

SEASONS CORNER MARKET

RIDEM APPLICATION PLANS

579 METACOM AVENUE
BRISTOL, RI
MAP 108 - LOT 10

PREPARED FOR:

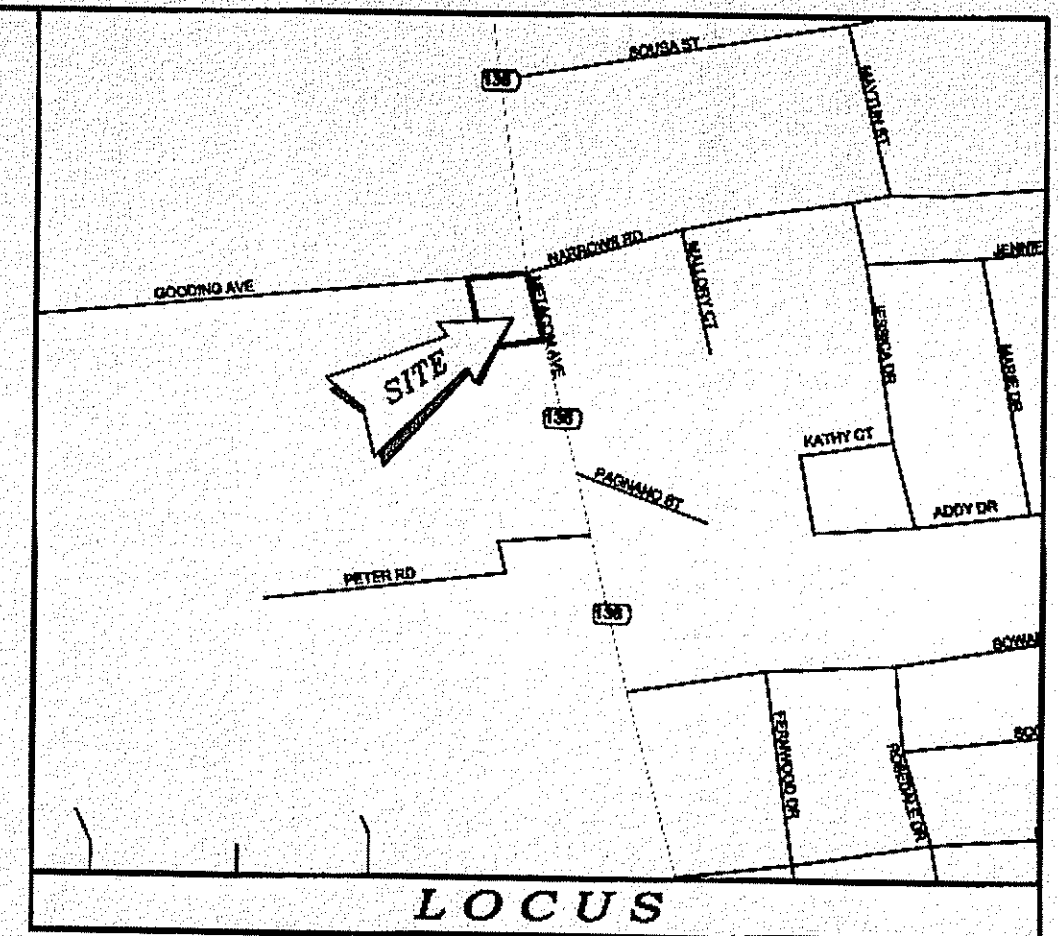
COLBEA ENTERPRISES, LLC

2050 PLAINFIELD PIKE CRANSTON, RI

INDEX OF DRAWINGS

NO.	SHEET	TITLE
1	0	COVER
2	1	BOUNDARY & TOPOGRAPHIC SURVEY PLAN
3	D-1	SITE DEMOLITION PLAN
4	C-1	SITE IMPROVEMENT PLAN
5	C-2	SITE GRADING PLAN
6	C-3	SITE UTILITY PLAN
7	L-1	SITE LANDSCAPE PLAN
8	ER-1	SOIL EROSION & SEDIMENT CONTROL PLAN
9	TD-1	TANKER DELIVERY PLAN
10	SD-1	SITE DETAIL SHEET
11	SD-2	SITE DETAIL SHEET
12	SD-3	SITE DETAIL SHEET
13	SD-4	SITE DETAIL SHEET
14	SD-5	RIDOT STANDARD DETAILS SHEET

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



NOTES / REFERENCES

- REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
 - R.I. HIGHWAY PLAT No.'s 1674, 855 & 955C
 - PLAN ENTITLED "ALTA / ACSM LAND TITLE SURVEY MOTIVA ENTERPRISES, L.L.C. 579 METACOM AVENUE LOT 10, ASSESSOR'S PLAT 108 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND CCP 130023 DATE: 7-13-07 LAST REVISED: 11-27-07 BY CONTROL POINT ASSOCIATES, INC."
 - PLAN ENTITLED "PROPERTY LINE SURVEY FOR KENDAN, L.L.C. PLAT 108 LOT 1 & 10 METACOM AVENUE BRISTOL, R.I. 02809 SCALE: 1" = 40' DATE: 04/11 BY BARKER LAND SURVEYING, INC."
- REFERENCE IS MADE TO THE FOLLOWING TOWN OF BRISTOL LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:
 - A.P. 108, LOT 10 - COLBEA ENTERPRISES, L.L.C. - VOLUME 1407, PAGE 88
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - NONE FOUND RECORDED
- THESE PREMISES ARE SITUATED IN AN 'G8' ZONE:

DIMENSIONAL REQUIREMENTS

MIN. LOT AREA	= 10,000 SQ. FT.
MIN. FRONTAGE/WIDTH	= 100 FT.
MIN. S/B FRONT YARD	= 25 FT.
MIN. S/B REAR YARD	= 30 FT.
MIN. S/B SIDE YARD	= 10 FT.
MAX. STRUCTURE HEIGHT	= 35 FT.
MAX. LOT COVERAGE BY STRUCTURES	= 40%
MAX. LOT COVERAGE BY STRUCTURES & PAVEMENT	= 70%

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
- THESE PREMISES ARE SITUATED IN A ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED ON "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP BRISTOL COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 11 OF 18 TOWN OF BRISTOL MAP NUMBER 44001001111 EFFECTIVE DATE: JULY 7, 2014. FEDERAL EMERGENCY MANAGEMENT AGENCY."
- ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE AND/OR ALL LOCAL UTILITY COMPANIES).
- THE HORIZONTAL DATUM FOR THIS PROJECT IS THE R.I.S.P.C.S. (MAD 83) AND THE VERTICAL DATUM FOR THIS PROJECT IS NAVD 88. THE PROJECT DATUMS WERE ESTABLISHED FROM DATA TRANSMITTED FROM MTS REFERENCE STATIONS USING THE MTS RTK NETWORK VIA LEICA GPS1200 SERIES ANTENNAS / RECEIVERS.
- THERE ARE A TOTAL OF 8 STRIPED PARKING SPACES ON THE SUBJECT PROPERTY, OF WHICH 1 IS DESIGNATED FOR HANDICAPPED PARKING.
- FRESHWATER WETLAND DELINEATION BY: NATURAL RESOURCE SERVICES, INC. P.O. BOX 511 HARRISVILLE, RHODE ISLAND 02830
- WETLAND FLAGS FIELD LOCATED BY WATERMAN ENGINEERING CO.
- THE SEWER INVERTS AS SHOWN WERE TAKEN FROM EXISTING SEWER PLANS OF RECORD AS OBTAINED FROM THE TOWN OF BRISTOL, THIS SHOWN AS "+- ON THIS PLAN. DUE TO WEATHER CONDITIONS & HEAVY TRAFFIC VOLUME, SEWER INVERTS COULD NOT BE OBTAINED IN THIS AREA WITHOUT A POLICE DETAIL.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 11 2017 FILE # 17-025
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Walter D. Wenzel

Environmental Management
OCT 11 2017
Office of Water Resources

** SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN

RICHARD S. LIPSITZ
No. 1837
PROFESSIONAL LAND SURVEYOR

CERTIFICATION

THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1994.

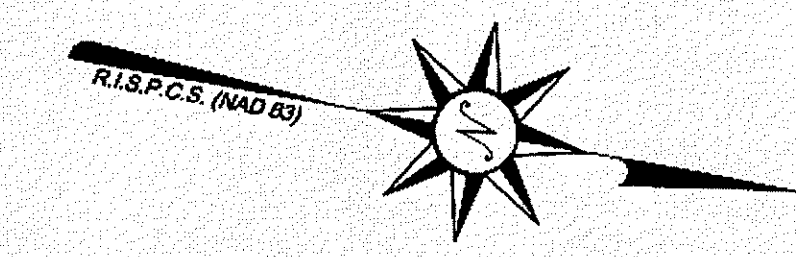
BOUNDARY SURVEY - CLASS I
TOPOGRAPHIC SURVEY - CLASS III

Richard S. Lipsitz
RICHARD S. LIPSITZ
WATERMAN ENGINEERING COMPANY
1837 9-22-16
REG. NO. DATE

NO.	DATE	REVISION	CHECKED BY
4	09/22/16	ADDED ADDITIONAL UNDERGROUND UTILITIES	RSL
3	03/04/15	ADDED ADDITIONAL TOPO & UTILITIES	RSL
2	01/19/15	LOCATED / ADDED NEW WETLAND FLAGS	RSL

PROJECT NO.	12-061
SCALE	1" = 20'
DATE	09/26/12
DRAWN BY	BJT / MS
CHECKED BY	RSL
FILENAME	12-061_SUI1...REV3
1 of 1 SHEETS	
DRAWING #	SUI

Waterman ENGINEERING COMPANY
Engineers & Surveyors - Est. 1894
46 Sullen Avenue
East Providence, RI
Phone: (401) - 438 - 5775
Fax: (401) - 438 - 5772
www.watermanengineering.com



N.F.
A.P. 108, LOT 1
KENDAN, L.L.C.
VOLUME 831, PAGE 227

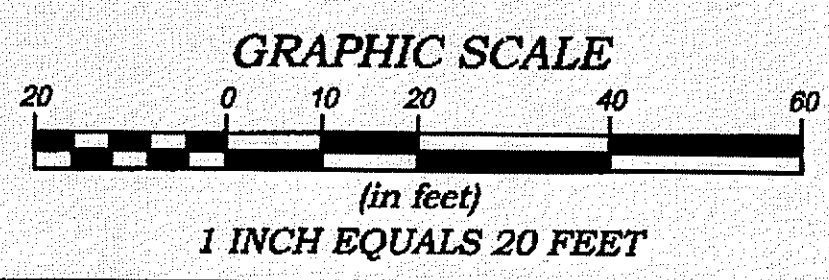
N.F.
A.P. 108, LOT 1
KENDAN, L.L.C.
VOLUME 831, PAGE 227

GOODING AVENUE
(R.I. HIGHWAY PLAT No. 1674)

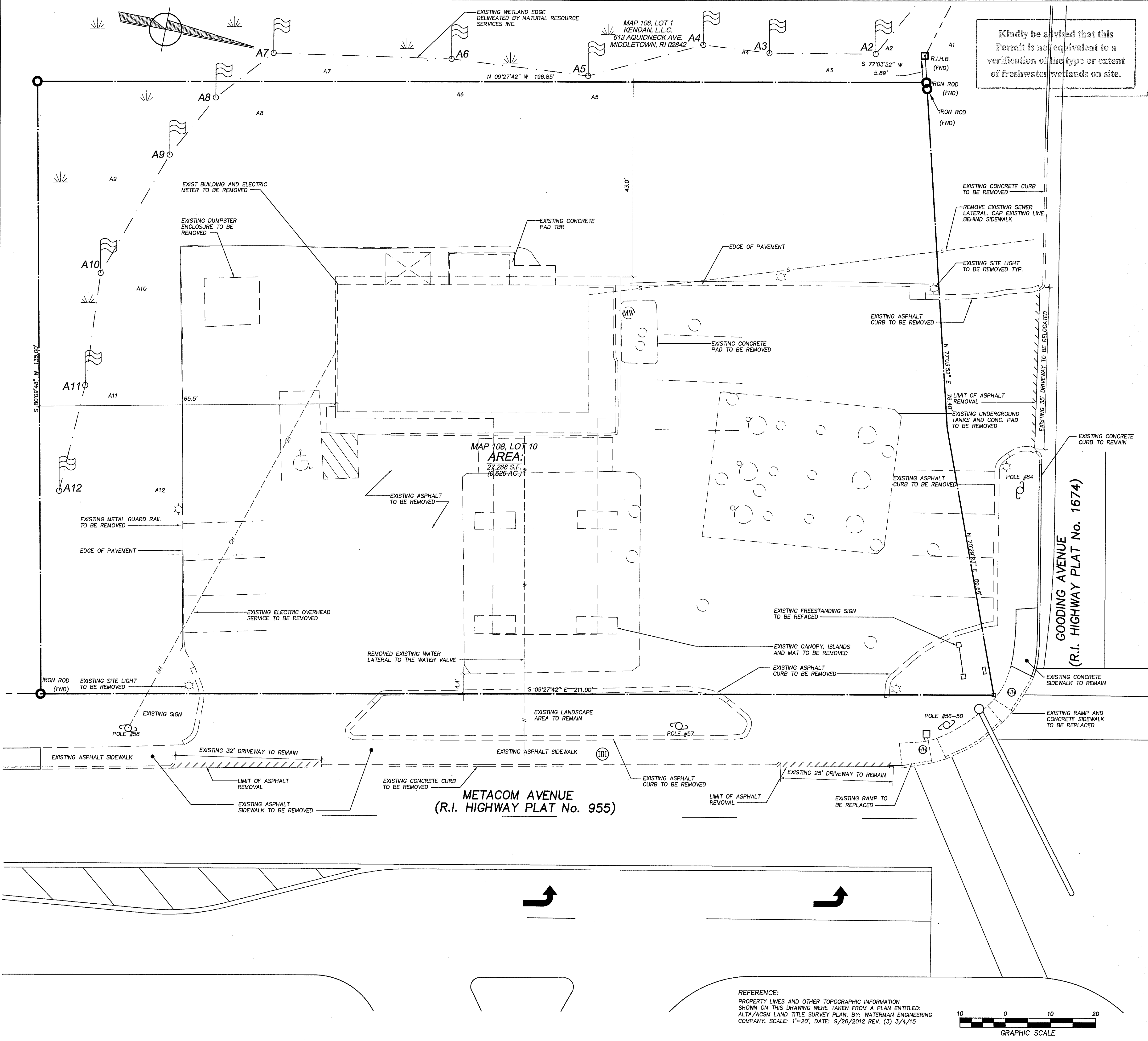
METACOM AVENUE
(R.I. HIGHWAY PLAT No. 853)

LEGEND & ABBREVIATIONS

- | | | | |
|---------|----------------------------|-------|--------------------------|
| N.F. | - NOW OR FORMERLY | --- | - PROPERTY LINE |
| A.P. | - ASSESSORS PLAT | - - - | - ZONING SETBACK LINE |
| S.F. | - SQUARE FEET | - - - | - EXISTING CONTOUR |
| AC. | - ACRES | - - - | - NEW CONTOUR |
| ± | - PLUS OR MINUS | --- | - STONE WALL |
| STY. | - STORY | X | - FENCE |
| WF | - WOOD FRAMED | S | - SEWER LINE |
| SHF | - STATE HIGHWAY PLAT | D | - DRAIN LINE |
| RET. | - RETAINING WALL | W | - WATER LINE |
| PED. | - PEDESTRIAN | G | - GAS LINE |
| (FND.) | - FOUND | E | - ELECTRIC LINE |
| R.H.B. | - R.I. HIGHWAY BOUND | ⊙ | - SANITARY SEWER MANHOLE |
| M.W. | - MASONRY WALL | ⊙ | - CATCH BASIN |
| FE. | - FLARED END | ⊙ | - STORM DRAIN MANHOLE |
| RCP. | - REINFORCED CONCRETE PIPE | ⊙ | - WATER GATE |
| CLF. | - CHAIN LINK FENCE | ⊙ | - GAS VALVE |
| INV. | - INVERT | ⊙ | - ELECTRIC MANHOLE |
| x 10.80 | - EXISTING SPOT GRADE | ⊙ | - GRANITE BOUND |
| □ | - NEW SPOT GRADE | ⊙ | - DRILL HOLE |
| | | ⊙ | - IRON PIPE |

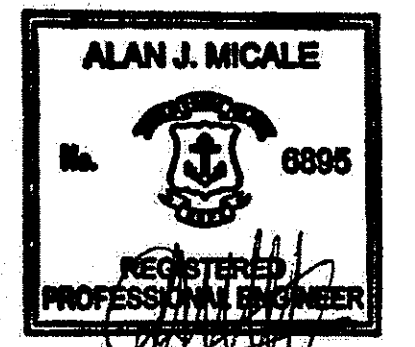


COPYRIGHT
THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.



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Environmental Management
Office of Water Resources
OCT 11 2017



REV	PER	DATE	DESCRIPTION
1	AIM	08/04/15	REVISED PER BUILDING UPDATES
2	AIM	10/17/17	REVISED PER COMMENTS
3	AIM	2/21/17	REVISED PER REVIEW COMMENTS
4	AIM	6/28/17	REVISED PER DOT & DEM REVIEW COMMENTS
5	AIM	07/31/17	BID CONSTRUCTION SET

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT. 11, 2017 FILE # 17-0027
NO CHANGES ALLOWED WITHOUT FIELD APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

AYOUB
ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

PROJECT
SEASONS CORNER MARKET
579 METACOM AVENUE BRISTOL, RI

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI (401) 943-0005

SHEET DESCRIPTION
SITE DEMOLITION PLAN

PROJECT NO. S724.214
SCALE: 1"=10'
DRAWN BY: PA
DATE: 3/1/16

SHEET NO.
D-1
SHEET 3 OF 14

LEGEND	
PROPERTY LINE	---
EXISTING TO BE REMOVED	---
EXISTING CONTOUR	--- 98 ---
PROPOSED CONTOUR	--- 98 ---
PROPOSED YARD LIGHT	⊠
PROPOSED CATCH BASIN	⊞
PROPOSED MANHOLE	⊙
EXISTING WATER LINE	W
EXISTING GAS LINE	G
EXISTING SEWER LINE	S
EXISTING OVERHEAD ELECTRIC LINE	OH
PROPOSED WATER LINE	W
PROPOSED GAS LINE	G
PROPOSED SEWER LINE	S
PROPOSED UNDERGROUND ELECTRIC	E
SILT SOCK EROSION CONTROL LINE	---

PLANNING BOARD SIGNATURE BLOCK	
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE

REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED: ALTA/ACSM LAND TITLE SURVEY PLAN, BY: WATERMAN ENGINEERING COMPANY. SCALE: 1"=20', DATE: 9/26/2012 REV. (3) 3/4/15



CONSTRUCTION SCHEDULE
SUBJECT TO CHANGE PENDING STATE PERMITS

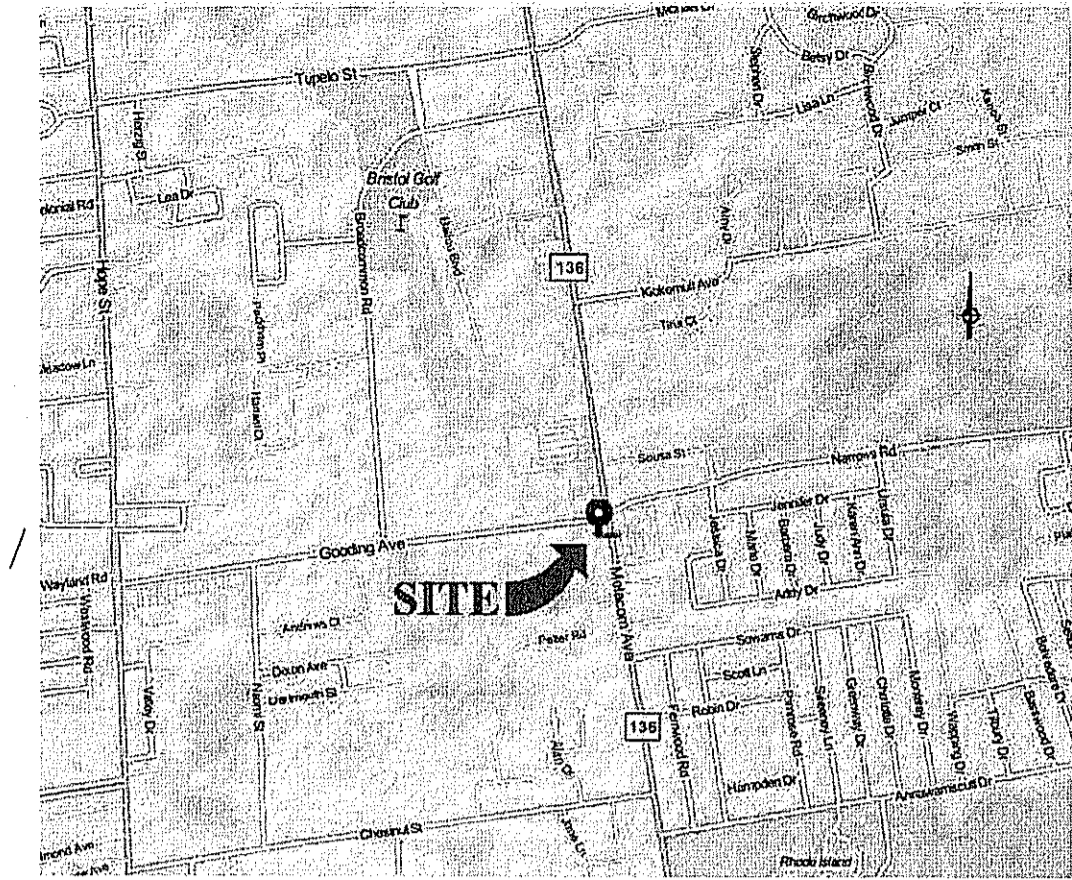
10/16/17-10/18/17:	INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES
10/19/17-11/03/17:	DEMOLITION
11/06/17-11/24/17:	BUILDING FOUNDATION/ASIS/STORMWATER
11/27/17-02/02/18:	FOOD MART/CANOPY/UTILITIES
02/05/18-03/30/18:	PAVING/LANDSCAPING

NOTES:

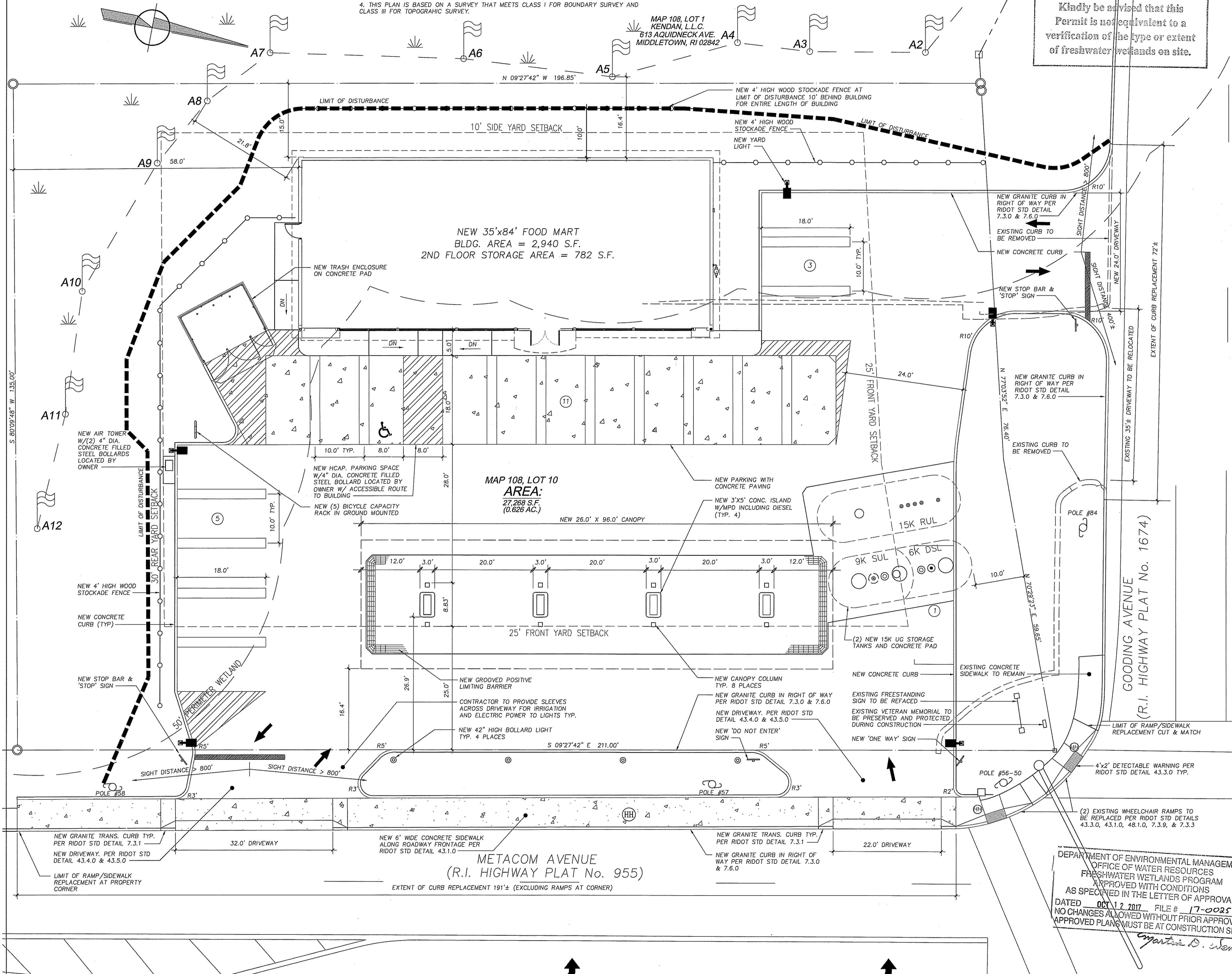
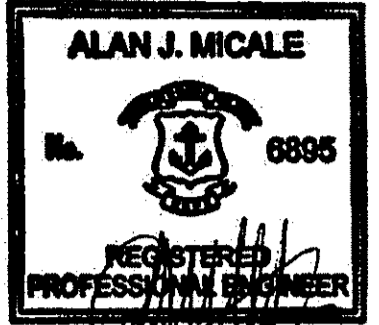
- BASED ON THE HIGH GROUNDWATER DETERMINATION DURING SOIL TESTING, IT IS ANTICIPATED DEWATERING WILL BE REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHOULD BE PREPARED TO PROVIDE DEWATERING PROCEDURES TO PREVENT DISCHARGE OF REMOVED WATER INTO THE WETLAND OR STORM DRAIN SYSTEM.
- THE APPLICANT MUST HIRE A RIDOT APPROVED CONSTRUCTION INSPECTION COMPANY THAT WILL NEED TO CERTIFY THAT ALL WORK ASSOCIATED WITH THE ROADWAY AND APPURTENANCES IS PERFORMED IN ACCORDANCE WITH RI STANDARD SPECIFICATIONS INCLUDING ANY AMENDMENTS THERETO. THE INSPECTION COMPANY WILL BE REQUIRED TO BE PRESENT DURING SPECIFIC PHASES OF WORK AS REQUIRED BY THE PERMITTEE.
- A SEPARATE UTILITY PERMIT IS REQUIRED FROM THE MAINTENANCE DEPARTMENT OF THE RIDOT FOR EACH UTILITY THAT IS IMPACTING THE STATE RIGHT-OF-WAY.
- THIS PLAN IS BASED ON A SURVEY THAT MEETS CLASS I FOR BOUNDARY SURVEY AND CLASS III FOR TOPOGRAPHIC SURVEY.

