

CONSTRUCTION NOTE:

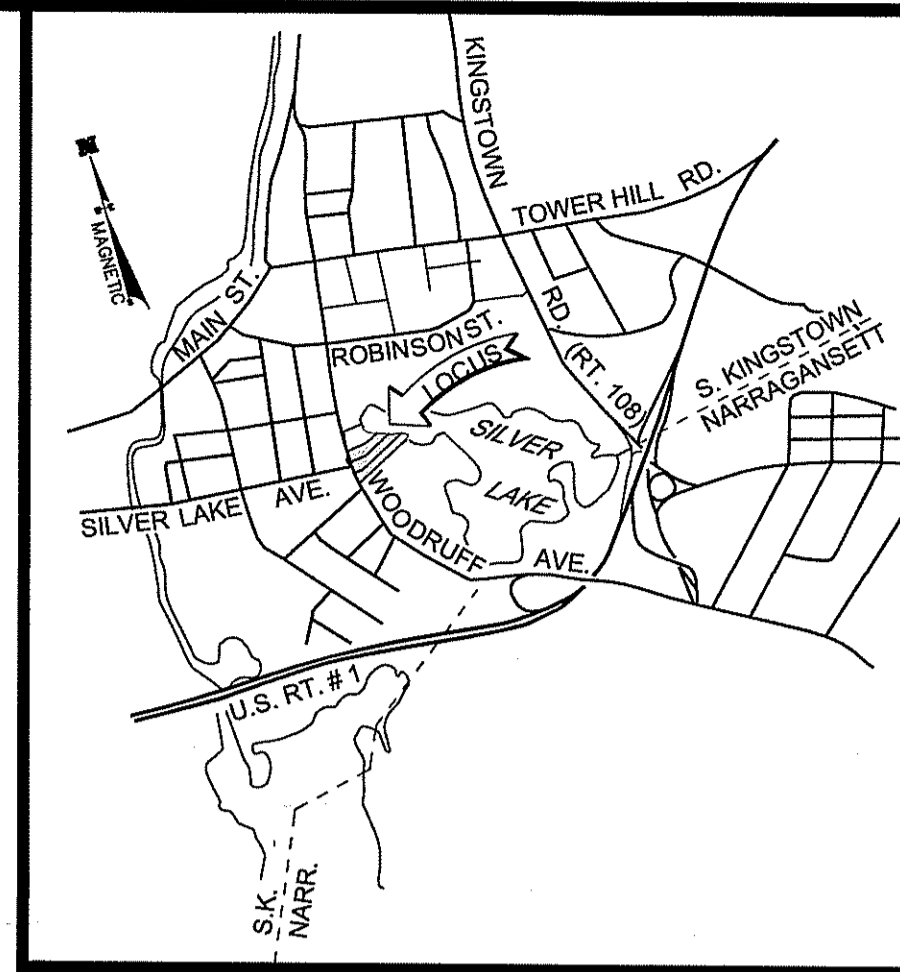
Invert of sewer lateral to be determined prior to setting foundation.

REFERENCES:

EXISTING CONTOURS SHOWN ON SITE PLAN TAKEN FROM TOWN OF SOUTH KINGSTOWN RIGIS DATA.

WETLANDS:

Wetland flagging for subject property performed by Applied Bio-Systems, Inc. on January 5, 2017. Flag series 100-106 depicts an isolated wetland smaller than 1/4 acre in size with no assigned buffer. Flag series 200-215 depicts the average high water line of Silver Lake. A 50-foot printer wetland is assigned to this edge, as noted.



LOCATION PLAN

SCALE: 1" = 2000'

ZONING:

TAX LOT 229
ZONING DISTRICT: R20
MIN. REQUIRED FRONTAGE / LOT WIDTH: 100'
PROVIDED LOT WIDTH: 335+
FRONT YARD SETBACK: 35'
SIDE YARD SETBACK: 15'
REAR YARD SETBACK: 35'

