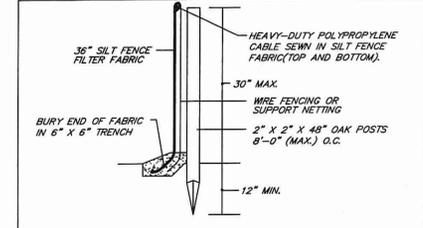
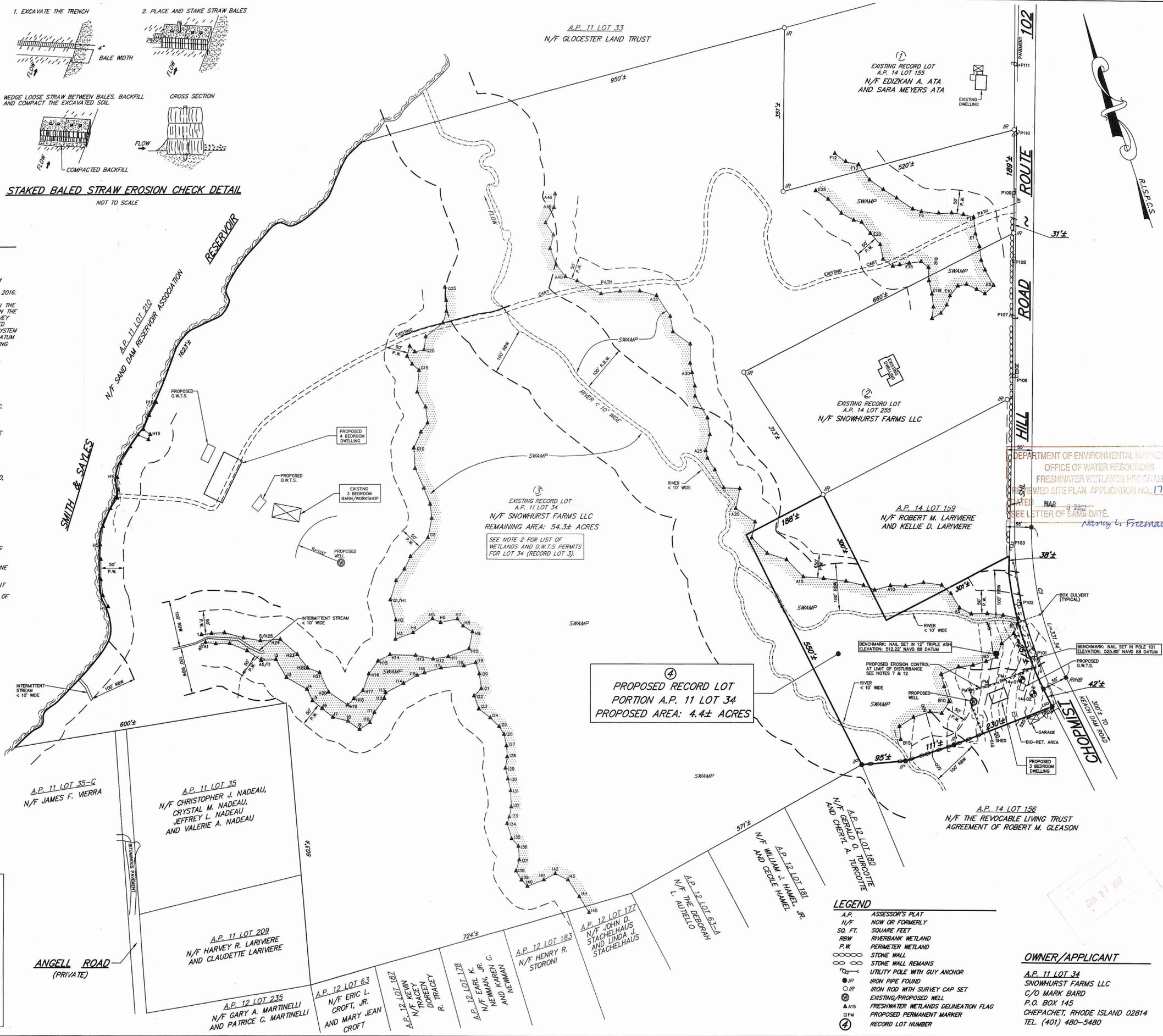
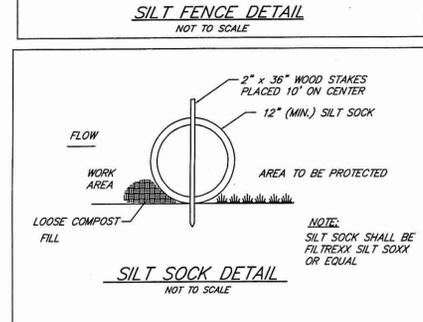


- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO PROVIDE AN OVERALL DEPICTION OF THE PROPOSED RESIDENTIAL SITE DEVELOPMENT OF PROPOSED RECORD LOT 4. PLEASE SEE SHEETS 2 AND 3 FOR DESIGN DETAILS.
  2. FOR RECORD LOT 3 SEE APPROVED ON-SITE WASTE WATER TREATMENT SYSTEM APPLICATIONS NO. 1613-0509 AND NO. 1613-0510. SEE ALSO APPROVED INSIGNIFICANT ALTERATION PERMIT APPLICATION NO. 15-0269 DATED APRIL 15, 2016.
  3. THE TOPOGRAPHY, WETLANDS DELINEATION FLAGS AND INTERMITTENT STREAM IN THE IMMEDIATE VICINITY OF THE PROPOSED DWELLING AND D.W.T.S. WERE LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. INTERMITTENT STREAMS AND OTHER RESOLVE FEATURES WERE LOCATED USING A COMBINATION OF CONVENTIONAL METHODS AND GLOBAL POSITIONING SYSTEM TECHNOLOGY BETWEEN OCTOBER 2014 AND SEPTEMBER 2016. THE VERTICAL DATUM FOR THE PROJECT IS NAVD 88 AND WAS ESTABLISHED USING GLOBAL POSITIONING TECHNOLOGY.
  4. THE SITE LIES WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD PLAIN). SEE FLOOD INSURANCE RATE MAP NUMBER #400701456 DATED MARCH 2, 2008.
  5. EXCEPT WHERE SHOWN THE ENTIRETY OF THE SITE IS WOODED. THERE ARE NO KNOWN HISTORIC AREAS OR FEATURES ON THE SITE.
  6. WETLANDS DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. OF HARRISVILLE R.I. BETWEEN OCTOBER 2014 AND JUNE 2016.
  7. STRAW BALE EROSION CHECK (R.I. STANDARD 9.1.0), SILT FENCE AND/OR SILT SOCK SHALL BE INSTALLED AT ALL DOWNGRADIENT LIMITS OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES, AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
  8. ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  9. ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD. PROPOSED SLOPES SHALL BE 3:1 (TYPICAL).
  10. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
  11. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE R.I.D.E.M. WETLANDS PERMIT AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
  13. PRIOR TO COMMENCEMENT OF ANY SITE ALTERATIONS, PERMANENT BUFFER ZONE MARKERS MUST BE INSTALLED ALONG THE LIMIT OF DISTURBANCE AT THE LOCATIONS INDICATED AS "PM" ON THE APPROVED SITE PLANS, IN ORDER TO PROVIDE PERMANENT REFERENCE POINTS ON SITE THAT ARE CLEAR TO PRESENT AND FUTURE PROPERTY OWNERS. A PERMANENT-TYPE TAG OR SIGN LABELED "RIDEEM BUFFER ZONE" MUST BE PLACED ON EACH MARKER. NO ALTERATIONS OF ANY KIND ARE PERMITTED BEYOND THESE MARKERS WITHOUT FIRST OBTAINING THE NECESSARY PERMIT FROM RIDEM.



- INSTALLATION NOTES:**
1. SET POSTS MINIMUM DEPTH 12" AND EXCAVATE 6" X 6" TRENCH UPSLOPE ALONG LINE OF POSTS.
  2. STAPLE WIRE FENCING TO THE POSTS.
  3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND TO TRENCH.
  4. BACKFILL AND COMPACT THE EXCAVATED SOIL.
  5. BARRIER HEIGHT NOT TO EXCEED 30". LOCATE 6 FEET FROM TOP OF SLOPE OVERLAP FILTER FABRIC 6" AT POSTS. POST SPACING MAXIMUM 8 FEET.
  6. SILT FENCE MUST BE REMOVED IMMEDIATELY UPON ESTABLISHMENT OF PERMANENT SURFACE STABILIZATION.



**SCITUATE SURVEYS, INC.**  
 410 TIOGUE AVENUE  
 COVENTRY, RHODE ISLAND 02816  
 401-821-8101  
 LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 100 50 0 100 200 300

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION NO. 17-0411  
 DATE: 3-29-17  
 SEE LETTER OF SAME DATE.

