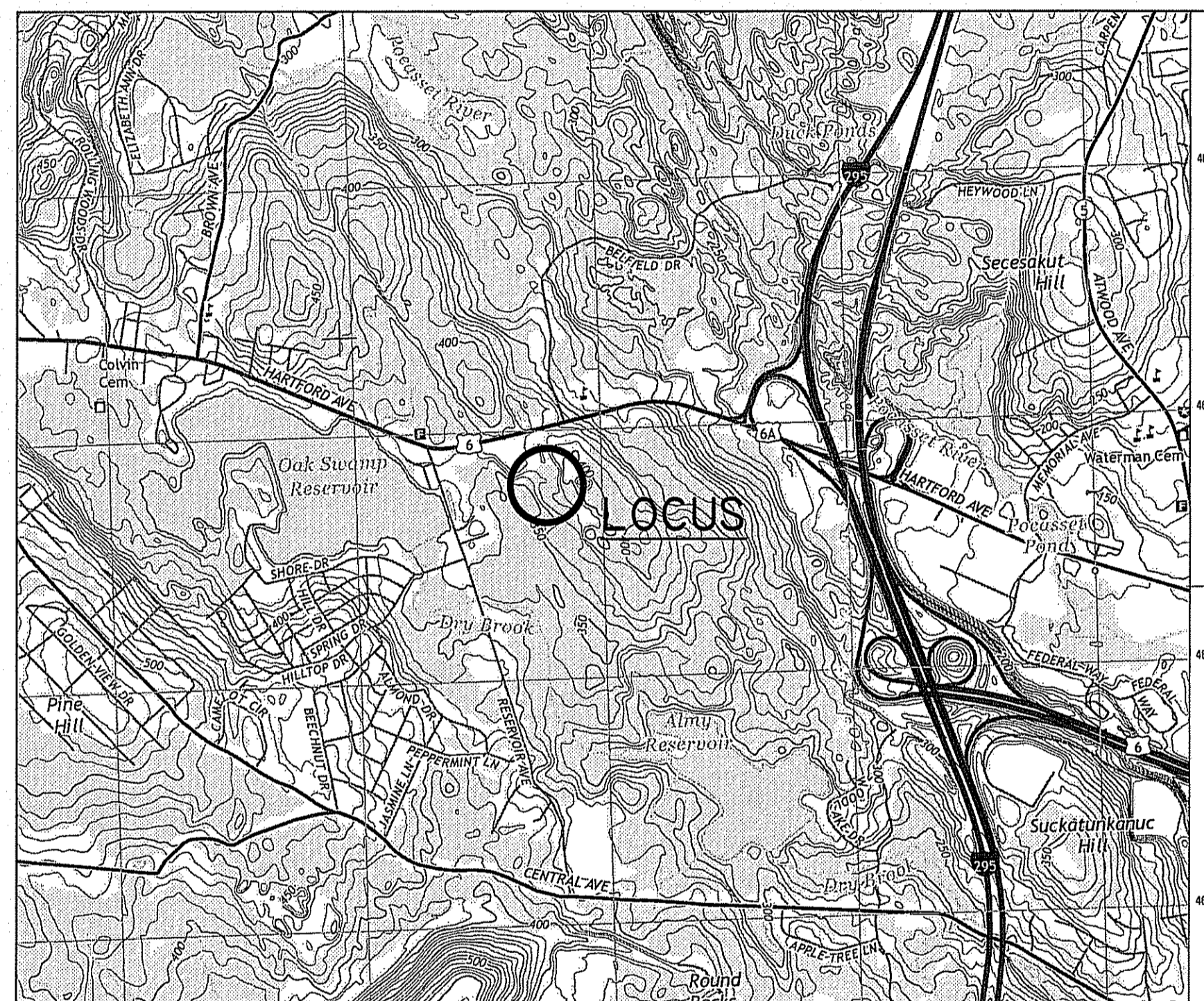


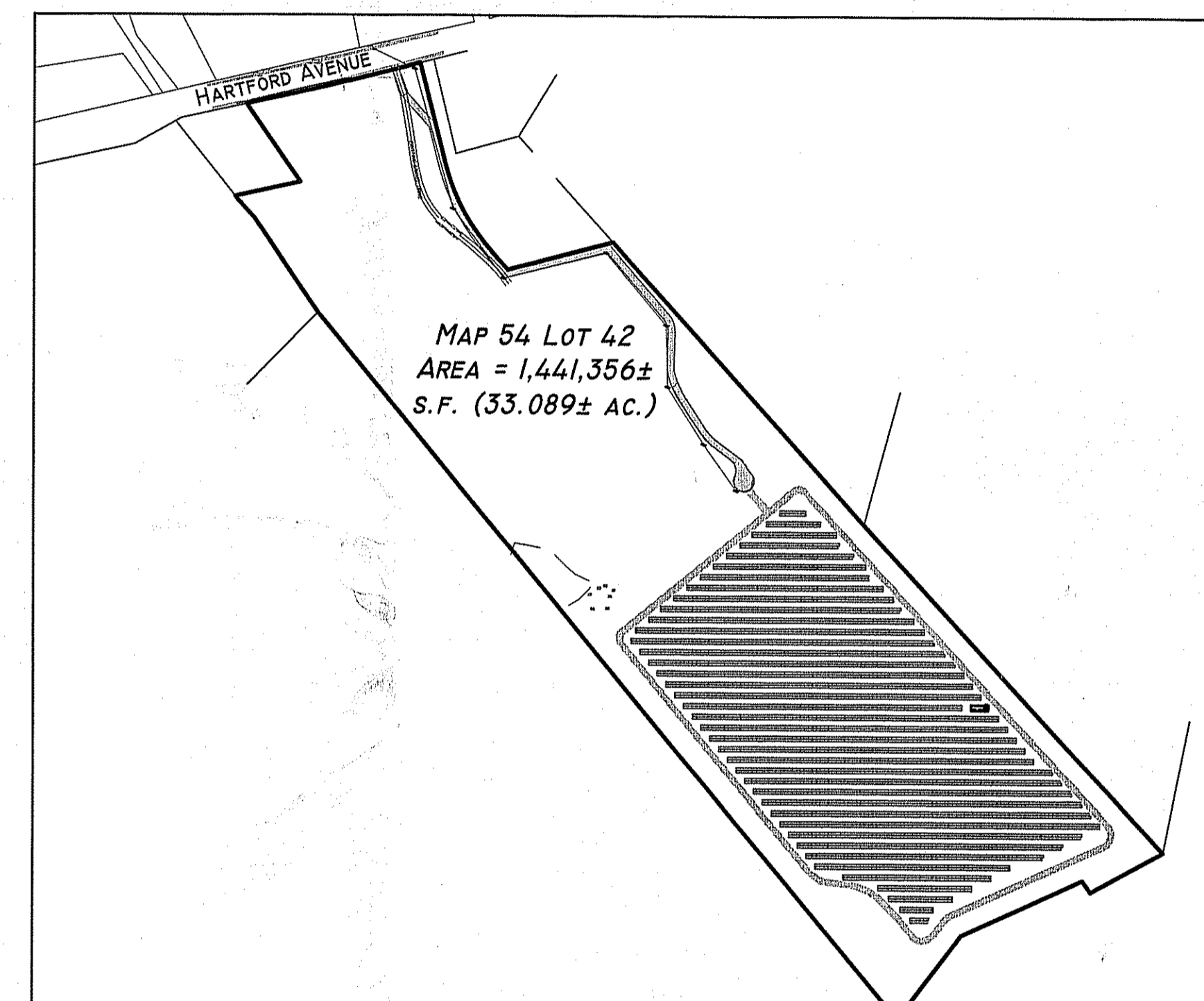
Site Plan of "ALTUS POWER AMERICA SOLAR ARRAY" in Johnston, Rhode Island Date: March 30, 2017

