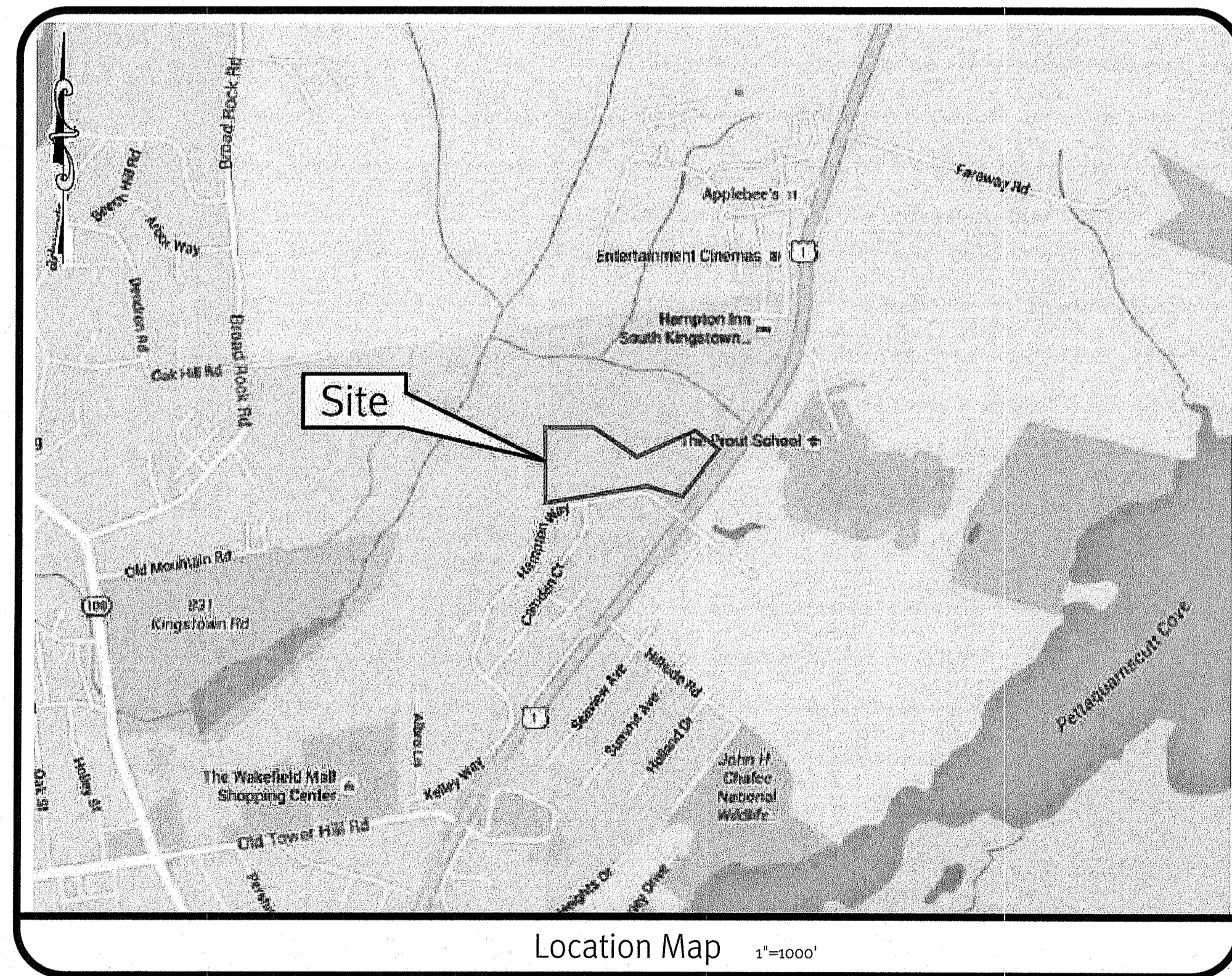


RIDEM Permit Modification

The Village at South County Commons - District 5

South Kingstown, Rhode Island 02879

Assessor's Plat 50-4 Lots 22, 25, & 26



Sheet Index

1. Cover Sheet
2. Aerial & USGS Map
3. Existing Conditions Plan
4. Site Layout
5. Grading and Utility Plan-1
6. Grading and Utility Plan-2
7. Soil Erosion & Sediment Control Plan
8. BMP Details-1
9. BMP Details-2
10. BMP Details-3
11. BMP Details-4
12. BMP Details-5
13. Detail Sheet-1
14. Detail Sheet-2
15. Detail Sheet-3

Subdivision Plans

1. Record Plan
2. Easement Plan

RI Department of Environmental Management
Office of Water Resources
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 07 2022 FILE # 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy J. Freeman

SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY AN ENGINEER.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

No.	Date	Description	By	Design By: K.L.D.
1	09-29-2022	RIDEM Permit Modification	J.A.R.	
2	12-23-2022	RIDEM Wetlands Modification	K.L.D.	
3	12-23-2022	Modified Site Plan	J.A.R.	
4	12-23-2022	Modified SESC	J.A.R.	

Cover Sheet
The Village at South County Commons
District 5 - Zoned Route 1 Special Management District (SMD)
South Kingstown, Rhode Island 02879
Owner/Applicant:
Southern Rhode Island Hospitality, LLC
Two Stafford Court
Cranston, Rhode Island 02920
DE Job No: 0267-059-A08 Copyright 2022 by DiPrete Engineering Associates, Inc.

z:\demain\projects\0267-059 south county commons\autocad drawings\0267-059-008-plan.dwg PlotDate: 9/12/2022

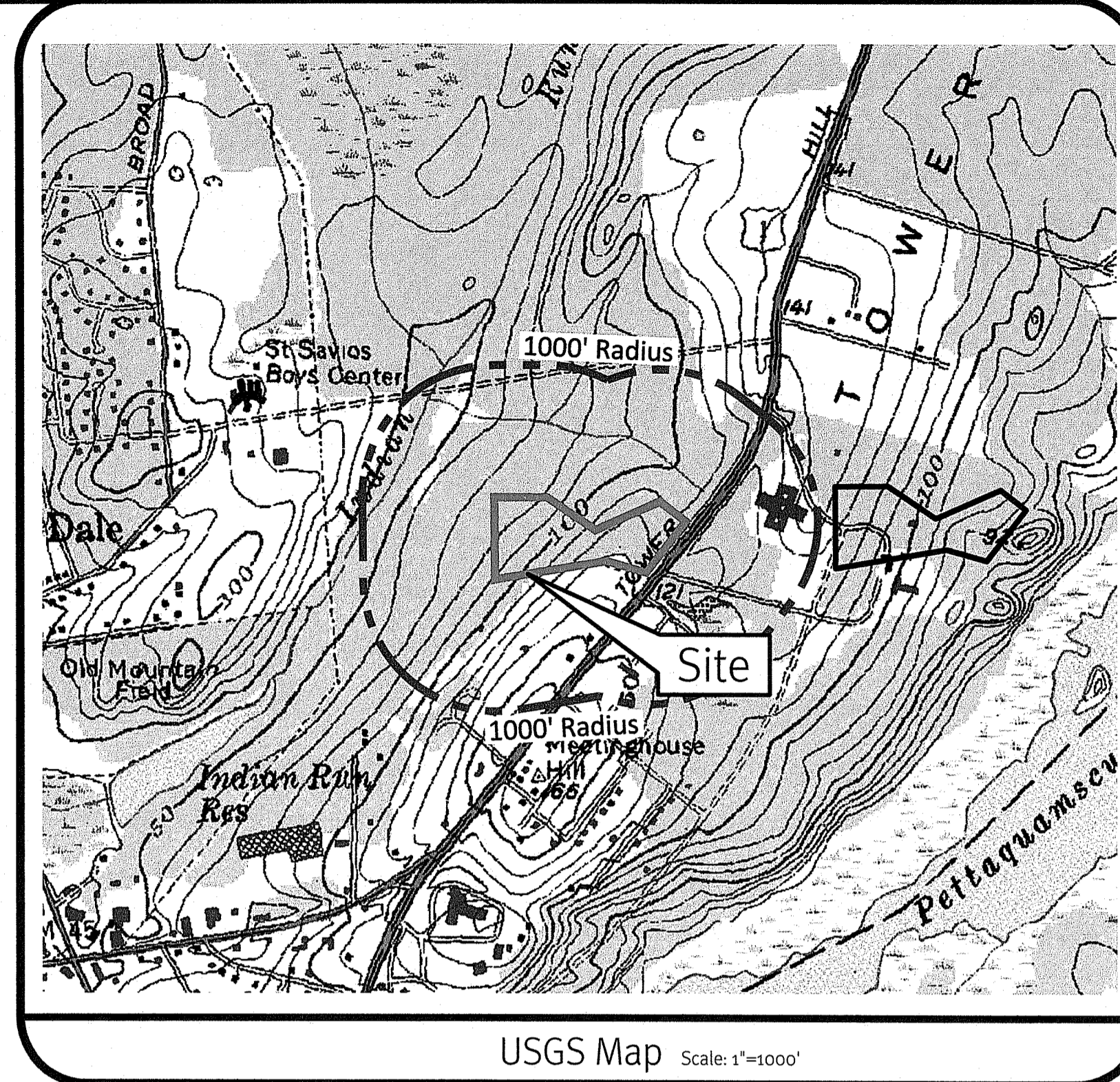
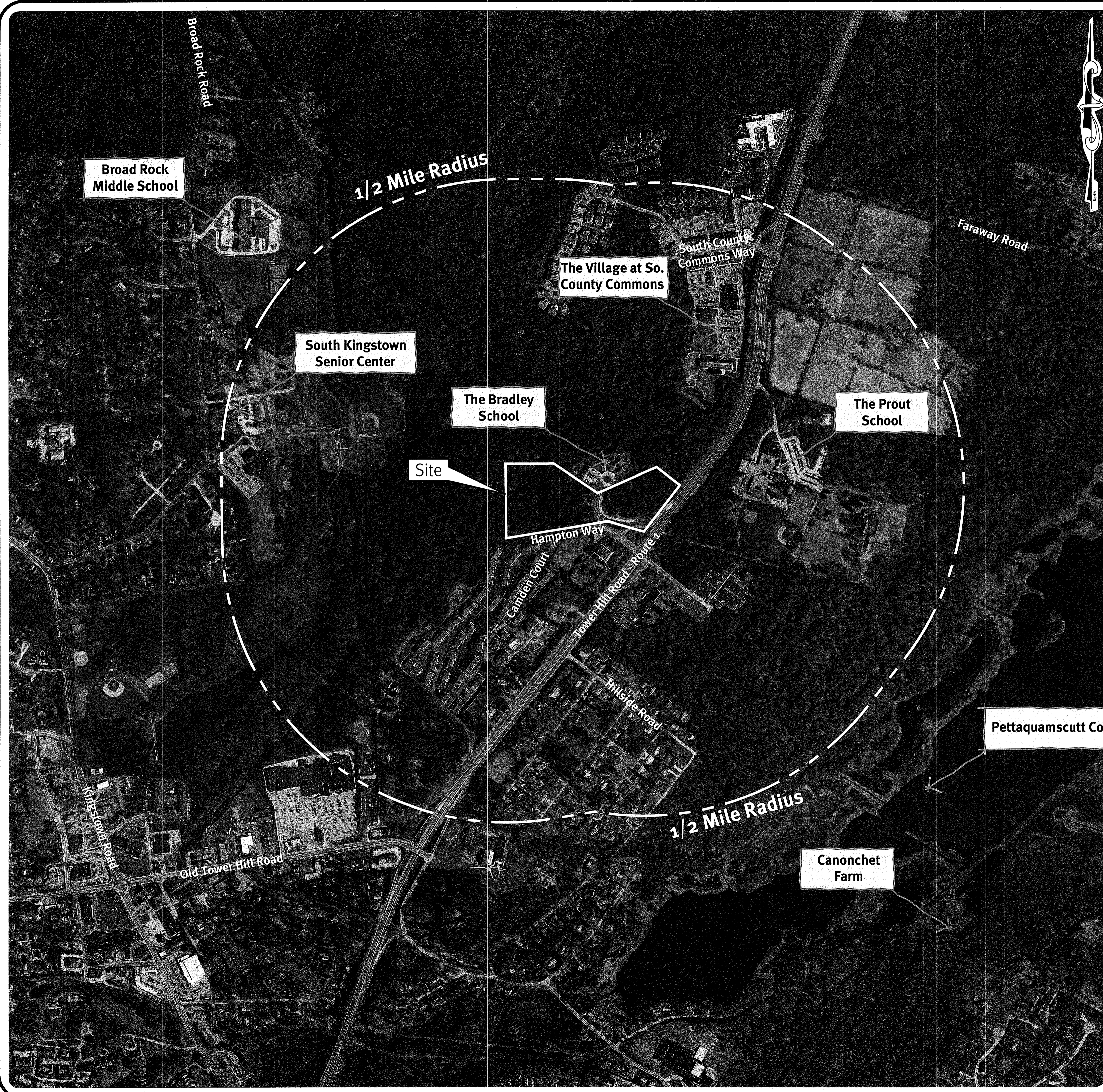
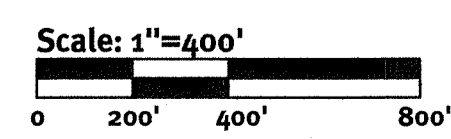


Photo Obtained from the ARCGIS 2008 Orthophotography.

Legend:

- PROPERTY LINE
- 1000' RADIUS LINE
- HALF MILE RADIUS LINE

RI Environmental Management
OCT 17 2022
Office of Water Resources



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 07 2022 FILE #: 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-944-6006 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS
[Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

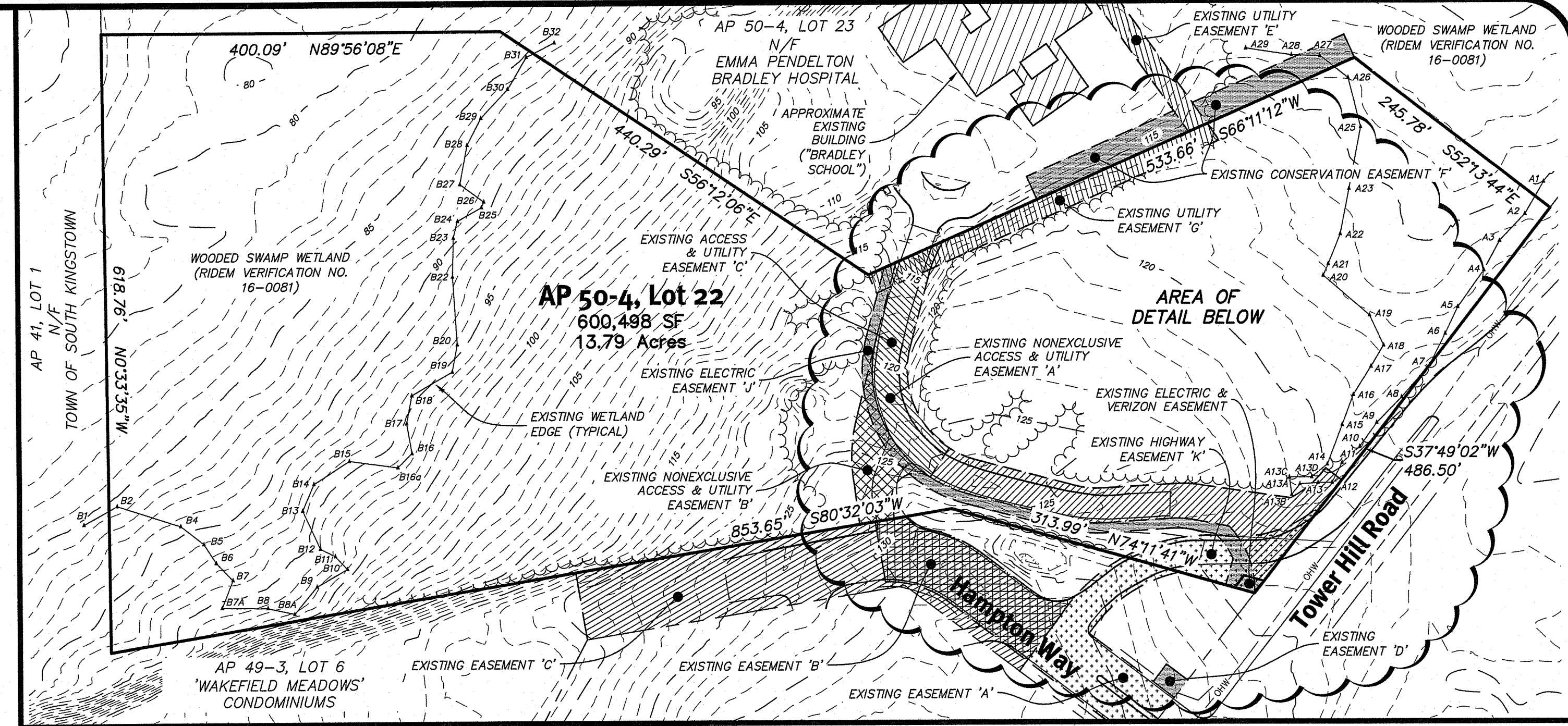
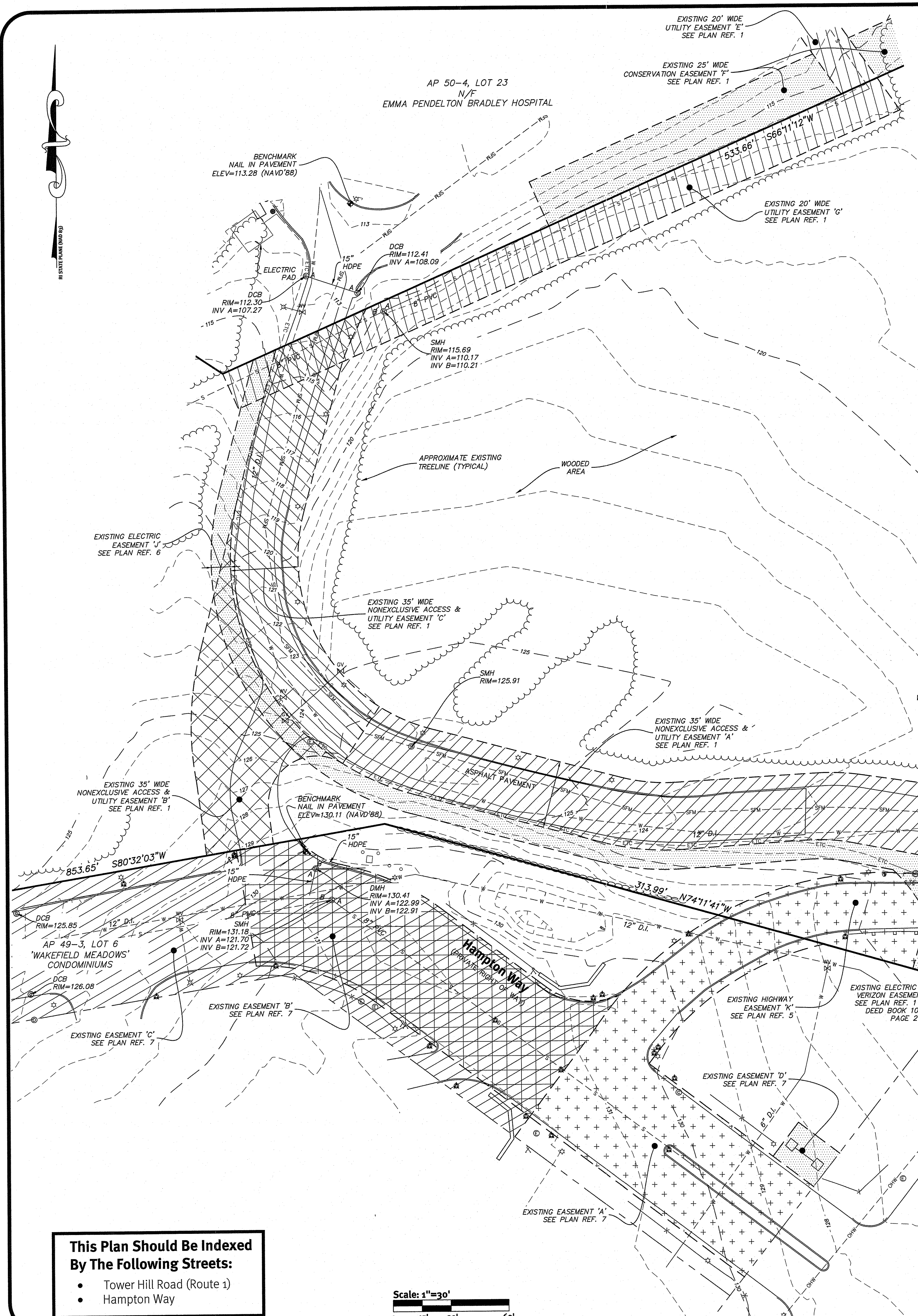
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS OF EXISTING UTILITIES. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

No.	Date	Description	By:
1	09-29-2022	RI DEPT ENVIRONMENTAL MGMT	KJD
2	2-28-2023	RIPRA Wetlands Modification	KJD
3	11-15-2022	Regulatory Concept	SJK

Drawn By: S.E.K. Design By: K.J.D.

Aerial and USGS Map
The Village at South County Commons
District 5 - Civil Engineering District (SMD)
South Kingstown, Rhode Island 02879
Owner/Applicant:
Southern Rhode Island Hospitality, LLC
Two Stafford Court
Cranston, Rhode Island 02920
DE Job No: 0267-059-008 Copyright 2022 by DiPrete Engineering Associates, Inc.

\\storagesrv1\demian\projects\0267459_south_county_commons\autocad\drawings\0267459-07-encr.dwg, Plotdate: 10/27/2017



Inset Map 1"=100'

Plan References:

- ADMINISTRATIVE SUBDIVISION PLAN THE BRADLEY SCHOOL - SOUTH COUNTY EXTENSION, AP 50-4 LOT 22 AND 23 TOWER HILL ROAD, SOUTH KINGSTOWN, RHODE ISLAND; PREPARED BY DIPRETE ENGINEERING ASSOCIATES, INC., PREPARED FOR BRADLEY SCHOOL - SOUTH KINGSTOWN, R.I.; REVISED 6-25-02, SHEET 1 OF 1. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2002-26.
- ADMINISTRATIVE SUBDIVISION, WAKEFIELD MEADOWS MAP 49-3, LOT 6 AND MAP 50-4, LOT 17 4847 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND OWNERS/APPLICANTS PULTE HOMES OF NEW ENGLAND LLC, REVISED 6-20-07, SHEET S-1, SHEET 1 OF 1 BY CROSSMAN ENGINEERING, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2007-37.
- OVERALL LAYOUT PLAN, WAKEFIELD MEADOWS MAP 49-3, LOT 6 AND MAP 50-4, LOTS 13 AND 24 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND PREPARED FOR JOHN HADDAD, REVISED 5/30/08, SHEET C6, SHEET 7 OF 43 BY CROSSMAN ENGINEERING, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2008-44.
- ADMINISTRATIVE SUBDIVISION, JOHN HADDAD PLAT MAP 50-4 LOTS 13 & 24 ZONING DISTRICT SMD ROUTE 1 SPECIAL MANAGEMENT DISTRICT 4847 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND PREPARED FOR JOHN HADDAD, REVISED JULY 1, 2009, SHEET S-1, SHEET 1 OF 1 BY CROSSMAN ENGINEERING, RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. 2009-38.
- HIGHWAY EASEMENT PLAN TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND A.P. 50-4 LOT 22 PREPARED BY: DIPRETE ENGINEERING ASSOCIATES, INC. PREPARED FOR: BRADLEY SCHOOL-SOUTH KINGSTOWN, R.I. SHEET 1 OF 1, DATE: SEPTEMBER 8, 2005. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN AS PLAT CARD NO. C2006-24.
- EASEMENT PLAN THE BRADLEY SCHOOL - SOUTH COUNTY EXTENSION TOWER HILL ROAD, SOUTH KINGSTOWN, R.I. A.P. 50-4, LOTS 22 AND 23 PREPARED BY: DIPRETE ENGINEERING ASSOCIATES, INC.; PREPARED FOR: BRADLEY SCHOOL-SOUTH KINGSTOWN, R.I. SHEET 1 OF 1, DATE: MARCH 5, 2003. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SOUTH KINGSTOWN IN DEED BOOK 1036 PAGE 670.
- WAKEFIELD MEADOWS ENTRANCE EASEMENT PLAN, WAKEFIELD MEADOWS PORTION OF MAP 49-3 LOT 6 TOWER HILL ROAD SOUTH KINGSTOWN, RHODE ISLAND OWNERS/APPLICANTS PULTE HOMES OF NEW ENGLAND LLC, REVISED MARCH 24, 2008, SHEET 1 OF 1. REFERENCED IN DEED BOOK 1332 PAGE 352, COPY OBTAINED FROM CROSSMAN ENGINEERING.
- AS-BUILT PLAN FOR BRADLEY SCHOOL PREPARED BY: THOMAS A. CHAMPLIN, PE, PLS SCALE 1"=40' DATE: 7/15/03

General Notes

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 50-4, LOT 22 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 981, PAGE 777 IS SUFFOLK REALTY, LLC.
- THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4409020203, DATED OCTOBER 16, 2013.
- THE PARCEL IS ZONED ROUTE 1 SMD PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON AUGUST 11, 2016. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- ELEVATIONS SHOWN HEREIN, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
- CONTOUR DATA SHOWN ON THIS PLAN IN THE WOODED AREAS CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- THE PARCEL DOES NOT CONTAIN ANY AREAS OF ACTIVE AGRICULTURAL USE.
- A SERIES WETLAND EDGE FLAGGED AND LOCATED BY DIPRETE ENGINEERING ON DECEMBER 9, 2008. B SERIES WETLAND EDGE FLAGGED AND LOCATED BY DIPRETE ENGINEERING ON NOVEMBER 19, 2015. ALL ONSITE WETLAND EDGES HAVE BEEN VERIFIED BY RIDEM UNDER VERIFICATION NO. 16-0081 DATED MAY 16, 2016.
- BASED ON A REVIEW OF THE ONLINE MAP OF NATIONAL REGISTER OF HISTORIC PLACES MAINTAINED BY THE NATIONAL PARK SERVICE, LAST UPDATED IN APRIL OF 2014, THE SITE DOES NOT FALL WITHIN AN AREA DESIGNATED AS A NATIONAL HISTORIC PLACE. (REF: <https://www.nps.gov/maps/full.html?mapid=7ad17cc9-b808-4f88-a2f9-c99909164466>)

Utility Notes

- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRAVING, PAVEMENT RESTORATION OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233). DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCUATELY SHOWN.
- UNDERGROUND WATER INFORMATION OBTAINED FROM PLAN REFERENCE 8 AND WATER LINE COMPLETION PLAN PREPARED FOR UNITED WATER RHODE ISLAND, DRAWING NUMBER 50-4, REVISED 1/23/12.
- UNDERGROUND SEWER INFORMATION OBTAINED FROM PLAN REFERENCE 8 AND SOUTH KINGSTOWN WEB GIS.
- UNDERGROUND GAS INFORMATION OBTAINED FROM NATIONAL GRID GIS MAPPING TRANSMITTED FROM NATIONAL GRID TO DIPRETE ENGINEERING ON MAY 10, 2017.
- UNDERGROUND ELECTRIC INFORMATION OBTAINED FROM NATIONAL GRID VIA WORK REQUEST 16945-SHM DATED 11/10/2016.
- UNDERGROUND DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	ASSESSOR'S PLAT	▲/△	NAIL FOUND/SET
ASPHALT	N/F	●/○	DRILL HOLE FOUND/SET
	(D)	⊙/⊗	IRON ROD/PIPE FOUND/SET
	(M)	■/□	BOUND FOUND/SET
	(C)	☆	SIGN
	(CA)	⊙	BOLLARD
HC	MEASURED	⊙ CB	SOIL EVALUATION
	CALCULATED	⊙ DCB	CATCH BASIN
	CHORD ANGLE	⊙ DMH	DOUBLE CATCH BASIN
	HANDICAPPED	⊙ FES	DRAINAGE MANHOLE
	PROPERTY LINE	⊙ GUY	FLARED END SECTION
ASSESSORS LINE	⊙ EMH	⊙ UP	GUY POLE
TREELINE	⊙ UPL	⊙ SMH	PROPERTY LINE
GUARDRAIL	⊙ SMH	⊙ UP	UTILITY/POWER POLE
FENCE	⊙ UP	⊙ SMH	LIGHTPOST
RETAINING WALL	⊙ SMH	⊙ UP	SEWER/SEPTIC MANHOLE
STONE WALL	⊙ UP	⊙ SMH	SEWER VALVE
MINOR CONTOUR LINE	⊙ SMH	⊙ UP	CLEANOUT
MAJOR CONTOUR LINE	⊙ UP	⊙ SMH	HYDRANT
WATER LINE	⊙ SMH	⊙ UP	IRRIGATION VALVE
SEWER LINE	⊙ UP	⊙ SMH	WATER VALVE
SEWER FORCE MAIN	⊙ SMH	⊙ UP	WELL
GAS LINE	⊙ UP	⊙ SMH	MONITORING WELL
ELECTRIC LINE	⊙ SMH	⊙ UP	UNKNOWN MANHOLE
OVERHEAD WIRES	⊙ UP	⊙ SMH	GAS VALVE
DRAINAGE LINE	⊙ SMH	⊙ UP	WETLAND FLAG
ETC	⊙ UP	⊙ SMH	BENCH MARK
	⊙ SMH	⊙ UP	BUSH
	⊙ UP	⊙ SMH	TREE

Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY (PERIMETER SURVEY)
 MEASUREMENT SPECIFICATION: CLASS I

DATA ACCUMULATION SURVEY: PERIMETER SURVEY
 CLASS III

TOPOGRAPHY ACCURACY: CLASS T-3 (IMPROVED AREAS)
 TOPOGRAPHY ACCURACY: CLASS T-4 (WOODED AREAS)
 VERTICAL ACCURACY: V-3

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PERIMETER RETRACEMENT AND TOPOGRAPHIC SURVEY PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

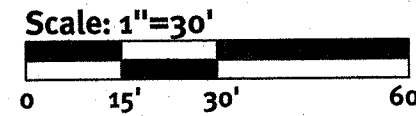
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: NOV 07 2022 FILE #: 17-0004
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

MICHAEL E. GAVITT
 No. 1981
 10/27/17
 PROFESSIONAL LAND SURVEYOR

BY: MICHAEL E. GAVITT RIPLS #1981
 C.O.A. NO. 13-1160

This Plan Should Be Indexed By The Following Streets:

- Tower Hill Road (Route 1)
- Hampton Way



Diprete Engineering
 Two Stafford Court, Cranston, RI 02926
 tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

Environmental Management
 OCT 17 2022
 Office of Water Resources

No.	Date	Description	By:
1	10/27/2022	ADD Note, Assessor, National Register of Historic Places, W.L.E.G.	K.A.D.
2	7/27/2022	Final/Initial Comments	B.F.L.
3	5/26/2026	Existing Conditions Plan	B.F.L.

Drawn By: B.F.L.

Existing Conditions Plan
 The Village at South County Commons
 District 5 Hotel
 Assessor's Plat No. Lot 23
 Southern Rhode Island Hospitality, LLC
 Southern Rhode Island Hospitality, LLC
 Two Stafford Court
 Cranston, Rhode Island 02926
 DE Job No. 0267-059-407 Copyright: 2017 by Diprete Engineering Associates, Inc.

SHEET 3 OF 15

Conditions Of Town Approval:

- THE USE OF PHASE 1 SHALL BE STRICTLY LIMITED TO A 100-ROOM, 49,900 SQUARE FOOT HOTEL AND 3,500 SQUARE FOOT POOL BUILDING WITH ASSOCIATED PARKING AND SITE IMPROVEMENTS, AS DEPICTED ON THE 'PHASING EXHIBIT.'
- SUBSEQUENT PHASES SHALL BE STRICTLY LIMITED TO OFFICE, BANK, NON-RETAIL, OR RESTAURANT USES, ASSOCIATED ACCESSORY USES, PARKING, AND SITE IMPROVEMENTS.
- APPROVAL OF THE BUILDING DESIGN, PARKING LAYOUT, LANDSCAPE MATERIALS AND DESIGN, STORMWATER MANAGEMENT FACILITY DETAILS, AND UTILITY DETAILS IS LIMITED TO ONLY THE BUILDINGS AND SITE IMPROVEMENTS DEPICTED ON THE 'PHASING EXHIBIT.'
- PRIOR TO ISSUANCE OF BUILDING PERMIT(S) FOR THE ABOVE GRADE STRUCTURES, NOT INCLUDING THE BUILDING FOUNDATION(S), IN PHASE 1, FINAL ARCHITECTURAL DESIGNS SHALL BE SUBMITTED TO AND APPROVED BY THE ADMINISTRATIVE OFFICER, WHO SHALL ENSURE SUCH PLANS ARE IN SUBSTANTIAL CONFORMANCE WITH THE PLANS PRESENTED DURING THE PUBLIC HEARING.

- PRIOR TO ISSUANCE OF BUILDING PERMIT(S) FOR THE ABOVE GRADE STRUCTURES, NOT INCLUDING THE BUILDING FOUNDATION(S), IN PHASE 1, A COMPREHENSIVE ANALYSIS OF THE PUMPS, ALARMS, AND ASSOCIATED EQUIPMENT AT THE BRADLEY SCHOOL AND VILLAGE AT SOUTH COUNTY COMMONS PUMP STATIONS IS TO BE CONDUCTED TO CONFIRM GOOD WORKING ORDER OF ALL SYSTEM COMPONENTS. A REPORT DETAILING THE ANALYSIS RESULTS AND ANY RECOMMENDED SYSTEM REPAIRS, PREPARED BY A RI REGISTERED PROFESSIONAL ENGINEER, IS TO BE SUBMITTED TO THE DEPARTMENT OF PUBLIC SERVICES (DPS) FOR REVIEW. THE APPLICANT SHALL COORDINATE WITH DPS TO DETERMINE WHICH, IF ANY, REPAIRS ARE TO BE MADE AND THE TIMELINE FOR COMPLETION OF SAID REPAIRS, AND SHALL PROPOSE AN IMPROVEMENT PLAN TO BE APPROVED BY DPS. ALL REQUIRED REPAIRS ARE TO BE COMPLETED PURSUANT TO THE APPROVED IMPROVEMENT PLAN.
- FOR EACH PHASE OF DEVELOPMENT, SOIL EROSION, RUN OFF AND SEDIMENTATION CONTROL PERMITS SHALL BE SECURED FROM THE TOWN'S DEPARTMENT OF PUBLIC SERVICES PRIOR TO APPLYING FOR A BUILDING PERMIT.
- FOR EACH PHASE OF DEVELOPMENT, UPON COMPLETION OF ALL PHYSICAL IMPROVEMENTS, AS-BUILT DRAWINGS MEETING THE REQUIREMENTS OF THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC SERVICES. ONCE APPROVED BY THE DEPARTMENT OF PUBLIC SERVICES, AND UPON POSTING OF THE MAINTENANCE GUARANTEE AND RECEIPT OF THE ADDITIONAL INFORMATION REQUIRED BY THESE CONDITIONS, THE AS-BUILT DRAWINGS SHALL BE RECORDED IN THE TOWN'S LAND EVIDENCE RECORDS (TO BE KNOWN AS THE AS-BUILT RECORD PLANS).

