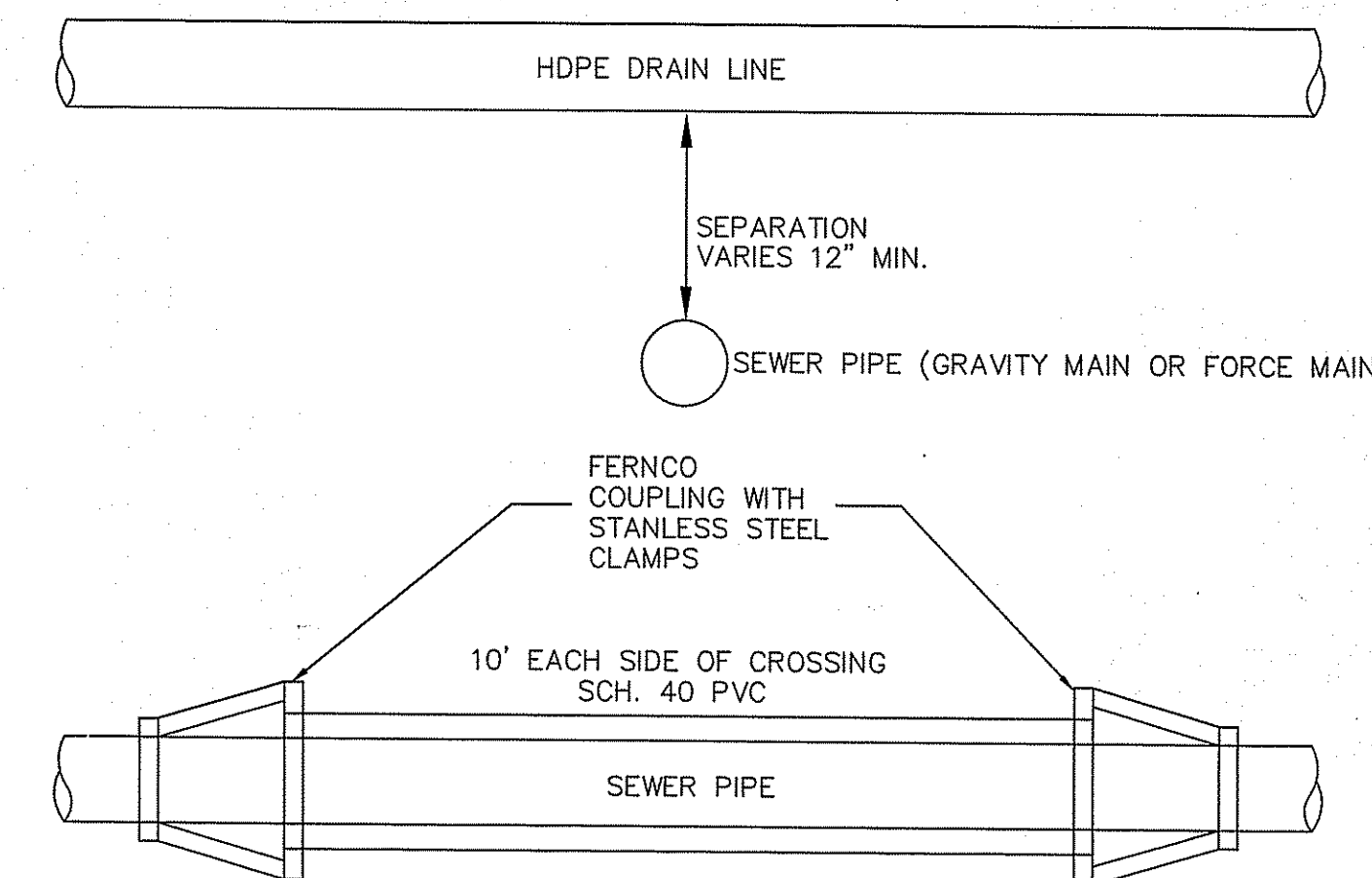


*** WATER LINE/SEWER LINE CROSSING W/ SLEEVE DETAIL #1**
NOT TO SCALE



TRENCH DETAIL

NOTE: 1. MINIMUM DEPTH OF COVER SHALL BE 5'-0"



*** DRAIN LINE/SEWER LINE CROSSING W/ SLEEVE DETAIL**
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 06 2017 FILE # 16-0319
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OWNER: ALTAMONTE RIDGE, LLC
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

APPLICANT: WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

TIMOTHY BEHAN
No. 0278
3/8-17
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908

REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB
2	3/8/17	DKM	TJB

PRELIMINARY PLAN SUBMISSION
for
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
on
WEST SHANNOCK ROAD
in
RICHMOND, RHODE ISLAND
CONSTRUCTION DETAILS #5

SCALE: AS NOTED SHEET NO: 23 OF 24
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 11/18/16 PROJECT NO.: 04145.00

PERMIT AGENCY REVIEW SET

GENERAL EROSION CONTROL NOTES:

- THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE 2004 STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION WEB PAGE. THESE SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN. AT LEAST A 72-HOUR NOTICE SHALL BE GIVEN TO THE TOWN PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY, BUT NOT LIMITED TO, THE STATE OF RHODE ISLAND, THE FEDERAL GOVERNMENT, LOCAL (TOWN/CITY) GOVERNMENT AND ALL INDIVIDUAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL EROSION AND SEDIMENTATION AND EROSION CONTROL DEVICES.
- THE INSTALLATION OF THE PRIVATE WELLS SHALL CONFORM TO THE REQUIREMENTS OF THE RHODE ISLAND DEPARTMENT OF HEALTH AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT REGULATIONS/STANDARDS.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, FIBER MULCH OR PROTECTIVE SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRUNKS AND BRANCHES. IT SHALL BE APPLIED TO CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.20.01, AS AMENDED.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDING SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	APRIL 1 - JUNE 15
ASTORIA BENTGRASS	15	AUGUST 15 - OCT. 31
BIRD'S FOOT TRECIFLOR	15	
PERENNIAL RYEGRASS	10	
- APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILE SHALL ALSO BE SEED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
- ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
- ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE PROPERTY OWNER TO ENSURE SURVIVAL.
- AT LEAST ONE (1) FULL GROWN SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE OWNER SHALL BE FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.
- ALL DISTURBED AREAS MUST BE SEED OR PLANTED WITHIN THE CONSTRUCTION SEASON.
- TEMPORARY SEEDING MUST BE DONE WITHIN ONE (1) MONTH AFTER DISTURBANCE.
- ALL DISTURBED AREAS MUST BE PERMANENTLY SEED OR PLANTED BEFORE OCTOBER 1ST, IF THEY NOT MUST BE TEMPORARILY SEED.
- SLOPES CONSTRUCTED AT, OR STEEPER THAN, 15% SHALL HAVE TEMPORARY EROSION CONTROL MATTING UTILIZED AS A SUPPORTIVE METHOD IN ADDITION TO THE METHODS DESCRIBED ABOVE.
- ALL PROPOSED INLETS AND OUTLETS SHALL BE PROTECTED WITH RIPRAP BOTH TEMPORARILY AND PERMANENTLY. SEE DETAIL A.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE TOWN SUBDIVISION REGULATIONS AND ZONING ORDINANCES; RHODE ISLAND STORMWATER AND SEDIMENT CONTROL STANDARDS MANUAL DEC. 2010 AS PREPARED BY THE RIDEM AND CRMC; AND RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK AS PREPARED BY RHODE ISLAND STATE CONSERVATION COMMITTEE, REVISED 2014.
- DUST SHALL BE CONTROLLED BY THE CONTRACTOR AT ALL TIMES BY USE OF SPRAY WATER OR APPROVED EQUAL.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

- CONTRACTOR TO REFER TO RIDEM RIDES SOIL EROSION AND SEDIMENT CONTROL PLAN (SESPC) REPORT AS WELL AS THESE DRAWINGS.
- SURVEY AND STAKE LIMIT OF DISTURBANCE FOR PLACEMENT OF SEDIMENTATION CONTROL DEVICES.
- PLACE PERIMETER SEDIMENTATION CONTROL DEVICES (HAYBALE OR SILT FENCE), IN NO CASE SHALL THE LIMIT OF WORK EXTEND BEYOND THE SEDIMENTATION CONTROL DEVICES.
- CONSTRUCT CONSTRUCTION ENTRANCE DEVICE 9.9.0.
- CONSTRUCT SEDIMENT TRAPS.
- CLEAR AND GRUB SITE.
- ROUGH IN SEDIMENT FOREBAYS AND INFILTRATION BASINS. FINE GRADE CONSTRUCTION AREAS SO GROUND SURFACE RUNOFF ENTERS THE SEDIMENT TRAP PRIOR TO ENTERING THESE ROUGHED IN BASINS. THE SEDIMENT TRAPS WILL BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION. REFER TO SESP REPORT FOR ADDITIONAL INFORMATION.
- BEGIN CONSTRUCTION OF ROAD (EXCAVATING AND GRADING, ETC.), TOPSOIL AND SUBSOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS FOR LATER REUSE. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION DEVICES AS SHOWN ON DETAIL. CONSTRUCT ROUGH GRADED SWALES.
- INSTALL STRAWBALE CHECK DAMS 9.4.0. DEVICES TO TRAP SEDIMENT IN ANY ROUGHED-IN CHANNEL WHICH WILL TEMPORARILY CONVEY RUNOFF DURING CONSTRUCTION. CHECK DAMS SHALL BE SPACED 100' APART FROM EACH OTHER FOR THE ENTIRE LENGTH OF THE CHANNEL UNLESS SLOPES EXCEED 5%, THEN 50' SPACING IS REQUIRED.
- CONSTRUCT UTILITIES (ELECTRIC, ETC.) AND FINISH ROADWAY.
- FINISH CONSTRUCTION DRAINAGE SYSTEMS WHEN PERIMETER AREAS ARE STABILIZED SO SEDIMENT MINIMIZED RUNOFF WILL NOT FLOW INTO COMPLETED DRAINAGE DEVICES SUCH AS THE CATCH BASINS, PIPES, SEDIMENT FOREBAYS, SAND FILTER, INFILTRATION DRY WELL SYSTEMS, INFILTRATION BASIN, RIP RAP, ETC.
- PROTECT DRAINAGE SYSTEMS UNTIL ALL AREAS ARE STABILIZED.
- START HOUSE LOT CONSTRUCTION. CONSTRUCT BUILDINGS, DRIVEWAYS AND SERVICES.
- FINISH CONSTRUCTION OF BUILDINGS.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEED WITH GRASS.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER A PERMANENT GROWTH OF VEGETATION IS ESTABLISHED. REMOVE ALL ACCUMULATED SEDIMENTS IN DRAINAGE SYSTEMS.