Index Of Drawings

| Sheet Number | Description |
|--------------|-----------------------------|
| 1 | Cover & Index Sheet |
| 2 | Existing Conditions Plan |
| 3 | Layout Plan |
| 4 | Grading Plan |
| 5 | Erosion Control Plan |
| 6 | Details & Notes Sheet No. 1 |
| 7 | Detail Sheet No. 2 |



LOCATION MAP
NTS



SITE MAP
SCALE 1" = 300'

GENERAL NOTES & REFERENCES

- SITE IS DELINEATED AS LOT 42 ON JOHNSTON ASSESSORS MAP 54.
- OWNER OF LOCUS: DOMINIC CASSISI
BOOK 1109 PAGE 143 (NOVEMBER 15, 2002)
- WETLANDS DELINEATION BY NATURAL RESOURCE SERVICES, INC.
- SITE IS LOCATED IN ZONING DISTRICT B-3.
DIMENSIONAL REQUIREMENTS:
FRONT YARD 100'
SIDE YARD 150'
REAR YARD 200'
LOT COVERAGE 40%
- ELEVATIONS BASED ON NAVD88 DATUM.
- PLAN REFERENCES:
PLAT CARD 117 "MAP OF THE WM. SMITH ESTATE IN JOHNSTON" BY J.A. LATHAM DATED APRIL 1897.

PLAT CARD 119 "PROPERTY IN JOHNSTON R.I. BELONGING TO MICHAEL DILULLO JUNE 1946" BY HAROLD V. BOWEN.

PLAN BOOK 3 PAGE 192 "ADMINISTRATIVE SUBDIVISION FINAL PLAN - RECORD PLAN PROPERTY LINE PLAN ASSESSORS PLAT 54 LOTS 43, 53, 79 & 97 - FOR SANDMOR REALTY, LLC AND ZAREMBA GROUP, LLC" BY VHB, INC. DATED NOV. 15, 2005.

RIDOT PLAT #305

UNRECORDED PLAN "BOUNDARY SURVEY 2165 HARTFORD AVENUE PLAT 54 LOT 42 JOHNSTON R.I." BY GEISSER ENGINEERING CORP. DATED 7/03/2003. (SUPPLIED BY OWNER)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC 7 2017 FILE # 12-013
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James H. Harker

Environmental Management
NOV - 8 2017
Office of Water Resources

TOWN OF JOHNSTON
JOHNSTON PLANNING BOARD

DATE APPROVED: _____

| REVISION | DATE | COMMENTS |
|----------|----------|----------------|
| 1 | 8/30/17 | RIDEM COMMENTS |
| 2 | 10/24/17 | RIDEM COMMENTS |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

COVER AND INDEX SHEET

PROFESSIONAL SEALS

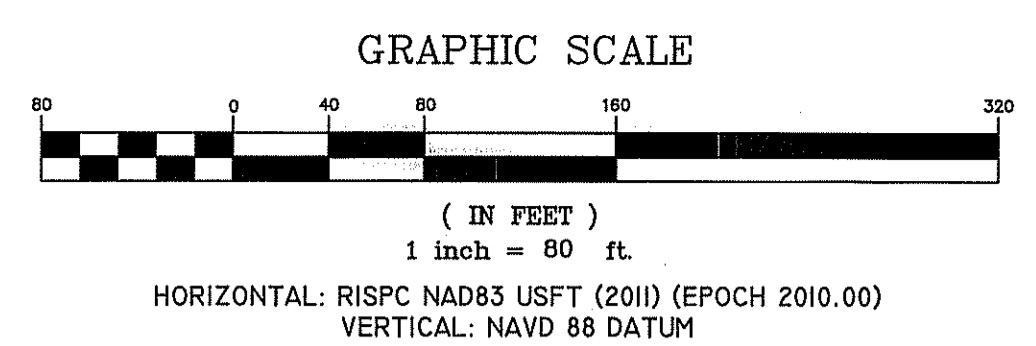
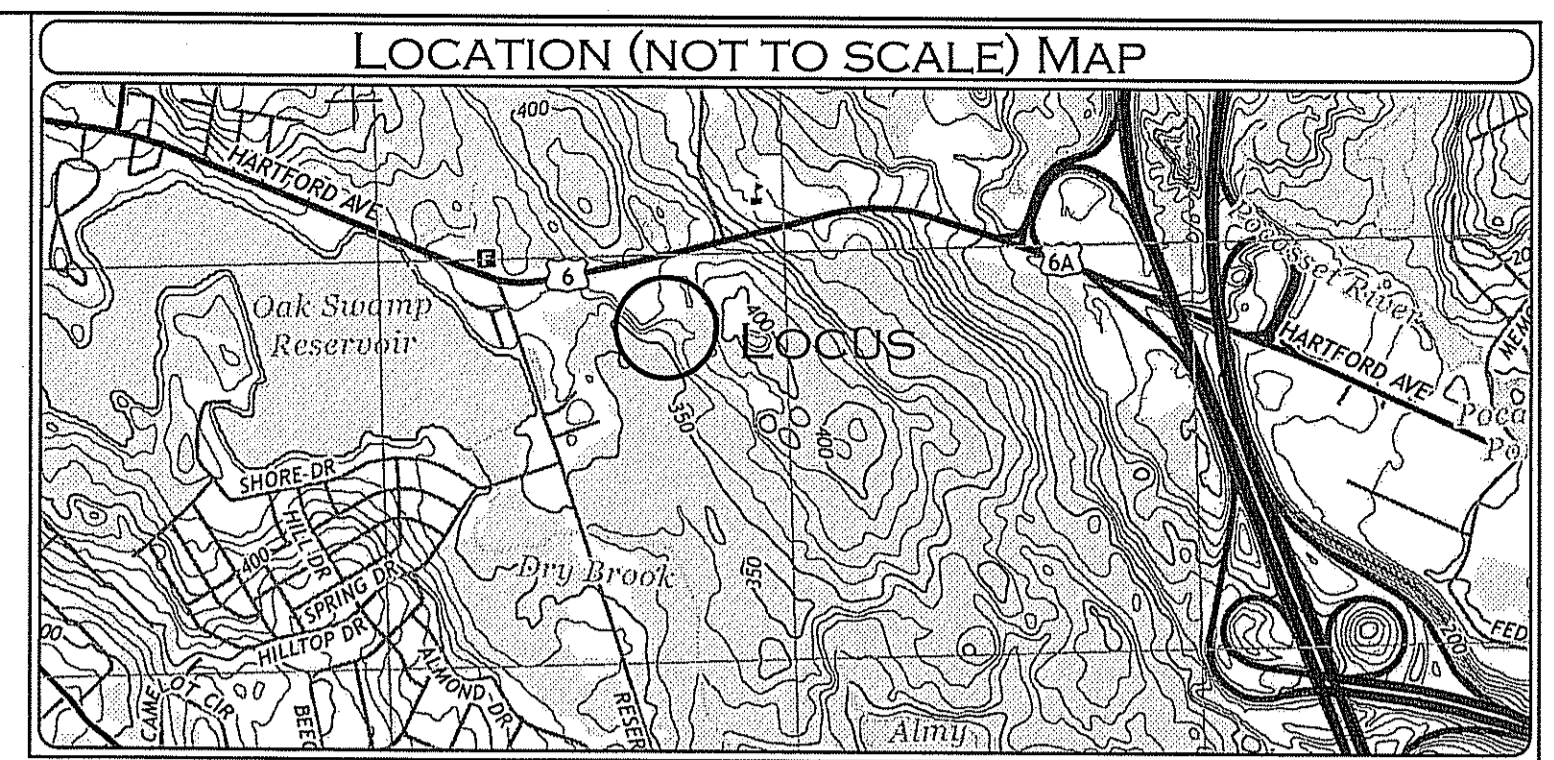
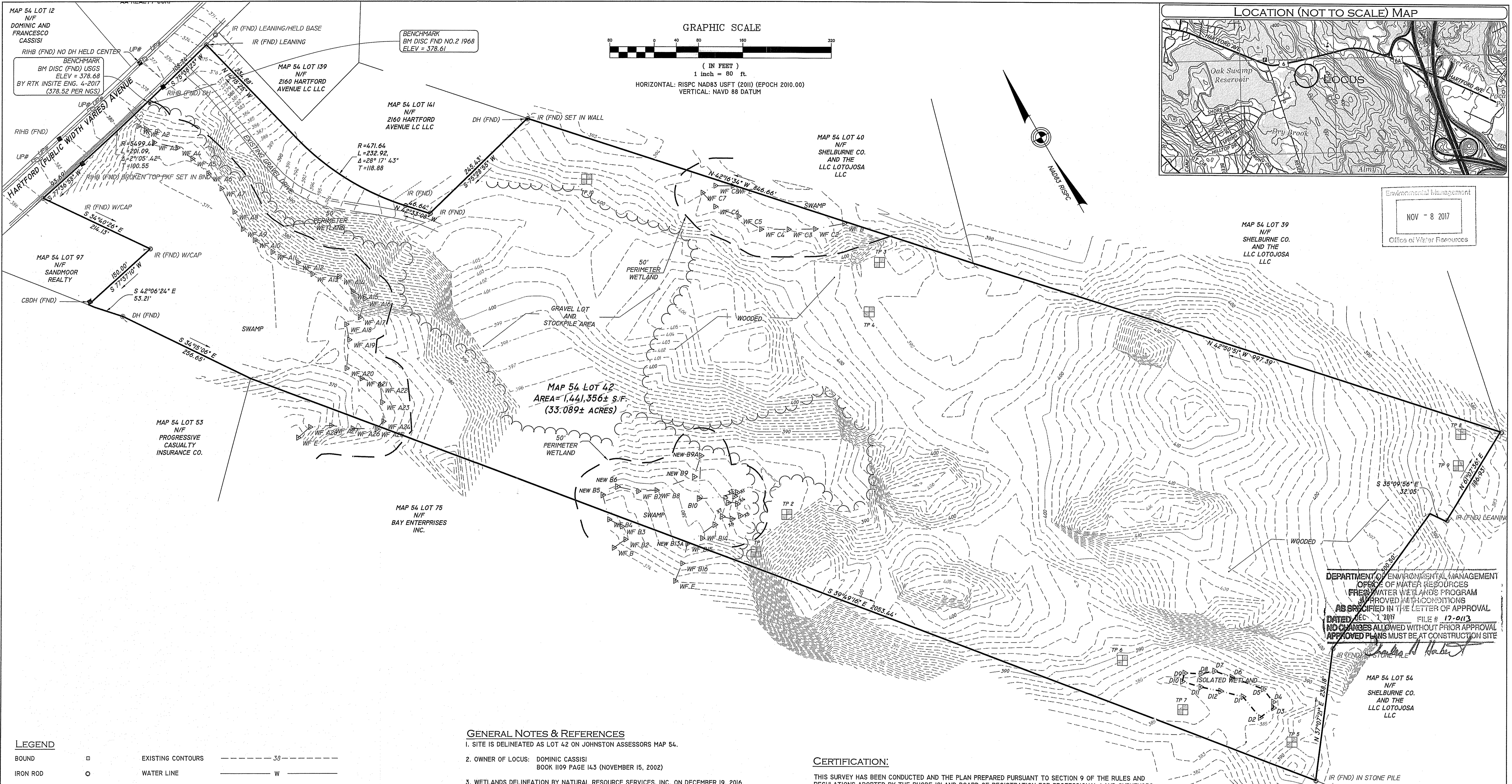
COVER SHEET
"ALTUS POWER AMERICA SOLAR ARRAY"