- FOR EACH PHASE OF DEVELOPMENT, PRIOR TO RECORDING THE AS-BUILT RECORD PLANS, A LICENSED LANDSCAPE ARCHITECT SHALL INSPECT THE INSTALLATION OF THE LANDSCAPE MATERIALS ASSOCIATED WITH THE DEVELOPMENT PHASE AND SUBMIT CERTIFICATION TO THE ADMINISTRATIVE OFFICER AND THE BUILDING OFFICIAL STATING THAT THE INSTALLATION SUBSTANTIALLY CONFORMS TO THE APPROVED PLAN.
- FOR EACH PHASE OF DEVELOPMENT, PRIOR TO RECORDING THE AS-BUILT RECORD PLANS, A CERTIFIED PROFESSIONAL ENGINEER SHALL INSPECT THE INSTALLATION OF ALL SITE IMPROVEMENTS ASSOCIATED WITH THE DEVELOPMENT PHASE, INCLUDING BUT NOT LIMITED TO THE STORMWATER MANAGEMENT SYSTEM, THE DRIVE AISLES, AND THE PARKING AREAS, AND SUBMIT CERTIFICATION TO THE ADMINISTRATIVE OFFICER, THE DEPARTMENT OF PUBLIC SERVICES, AND THE BUILDING OFFICIAL STATING THAT CONSTRUCTION SUBSTANTIALLY CONFORMS TO THE APPROVED PLAN.
- NO REQUEST FOR FINAL INSPECTION TO OBTAIN A CERTIFICATE OF OCCUPANCY OR USE SHALL OCCUR PRIOR TO RECORDING OF THE AS-BUILT RECORD PLANS.

Final Modified Development Data:

USE: 1 HOTEL + 1 RESTAURANT + 1 RESTAURANT
 BUILDING FOOTPRINT AREA: 17,325 SQFT + 6,500 SQFT + 6,500 SQFT = 30,325 SQFT
 PARKING PROVIDED: 269 SPACES
 TOTAL IMPERVIOUS AREA: 3.47 ACRES
 OPEN SPACE AREA: 7.45 ACRES

Previously Approved Development Data:

USE: 1 HOTEL + 1 BANK + 1 OFFICE BUILDING
 BUILDING FOOTPRINT AREA: 16,900 SQFT + 3,425 SQFT + 10,000 SQFT = 30,325 SQFT
 PARKING PROVIDED: 215 SPACES
 TOTAL IMPERVIOUS AREA: 3.32 ACRES
 OPEN SPACE AREA: 7.42 ACRES

General Notes:

- THE SITE IS LOCATED ON THE SOUTH KINGSTOWN OF RHODE ISLAND ASSESSOR'S PLAT 50-4 LOTS 22, 25, & 26.
- THE SITE IS APPROXIMATELY 13.79± ACRES AND IS ZONED SMD.
- THE OWNER OF AP 50-4 LOT 22 PER DEED BOOK 1664, PAGE 0299 IS: SOUTHERN RHODE ISLAND HOSPITALITY, LLC 3 FAIRFIELD WAY WAKEFIELD, RI 02879
- THE OWNER OF AP 50-4 LOTS 25 & 26 PER DEED BOOK 1664, PAGE 0299 IS: SUFFOLK REALTY, LLC TWO STAFFORD COURT CRANSTON, RI 02920
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44009C0203J, MAP REVISED OCTOBER 15, 2013. (FLOOD PLAIN DESCRIPTIONS SHOWN ABOVE)
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE SITE IS NOT WITHIN A:
 GROUNDWATER PROTECTION AREA (RIDEM)
 NATURAL HERITAGE AREAS (RIDEM)
 NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)
 SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
 GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 • SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
 o EROSION CONTROL MEASURES
 o SHORT TERM MAINTENANCE
 o ESTABLISHMENT OF VEGETATIVE COVER
 o CONSTRUCTION POLLUTION PREVENTION
 o SEQUENCE OF CONSTRUCTION
 • OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
 o LONG TERM MAINTENANCE
 o LONG TERM POLLUTION PREVENTION
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN MULTIPLE PHASES.
- PROPOSED DRAINAGE AND UTILITY EASEMENTS ACROSS LOTS SHALL BE SHOWN AT THE TIME OF THE FUTURE SUBDIVISION RECORDING.
- SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON DECEMBER 9, 2015 AND NOVEMBER 16, 2016.
- REFER TO "EASEMENT PLAN, THE VILLAGE AT SOUTH COUNTY COMMONS DISTRICT 5 HOTEL", SHEET 5 OF 5, DATED 6/1/18 AND "EASEMENT PLAN, THE VILLAGE AT SOUTH COUNTY COMMONS DISTRICT 5 HOTEL", SHEET 5 OF 5, DATED 6/1/18 FOR PROPOSED EASEMENT INFORMATION.

Development Data:

HOTEL SITE
 USE: HOTEL
 LOT AREA: 100 ACRES (42,400 SQFT)
 BUILDING SIZE: 50,000 SQFT
 PARKING REQUIREMENT: 1 SPACE/ROOM + 2 SPACES FOR EVERY 12 ROOMS OR FRACTION THEREOF
 PARKING PROVIDED: 100 + (100/12)*2=116.67=117 SPACES
 103 SPACES ONSITE (37 OVERFLOW ACROSS BRADLEY ACCESS)

RESTAURANT SITE EAST
 USE: RESTAURANT
 LOT AREA: 2.48 ACRES (107,878 SQFT)
 BUILDING SIZE: 6,500 SQFT
 PARKING REQUIREMENT: 1 SPACE/3 PERSONS
 PARKING PROVIDED: 150 PERSONS CAPACITY/3 SPACES PER PERSON = 50 SPACES

RESTAURANT SITE WEST
 USE: RESTAURANT
 LOT AREA: 8.85 ACRES (385,473 SQFT)
 BUILDING SIZE: 6,500 SQFT
 PARKING REQUIREMENT: 1 SPACE/3 PERSONS
 PARKING PROVIDED: 234 PERSONS CAPACITY/3 SPACES PER PERSON = 78 SPACES
 78 SPACES (+37 OVERFLOW SPACES ALLOCATED TO HOTEL)

Dimensional Regulations:

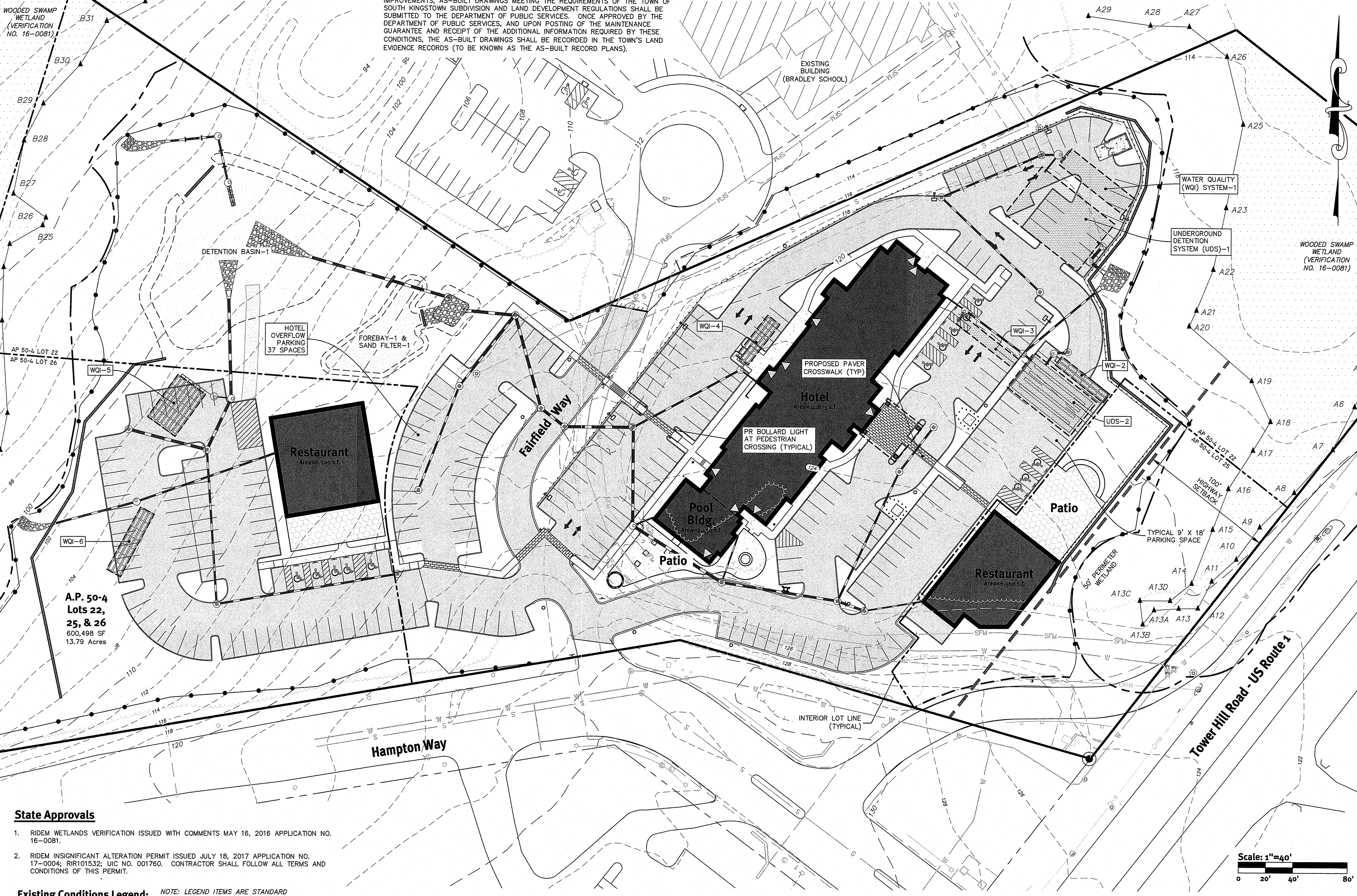
CURRENT ZONING:	SMD - ROUTE 1 SPECIAL MANAGEMENT DISTRICT (605.1)	REQUIRED	PROVIDED
MINIMUM LOT AREA:	2,500 SF	2,500 SF	600,498 SF
MINIMUM FRONTAGE AND LOT WIDTH:	25'-80'	25'-80'	485'
MINIMUM FRONT YARD:	0'	0'	132'
MINIMUM SIDE YARD:	4'	4'	60'
MINIMUM REAR YARD:	25'	25'	42'
MAXIMUM STRUCTURE HEIGHT:	40'	40'	40'
MAXIMUM LOT BUILDING COVERAGE:	70%	70%	5.5%
MINIMUM PERVIOUS AREA:	20%	20%	74.1%
MINIMUM SEPARATION BETWEEN BUILDINGS:	15'	15'	22'
MAXIMUM BUILDING SIZE:	100' IN LENGTH	100' IN LENGTH	100'

Soil Information:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)
 SOIL NAME DESCRIPTION
 BrB BROADBROOK SILT LOAM, 3 TO 8 PERCENT SLOPES
 RbB RAINBOW SILT LOAM, 3 TO 8 PERCENT SLOPES
 RbS RAINBOW VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES
 Rf RUDGEURDY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
 Ss STISSING SILT LOAM

Abbreviations:

EXISTING	PROPOSED	APPROXIMATE	FINISH FLOOR ELEVATION	ASSESSOR'S PLAT	NOW OR FORMERLY	TYPICAL	TOP OF CURB / TOP OF CONCRETE	BOTTOM OF CURB / BOTTOM OF CONCRETE	CATCH BASIN	EX	PR	APPROX	FFE	AP	N/F	TYP	TC	BC	CB	EX	PR	APPROX	FFE	AP	N/F	TYP	TC	BC	CB	EX	PR	APPROX	FFE	AP	N/F	TYP	TC	BC	CB			
DEEP SUMP CATCH BASIN	SEWER MANHOLE	DRAINAGE MANHOLE	CONCRETE	INVERT	ELEVATION	DIAMETER	POLYVINYL CHLORIDE PIPE	TOP OF WALL	BOTTOM OF WALL	DSCB	SMH	DMH	CONC	INV	ELEV	DIA	PVC	DEG	TW	BW	DSCB	SMH	DMH	CONC	INV	ELEV	DIA	PVC	DEG	TW	BW	DSCB	SMH	DMH	CONC	INV	ELEV	DIA	PVC	DEG	TW	BW



State Approvals

- RIDEM WETLANDS VERIFICATION ISSUED WITH COMMENTS MAY 16, 2016 APPLICATION NO. 16-0081.
- RIDEM INSIGNIFICANT ALTERATION PERMIT ISSUED JULY 18, 2017 APPLICATION NO. 17-0004; RIR101532; LIC NO. 001760. CONTRACTOR SHALL FOLLOW ALL TERMS AND CONDITIONS OF THIS PERMIT.

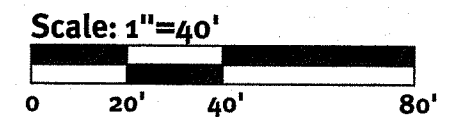
Existing Conditions Legend:

Legend Item	Description
EX MAJOR FOOT CONTOUR	160
EX MINOR FOOT CONTOUR	158
SOIL LINE AND DESIGNATION	HkC, CaD
PROPERTY LINE	
INTERIOR LOT LINE	
ASSESSOR LINE	
WETLAND EDGE	
WETLAND HATCH	A 45
50' PERIMETER WETLAND	50' PERIMETER WETLAND
GAS VALVE	
WATER VALVE	
HYDRANT	
LIGHT POLE	
UTILITY POLE	
DRILL HOLE FOUND/SET	
CATCH BASIN	
MANHOLE	
SIGN	
EDGE OF PAVEMENT	
EDGE OF PAVEMENT w/CURBING	
STONE WALL	
BUILDING	
TREELINE	
WATER LINE	
SEWER LINE	
TOWER HILL ROAD 100FT. SETBACK	
SILT FENCE	
LIMIT OF DISTURBANCE	
BUILDING FOOTPRINT	
BUILDING OVERHANG	
SAW CUT/MATCH AREA	
EDGE OF PAVEMENT	
EDGE OF CONCRETE SIDEWALK	
EDGE OF BERM	
ASPHALT PAVEMENT	
PARKING COUNT	
CONCRETE (PAD, SIDEWALK, PATIO)	
RETAINING WALL	
DRAIN LINE	
GRAVITY SEWER LINE	
LOW PRESSURE SEWER LINE	
WATER LINE	
GAS LINE	
MANHOLE	
TWO FOOT CONTOUR	
SPOT ELEVATION	
DRAIN FLOW ARROW	
SOIL EVALUATION	
BUILDING ENTRY	
TREELINE	
PR BEST MANAGEMENT PRACTICE LIMITS	
PR ELECTRIC, TELEPHONE AND CABLE UTILITY	

Proposed Legend:

Legend Item	Description
SILT FENCE	
LIMIT OF DISTURBANCE	
BUILDING FOOTPRINT	
BUILDING OVERHANG	
SAW CUT/MATCH AREA	
EDGE OF PAVEMENT	
EDGE OF CONCRETE SIDEWALK	
EDGE OF BERM	
ASPHALT PAVEMENT	
PARKING COUNT	
CONCRETE (PAD, SIDEWALK, PATIO)	
RETAINING WALL	
DRAIN LINE	
GRAVITY SEWER LINE	
LOW PRESSURE SEWER LINE	
WATER LINE	
GAS LINE	
MANHOLE	
TWO FOOT CONTOUR	
SPOT ELEVATION	
DRAIN FLOW ARROW	
SOIL EVALUATION	
BUILDING ENTRY	
TREELINE	
PR BEST MANAGEMENT PRACTICE LIMITS	
PR ELECTRIC, TELEPHONE AND CABLE UTILITY	

NOTE: LEGEND ITEMS ARE STANDARD AND DO NOT APPEAR ON EVERY SHEET.



DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 RI Environmental Management
 OCT 17 2022
 Office of Water Resources

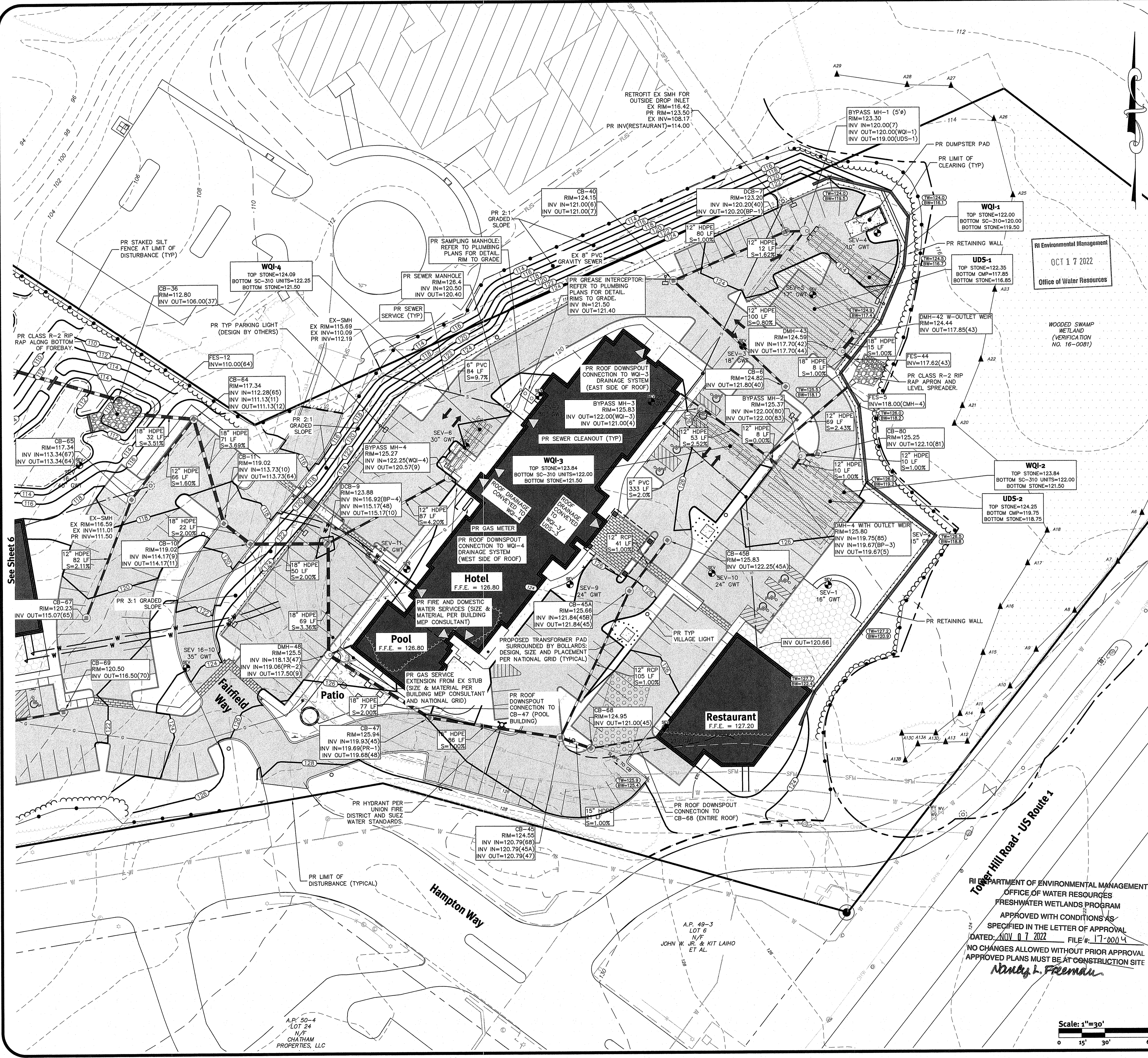
No.	Date	Description	By:
1	09/29/2022	BREAK PERMIT MODIFICATION	S.E.K.
2	04/20/2018	RIDEM WETLANDS COMMENTS	S.E.K.
3	2/26/2018	RIDEM WETLANDS MODIFICATION	S.E.K.
4	11/29/2017	RESTAURANT CONCEPT	S.E.K.

Design By: K.I.D.
 Drawn By: S.E.K.

Site Layout
 The Village at South County Commons
 District 5 - Zoned Route 1 Special Management District (SMD)
 Assessor's Plat 50-4, Lots 22, 25, & 26
 South Kingstown, Rhode Island 02879

Owner/Applicant:
 Southern Rhode Island Hospitality, LLC
 Two Stafford Court
 Cranston, Rhode Island 02920

Copyright 2022 by DiPrete Engineering Associates, Inc.



Grading and Utility Notes:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON-SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONSTRUCTION TO COMMENCE SUMMER 2017 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
4. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF SOUTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAILS, AND AS NOTED HEREIN.
5. SEQUENCE OF CONSTRUCTION PROVIDED IN SESC MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
8. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
9. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
10. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
11. ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
12. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
13. ALL COMPONENTS OF THE DRAINAGE, SEWER AND WATER SYSTEMS MUST BE ASBUILT SURVEYED PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
14. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT. ACCESS TO BRADLEY SCHOOL TO BE MAINTAINED AT ALL TIMES.
15. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
16. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ON-SITE OR REMOVED.
17. NO STUMP DUMPS ARE PROPOSED ON-SITE.
18. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 IN MA, ME, NH, RI & VT, CALL 1-800-922-4455 IN CT 72 HOURS (48 HOURS IN VT AND CT) PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY.
19. IF CONCRETE TRUCKS ARE WASHED OUT ON-SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.
20. CONTRACTOR SHALL OBTAIN ROOF DOWNSPOUT LOCATIONS FROM THE ARCHITECT AND EXTERIOR CONNECTION PIPE DESIGN FROM THE ENGINEER PRIOR TO CONSTRUCTION.

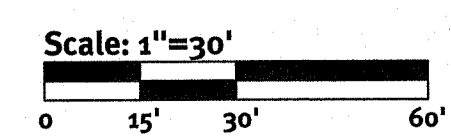
Traffic Notes:

1. DURING CONSTRUCTION TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE.
2. DURING CONSTRUCTION FLAGGERS SHALL BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
3. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES SHALL MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT AMENDMENTS.
4. TEMPORARY CONSTRUCTION SIGNS SHALL BE MOUNTED ON RIDOT APPROVED SUPPORTS AND SHALL BE REMOVED OR COVERED WHEN NOT APPLICABLE.
5. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES CURRENT EDITION.

ADA Notes:

1. ALL IMPROVEMENTS SHALL COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE.
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 4.5% OR 0.045', AND MAXIMUM CROSS SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 0.015'.
3. MAXIMUM SLOPE IN ALL DIRECTIONS FOR ALL ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE 0.015'.
4. A 5'x5' LANDING WITH A MAXIMUM SLOPE OF 1.5% OR 0.015', IN ALL DIRECTIONS SHALL BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EXITS.
5. SIDEWALK CURB RAMPS SHALL COMPLY WITH DIPRETE ENGINEERING DETAILS THAT MEET OR EXCEEDING RIDOT STANDARDS 43.3.0, 43.3.1, & 43.4.1 AS SHOWN ON THE DETAIL SHEET.
6. PLEASE NOTE THAT THE GRADING AND PLAN VIEWS AS WELL AS THE STANDARD DETAILS MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS AND RAMPS TO ADA STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA STANDARDS. IN THE EVENT OF ANY CONFLICTS THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 17 2022 FILE #: 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman



Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-664-6006 www.diprete-eng.com

KEVIN DEMERS
Kevin Demers
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY AS DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL USES OF THE PLANS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOSSES OF EXISTING UTILITIES.

No.	Date	Description	Design By: K.I.D.
1	09/29/2022	RIODET Permit Modification	
2	2/1/2018	RIODET Permit Modification	
3	2/1/2018	RIODET Permit Modification	
4	2/1/2018	RIODET Permit Modification	
5	2/1/2017	RIODET Permit Modification	
6	2/1/2017	RIODET Permit Modification	
7	2/1/2017	RIODET Permit Modification	
8	2/1/2017	RIODET Permit Modification	
9	2/1/2017	RIODET Permit Modification	
10	2/1/2017	RIODET Permit Modification	

Grading and Utility Plan-1
The Village at South County Commons
District 5, Zoned R-1, Special Management District (SMD)
Assessor's Plat 504, Lots 22-25, & 26
W/F
South Kingstown, Rhode Island 02879
Owner/Applicant
Southern Rhode Island Hospitality, LLC
Two Stafford Court
Cranston, Rhode Island 02920
DE-048-002-0267-059-408 Copyright 2022 by Diprete Engineering Associates, Inc.



See Sheet 5

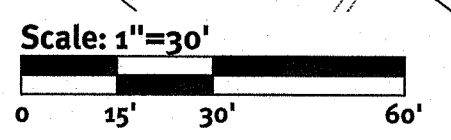
Rt Environmental Management
OCT 17 2022
Office of Water Resources

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel. 401-949-1000 fax. 401-464-6006 www.diprete-eng.com

Grading and Utility Plan-2
The Village at South County Commons
District 5 - Zoned Route 1 Special Management District (SMD)
South County Commons, 25-26
South County Commons, Rhode Island 02929
Owner/Applicant: **Southern Rhode Island Hospitality, LLC**
Two Stafford Court Cranston, Rhode Island 02920

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 07 2022 FILE # 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

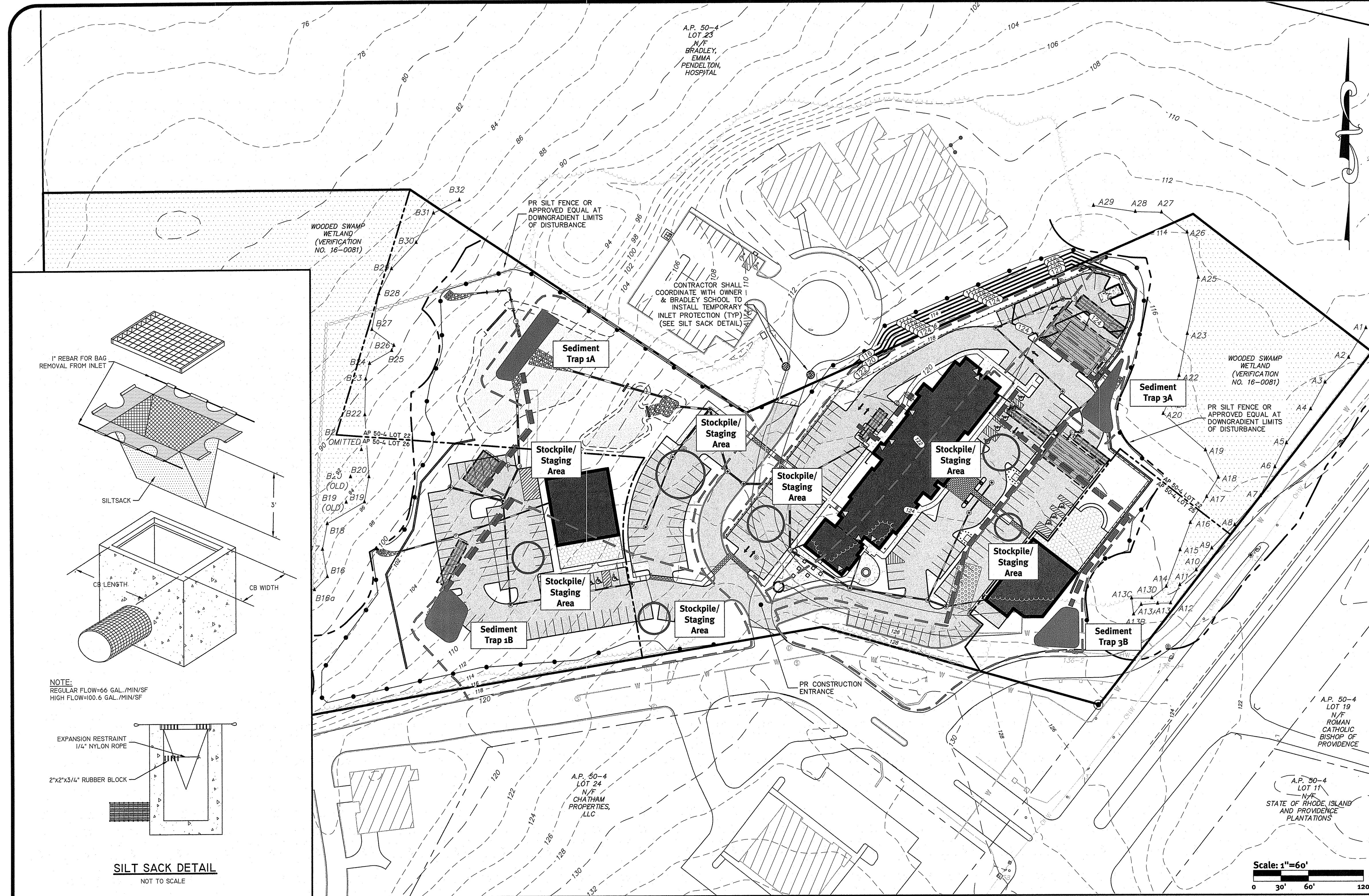


THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING CONTRACT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY:
1	09/29/2022	REVISION: Initial Modification	J.A.K.
2	2-24-2023	REVISION: Update to 2023 RISE Wetlands Regulation	J.A.K.
3	12-23-2022	Modified Site Plan	J.A.K.
4	12-23-2022	Final Design	J.A.K.

Design By: S.E.K.

c:\demers\projects\170004\0267-0269_south county commons\autocad drawings\0267-0269-026-plan.dwg Plot Date: 9/17/2022



- General Notes:**
- ALL EROSION CONTROL, DIVERSIONS, TEMPORARY SEDIMENTATION TRAP, ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION.
 - SILT FENCE/ STRAW WATTLE MUST BE INSTALLED AROUND ALL PROPOSED TREATMENT AREAS. NO CONSTRUCTION VEHICLES SHALL ENTER THESE STAKED AREAS.
 - SILT FENCE (OR AN APPROVED EROSION CONTROL DEVICE) AND DIVERSIONS SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED PAVEMENT AREAS. AFTER INITIAL PAVEMENT GRADING IS COMPLETE AND THE PERMANENT DRAINAGE INFRASTRUCTURE HAS BEEN CONSTRUCTED, THE DRAINAGE NETWORK SHALL BE BROUGHT ONLINE AND THE DIVERSIONS SHALL BE DECONSTRUCTED.
 - ONCE THE SEDIMENTATION TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE AREAS SHALL BE BROUGHT TO FINAL DESIGN GRADES.
 - INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
 - SEE SECTION 1.2 OF THE RI SESC HANDBOOK FOR SEQUENCE OF CONSTRUCTION ACTIVITY.
 - SEE SECTION 2.2 OF THE RI SESC HANDBOOK FOR PROJECT PHASING.
 - CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.
 - INFILTRATION BASINS & SAND FILTER AREAS SHALL BE STAKED OFF, DEMARCATED AND PROTECTED FROM CONSTRUCTION TRAFFIC DURING ALL CONSTRUCTION PHASES.
 - REFER DETAIL SHEETS FOR FURTHER INFORMATION.

- SEDIMENT TRAP NOTES:**
- THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES.
 - THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
 - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES SHALL NOT EXCEED 1.5:1.
 - THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
 - THE OUTLET CONSISTS OF A PEROUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
 - TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
 - MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET.
 - SIDE SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
 - MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
 - FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE 1, COLUMN V FILTER STONE.