POLLUTION PREVENTION NOTES:

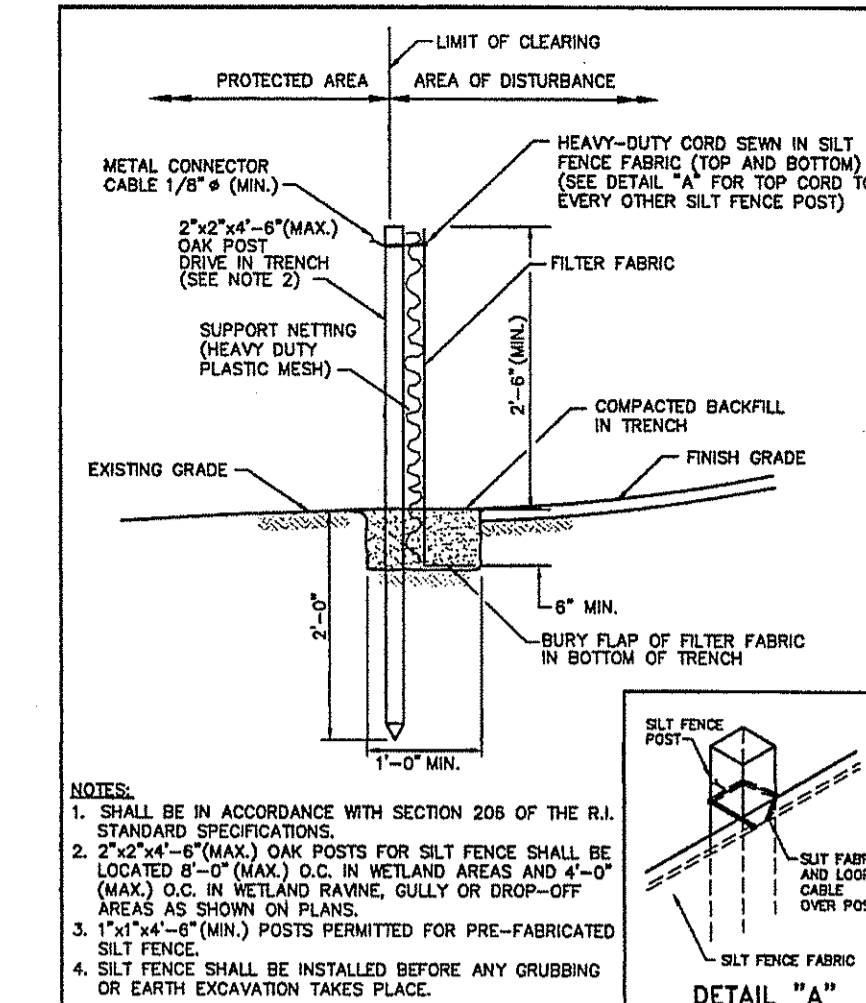
- REFERENCE IS MADE TO APPENDIX G POLLUTION PREVENTION AND SOURCE CONTROLS OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DECEMBER 2010 AS AMENDED. THIS DOCUMENT SHALL BE REFERENCED WHEN IMPLEMENTING THE POLLUTION PREVENTION TECHNIQUES. A BRIEF SUMMARY OF THE TECHNIQUES IS PROVIDED BELOW. REFER TO THE ABOVE REFERENCE FOR ALL TECHNIQUES TO BE IMPLEMENTED.
- SOLID WASTE CONTAINMENT:**
 - CONTRACTOR TO PROVIDE TRASH CONTAINER. CONTAINER TO HAVE A COVER TO PREVENT TRASH FROM BLOWING OUT.
 - SWEEP STREET/PARKING AREA ANNUALLY.
- HAZARDOUS MATERIALS CONTAINMENT:**
 - CONTRACTOR TO STORE ALL HAZARDOUS MATERIALS INSIDE STORAGE LOCKERS OR OTHER APPROVED METHODS WHICH HAVE SECONDARY CONTAINMENT SYSTEMS.
 - SECONDARY CONTAINMENT MUST BE INCLUDED WHEREVER SPILLS MIGHT OCCUR (E.G. FUELING AND HAZARDOUS MATERIAL TRANSFER AND LOADING AREAS).
- ROCK AND EXCAVATION AREA MANAGEMENT:**
 - SWEEP STREET/PARKING AREA ANNUALLY.
 - USE DEICING CHEMICALS AND SAND JUDICIOUSLY SINCE THEY CAUSE WATER QUALITY PROBLEMS. PROVIDE AND SPREAD IN ACCORDANCE WITH APPROVED SPECIFICATIONS.
 - CLEAN SNOW AND STORE ACCUMULATED SNOW PILES AWAY FROM SAND FILTER SYSTEM AND EXTENDED DETENTION POND.
 - KEEP SNOW PILES AWAY FROM WETLAND EDGE AND AREA SUBJECT TO STORM FLOW.
 - DEBRIS SHOULD BE CLEANED FROM THE SITE PRIOR USING SYSTEM.
 - DEBRIS SHOULD BE CLEANED FROM THE SITE AND PROPERLY DISPOSED OF AT THE END OF THE SNOW SEASON.
 - ONLY USE ASPHALT BASED SEALANTS TO REPAIR AND SEALING THE PAVEMENTS. DO NOT USE COAL-TAR BASED SEALANTS SINCE THESE ARE MORE TOXIC.
- SEPTIC SYSTEM:**
 - NO SEPTIC SYSTEMS PROPOSED.
- LAWN CARE AND LANDSCAPE MANAGEMENT:**
 - LAWN CONVERSION - REDUCE THE AMOUNT OF LAWN BY REPLANTING LAWN WITH GARDEN BEDS CONTAINING FLOWERS/SHRUBS. LAWNS REQUIRE MORE MAINTENANCE THAN FLOWER BEDS.
 - MAINTAIN A HEALTHY LAWN BY TESTING SOIL FOR pH, FERTILITY, COMPACTION, TEXTURE, AND EARTH WORM CONTENT.
 - GRASS SELECTION - SELECT DROUGHT-TOLERANT GRASS SPECIES. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - MOWING AND THATCH MANAGEMENT - KEEP GRASS HEIGHT HIGH SUCH AS 2 TO 3 INCHES IN HEIGHT. THIS WILL REDUCE WEED PROBLEMS.
 - FERTILIZATION - MINIMIZE FERTILIZATION. FERTILIZE NO MORE THAN TWICE A YEAR. APPLY CAREFULLY SO FERTILIZER DOES NOT ELIMINATE OR CONTROL WEEDS. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - WEED MANAGEMENT - NEVER USE CHEMICAL HERBICIDES TO ELIMINATE OR CONTROL WEEDS. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - PEST MANAGEMENT - LIMIT PESTICIDE USE. CHOOSE PESTICIDES THAT POSE THE LEAST RISK TO HUMAN HEALTH AND THE ENVIRONMENT. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - SENSIBLE IRRIGATION - WATER NO MORE THAN 1" PER WEEK. USE DROUGHT-RESISTANT GRASSES. CUT GRASS AT 2-3 INCHES.