| | | |
|---|--------------------|--|
| EDWARD J. O'BRIEN No. 1926 PROFESSIONAL LAND SURVEYOR 11-07-2017 PROFESSIONAL SEAL | | LOCATION: HARTFORD AVENUE, JOHNSTON R.I. ASSESSORS MAP 54 LOT 42 |
| APPLICANT: ALTUS POWER AMERICA 102 GREENWICH AVENUE, GREENWICH CT. 06830 | | OWNER: DOMINIC AND FRANCESCO CASSISI 31 OAKDALE AVENUE, JOHNSTON R.I. 02919 |
| JOB # 09-014 | SCALE: AS-NOTED | DRAWN BY: SCA |
| DATE: 04-28-2017 REVISED: Nov. 7, 2017 DEM / DRAINAGE MODIFICATIONS | | SHEET 1 OF 7 |

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
 1539 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InSiteEngineers.com

L:\14 Hartford Ave Johnston R.I. Cassisi\09-014 SITE PLAN_005.dwg, 11/07/2017 9:34:16 AM, DWG TO PDF.P3



Environmental Management
NOV - 8 2017
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC 7 2017 FILE # 17-0113
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

LEGEND

| | | | |
|-----------------|---|-----------------------|-----------------------|
| BOUND | □ | EXISTING CONTOURS | ----- 30' |
| IRON ROD | ○ | WATER LINE | _____ W _____ |
| DRILL HOLE | ⊙ | GAS LINE | _____ G _____ |
| RR SPIKE | ⊙ | OVERHEAD WIRES | _____ OHW _____ |
| DRAIN MANHOLE | ⊙ | UNDERGROUND UTILITIES | _____ U _____ U _____ |
| CATCH BASIN | ⊙ | SEWER MAIN | _____ S _____ |
| SEWER MANHOLE | ⊙ | STONE WALL | _____ |
| GAS VALVE | ⊙ | WETLANDS | ----- |
| UTILITY POLE | ⊙ | | |
| HYDRANT | ⊙ | | |
| WATER VALVE | ⊙ | | |
| WATER SHUTOFF | ⊙ | | |
| BOLLARD | ⊙ | | |
| MONITORING WELL | ⊙ | | |
| LIGHT POLE | ⊙ | | |

GENERAL NOTES & REFERENCES

- SITE IS DELINEATED AS LOT 42 ON JOHNSTON ASSESSORS MAP 54.
- OWNER OF LOCUS: DOMINIC CASSISI
BOOK 1109 PAGE 143 (NOVEMBER 15, 2002)
- WETLANDS DELINEATION BY NATURAL RESOURCE SERVICES, INC. ON DECEMBER 19, 2016.
- SITE IS LOCATED IN ZONING DISTRICT B-3.
DIMENSIONAL REQUIREMENTS:
FRONT YARD 100'
SIDE YARD 150'
REAR YARD 200'
LOT COVERAGE 40%
- ELEVATIONS BASED ON NAVD88 DATUM.
- PLAN REFERENCES:
PLAT CARD 117 "MAP OF THE WM. SMITH ESTATE IN JOHNSTON" BY J.A. LATHAM DATED APRIL 1897.
PLAT CARD 119 "PROPERTY IN JOHNSTON R.I. BELONGING TO MICHAEL DILULLO JUNE 1946" BY HAROLD V. BOWEN.
PLAN BOOK 3 PAGE 192 "ADMINISTRATIVE SUBDIVISION FINAL PLAN - RECORD PLAN PROPERTY LINE PLAN ASSESSORS PLAT 54 LOTS 43, 53, 79 & 97 - FOR SANDMOR REALTY, LLC AND ZAREMBA GROUP, LLC" BY VHB, INC. DATED NOV. 15, 2005.
RIDOT PLAT #305
UNRECORDED PLAN "BOUNDARY SURVEY 2165 HARTFORD AVENUE PLAT 54 LOT 42 JOHNSTON R.I." BY GEISSER ENGINEERING CORP. DATED 7/03/2003. (SUPPLIED BY OWNER)