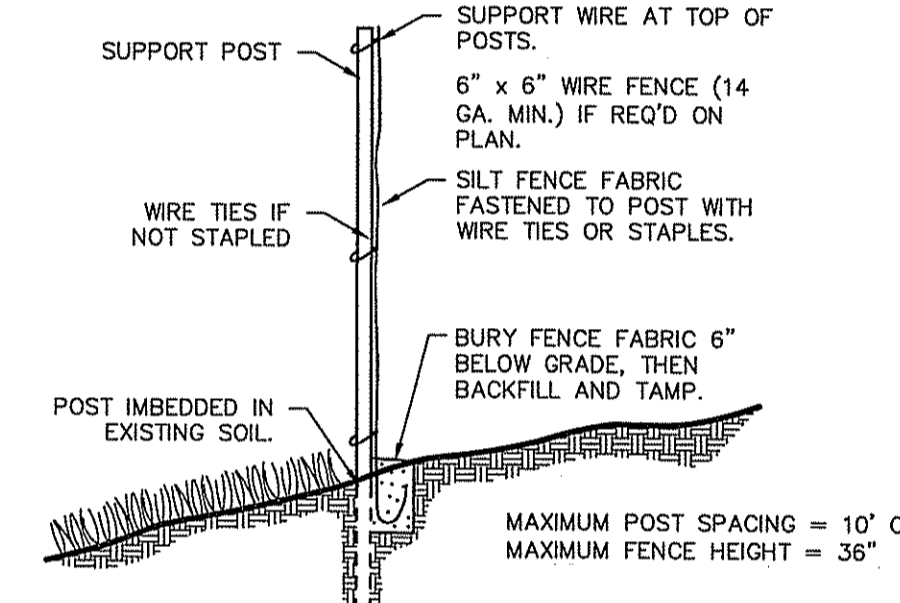
CERTIFICATION

This survey has been conducted on November 21, 2015, February 4, 2016, June 4, 2016 and July 26, 2016 and the plan has been prepared on March 15, 2016 and last revised on August 2, 2016, to substantially conform to Section 9 of the Rules and Regulations adopted on November 25, 2015 by the Rhode Island State Board of Registration for Professional Land Surveyors as follows:

Type of Boundary Survey: Comprehensive Boundary Survey
Measurement Specification: 1"
Other Type of Survey: Compilation Survey (for other than boundary survey) - See reference #7 for source of contours. Also, buildings on nearby parcels, tree lines, pavements are taken from aerial photos and/or other sources by third parties.

The purpose for the conduct of the survey and for the preparation of the plan is for a minor subdivision.

By: *Jeffrey K. Balch* 1/17/2017
Jeffrey K. Balch, RI Professional Land Surveyor #1839
Certificate of Authorization #4535.



SILT FENCE DETAIL
NOT TO SCALE

EROSION AND SEDIMENTATION CONTROL NOTES:
Temporary and/or permanent erosion control devices such as baled hay, silt fencing, etc. shall be installed prior to any clearing or excavation. Hay bales or silt fencing shall be placed immediately down slope and adjoining areas of soil disturbance and stockpiles. Installation of all erosion control devices shall be conducted in accordance to detail specifications.

Clearing of existing vegetation shall be done in a controlled manner so as to avoid extensive areas of defoliated terrain subject to erosion. Areas so disturbed shall be brought to final grades and stabilized as soon as possible.

During construction the contractor shall be responsible for maintaining drainage and runoff flow during storms and periods of rainfall.

All erosion control devices shall be inspected and maintained on a regular basis during construction, especially after each rainfall.

Due to changing characteristics of the site caused by and during construction additional erosion control measures may be required as site conditions warrant.

If construction is suspended, all disturbed areas shall be seeded and all necessary erosion control devices shall be in place and in good working order. If seeding is not possible then erosion control mats shall be placed over all disturbed soil.

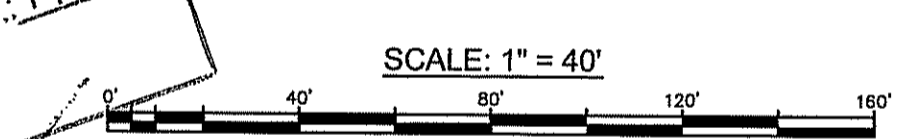
Erosion control blankets (mats) shall be installed according to the manufacturers recommendations. Erosion control blankets (mats) shall be manufactured by north american green) or approved equivalent and installed according to the manufacturer's recommendations.

All erosion control methods, materials and maintenance shall be done in accordance with the "Rhode Island Soil Erosion and Sediment Control Handbook".