SEDIMENTATION CONTROL PROGRAM:

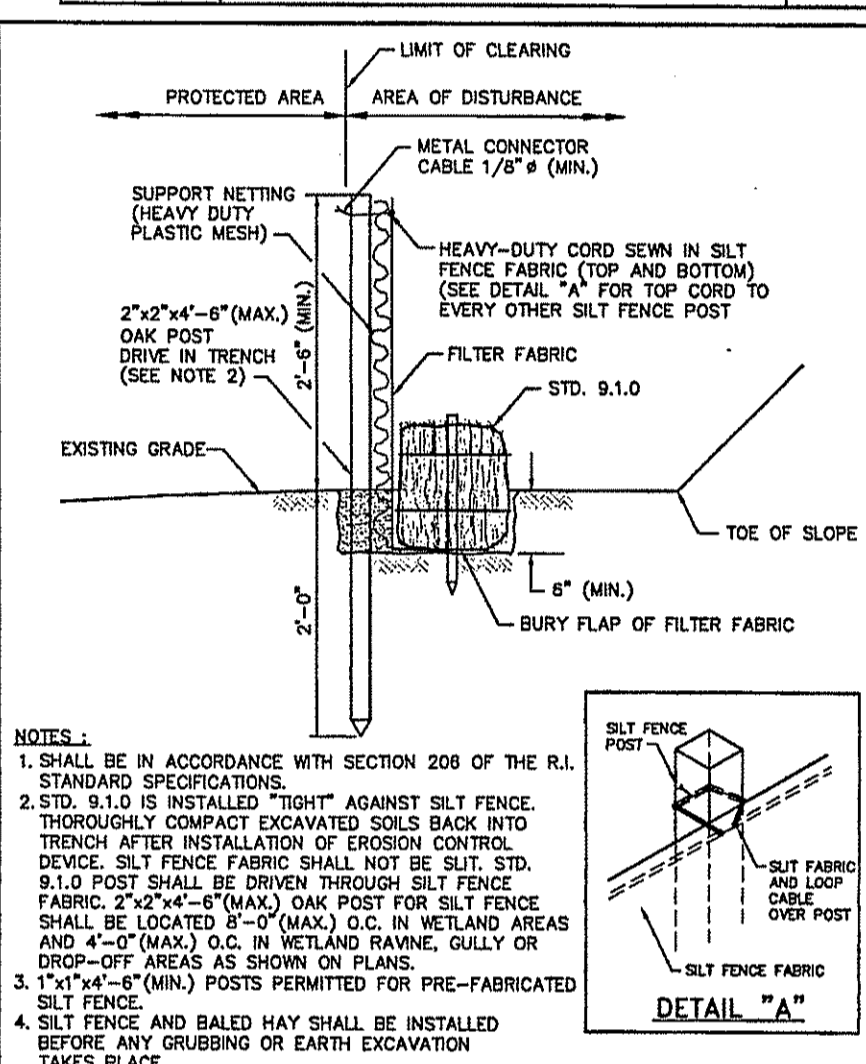
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DRAINAGE DEVICES AND STORMWATER DRAINAGE SYSTEMS.
 - DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS.
 - SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL. CARE SHALL BE TAKEN TO PREVENT ANY MATERIALS FROM ENTERING WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORMWATER FLOWAGE.
 - ADDITIONAL HAYBALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
 - SEDIMENTATION TRAPS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
 - STORAGE AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND BE PROPERLY MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- THE INSTALLATION OF A CONTINUOUS LINE OF STAKED HAYBALES AT ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DRAINAGE DEVICES AND STORMWATER DRAINAGE SYSTEMS.
 - ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT.
 - AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD HAY MULCH.
 - CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. BUMPS ARE TO BE CLEANED IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
 - OUTFALLS ARE TO BE PROTECTED BY HAYBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER.
 - ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 - THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
 - UPON COMPLETION OF CONSTRUCTION OF SITE IMPROVEMENTS AND THE STORMWATER DRAINAGE SYSTEM, ALL CATCH BASINS AND STORM DRAIN PIPES SHALL BE MAINTAINED AROUND ALL CATCH BASINS UNTIL ALL UPGRADING DISTURBED AREAS ARE STABILIZED BY PAVEMENT OR VEGETATION.
 - ALL COMPONENTS OF THE DRAINAGE SYSTEM MUST BE CLEANED OF SEDIMENT BY THE APPLICANT OR HIS REPRESENTATIVE IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED.
 - INSPECT TEMPORARY DIVERSIONS AND THEIR COMPONENTS ONCE A WEEK AFTER EVERY RAINFALL DURING CONSTRUCTION. CONSTRUCTION TRAFFIC OR OTHER ACTIVITY SHOULD BE REPAIRED BEFORE THE END OF EACH WORKING DAY. A SEDIMENTATION TRAP, THE MOUTH OF THE TRAP SHALL BE LINED WITH HAYBALES AROUND THE COMPLETE PERIMETER. DURING ALL PRELIMINARY STAGES, THE TOP OF THE STRUCTURE SHALL ALWAYS BE HIGHER THAN THE SUBGRADE.
 - CHECK DAMS SHALL BE INSTALLED EVERY 300 FEET FOR SLOPES OF 1% OR LESS, EVERY 200 FEET FOR SLOPES OF 2%, EVERY 150 FEET FOR SLOPES OF 3% TO 5%, AND EVERY 100 FEET FOR SLOPES OF 5% OR GREATER.
 - SEDIMENTS SHOULD BE REMOVED FROM THE CHECK DAM WHEN IT REACHES ONE-HALF THE DAM HEIGHT.