ANGELO M. RAMONDI  
 1702  
 PROFESSIONAL LAND SURVEYOR

PLAN SHOWING PROPOSED IMPROVEMENTS & SOIL EROSION SEDIMENT CONTROL  
**SNOWHURST FARMS ESTATES PHASE 3**  
**PROPOSED RECORD LOT 4**  
 ASSESSOR'S PLAT T1 PORTION LOT 34  
 CHOPWIST HILL ROAD ~ ROUTE 102  
 GLOUCESTER, RHODE ISLAND

**OWNER/APPLICANT**  
 A.P. 11 LOT 34  
 SNOWHURST FARMS LLC  
 C/O MARK BARD  
 P.O. BOX 145  
 CHEPACHET, RHODE ISLAND 02814  
 TEL. (401) 480-5480

PROJECT NO.: SS2670  
 DRAWING NO.: SS4337

SHEET 1 OF 3

- LEGEND**
- A.P. ASSESSOR'S PLAT
  - N/F NOW OR FORMERLY
  - SQ. FT. SQUARE FEET
  - RBW RIVERBANK WETLAND
  - P.W. PERIMETER WETLAND
  - STONE WALL
  - STONE WALL REMAINS
  - UTILITY POLE WITH GUY ANCHOR
  - IP IRON PIPE FOUND
  - IR IRON ROD WITH SURVEY CAP SET
  - EXISTING/PROPOSED WELL
  - FRESHWATER WETLANDS DELINEATION FLAG
  - PM PROPOSED PERMANENT MARKER
  - RECORD LOT NUMBER

**SCOTT F. MOOREHEAD**  
REGISTERED PROFESSIONAL ENGINEER  
No. 4298

**DRAINAGE DESIGNER/ENGINEER**  
S.F.M. ENGINEERING ASSOCIATES  
410 TIOGUE AVENUE  
COVENTRY, R.I. 02816  
(401)826-3736

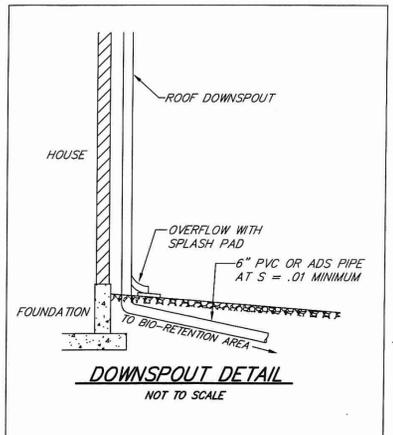
DATE: 3/3/16  
REVISION: R.I.D.E.M. COMMENTS OF 1/15/16