MAP 108, LOT 1
KENDAN, L.L.C.
613 AQUIDNECK AVE. A4
MIDDLETOWN, RI 02842

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DESIGNED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIRED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



ZONING DATA

ZONE: GENERAL BUSINESS DISTRICT (GB)	REQUIRED:	EXISTING:	PROVIDED:
FLOODPLAIN ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 25 ANNUAL CHANCE FLOODPLAIN			
BUILDING SETBACKS: MINIMUM FRONT YARD	25' (50')	4.8'(CANOPY)	16.4'(CANOPY)
MINIMUM SIDE YARD	10'	37.9'(BUILDING)	15.0'(BUILDING)
MINIMUM REAR YARD	30'	66.2'(BUILDING)	58.0'(BUILDING)
BUILDING REQUIREMENTS: MINIMUM LOT AREA	10,000 SF±	27,268 SF±	27,268 SF±
MINIMUM LOT FRONTAGE	100'(200')	211'±	211'±
MINIMUM DEPTH	100'	135'±	135'±
MAXIMUM LOT COVERAGE BY STRUCTURES	40%	10.0%±	19.9%±
MAXIMUM LOT COVERAGE BY STRUCTURES AND PAVEMENT	70%	58.3%±	64%±
MAXIMUM FLOOR AREA RATIO	0.5	.057	.13
MAXIMUM BUILDING HEIGHT	35'	20'	34'±

ZONING INFORMATION WAS TAKEN FROM: ZONING BY-LAWS TOWN OF BRISTOL, RHODE ISLAND

SPECIAL USE STANDARDS

USE: GASOLINE SERVICE AND GASOLINE SALES	REQUIRED:	EXISTING:	PROVIDED:
BUILDING SETBACKS: MINIMUM FRONT YARD	40'		26.9' (PUMP)
MINIMUM SIDE YARD	20'	37.9'(BUILDING)	15.0'(BUILDING)
MINIMUM REAR YARD	20'	66.2'(BUILDING)	58.0'(BUILDING)
LOT REQUIREMENTS: MINIMUM LOT AREA	10,000 SF±	27,268 SF±	27,268 SF±
MINIMUM LOT FRONTAGE	100'	211'±	211'±
MINIMUM DEPTH	100'	135'±	135'±
UNDERGROUND TANKS: MAXIMUM CAPACITY	42,000 GAL	-	30,000 GAL
SETBACK TO LOT LINE	10'	-	10.0'
SETBACK TO BUILDING	10'	-	57.8'

ZONING INFORMATION WAS TAKEN FROM: ZONING BY-LAWS TOWN OF BRISTOL, RHODE ISLAND

SITE DATA

	REQUIRED:	EXISTING:	PROVIDED:
BUILDING AREA	-	1,568 SF±	2,940 SF
IMPERVIOUS AREA	70%	58.9%	63.7%
PARKING REQUIREMENTS: RETAIL BUSINESS CONVENIENCE STORE: 1 SPACE PER 200 GROSS SQUARE FEET OF BUILDING PLUS 1 SPACE PER EMPLOYEE ON LARGEST SHIFT. CONVENIENCE STORE BUILDING AREA: 2,940 SF. PARKING REQUIRED: 2,940/200 = 14.7			
STORAGE AREA: 782 SF. PARKING REQUIRED: 782/1,000 = .78			
NUMBER OF EMPLOYEES:	20 SPACES	9 SPACES	20 SPACES
TOTAL PARKING REQUIRED:			
TOTAL SQUARE FOOTAGE OF PARKING AREA (STALLS AND AISLES) = 7,638 SF.			

ZONING INFORMATION WAS TAKEN FROM: ZONING BY-LAWS TOWN OF BRISTOL, RHODE ISLAND - JANUARY 26, 2014

REVISIONS

REV.	PER.	DATE	DESCRIPTION
1	AJM	6/24/16	REVISED PER TRC REVIEW COMMENTS
2	AJM	9/27/16	REVISED PER REVIEW COMMENTS
3	AJM	1/3/17	REVISED PER REVIEW COMMENTS
4	AJM	2/2/17	REVISED PER DOT & DEM REVIEW COMMENTS
5	AJM	6/28/17	REVISED PER DOT & DEM REVIEW COMMENTS
6	AJM	07/31/17	BID CONSTRUCTION SET
7	AJM	9/14/17	REVISED NOTES

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

SEASONS CORNER MARKET
579 METACOM AVENUE BRISTOL, RI
PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RI (401) 943-0005
SHEET DESCRIPTION:
SITE IMPROVEMENT PLAN

PROJECT NO.	S724.214	SHEET NO.	C-1
SCALE:	1"=10'		
DRAWN BY:	RCD		
DATE:	3/1/16		

Environmental Management
OCT 11 2017
Office of Water Resources

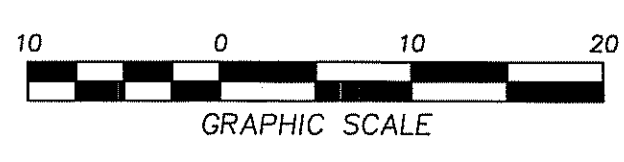
LEGEND

PROPERTY LINE	---
EXISTING TO BE REMOVED	---
EXISTING CONTOUR	98
PROPOSED CONTOUR	98
PROPOSED YARD LIGHT	⬢
PROPOSED CATCH BASIN	⊙
PROPOSED MANHOLE	⊙
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PROPOSED SEWER LINE	S
PROPOSED UNDERGROUND ELECTRIC	E
SILT SOCK EROSION CONTROL LINE	█

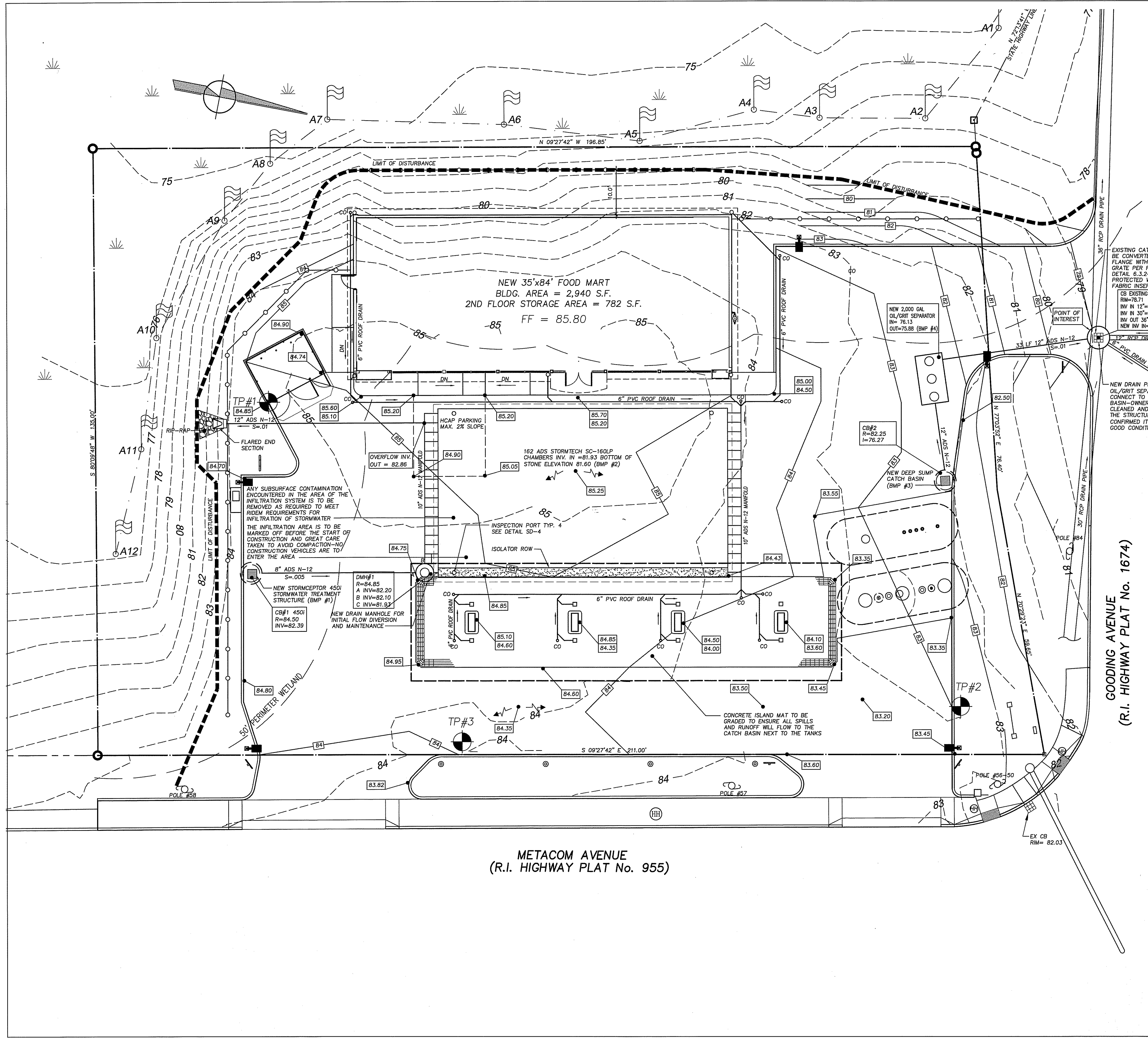
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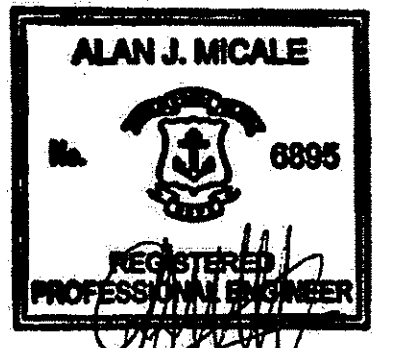
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 12 2017 FILE # 17-0025
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REFERENCE:
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Environmental Management
OCT 11 2017
 Office of Water Resources



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Stephen D. Wencel

LEGEND

PROPERTY LINE	---
EXISTING TO BE REMOVED	---
EXISTING CONTOUR	--- 98 ---
PROPOSED CONTOUR	--- 98 ---
PROPOSED YARD LIGHT	⊞
PROPOSED CATCH BASIN	⊞
PROPOSED MANHOLE	⊞
EXISTING WATER LINE	W
EXISTING GAS LINE	G
EXISTING SEWER LINE	S
EXISTING OVERHEAD ELECTRIC LINE	OH
PROPOSED WATER LINE	W
PROPOSED GAS LINE	G
PROPOSED SEWER LINE	S
PROPOSED UNDERGROUND ELECTRIC	E
SILT SOCK EROSION CONTROL LINE	▬▬▬▬▬▬

PLANNING BOARD SIGNATURE BLOCK

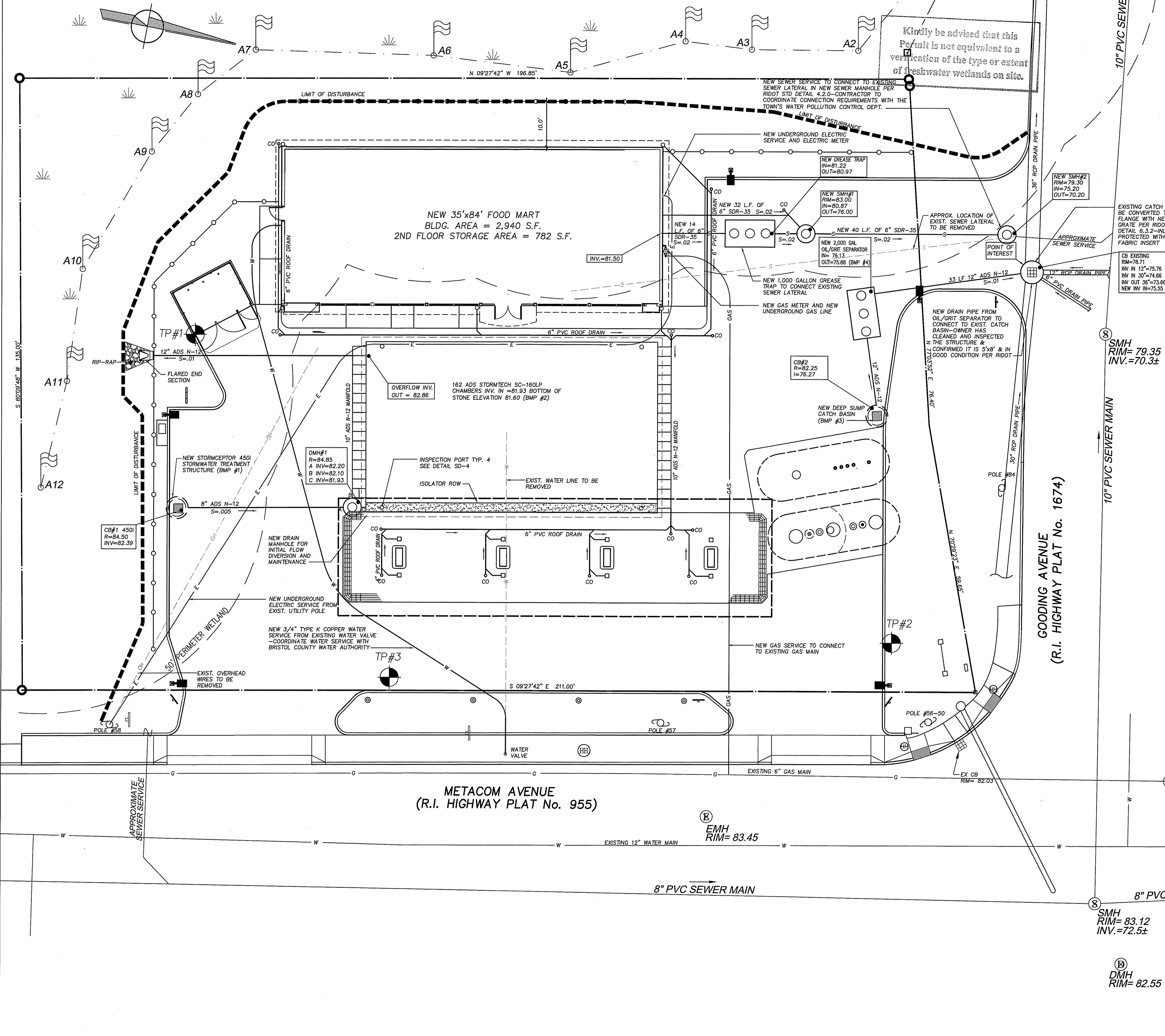
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____

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 PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED: ALTA/ACSM LAND TITLE SURVEY PLAN, BY: WATERMAN ENGINEERING COMPANY, SCALE: 1"=20', DATE: 9/26/2012 REV. (3) 3/4/15



AYVOUB ENGINEERING ENGINEERS & ARCHITECTS ADDRESS: 414 BENEFIT STREET PAWTUCKET, RHODE ISLAND 02861 401-728-5333		SEASONS CORNER MARKET 579 METACOM AVENUE BRISTOL, RI PREPARED FOR COLBEA ENTERPRISES, LLC 2050 PLAINFIELD PIKE CRANSTON, RI (401) 943-0005 SHEET DESCRIPTION SITE GRADING PLAN	PROJECT NO. S724.214 SCALE: 1" = 10' DRAWN BY: RCD DATE: 3/3/16	SHEET NO. C-2 SHEET 5 OF 14																																						
REVISIONS <table border="1"> <thead> <tr> <th>REV</th> <th>PER</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>AJM</td><td>3/25/16</td><td>REVISED STORMWATER DESIGN SYSTEM</td></tr> <tr><td>2</td><td>AJM</td><td>8/16/16</td><td>UPDATED PER REVISED SITE PLAN</td></tr> <tr><td>3</td><td>AJM</td><td>1/3/17</td><td>REVISED PER REVIEW COMMENTS</td></tr> <tr><td>4</td><td>AJM</td><td>2/2/17</td><td>REVISED PER REVIEW COMMENTS</td></tr> <tr><td>5</td><td>AJM</td><td>6/28/17</td><td>REVISED PER DOT & DEM REVIEW COMMENTS</td></tr> <tr><td>6</td><td>AJM</td><td>07/31/17</td><td>BID CONSTRUCTION SET</td></tr> <tr><td>7</td><td>AJM</td><td>8/23/17</td><td>REVISED PER DOT & DEM REVIEW COMMENTS</td></tr> <tr><td>8</td><td>AJM</td><td>10/27/17</td><td>REVISED PER REVIEW COMMENTS</td></tr> <tr><td>9</td><td>AJM</td><td>10/10/17</td><td>REVISED PER DEM REVIEW COMMENTS</td></tr> </tbody> </table>			REV	PER	DATE	DESCRIPTION	1	AJM	3/25/16	REVISED STORMWATER DESIGN SYSTEM	2	AJM	8/16/16	UPDATED PER REVISED SITE PLAN	3	AJM	1/3/17	REVISED PER REVIEW COMMENTS	4	AJM	2/2/17	REVISED PER REVIEW COMMENTS	5	AJM	6/28/17	REVISED PER DOT & DEM REVIEW COMMENTS	6	AJM	07/31/17	BID CONSTRUCTION SET	7	AJM	8/23/17	REVISED PER DOT & DEM REVIEW COMMENTS	8	AJM	10/27/17	REVISED PER REVIEW COMMENTS	9	AJM	10/10/17	REVISED PER DEM REVIEW COMMENTS
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LEGEND

PROPERTY LINE	---
EXISTING TO BE REMOVED	---
EXISTING CONTOUR	--- 98
PROPOSED CONTOUR	--- 98
PROPOSED YARD LIGHT	⊙
PROPOSED CATCH BASIN	⊙
PROPOSED MANHOLE	⊙
EXISTING WATER LINE	W
EXISTING GAS LINE	G
EXISTING SEWER LINE	S
EXISTING OVERHEAD ELECTRIC LINE	OH
PROPOSED WATER LINE	W
PROPOSED GAS LINE	G
PROPOSED SEWER LINE	S
PROPOSED UNDERGROUND ELECTRIC	E
HAYBALE EROSION CONTROL LINE	▬

PLANNING BOARD SIGNATURE BLOCK

NAME	DATE
NAME	DATE
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ALAN J. MICALE
REGISTERED PROFESSIONAL ENGINEER
0895

REVISIONS

REV	PER	DATE	DESCRIPTION
1	AJM	3/25/16	REVISED STORMWATER DESIGN SYSTEM
2	AJM	8/16/16	UPDATED PER REVISED SITE PLAN
3	AJM	12/1/17	REVISED PER REVIEW COMMENTS
4	AJM	2/21/17	REVISED PER REVIEW COMMENTS
5	AJM	6/28/17	REVISED PER DOT & DEM REVIEW COMMENTS
6	AJM	07/31/17	BID CONSTRUCTION SET
7	AJM	02/24/17	REVISED PER DOT & DEM REVIEW COMMENTS
8	AJM	01/41/17	REVISED WATER SERVICE SIZE PER CLIENT
9	AJM	10/20/17	REVISED PER REVIEW COMMENTS
10	AJM	10/10/17	REVISED PER DEM REVIEW COMMENTS

Environmental Management
Office of Water Resources
OCT 11 2017

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 12 2017 FILE # 17-0035
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Jonathan D. Wenzel

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

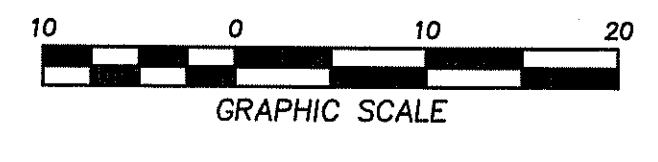
SEASONS CORNER MARKET
579 METACOM AVENUE BRISTOL, RI

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON RI (401) 943-0005

SHEET DESCRIPTION
SITE UTILITY PLAN

PROJECT NO. S724.214
SCALE: 1" = 10'
DRAWN BY: RCD
DATE: 3/3/16

SHEET NO.
C-3
SHEET 6 OF 14



REFERENCE:
PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED: ALTA/ACSM LAND TITLE SURVEY PLAN, BY: WATERMAN ENGINEERING COMPANY, SCALE: 1"=20', DATE: 9/26/2012 REV. (3) 3/4/15

DMH RIM= 82.55

TMH RIM= 81.70

SMH RIM= 82.90
INV.=72.6±

SMH RIM= 83.12
INV.=72.5±

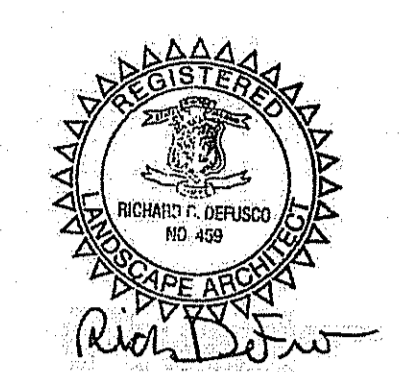
EMH RIM= 83.45

GOODING AVENUE
(R.I. HIGHWAY PLAT No. 1674)

METACOM AVENUE
(R.I. HIGHWAY PLAT No. 955)

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

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REV	PER	DATE	DESCRIPTION
1	ALM	01/06/16	UPDATED PER REVISED SITE PLAN
2	ALM	10/07/17	REVISED PER REVIEW COMMENTS
3	ALM	02/07/17	REVISED PER REVIEW COMMENTS
4	ALM	09/28/17	REVISED PER DOT & DEN REVIEW COMMENTS
5	ALM	07/27/17	BID CONSTRUCTION SET

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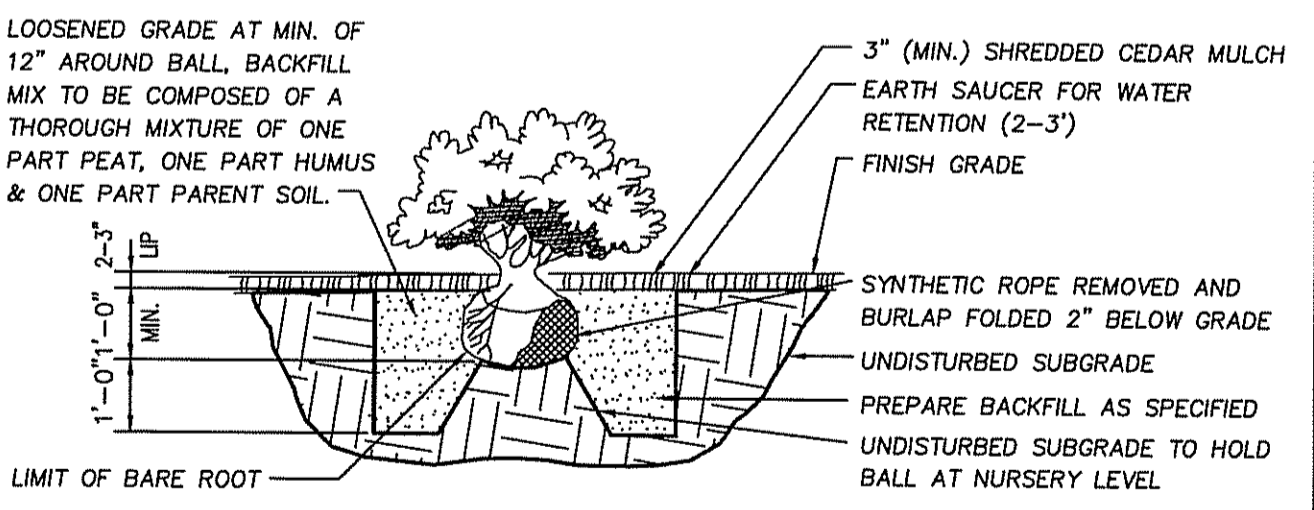
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Matthew D. Wenzel

TREE REQUIREMENT CALCULATIONS:

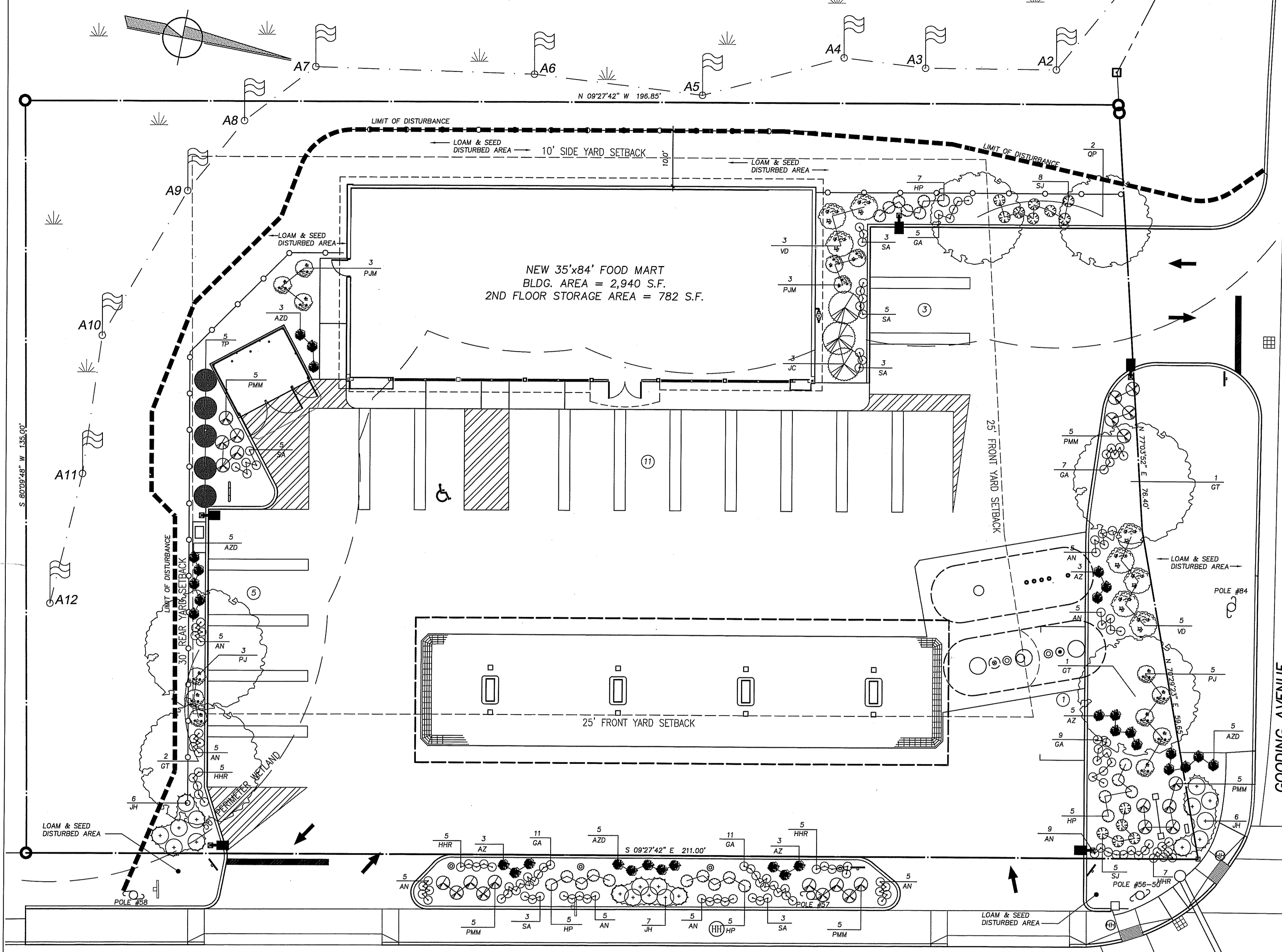
STREET TREES
ALONG THE STREET FRONTAGE, A (3) FOOT PLANTED STRIP WITH ONE SHADE TREE FOR EVERY (40) FEET OF FRONTAGE:
 $211.00' + 59.65' + 76.40' = 347.05' / 40' = 8.68$ TREES REQUIRED / 4 PROVIDED