- SEDIMENT TRAP INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:**
- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
 - INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
 - CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
 - CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
 - WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
 - DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
 - THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

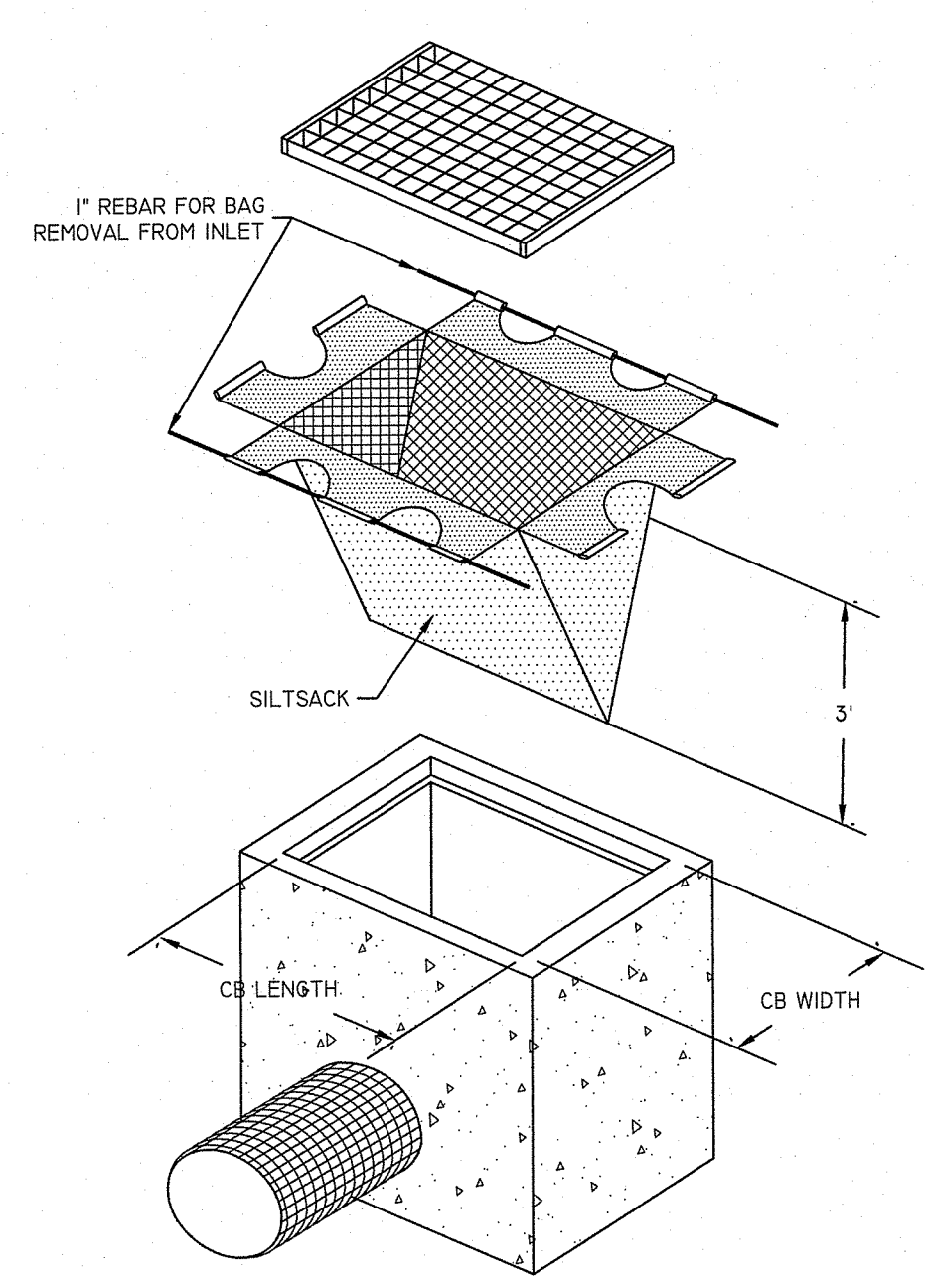
- INSTALLATION NOTES:**
- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
 - REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
 - EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
 - USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
 - STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES, SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.

Construction Phasing

- Phase IA** - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- Phase IB** - INSTALL TEMPORARY SEDIMENTATION TRAPS.
- Phase IC** - CONSTRUCT PROPOSED DIVERSIONS.
- Phase IIA** - CLEAR AND GRUB CONSTRUCTION AREAS. CONSTRUCT PROPOSED BUILDING AND PAVEMENT AREAS & INSTALL UTILITIES. INSTALL DRAINAGE & SEWER NETWORKS WORKING FROM THE DOWN GRADIENT END UP TO THE START OF NETWORKS.
- Phase IIB** - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.
- Phase III** - MAINTAIN & RE-INSTALL EROSION & SEDIMENT CONTROLS AT ALL DOWN GRADIENT LIMITS OF WORK.

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
Soil Erosion Control Legend**

- DIVERSION RUNOFF CONVEYANCE MEASURE
 - TRIBUTARY DRAINAGE AREA
 - TEMPORARY SEDIMENT TRAP
 - SILT FENCE OR APPROVED EQUAL EROSION CONTROL MEASURE
 - CONSTRUCTION ENTRANCE (RI STD 9.2.0)
- APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 07 2022 FILE #: 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
- Dorothy L. Freeman*



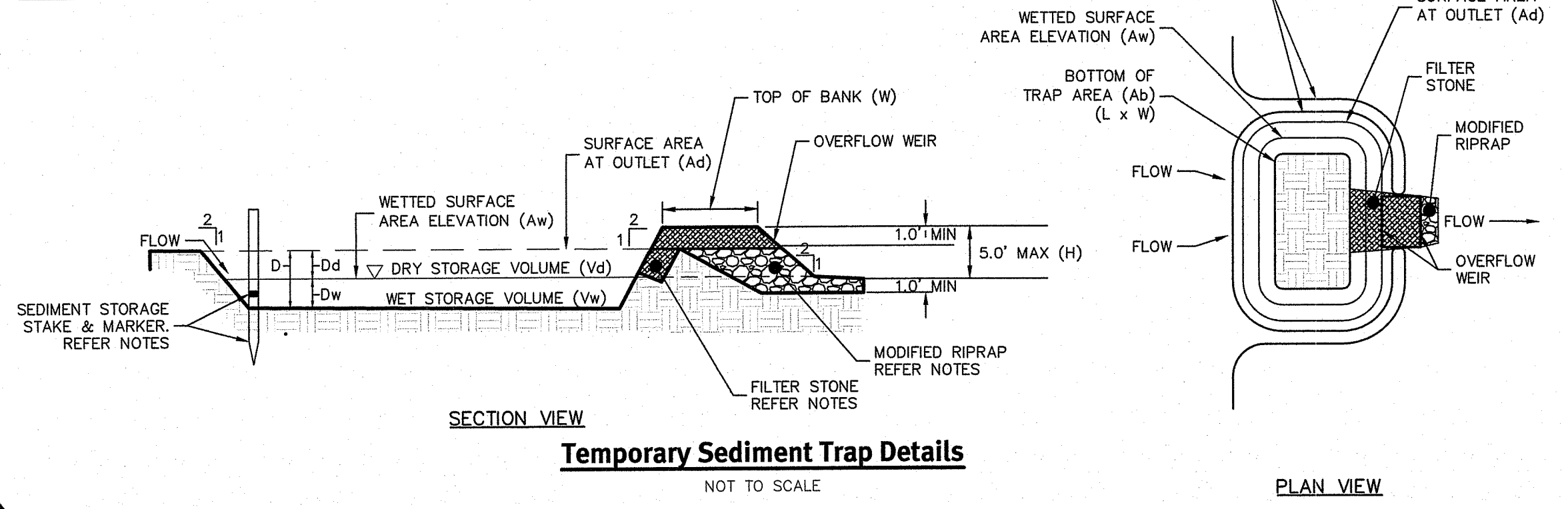
NOTE:
REGULAR FLOW=66 GAL./MIN/SF
HIGH FLOW=100.6 GAL./MIN/SF

SILT SACK DETAIL
NOT TO SCALE

SEDIMENT TRAP DIMENSIONS	TRAP 1A	TRAP 1B	TRAP 3A	TRAP 3B
TRIBUTARY DRAINAGE AREA	1.203 ac	1.087 ac	1.027 ac	0.967 ac
WET STORAGE DEPTH (Dw)	3.00 ft	2.50 ft	2.50 ft	1.50 ft
DRY STORAGE DEPTH (Dd)	1.00 ft	1.50 ft	1.50 ft	1.50 ft
TOTAL DEPTH (D)	4.00 ft	4.00 ft	4.00 ft	3.00 ft
BOTTOM OF TRAP AREA (Ab)	373 sq.ft	736 sq.ft	267 sq.ft	780 sq.ft
WETTED SURFACE AREA (Aw)	1,441 sq.ft	1,498 sq.ft	932 sq.ft	1,169 sq.ft
SURFACE AREA AT OUTLET (Ad)	1,855 sq.ft	1,802 sq.ft	1,495 sq.ft	1,614 sq.ft

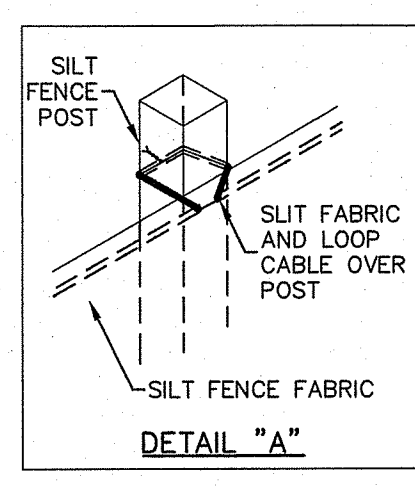
TOP WIDTH VS. HEIGHT

H=HEIGHT OF EMBANKMENT	W=TOP WIDTH OF EMBANKMENT
1.5	2.0
2.0	2.0
2.5	3.0
3.0	2.5
3.5	3.0
4.0	3.0
4.5	4.0
5.0	4.5

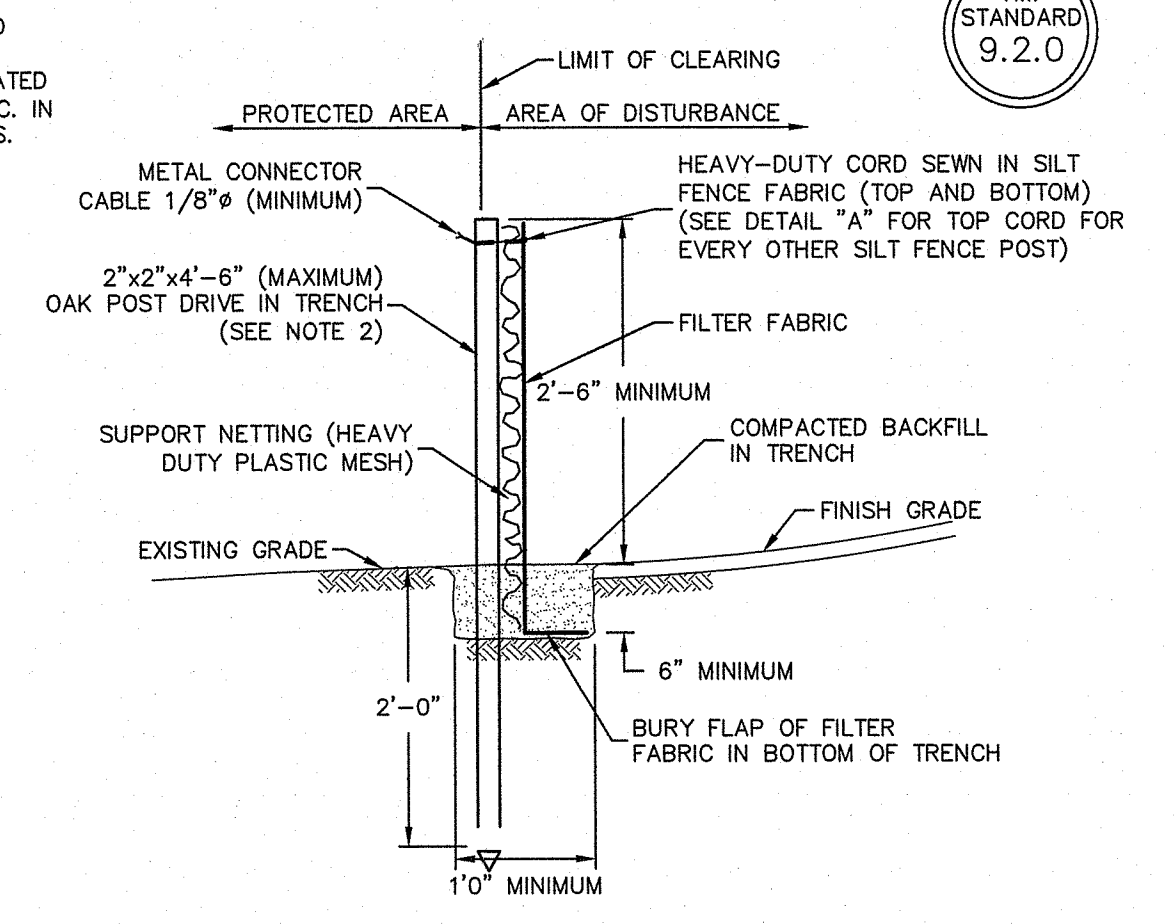


Temporary Sediment Trap Details
NOT TO SCALE

- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1"x4'-6" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.
 - ALTERNATE EROSION CONTROL METHOD MAY BE SUBSTITUTED WITH PROJECT ENGINEER APPROVAL.



Silt Fence Detail
NOT TO SCALE



RI STANDARD
9.2.0

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-943-6006 www.diprete-eng.com
Boston • Providence • Newport

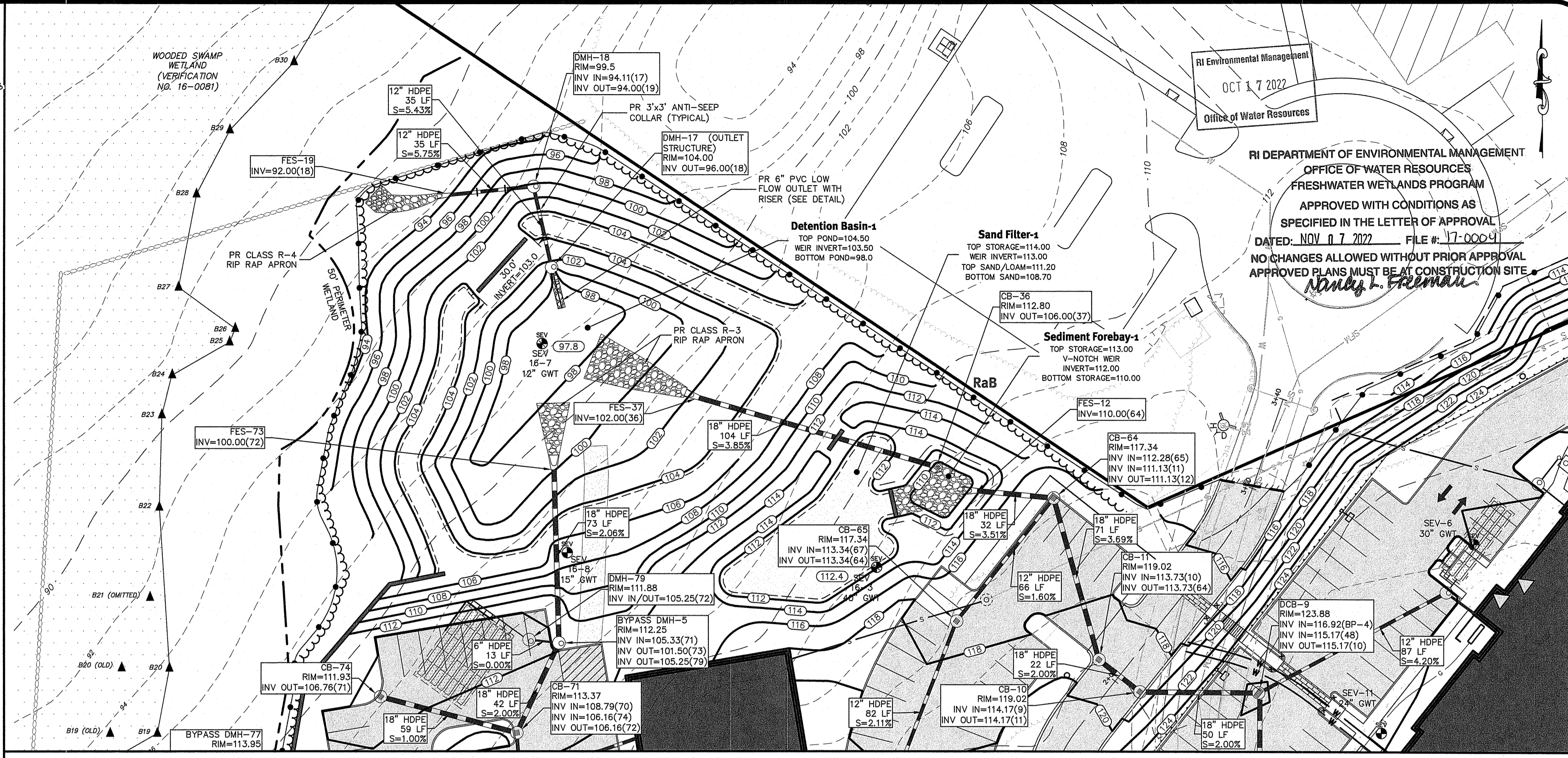
KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL
RI Environmental Management
Office of Water Resources
OCT 17 2022

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION, AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

NO.	DATE	DESCRIPTION	BY:
1	09-09-2022	RIDEM Permit Modification	S.E.K.
2	04-20-2023	RIDEM Wetlands Comments	S.E.K.
3	05-24-2023	RIDEM Wetlands Comments	S.E.K.
4	12-13-2023	Revised Site Plan	S.E.K.
5	01-15-2024	Restaurant Concept	S.E.K.

Design By: K.I.D.
Drawn By: S.E.K.

Soil Erosion & Sediment Control Plan
The Village at South County Commons
District 5 - Zoned Route 1 Special Management District (SMD)
Assessors Plat 50-4, Lots 22, 25, & 26
South Kingstown, Rhode Island 02879
Southern Rhode Island Hospitality, LLC
Owner/Applicant
Two Stafford Court
Cranston, Rhode Island 02920
DE Job No: 0287-059-408 Copyright 2022 by Diprete Engineering Associates, Inc.



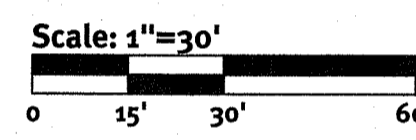
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 07 2022 FILE # 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel 401-943-6000 Fax 401-944-6000 www.diprete-eng.com

Boston Providence Newport

KEVIN DEMERS
Kevin Demers
REGISTERED PROFESSIONAL ENGINEER
CIVIL

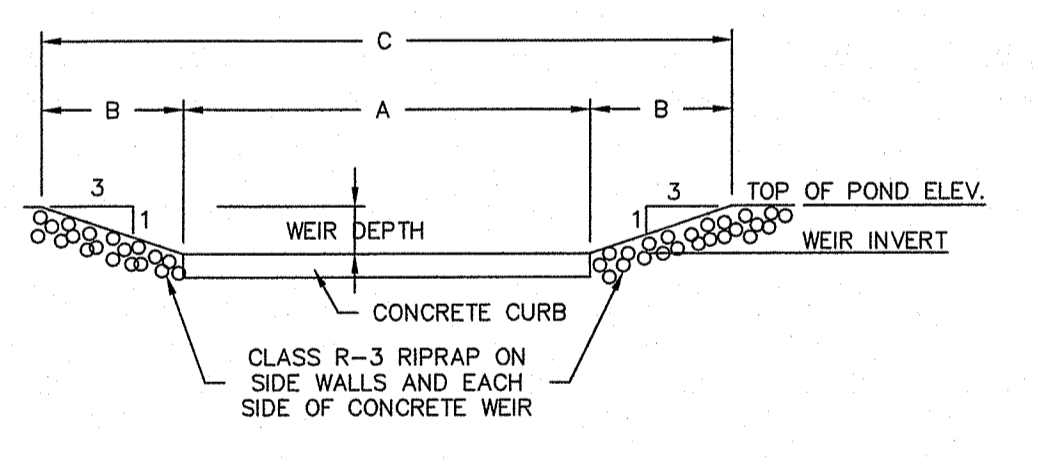
Detention Basin-1, Forebay-1 and Sand Filter-1



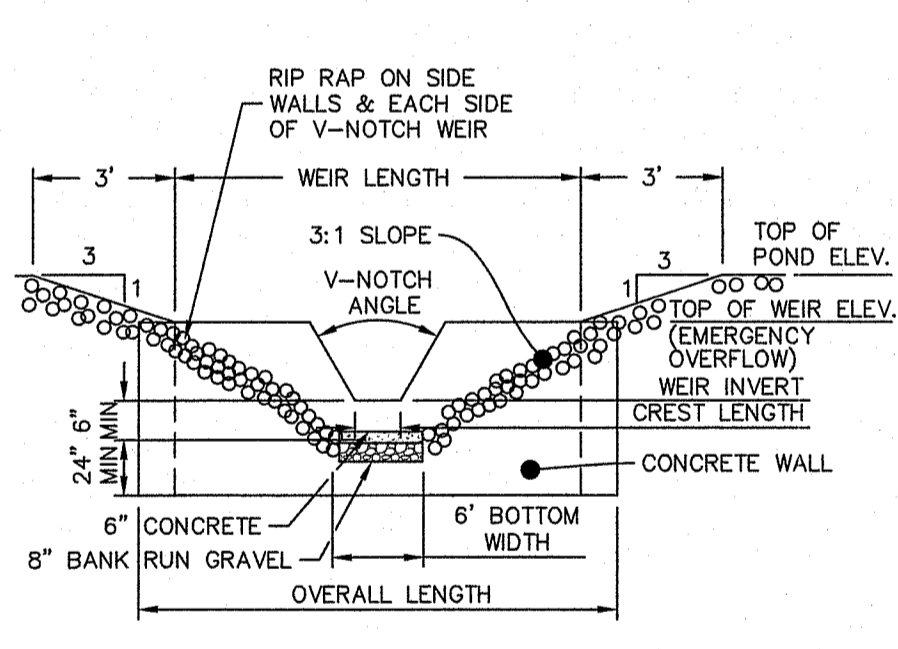
LOCATION	TOP OF POND ELEV.	WEIR INVERT	WEIR DEPTH	A	B	C
DETENTION BASIN-1	104.50	103.50	1.0'	30'	3'	36'
SAND FILTER-1	114.00	113.00	1.0'	10'	3'	16'

TOP OF POND ELEV.	TOP OF WEIR ELEV.	V-NOTCH ANGLE	CREST LENGTH	WEIR INVERT	EMER. WEIR LENGTH	OVERALL LENGTH
114.00	113.00	45°	2.0'	112.00	6'	14'

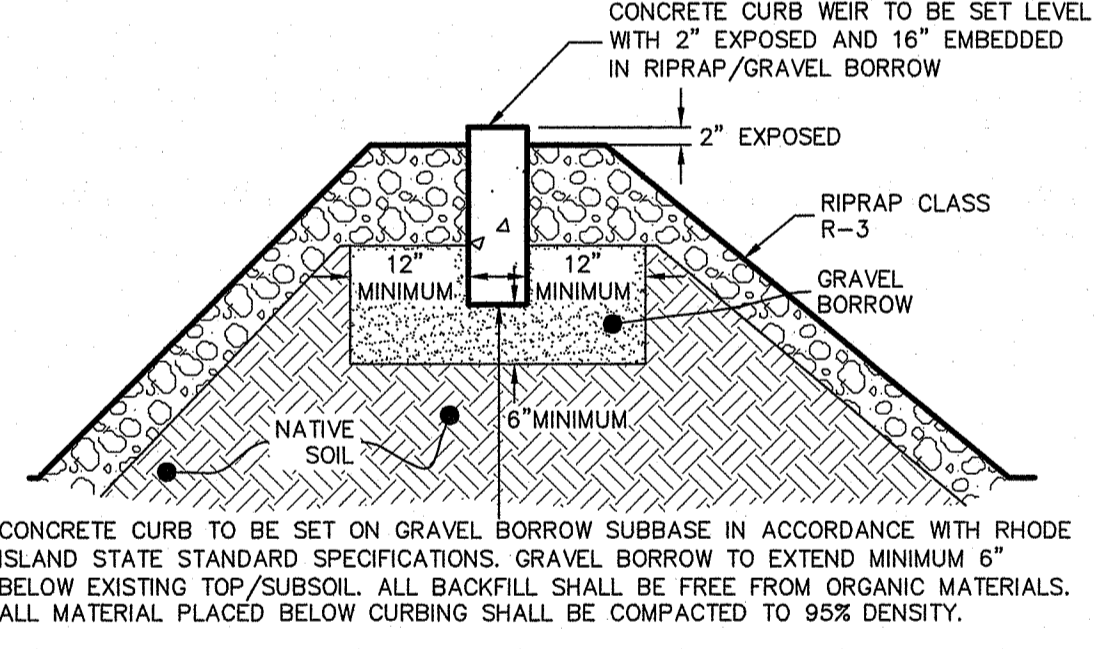
LOCATION	TOP OF POND ELEV.	WEIR INVERT	WEIR DEPTH
DETENTION BASIN-1	104.50	103.50	1.0'
SAND FILTER-1	114.00	113.00	1.0'



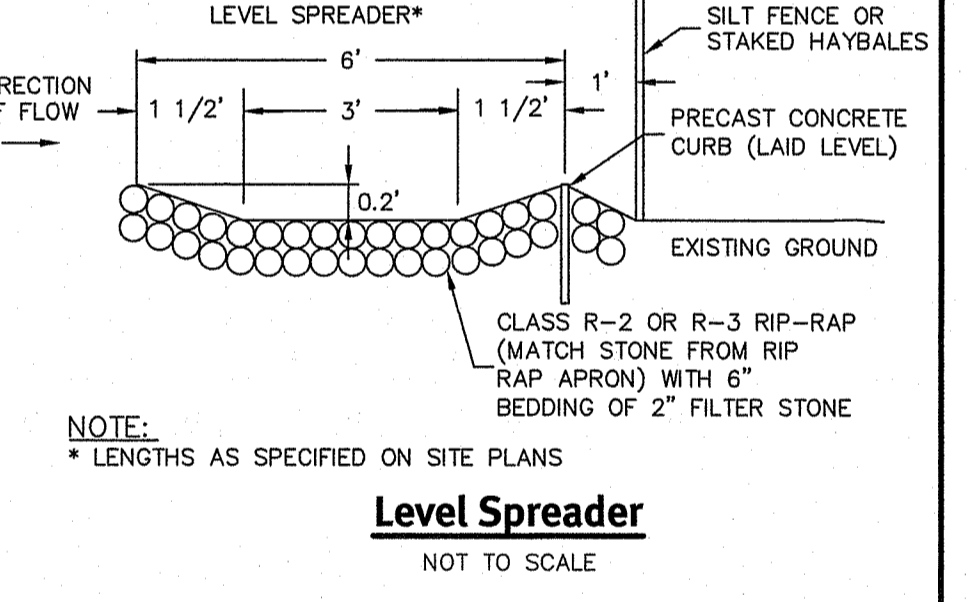
Emergency Spillway Detail
NOT TO SCALE



V-Notch Weir Detail (Forebay-1)
NOT TO SCALE



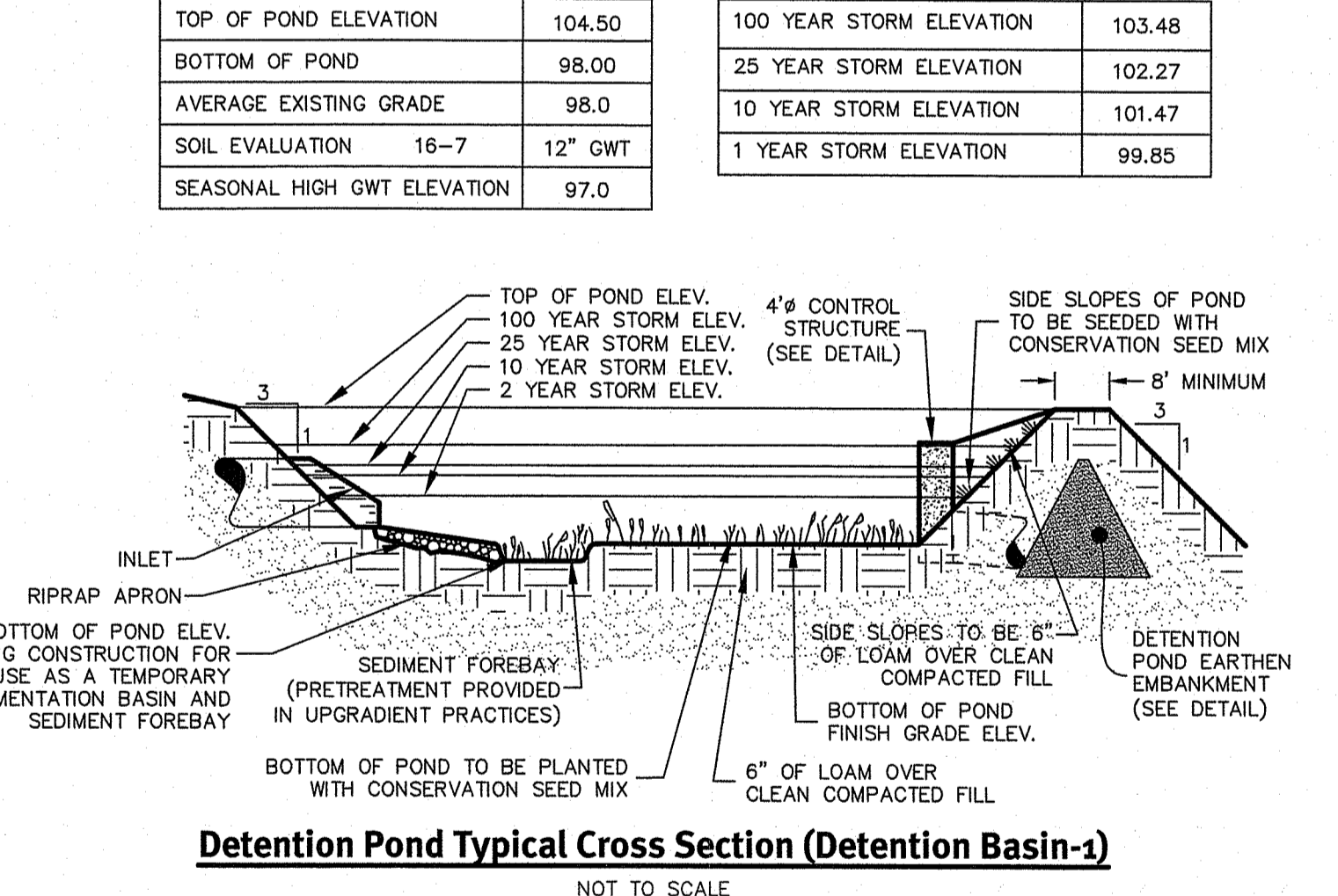
Curb Outlet Weir Cross Section
NOT TO SCALE



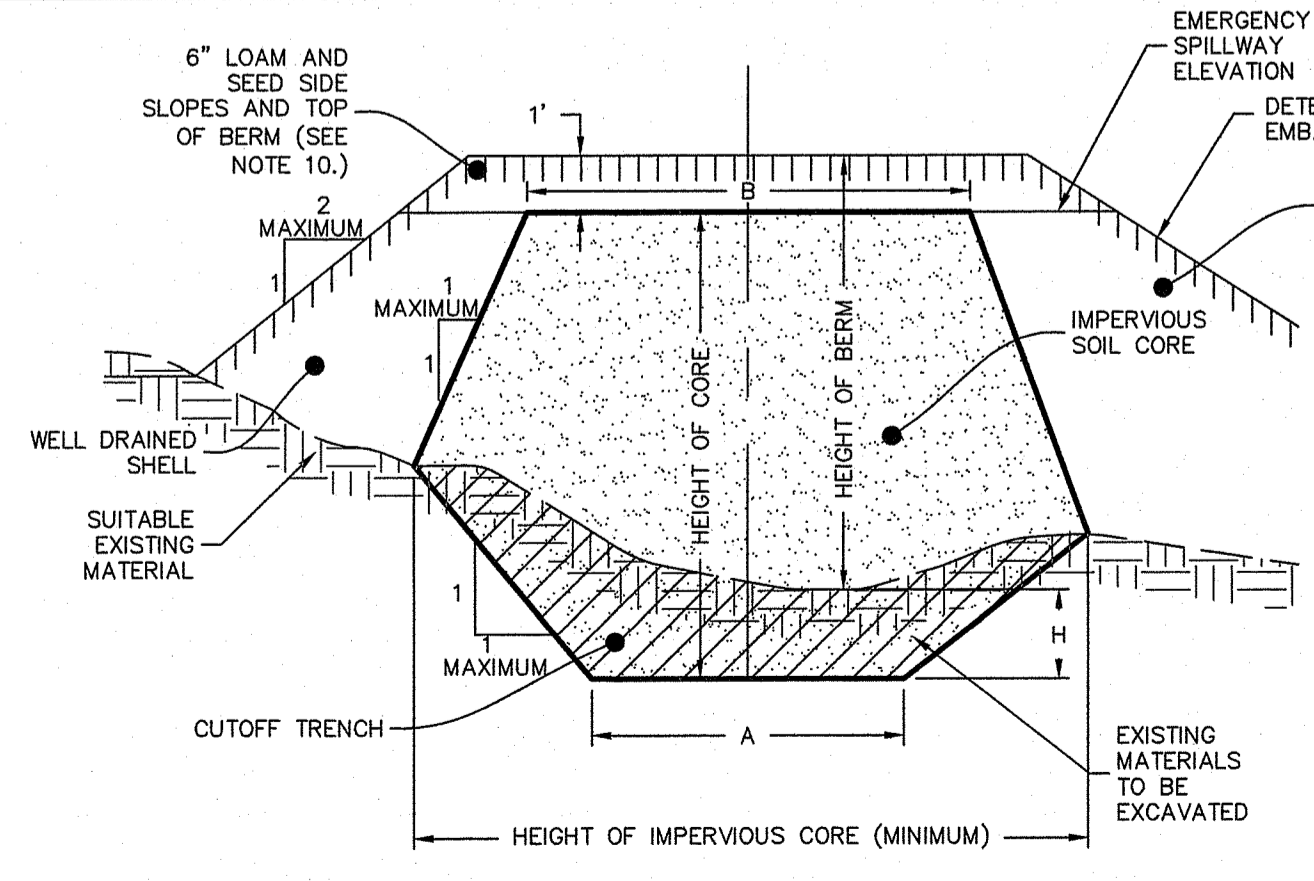
Level Spreader
NOT TO SCALE

Soil Testing
SITE TESTING DATE OF EXCAVATION 11/16/16

SEV	SOIL STRATA:	SOIL CATEGORY:
Ap	0-10" 10YR 3/2 fsl 1-sbk fri	4
Bw1	10"-14" 10YR 5/8 fsl 1-sbk fri	4
Bw2	14"-27" 2.5Y 5/3 fsl 0-m fri	4
Cd	27"-66" 2.5Y 4/2 gfs 0-m fri	8