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

| | | | |
|-----------------|-------------------------------------|----------------------------|-----------|
| TYPE OF SURVEY: | DATA ACCUMULATION SURVEY | MEASUREMENT SPECIFICATION: | CLASS III |
| | COMPILATION PLAN | MEASUREMENT SPECIFICATION: | CLASS IV |
| | VERTICAL MEASUREMENT SPECIFICATION: | V-3 | |
| | TOPOGRAPHIC ACCURACY CLASS: | T-2 | |

- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR PREPARATION OF THE PLAT IS AS FOLLOWS:
- TO REPORT A PROFESSIONAL OPINION REGARDING THE LIMITED CONTENT LOCATION OF PROPERTY BOUNDARIES.
 - TO DEPICT AND REPORT THE RELATIVE POSITIONS OF EXISTING PHYSICAL OBJECTS AND EXISTING SITE CONDITIONS.
 - TO CREATE AN EXISTING CONDITIONS BASE PLAN FOR CONTEMPLATION OF DESIGNED CONSTRUCTION OR OTHER IMPROVEMENTS TO THE SITE.
 - SUPPLEMENTED BY FIELD INVESTIGATIONS AND MEASUREMENTS BY PARTIAL FIELD SURVEY CONDUCTED BY FIELD INVESTIGATIONS AND MEASUREMENTS BY PARTIAL FIELD SURVEY.
 - "THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE"

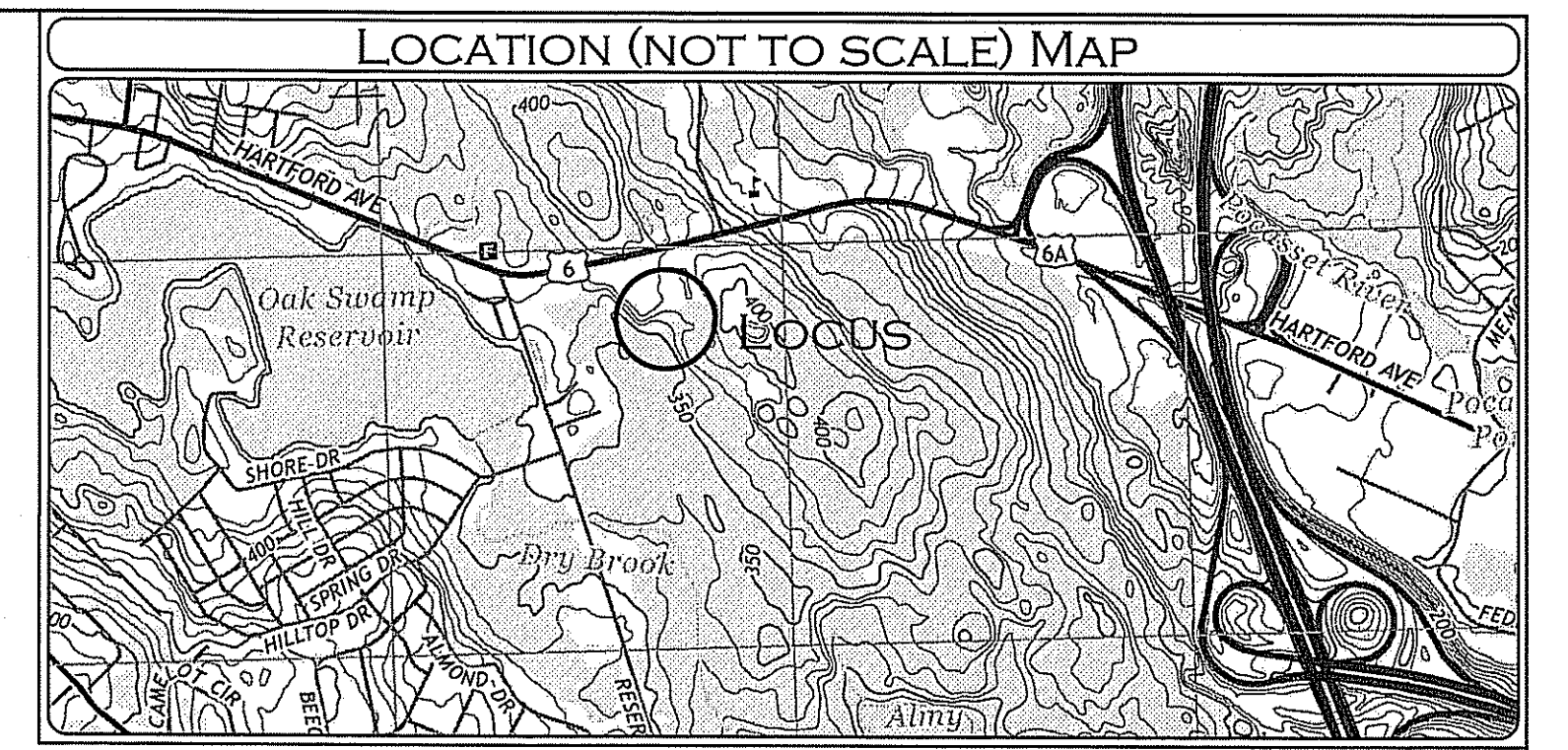
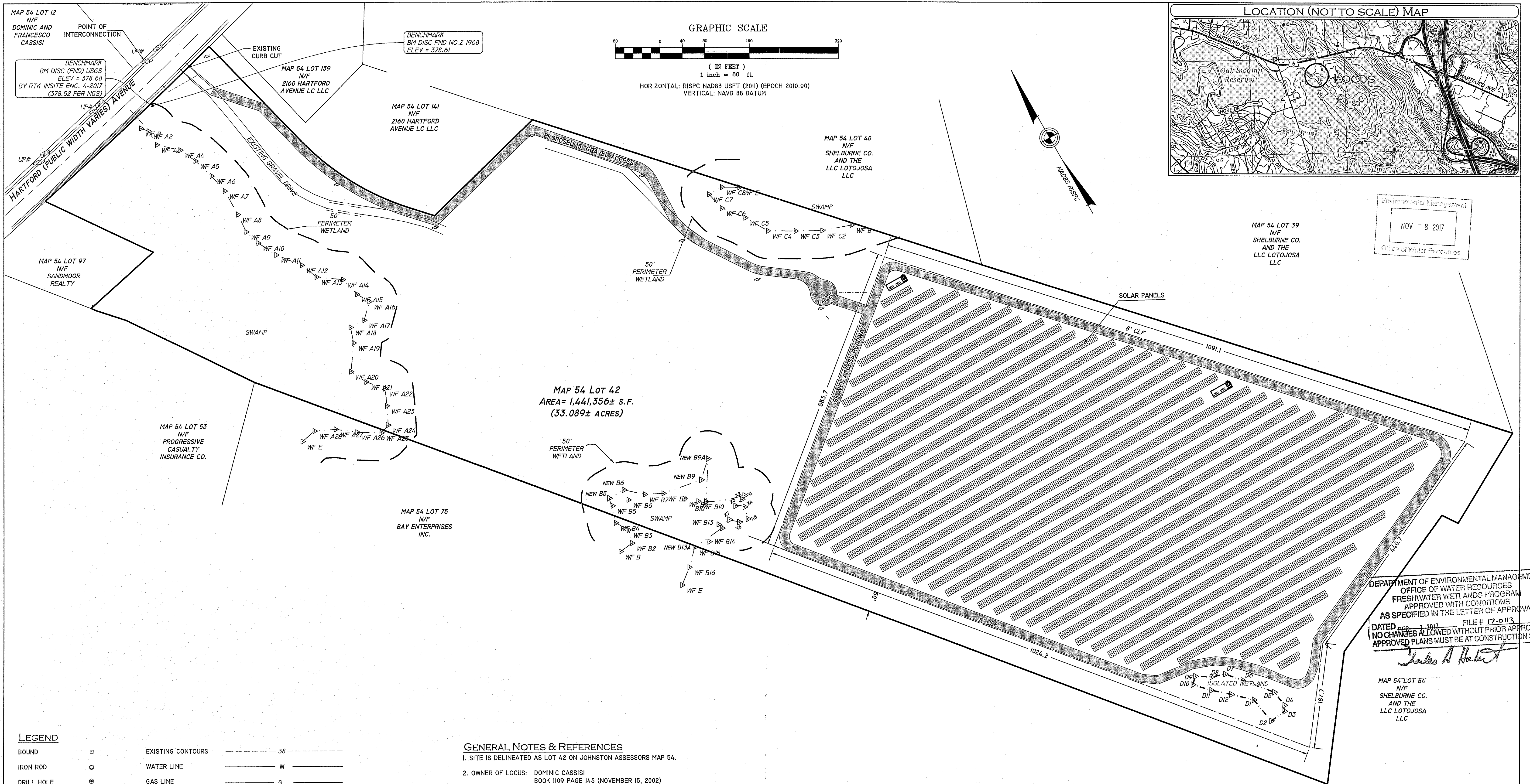
BY: EDWARD J. OBRIEN, PLS
REGISTERED PROFESSIONAL LAND SURVEYOR
RHODE ISLAND PLS No: 1926
RHODE ISLAND C.O.A. No.: LS.000A468.COA
DATE: 11-07-2017