LOT LINE TREES
ALONG INTERIOR LOT LINES, A (3) FOOT PLANTED STRIP WITH ONE SHADE TREE FOR EVERY (50) FEET OF INT. LOT LINES:
 $135.00' + 196.85' = 331.85' / 50' = 6.64$ TREES REQUIRED / MORE THAN 7 PROVIDED

PARKING SPACE TREES
20% OF THE PARKING AREA WILL BE SHADED:
 $10' \times 18' \text{ SPACE} = 180 \text{ S.F.} \times 24 = 4,320 \text{ S.F.} \times 20\% = 864 \text{ S.F. SHADED AREA REQUIRED}$
 $15' \times 225 \times 3.14 = 706.5 \text{ S.F.} \times 37.4\% = 264 \text{ S.F.} \times 4 \text{ TREES} = 1,056 \text{ S.F. PROVIDED}$



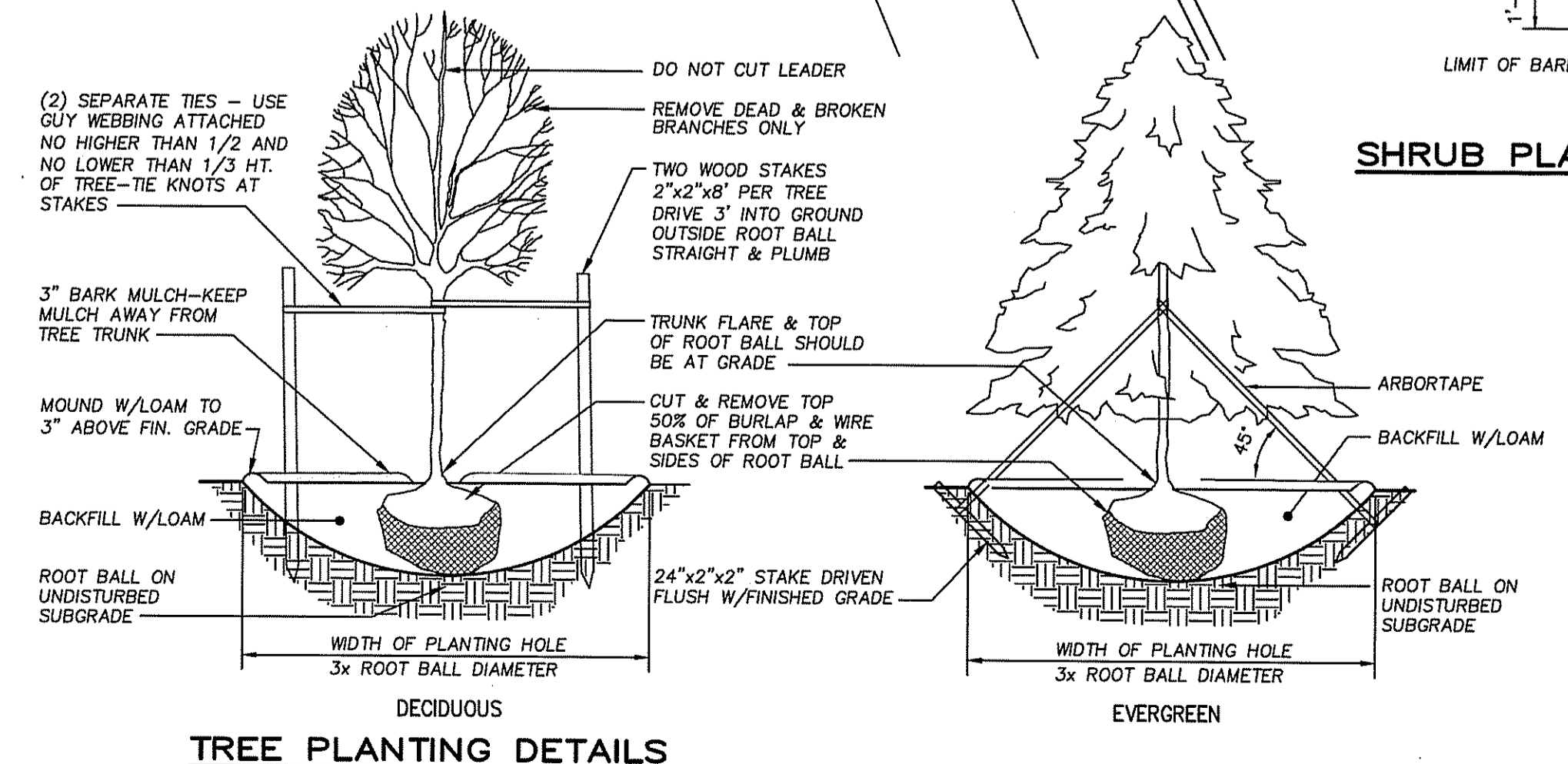
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KEY	BOTANICAL NAME	COMMON NAME	QUAN.	MIN. SIZE	MIN. CONTAINER
PMM	PINUS MUGO MUGO	DWARF MUGO PINE	25	1 1/2"-2' HT.	2 GAL.
VD	VBURNHAM DENTATUM	ARROWWOOD VIBURNHAM	8	2'-2 1/2' HT.	5 GAL.
PJM	RHODODENDRON PJM	PJM	6	2'-2 1/2' HT.	5 GAL.
AZD	AZALEA DELAWARE VALLEY WHITE	AZALEA	18	2'-2 1/2' HT.	5 GAL.
AZ	AZALEA HINOCCRIMSON	AZALEA	14	1 1/2"-2' HT.	3 GAL.
PJ	PIERIS JAPONICA 'MOUNTAIN FIRE'	MOUNTAIN FIRE ANDROMEDA	8	2'-2 1/2' HT.	3 GAL.
GT	GLEDITZIA TRIACANTHOS INERMIS SHADEMASTER	HONEY LOCUST	4	2 1/2"-3" CAL.	B + B
QP	QUERCUS PALUSTRIS	PIN OAK	2	2 1/2"-3" CAL.	B + B
HP	HYDRANGEA PANICULATA 'BOMBHELL'	BOMBHELL HYDRANGEA	22	2'-2 1/2' HT.	B + B
SJ	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	13	2'-2 1/2' HT.	3 GAL.
GA	GALLARDIA 'ARIZONA SUN'	BLANKET FLOWER	43	12"	1 GAL.
AN	ASTER NOVAE-ANGLIAE 'PURPLE DOME'	ASTER	44	12"	1 GAL.
HHR	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY	22	12"	1 GAL.
JH	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	19	1 1/2"-2' SPREAD	2 GAL.
JC	JUNIPERUS CHINENSIS 'MOUNTBATTEN'	MOUNTBATTEN JUNIPER	3	6"-7' HT.	B + B
SA	SEDUM TELEPHIUM 'AUTUMN JOY'	STONECROP	22	1 1/2"-2' HT.	1 GAL.
TP	TRIJUA (STANDISHII x PULCATA) 'GREEN GIANT'	GREEN GIANT ARBORVITAE	5	5'-6' HT.	B + B

METACOM AVENUE

- GENERAL LANDSCAPE NOTES:**
- ALL PLANT MATERIALS ARE TO BE FIRST QUALITY NURSERY STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS, AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE.
 - ALL NEW TREES ARE TO BE STAKED WITH TWO 8 FT. HARDWOOD STAKES, GUYED PER DETAIL.
 - AREAS SHOWN MULCHED ARE TO BE MULCHED WITH A MINIMUM 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
 - ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR TWO (2) YEARS TO BE IN HEALTHY AND VIGOROUS CONDITION. IT IS UNDERSTOOD THAT THE OWNER WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD.
 - ALL PLANTING PITS ARE TO RECEIVE 3 AGRIFORM TABS (3-YEAR FERTILIZER) AT TIME OF PLANTING.
 - PLANTS ARRANGED IN CONTINUOUS GROUPING ARE TO BE SET IN MULCHED BEDS. MULCH WILL BE A MIN. 3 INCH DEPTH OF SHREDDED HARDWOOD BARK.
 - ANY TREES OR SHRUBS DISTURBED FOR NEW WORK ARE TO BE PROTECTED AND OR REPLACED.
 - ALL EXISTING TREES AND SHRUBS INDICATED ON DRAWING ARE TO REMAIN UNLESS NOTED.



TREE PLANTING DETAILS

GOODING AVENUE
(R.I. HIGHWAY PLAT No. 1674)

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414, BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5535

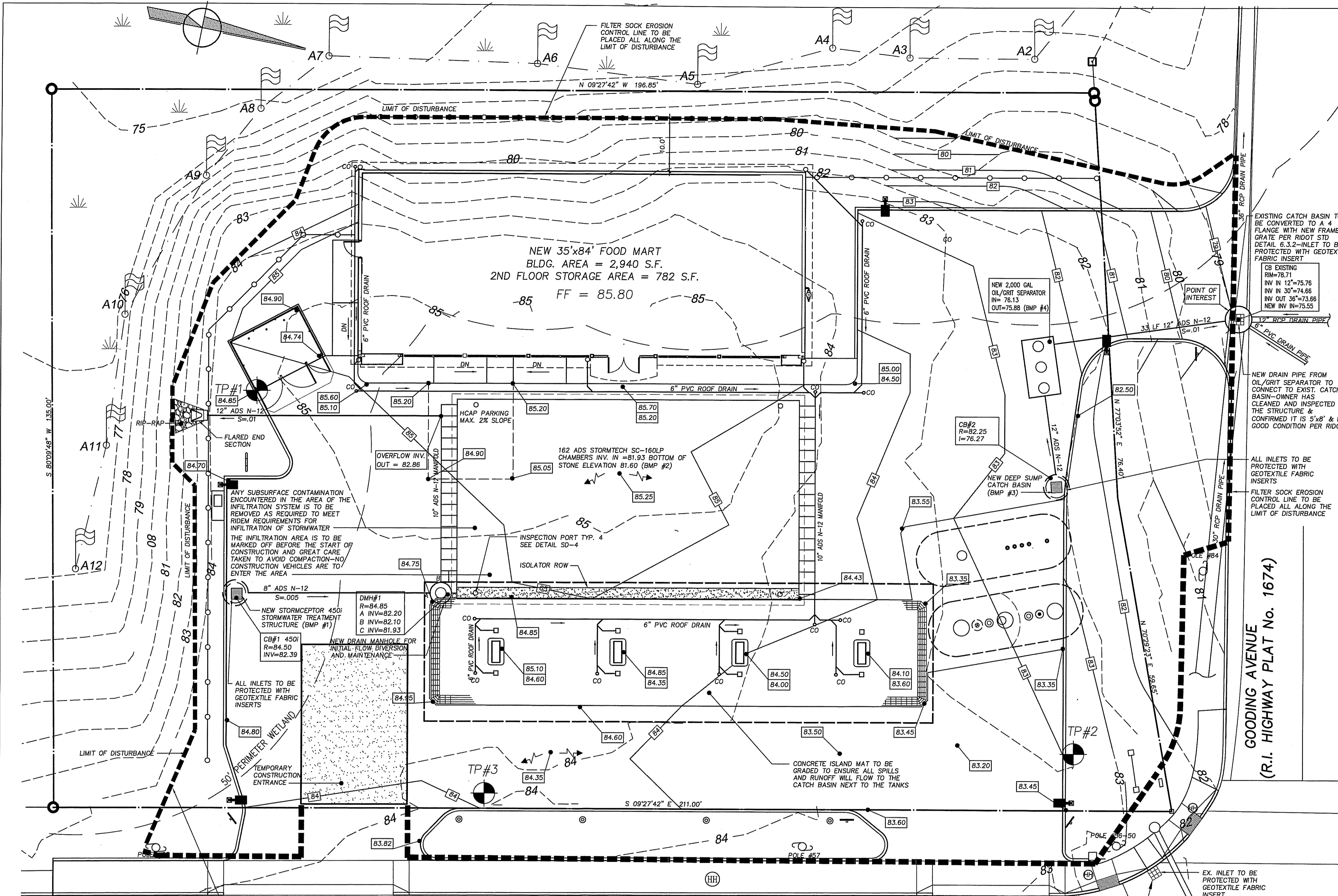
SEASONS CORNER MARKET
597 METACOM AVENUE, BRISTOL, RI

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RI (401) 943-0005

SHEET DESCRIPTION
SITE LANDSCAPE PLAN

PROJECT NO.	S724.214	SHEET NO.	L-1
SCALE:	AS NOTED		
DRAWN BY:	RCD		
DATE:	03/21/16		

SHEET 7 OF 14



EROSION CONTROL & SOIL STABILIZATION PROGRAM
TEMPORARY STABILIZATION

1. DENuded SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. ALL DISTURBED SLOPES, SHALL BE SEEDED AND PROTECTED.
3. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL (ROOTS, LIMBS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH THE LOCAL & STATE D.O.T. STANDARDS.
4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
5. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES:

MIXTURE	POUNDS PER 1000
RED FESCUE	1.75
COLONIAL BENTGRASS, 'EXETER'	.11
PERENNIAL RYEGRASS	.11
BIRDSFOOT TREFOL, 'EMPIRE'	.35

RECOMMENDED PLANTING DATES: 5/1-6/15 & 8/15-9/30

6. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVER SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS), THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
7. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3 TONS/ACRE MAXIMUM.
8. ALL FILTER SOCKS OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL CHARGE.
10. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS, SHALL HAVE SIDE SLOPES NO GREATER THAN 30%, SHALL ALSO BE SEEDED AND/OR STABILIZED, AND HAVE FILTER SOCK EROSION CONTROL LINE AROUND IT.
13. ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHALL BE GIVEN TO "CRIMPING" BY USE OF A MULCH ANCHORING TOOL TO PUNCH MULCH DOWN INTO THE SOIL OR "TACKING" WITH A LIQUID TACKIFIER SUCH AS EMULSIFIED ASPHALT TO TACK DOWN MULCH APPLICATIONS AS REQUIRED FOR STABILITY.
14. THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.

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ALAN J. MICALE
 REGISTERED PROFESSIONAL ENGINEER
 No. 6895

OCT 1 2017
 Environmental Management
 Office of Water Resources

REVISIONS

NO.	DATE	DESCRIPTION
1	3/25/16	REVISED STORMWATER DESIGN SYSTEM
2	8/16/16	UPDATED PER REVISED SITE PLAN
3	1/31/17	REVISED PER REVIEW COMMENTS
4	2/27/17	REVISED PER REVIEW COMMENTS
5	6/28/17	REVISED PER DOT & DEM REVIEW COMMENTS
6	07/31/17	BID CONSTRUCTION SET
7	10/27/17	REVISED PER REVIEW COMMENTS
8	10/10/17	REVISED PER DEM REVIEW COMMENTS

ORDER OF PROCEDURE

1. IMMEDIATELY UPON COMPLETION OF THE CLEARING OPERATION AND PRIOR TO ANY ROUGH GRADING, TEMPORARY FILTER SOCK AND SILT FENCES (IF REQUIRED) SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION PER PLANS.
2. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
3. IF WORK PROGRESS IS SUSPENDED FOR 30 DAYS, IMPLEMENT TEMPORARY CONTROLS.
4. TEMPORARY FILTER SOCK AND SILT FENCES ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
5. INLET PROTECTIONS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING SEDIMENT TRACKING ON TO STREET AND SWEEPING DAILY IF REQUIRED TO KEEP IT CLEAN.
7. ESTIMATED TIME OF CONSTRUCTION: 4 MONTHS.

POST CONSTRUCTION PHASE

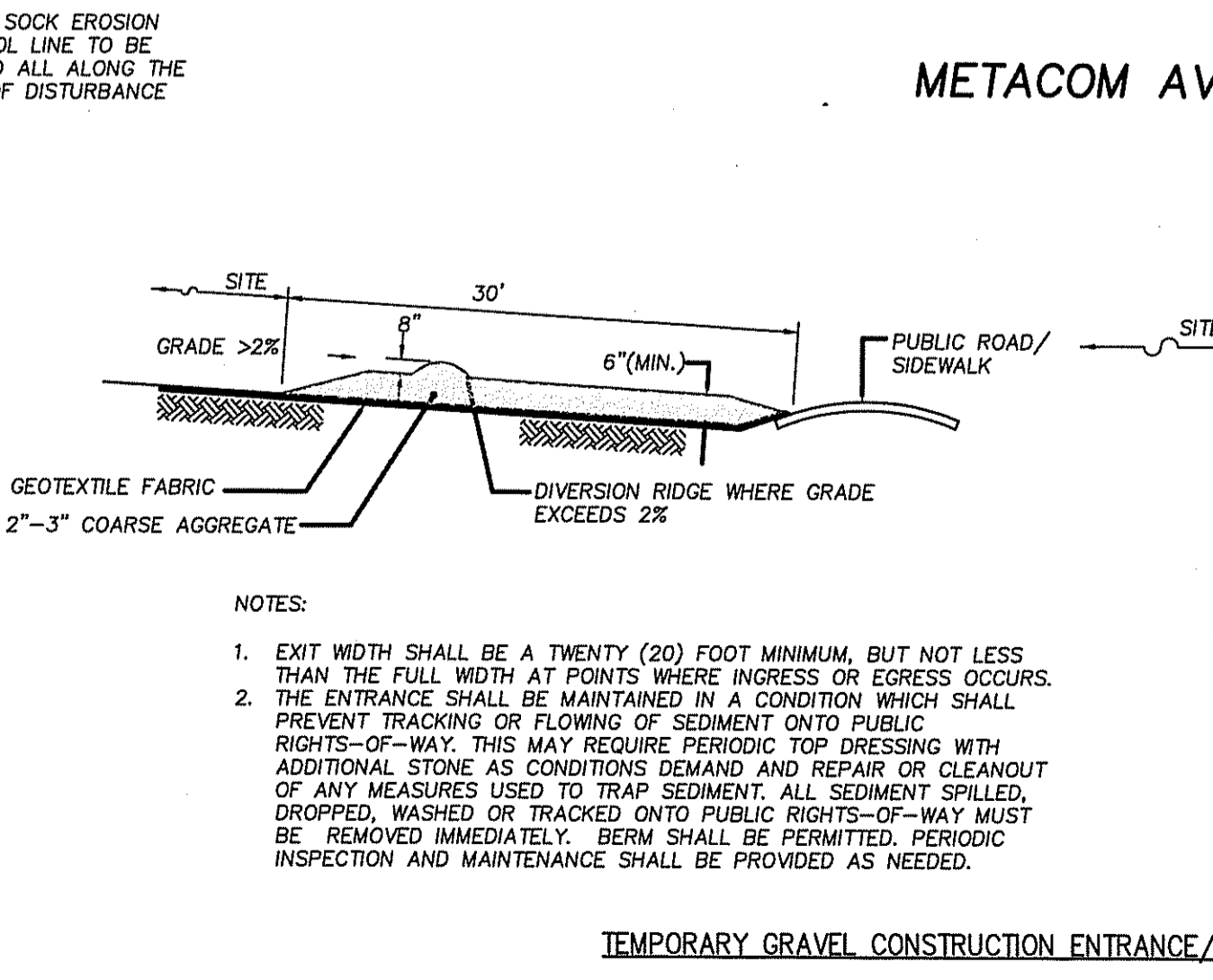
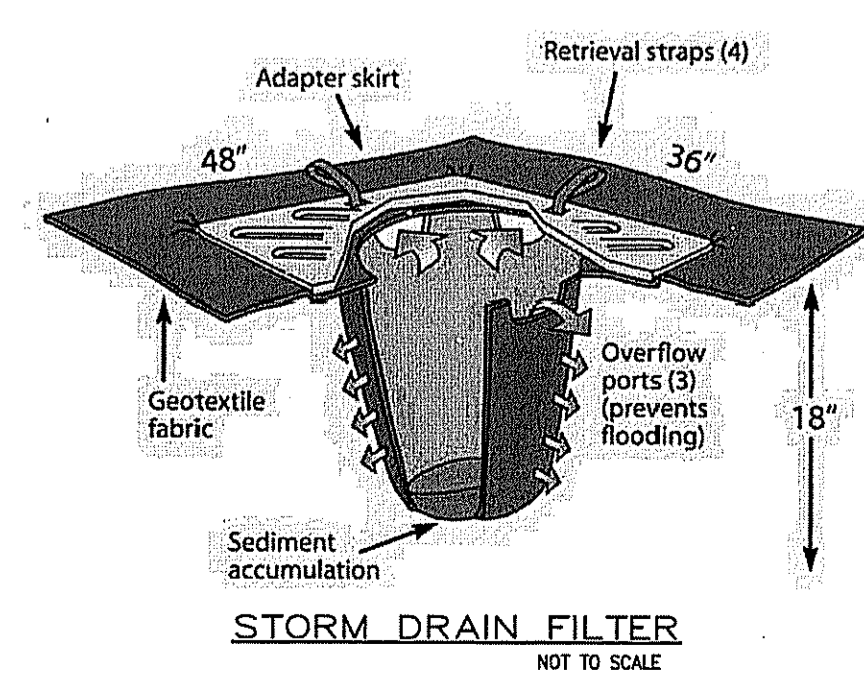
ONCE CONSTRUCTION IS COMPLETE, POST DEVELOPMENT STORM WATER CONTROLS ARE TO BE OPERATED AND MAINTAINED IN COMPLIANCE WITH THE FOLLOWING PERMANENT MAINTENANCE PROCEDURES:

1. CATCH BASINS SHALL BE INSPECTED AND CLEANED ON A QUARTERLY BASIS OR AFTER LARGE RAINFALL EVENT.
2. ALL CATCH BASINS SHALL BE TREATED WITH MOSQUITO LARVICIDE AS REQUIRED TO PREVENT THE FORMATION OF MOSQUITO BREEDING GROUNDS.
3. IN CASE OF OIL SPILL, CLEAN UP SHALL BE PERFORMED IMMEDIATELY.
4. ALL PAVED AREAS ON-SITE ARE TO BE SWEEPED ONCE A MONTH DURING THE LATE SPRING, SUMMER AND EARLY FALL SEASONS AT A MINIMUM OR AS REQUIRED TO PREVENT SEDIMENT ACCUMULATION.
5. ALL LANDSCAPED AREAS ARE TO BE MAINTAINED, IN GRASSED AREAS BARE SOIL SHOULD BE RESEED WITH GRASS. ALL SOIL AROUND THE PLANTS SHOULD BE MULCHED WITH A MINIMUM OF 4".
6. THE COORDINATION OF PARKING LOT SWEEPING WILL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR.
7. SEDIMENT ACCUMULATION FROM THE PARKING LOT SWEEPING SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND WILL BE RESPONSIBILITY OF THE OWNER/OPERATOR.
8. SNOW SHALL BE STORED AS NOTED ON PLANS, AND SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF, IF REQUIRED, AFTER LARGE SNOWSTORM EVENTS.
9. THE OWNER/OPERATOR WILL BE THE RESPONSIBLE PARTY FOR POST CONSTRUCTION STORMWATER SYSTEM OPERATION AND MAINTENANCE. THE OWNER/OPERATOR IS REQUIRED TO MAINTAIN A RECORD KEEPING LOG OF ALL REQUIRED AND PROPOSED MAINTENANCE.

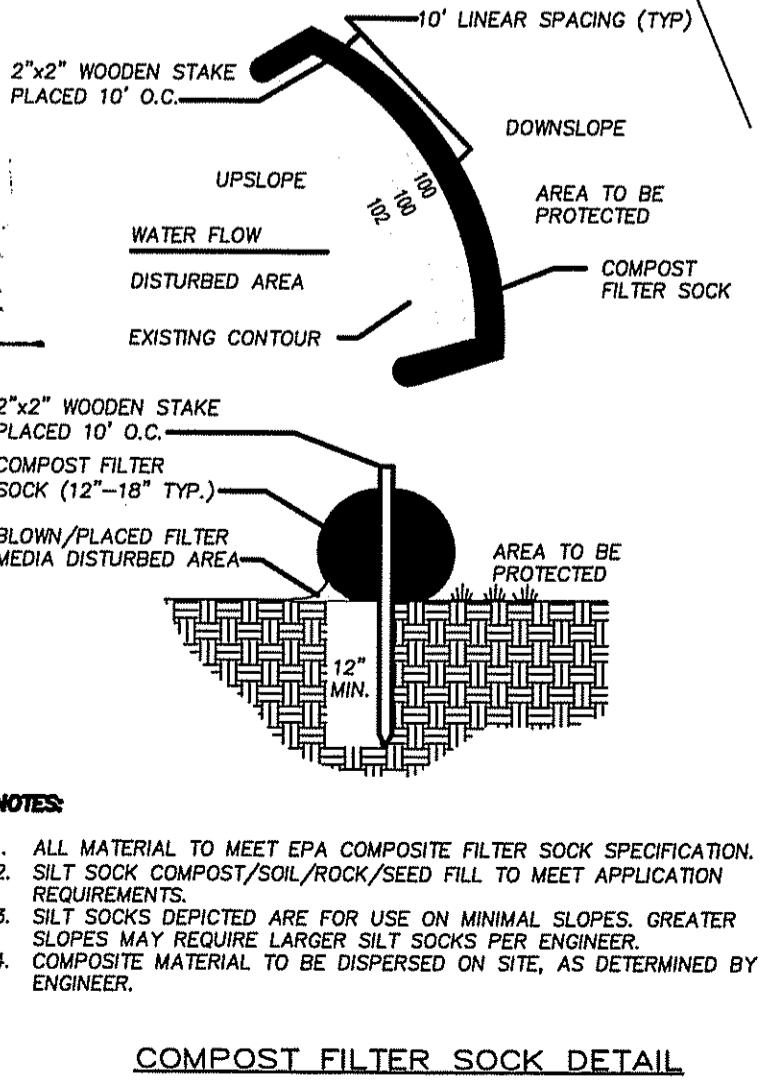
EROSION/SEDIMENT CONTROL BARRIER NOTES

1. MARK OUT AREA FOR FILTER SOCK; ORIENT LENGTH OF SOCK PARALLEL TO THE SLOPE SO THAT THE RUNOFF ENTERS AS SHEET FLOW.
2. IN HIGH-FLOW OR STEEP-SLOPE AREAS, ORIENT A SECOND SOCK PARALLEL TO THE FIRST TO DISSIPATE FLOWS. LAY FILTER SOCK NETTING OUT AS PLANNED.
3. FILL FILTER SOCK WITH COMPOST. STAKE FILTER SOCK EVERY 10 FT. STAKES SHOULD BE DRIVEN THROUGH THE CENTER OF THE SOCK, AND 1 FT INTO THE GROUND.
4. IF SOCK NETTING MUST BE JOINED, FIT BEGINNING OF THE NEW SOCK OVER THE END OF THE OLD SOCK, OVERLAPPING BY 1-2 FT. FILL WITH COMPOST; THEN STAKE THE JOINT.
5. TURN EDGES OF THE FILTER SOCK UPSLOPE TO PREVENT FLOW AROUND THE ENDS.