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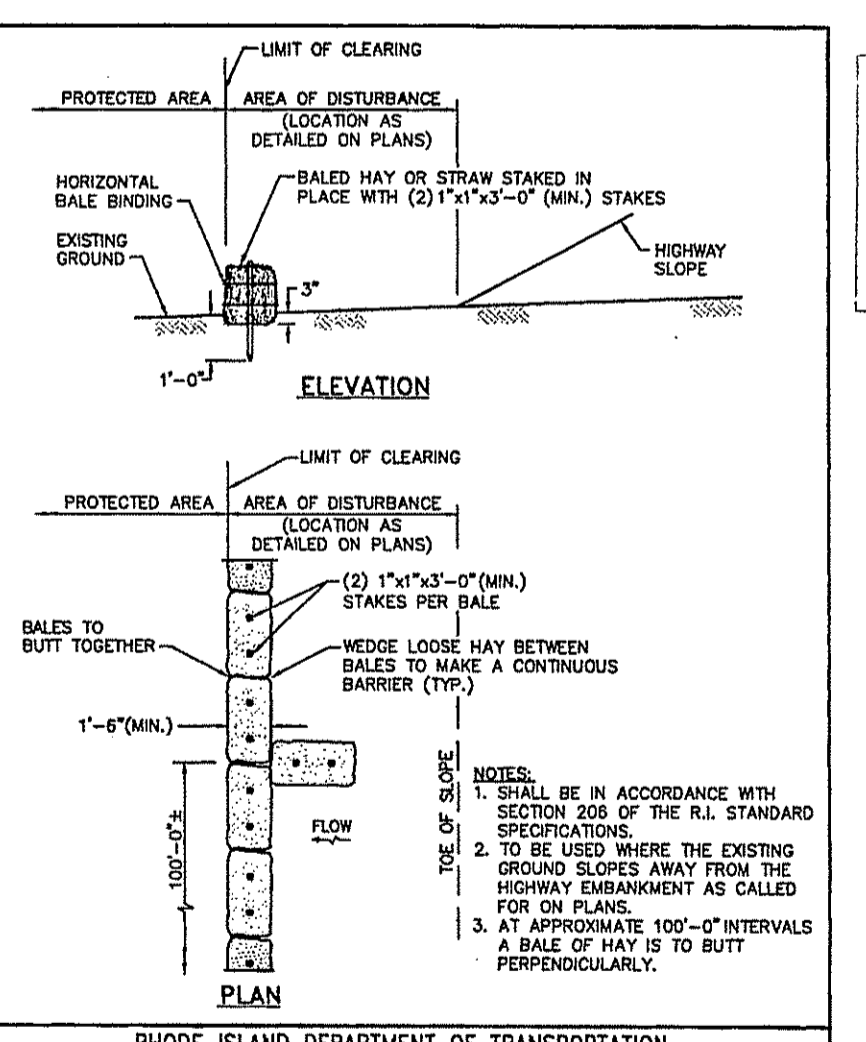
Matthew D. Wenczek



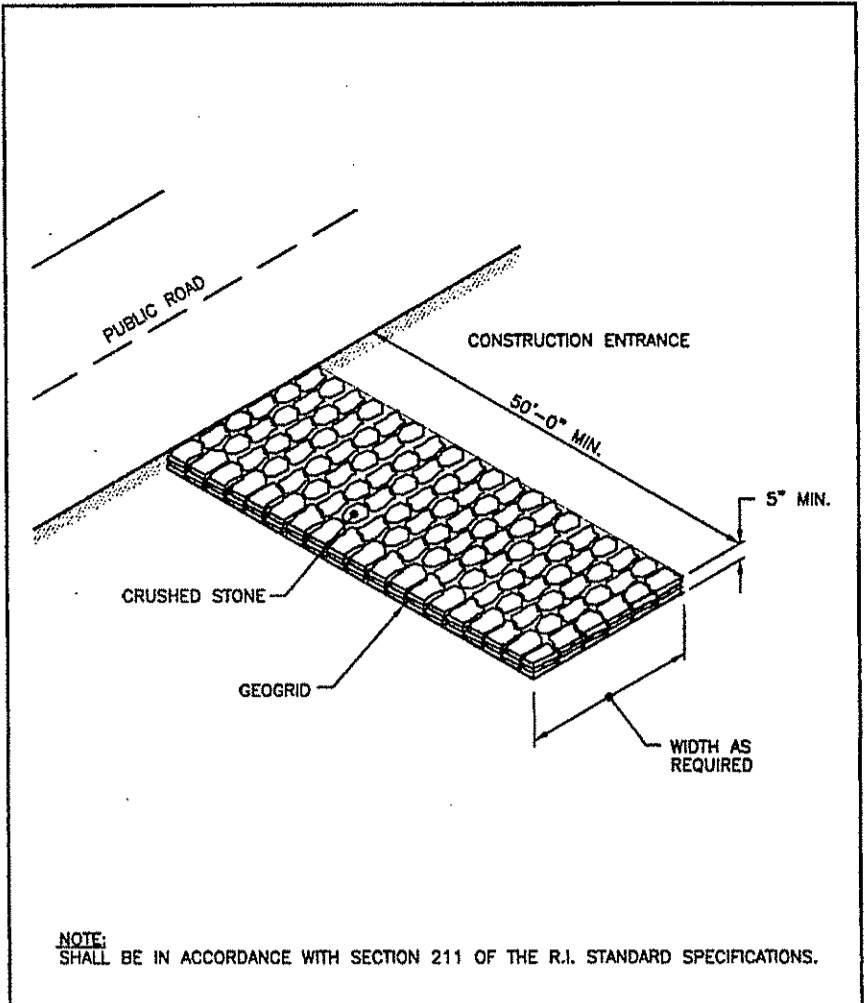
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R.I. STANDARD 9.2.0			