EXISTING CONDITIONS PLAN
"ALTUS POWER AMERICA SOLAR ARRAY"

| | |
|---|--|
| EDWARD J. OBRIEN No. 1926 PROFESSIONAL LAND SURVEYOR 11-07-2017 PROFESSIONAL SEAL | LOCATION: HARTFORD AVENUE, JOHNSTON R.I. ASSESSORS MAP 54 LOT 42 |
| APPLICANT: ALTUS POWER AMERICA 102 GREEMWICH AVENUE, GREENWICH CT. 06830 | OWNER: DOMENIC AND FRANCESCO CASSISI 31 OAKDALE AVENUE, JOHNSTON R.I. 02919 |
| JOB # 09-014 | SCALE: 1" = 80' |
| DRAWN BY: SCA | DATE: 04-28-2017 |
| REVISED: NOV. 7, 2017 DEM / DRAINAGE MODIFICATIONS | |

InSite Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com



Environmental Management
NOV - 8 2017
Office of Water Resources

MAP 54 LOT 39
N/F
SHELBURNE CO.
AND THE
LLC LOTOJOSA
LLC

MAP 54 LOT 12
N/F
DOMINIC AND
FRANCESCO
CASSISI

EXISTING CURB CUT
MAP 54 LOT 139
N/F
2160 HARTFORD
AVENUE LC LLC

BENCHMARK
BM DISC FND NO.2 1968
ELEV = 378.61

GRAPHIC SCALE
(IN FEET)
1 inch = 80 ft.
HORIZONTAL: RISP NAD83 USFT (2011) (EPOCH 2010.00)
VERTICAL: NAVD 88 DATUM

MAP 54 LOT 141
N/F
2160 HARTFORD
AVENUE LC LLC

MAP 54 LOT 40
N/F
SHELBURNE CO.
AND THE
LLC LOTOJOSA
LLC

MAP 54 LOT 97
N/F
SANDMOOR
REALTY

MAP 54 LOT 53
N/F
PROGRESSIVE
CASUALTY
INSURANCE CO.

MAP 54 LOT 75
N/F
BAY ENTERPRISES
INC.

MAP 54 LOT 42
AREA = 1,441,356± S.F.
(33.089± ACRES)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 11/8/2017 FILE # 17-0113
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

MAP 54 LOT 54
N/F
SHELBURNE CO.
AND THE
LLC LOTOJOSA
LLC

LEGEND

| | | | | |
|-----------------|---|-----------------------|-----|-----|
| BOUND | □ | EXISTING CONTOURS | --- | 38 |
| IRON ROD | ○ | WATER LINE | --- | W |
| DRILL HOLE | ● | GAS LINE | --- | G |
| RR SPIKE | ⊙ | OVERHEAD WIRES | --- | OHW |
| DRAIN MANHOLE | ⊙ | UNDERGROUND UTILITIES | --- | U |
| CATCH BASIN | ⊙ | SEWER MAIN | --- | S |
| SEWER MANHOLE | ⊙ | STONE WALL | --- | |
| GAS VALVE | ⊙ | WETLANDS | --- | |
| UTILITY POLE | ⊙ | PROPOSED FENCE | --- | |
| HYDRANT | ⊙ | | | |
| WATER VALVE | ⊙ | | | |
| WATER SHUTOFF | ⊙ | | | |
| BOLLARD | ⊙ | | | |
| MONITORING WELL | ⊙ | | | |
| LIGHT POLE | ⊙ | | | |
| SOLAR PANELS | ⊙ | | | |

GENERAL NOTES & REFERENCES

- SITE IS DELINEATED AS LOT 42 ON JOHNSTON ASSESSORS MAP 54.
- OWNER OF LOCUS: DOMINIC CASSISI
BOOK 1109 PAGE 143 (NOVEMBER 15, 2002)
- WETLANDS DELINEATION BY NATURAL RESOURCE SERVICES, INC. ON DECEMBER 19, 2016.
- SITE IS LOCATED IN ZONING DISTRICT B-3.
DIMENSIONAL REQUIREMENTS:
FRONT YARD 100'
SIDE YARD 150'
REAR YARD 200'
LOT COVERAGE 40%
- ELEVATIONS BASED ON NAVD88 DATUM.
- PLAN REFERENCES:
PLAT CARD 117 "MAP OF THE WM. SMITH ESTATE IN JOHNSTON" BY J.A. LATHAM DATED APRIL 1897.
PLAT CARD 119 "PROPERTY IN JOHNSTON R.I. BELONGING TO MICHAEL DILULLO JUNE 1946" BY HAROLD V. BOWEN.
PLAN BOOK 3 PAGE 192 "ADMINISTRATIVE SUBDIVISION FINAL PLAN - RECORD PLAN PROPERTY LINE PLAN ASSESSORS PLAT 54 LOTS 43, 53, 79 & 97 - FOR SANDMOR REALTY, LLC AND ZAREMBA GROUP, LLC" BY VHB, INC. DATED NOV. 15, 2005.
RIDOT PLAT #305
UNRECORDED PLAN "BOUNDARY SURVEY 2165 HARTFORD AVENUE PLAT 54 LOT 42 JOHNSTON R.I." BY GEISSER ENGINEERING CORP. DATED 7/03/2003. (SUPPLIED BY OWNER)

LAYOUT PLAN
"ALTUS POWER AMERICA SOLAR ARRAY"