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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LEGEND

PROPERTY LINE	---
EXISTING TO BE REMOVED	---
EXISTING CONTOUR	--- 98
PROPOSED CONTOUR	--- 98
PROPOSED YARD LIGHT	■
PROPOSED CATCH BASIN	□
PROPOSED MANHOLE	○
EXISTING WATER LINE	W
EXISTING GAS LINE	G
EXISTING SEWER LINE	S
EXISTING OVERHEAD ELECTRIC LINE	OH
PROPOSED WATER LINE	W
PROPOSED GAS LINE	G
PROPOSED SEWER LINE	S
PROPOSED UNDERGROUND ELECTRIC	E
HAYBALE EROSION CONTROL LINE	■

PLANNING BOARD SIGNATURE BLOCK

NAME	DATE

REFERENCE:
 PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED: ALTA/ACSM LAND TITLE SURVEY PLAN, BY: WATERMAN ENGINEERING COMPANY. SCALE: 1"=20'. DATE: 9/26/2012 REV. (3) 3/4/15

AYOUB ENGINEERING
 ENGINEERS & ARCHITECTS
 ADDRESS:
 414 BENEFIT STREET
 PAWTUCKET, RHODE ISLAND 02861
 401-728-5533

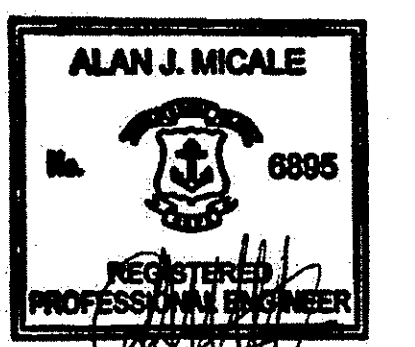
SEASONS CORNER MARKET
 579 METACOM AVENUE BRISTOL, RI

COLBEA ENTERPRISES, LLC
 2060 PLAINFIELD PIKE, CRANSTON, RI (401) 949-0005

SOIL EROSION & SEDIMENT CONTROL PLAN

PROJECT NO. S724.214 SHEET NO. ER-1
 SCALE: 1"=10'
 DRAWN BY: RCD
 DATE: 3/3/16
 SHEET 8 OF 14

AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.



Environmental Management
 OCT 11 2017
 Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 12 2017 FILE # 17-0035
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REV	PER	DATE	DESCRIPTION
1	AJM	2/2/17	REVISED PER REVIEW COMMENTS
2	AJM	6/28/17	REVISED PER DOT & DEM REVIEW COMMENTS
3	AJM	07/31/17	BID CONSTRUCTION SET

AYOUB ENGINEERING
 ENGINEERS & ARCHITECTS
 ADDRESS:
 414 BENEFIT STREET
 PAWTUCKET, RHODE ISLAND 02861
 401-728-6533

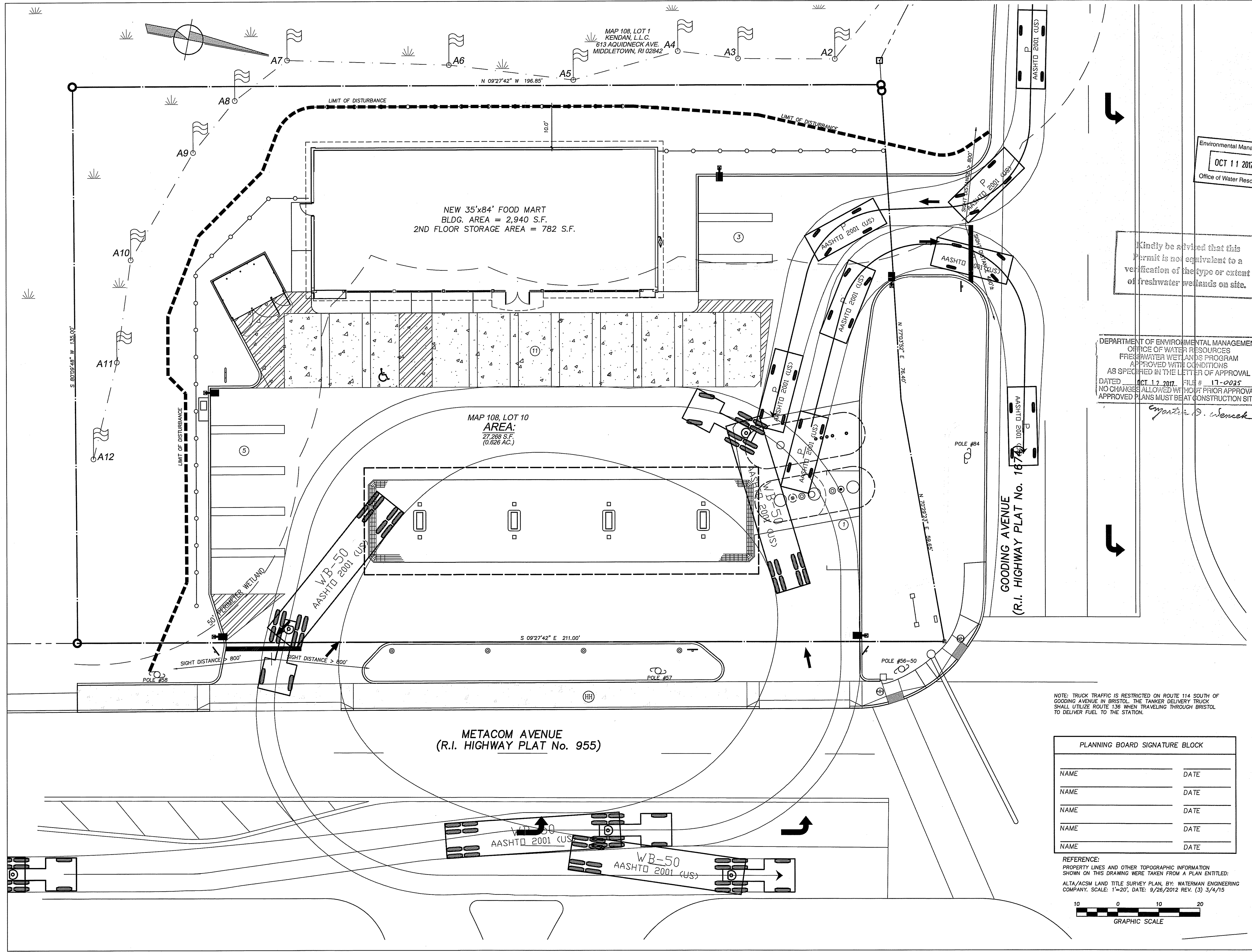
SEASONS CORNER MARKET
 579 METACOM AVENUE BRISTOL, RI

COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE, CRANSTON, RI (401) 943-0005

TANKER DELIVERY PLAN

PROJECT NO. S724.214
 SCALE: 1"=10'
 DRAWN BY: RCD
 DATE: 1/3/17

SHEET NO. TD-1
 SHEET 9 OF 14



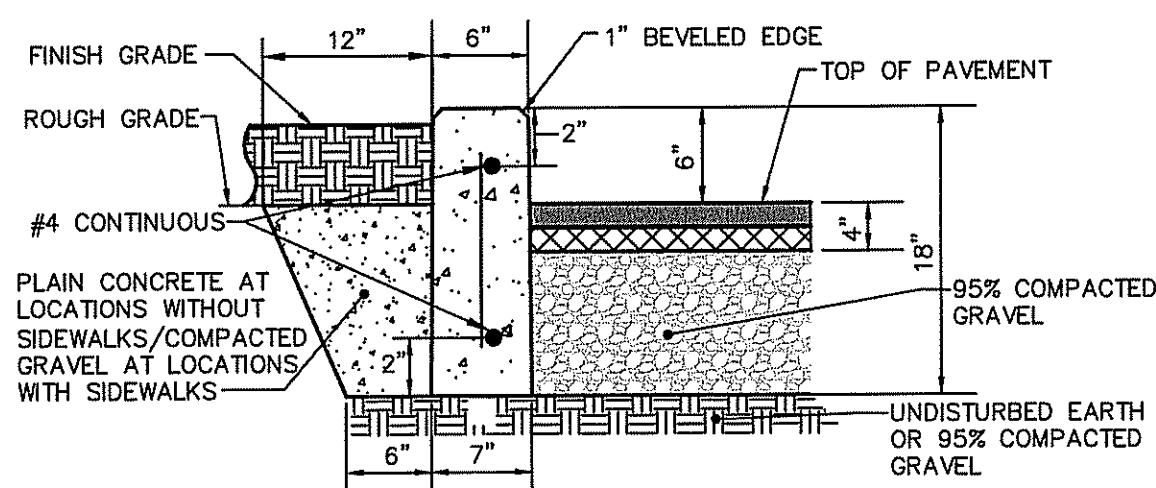
NOTE: TRUCK TRAFFIC IS RESTRICTED ON ROUTE 114 SOUTH OF GOODING AVENUE IN BRISTOL. THE TANKER DELIVERY TRUCK SHALL UTILIZE ROUTE 139 WHEN TRAVELING THROUGH BRISTOL TO DELIVER FUEL TO THE STATION.

PLANNING BOARD SIGNATURE BLOCK

NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE

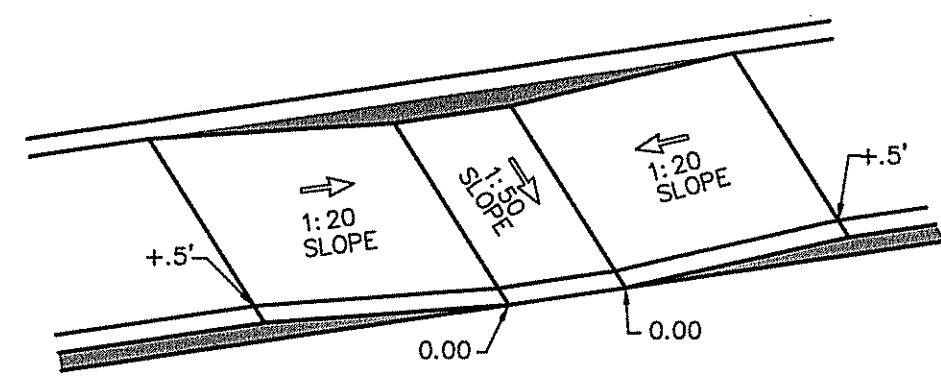
REFERENCE:
 PROPERTY LINES AND OTHER TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING WERE TAKEN FROM A PLAN ENTITLED:
 ALTA/ACSM LAND TITLE SURVEY PLAN, BY: WATERMAN ENGINEERING COMPANY, SCALE: 1"=20', DATE: 9/26/2012 REV. (3) 3/4/15



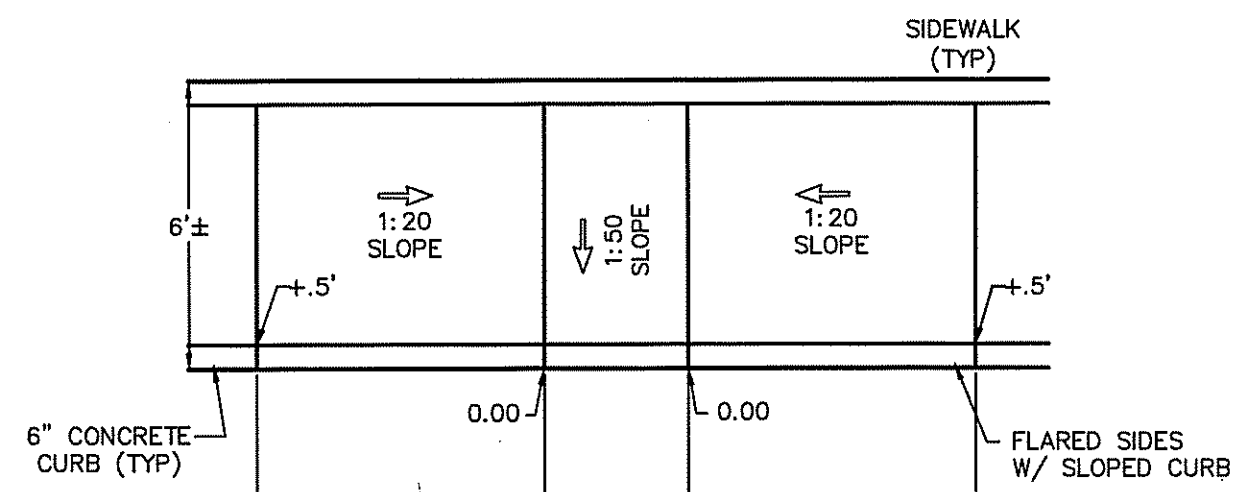


6" x 18" PRECAST CONCRETE CURB
Not To Scale

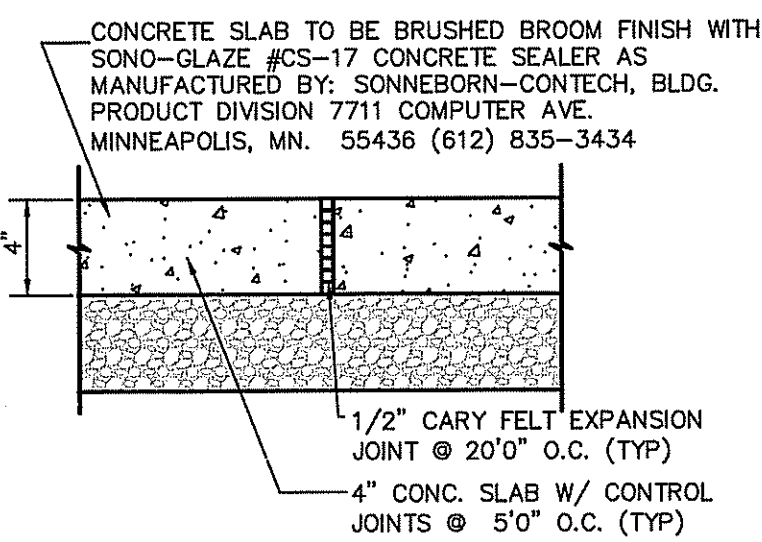
NOTE:
PRECAST CONCRETE BEVELED CURB— ROCKCURB BY SQUITARE OR EQUIVALENT.
PROVIDE EXPANSION JOINTS @ 20'-0" O.C. (MAX)



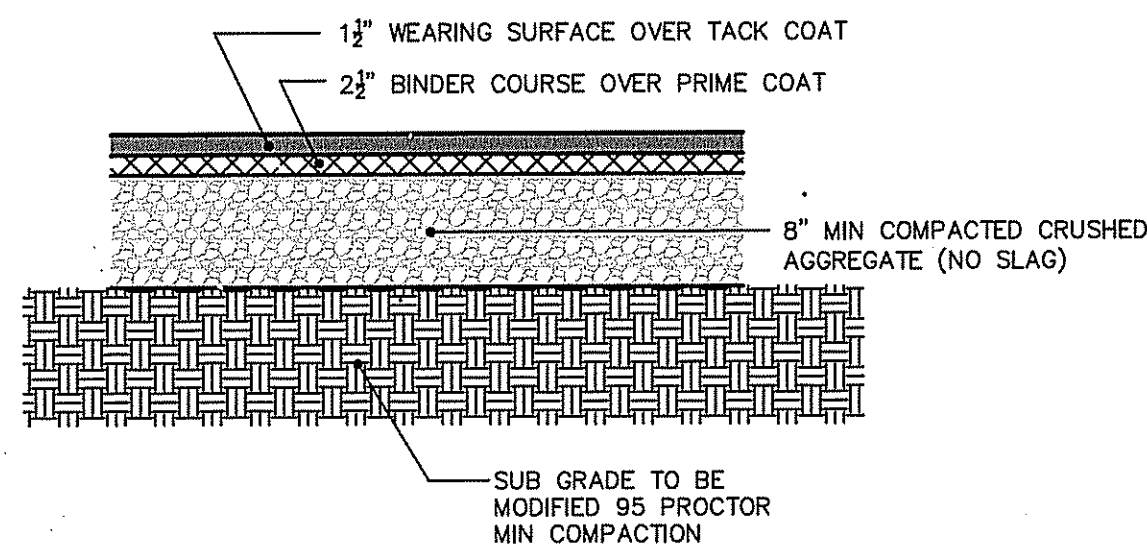
PERSPECTIVE VIEW



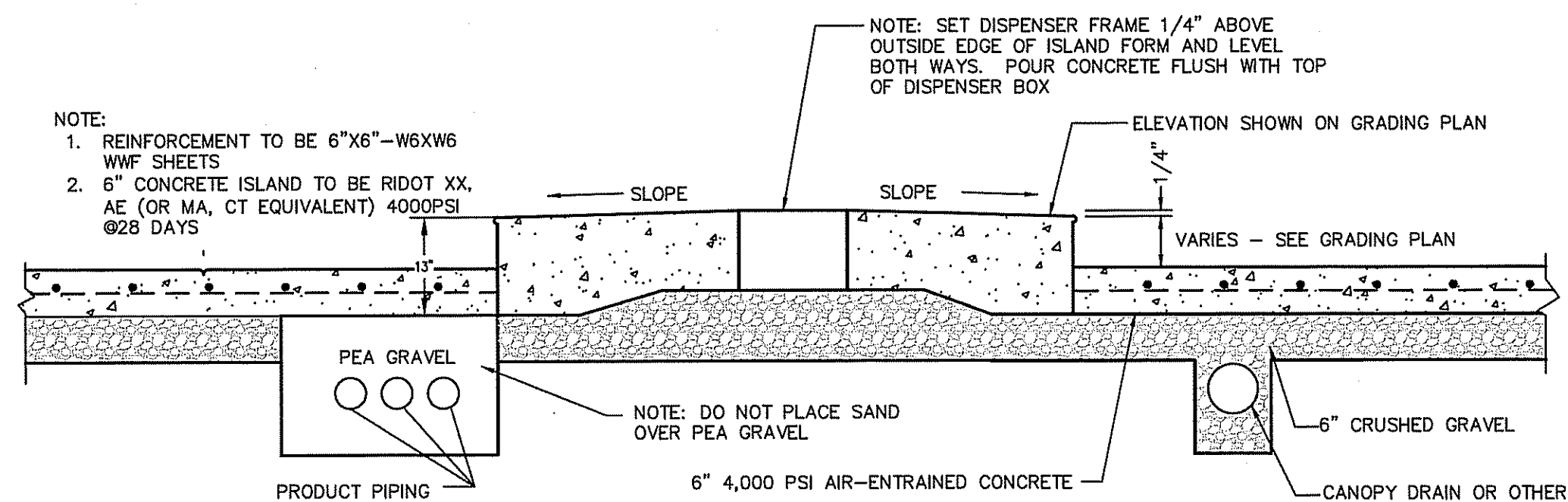
HANDICAP CURB RAMP
Not To Scale



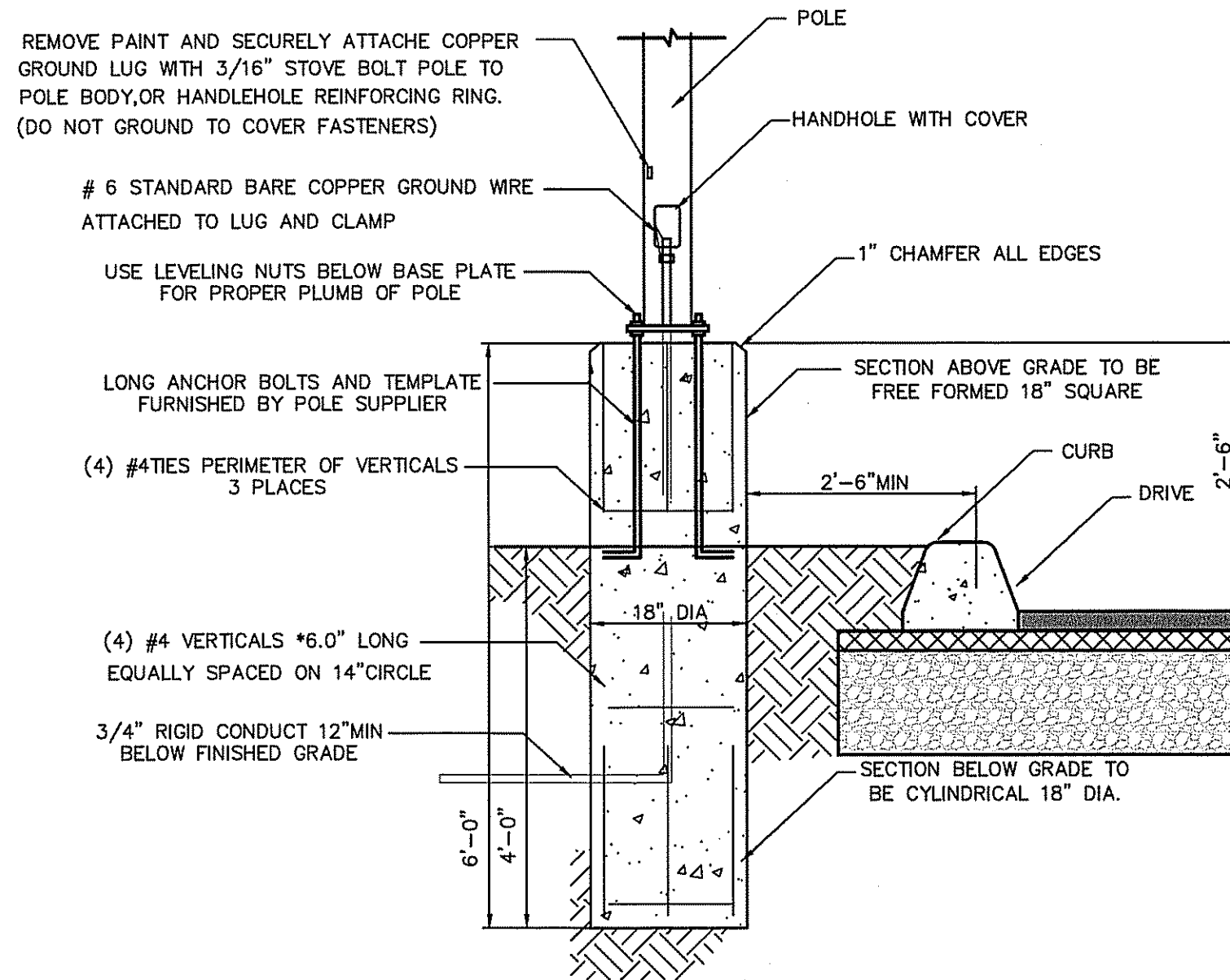
BRUSHED CONCRETE SIDEWALK TREATMENT
Not To Scale