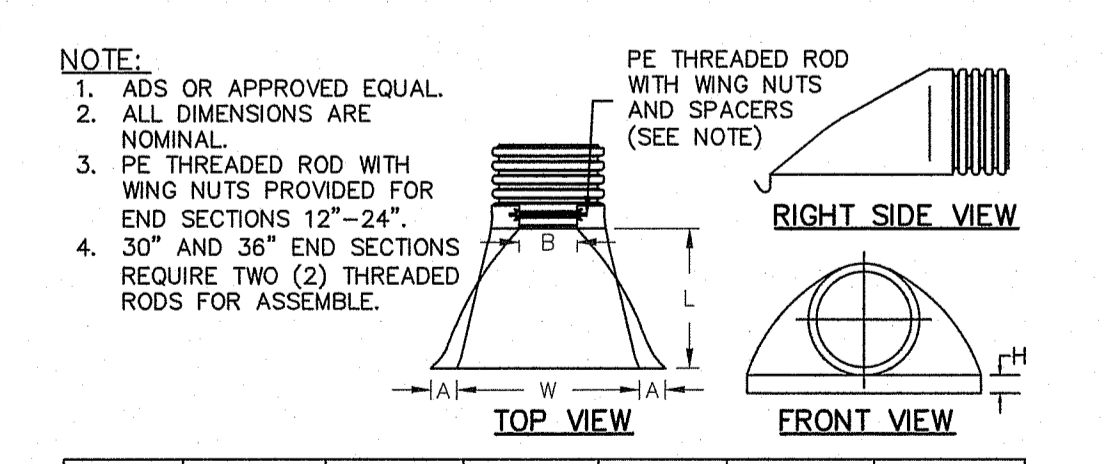
Detention Pond Typical Cross Section (Detention Basin-1)
NOT TO SCALE



Detention Pond Earthen Embankment
NOT TO SCALE

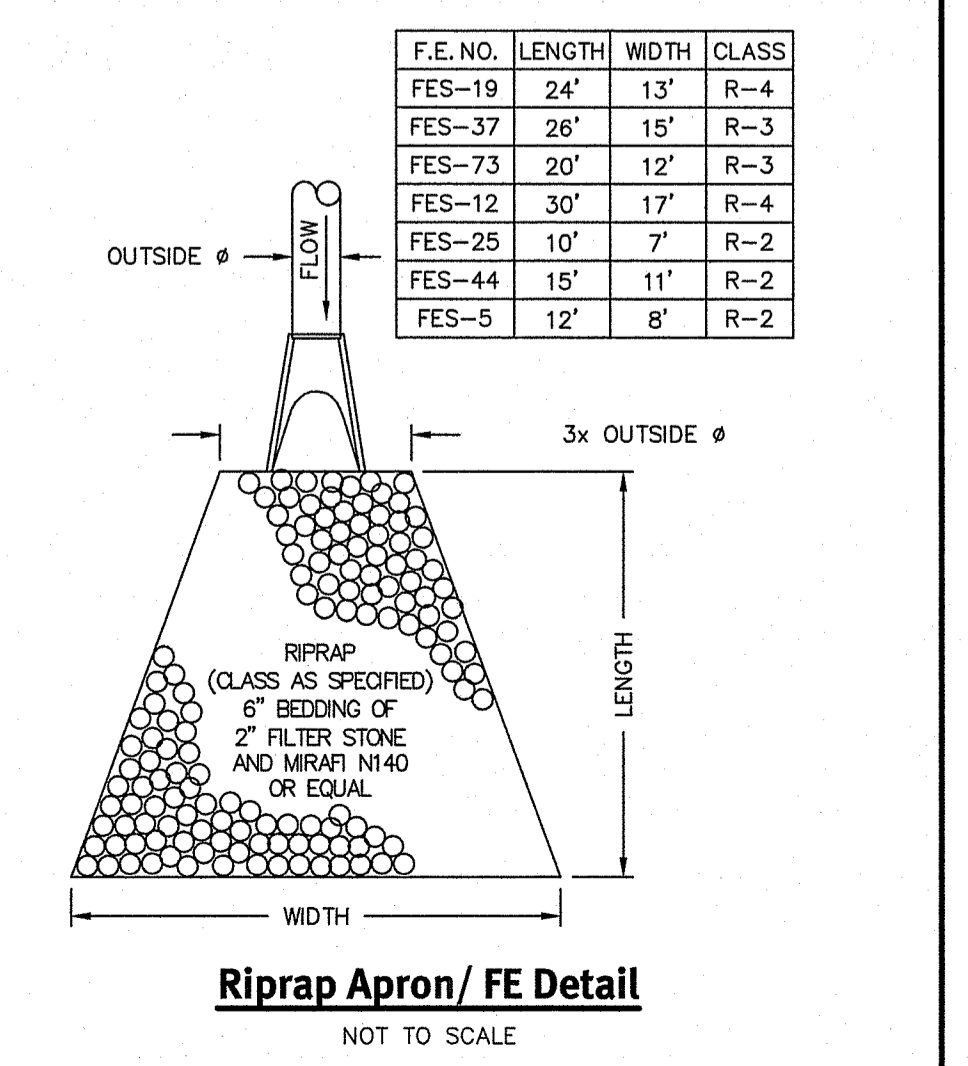
BERM HEIGHT (FT)	TOP WIDTH OF CORE - B (FT)
0-6.5	8.2
6.6-9.8	9.2
9.9-13.1	9.8
13.2-16.4	10.8
16.5-19.7	11.5

NOTES:
1. IMPERVIOUS SOIL CORE TO BE PROVIDED FOR ALL DETENTION POND EMBANKMENTS.
2. IMPERVIOUS SOIL CORE TO BE CONSTRUCTED OF MATERIAL CONSISTING OF SILT OR <200 SOIL.
3. WELL DRAINED SHELL TO BE CONSTRUCTED OF GRAVEL AND/OR SAND WITH LESS THAN 5% PASSING THE #200 SIEVE.
4. MINIMUM DEPTH OF CUTOFF TRENCH (H) SHALL BE 3/4 OF THE TOTAL BERM HEIGHT.
5. THE IMPERVIOUS CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
6. THE MINIMUM BOTTOM WIDTH (A) SHALL BE 5'-8", AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
7. SIDE SLOPES OF THE TRENCH SHALL BE NO STEEPER THAN 1:1. IF BEDROCK IS ENCOUNTERED BELOW THE DAM THE CUT OFF TRENCH CAN BE REDUCED TO 1:1' (A/H).
8. COMPACTION REQUIREMENTS FOR THE SHELL AND IMPERVIOUS CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
9. SIDE SLOPE OF DETENTION POND EMBANKMENT TO BE 2:1 MAXIMUM. IF SIDE SLOPES ARE STEEPER THAN 3:1, SLOPE PROTECTION MUST BE UTILIZED ON POND EMBANKMENT. THIS INCLUDES, BUT NOT LIMITED TO, RIPRAP AND EROSION CONTROL MATS.
10. THE IMPERVIOUS CORE SHALL BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
11. ALL EMBANKMENTS TO BE DESIGNED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A GEOTECHNICAL ENGINEER.

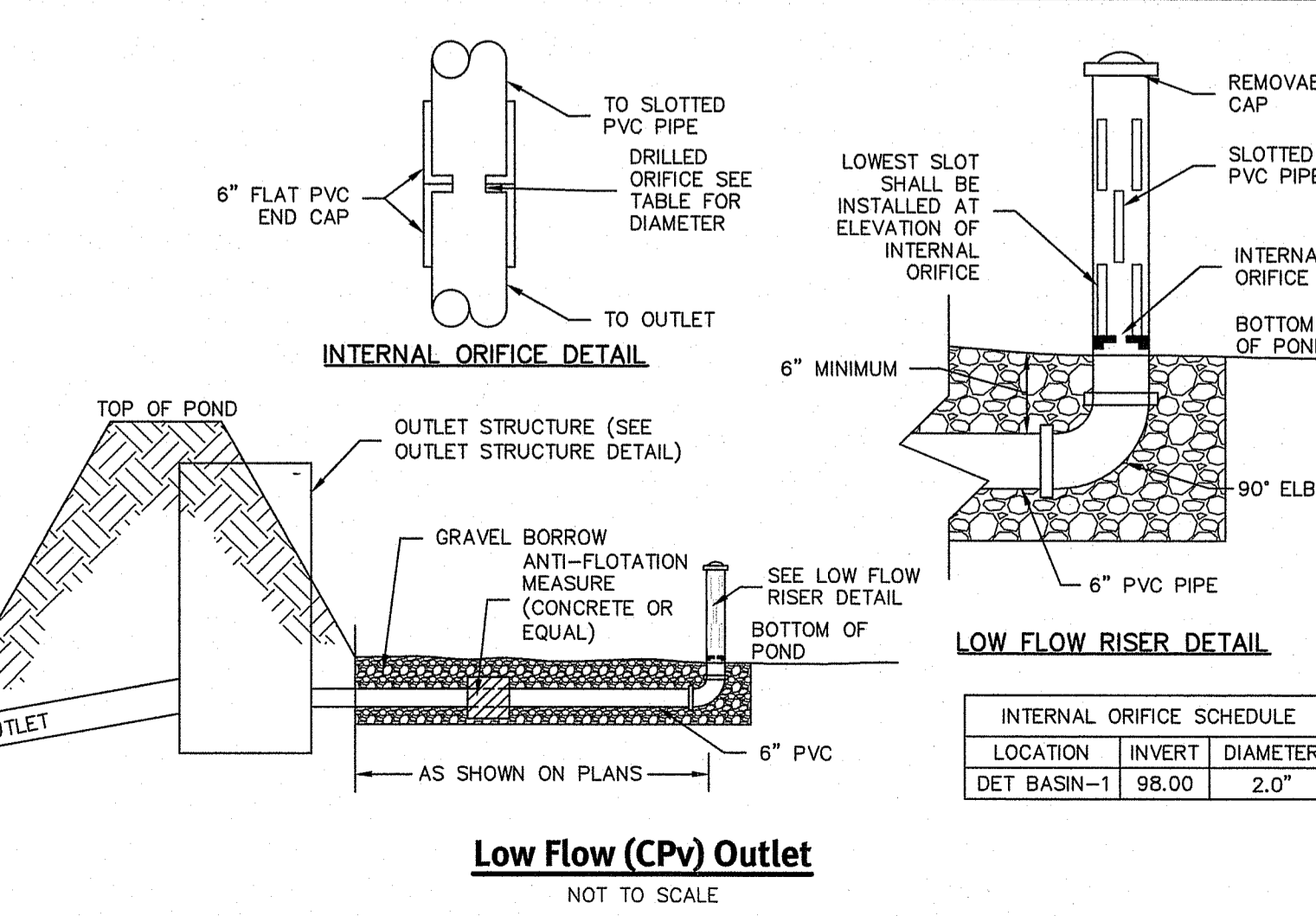


HDPE Flared End Section
NOT TO SCALE

PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1510NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1810 NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
2410NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
3015NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)
3615NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600 MM)



Riprap Apron / FE Detail
NOT TO SCALE



Low Flow (CPV) Outlet
NOT TO SCALE

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

ENGINEERING TITLE BLOCK STAMPED BY REGISTERED PROFESSIONAL ENGINEER KEVIN DEMERS. ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA RECORDS, IN CONNECTION WITH THE CONSTRUCTION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

No.	Date	Description	By:
1	05/25/2022	Final Design	K.D.
2	06/01/2022	Final Design	K.D.
3	06/01/2022	Final Design	K.D.
4	06/01/2022	Final Design	K.D.
5	06/01/2022	Final Design	K.D.

Design By: K.D.
Drawn By: S.E.K.

BMP Details-1
The Village at South County Commons
District: 2
Site: 1
Assessor's Plat No.: 105 22, 25, 26 & 26
South Kingstown, Rhode Island 02879

Owner/Applicant
Southern Rhode Island Hospitality, LLC
Two Stafford Court
Cranston, Rhode Island 02920

DE File No: 0267-059-A08 Copyright 2022 by DiPrete Engineering Associates, Inc.

SHEET 8 OF 15

RI Environmental Management
OCT 17 2022
Office of Water Resources

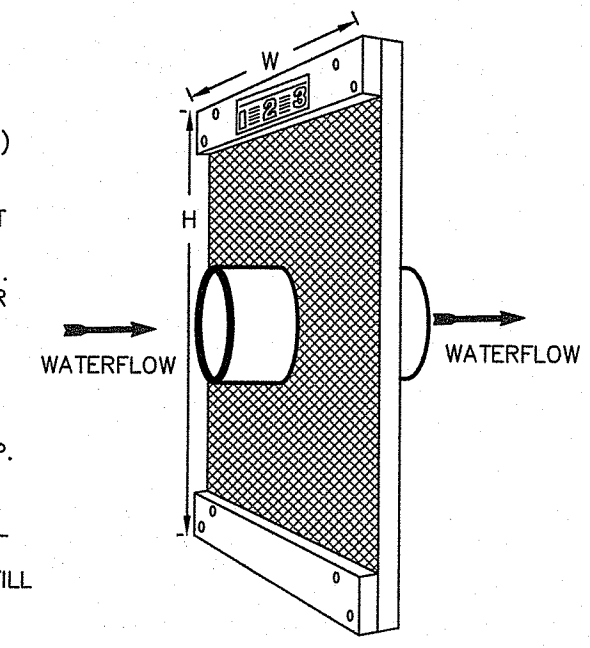
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 07 2022 FILE #: 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Kevin Demers

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-464-6066 www.diprete-eng.com

Boston • Providence • Newport

LOCATION	WIDTH	HEIGHT	QUANTITY
DP-1	3.0'	3.0'	4

INSTALLATION NOTES:
1. UNROLL THE ANTI-SEEP AND ATTACH THE BOARDS TO THE EDGES TO FORM A SQUARE. (USE THE BOARDS AND NAILS PROVIDED)(4'X4' AND LARGER)
2. CUT A ROUND HOLE IN THE RUBBER THAT IS SMALLER THAN THE PIPE SIZE (APPROX. 25% SMALLER). THIS WILL ALLOW THE RUBBER TO STRETCH OVER THE PIPE WHEN THE ANTI-SEEP IS INSTALLED ON THE PIPE. THIS SHOULD PROVIDE A NEARLY WATERPROOF SEAL BETWEEN THE PIPE AND THE ANTI-SEEP.
3. SLIP THE PIPE THROUGH THE ANTI-SEEP. INSPECT THE SEAL BETWEEN THE PIPE AND THE ANTI-SEEP. CAREFULLY BACK-FILL AND COMPACT WITH SUITABLE SOIL.



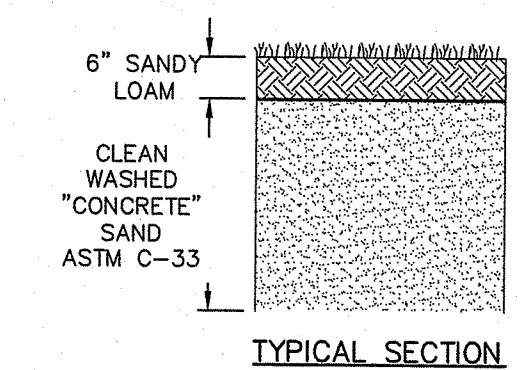
NOTE:
AGRI DRAIN CORP. OR EQUAL

Anti-Seep Collar
NOT TO SCALE

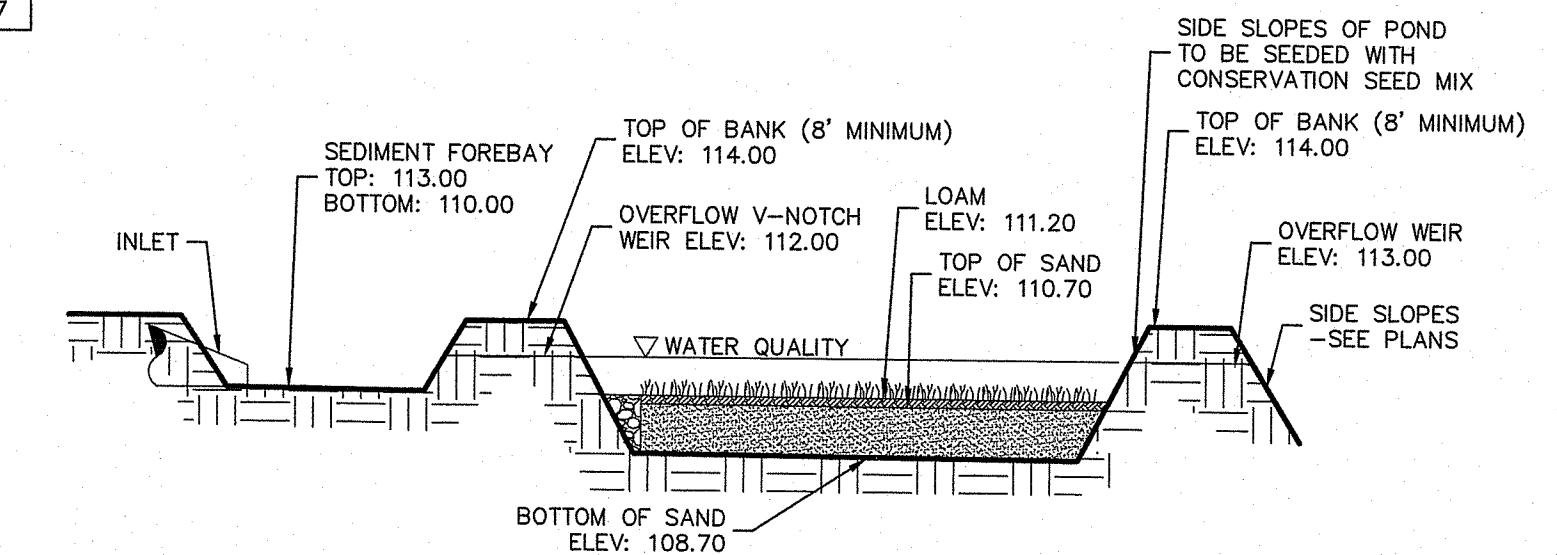
DESCRIPTION	SF-1
100 YEAR STORM ELEVATION	113.35
10 YEAR STORM ELEVATION	113.22
1 YEAR STORM ELEVATION	112.93
SAND & LOAM DEPTH	2.5
AVERAGE EXISTING GRADE	111.0
SOIL EVALUATION	SE16-3
SEASONAL HIGH GW DEPTH	40"
SEASONAL HIGH GW ELEVATION	107.67

NOTE:

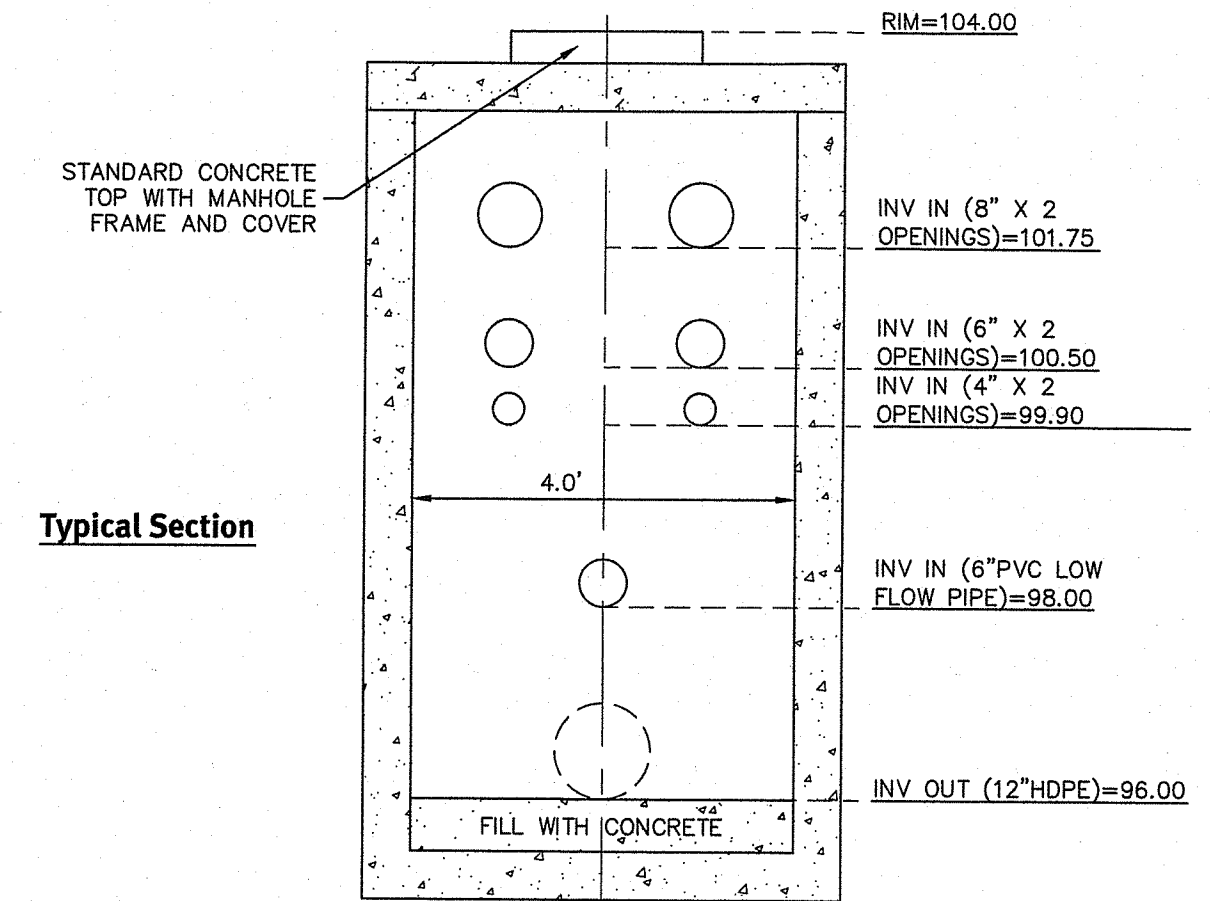
1. WHERE EXISTING "B" SOIL HORIZON IS BELOW THE BOTTOM OF STONE, THE CONTRACTOR SHALL EXCAVATE TO THE "B" SOIL HORIZON AND BACKFILL WITH SANDY LOAM. SEE SECTION A2.1 OF THE STORMWATER REPORT FOR HORIZON DEPTHS, AND SECTION 3.6 OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR DEWATERING PRACTICES DURING EXCAVATION AS APPLICABLE.



TYPICAL SECTION

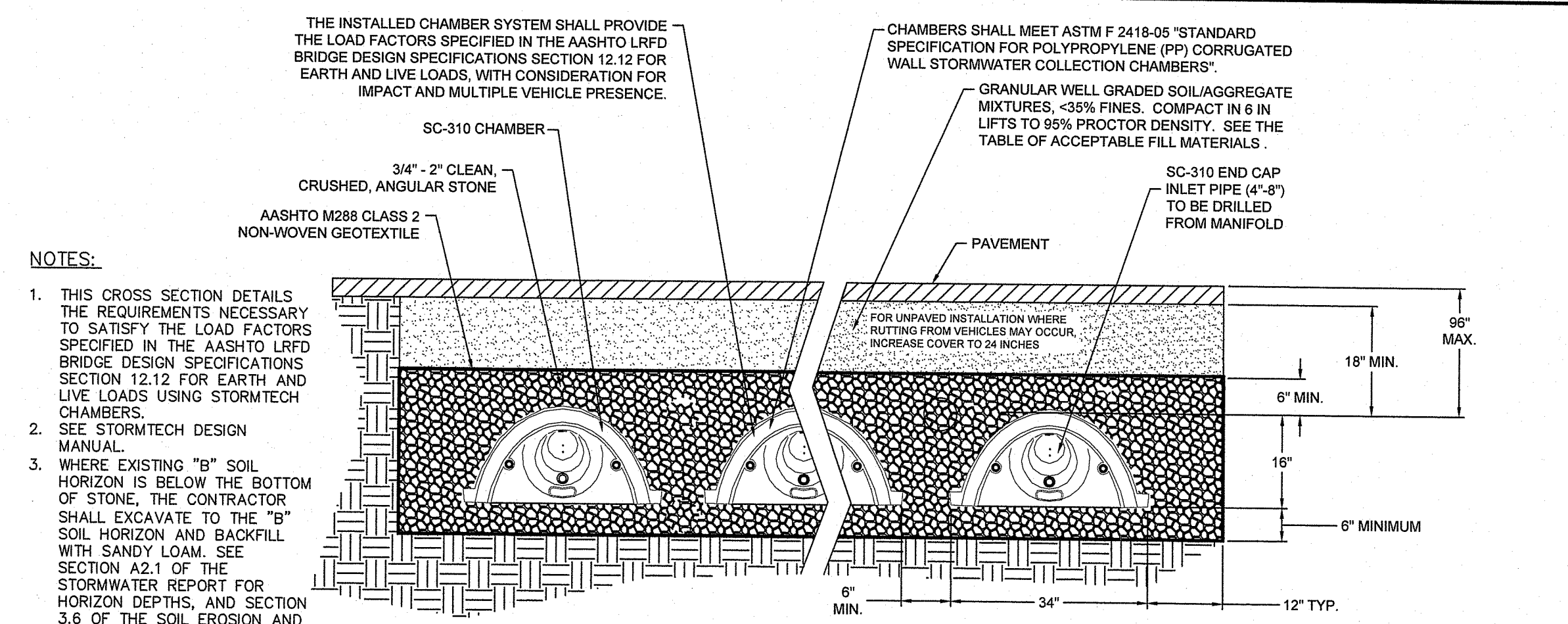


Sand Filter SF-1 (Infiltration)
NOT TO SCALE



Typical Section

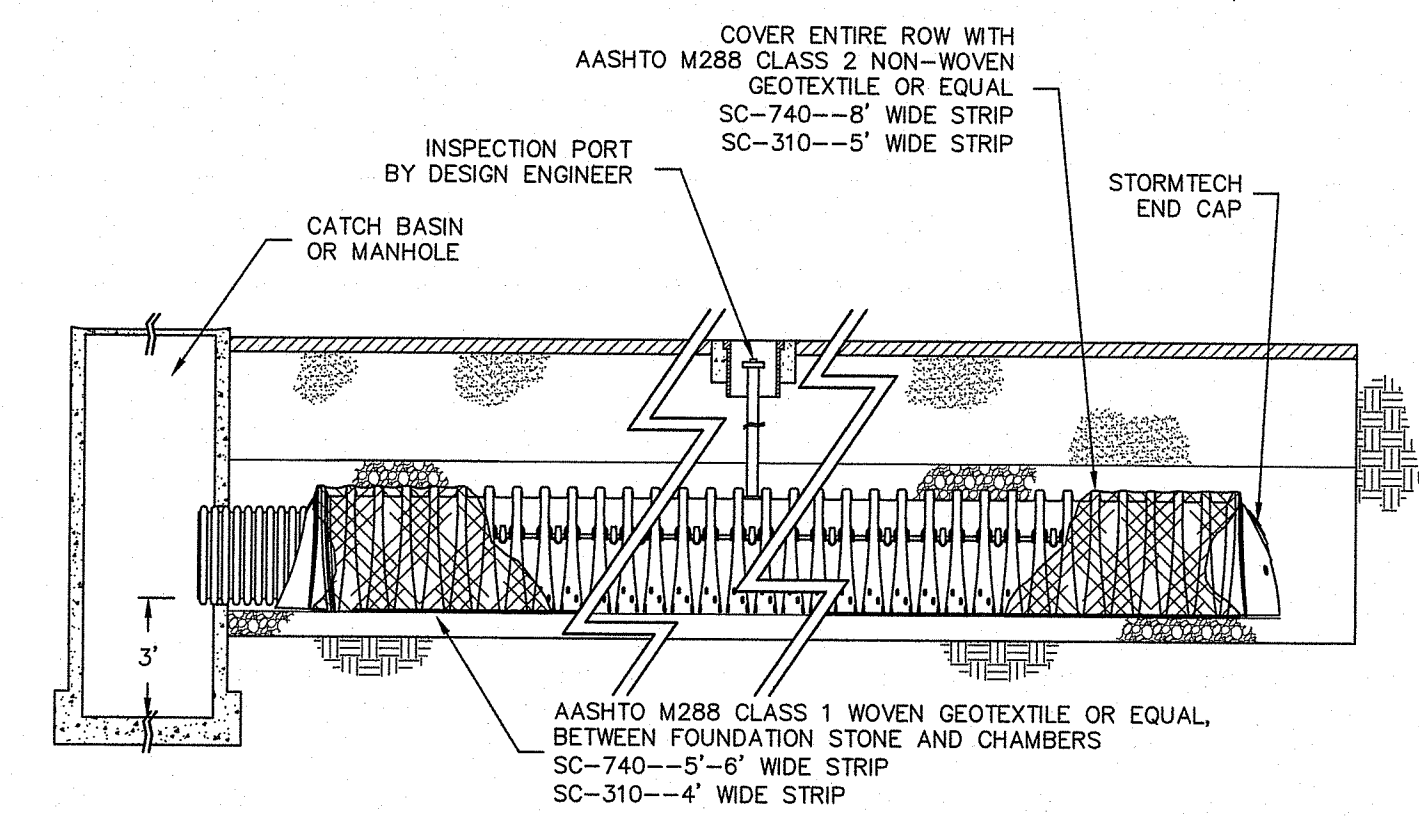
Outlet Control Structure (DMH-17)
VERT SCALE: 1"=2'



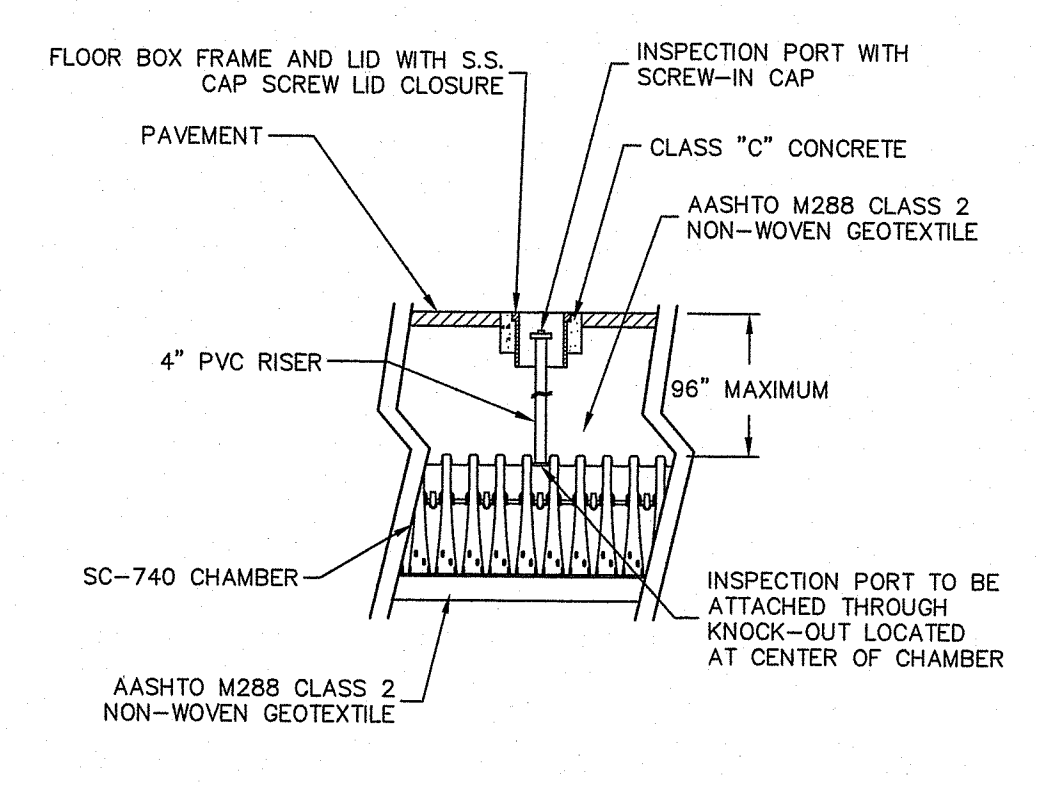
NOTES:

1. THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS.
2. SEE STORMTECH DESIGN MANUAL.
3. WHERE EXISTING "B" SOIL HORIZON IS BELOW THE BOTTOM OF STONE, THE CONTRACTOR SHALL EXCAVATE TO THE "B" SOIL HORIZON AND BACKFILL WITH SANDY LOAM. SEE SECTION A2.1 OF THE STORMWATER REPORT FOR HORIZON DEPTHS, AND SECTION 3.6 OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR DEWATERING PRACTICES DURING EXCAVATION AS APPLICABLE.

Stormtech SC-310 Typical Cross Section
NOT TO SCALE



Stormtech Isolator Row Detail
NOT TO SCALE



Stormtech Inspection Port Detail
NOT TO SCALE

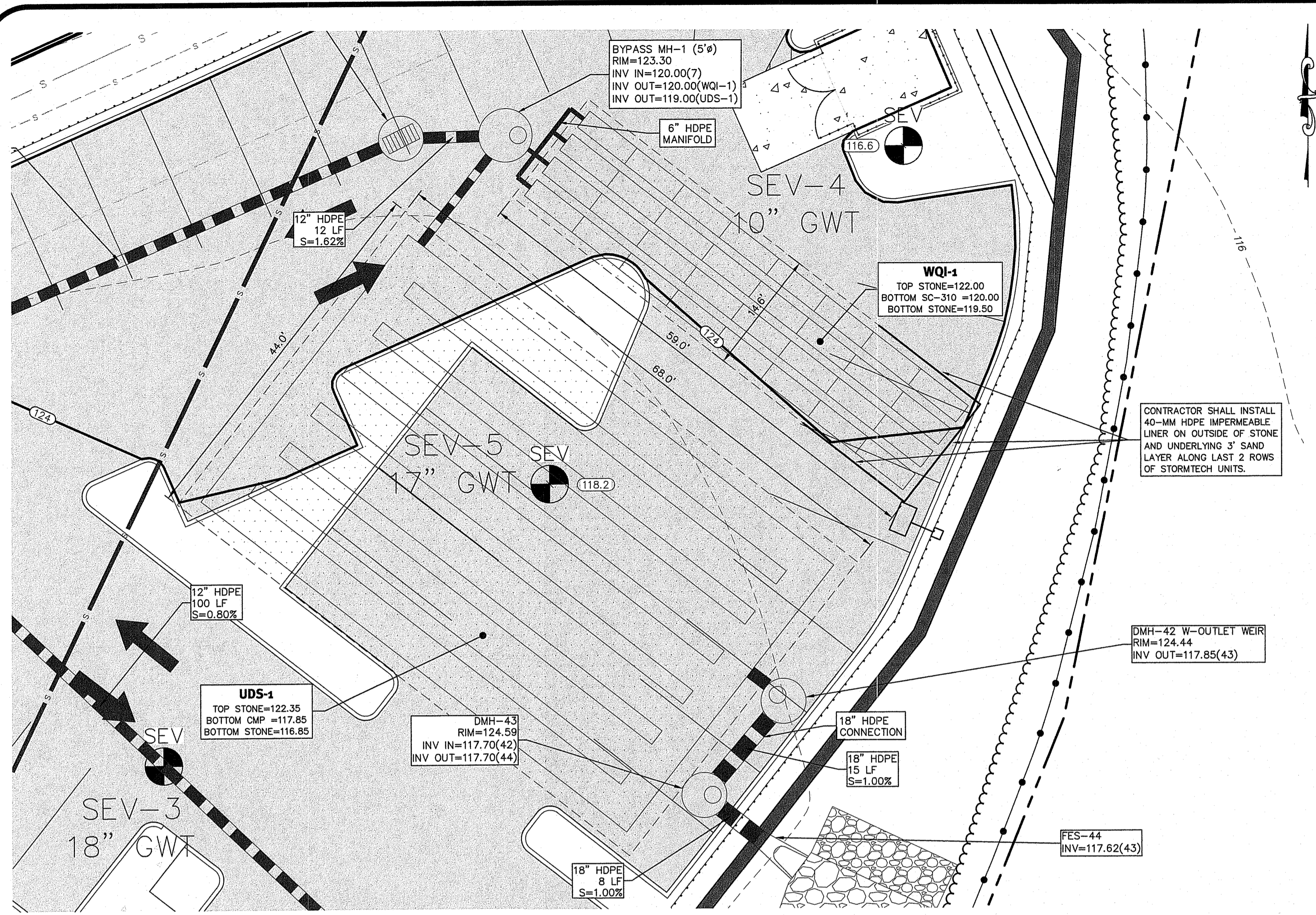
- Stormtech Notes**
1. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
 2. ALL DESIGN SPECIFICATIONS FOR STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
 3. THE INSTALLATION OF STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
 4. THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2694 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
 5. THE ISOLATOR ROW SHALL BE INSPECTED IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION TO CHECK FOR SEDIMENTS AND DEBRIS.
 6. THE SYSTEM SHOULD BE INSPECTED BI-ANNUALLY FOR SEDIMENTS AND JET/VAC MAINTENANCE IS RECOMMENDED IF SEDIMENT IS AT OR ABOVE THE LOWER ROW OF SIDEWALL HOLES (APPROXIMATELY 3") WITHIN THE INSIDE OF THE ISOLATOR ROW.
 7. IF SEDIMENT IS AT A DEPTH OF 25% OF THE HEADER PIPE VOLUME, VACUUM PUMP SEDIMENT. DO NOT FLUSH SEDIMENT OUT INLET PIPES. REPLACE GRATES AND COVERS, RECORD DEPTH AND DATE. SCHEDULE NEXT INSPECTION.