LOCATION: HARTFORD AVENUE, JOHNSTON R.I.
ASSESSORS MAP 54 LOT 42

APPLICANT: ALTUS POWER AMERICA
102 GREENWICH AVENUE, GREENWICH CT. 06830

OWNER: DOMINIC AND FRANCESCO CASSISI
31 OAKDALE AVENUE, JOHNSTON R.I. 02919

JOB # 09-014 SCALE: 1" = 80' DRAWN BY: SCA DATE: 04-28-2017

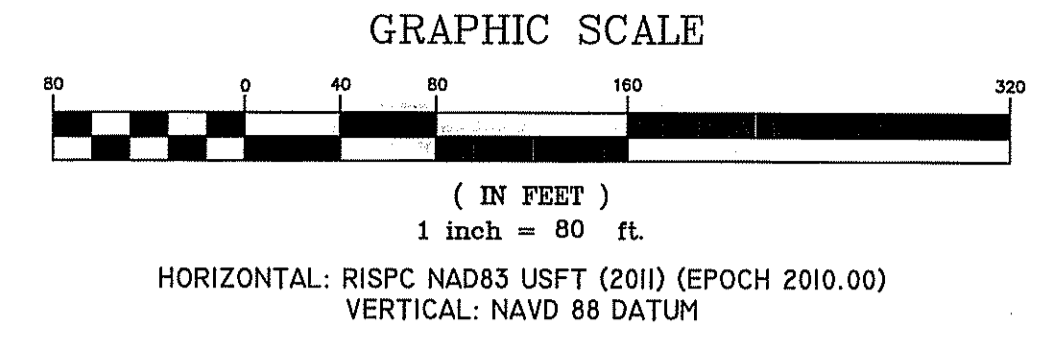
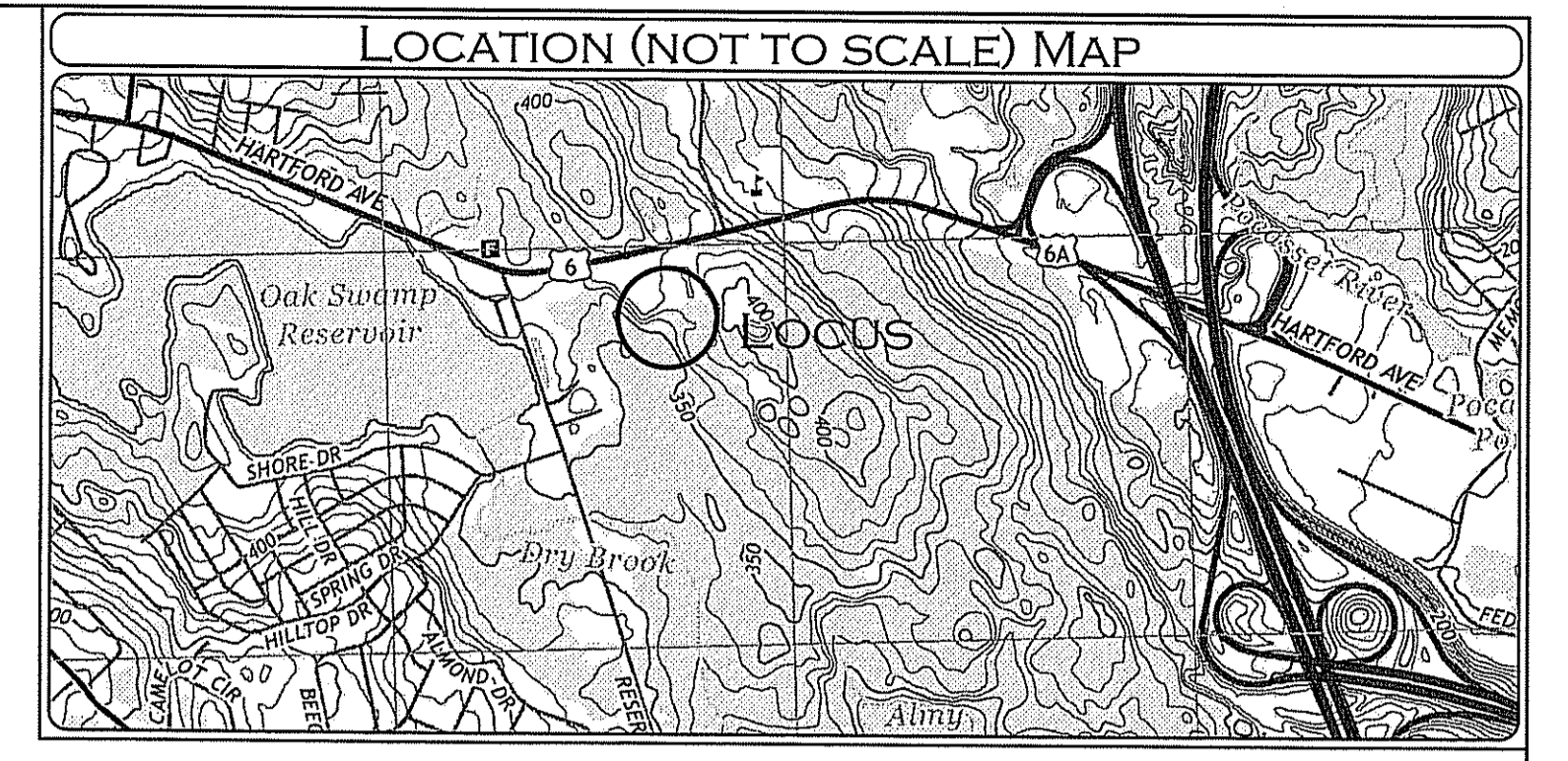
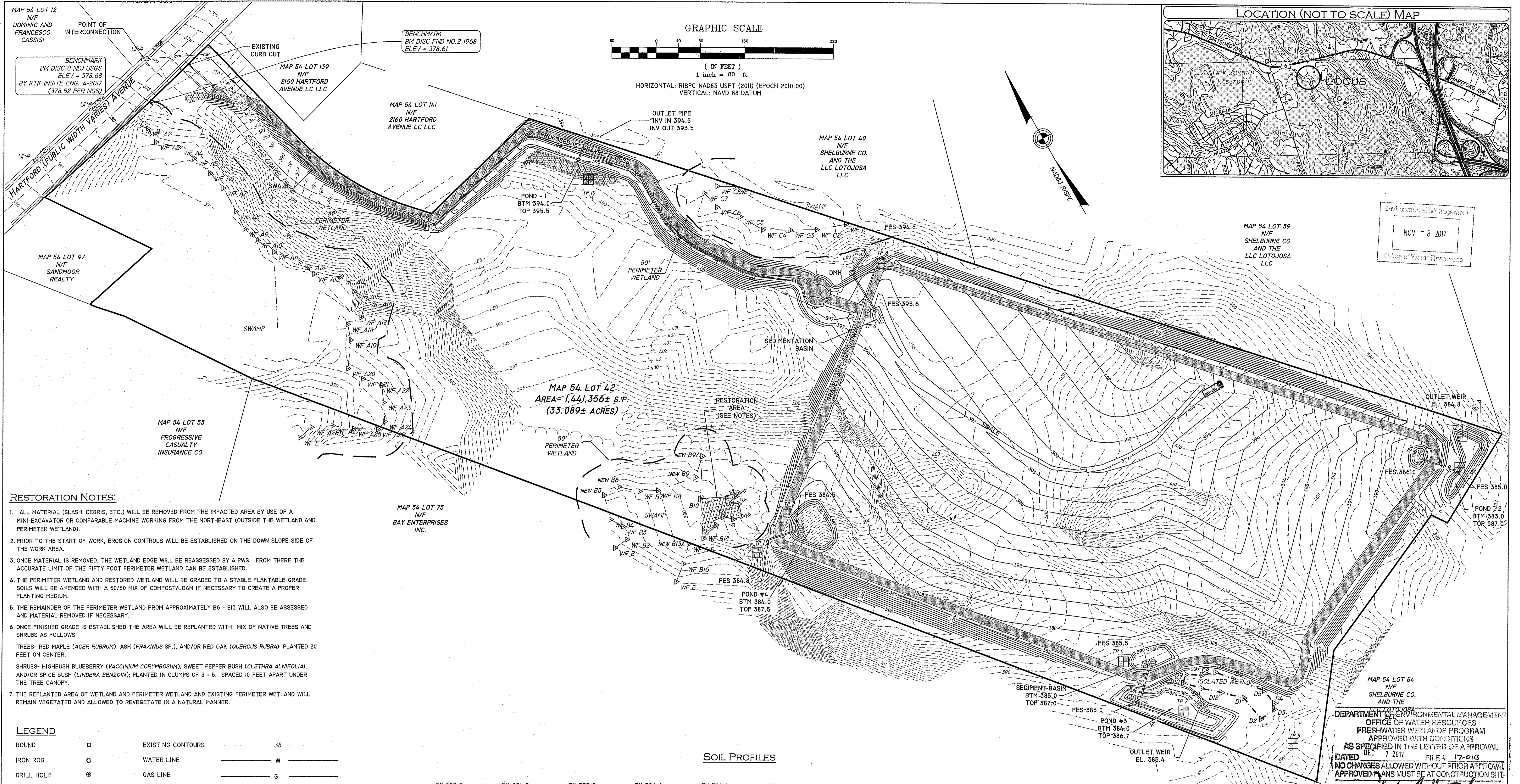
REVISED: OCT. 17, 2017 DEM / DRAINAGE MODIFICATIONS