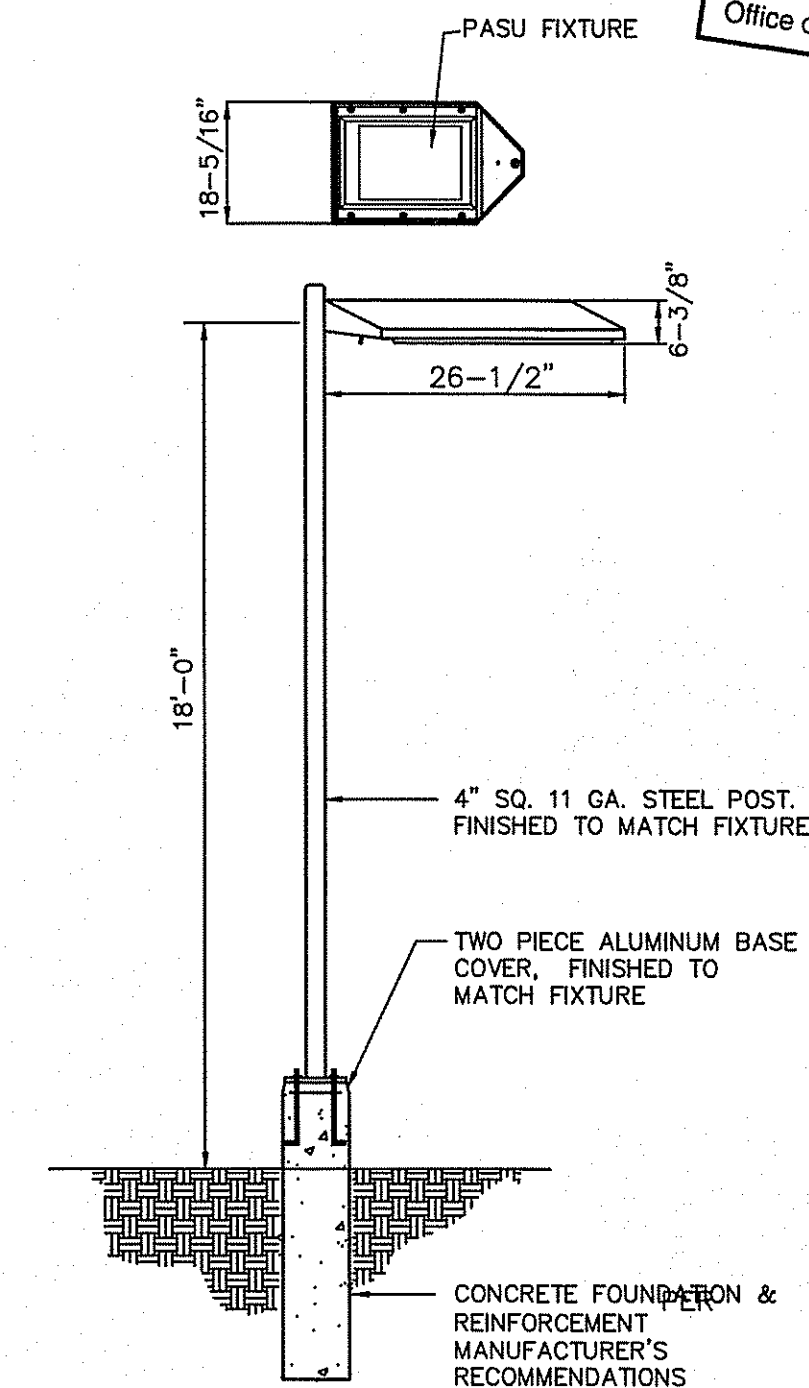
PAVEMENT SECTION DETAIL
Not To Scale



SECTION THRU PUMP ISLAND
Not To Scale

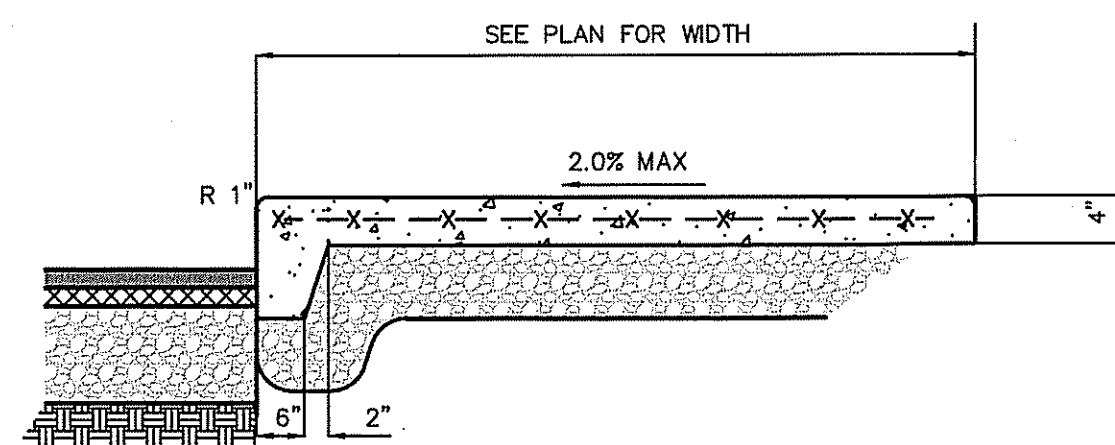


LIGHT POLE BASE
Not To Scale

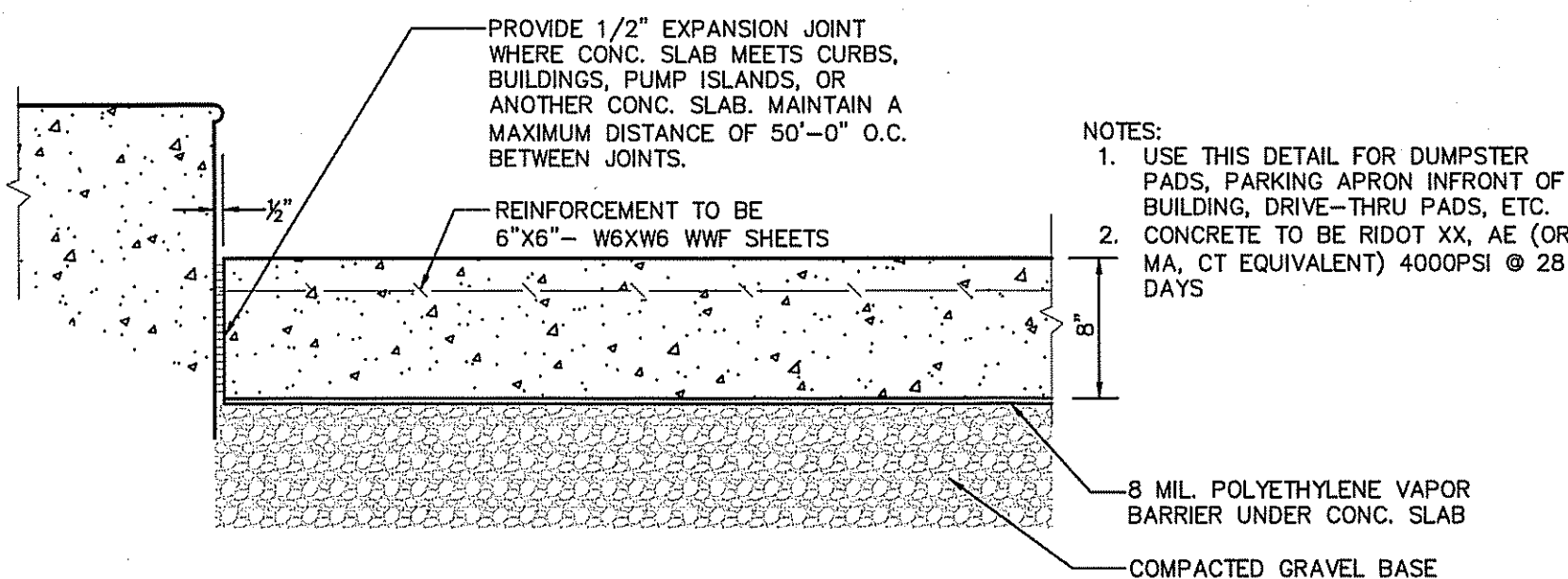


SITE LIGHT
Not To Scale

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



CONCRETE SIDEWALK
Not To Scale



CONC. PAVEMENT & EXPANSION JOINT
Not To Scale

Environmental Management
OCT 11 2017
Office of Water Resources

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REV	PER	DATE	DESCRIPTION
1	AJM	11/15/16	REVISED CURBING DETAIL
2	PS	01/18/17	REVISED EXPANSION JOINT AND SECTION THRU PUMP DETAILS
3	AJM	6/28/17	REVISED PER DEAM REVIEW COMMENTS
4	AJM	07/31/17	BID CONSTRUCTION SET

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

PROJECT: **SEASONS CORNER MARKET**
579 METACOM AVENUE BRISTOL, RI

PREPARED FOR: **COLBEA ENTERPRISES, LLC**
2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION: **SITE DETAIL SHEET**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **OCT 12 2017** FILE # **17-0025**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Signature

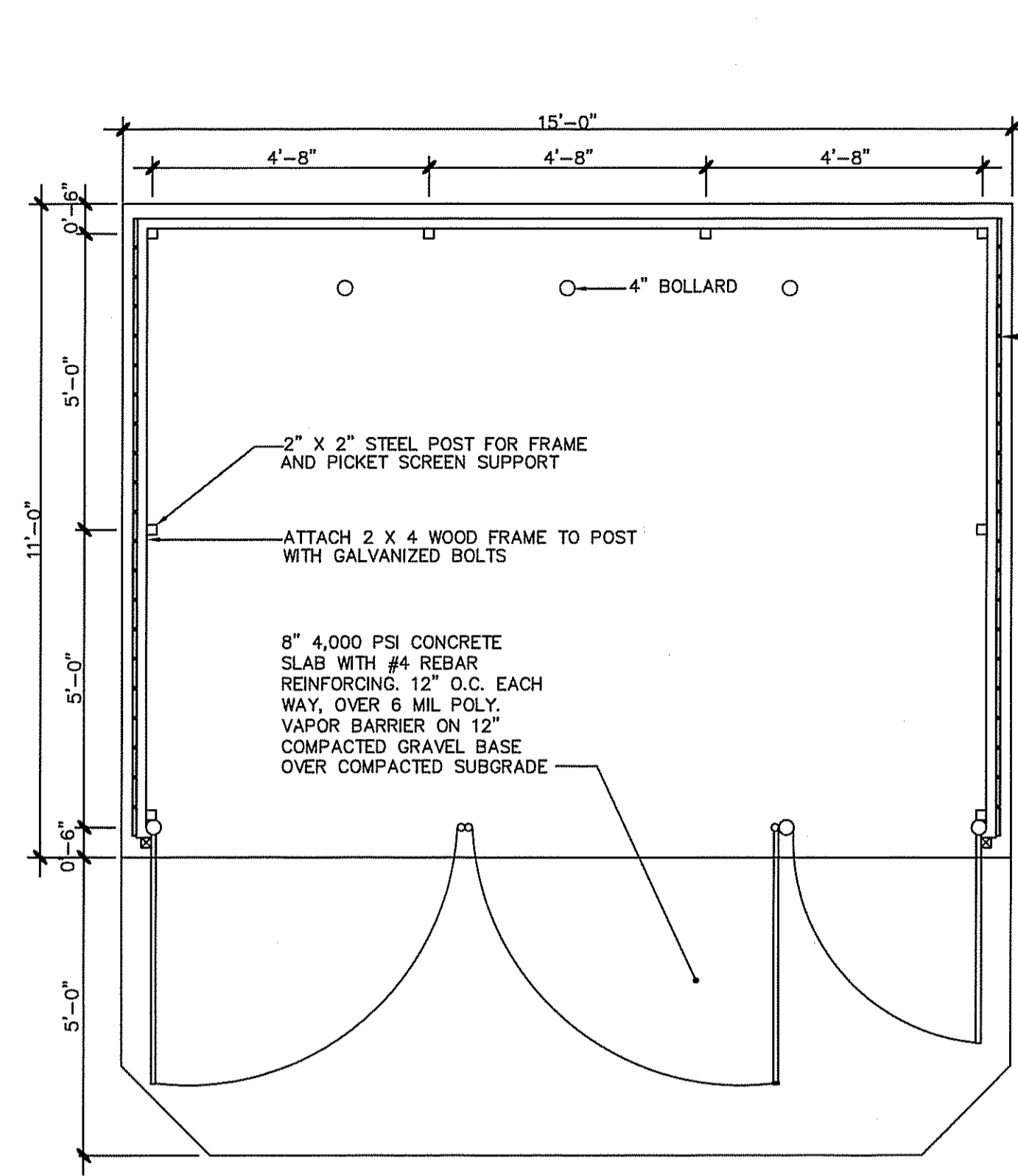
PLANNING BOARD SIGNATURE BLOCK

NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE

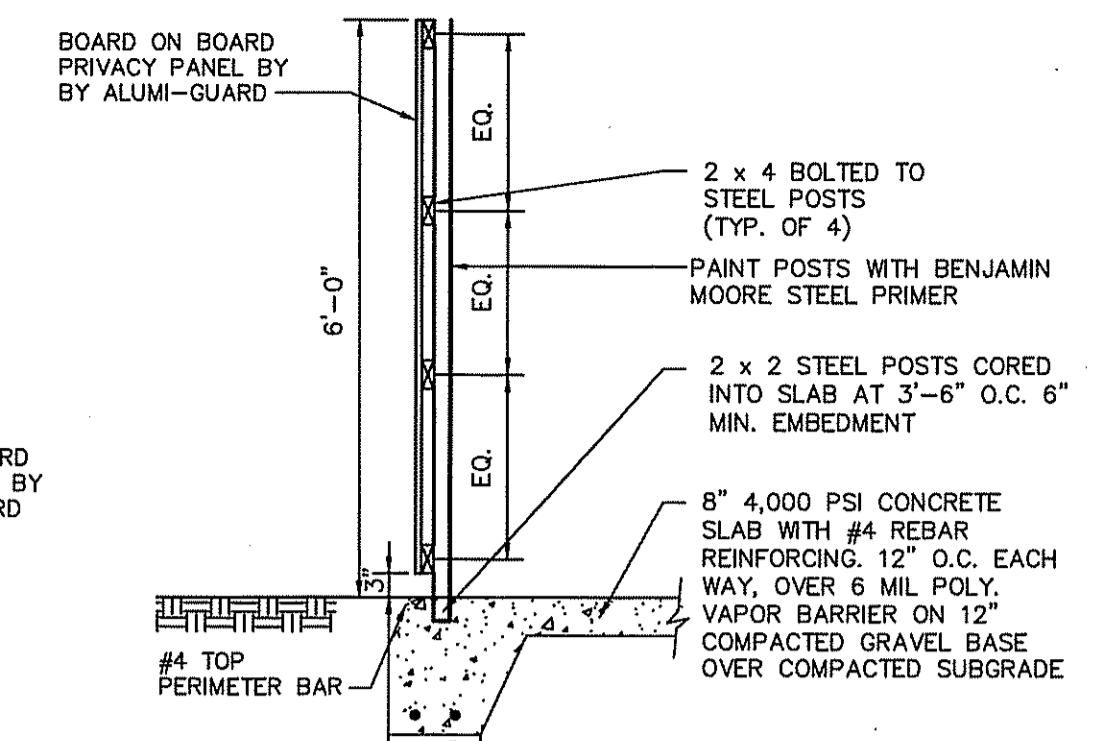
F:\S724 COLBEA BRISTOL, RI 579 METACOM AVE\2014 REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\S724SD.DWG

Environmental Management
 OCT 11 2017
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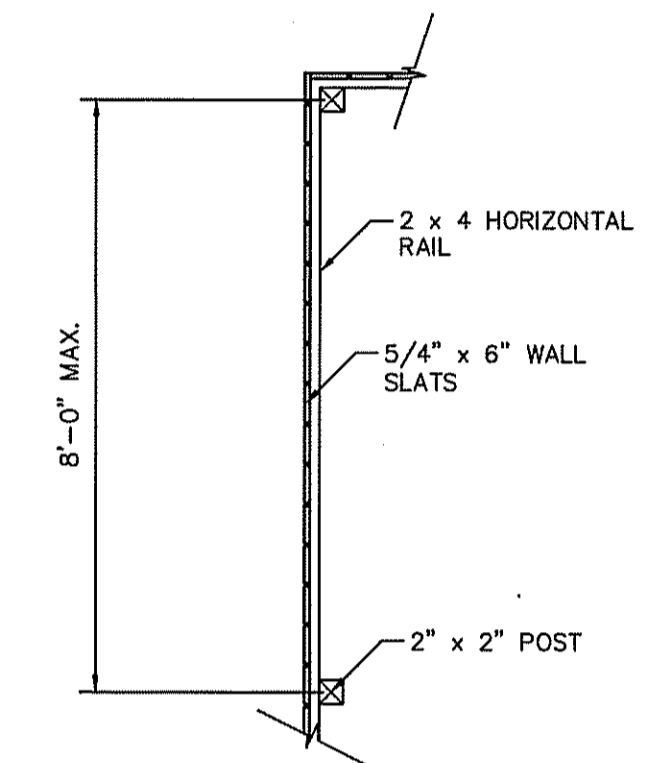


TYPICAL TRASH ENCLOSURE
 TRASH ENCLOSURE TO BE ALUMINIUM-GUARD OR APPROVED EQUAL NOT TO SCALE

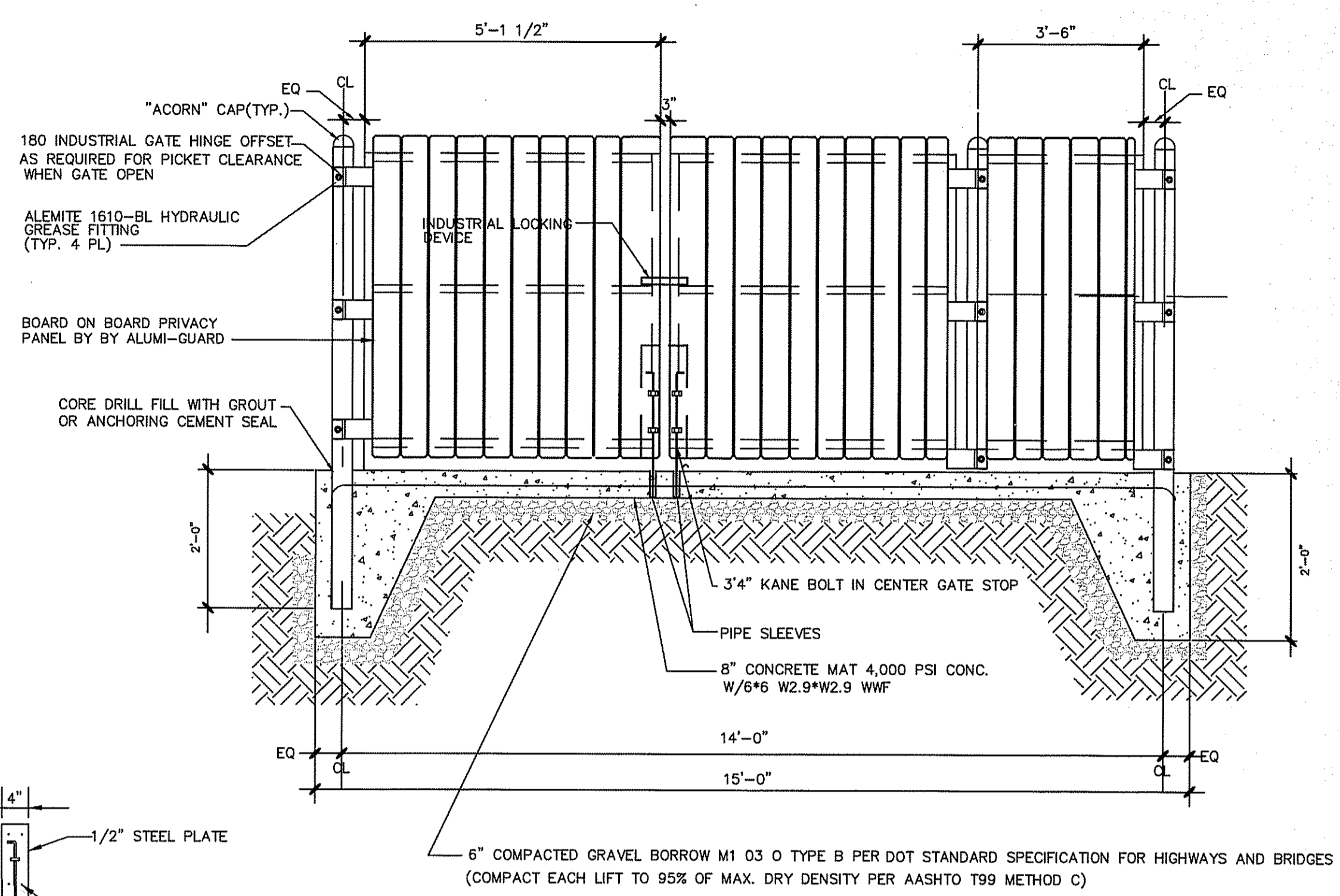


TRASH ENCLOSURE WALL SECTION
 Not To Scale

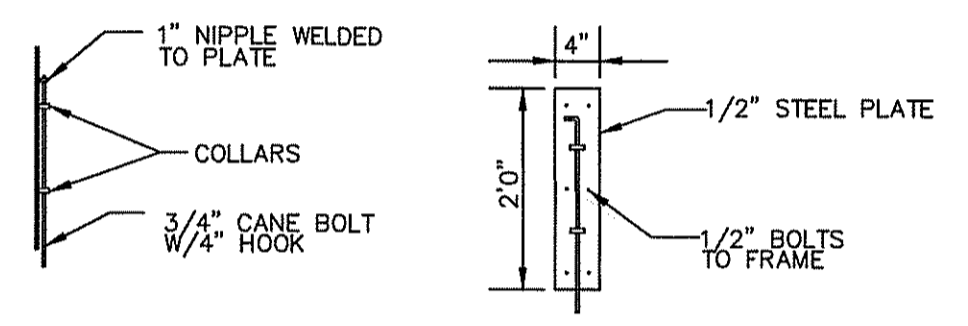
- NOTES:
 1. ALL WOOD MEMBERS OF TRASH CORRAL TO BE PRESSURE TREATED.
 2. ALL FASTENERS ARE TO BE GALVANIZED.
 3. FOUNDATION DESIGN TO BE PROVIDED BY CONTRACTOR.



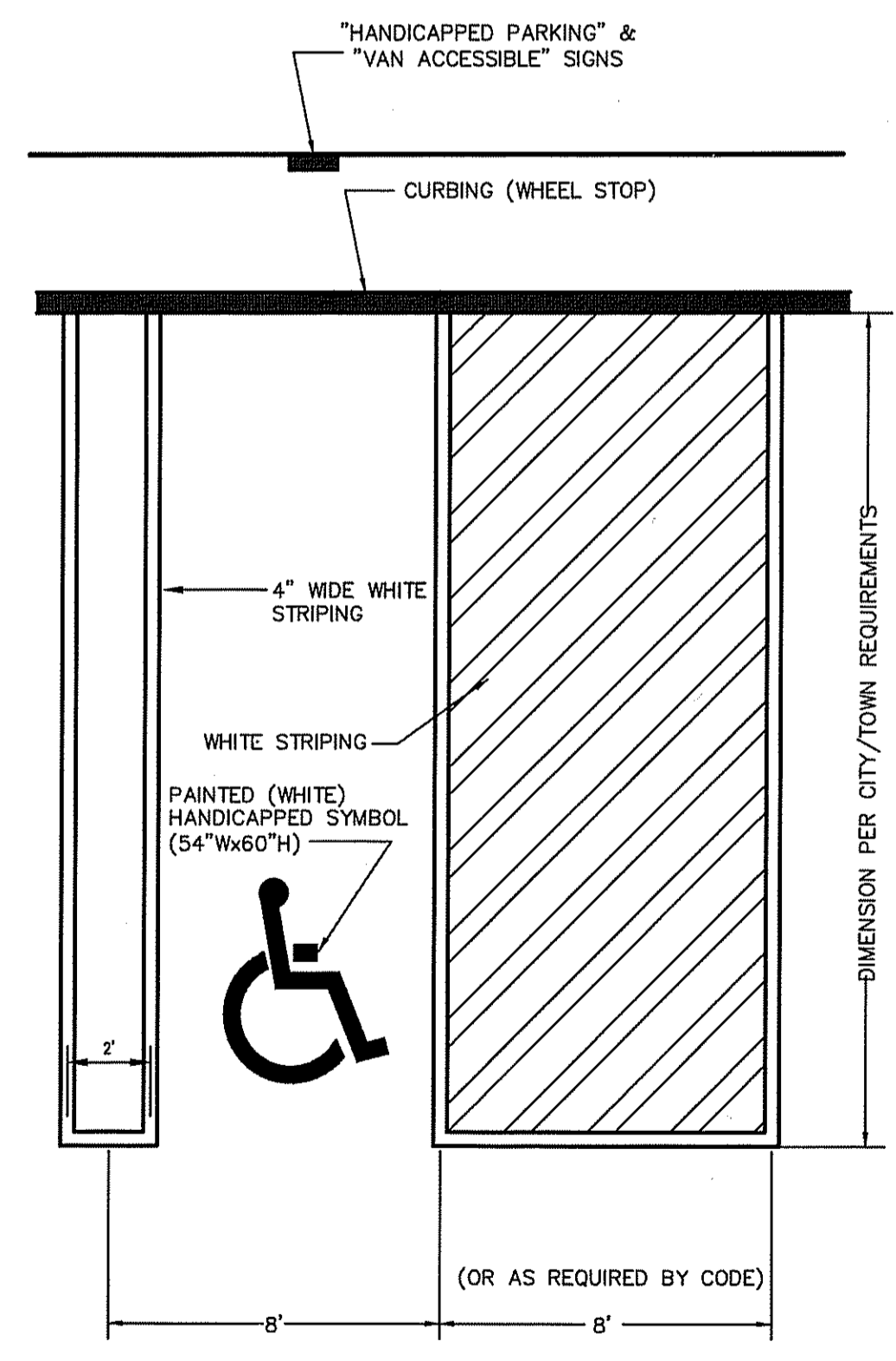
TRASH ENCLOSURE TYP. PLAN ELEV
 Not To Scale



TYPICAL FRONT ELEVATION
 TRASH ENCLOSURE TO BE ALUMINIUM-GUARD OR APPROVED EQUAL NOT TO SCALE



TRASH ENCLOSURE GATE & MOUNTING
 Not To Scale

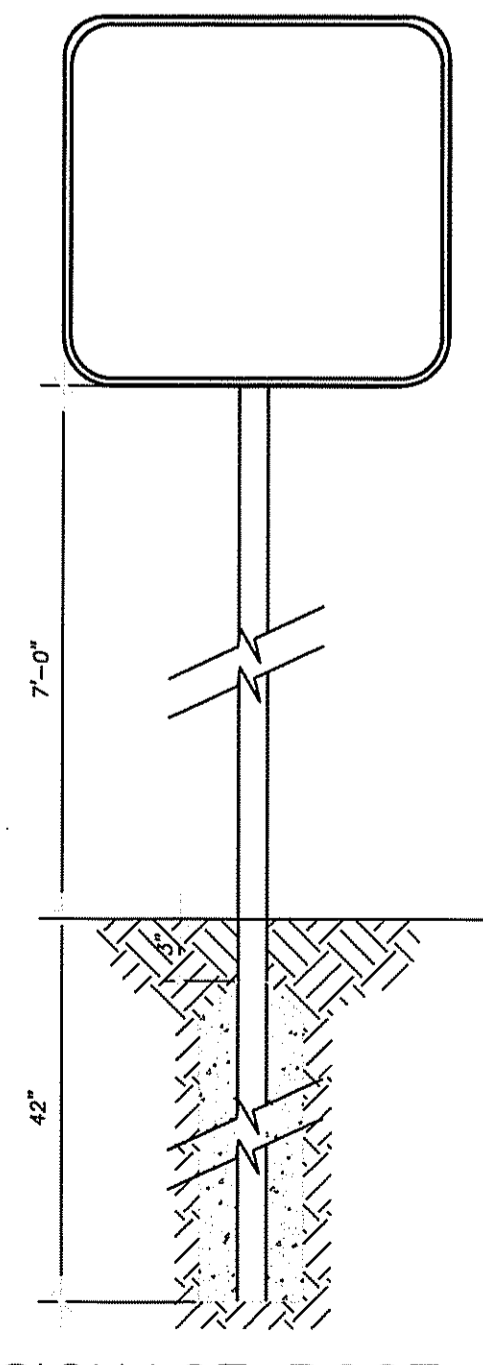


TYPICAL HANDICAP PARKING STALL STRIPING
 Not To Scale

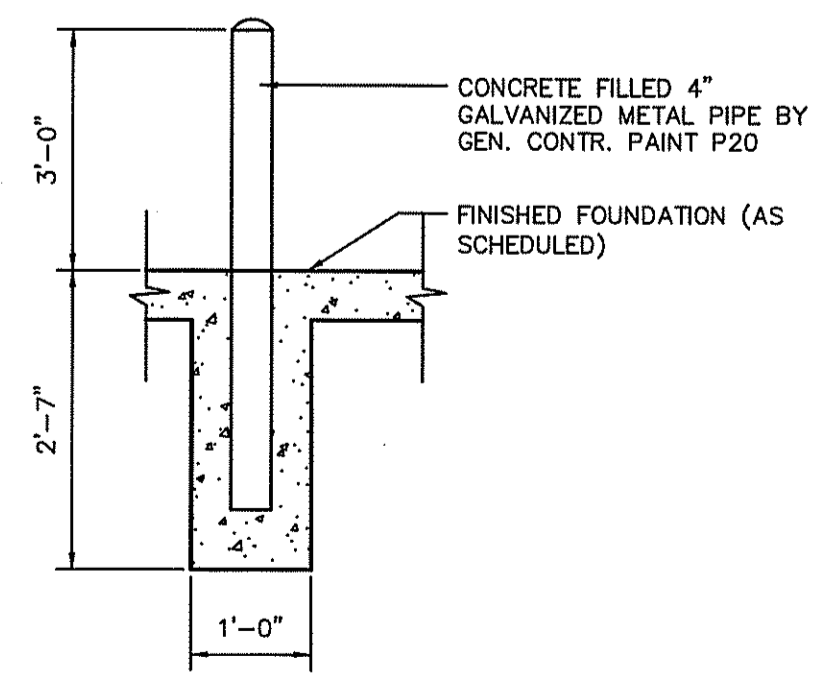
ACCESSIBLE PARKING SIGNAGE TO BE MOUNTED ON THE BUILDING



S2 HANDICAP SIGN
 Not To Scale



SIGNAGE POST
 Not To Scale



BOLLARD
 Not To Scale

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 12 2017 FILE # 17-0025
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Christopher D. Seneseck