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

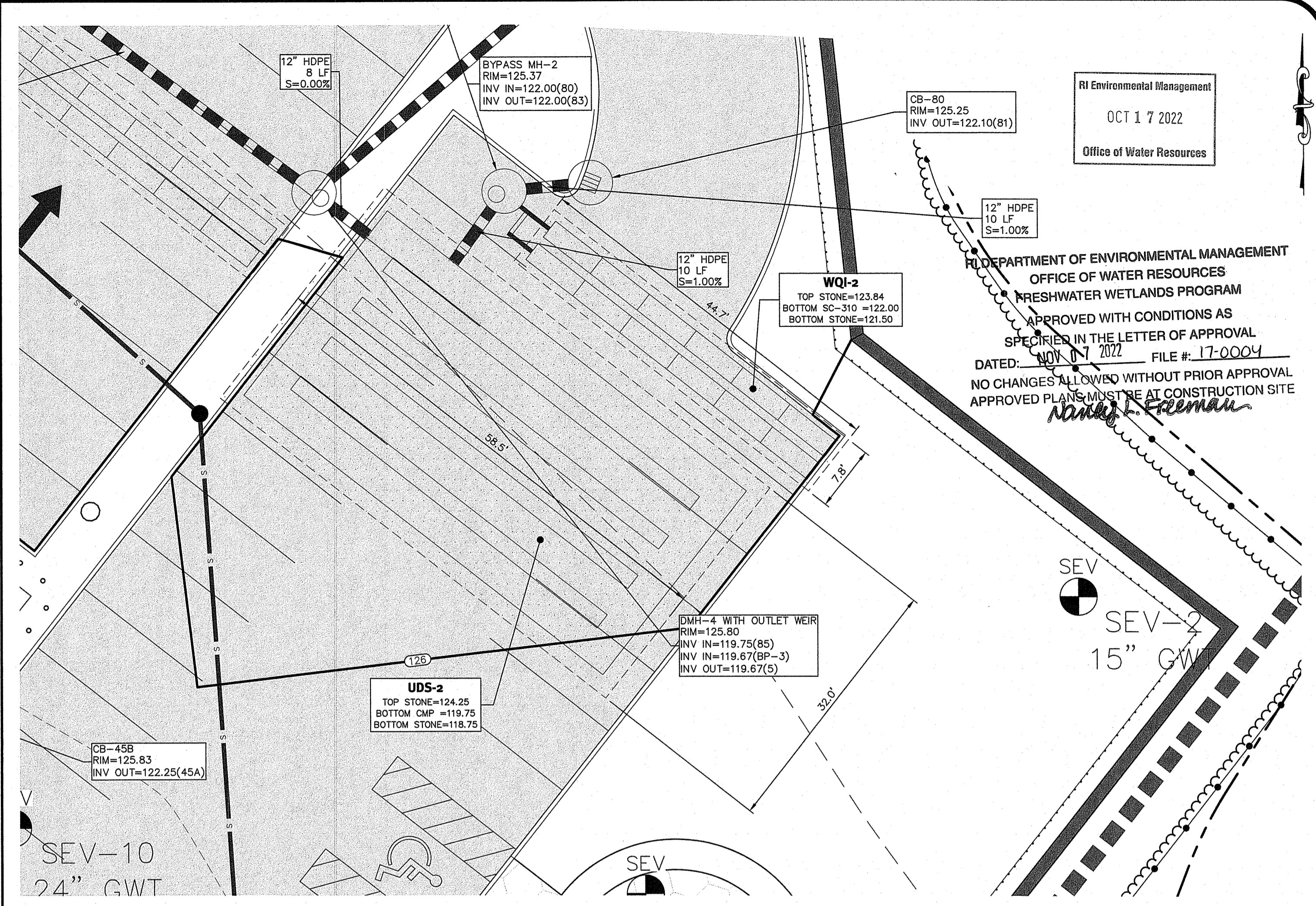
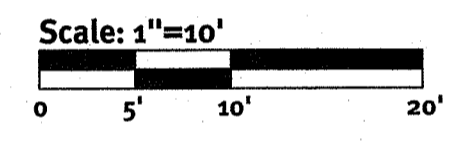
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY AN ENGINEERING PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REVISIONS AND CONFORMANCE IN THE IMPLEMENTATION OF THE PLAN AND DESIGN. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY
1	09-29-2022	RIEHA Permit Modification	KL
2	12-12-2022	RIEHA Permit Modification	KL
3	12-12-2022	Modified Site Plan	KL
4	12-29-2022	Revised Concept	KL

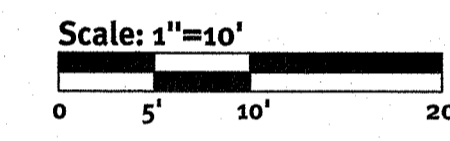
BMP Details-2
The Village at South County Commons
District 5 - Zoned Route 1 Special Management District (SMD)
South Kingston, Rhode Island 02877
Southern Rhode Island Hospitality, LLC
Two Stafford Court
Cranston, Rhode Island 02920
DC 188 No: 0267-059-A08 Copyright 2022 by DiPrete Engineering Associates, Inc.



UDS-1 and WQI-1



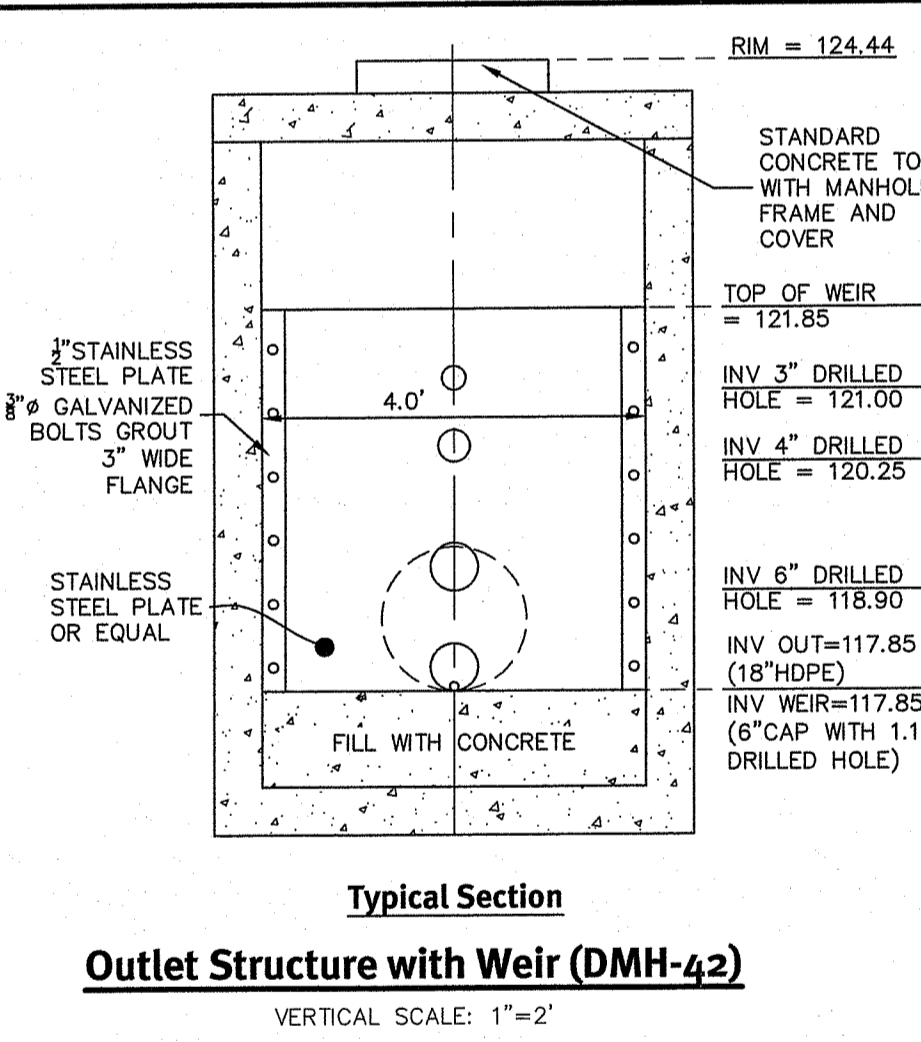
UDS-2 AND WQI-2



RI Environmental Management
 OCT 17 2022
 Office of Water Resources
 RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: NOV 07 2022 FILE # 17-0004
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Mark E. Freeman

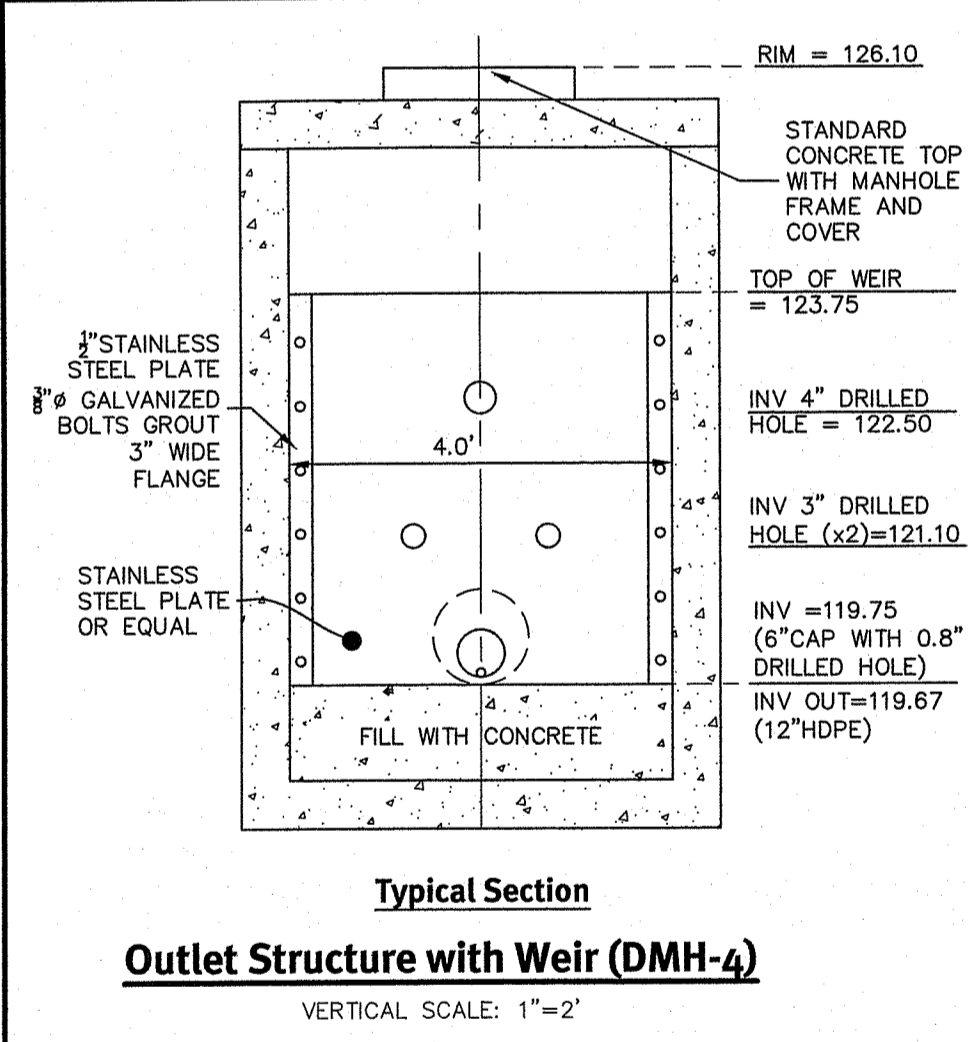
Diprete Engineering
 Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6606 www.diprete-eng.com
 Boston • Providence • Newport

KEVIN DEMERS
Kevin Demers
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL



Outlet Structure with Weir (DMH-42)

VERTICAL SCALE: 1"=2'



Outlet Structure with Weir (DMH-4)

VERTICAL SCALE: 1"=2'

Soil Testing

SITE TESTING DATE OF EXCAVATION 12/9/15

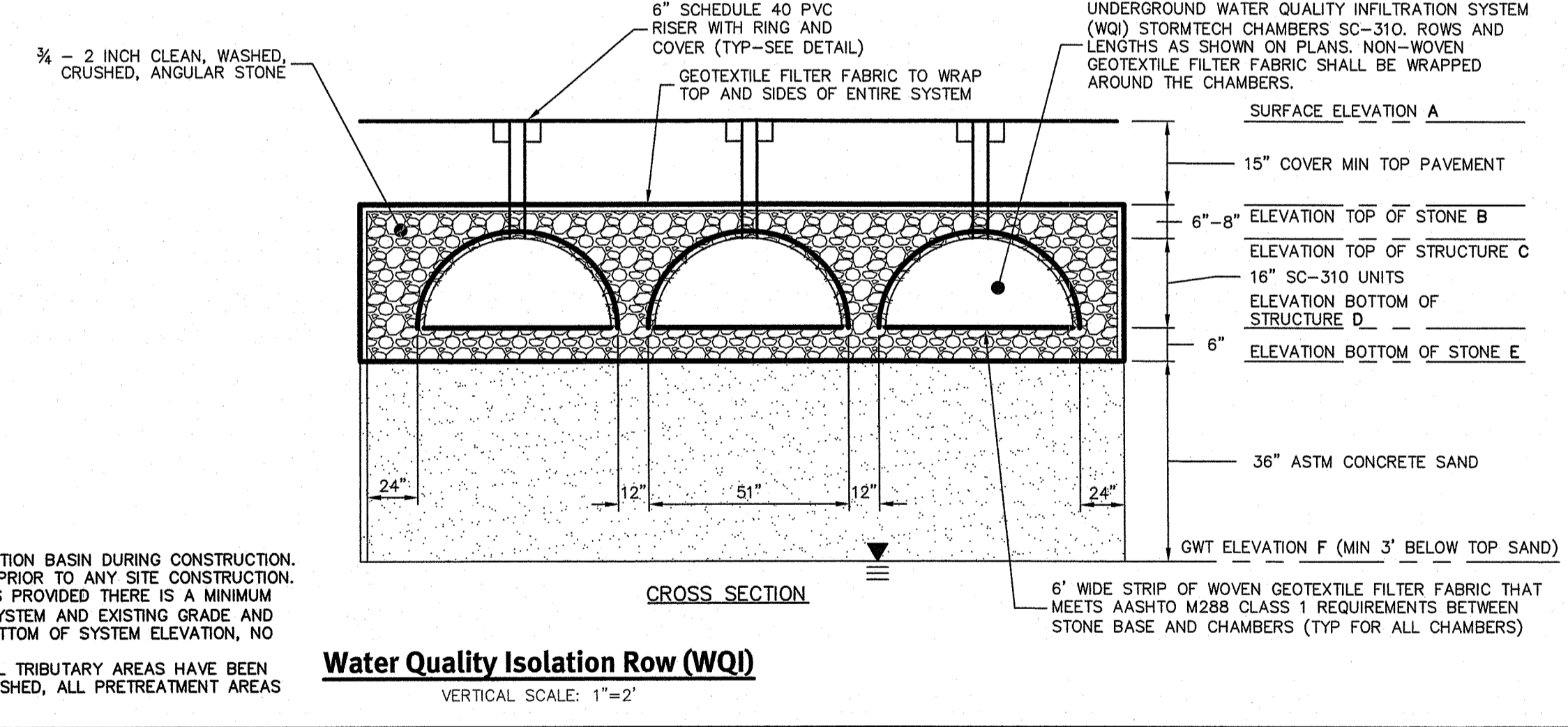
SEV 2	SOIL STRATA:	SOIL CATEGORY:
Ap	0-6" 10YR 3/2 sil 1-sbk fri	5
Bw1	6-15" 10YR 5/6 sil 1-sbk fri	5
Bw2	15-29" 10YR 5/6 sil 0-m fri	7
C	29-37" 2.5Y 5/3 sil 0-m fri	7
2Cd	37-96" 2.5Y 3/2 gsl 0-m fir	8

SEV 5	SOIL STRATA:	SOIL CATEGORY:
Ap	0-6" 10YR 3/2 sil 1-sbk fri	5
Bw	6-18" 10YR 4/6 sil 1-sbk fri	5
BC	18-48" 10YR 5/6 sil 0-m fri	7
2C	48-96" 2.5Y 4/3 gsl 0-m fri	6

DESCRIPTION	WQI-1	WQI-2
MIN SURFACE ELEVATION (A)	123.4	125.2
NUMBER OF ROWS	4	2
CHAMBERS PER ROW	8	6
TOP OF STONE (B)	122.00	123.84
TOP OF STRUCTURE (C)	121.34	123.34
BOTTOM OF STRUCTURE (D)	120.00	122.00
BOTTOM OF STONE (E)	119.50	121.50
BOTTOM SAND	116.50	118.50
1.2" (CN) STORM ELEVATION	120.02	122.56
1 YEAR STORM ELEVATION	120.91	122.76
10 YEAR STORM ELEVATION	121.15	122.85
25 YEAR STORM ELEVATION	121.22	122.90
100 YEAR STORM ELEVATION	121.71	123.32
AVERAGE EXISTING GRADE	117.5	119.50
SOIL EVALUATION	SEV-5	SEV-2
SEASONAL HIGH GW DEPTH	13"	15"
SEASONAL HIGH GWT ELEVATION (F)	116.42	118.25

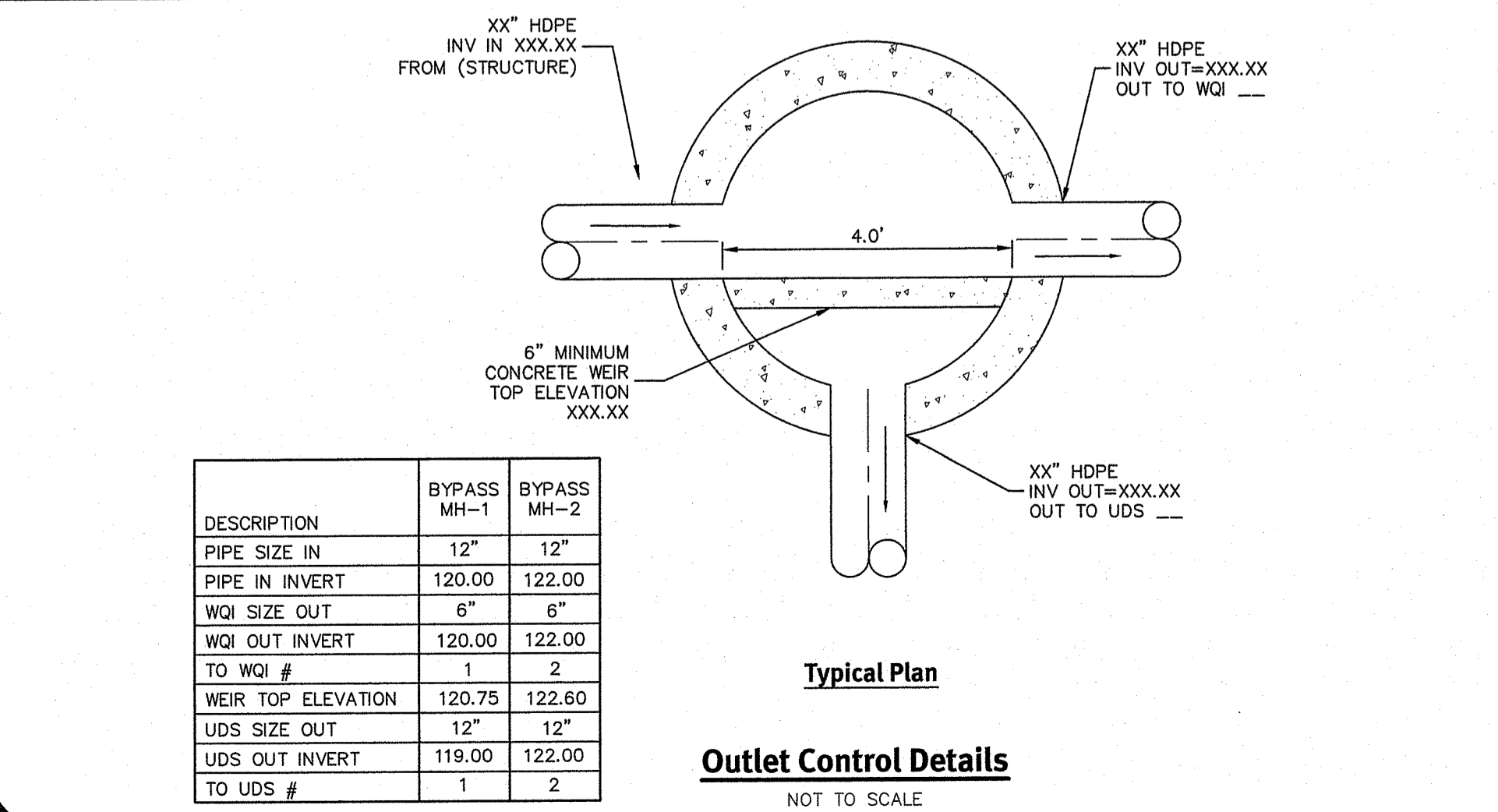
UNDERGROUND INFILTRATION SYSTEM CONSTRUCTION SEQUENCING:

- THE INFILTRATION SYSTEM SHALL NOT BE USED AS A TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION.
- THE LIMITS OF THE PROPOSED INFILTRATION SYSTEM SHALL BE STAKED OUT PRIOR TO ANY SITE CONSTRUCTION.
- LIMITED CONSTRUCTION TRAFFIC SHALL BE ALLOWED OVER THE SYSTEM LIMITS PROVIDED THERE IS A MINIMUM OF 3" OF VERTICAL SEPARATION BETWEEN THE PROPOSED BOTTOM OF THE SYSTEM AND EXISTING GRADE AND TRENCH PLATES ARE USED. ONCE THE SYSTEM HAS BEEN EXCAVATED TO BOTTOM OF SYSTEM ELEVATION, NO CONSTRUCTION TRAFFIC SHALL BE ALLOWED WITHIN THE SYSTEM LIMITS.
- THE UNDERGROUND INFILTRATION SYSTEM MAY BE BROUGHT ONLINE ONCE ALL TRIBUTARY AREAS HAVE BEEN COMPLETELY STABILIZED, ALL DRAINAGE PIPES HAVE BEEN CLEANED AND FLUSHED, ALL PRETREATMENT AREAS HAVE BEEN CLEANED, AND WITH APPROVAL FROM THE DESIGN ENGINEER.



Water Quality Isolation Row (WQI)

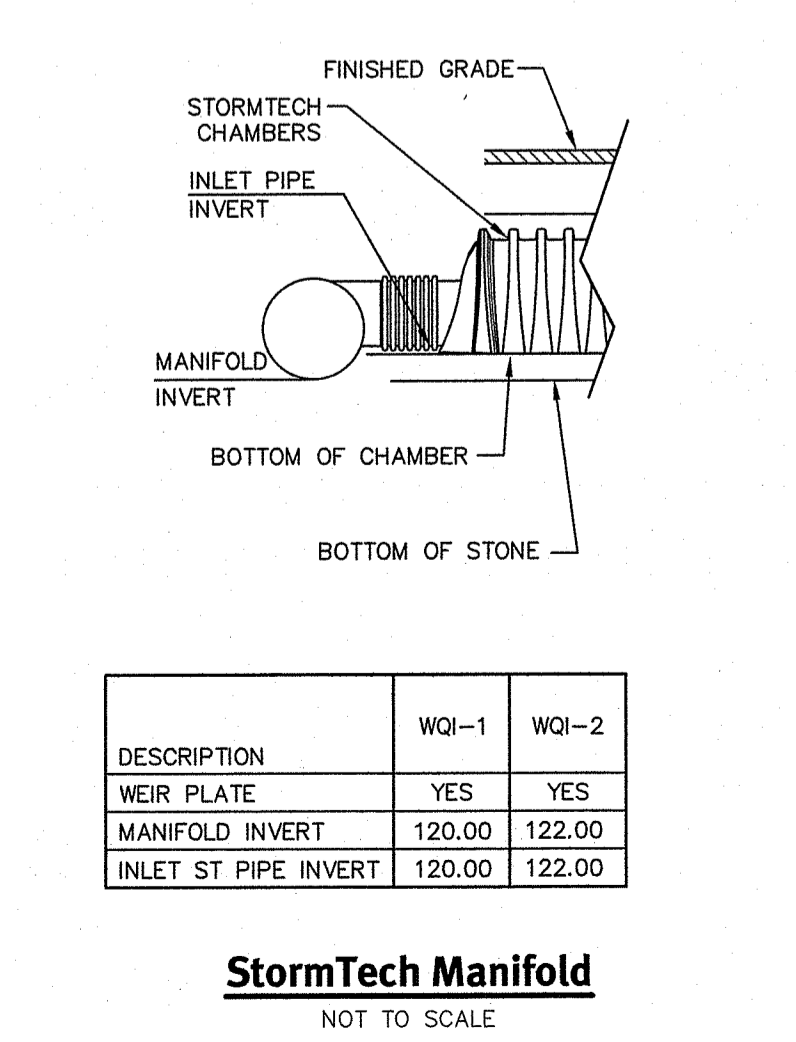
VERTICAL SCALE: 1"=2'



Outlet Control Details

NOT TO SCALE

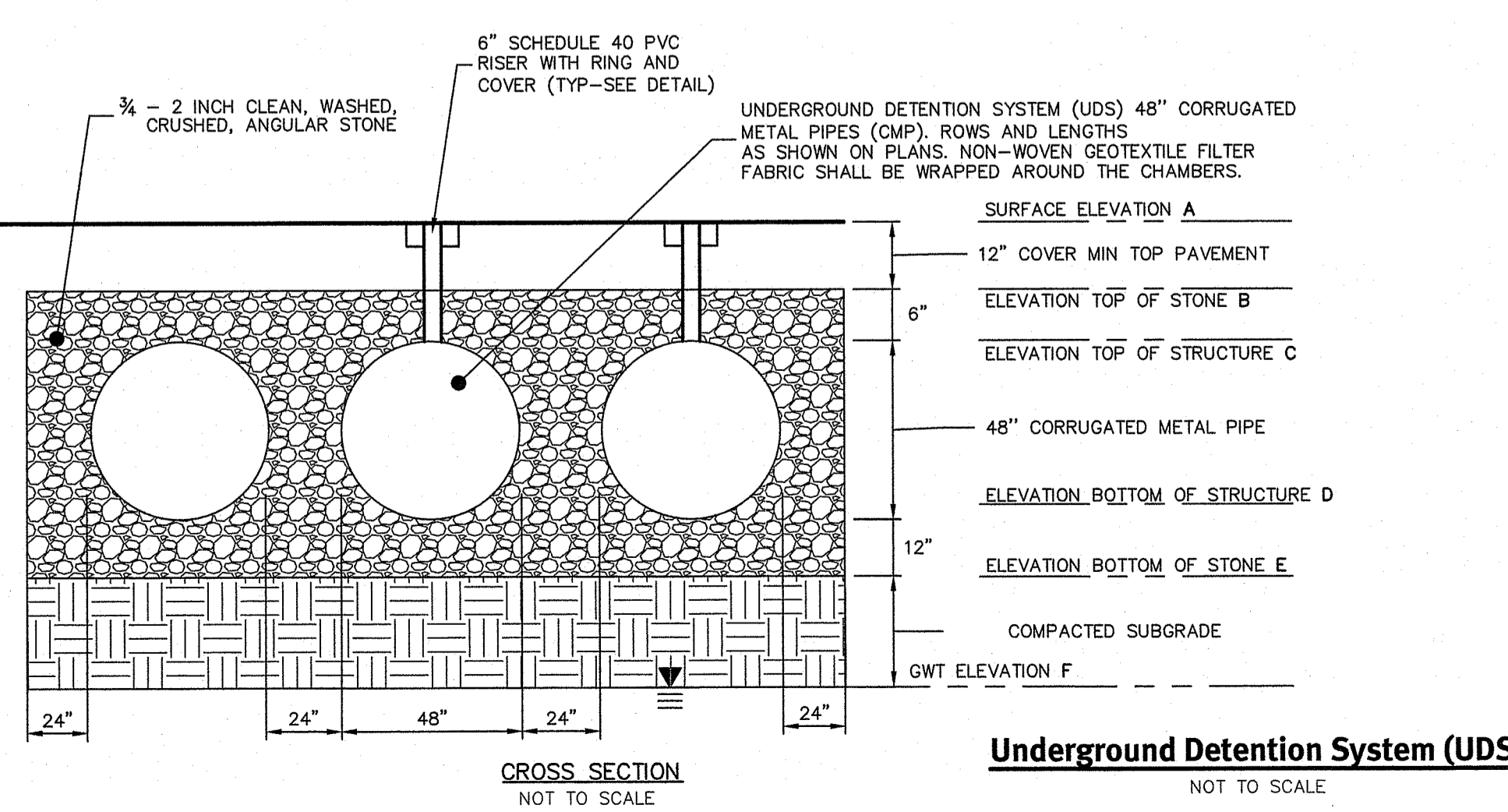
DESCRIPTION	BYPASS MH-1	BYPASS MH-2
PIPE SIZE IN	12"	12"
PIPE IN INVERT	120.00	122.00
WQI SIZE OUT	6"	6"
WQI OUT INVERT	120.00	122.00
TO WQI #	1	2
WEIR TOP ELEVATION	120.75	122.60
UDS SIZE OUT	12"	12"
UDS OUT INVERT	119.00	122.00
TO UDS #	1	2