PAUL D. CARLSON
REGISTERED PROFESSIONAL ENGINEER
PROFESSIONAL SEAL

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
1539 Fall River Avenue, Seekonk, MA 02771
Phone: (508) 338-6500 Fax: (508) 338-4558
Web Address: InSiteEngineers.com

SHEET 3 OF 7



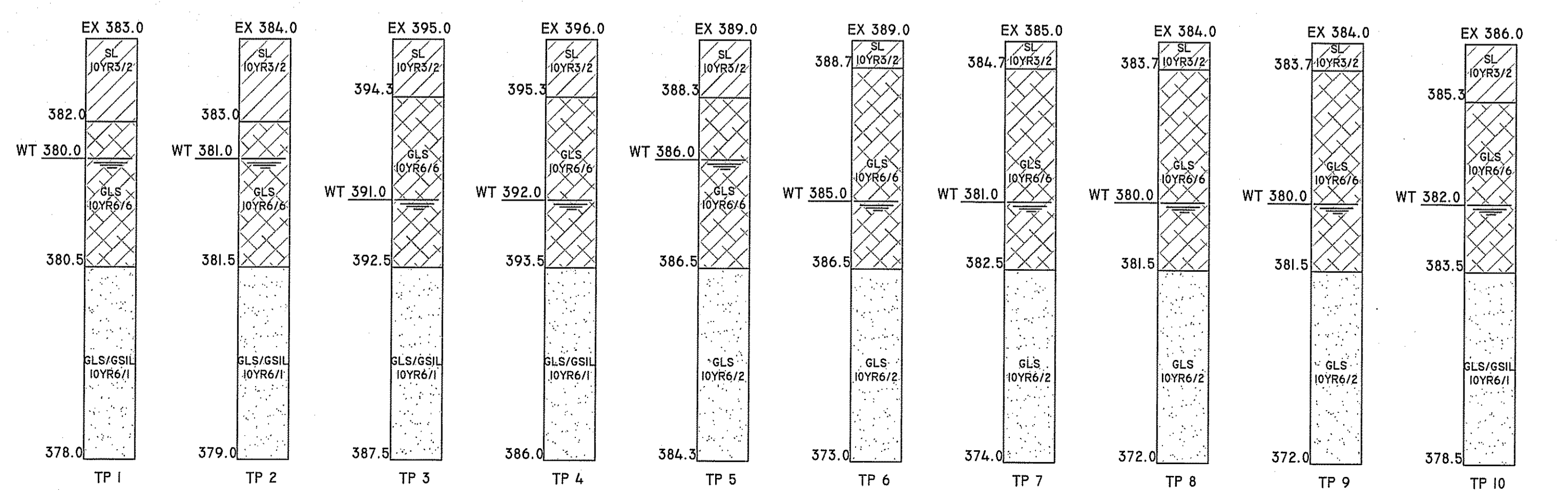
Environmental Indorsement
NOV - 8 2017
Office of Water Resources

- RESTORATION NOTES:**
- ALL MATERIAL (SLASH, DEBRIS, ETC.) WILL BE REMOVED FROM THE IMPACTED AREA BY USE OF A MINI-EXCAVATOR OR COMPARABLE MACHINE WORKING FROM THE NORTHEAST (OUTSIDE THE WETLAND AND PERIMETER WETLAND).
 - PRIOR TO THE START OF WORK, EROSION CONTROLS WILL BE ESTABLISHED ON THE DOWN SLOPE SIDE OF THE WORK AREA.
 - ONCE MATERIAL IS REMOVED, THE WETLAND EDGE WILL BE REASSESSED BY A PWS. FROM THERE THE ACCURATE LIMIT OF THE FIFTY FOOT PERIMETER WETLAND CAN BE ESTABLISHED.
 - THE PERIMETER WETLAND AND RESTORED WETLAND WILL BE GRADED TO A STABLE PLANTABLE GRADE. SOILS WILL BE AMENDED WITH A 50/50 MIX OF COMPOST/LOAM IF NECESSARY TO CREATE A PROPER PLANTING MEDIUM.
 - THE REMAINDER OF THE PERIMETER WETLAND FROM APPROXIMATELY B6 - B13 WILL ALSO BE ASSESSED AND MATERIAL REMOVED IF NECESSARY.
 - ONCE FINISHED GRADE IS ESTABLISHED THE AREA WILL BE REPLANTED WITH MIX OF NATIVE TREES AND SHRUBS AS FOLLOWS:
TREES- RED MAPLE (*ACER RUBRUM*), ASH (*FRAXINUS SP.*), AND/OR RED OAK (*QUERCUS RUBRA*); PLANTED 20 FEET ON CENTER.
SHRUBS- Highbush Blueberry (*VACCINIUM CORYMBOSUM*), Sweet Pepper Bush (*CLETHRA ALNIFOLIA*), AND/OR Spice Bush (*LINDERA BENZOIN*); PLANTED IN CLUMPS OF 3 - 5, SPACED 10 FEET APART UNDER THE TREE CANOPY.
 - THE REPLANTED AREA OF WETLAND AND PERIMETER WETLAND AND EXISTING PERIMETER WETLAND WILL REMAIN VEGETATED AND ALLOWED TO REVEGETATE IN A NATURAL MANNER.

LEGEND

| | | |
|-----------------|-----------------------|-----|
| BOUND | EXISTING CONTOURS | 38 |
| IRON ROD | WATER LINE | W |
| DRILL HOLE | GAS LINE | G |
| RR SPIKE | OVERHEAD WIRES | OHW |
| DRAIN MANHOLE | UNDERGROUND UTILITIES | U |
| CATCH BASIN | SEWER MAIN | S |
| SEWER MANHOLE | STONE WALL | |
| GAS VALVE | WETLANDS | |
| UTILITY POLE | PROPOSED FENCE | |
| HYDRANT | | |
| WATER VALVE | | |
| WATER SHUTOFF | | |
| BOLLARD | | |
| MONITORING WELL | | |
| LIGHT POLE | | |
| SOLAR PANELS | | |

SOIL PROFILES



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC 7 2017 FILE # 17-013
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