All areas which are disturbed during construction are to be brought to finished grade with at least 6" minimum depth of good quality loam and all soil amendments deemed necessary. The area shall be seeded with a quick germinating grass seed such as uni #2 or approved equivalent.

The contractor shall provide for all seeded areas to be watered and in good condition until a good healthy and uniform growth is established over the entire area.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 17-003
DATED FEB 21 2017
SEE LETTER OF SAME DATE.



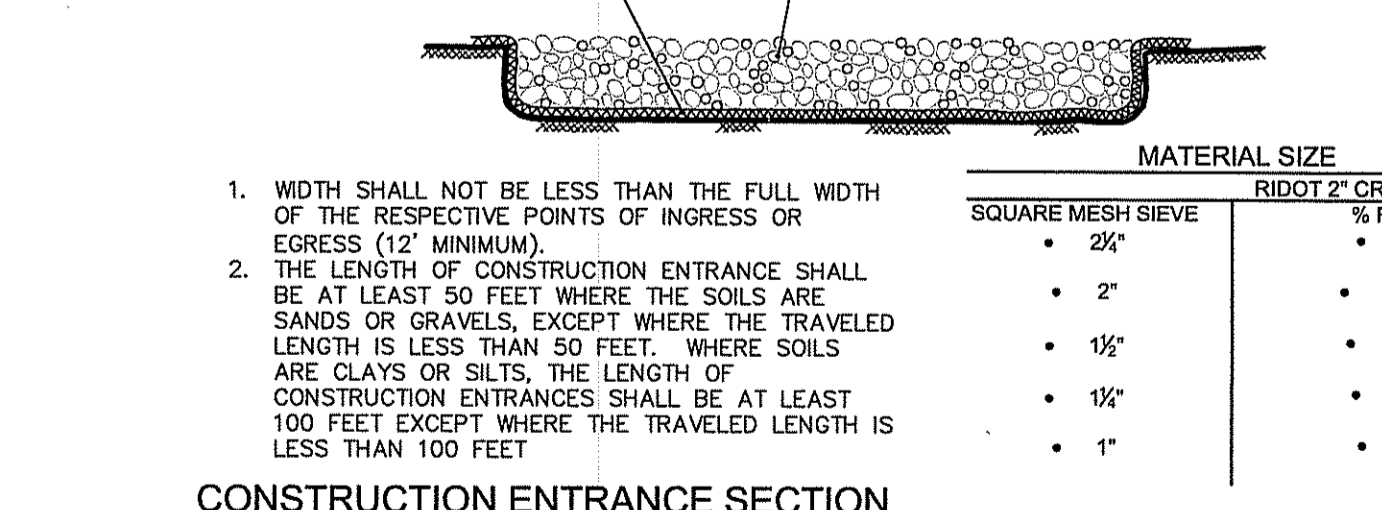
DESIGN CRITERIA:

- 10-Year, 24-hour storm event, total rainfall = 4.9 inches.
- Net increase in impervious area = 2,636 SF
- Existing conditions stormwater runoff in the area of the proposed dwelling = 26 cf in 24 hrs.
- Proposed conditions stormwater runoff in the area of the proposed dwelling = 1,024cf in 24 hrs.
- Net increase in runoff: 1,024-26 = 998 cf.
- Stormwater to be directed to rain gardens as noted, 2 total
- Total storage within rain gardens = 354 cf.
- 998- 354 = 644 cf remaining
- Total bottom area of rain gardens = 396 sf.
- Based on an infiltration rate of 2.41 in./hr for loamy sand and using bottom area only with a 2-hour fill time
- 396sf x 2.41in/hr x 1hr / 12in. = 59 cf / hr = 1,298 cf infiltrated over 22 hours.
- Total volume contained on-site = 354 + 1,298 = 1,652 cf