StormTech Manifold

NOT TO SCALE

DESCRIPTION	WQI-1	WQI-2
WEIR PLATE	YES	YES
MANIFOLD INVERT	120.00	122.00
INLET ST PIPE INVERT	120.00	122.00



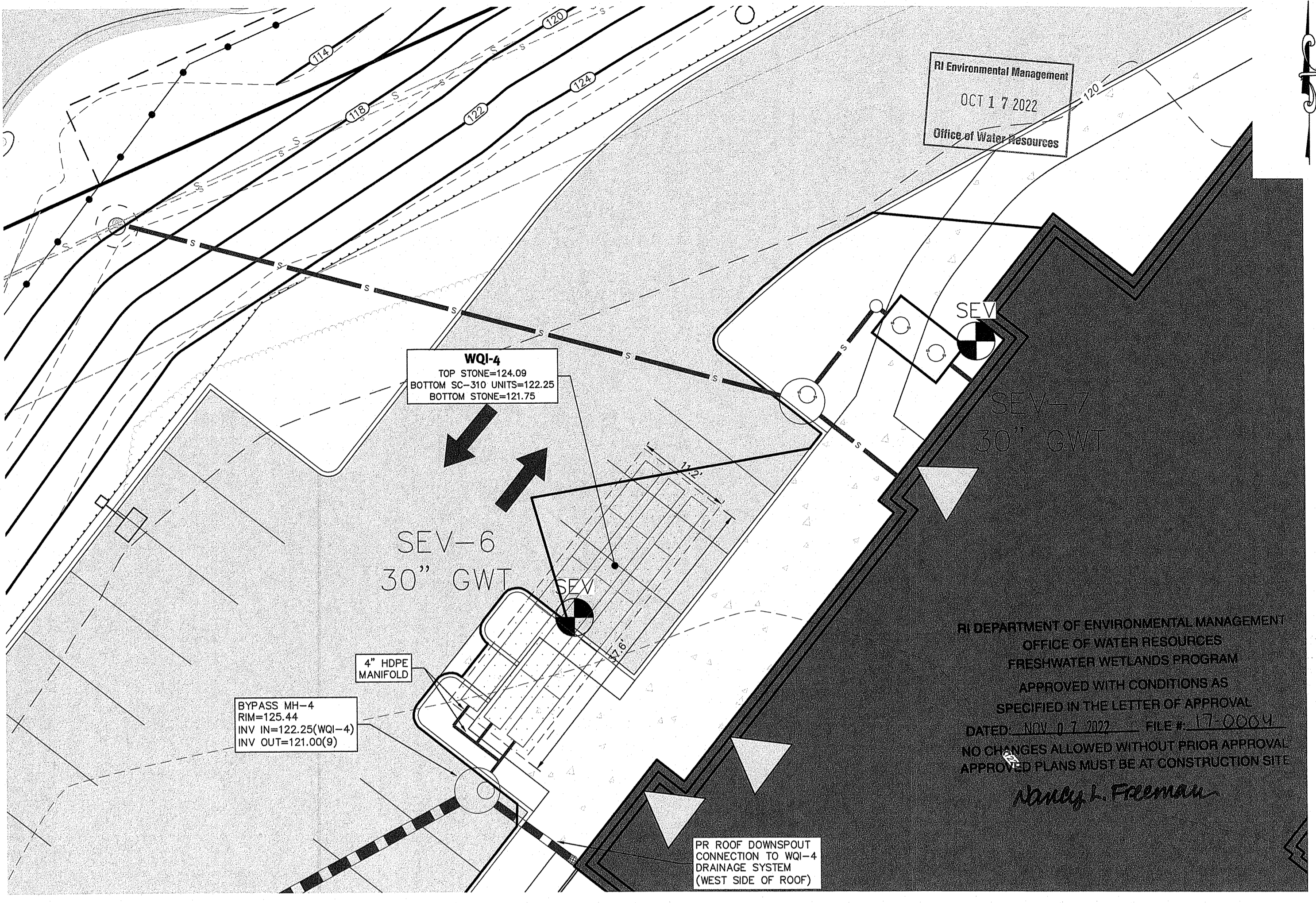
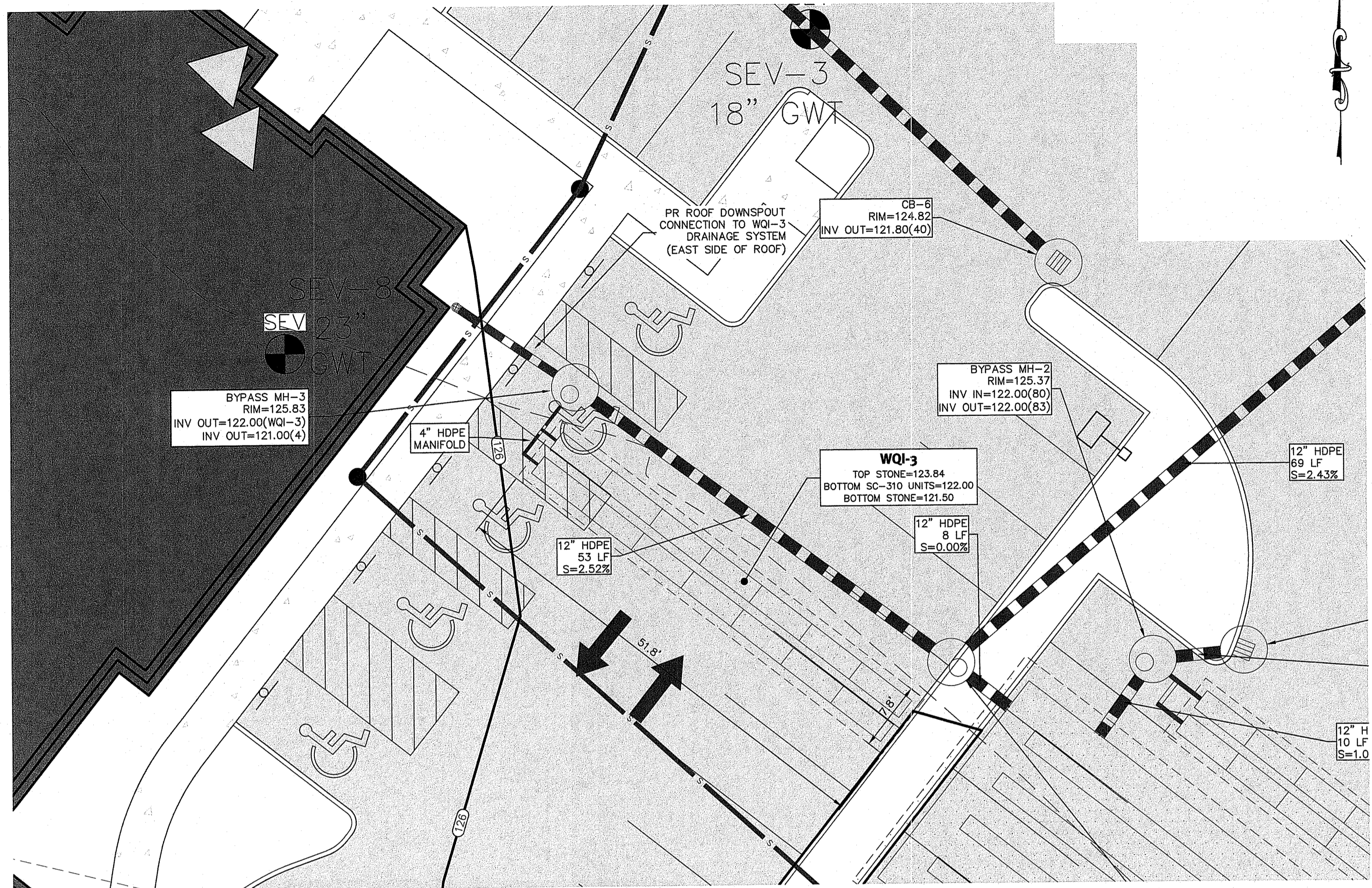
Underground Detention System (UDS)

NOT TO SCALE

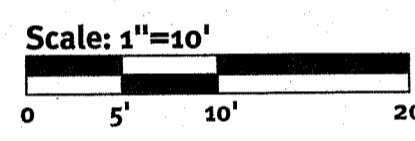
DESCRIPTION	UDS-1	UDS-2
MIN SURFACE ELEVATION (A)	123.4	125.2
NUMBER OF ROWS	6	2
LENGTH OF PIPE PER ROW	64'	54.5'
TOP OF STONE (B)	122.35	124.25
TOP OF STRUCTURE (C)	121.85	123.75
BOTTOM OF STRUCTURE (D)	116.85	119.75
BOTTOM OF STONE (E)	116.85	118.75
1.2" (CN) STORM ELEVATION	119.07	121.06
1 YEAR STORM ELEVATION	119.07	121.06
10 YEAR STORM ELEVATION	120.08	121.80
25 YEAR STORM ELEVATION	120.67	122.37
100 YEAR STORM ELEVATION	121.99	123.32
AVERAGE EXISTING GRADE	118.25	119.5
SOIL EVALUATION	SEV-5	SEV-2
SEASONAL HIGH GW DEPTH	13"	15"
SEASONAL HIGH GWT ELEVATION (F)	116.84	118.75

* NOTE: 4' DIAMETER MANIFOLD PIPE PROPOSED AT BOTH ENDS.

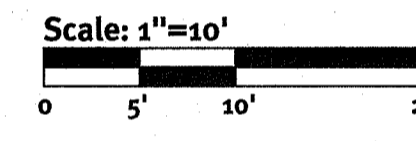
BMP Details-3
The Village at South County Commons
 District 5 - General Route 1 - Special Management District (SMD)
 South Kingsdown, Rhode Island 02879
Southern Rhode Island Hospitality, LLC
 Two Stafford Court
 Cranston, Rhode Island 02920
 DE Job No: 0267-059-408 Copyright 2022 by Diprete Engineering Associates, Inc.



WQI-3



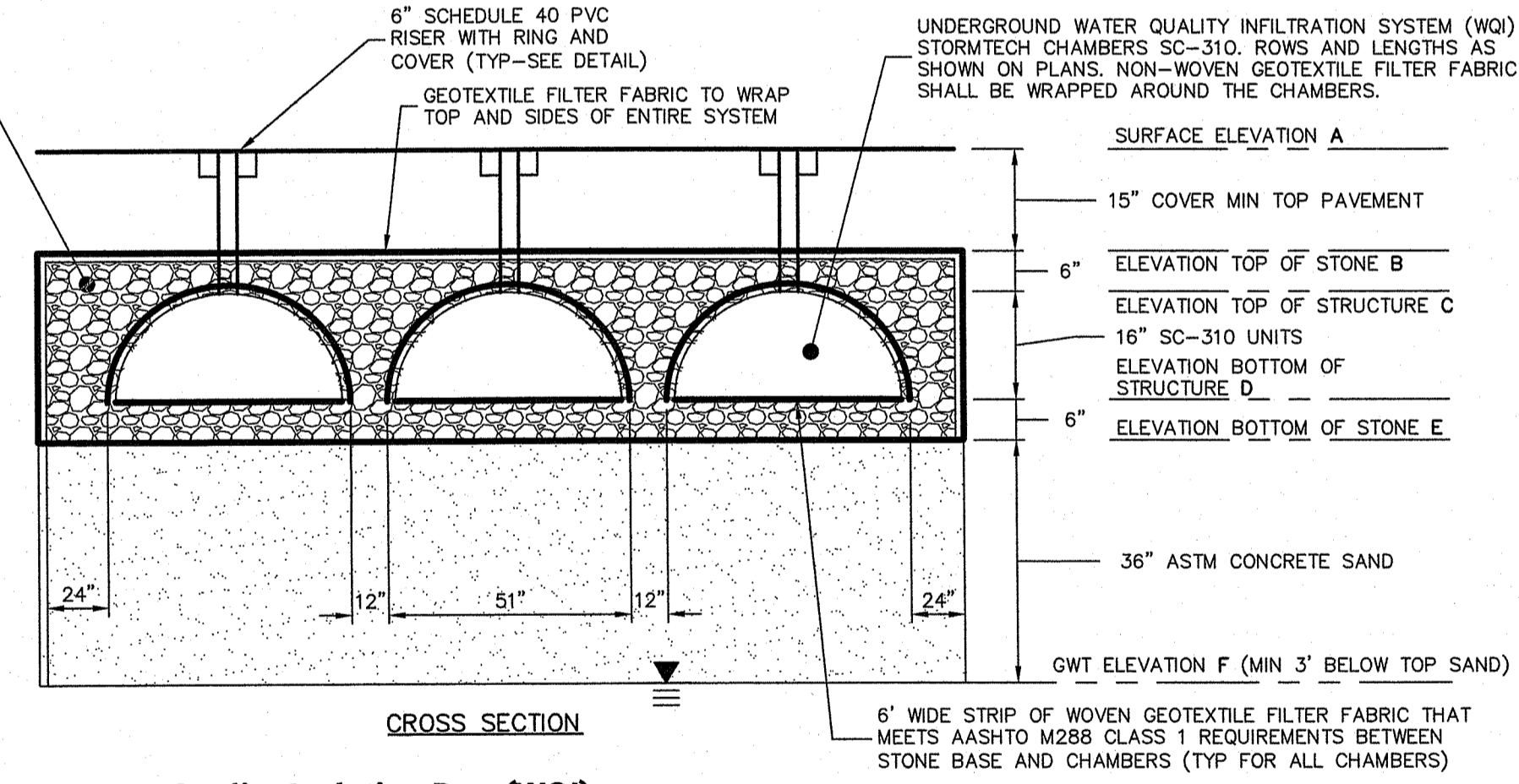
WQI-4



DESCRIPTION	WQI-3	WQI-4
MIN SURFACE ELEVATION (A)	125.50	125.75
INFILTRATING SYSTEM	YES	YES
NUMBER OF ROWS	2	3
CHAMBERS PER ROW	7	5
TOP OF STONE (B)	123.84	124.09
TOP OF STRUCTURE (C)	123.34	123.59
BOTTOM OF STRUCTURE (D)	122.00	122.25
BOTTOM OF STONE (E)	121.50	121.75
BOTTOM SAND	118.50	118.75
1.2" (CN) STORM ELEVATION	120.57	121.20
1 YEAR STORM ELEVATION	122.78	122.79
10 YEAR STORM ELEVATION	122.89	122.91
25 YEAR STORM ELEVATION	122.92	122.93
100 YEAR STORM ELEVATION	122.96	122.98
AVERAGE EXISTING GRADE	120.25	121.25
SOIL EVALUATION	SEV-8	SEV-6
SEASONAL HIGH GW DEPTH	2'3"	3'0"
SEASONAL HIGH GWT ELEVATION (F)	118.33	118.75

UNDERGROUND INFILTRATION SYSTEM CONSTRUCTION SEQUENCING:

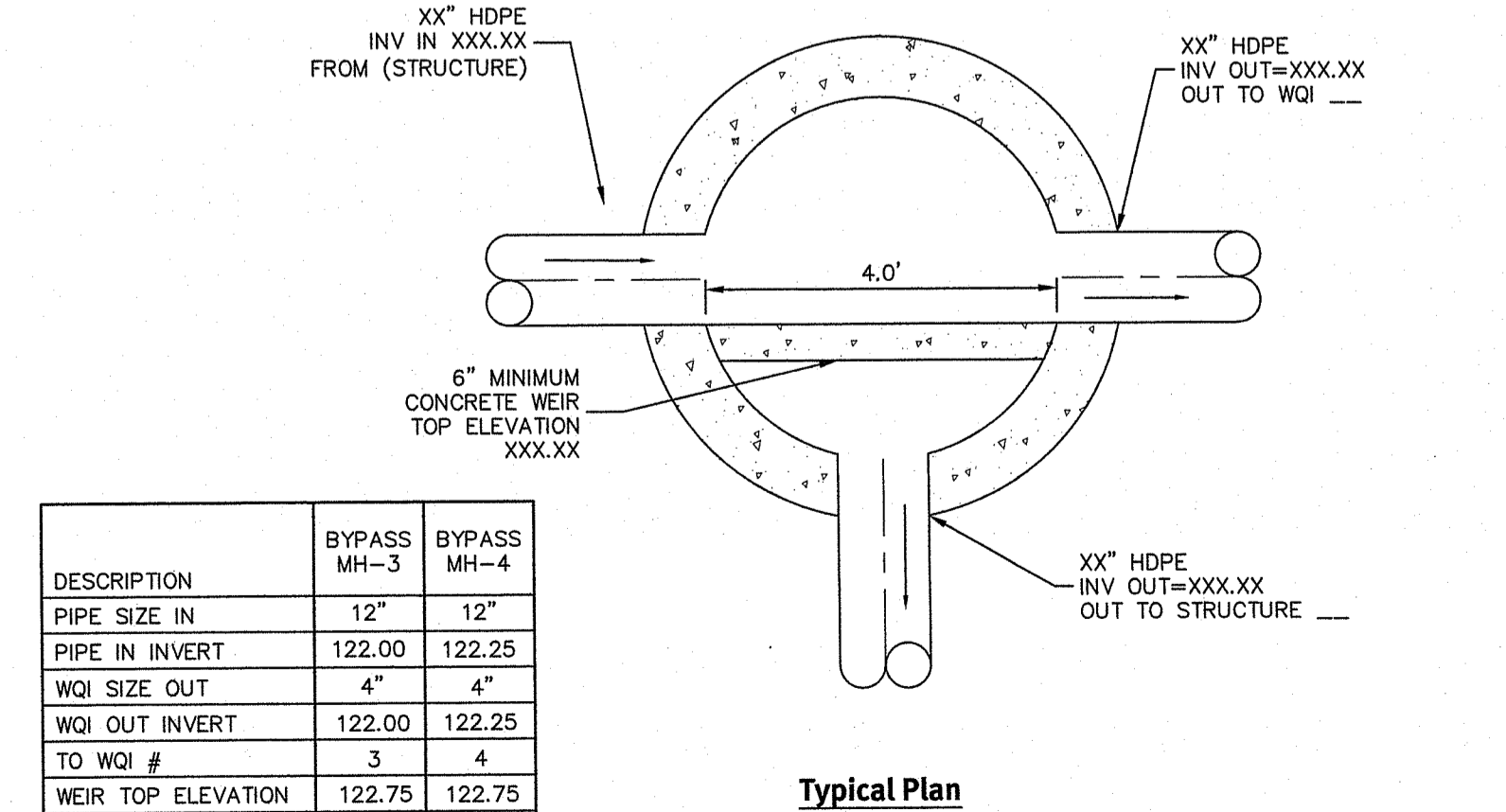
- THE INFILTRATION SYSTEM SHALL NOT BE USED AS A TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION.
- THE LIMITS OF THE PROPOSED INFILTRATION SYSTEM SHALL BE STAKED OUT PRIOR TO ANY SITE CONSTRUCTION.
- LIMITED CONSTRUCTION TRAFFIC SHALL BE ALLOWED OVER THE SYSTEM LIMITS PROVIDED THERE IS A MINIMUM OF 3' OF VERTICAL SEPARATION BETWEEN THE PROPOSED BOTTOM OF THE SYSTEM AND EXISTING GRADE AND TRENCH PLATES ARE USED. ONCE THE SYSTEM HAS BEEN EXCAVATED TO BOTTOM OF SYSTEM ELEVATION, NO CONSTRUCTION TRAFFIC SHALL BE ALLOWED WITHIN THE SYSTEM LIMITS.
- THE UNDERGROUND INFILTRATION SYSTEM MAY BE BROUGHT ONLINE ONCE ALL TRIBUTARY AREAS HAVE BEEN COMPLETELY STABILIZED, ALL DRAINAGE PIPES HAVE BEEN CLEANED AND FLUSHED, ALL PRETREATMENT AREAS HAVE BEEN CLEANED, AND WITH APPROVAL FROM THE DESIGN ENGINEER.



Water Quality Isolation Row (WQI)
NOT TO SCALE

Soil Testing
SITE TESTING DATE OF EXCAVATION 12/9/15

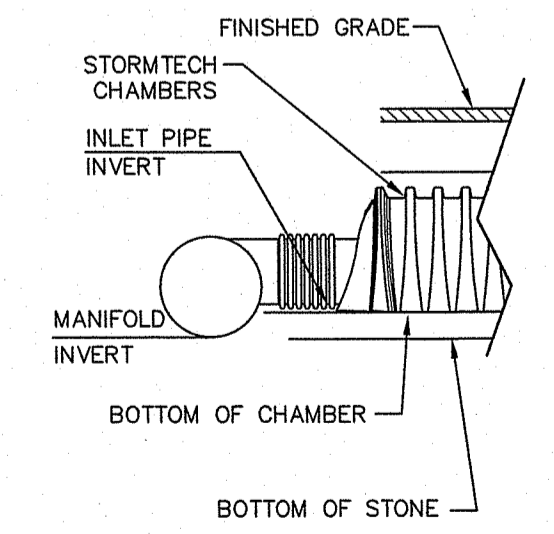
SEV	SOIL STRATA:	SOIL CATEGORY:
SEV 6	Ap 0'-6" 10YR 3/4 fcl 1-sbk fri	4
	Bw 6"-20" 10YR 5/6 gfl 1-sbk fri	4
	C 20"-96" 2.5Y 5/3 gcl 0-m fri	6
SEV 8	Ap 0'-6" 10YR 3/4 sil 1-sbk fri	5
	Bw 6"-23" 10YR 5/6 sil 1-sbk fri	5
	C 23"-37" 2.5Y 5/3 sil 0-m fri	7
	2C 37"-96" 2.5Y 3/2 gcl 0-m fri	6



Typical Plan
NOT TO SCALE

DESCRIPTION	BYPASS MH-3	BYPASS MH-4
PIPE SIZE IN	12"	12"
PIPE IN INVERT	122.00	122.25
WQI SIZE OUT	4"	4"
WQI OUT INVERT	122.00	122.25
TO WQI #	3	4
WEIR TOP ELEVATION	122.75	122.75
BYPASS SIZE OUT	12"	12"
BYPASS OUT INVERT	121.00	121.00
TO STRUCTURE	DMH-4	DCB-9

Outlet Control Details
NOT TO SCALE



DESCRIPTION	WQI-3	WQI-4
MANIFOLD INVERT	120.00	122.00
INLET ST PIPE INVERT	120.00	122.00

StormTech Manifold
NOT TO SCALE

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

No.	Date	Description	By
1	09/09/2022	ROSEM Permit Modification	Design By: K.I.D.
2	05/20/2018	ROSEM Wetlands Modification	Design By: S.E.K.
3	02/20/2018	ROSEM Wetlands Modification	Design By: S.E.K.
4	02/20/2018	ROSEM Wetlands Modification	Design By: S.E.K.

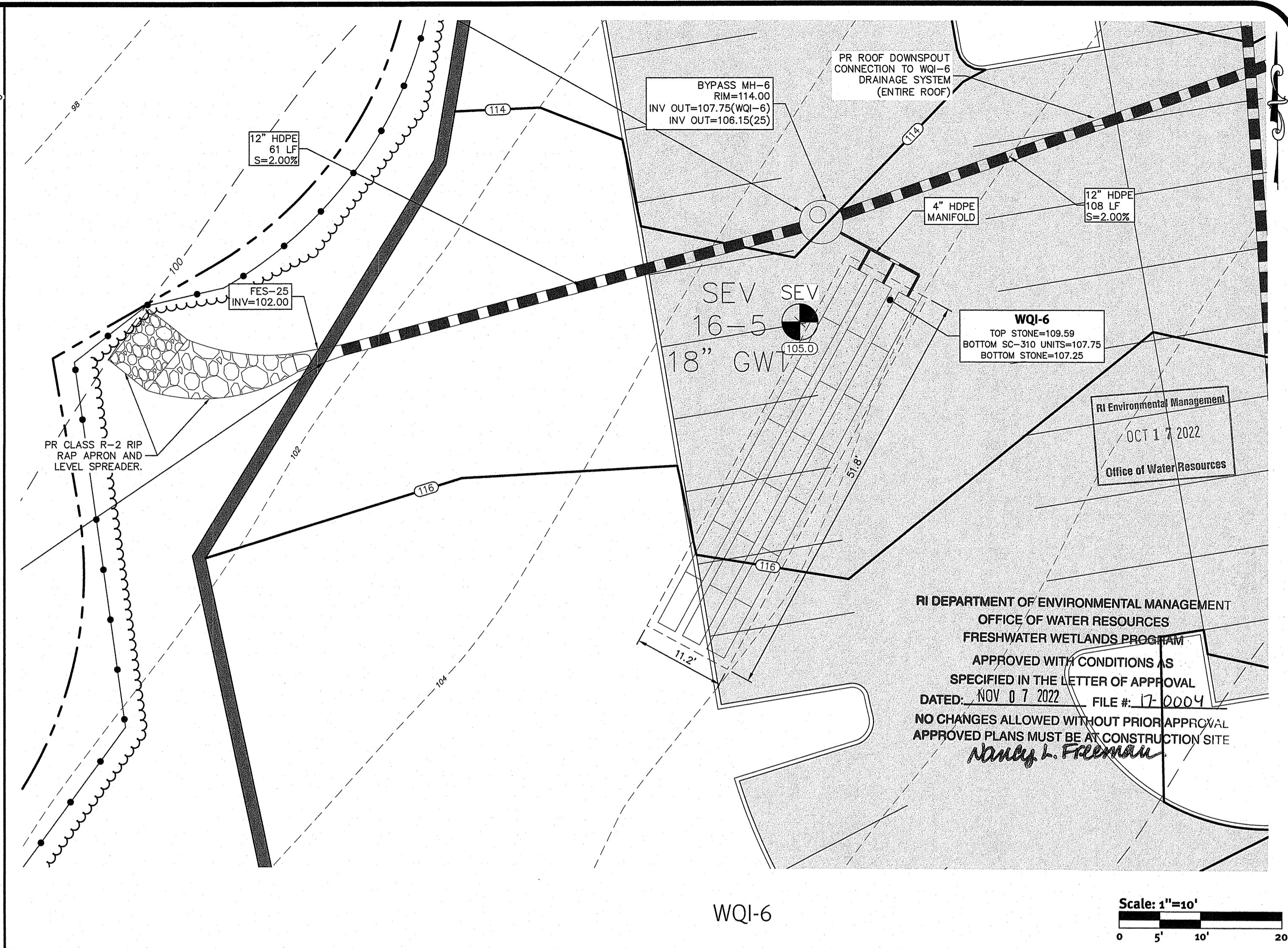
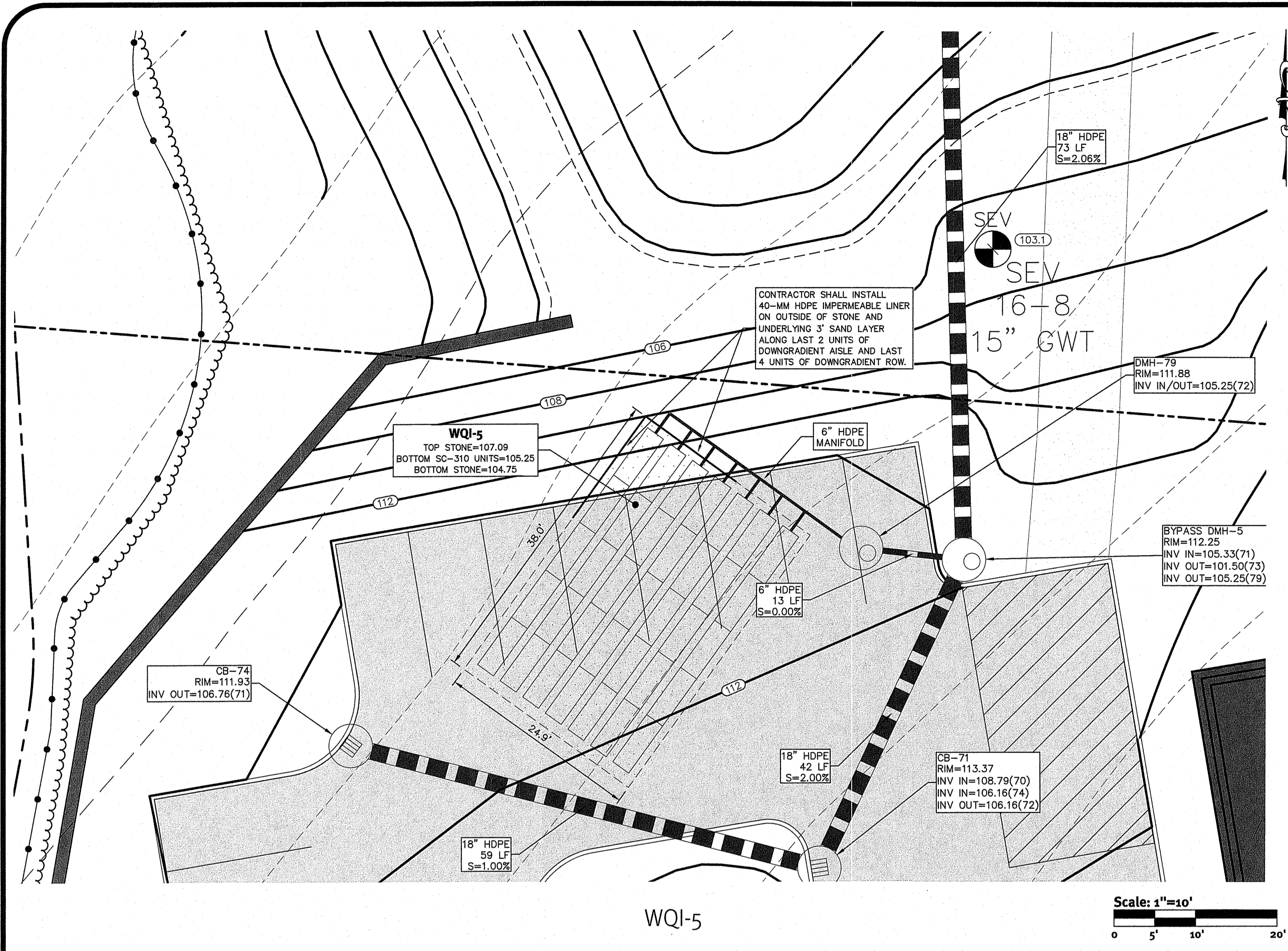
BMP Details-4
The Village at South County Commons
District 5, Zoned Office & Special Management District (SMD)
Assessor's Plat 50-4, Lots 22, 23, 24, & 26
South Kingstown, Rhode Island 02879
Owner/Applicant
Southern Rhode Island Hospitality, LLC
Two Stafford Court
Cranston, Rhode Island 02920

DIPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com
Boston • Providence • Newport

RI Environmental Management
OCT 17 2022
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 07 2022 FILE # 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

z:\dmain\projects\0257-059 south county commons\autocad drawing\0257-059-a06-plan.dwg Plottest: 9/12/2022



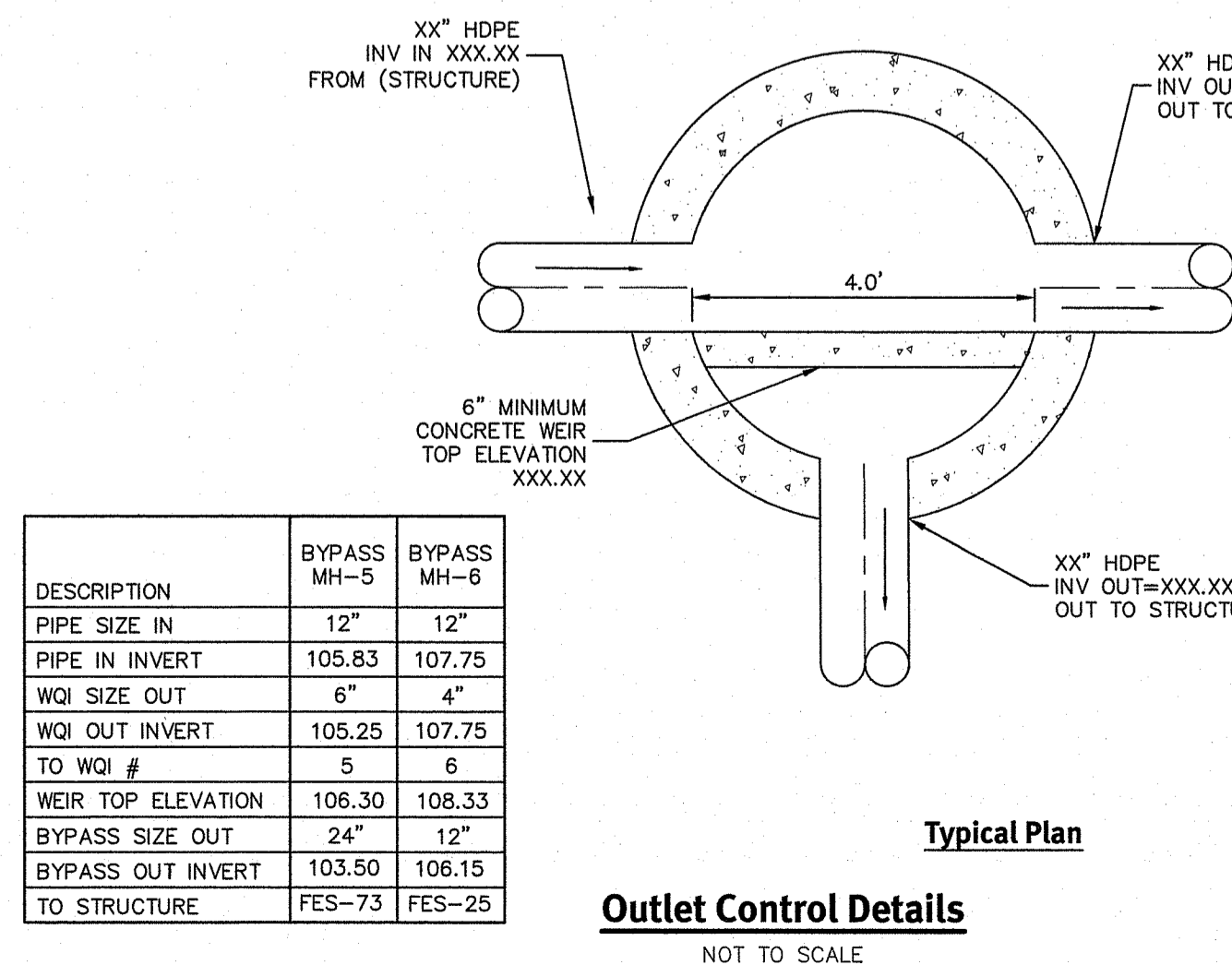
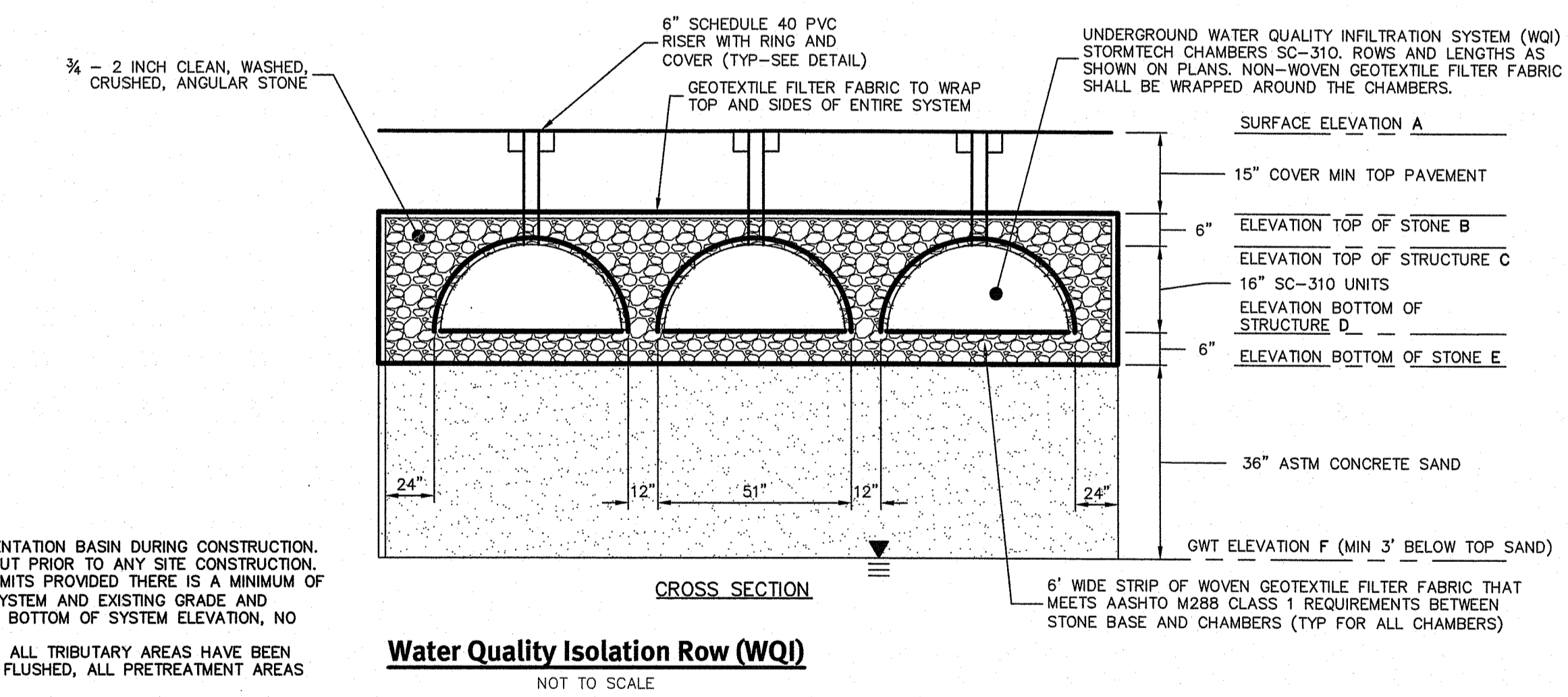
DESCRIPTION	WQI-5	WQI-6
MIN SURFACE ELEVATION (A)	110.00	114.14
INFILTRATING SYSTEM	YES	YES
NUMBER OF ROWS	7	3
CHAMBERS PER ROW	5	7
TOP OF STONE (B)	107.09	109.59
TOP OF STRUCTURE (C)	106.59	109.09
BOTTOM OF STRUCTURE (D)	105.25	107.75
BOTTOM OF STONE (E)	104.75	107.25
BOTTOM SAND	101.75	104.25
1.2" (CN) STORM ELEVATION	106.08	105.01
1 YEAR STORM ELEVATION	106.52	107.04
10 YEAR STORM ELEVATION	106.79	108.20
25 YEAR STORM ELEVATION	106.88	108.35
100 YEAR STORM ELEVATION	107.04	108.42
AVERAGE EXISTING GRADE	103.00	105.50
SOIL EVALUATION	16-8	16-5
SEASONAL HIGH GW DEPTH	15"	18"
SEASONAL HIGH GWT ELEVATION (F)	101.75	104.25