**SFM**  
CHK. BY: SFM JOB NO. SFM820

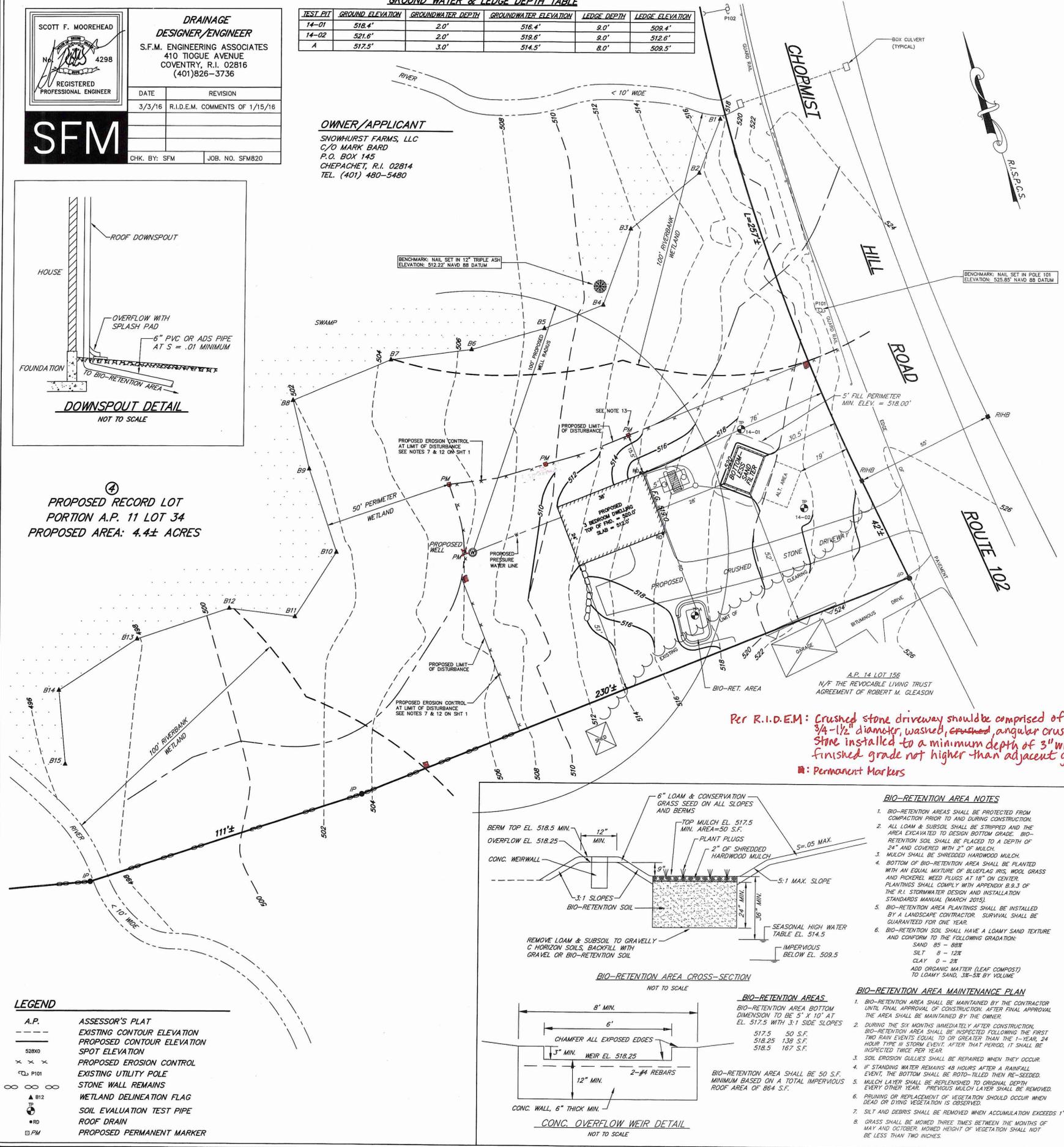
**GROUND WATER & LEDGE DEPTH TABLE**

TEST PIT	GROUND ELEVATION	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
14-01	518.4'	2.0'	516.4'	9.0'	508.4'
14-02	521.6'	2.0'	519.6'	9.0'	512.6'
A	517.5'	3.0'	514.5'	8.0'	508.5'

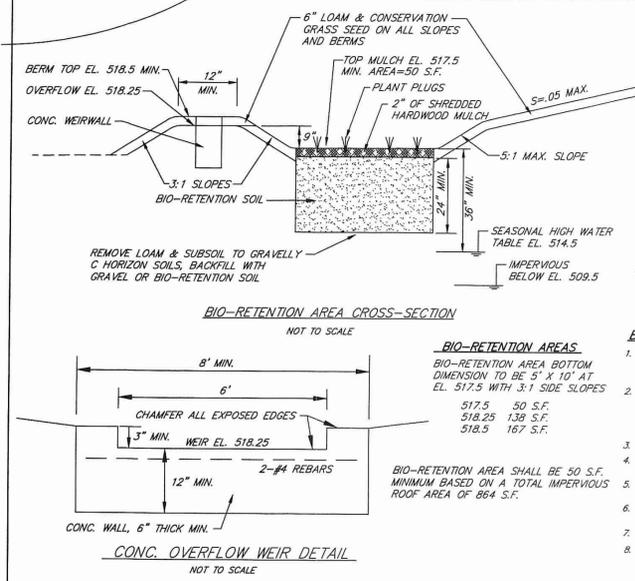
**OWNER/APPLICANT**  
SNOWHURST FARMS, LLC  
C/O MARK BARD  
P.O. BOX 145  
CHEPACHET, R.I. 02814  
TEL. (401) 480-5480