PLANNING BOARD SIGNATURE BLOCK

NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____

REVISIONS

REV	PER	DATE	DESCRIPTION
1	AJM	10/11/16	UPDATED TRASH ENCLOSURE TO NEW STANDARD
2	AJM	6/28/17	REVISED PER DEN REVIEW COMMENTS
3	AJM	07/31/17	BID CONSTRUCTION SET

AYOUB ENGINEERING
 ENGINEERS & ARCHITECTS
 ADDRESS:
 414 BENEFIT STREET
 PAWTUCKET, RHODE ISLAND 02861
 401-728-5533

PROJECT: SEASONS CORNER MARKET
 579 METACOM AVENUE BRISTOL, RI

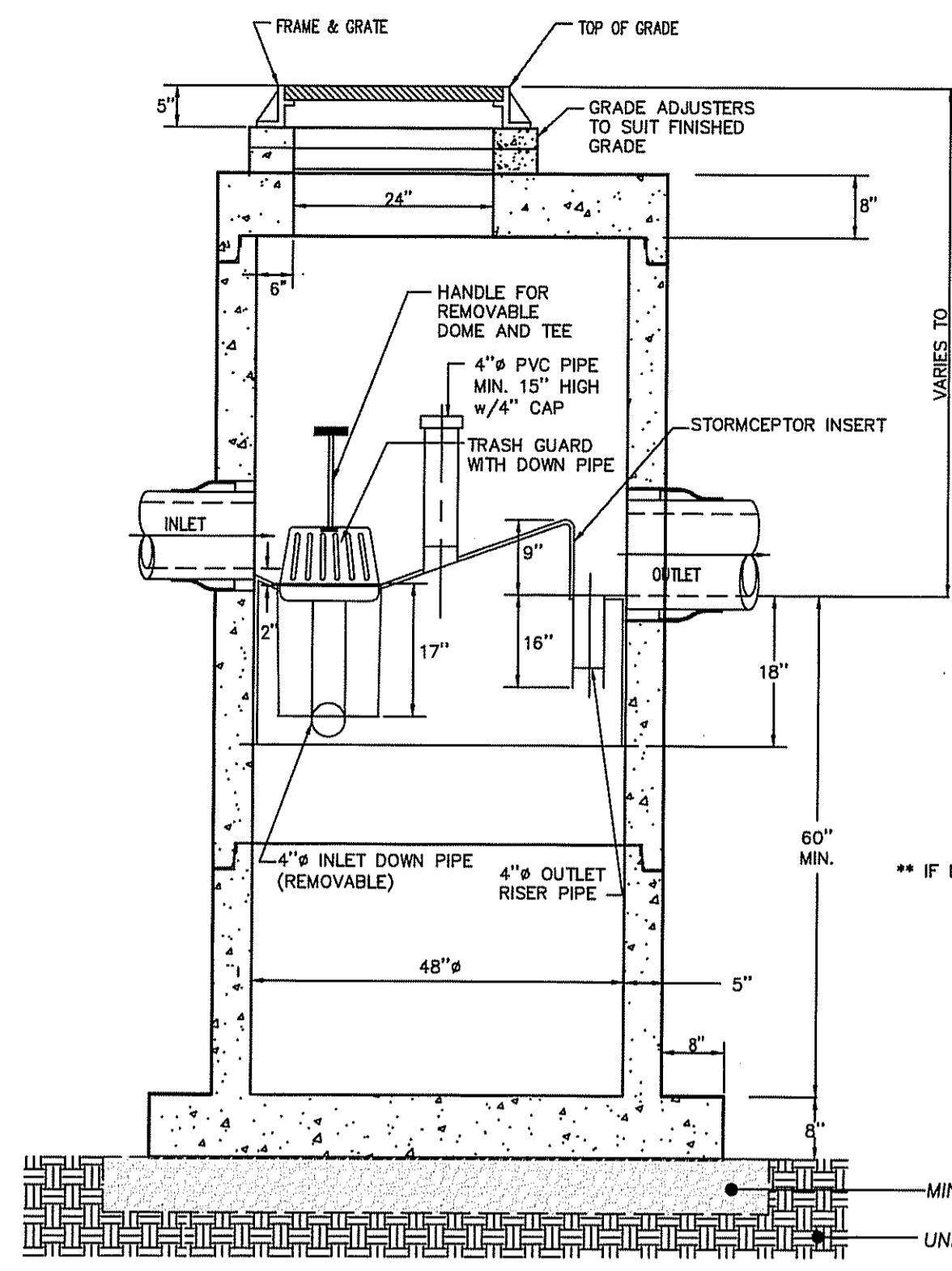
PREPARED FOR: COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION: SITE DETAIL SHEET

PROJECT NO. S72A.214
 SCALE: AS NOTED
 DRAWN BY: FAL
 DATE: 3/25/16

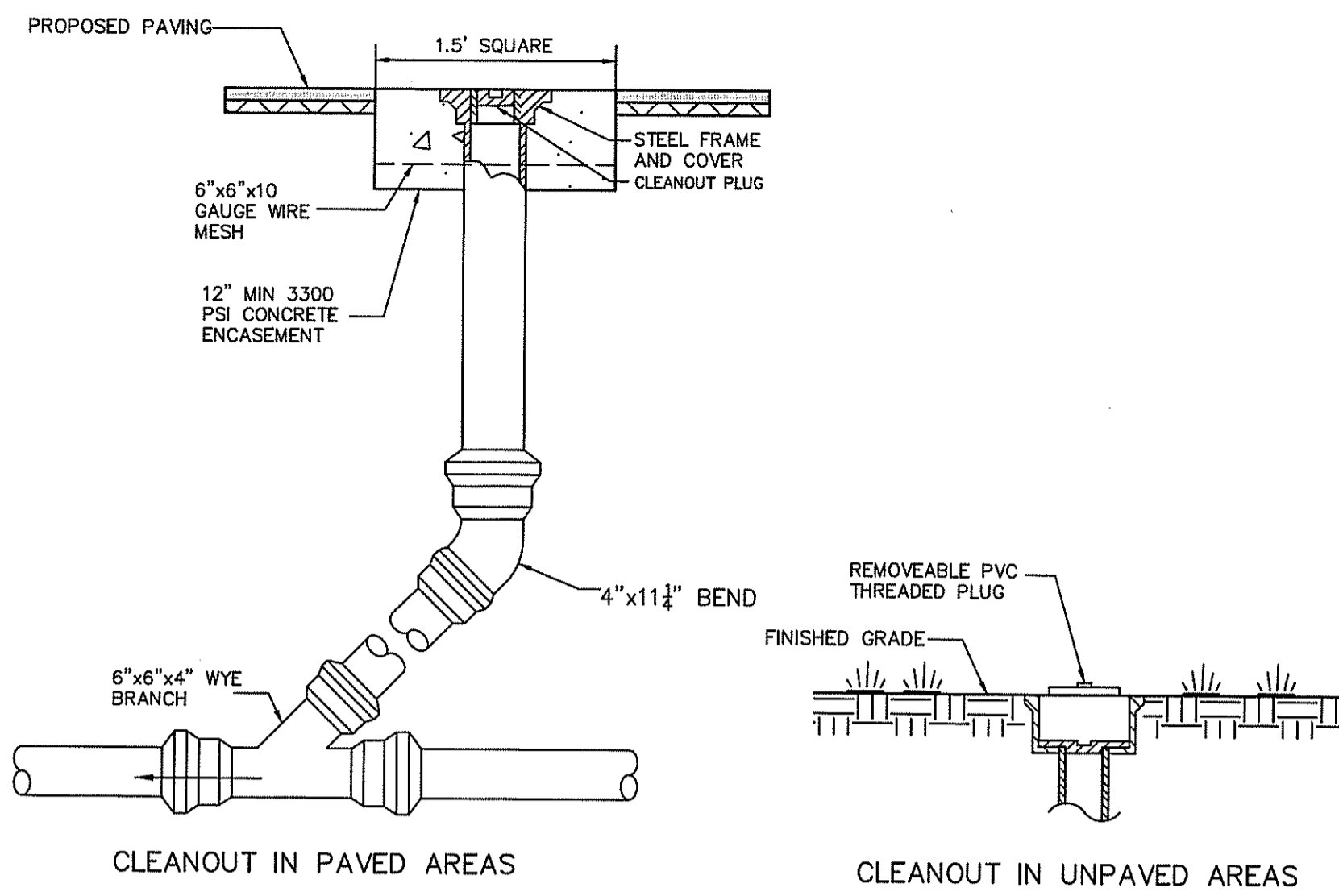
SHEET NO. SD-2
 SHEET 11 OF 14

E:\S72A\COLBEA BRISTOL, RI 579 METACOM AVE\2014 REBUILD\CONSTRUCTION DOCUMENTS\CIVIL\S24SD.DWG

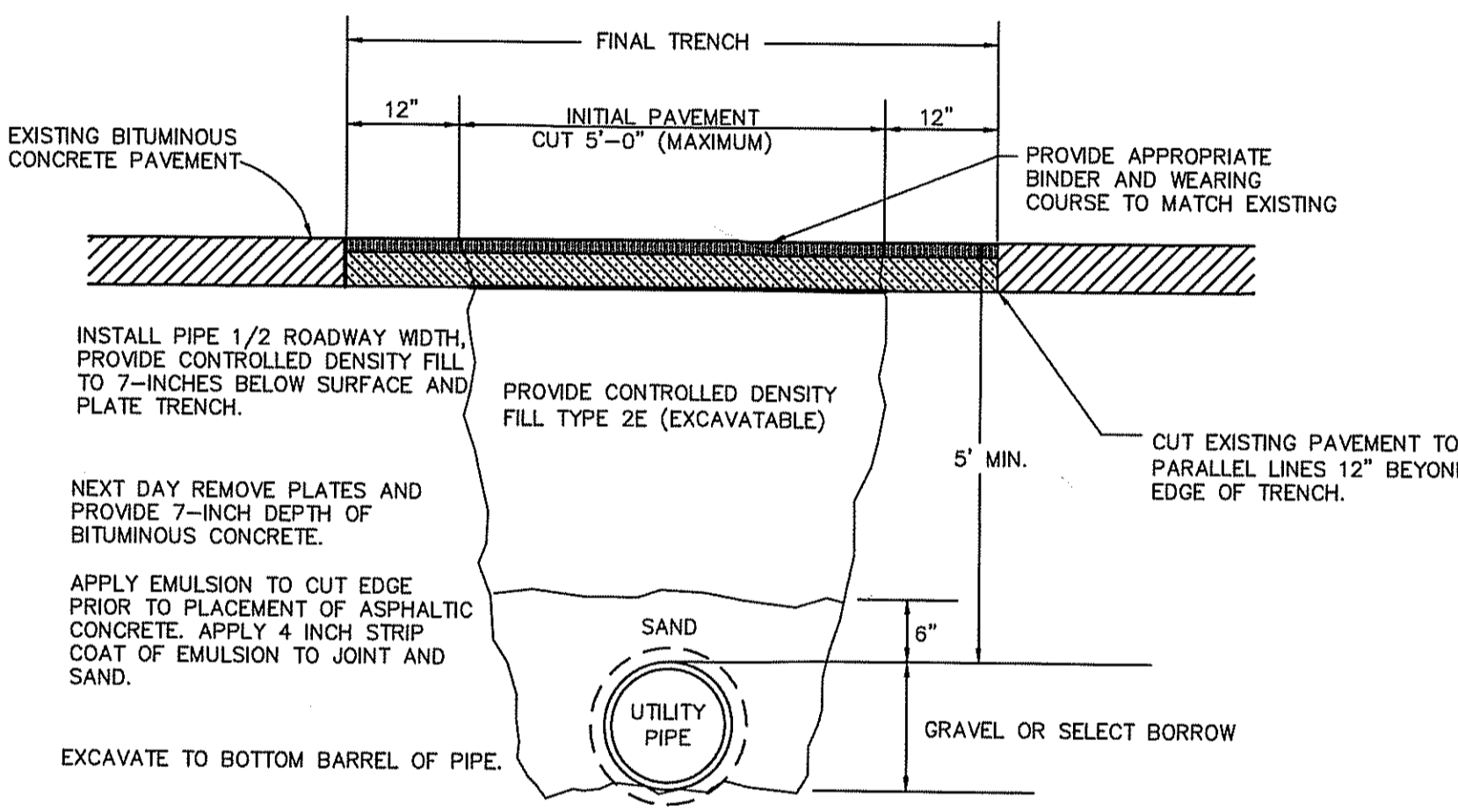


- NOTE:
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE 4" CLEANOUT/VENT PIPE AND THE 4" INLET DOWN PIPE.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985145, #5496331, #5725760, #5753115, #5849181.
 4. CONTRACTOR TO PROVIDE CRANE TO SET UNIT (HEAVIEST SECTION WEIGHS 5000 LB)

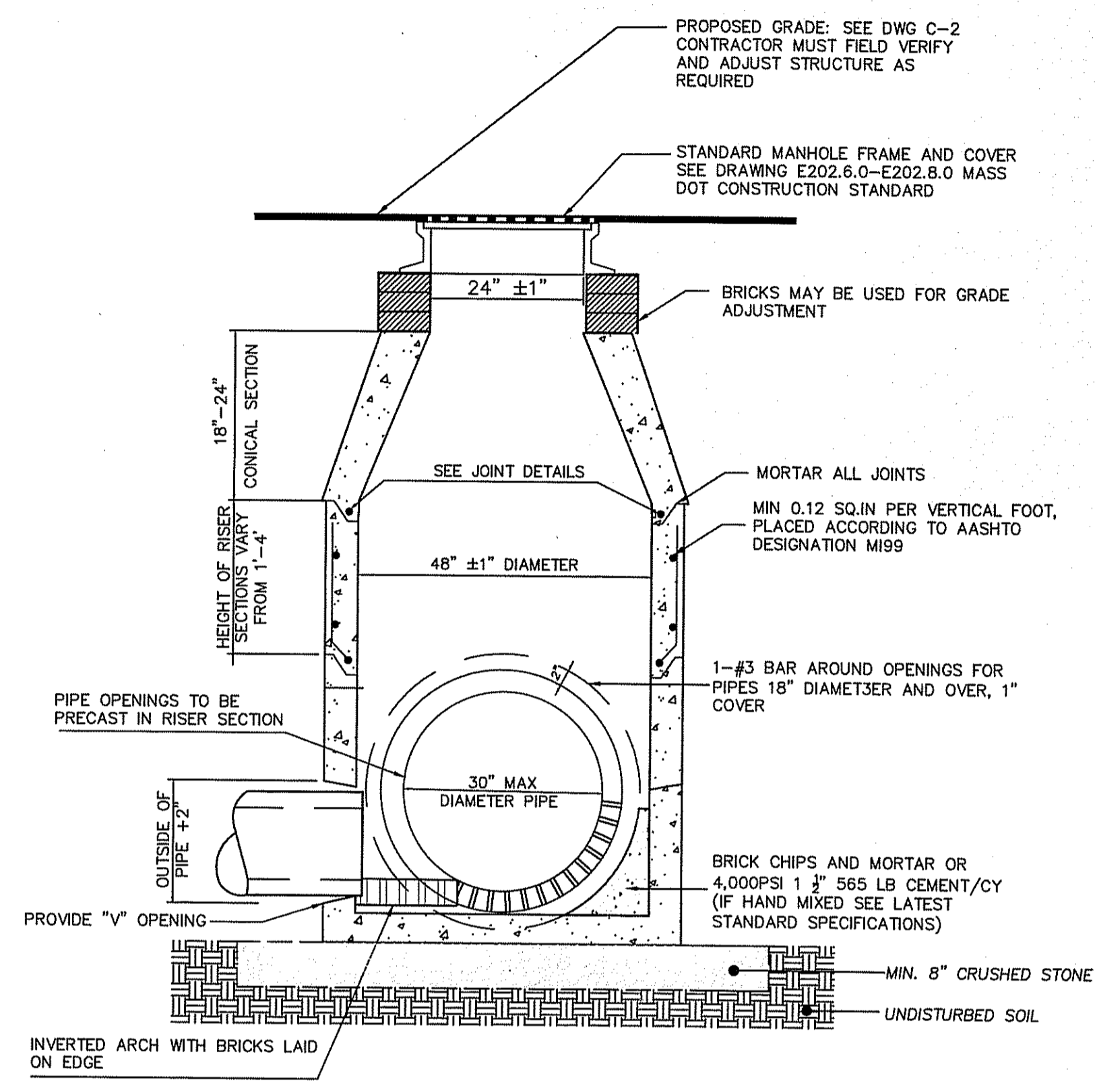
STC 450i PRECAST CONCRETE STORMCEPTOR
450 US GALLON CAPACITY Not to Scale



EXTERIOR CLEAN-OUTS

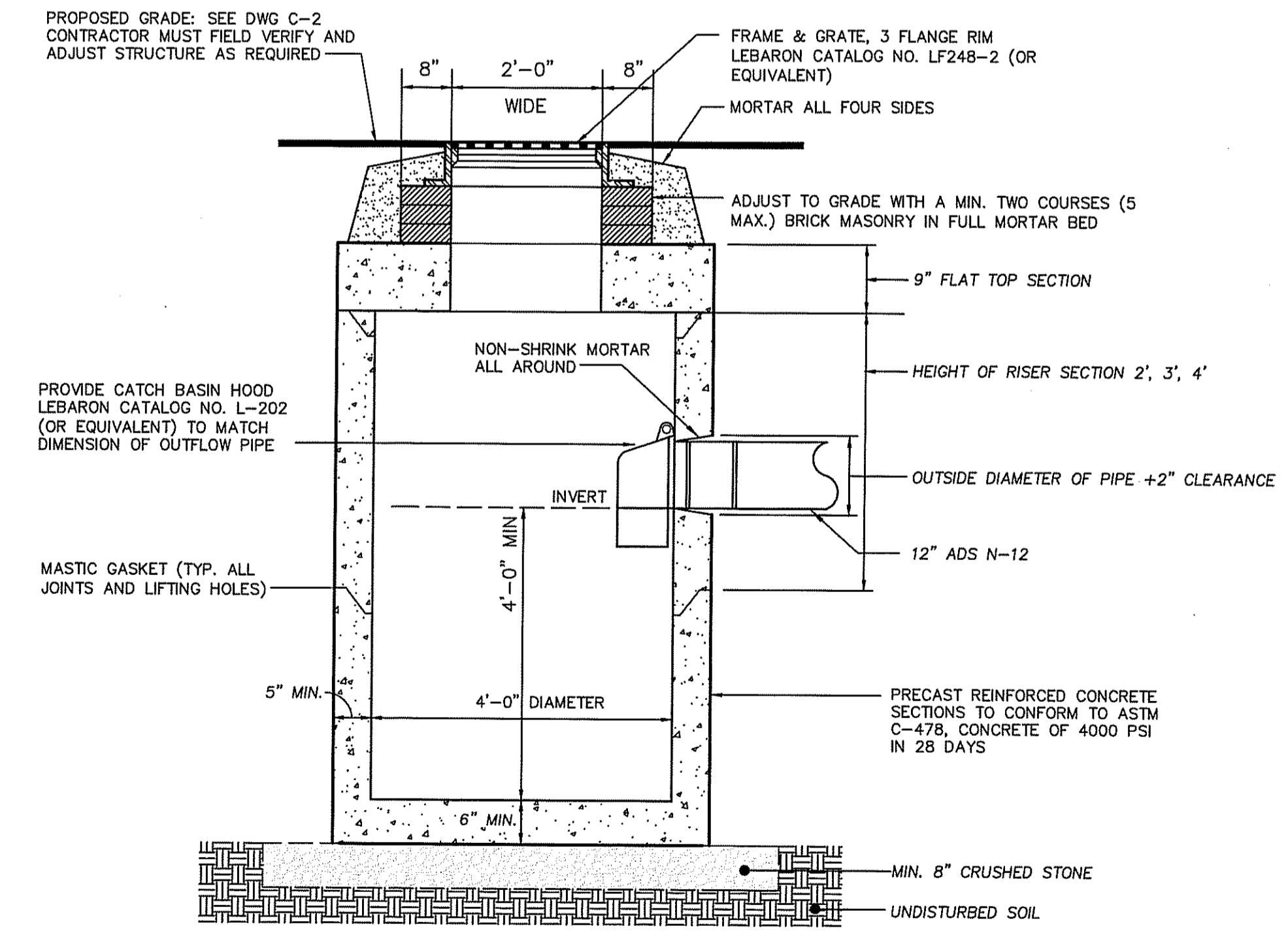


TYPICAL UTILITY TRENCH
Not to Scale



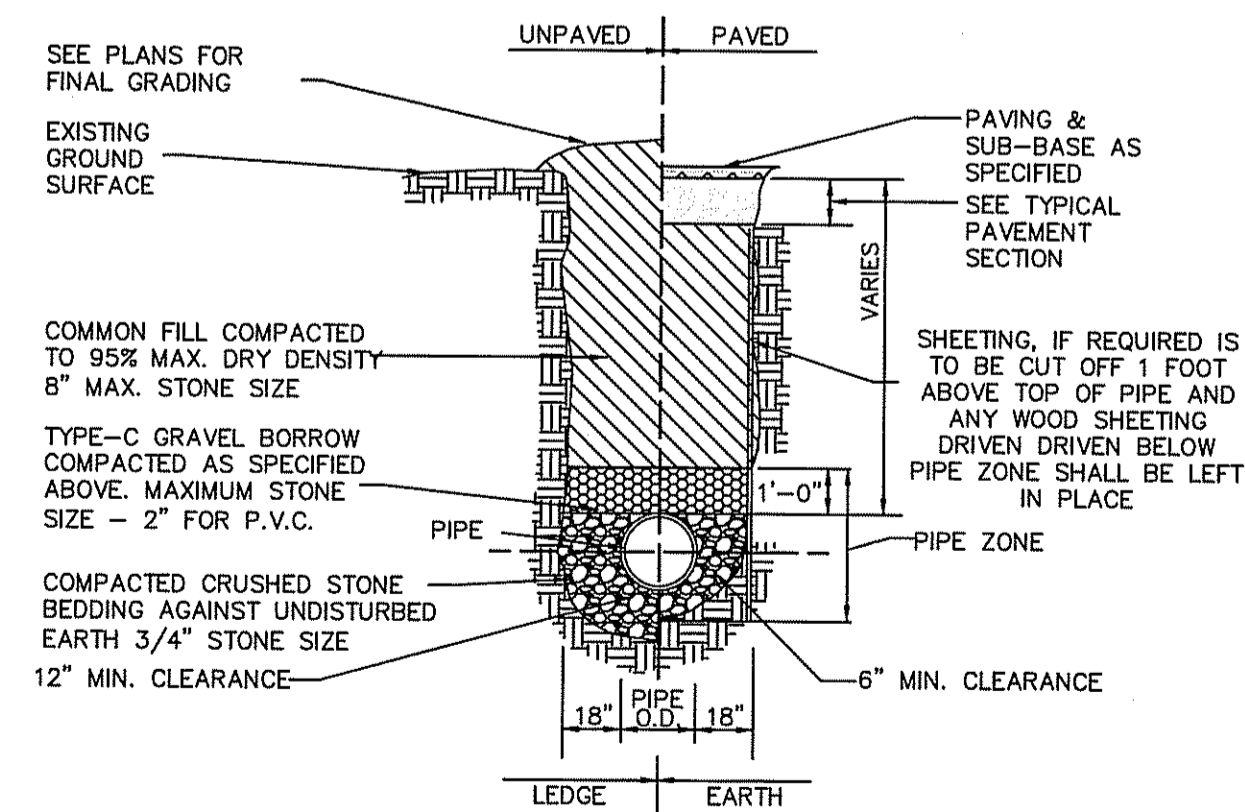
DRAIN MANHOLE DETAIL
Not to Scale

- NOTES:
1. SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING



CATCH BASIN WITH HOOD
Not to Scale

- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING



PIPE TRENCH DETAIL
Not to Scale

- NOTES:
1. TYPE C GRAVEL BORROW SHALL CONFORM TO D.P.W. SPECIFICATIONS
 2. CRUSHED STONE BEDDING SHALL CONFORM TO D.P.W. SPECIFICATIONS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 12 2017 FILE # 17-0025
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Matthew D. Wempe

PLANNING BOARD SIGNATURE BLOCK	
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE

Environmental Management
OCT 11 2017
Office of Water Resources

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REV	PER	DATE	DESCRIPTION
1	AJM	02/28/17	REVISED PER DEM REVIEW COMMENTS
2	AJM	07/31/17	BID CONSTRUCTION SET
3	AJM	10/02/17	REVISED PER REVIEW COMMENTS