UNDERGROUND INFILTRATION SYSTEM CONSTRUCTION SEQUENCING:

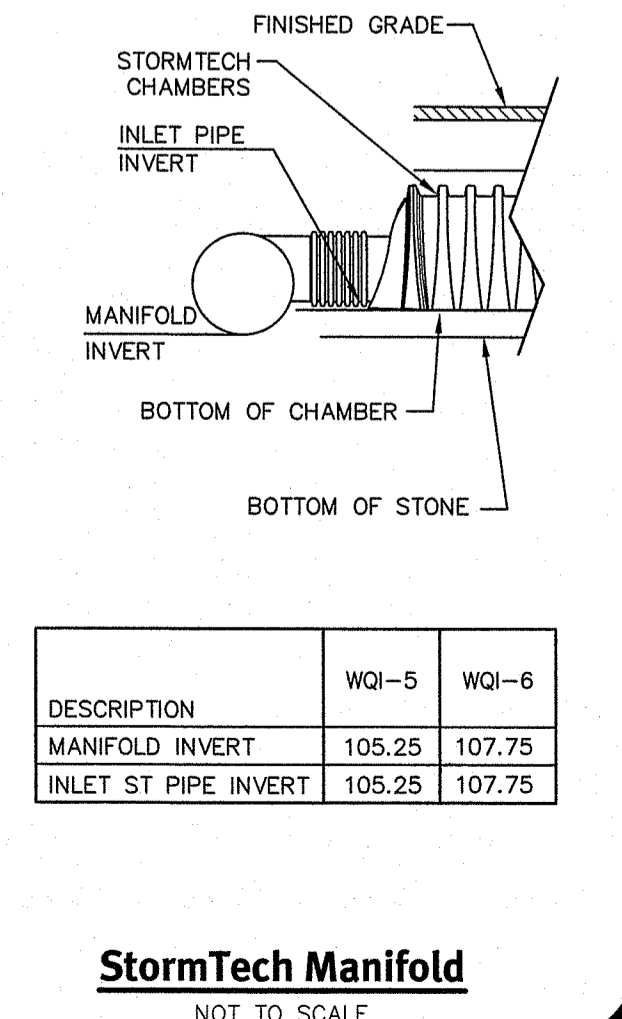
- THE INFILTRATION SYSTEM SHALL NOT BE USED AS A TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION.
- THE LIMITS OF THE PROPOSED INFILTRATION SYSTEM SHALL BE STAKED OUT PRIOR TO ANY SITE CONSTRUCTION.
- LIMITED CONSTRUCTION TRAFFIC SHALL BE ALLOWED OVER THE SYSTEM LIMITS PROVIDED THERE IS A MINIMUM OF 3" OF VERTICAL SEPARATION BETWEEN THE PROPOSED BOTTOM OF THE SYSTEM AND EXISTING GRADE AND TRENCH PLATES ARE USED. ONCE THE SYSTEM HAS BEEN EXCAVATED TO BOTTOM OF SYSTEM ELEVATION, NO CONSTRUCTION TRAFFIC SHALL BE ALLOWED WITHIN THE SYSTEM LIMITS.
- THE UNDERGROUND INFILTRATION SYSTEM MAY BE BROUGHT ONLINE ONCE ALL TRIBUTARY AREAS HAVE BEEN COMPLETELY STABILIZED, ALL DRAINAGE PIPES HAVE BEEN CLEANED AND FLUSHED, ALL PRETREATMENT AREAS HAVE BEEN CLEANED, AND WITH APPROVAL FROM THE DESIGN ENGINEER.

Soil Testing
SITE TESTING DATE OF EXCAVATION 11/16/16

SEV	SOIL STRATA:	SOIL CATEGORY:
16-5	Ap 0-10" 10YR 3/2 sil 1-sbk frl	5
	Bw 10"-20" 10YR 5/6 sil 1-sbk frl	5
	C 20"-36" 2.5Y 5/3 sil 0-m frl	7
	2Cd 36"-58" 2.5Y 4/4 gsfal 0-m frl	8
16-8	Ap 0-8" 10YR 3/2 fal 1-sbk frl	5
	Bw 8"-20" 10YR 5/6 fal 1-sbk frl	5
	C 20"-44" 2.5Y 5/2 fal 0-m frl	7
	2Cd 44"-72" 2.5Y 4/2 gsfal 0-m frl	8



DESCRIPTION	BYPASS MH-5	BYPASS MH-6
PIPE SIZE IN	12"	12"
PIPE IN INVERT	105.83	107.75
WQI SIZE OUT	6"	4"
WQI OUT INVERT	105.25	107.75
TO WQI #	5	6
WEIR TOP ELEVATION	106.30	108.33
BYPASS SIZE OUT	24"	12"
BYPASS OUT INVERT	103.50	106.15
TO STRUCTURE	FES-73	FES-25



DESCRIPTION	WQI-5	WQI-6
MANIFOLD INVERT	105.25	107.75
INLET ST PIPE INVERT	105.25	107.75

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-943-1000 fax: 401-641-6006 www.diprete-eng.com

Boston • Providence • Newport

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: NOV 07 2022 FILE #: 17-0004

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S PERMITS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.

No.	Date	Description	By:
1	09-20-2022	ROBEN Permit Modification	Design By: K.J.D.
2	09-20-2022	ROBEN Permit Modification	
3	09-20-2022	ROBEN Permit Modification	
4	09-20-2022	ROBEN Permit Modification	
5	09-20-2022	ROBEN Permit Modification	
6	09-20-2022	ROBEN Permit Modification	
7	09-20-2022	ROBEN Permit Modification	
8	09-20-2022	ROBEN Permit Modification	
9	09-20-2022	ROBEN Permit Modification	
10	09-20-2022	ROBEN Permit Modification	

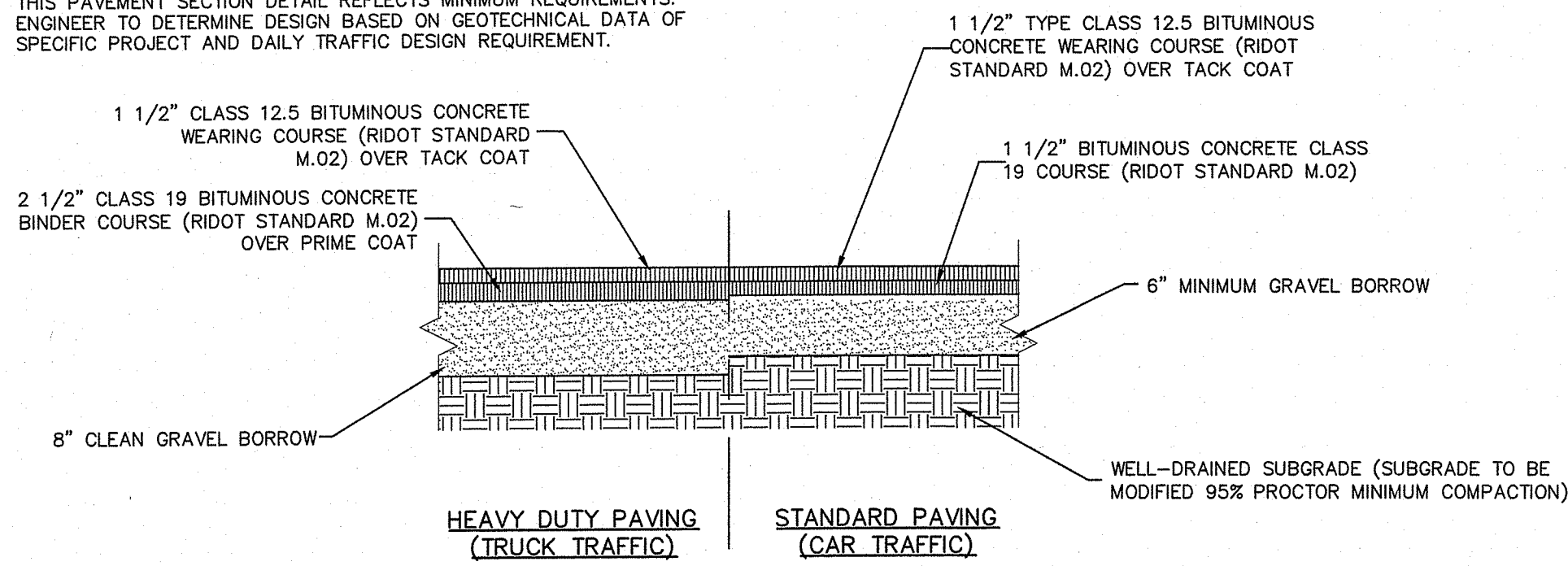
BMP Details-5
The Village at South County Commons
District 5 - Zoned Route 1 Special Management District (SMD)
Assessor's Plat 50-4, Lots 22, 25, & 26
South Kingstown, Rhode Island 02879

Southern Rhode Island Hospitality, LLC
Owner/Applicant
Two Stafford Court
Cranston, Rhode Island 02920

Copyright 2022 by Diprete Engineering, Associates, Inc.
DC Job No: 0267-059-008

SHEET 12 OF 15

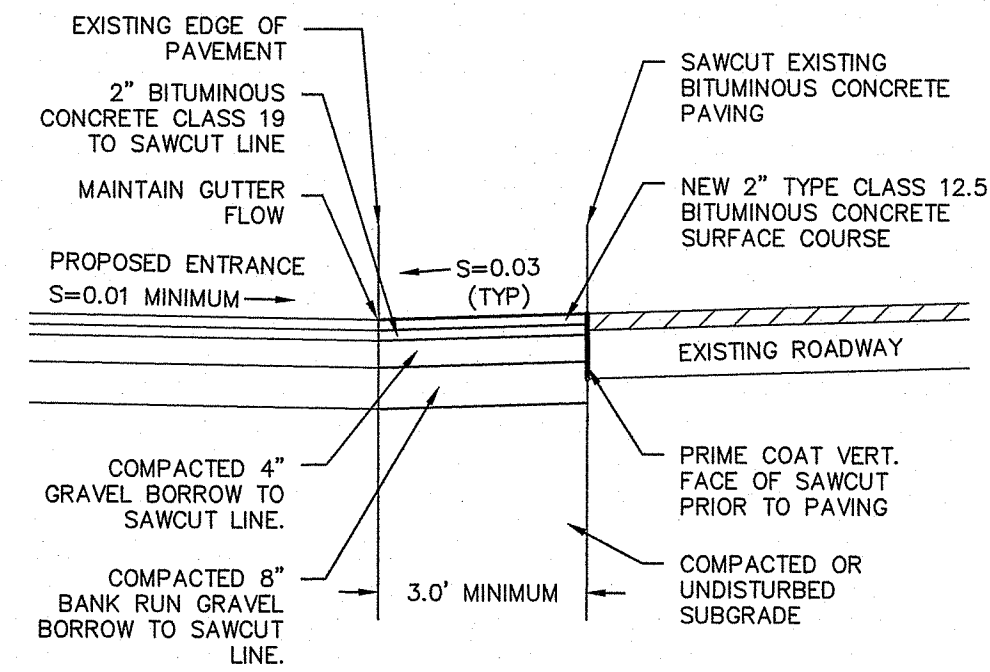
NOTE:
THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS.
ENGINEER TO DETERMINE DESIGN BASED ON GEOTECHNICAL DATA OF
SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENT.



Typical Pavement Section

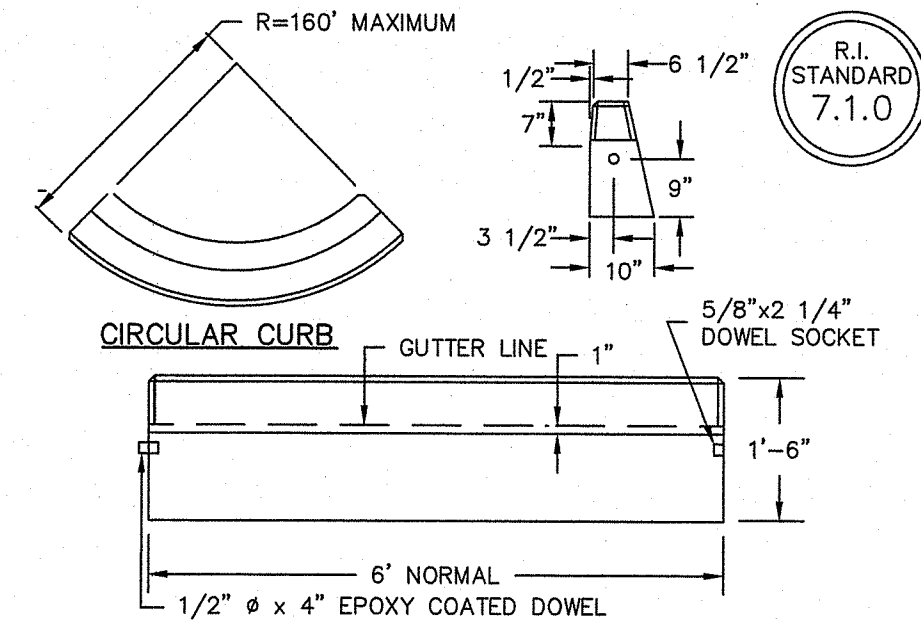
NOT TO SCALE

NOTE:
MINIMUM COMPACTION FOR GRAVEL SUBBASE
OR SUBGRADE: 95% MODIFIED PROCTOR.



Entrance Access Sawcut & Match

NOT TO SCALE

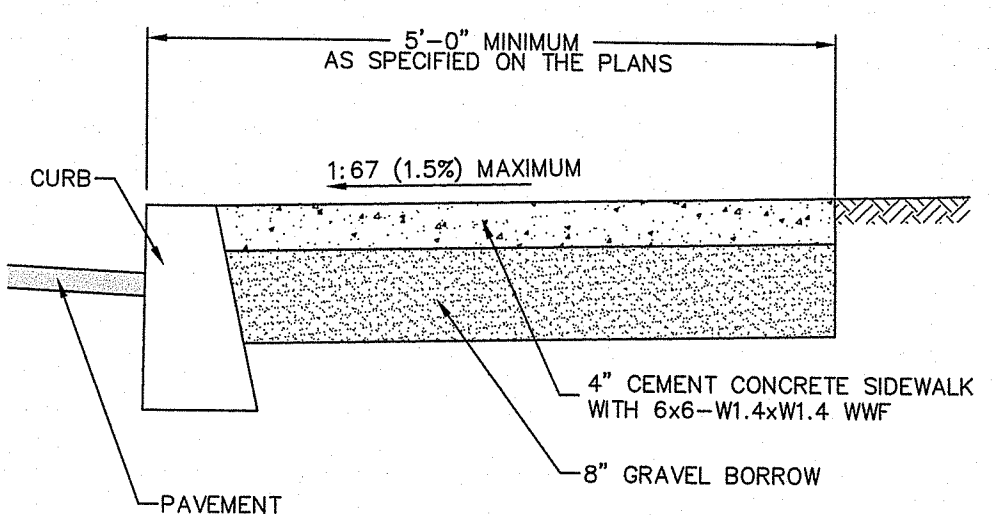


NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

Precast Concrete Curb

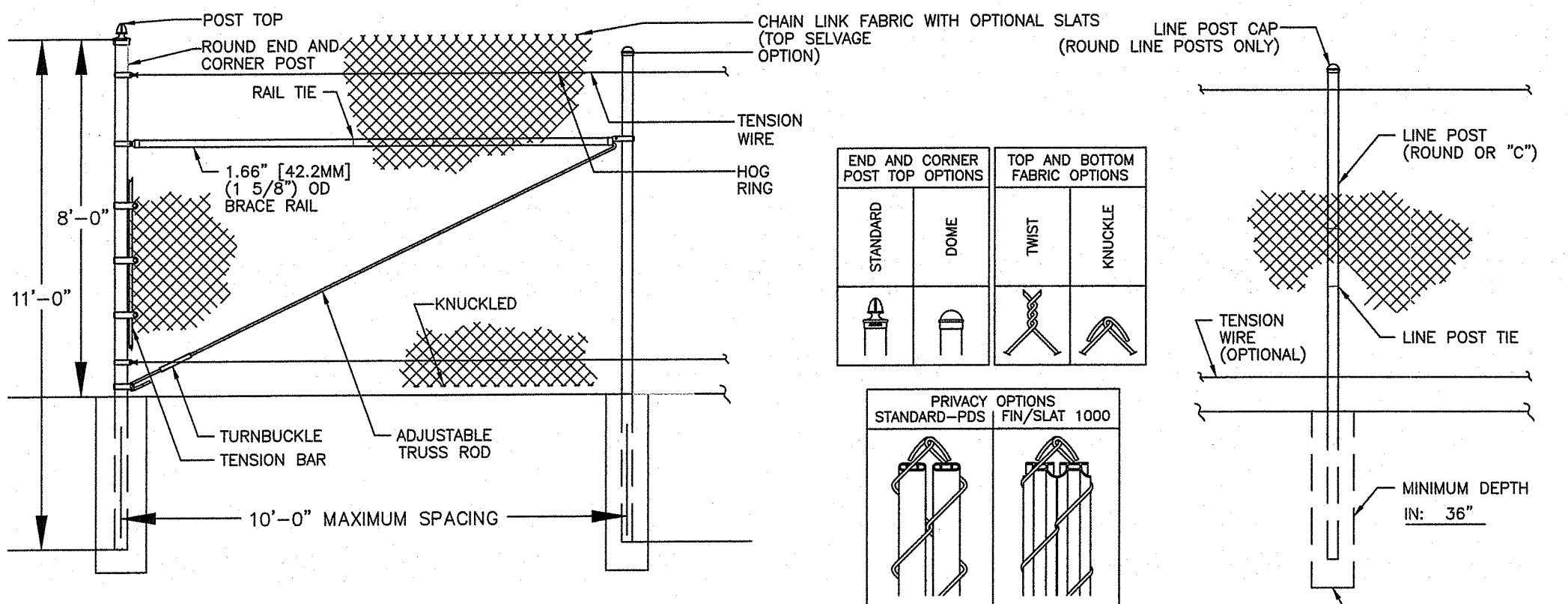
NOT TO SCALE

NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.D.
3. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.1.0.



Cement Concrete Sidewalk

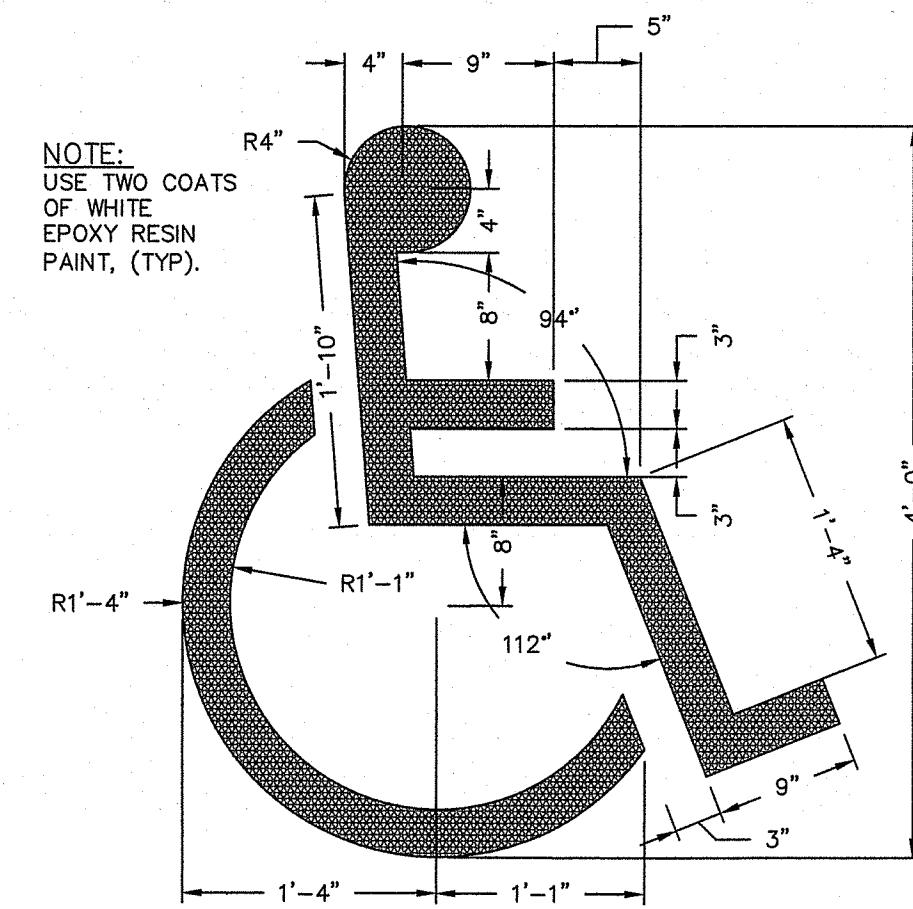
NOT TO SCALE



NOTE:
1. FOOTING WIDTH TO BE (4X) POST WIDTH. MINIMUM DEPTH 36".

Dumpster Screening Fence Detail

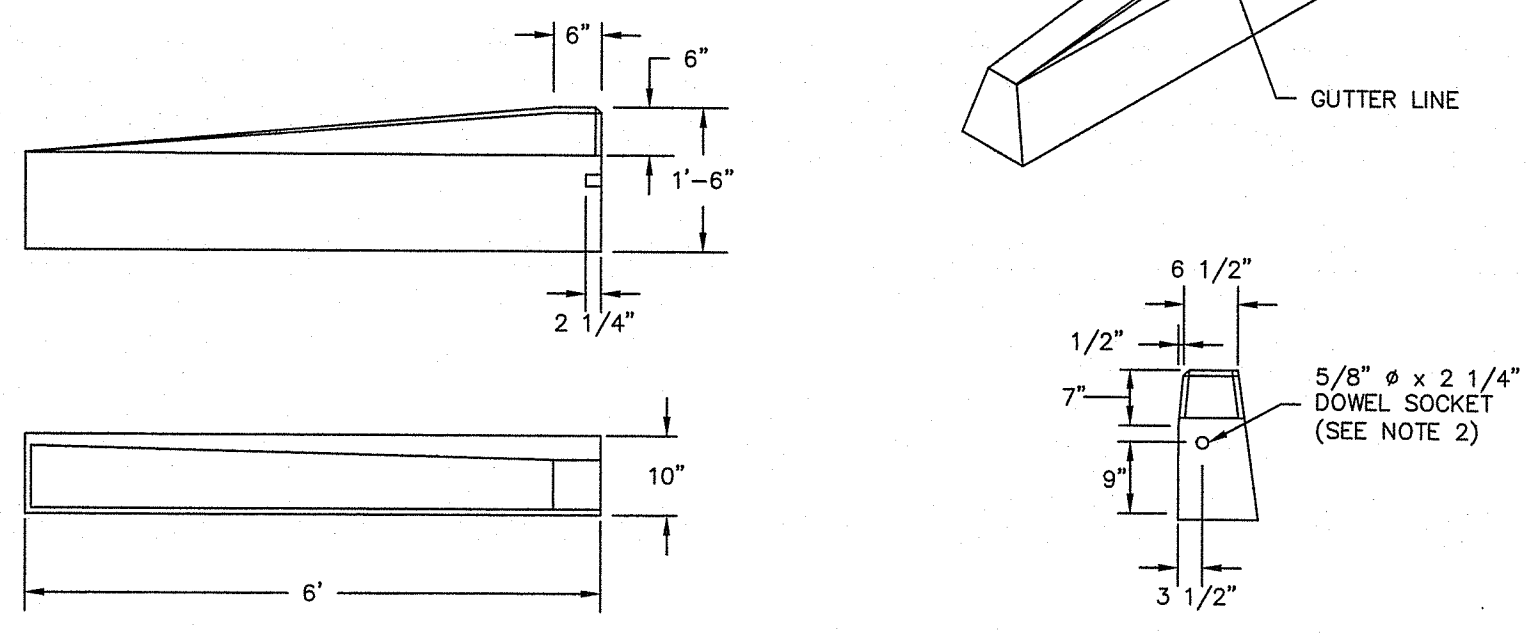
NOT TO SCALE



Handicap Logo Paving Marker Detail

NOT TO SCALE

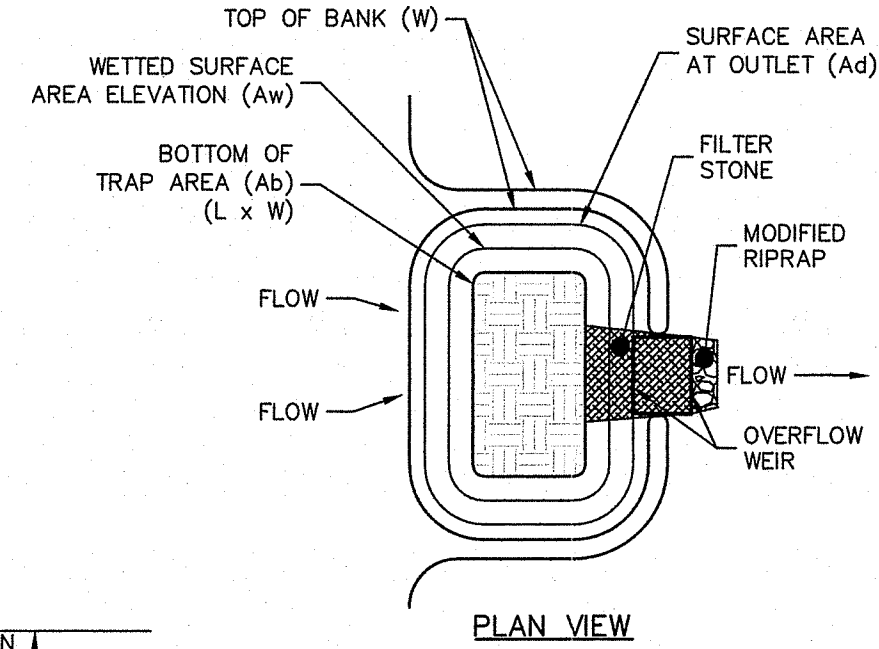
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.



6' Precast Concrete Transition Curb

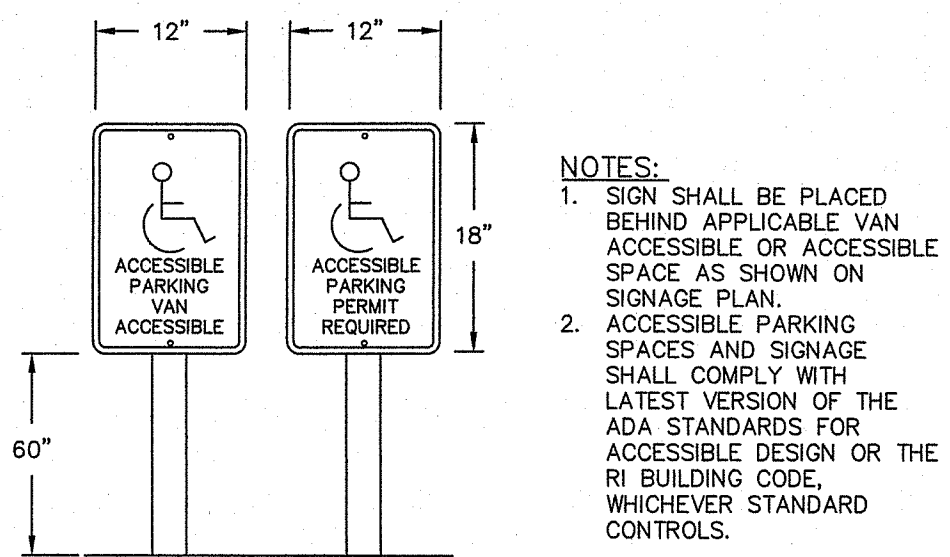
NOT TO SCALE

SEDIMENT TRAP DIMENSIONS	TRAP 1A	TRAP 1B	TRAP 3A	TRAP 3B
TRIBUTARY DRAINAGE AREA	1,203 ac	1,087 ac	1,027 ac	0,967 ac
WET STORAGE DEPTH (Dw)	3.00 ft	2.50 ft	2.50 ft	1.50 ft
DRY STORAGE DEPTH (Dd)	1.00 ft	1.50 ft	1.50 ft	1.50 ft
TOTAL DEPTH (D)	4.00 ft	4.00 ft	4.00 ft	3.00 ft
BOTTOM OF TRAP AREA (Ab)	373 sq.ft	736 sq.ft	267 sq.ft	780 sq.ft
WETTED SURFACE AREA (Aw)	1,441 sq.ft	1,498 sq.ft	932 sq.ft	1,169 sq.ft
SURFACE AREA AT OUTLET (Ad)	1,855 sq.ft	1,802 sq.ft	1,495 sq.ft	1,614 sq.ft



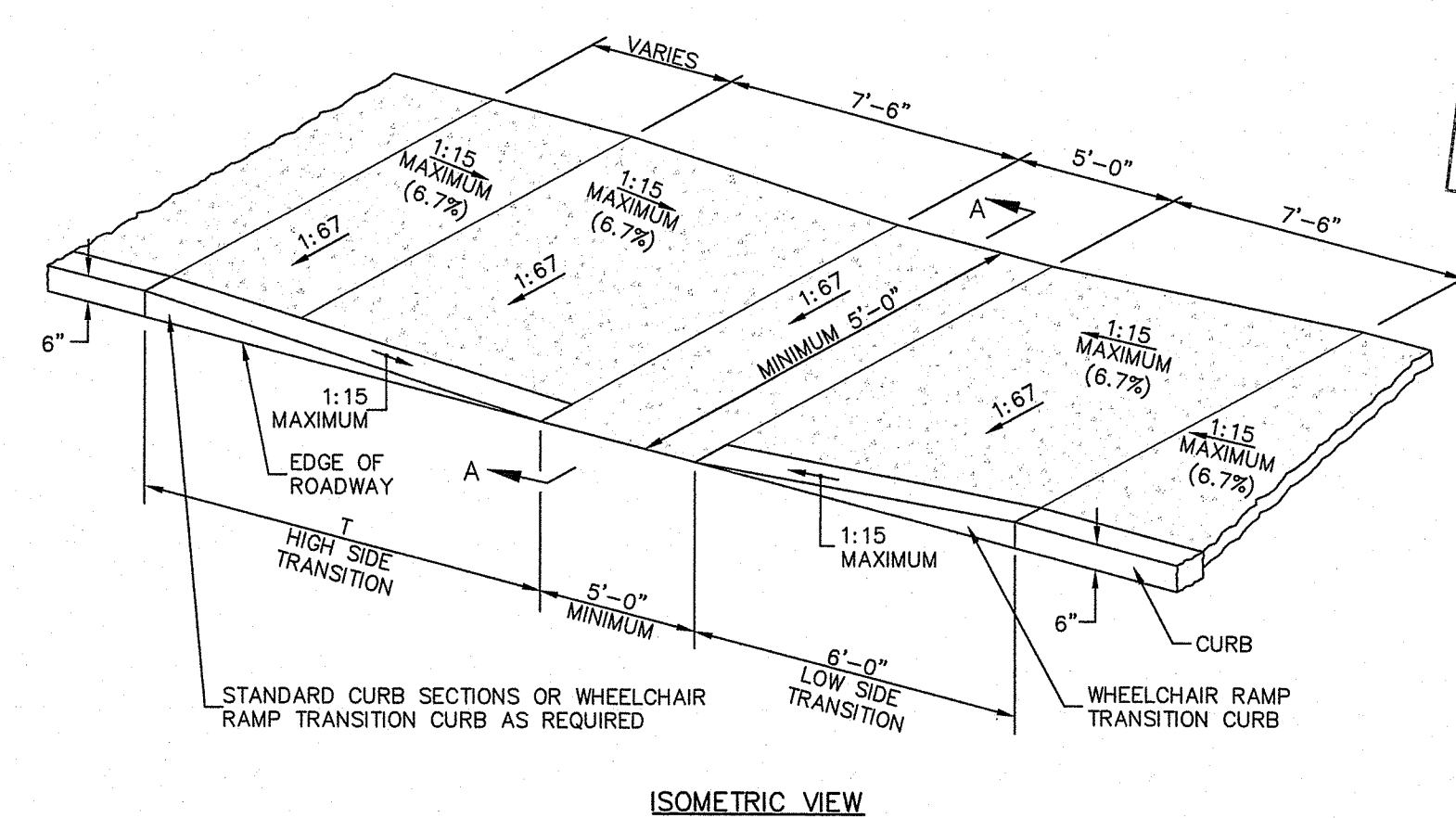
Temporary Sediment Trap Details

NOT TO SCALE



Typical Accessible Parking Post & Sign

NOT TO SCALE



Wheelchair Ramp (ADA)

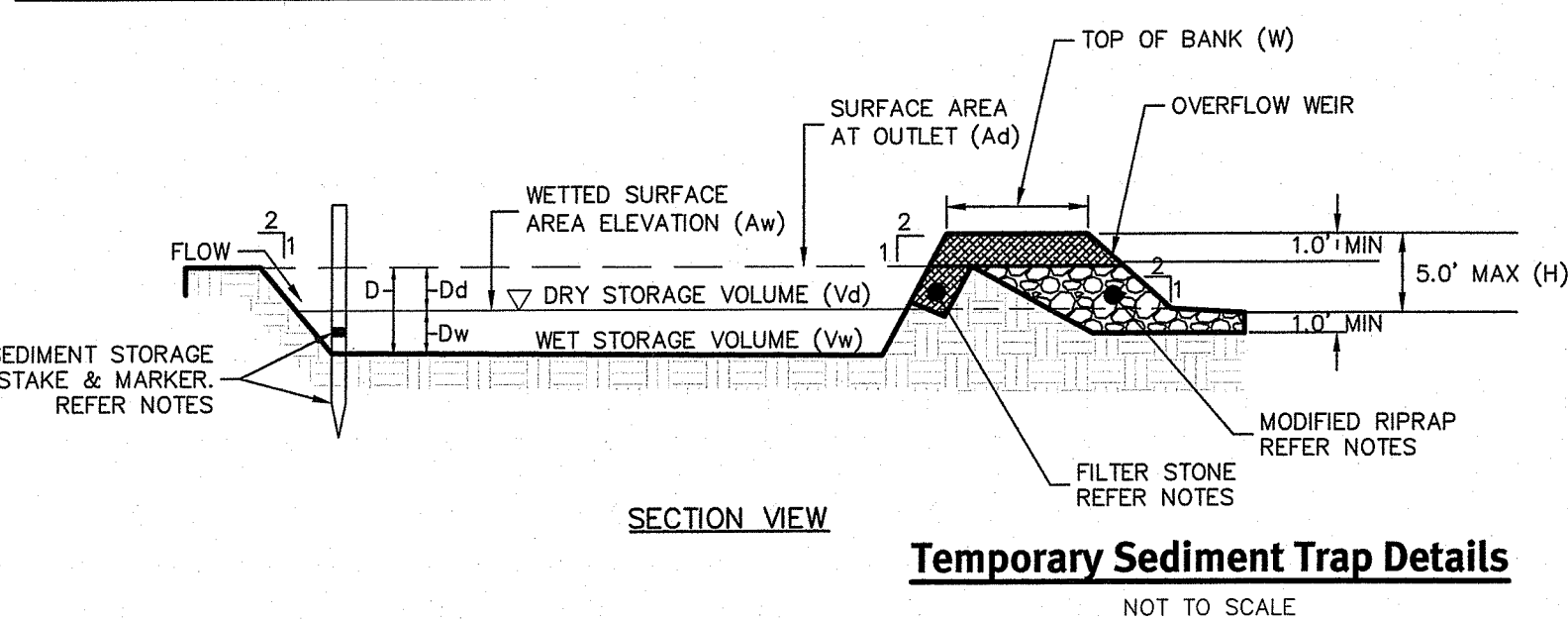
NOT TO SCALE

ROADWAY PROFILE GRADE	T (FT.)
0.00	7.5
0.01	9.0
0.02	11.0
0.03	13.5
0.04	19.0
0.05	30.0

NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.
2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE RAMP CENTERED WHENEVER POSSIBLE.
4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
7. AN UNCONSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.
8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
9. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
10. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
11. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
12. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
13. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
14. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.3.0.