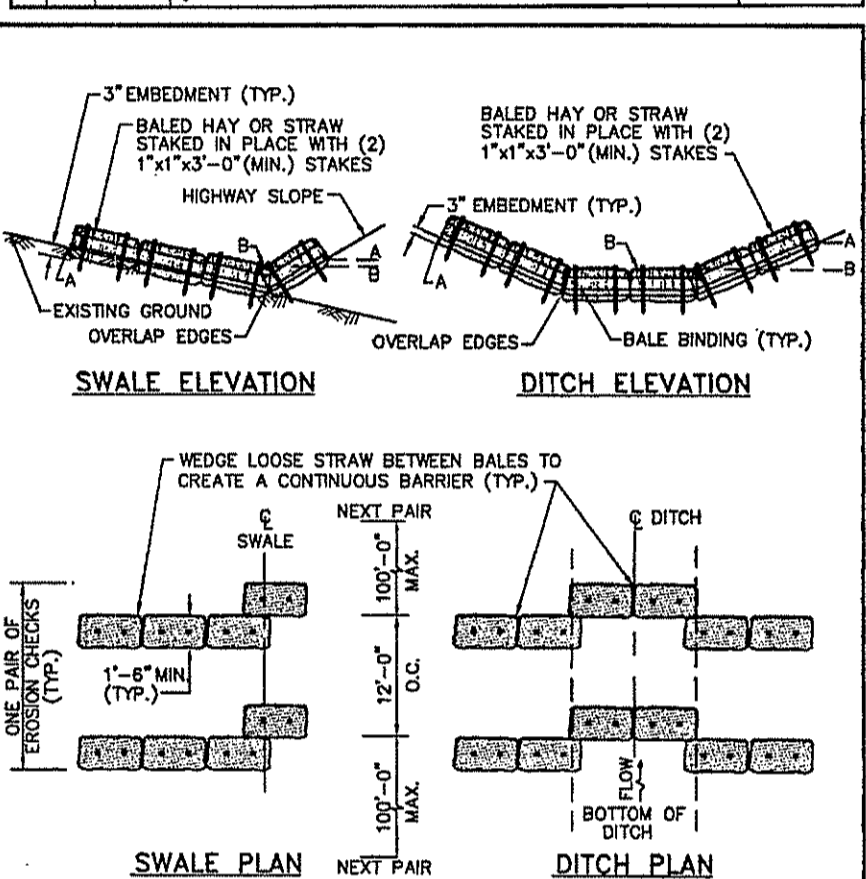
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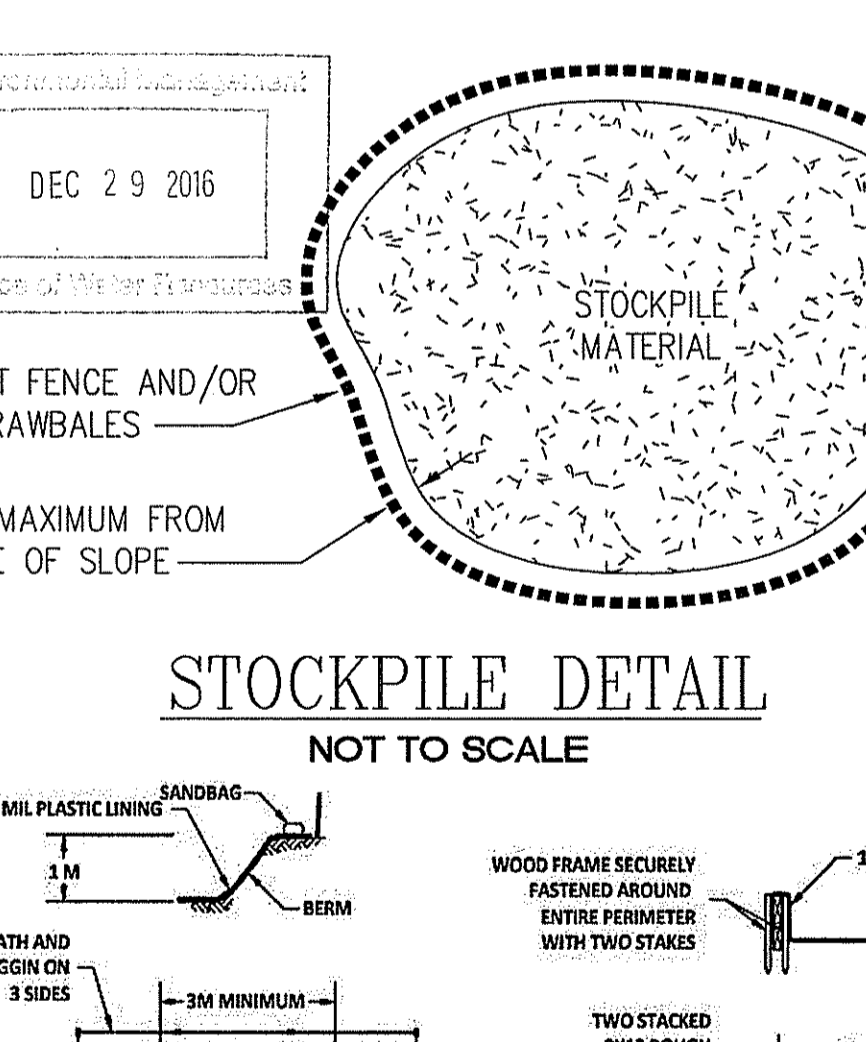
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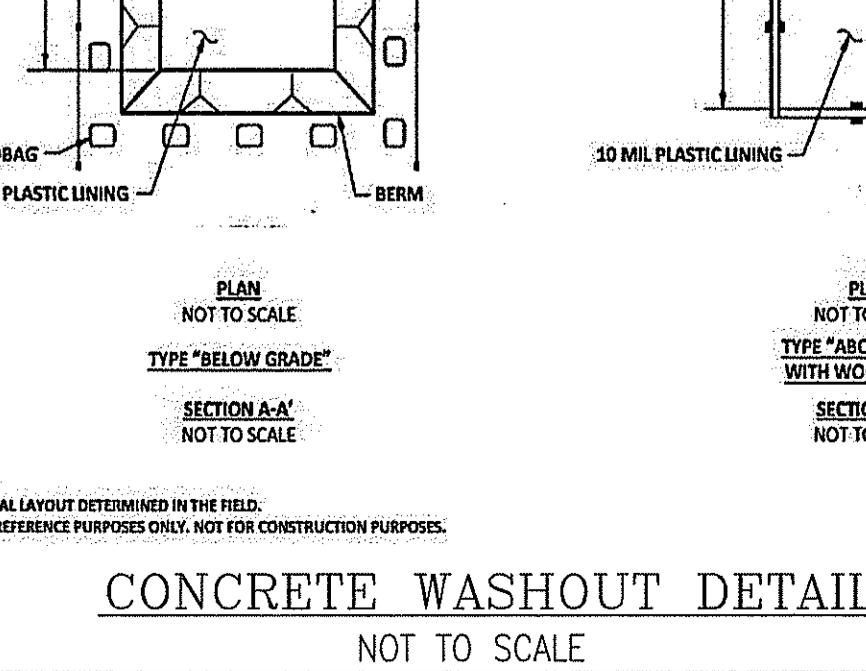
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R.I. STANDARD 9.9.0			