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS

ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5633

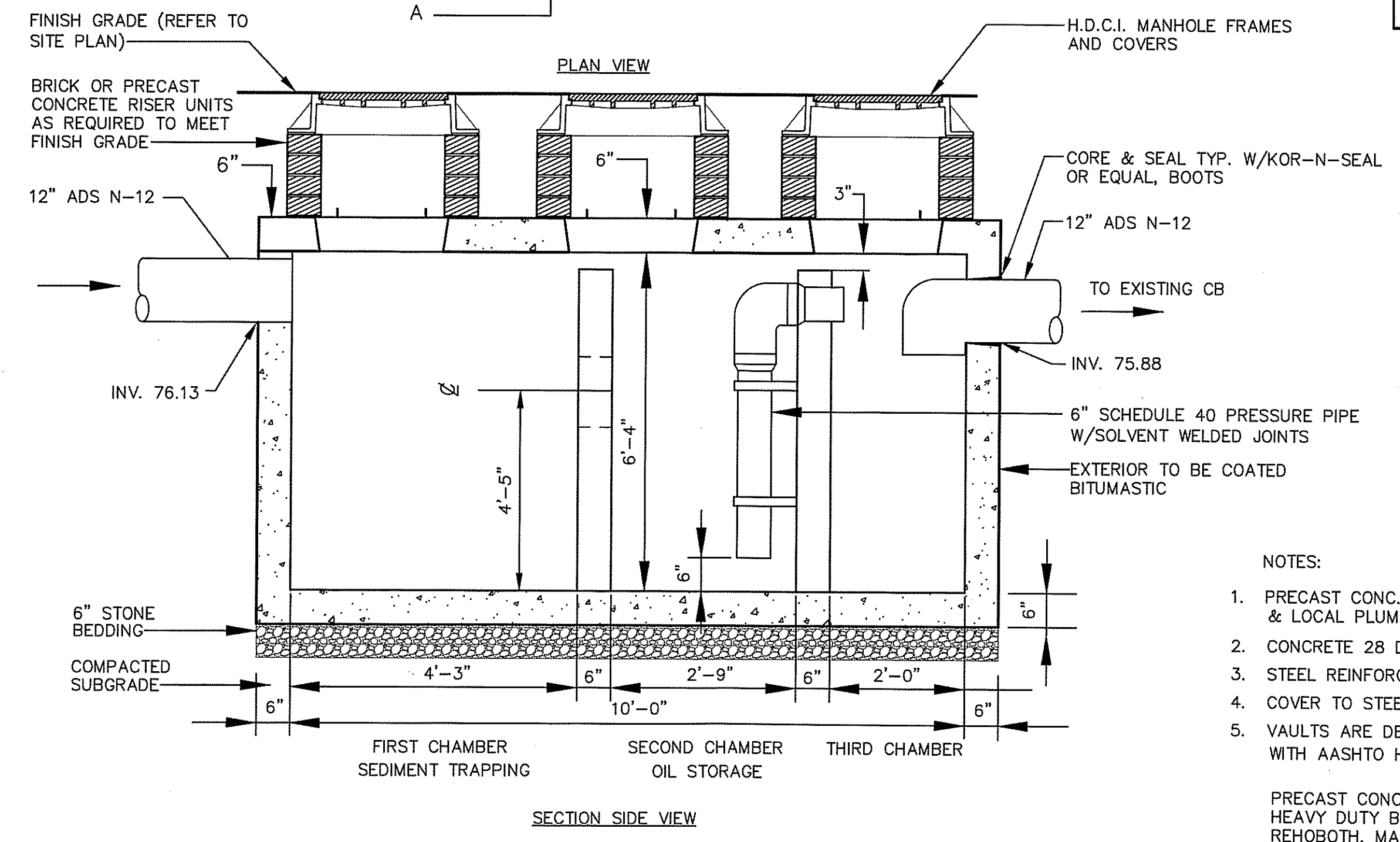
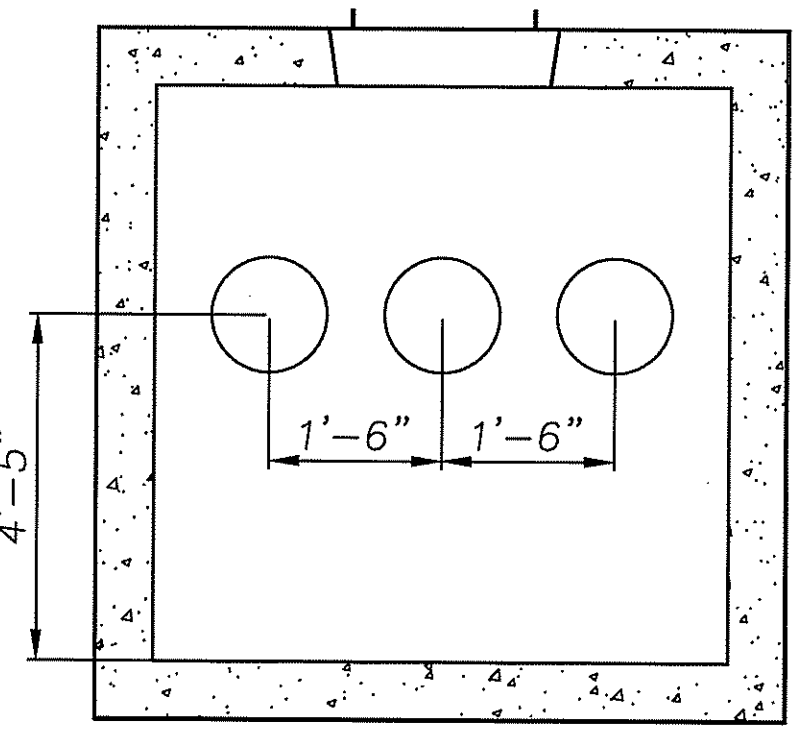
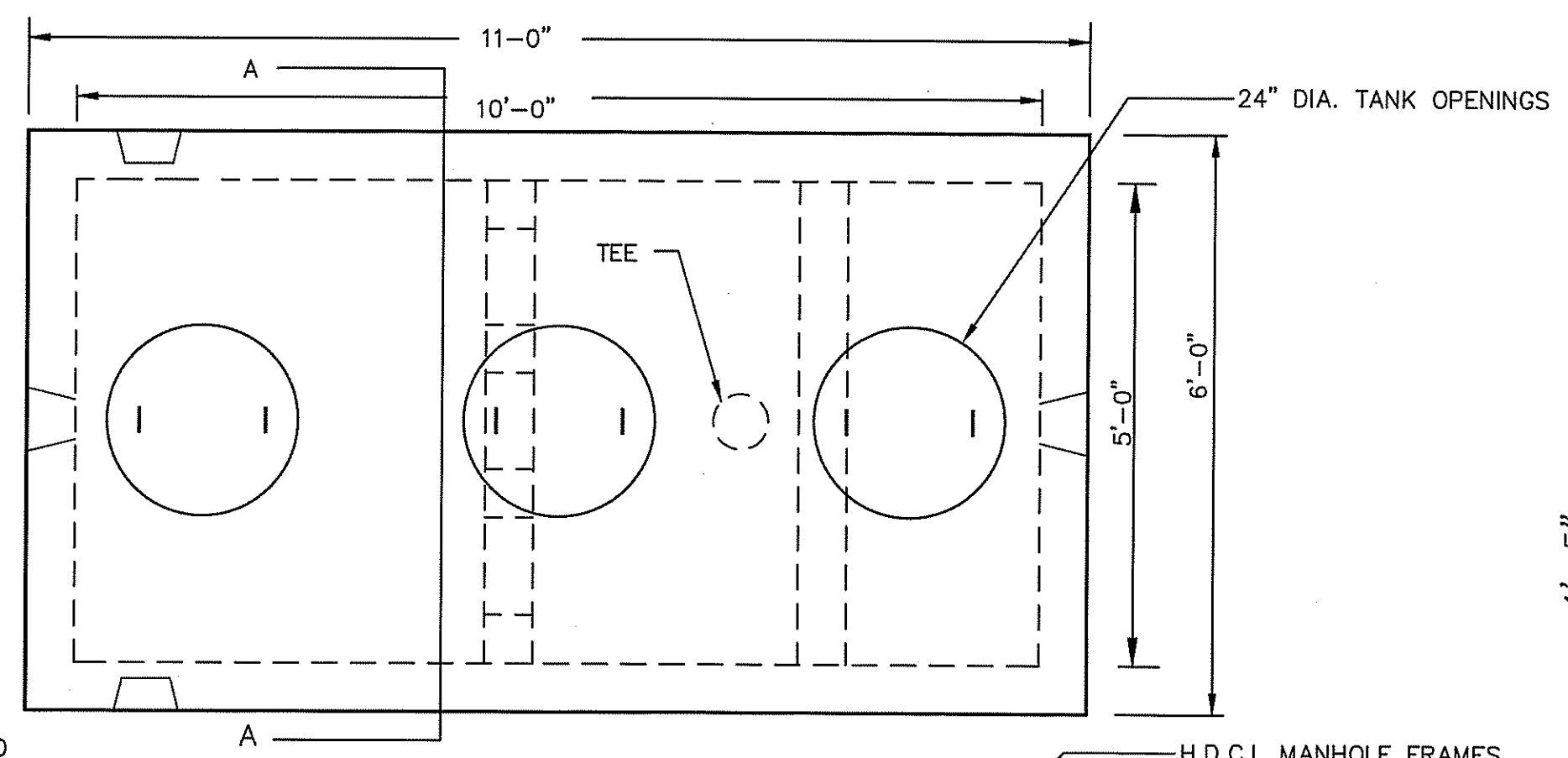
PROJECT
SEASONS CORNER MARKET
579 METACOM AVENUE BRISTOL, RI

PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE GRANSTON, RI

SHEET DESCRIPTION
SITE DETAIL SHEET

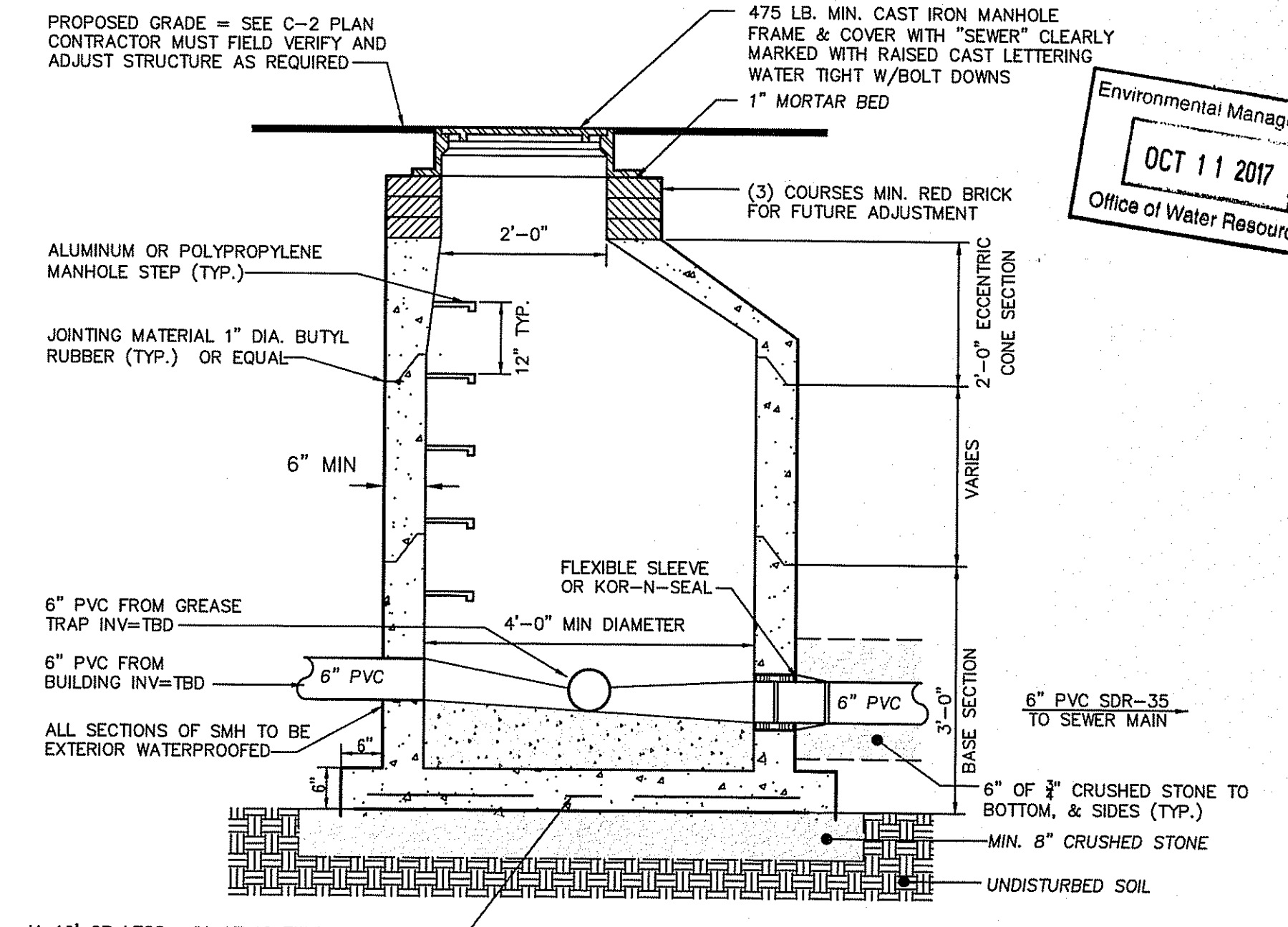
AYOUB ENGINEERING EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, INSPECTING, OBSERVING, OR SUPERVISING CONSTRUCTION SERVICES, OR THE MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION OR FOR JOB SITE SAFETY AND PROGRAMS FOR THE PROJECT DEFINED BY THE PLANS FOR WHICH THIS CERTIFICATION IS AFFIXED. AYOUB HAS NOT BEEN RETAINED FOR NOR SHALL IT HAVE ANY CONTROL OVER OR BE IN CHARGE OF ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OTHER AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

Environmental Management
OCT 11 2017
 Office of Water Resources



2,000 GALLON OIL/GRIT SEPARATOR (H-20)

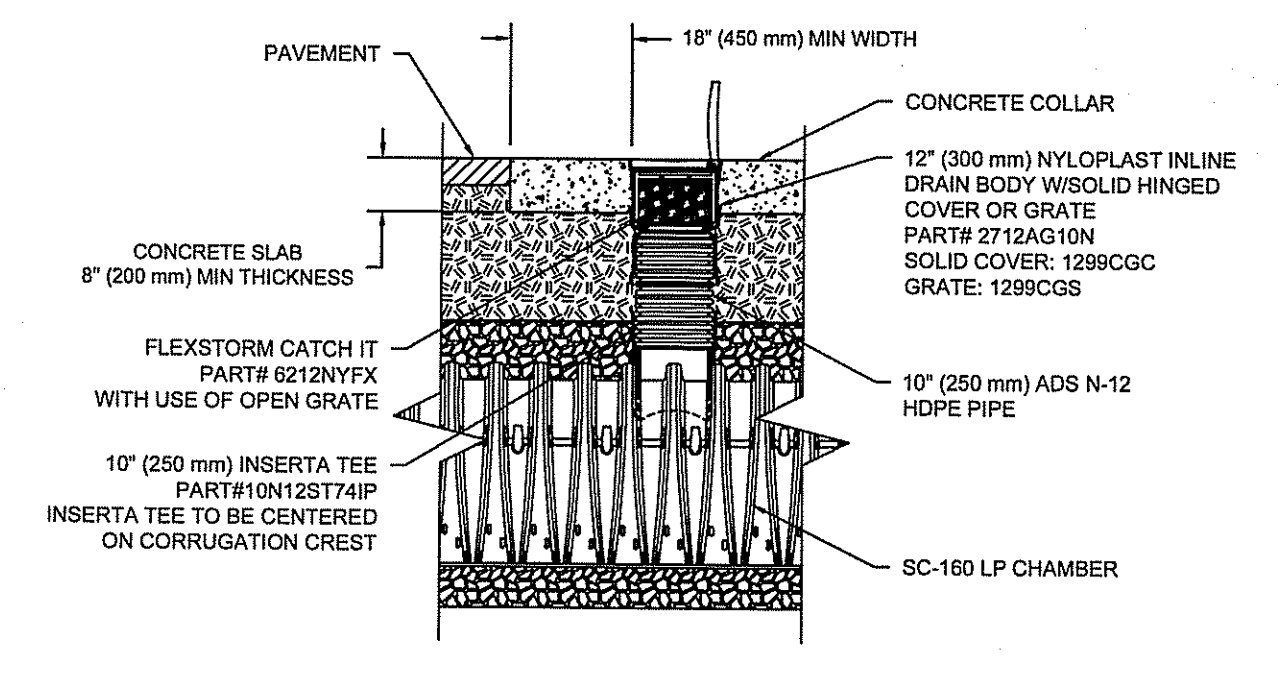
NOT TO SCALE



SEWER MANHOLE

Not to Scale

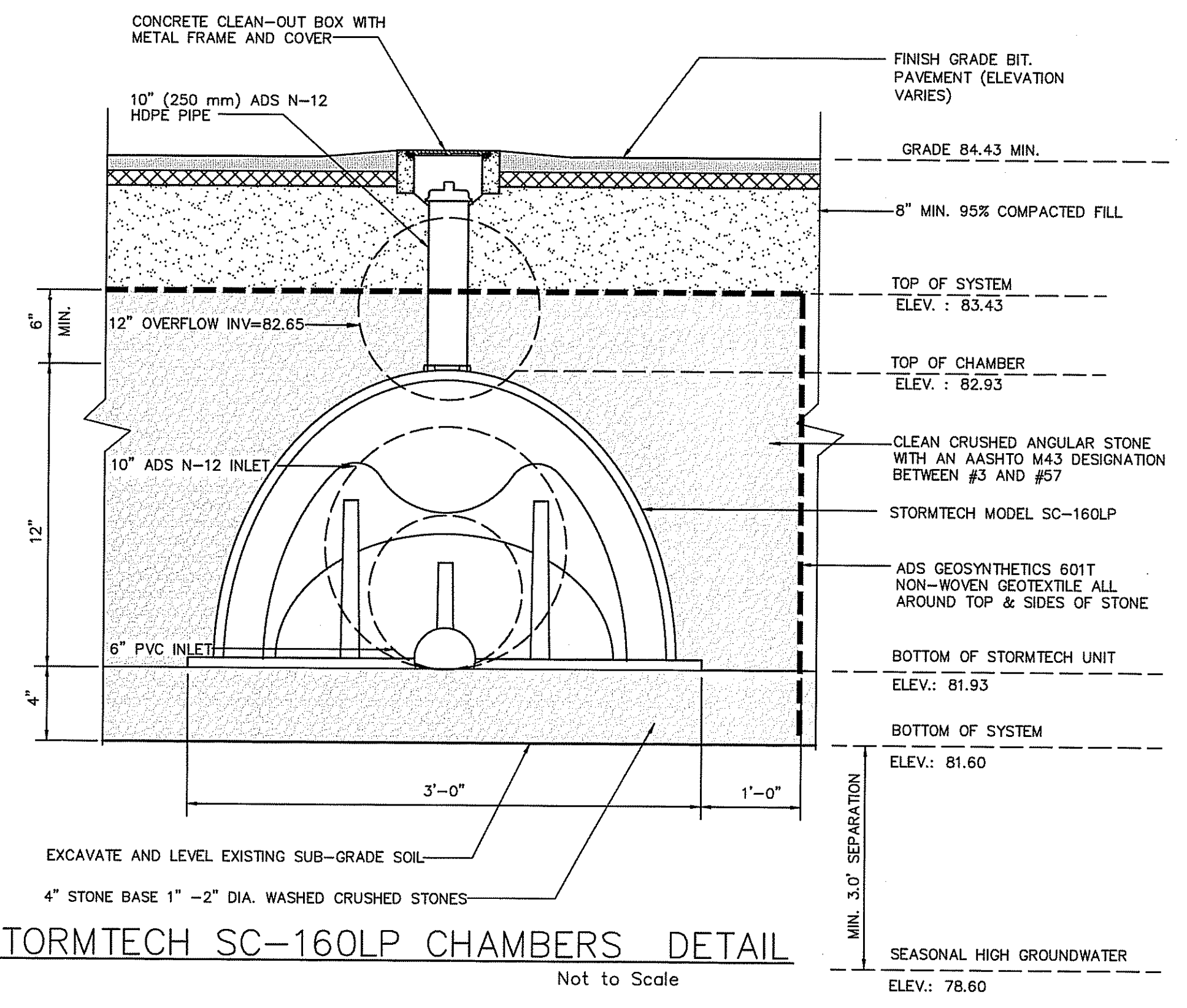
- NOTES:
- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY ENGINEER.
 - 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 - 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED
 - CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY ENGINEER.
 - STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING



STORMTECH CHAMBERS INSPECTION PORT DETAIL

Not to Scale

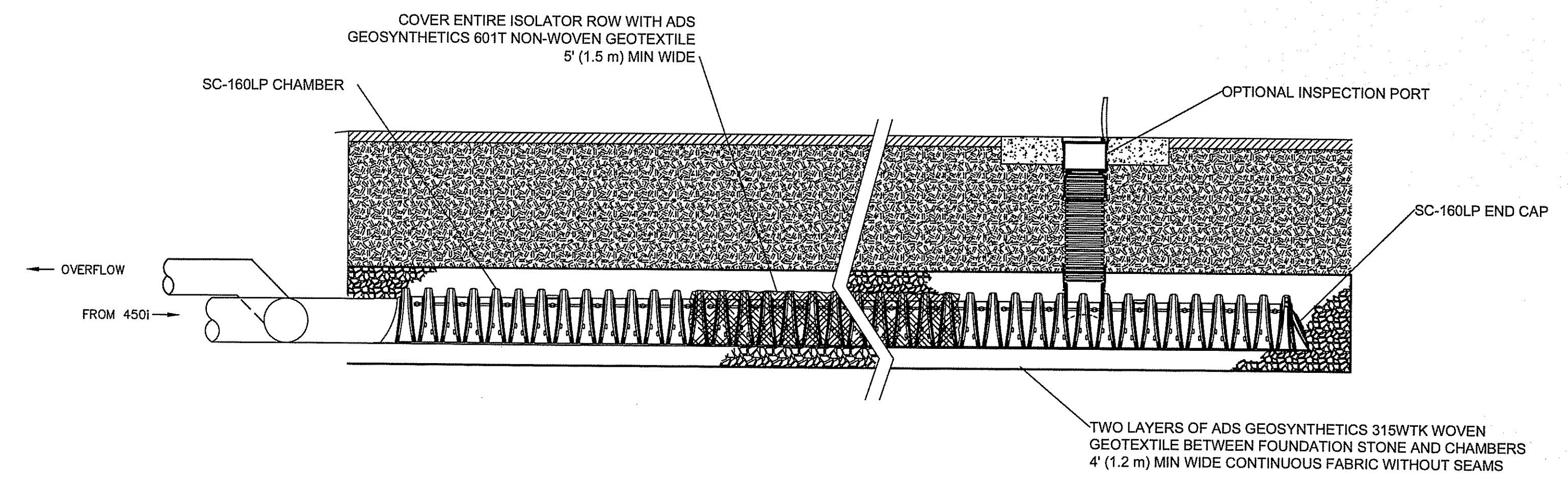
PLANNING BOARD SIGNATURE BLOCK	
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____
NAME _____	DATE _____



STORMTECH SC-160LP CHAMBERS DETAIL

Not to Scale

STORMTECH MODEL SC-160LP CHAMBERS FOR INFILTRATION SYSTEM
 CONFIGURATION SEE SITE PLAN



STORMTECH CHAMBERS SIDE DETAIL

Not to Scale

STORMTECH MODEL SC-160LP CHAMBERS FOR INFILTRATION SYSTEM
 CONFIGURATION SEE SITE PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED **OCT 12 2017** FILE # **17-0095**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REV	PER	DATE	DESCRIPTION
1	AJM	6/28/17	REVISED PER DOT & DEM REVIEW COMMENTS
2	AJM	07/31/17	BID CONSTRUCTION SET
3	AJM	10/02/17	REVISED PER REVIEW COMMENTS

AYOUB ENGINEERING
 ENGINEERS & ARCHITECTS

ADDRESS:
 414 BENEFIT STREET
 PAWTUCKET, RHODE ISLAND 02861
 401-728-5533

PROJECT
SEASONS CORNER MARKET
 579 METACOM AVENUE BRISTOL, RI

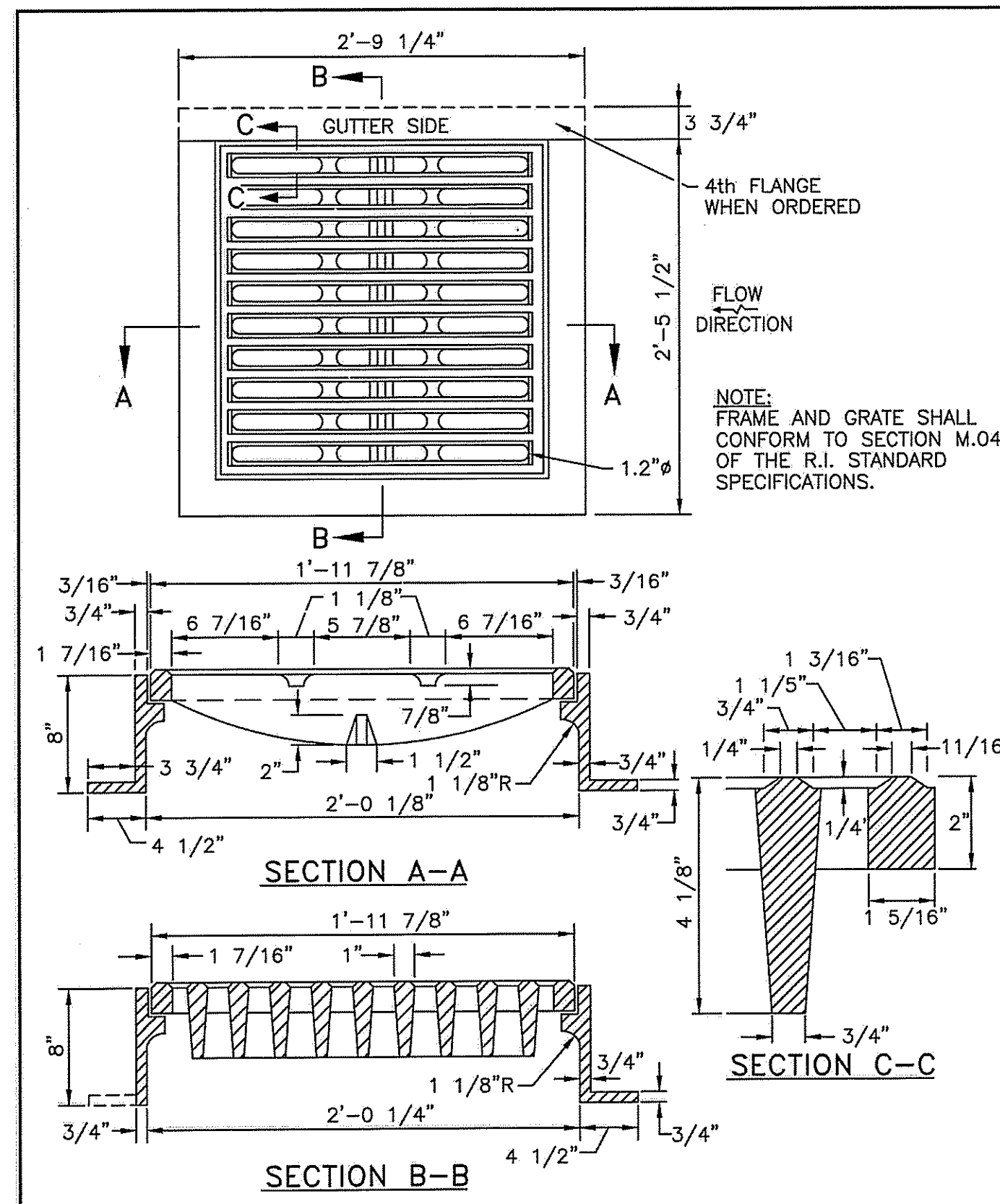
PREPARED FOR
COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION
SITE DETAIL SHEET