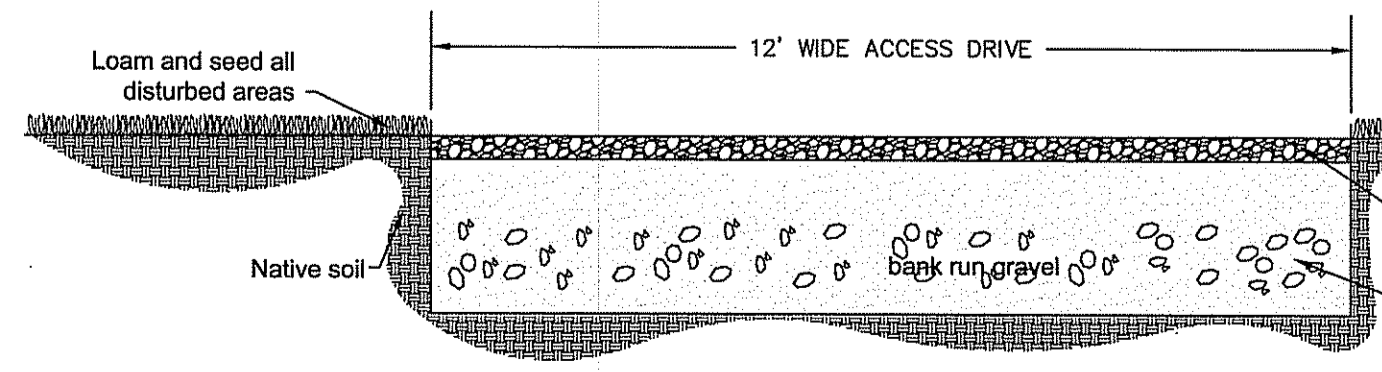
PLANT SCHEDULE

Key	Botanical Name	Common Name	Size	Spacing
Grasses				
AC	Carex stricta	Tussock Sedge	#3	3' O.C.
Perennials / ground cover				
AT	Asclepias tuberosa	Butterfly milkweed	#3	3' O.C.
As	Astilbe sp.	Astilbe	#3	3' O.C.
IV	Iris versicolor	Blue flag	#3	3' O.C.
Shrubs				
CA	Clethra alnifolia	Sweet pepperbush	# 5	NA

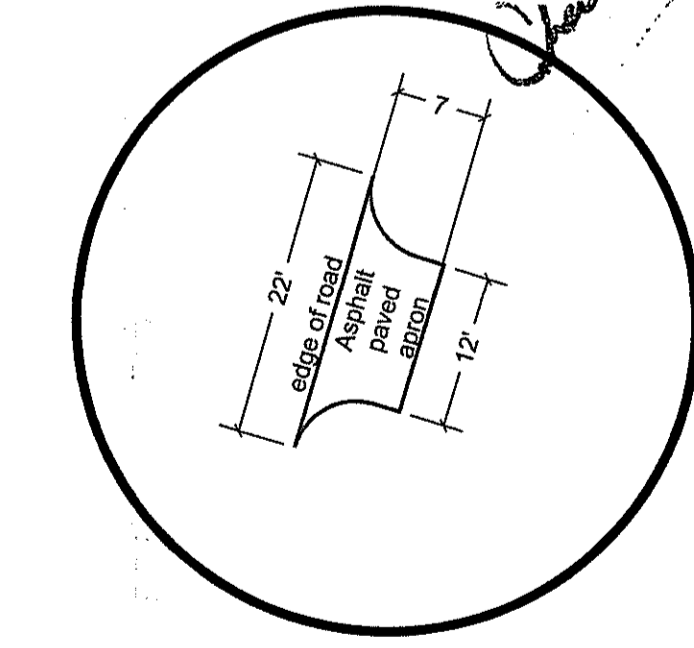
NOTE: SEE MAIN PLAN FOR LENGTH AND WIDTH.
5" MINIMUM DEPTH OF CRUSHED STONE. STONE SHALL CONFORM TO THE REQUIREMENTS OF SUBSECTION M.01.09, TABLE 1, COLUMN 2 OF THE RI DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION.