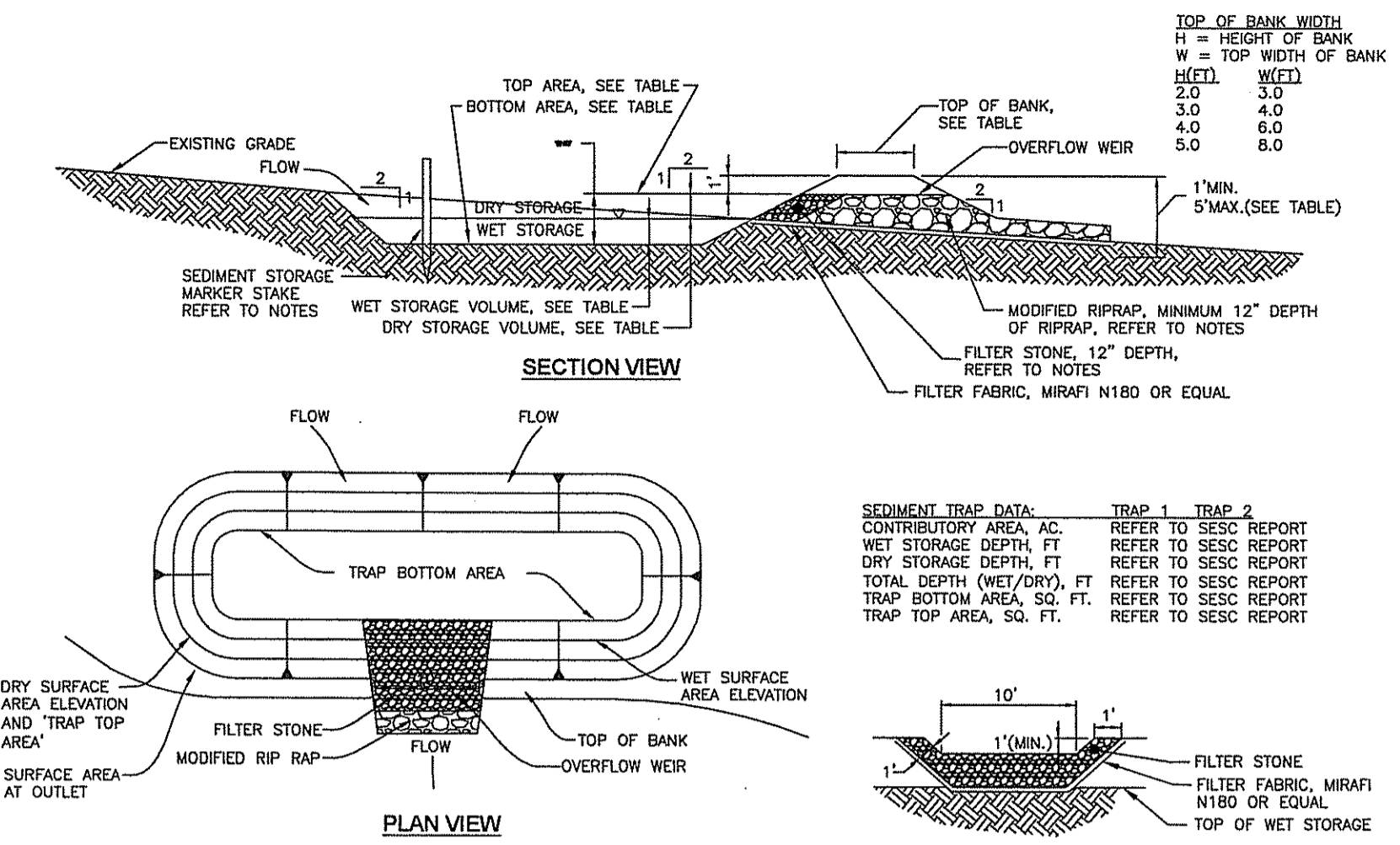
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R.I. STANDARD 9.4.0			