**PROPOSED RECORD LOT**  
PORTION A.P. 11 LOT 34  
PROPOSED AREA: 4.4± ACRES

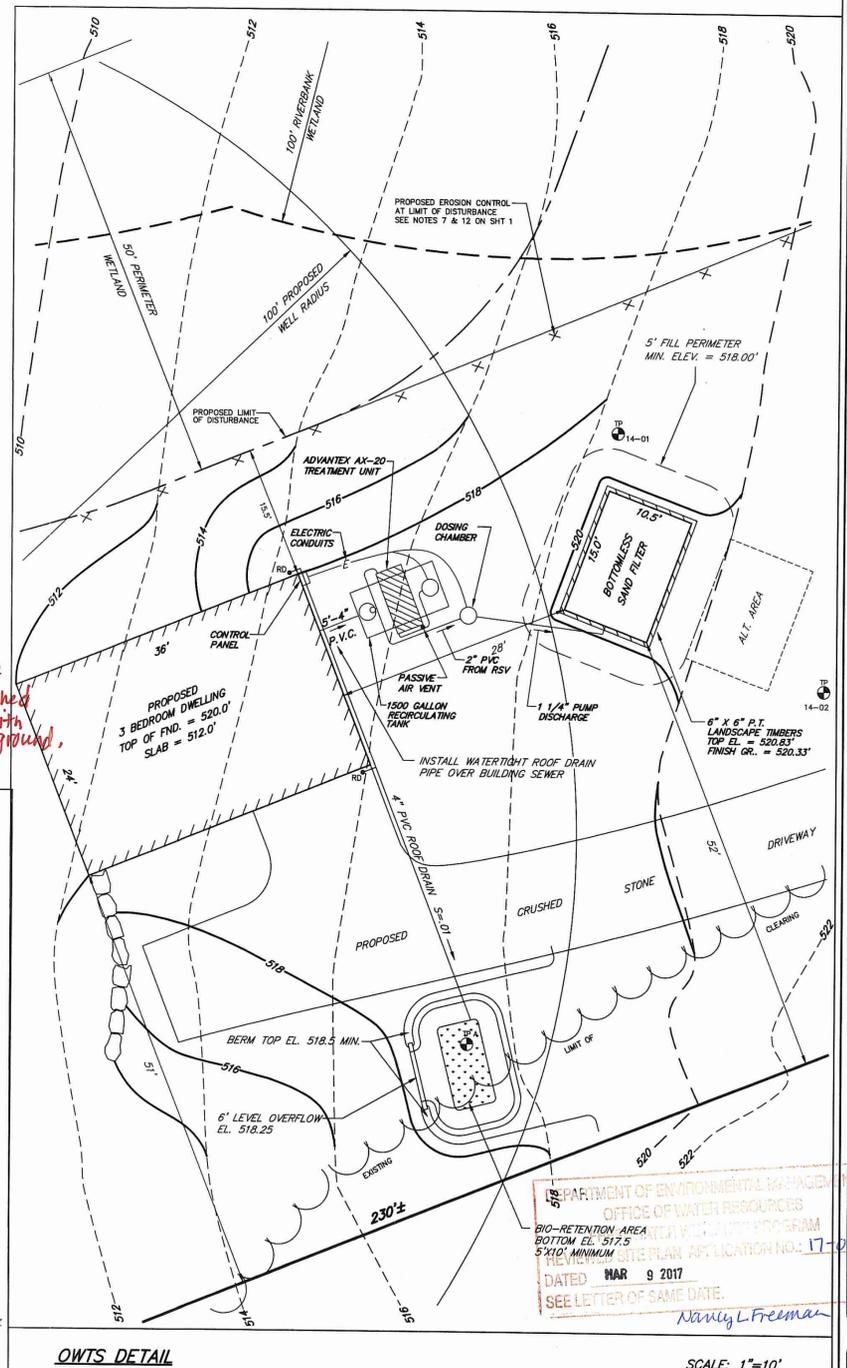


- LEGEND**
- A.P. ASSESSOR'S PLAT
  - EXISTING CONTOUR ELEVATION
  - - - PROPOSED CONTOUR ELEVATION
  - SPOT ELEVATION
  - x x x PROPOSED EROSION CONTROL
  - EXISTING UTILITY POLE
  - ○ ○ STONE WALL REMAINS
  - ▲ WETLAND DELINEATION FLAG
  - SOIL EVALUATION TEST PIPE
  - ROOF DRAIN
  - PM PROPOSED PERMANENT MARKER