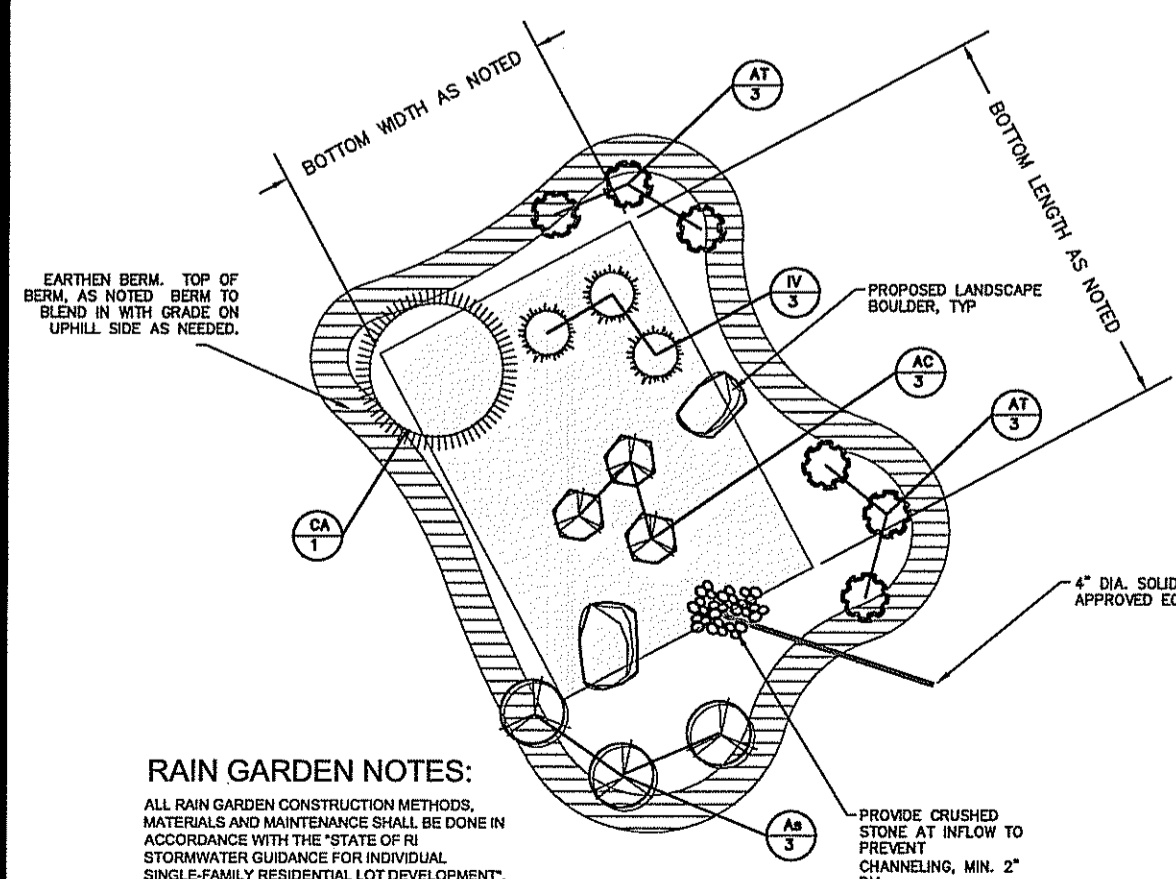
CONSTRUCTION ENTRANCE SECTION
SCALE: NONE