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R.I. STANDARD 9.1.0			



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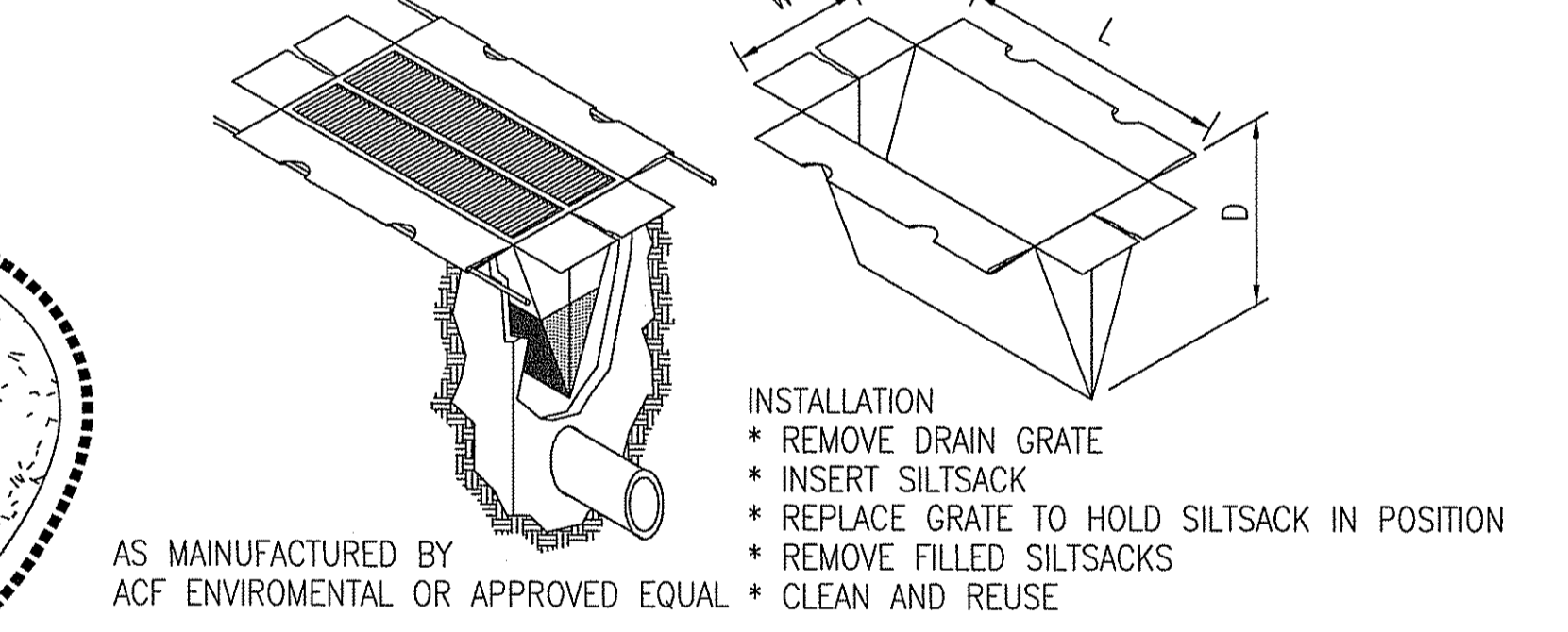


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- GENERAL NOTES:**
- THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX; SEDIMENT CONTROL MEASURES.
 - THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
 - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
 - THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
 - THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIP RAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
 - TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
 - MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO FIVE FEET.
 - SIDE SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
 - MODIFIED RIP RAP SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2 AND BE 6-4 GRADE RIPRAP.
 - FILTER STONE SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE 1 COLUMN V FILTER STONE.

- INSPECTION, MAINTENANCE AND REMOVAL REQUIREMENTS:**
- INSTALL SEDIMENT STORAGE STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
 - INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCHES OR GREATER.
 - CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OF CONSTRUCTION EQUIPMENT.
 - CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
 - WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
 - DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
 - THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

- INSTALLATION NOTES:**
- CLEAR GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
 - REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN 3 INCHES AND OTHER DEBRIS.
 - EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
 - USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9 INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
 - STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER, SEEDING FOR PERMANENT VEGETATIVE COVER, OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.



NO.	BY	DATE	REVISIONS
1	J. L. G.	6/15/1998	ISSUE
R.I. STANDARD 9.4.0			

AS MANUFACTURED BY
ACF ENVIRONMENTAL OR APPROVED EQUAL

PERMIT AGENCY REVIEW SET

APPLICANT: WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

OWNER: ALTAMONTE RIDGE, LLC
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

PRELIMINARY PLAN SUBMISSION
RICHMOND RIDGE COMPREHENSIVE PERMIT
A.P. 10D, LOT 46
ON
WEST SHANNON ROAD
RICHMOND, RHODE ISLAND
CONSTRUCTION DETAILS #6

SCALE: AS NOTED SHEET NO: 24 OF 24
DRAWN BY: JP DESIGN BY: TJB CHECKED BY: KK
DATE: 11/18/16 PROJECT NO.: 04145.00

REVISIONS

No.	DATE	DRWN	CHKD
1	11/26/16	DKM	TJB

Kambiz Korbassi
REGISTERED PROFESSIONAL ENGINEER
No. 4737
11-28-16

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908