PROJECT NO.	S724.214	SHEET NO.	
SCALE:	AS NOTED		
DRAWN BY:	FAL		
DATE:	3/25/16		

SD-4
 SHEET 13 OF 14

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RHODE ISLAND DEPARTMENT OF TRANSPORTATION

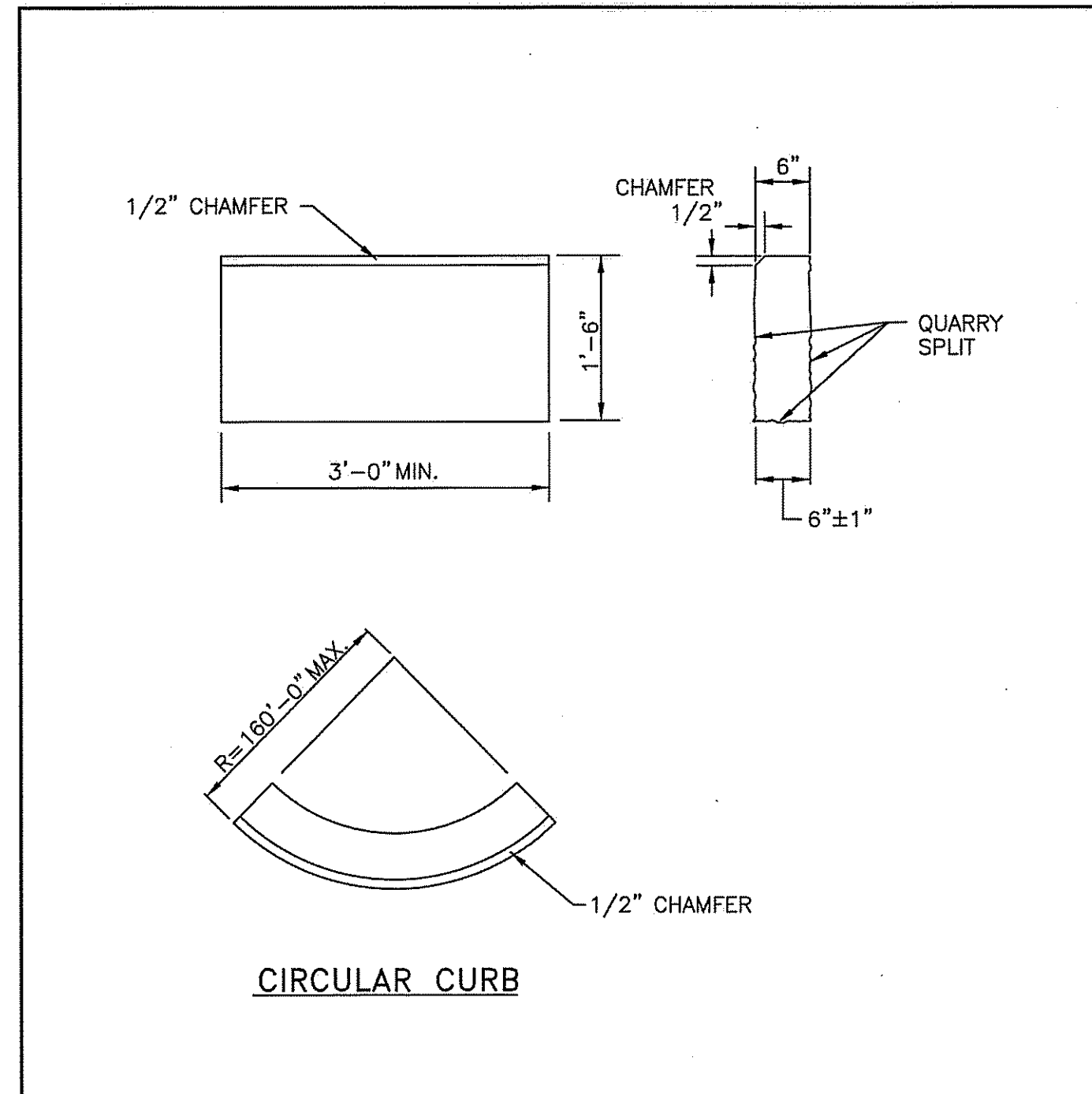
SQUARE FRAME AND GRATE (BICYCLE SAFE)

REVISIONS: 1 MLP 7/21/06

DESIGNED BY: *James L. Capaldi* (R.I. STANDARD 6.3.2)

CHIEF DESIGN ENGINEER: *Edward P. Ralston*

DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

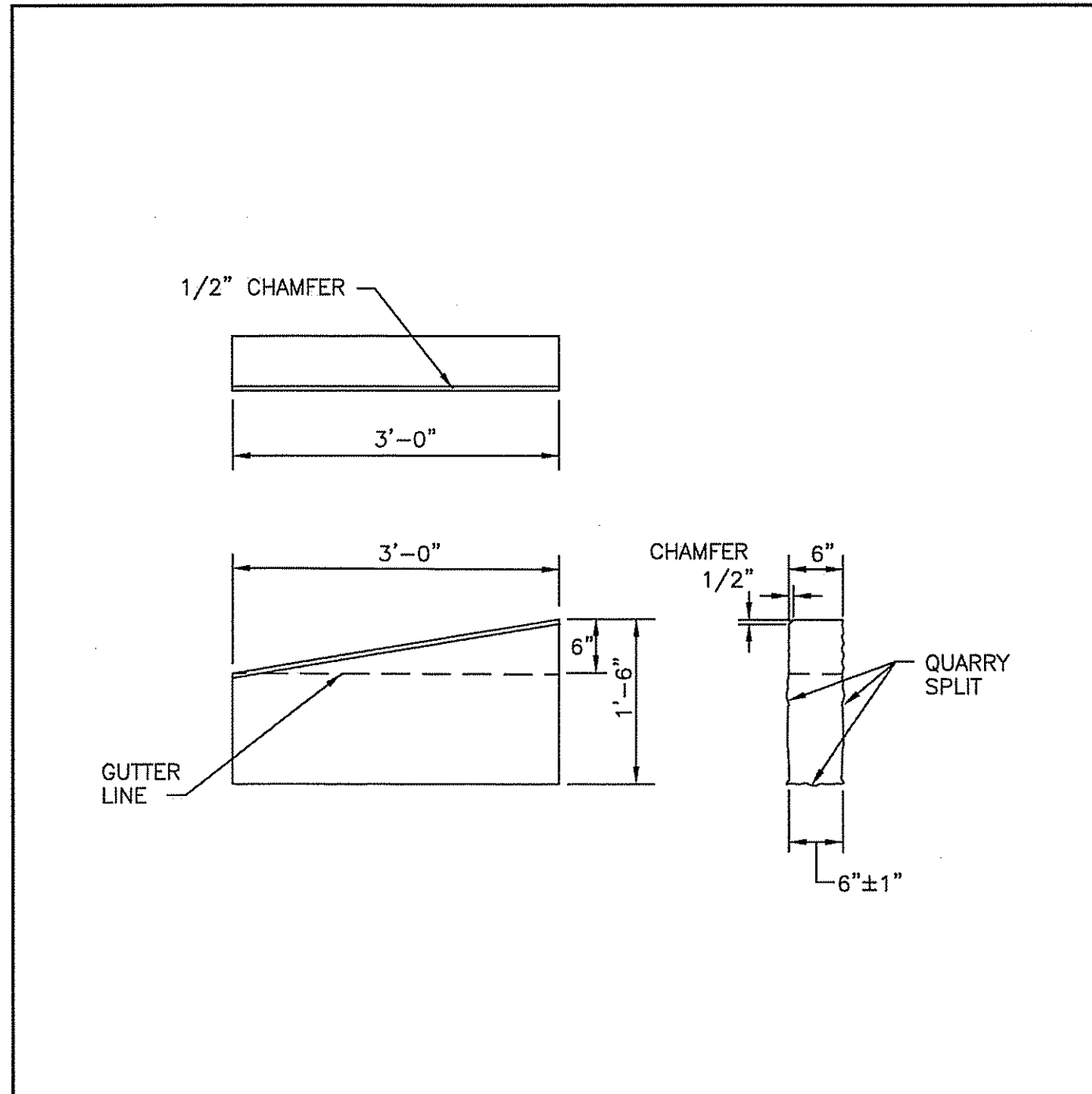
GRANITE CURB

REVISIONS: 1 MLP Mar 2005, 2 MLP Sep 2012

DESIGNED BY: *James L. Capaldi* (R.I. STANDARD 7.3.0)

CHIEF DESIGN ENGINEER: *Edward P. Ralston*

DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

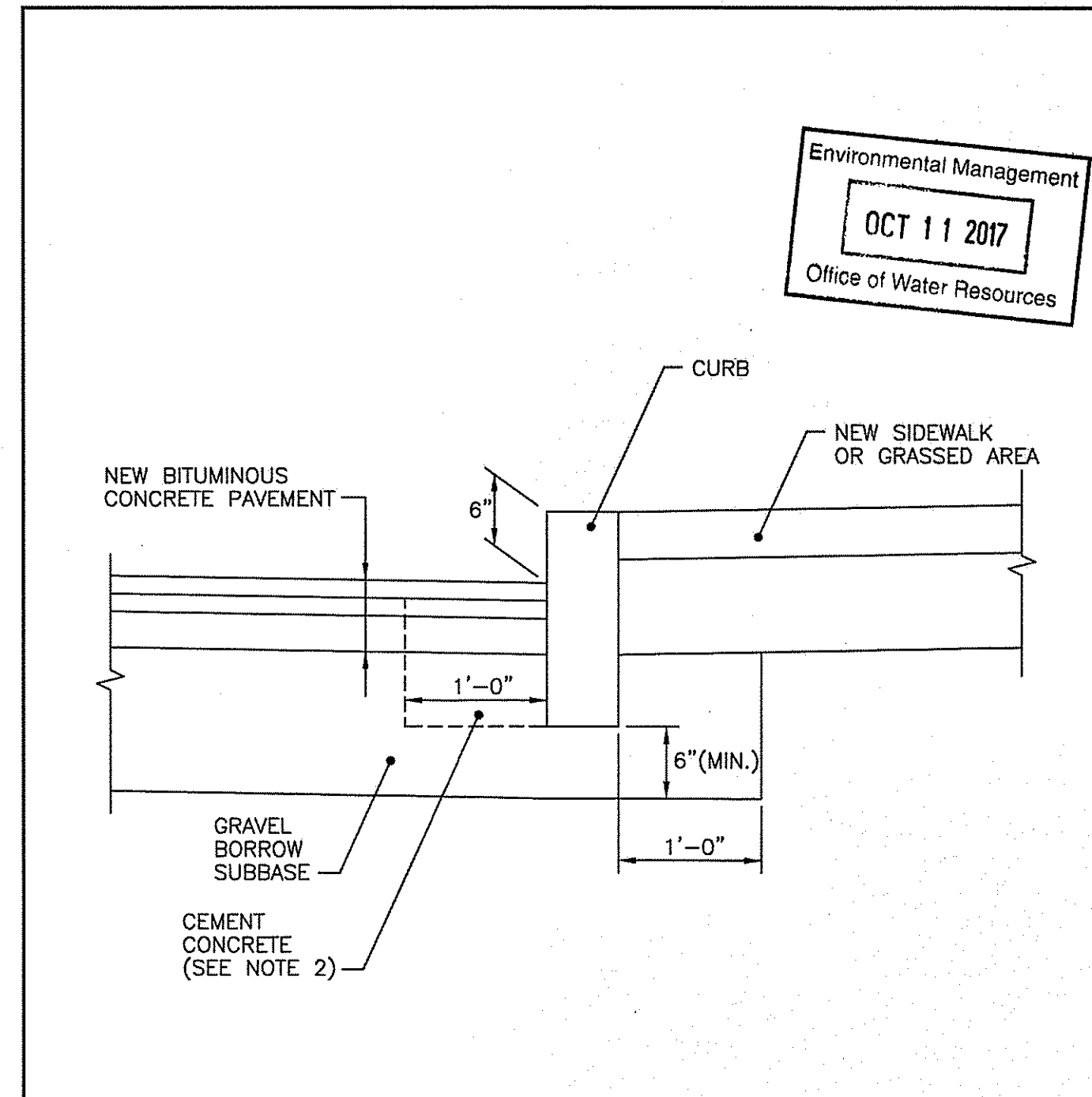
3'-0" GRANITE TRANSITION CURB

REVISIONS: 1 MLP Mar 2005, 2 MLP Jun 2010, 3 MLP Sep 2012

DESIGNED BY: *James L. Capaldi* (R.I. STANDARD 7.3.1)

CHIEF DESIGN ENGINEER: *Edward P. Ralston*

DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CURB SETTING DETAIL

REVISIONS: 1 MLP Mar 05

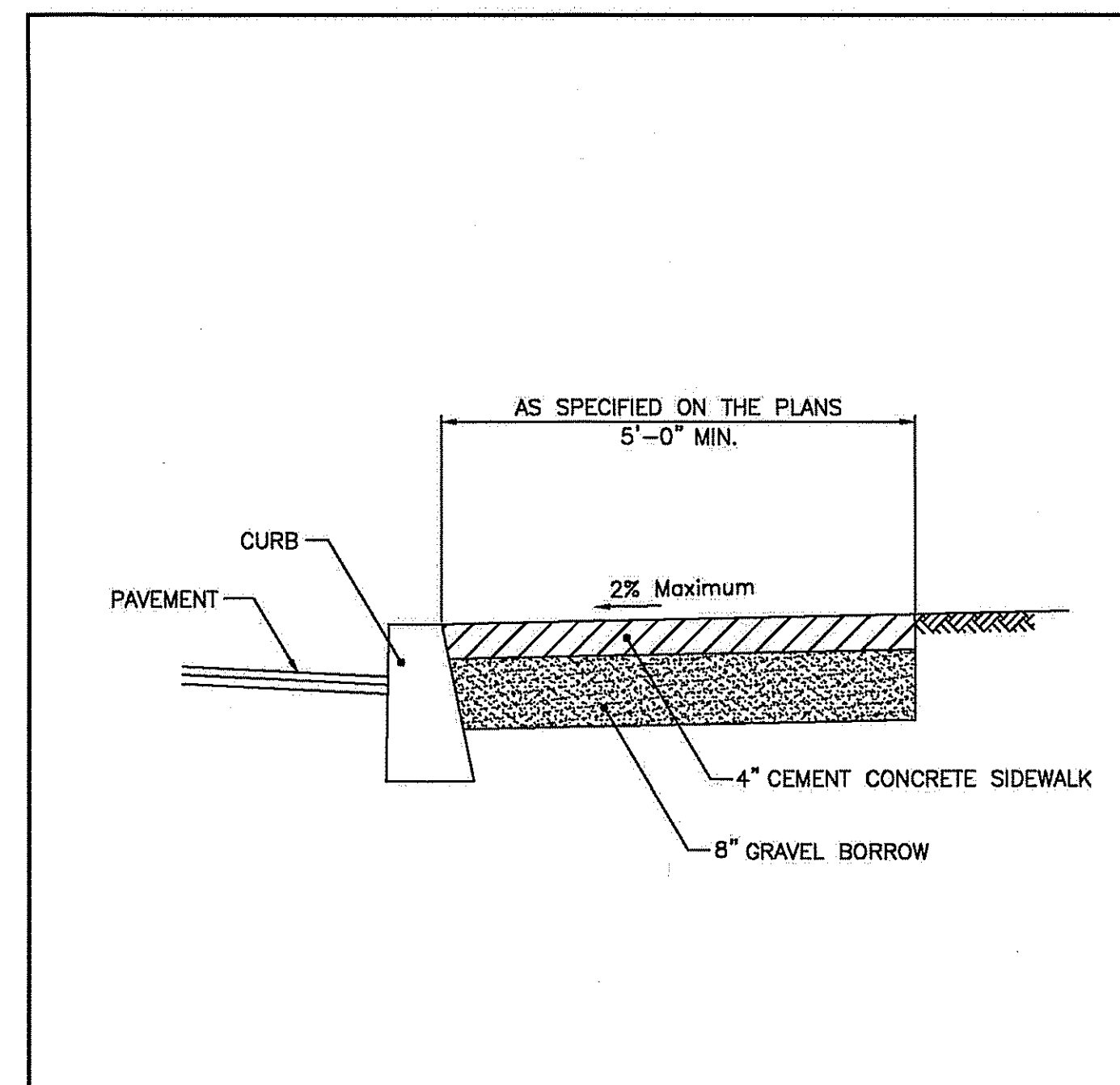
DESIGNED BY: *James L. Capaldi* (R.I. STANDARD 7.6.0)

CHIEF DESIGN ENGINEER: *Edward P. Ralston*

DATE: JUNE 15, 1998

Environmental Management
OCT 11 2017
Office of Water Resources

REV. NO.	BY	DATE	DESCRIPTION
1	AJM	06/28/07	ADDED DETAIL 6.3.2 PER RIDOT REVIEW COMMENTS
2	AJM	07/31/17	BID CONSTRUCTION SET
3	AJM	08/23/17	ADDED LINK TO RIDOT STANDARD DETAILS PER DOT COMMENTS



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

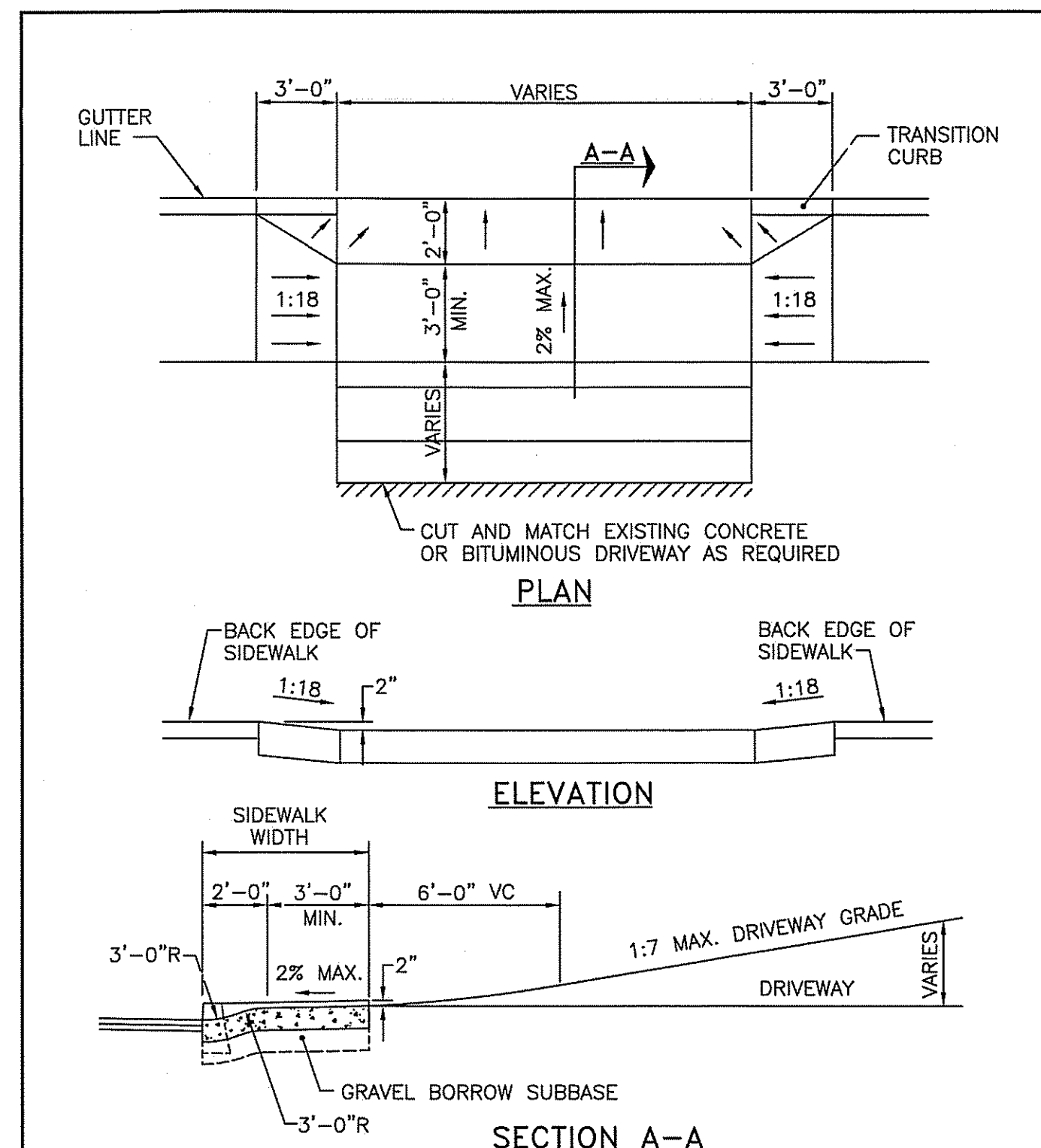
CEMENT CONCRETE SIDEWALK

REVISIONS: 1 MLP 3/17/05, 2 MLP 06/01/10

DESIGNED BY: *James L. Capaldi* (R.I. STANDARD 43.1.0)

CHIEF DESIGN ENGINEER: *Edward P. Ralston*

DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

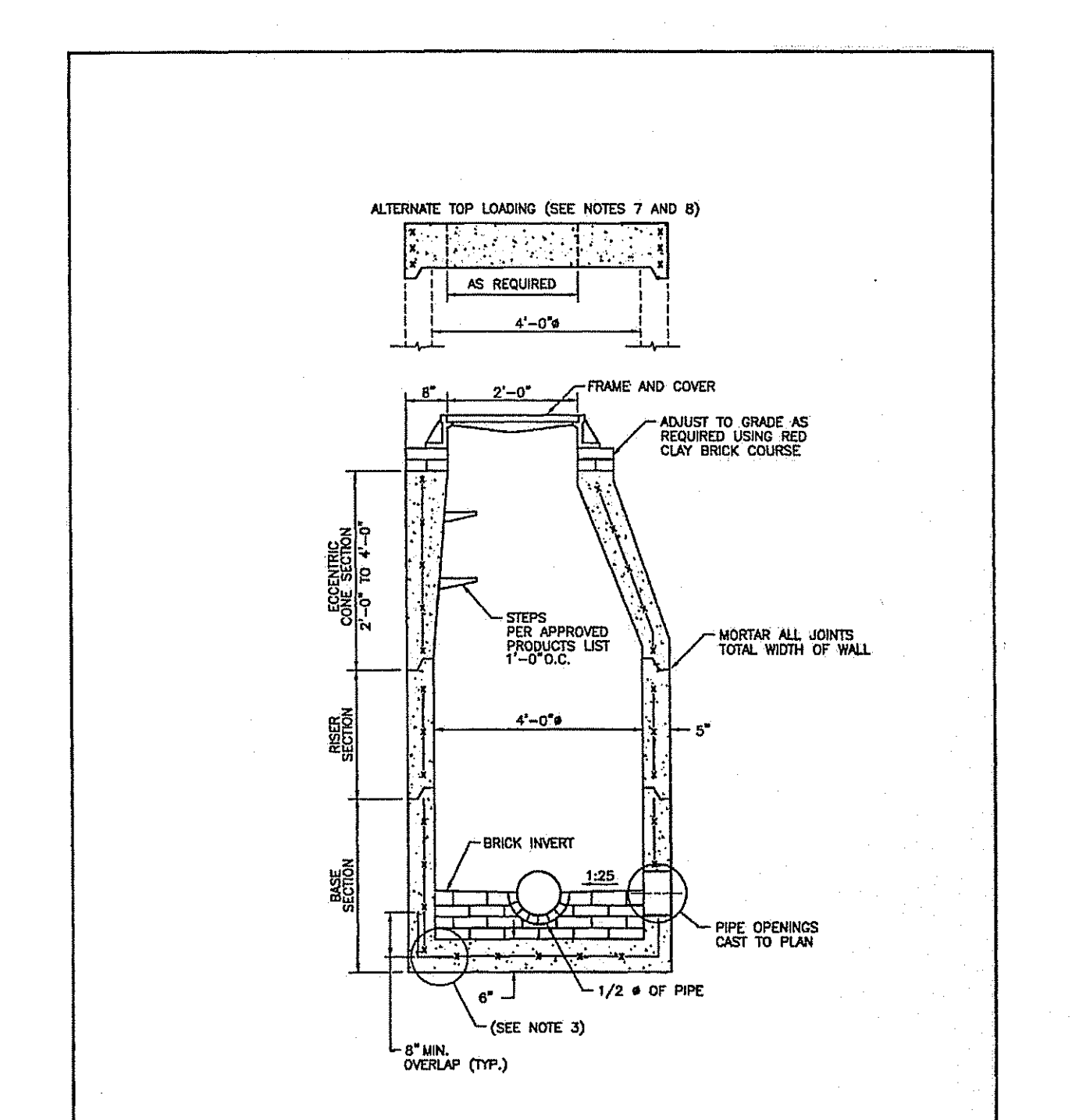
DRIVEWAY DEVELOPMENT FOR 3'-0" TRANSITION CURB

REVISIONS: 1 MLP 3/01/05, 2 MLP 6/27/08, 3 MLP 6/01/10

DESIGNED BY: *James L. Capaldi* (R.I. STANDARD 43.4.0)

CHIEF DESIGN ENGINEER: *Edward P. Ralston*

DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PRECAST 4'-0" ROUND MANHOLE

REVISIONS: 1 MLP 6/27/08, 2 MLP 6/01/10

DESIGNED BY: *James L. Capaldi* (R.I. STANDARD 42.4.0)

CHIEF DESIGN ENGINEER: *Edward P. Ralston*

DATE: JUNE 15, 1998

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 12 2017 FILE # 17-0035
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James D. Wenczek

AYOUB ENGINEERING
ENGINEERS & ARCHITECTS
ADDRESS:
414 BENEFIT STREET
PAWTUCKET, RHODE ISLAND 02861
401-728-5533

PROJECT: SEASONS CORNER MARKET
579 METACOM AVENUE BRISTOL, RI

PREPARED FOR: COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI

SHEET DESCRIPTION: RI STANDARD DETAILS SHEET

PROJECT NO. 5724.214 SHEET NO. SD-5
SCALE: AS NOTED SHEET 14 OF 14
DRAWN BY: RCD
DATE: 1/19/17

ADDITIONAL RIDOT STD. DETAILS 7.3.3, 7.3.9, 43.3.0, 43.5.0 & 48.1.0 CAN BE FOUND AT:
HTTP://WWW.DOT.RI.GOV/DOCUMENTS/DOINGBUSINESS/RIDOT_STD_DETAILS.PDF