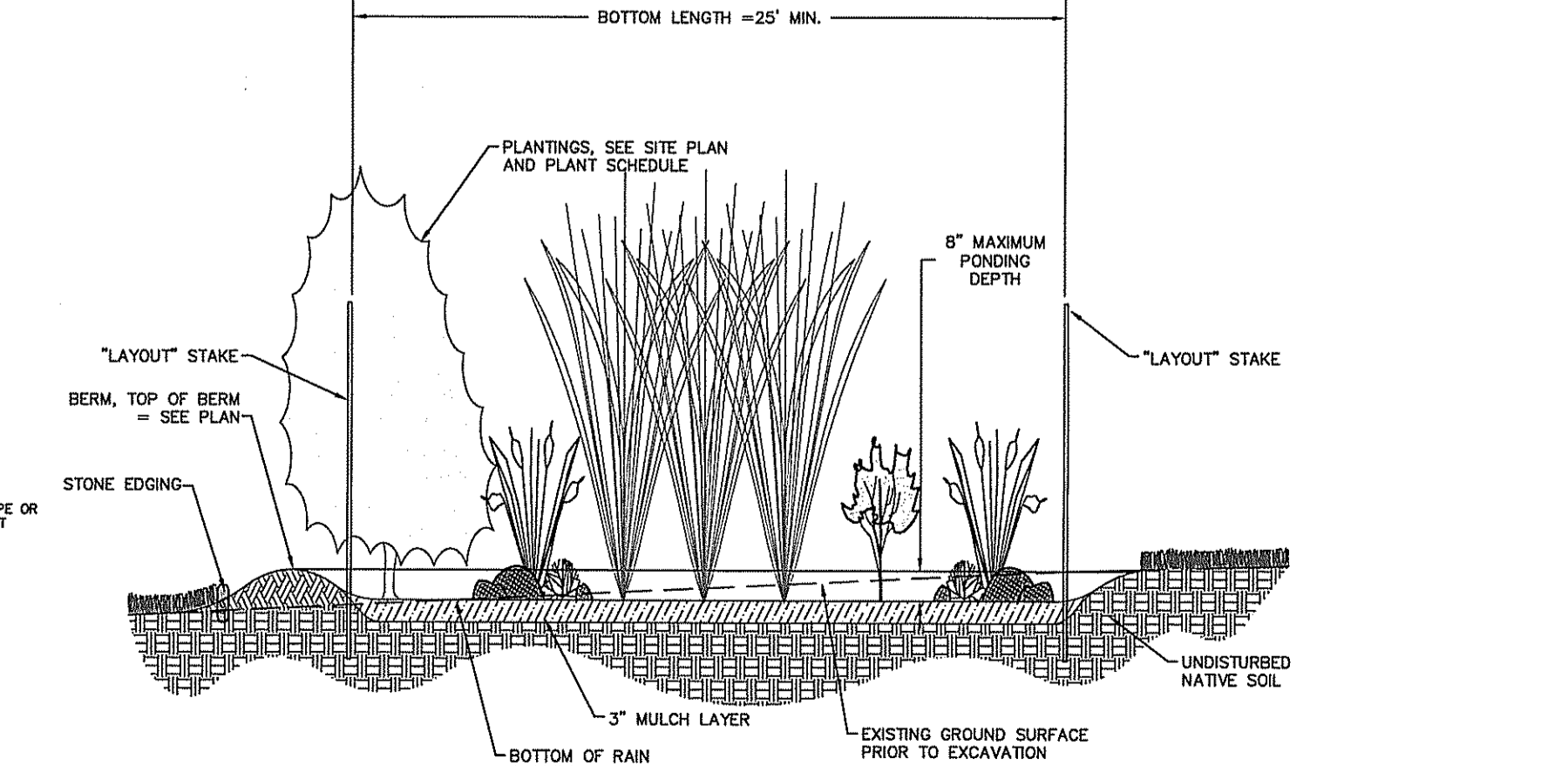
CROSS SECTION GRAVEL ACCESS ROAD DETAIL
NOT TO SCALE



Detail Paved Driveway Apron
Inset scale: 1" = 15'



TYPICAL DETAIL PLAN VIEW OF RAIN GARDEN
NOT TO SCALE



DETAIL RAIN GARDEN, TYPICAL CROSS-SECTION
NOT TO SCALE

- Crushed stone shall meet specifications shown herein. Testing results shall be submitted to document the gradation.
- Site preparations shall include clearing, grubbing, and excavation to design subgrade elevation, stripping topsoils, detritious debris, and unsuitable material from the site. odd bank run gravel compacted in 6" lifts to the design subgrade as necessary.
- Drive and parking areas shall be excavated to remove topsoil and unsuitables.

FRISELLA - BALCH & ASSOCIATES
LAND SURVEYORS
33 NORTH RD, SUITE C-201 (OFFICE DALE, RI)
PHONE (401) 783-9849 (FAX) (401) 783-9997
www.frisella.com

NO.	DATE	DESCRIPTION	BY
Proposed Site Development			
LOCATED ON: Assessor's map 57-4, Lot 229 - Ruth W. Sweet Family Trust,			
OWNED BY: KATERI WHEELER			
ADDRESS: Woodruff Avenue, IN THE TOWN OF South Kingstown, R.I.			
DATE: March 15, 2016			
DESIGNED BY: JEFFREY K. BALCH, P.L.S.			
SCALE: 1" = 40'			
DRAWN BY: JK			
CHECKED BY: JKB			
DRAWING NO.:			
SHEET 1 OF 1			

JEFFREY K. BALCH
No. 1839
PROFESSIONAL LAND SURVEYOR

RI State Board of Registration for Professional Land Surveyors, 1/17/2017 7:15:34 AM

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