- BIO-RETENTION AREA NOTES**
- BIO-RETENTION AREAS SHALL BE PROTECTED FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION.
  - ALL LOAM & SUBSOIL SHALL BE STRIPPED AND THE AREA EXCAVATED TO DESIGN BOTTOM GRADE. BIO-RETENTION SOIL SHALL BE PLACED TO A DEPTH OF 24" AND COVERED WITH 2" OF MULCH.
  - MULCH SHALL BE SHREDDED HARDWOOD MULCH.
  - BOTTOM OF BIO-RETENTION AREA SHALL BE PLANTED WITH AN EQUAL MIXTURE OF BLUEFLAG IRIS, WOOL GRASS AND PICKEREL NEED PLUGS AT 18" ON CENTER. PLANTINGS SHALL COMPLY WITH APPENDIX B.9.3 OF THE R.I. STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (MARCH 2013).
  - BIO-RETENTION AREA PLANTINGS SHALL BE INSTALLED BY A LANDSCAPE CONTRACTOR. SURVIVAL SHALL BE GUARANTEED FOR ONE YEAR.
  - BIO-RETENTION SOIL SHALL HAVE A LOAMY SAND TEXTURE AND CONFORM TO THE FOLLOWING GRADATION:  
SAND 85 - 88%  
SILT 8 - 12%  
CLAY 0 - 2%  
ADD ORGANIC MATTER (LEAF COMPOST) TO LOAMY SAND, 3%-5% BY VOLUME.

- DESIGN AND CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
  - TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
  - THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
  - THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
  - A MINIMUM BUFFER OF 10' SHOULD BE MAINTAINED BETWEEN THE BOTTOMLESS SAND FILTER AND NEIGHBORING TREES AND SHRUBS. IF THE BUFFER CANNOT BE MAINTAINED THEN A ROOT BARRIER FABRIC SHALL BE PLACED BETWEEN THE TREES/SHRUBS AND THE SAND FILTER.
  - THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
  - ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH FILTER SAND. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
  - MAINTAIN TRENCH INVERT ELEVATION FOR 5' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
  - INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT. ALL PIPING SHALL BE INSTALLED AT CONTINUOUS SLOPE WITH NO SAGS OR HIGH POINTS. ALL MANHOLES TO GRADE SHALL HAVE GASKETED WATERTIGHT COVERS AND THE SURFACE SHALL BE GRADED TO DRAIN AWAY FROM THE MANHOLES.
  - SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 22.1.
  - ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
  - ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
  - WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-COMFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
  - ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



**SCITUATE SURVEYS, INC.**  
410 TIOGUE AVENUE  
COVENTRY, RHODE ISLAND 02816  
401-821-8101  
LAND SURVEYING/MAPPING/ASITE PLANNING

SCALE IN FEET: 30 15 0 30 60 90

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 23, 2016, AS FOLLOWS:

CLASS OF SURVEY: NOT A BOUNDARY SURVEY  
MEASUREMENT TECHNIQUE: MEASURABLE/REGISTRATION  
CLASS II: VERTICAL CONTROL STANDARD: N/A  
CLASS III: HORIZONTAL CONTROL STANDARD: N/A  
CLASS IV: BOUNDARY SURVEY STANDARD: N/A  
CLASS V: BOUNDARY SURVEY STANDARD: N/A  
CLASS VI: BOUNDARY SURVEY STANDARD: N/A  
CLASS VII: BOUNDARY SURVEY STANDARD: N/A  
CLASS VIII: BOUNDARY SURVEY STANDARD: N/A  
CLASS IX: BOUNDARY SURVEY STANDARD: N/A  
CLASS X: BOUNDARY SURVEY STANDARD: N/A  
CLASS XI: BOUNDARY SURVEY STANDARD: N/A  
CLASS XII: BOUNDARY SURVEY STANDARD: N/A  
CLASS XIII: BOUNDARY SURVEY STANDARD: N/A  
CLASS XIV: BOUNDARY SURVEY STANDARD: N/A  
CLASS XV: BOUNDARY SURVEY STANDARD: N/A  
CLASS XVI: BOUNDARY SURVEY STANDARD: N/A  
CLASS XVII: BOUNDARY SURVEY STANDARD: N/A  
CLASS XVIII: BOUNDARY SURVEY STANDARD: N/A  
CLASS XIX: BOUNDARY SURVEY STANDARD: N/A  
CLASS XX: BOUNDARY SURVEY STANDARD: N/A



**PLAN SHOWING PROPOSED IMPROVEMENTS & SOIL EROSION SEDIMENT CONTROL**

**SNOWHURST FARMS ESTATES PHASE 3**  
**PROPOSED RECORD LOT 4**  
ASSESSOR'S PLAT 11 PORTION LOT 34  
CHOPMIST HILL ROAD ~ ROUTE 102  
GLOUCESTER, RHODE ISLAND

DATE: 11-20-16  
REVISION: 1

PROJECT NO.: SS2670  
DRAWING NO.: SS4337  
SHEET 2 OF 3