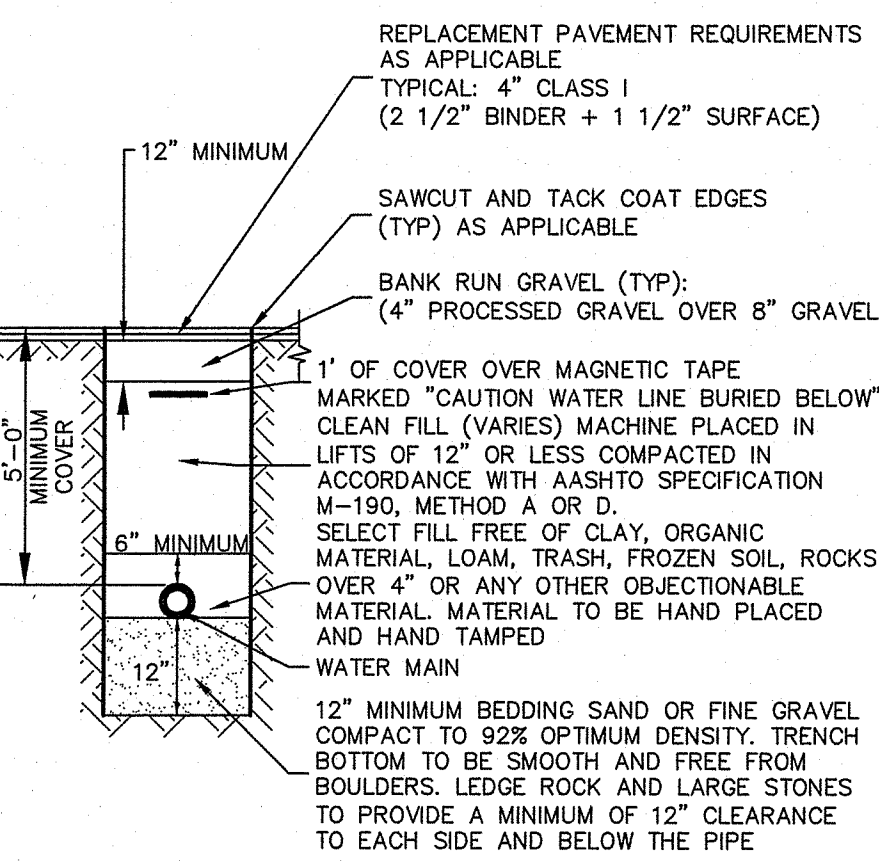
Wheelchair Ramp (ADA)

NOT TO SCALE



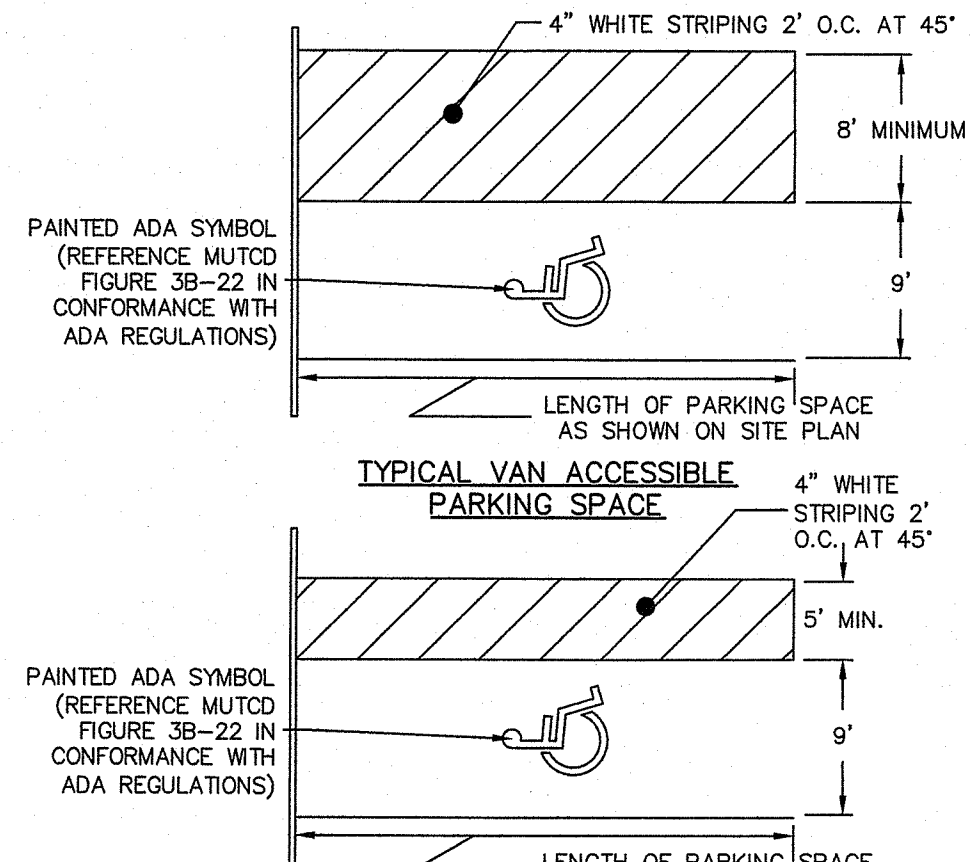
Water Service Installation (TYP)

NOT TO SCALE



Water Trench Detail

NOT TO SCALE



Typical Accessible Parking Space

NOT TO SCALE

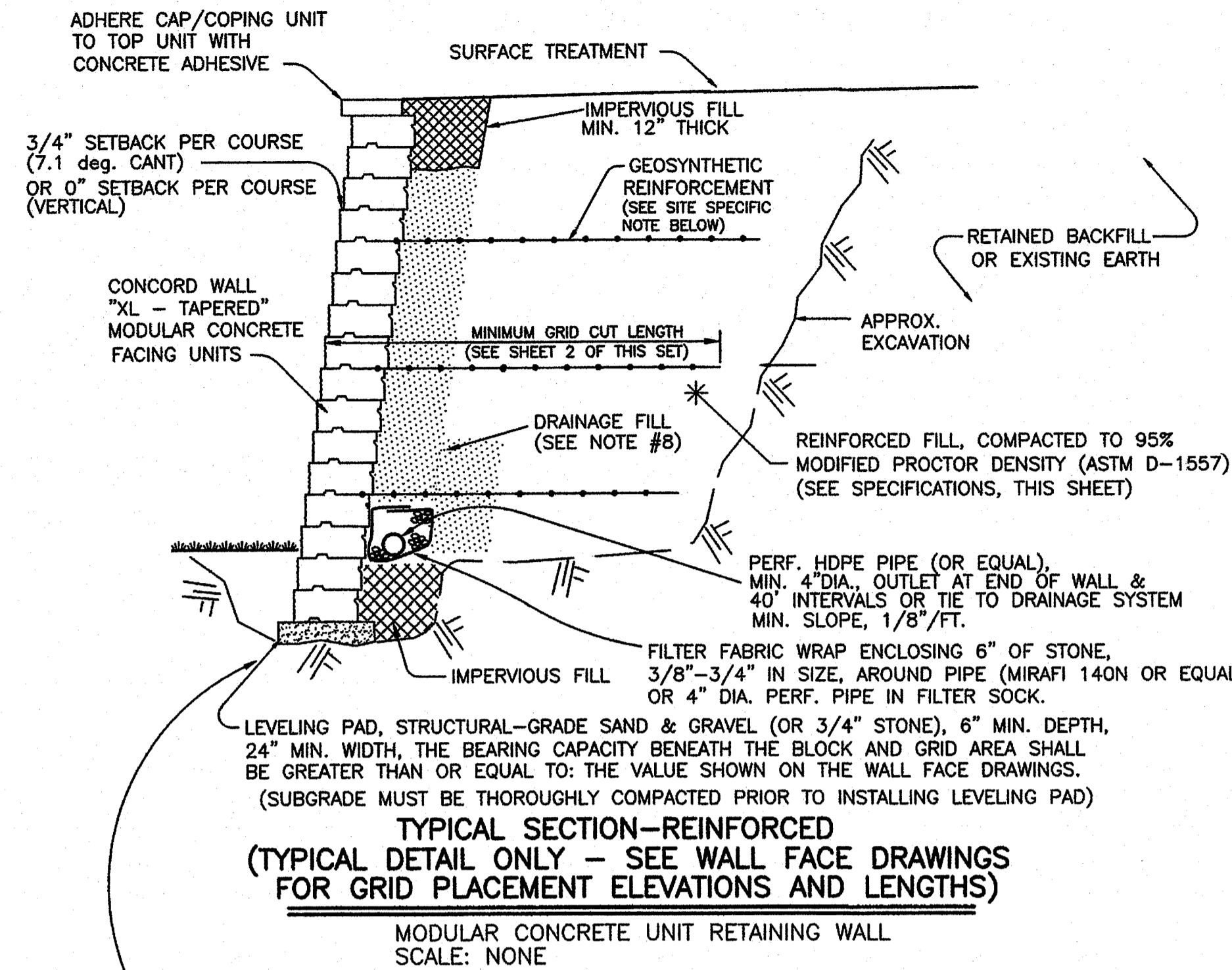
KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

RI Environmental Management
Office of Water Resources
OCT 17 2022

No.	Date	Description
1	09/29/2022	Initial
2	10/13/2022	Revised
3	11/29/2022	Final

Detail Sheet - 1
The Village at South County Commons
Southern Rhode Island Hospital, LLC
SHEET 13 OF 15

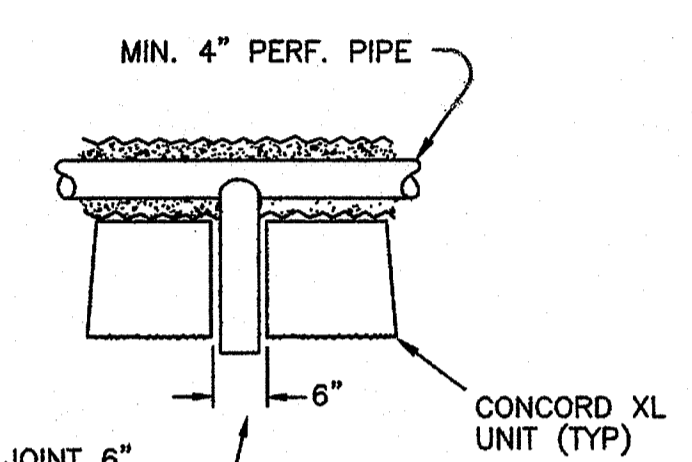
SEE DRAWINGS BY OTHERS FOR LOCATIONS OF FENCE AND GUARDRAILS, AND SURFACE TREATMENTS ABOVE THE WALLS.



SPECIAL NOTE: FOR ANY WALL SECTIONS WHERE THE BASE IS LOCATED IN WETLANDS OR THE SUBSOILS BELOW THE BASE ARE SATURATED, THE LEVELING PAD SHALL BE INCREASED TO 3\"/>

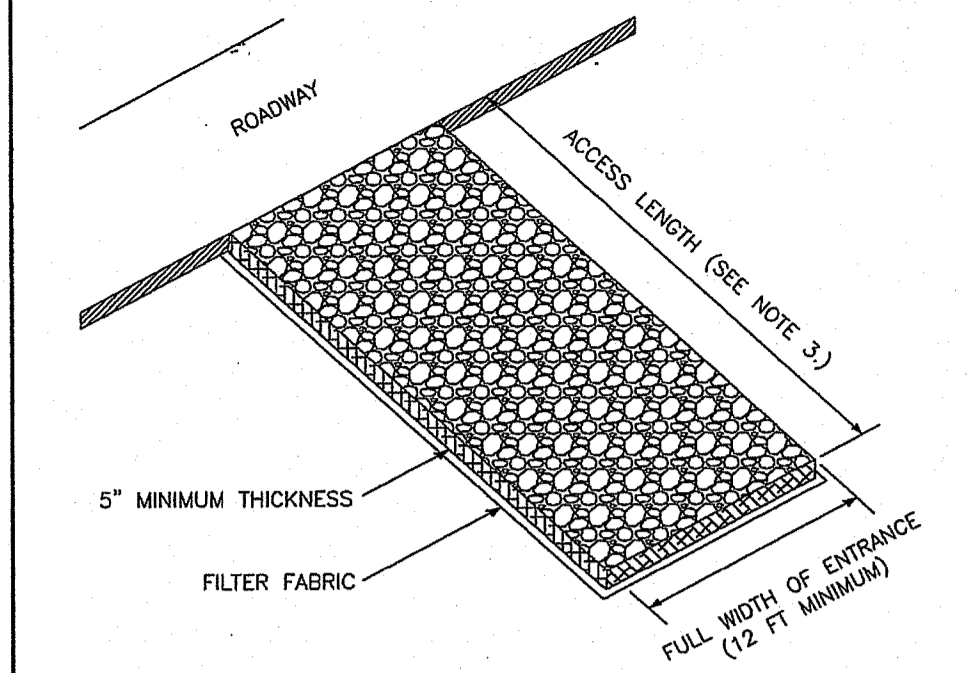
RI Environmental Management
OCT 17 2022
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 07 2022 FILE #: 17-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman



OPEN JOINT 6\"/>

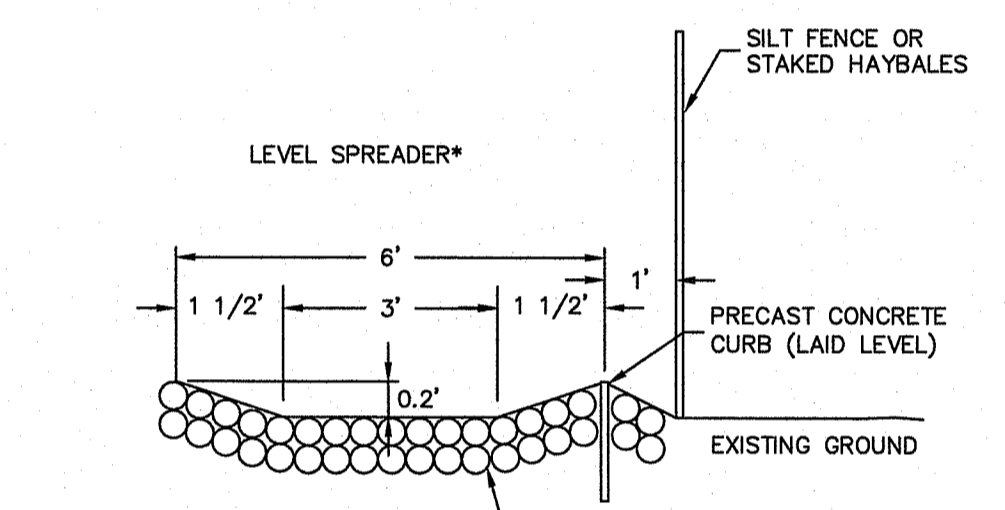
DRAIN DETAIL - TYPICAL
SCALE: NONE



MATERIAL SIZE	
SQUARE MESH SIEVES	RI DOT 2\"/>
2-1/4 INCHES	100
2 INCHES	90 - 100
1-1/2 INCHES	30 - 55
1-1/4 INCHES	0 - 25
1 INCH	0 - 5

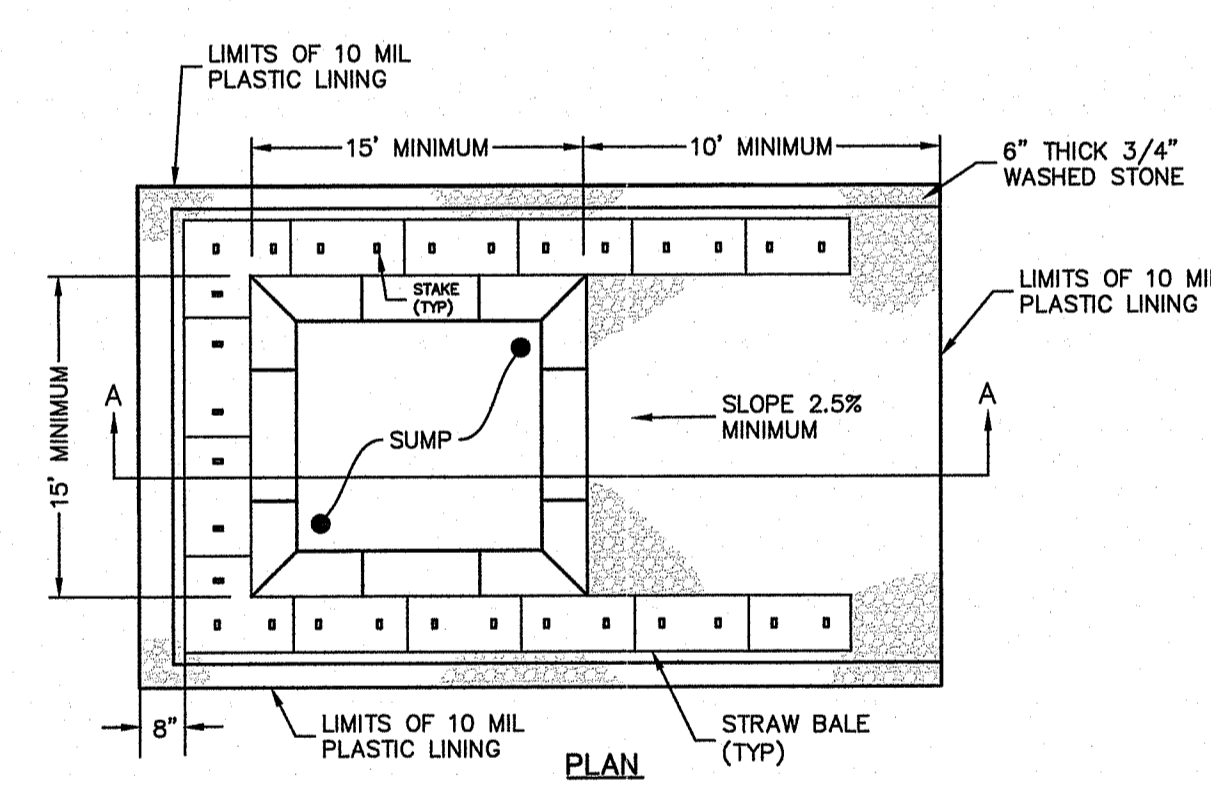
- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.
 - CRUSHED STONE SHALL CONFORM TO THE REQUIREMENTS OF M.01.09 OF THE R.I. STANDARD SPECIFICATIONS.
 - LENGTH SHALL BE 50 FT MINIMUM IN SAND AND GRAVEL AREAS OR 100 FT MINIMUM IN SILT AND CLAY AREAS. LENGTH MAY BE REDUCED IF TRAVEL LENGTH IS LESS.

REVISIONS		TOWN OF SOUTH KINGSTOWN DEPARTMENT OF PUBLIC SERVICES		CONSTRUCTION ACCESS ENTRANCE		TSK STANDARD D-9.9	
NO.	BY	DATE					
	WCB						

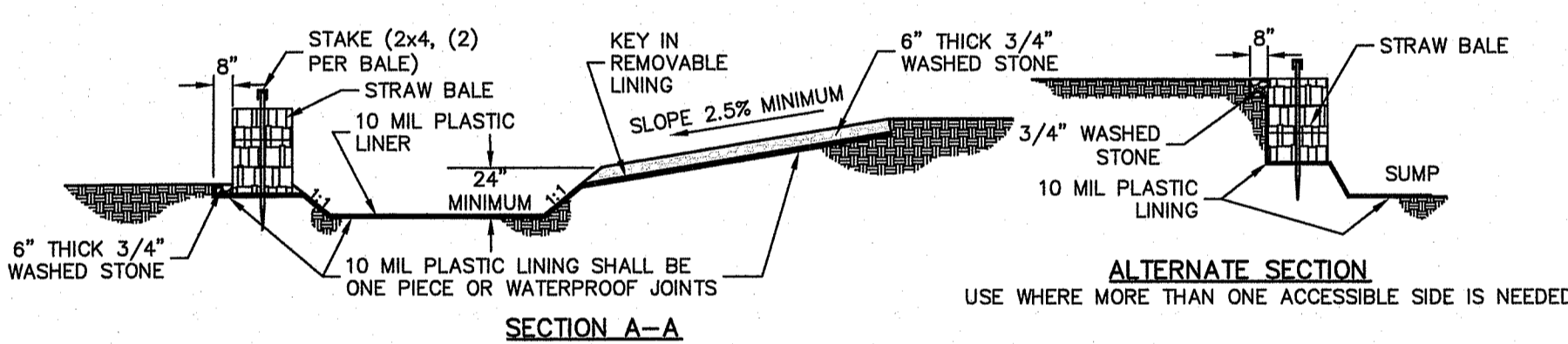


- NOTE:
* LENGTHS AS SPECIFIED ON SITE PLANS

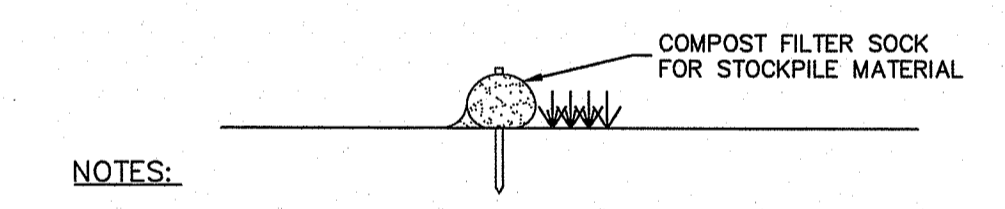
Level Spreader
NOT TO SCALE



Concrete Washout Area
(NOT TO SCALE)



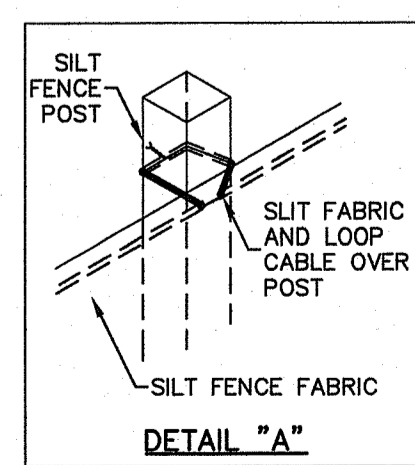
- NOTES:
- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 - FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12\"/>



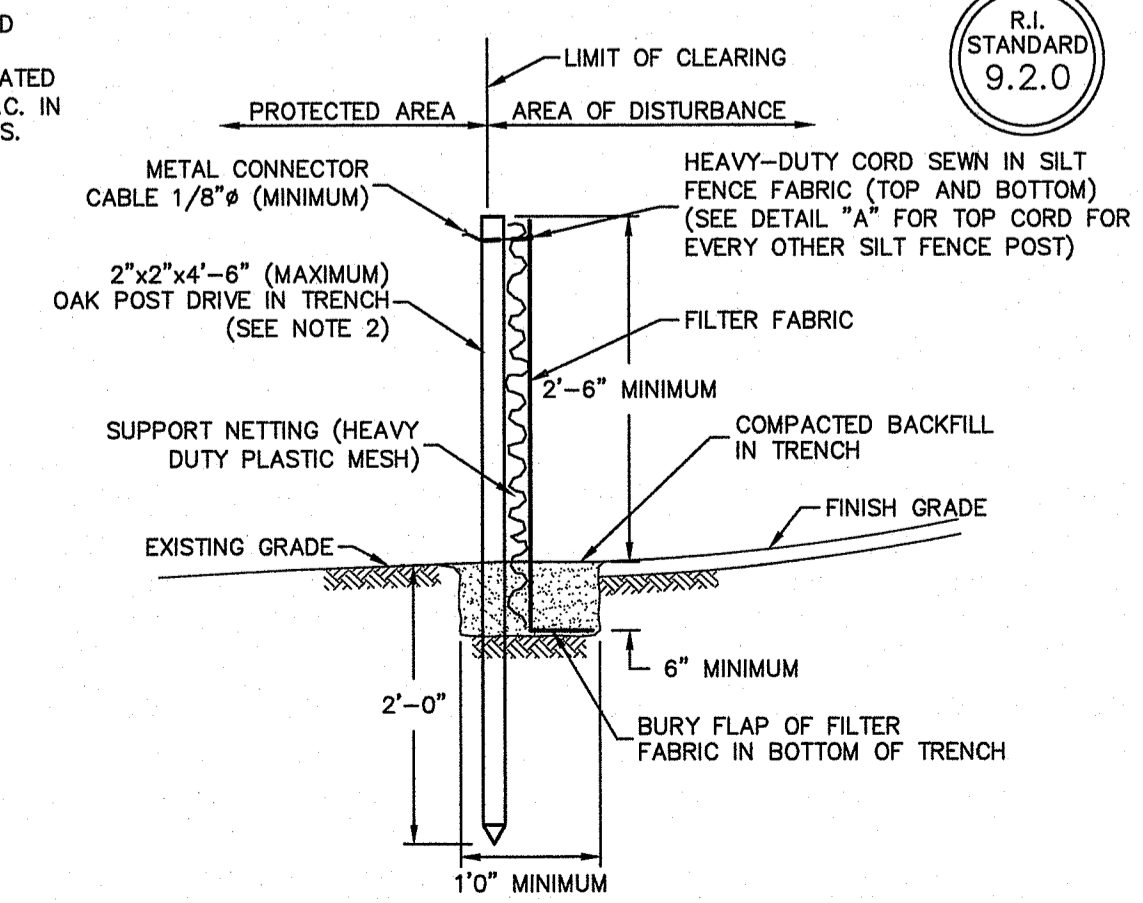
- NOTES:
- ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS
 - FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
 - STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
 - SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM OF MOVEMENT ONCE POSITIONED ALONG AREA SHOWN IN PLAN ABOVE.
 - CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL OR EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

Filtrexx Continuous Compost Filter Sock or Approved Equal
NOT TO SCALE

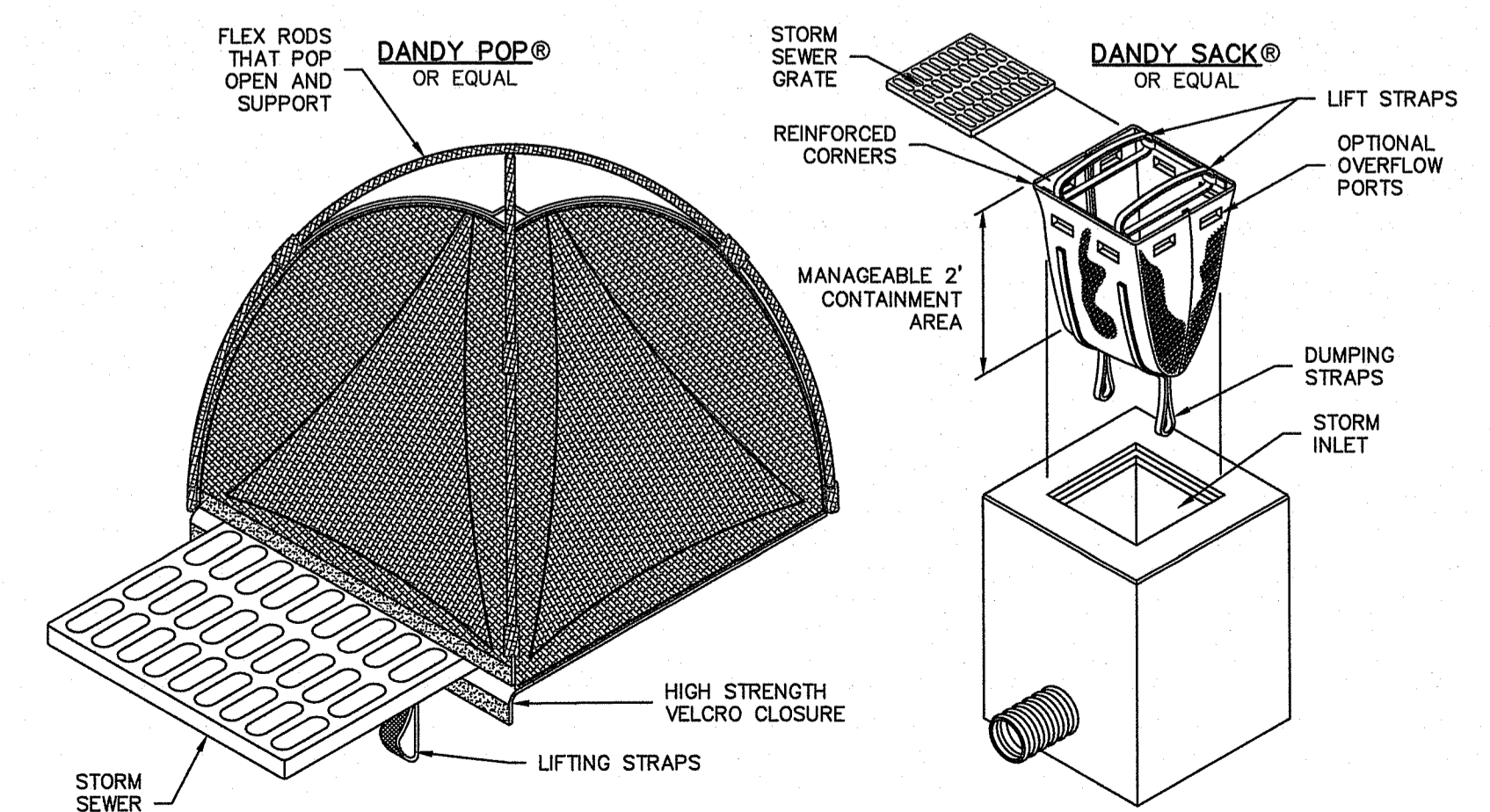
- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2"x2"x4'-6\"/>



Silt Fence Detail
NOT TO SCALE



R.I. STANDARD 9.2.0



Inlet Sediment Control Devices
NOT TO SCALE

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-943-1000 fax: 401-641-6006 www.diprete-eng.com

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC. I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC. I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC. I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC.

No.	Date	Description	By:
1	09-09-2022	RFI Permit Modification	KJD
2	04-20-2023	RFI Permit Modification	KJD
3	02-26-2023	RFI Permit Modification	KJD
4	11-15-2022	RFI Permit Modification	KJD

Design By: K.J.D.

Detail Sheet - 2
The Village at South County Commons
District 5, Zoned R-1, Special Management District (SMD)
Assessor's Plat 004, Lots 22, 25, & 26
South Kingstown, Rhode Island 02879
Owner/Applicant: **Southern Rhode Island Hospitality, LLC**
Two Stafford Court, Cranston, Rhode Island 02920