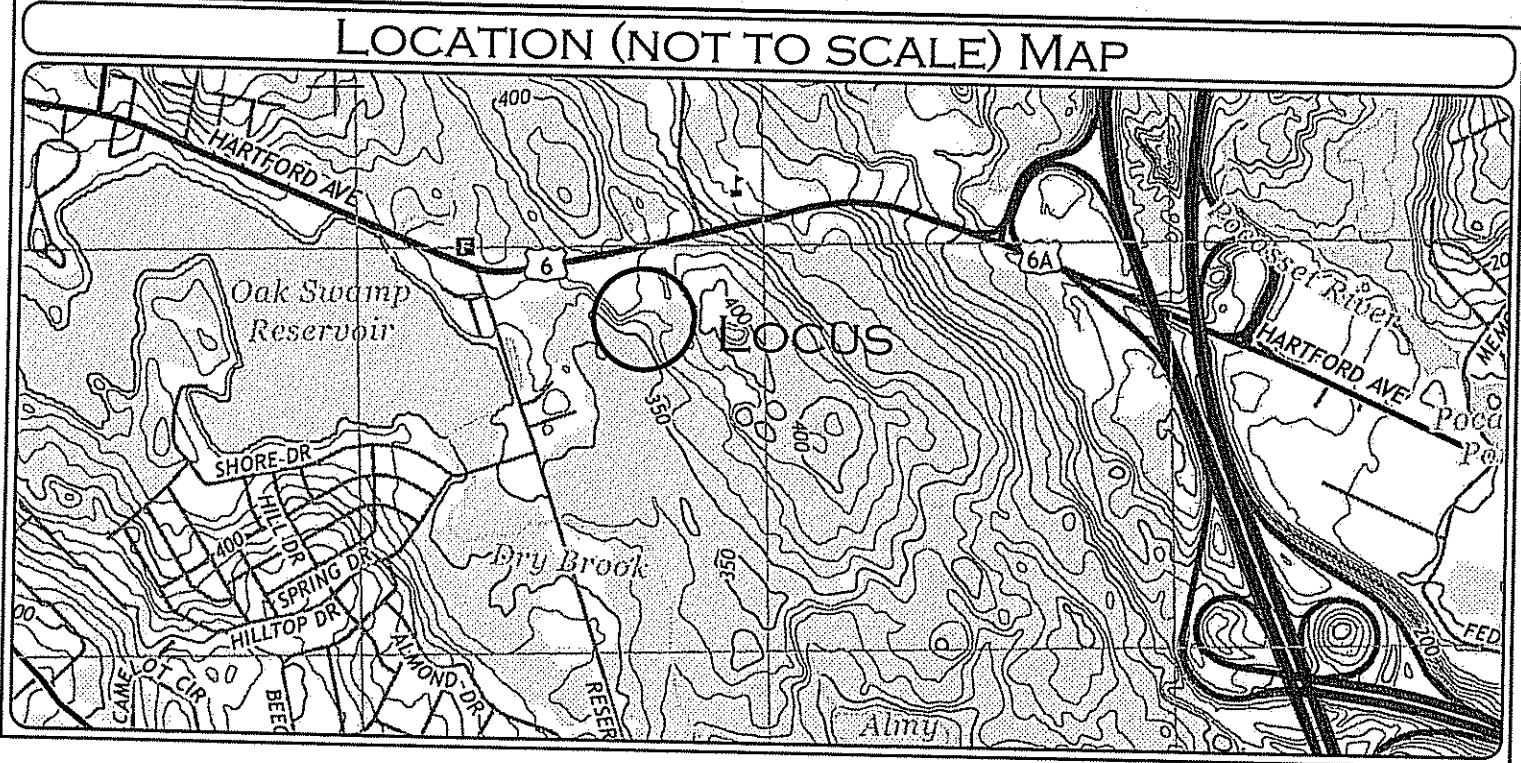
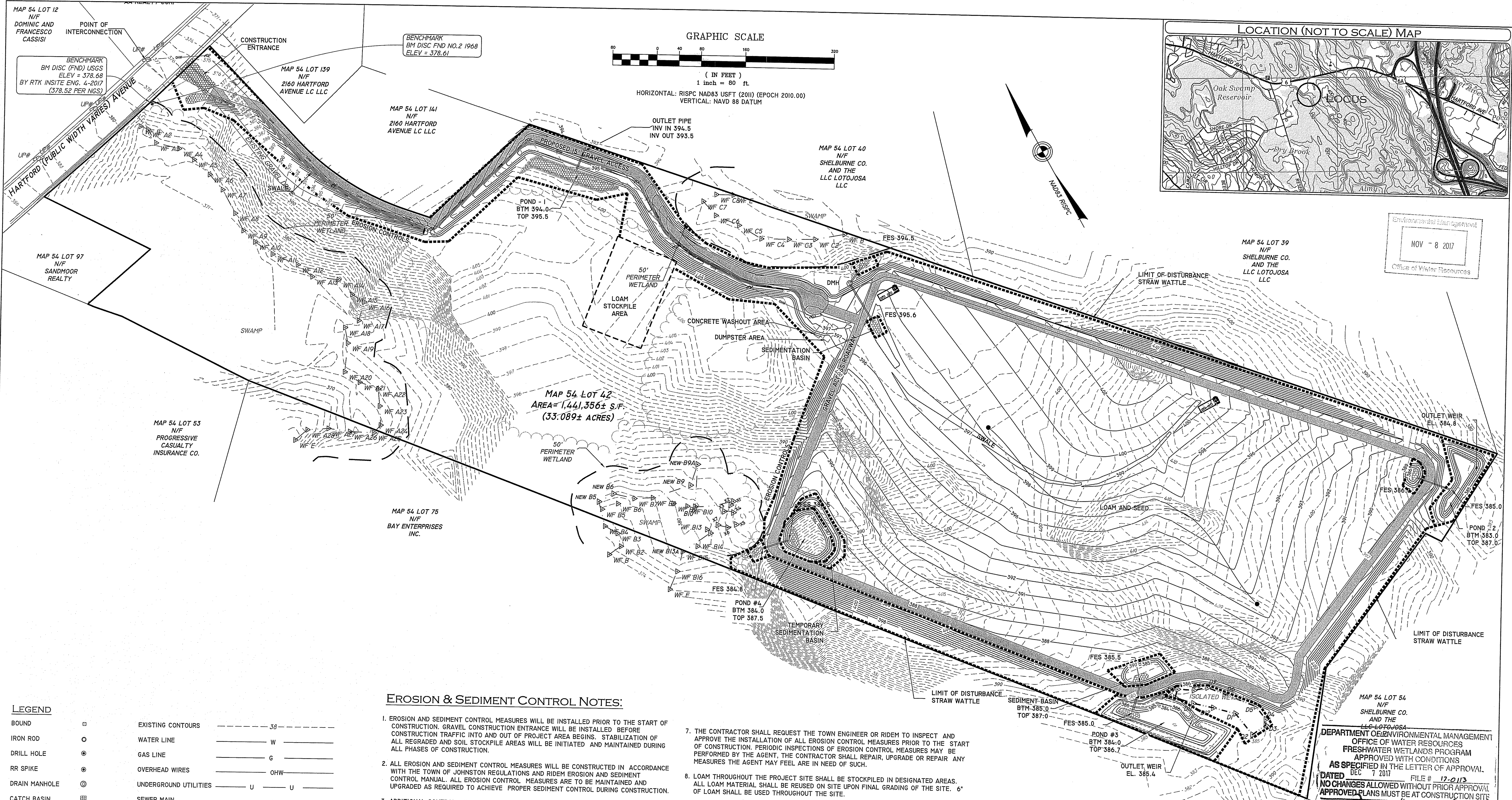
GRADING PLAN
"ALTUS POWER AMERICA SOLAR ARRAY"

| | |
|--|---|
| | LOCATION: HARTFORD AVENUE, JOHNSTON R.I. ASSESSORS MAP 54 LOT 42 |
| | APPLICANT: ALTUS POWER AMERICA 102 GREENWICH AVENUE, GREENWICH CT. 06830 |
| OWNER: DOMENIC AND FRANCESCO CASSISI 31 OAKDALE AVENUE, JOHNSTON R.I. 02919 | DATE: 04-28-2017 |
| JOB # 09-014 | SCALE: 1" = 80' |
| DRAWN BY: SCA | REVISOR: Nov. 7, 2017 DEM / DRAINAGE MODIFICATIONS |

PROFESSIONAL SEAL

INSITE Engineering Services, LLC
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4568
Web Address: InSiteEngineers.com

SHEET 4 OF 7



Environmental Management
 NOV - 8 2017
 Office of Water Resources

LEGEND

| | | | | |
|-----------------|---|-----------------------|---------|-----|
| BOUND | □ | EXISTING CONTOURS | --- | 30' |
| IRON ROD | ○ | WATER LINE | — W — | |
| DRILL HOLE | ● | GAS LINE | — G — | |
| RR SPIKE | ⊙ | OVERHEAD WIRES | — OHW — | |
| DRAIN MANHOLE | ⊙ | UNDERGROUND UTILITIES | — U — | U |
| CATCH BASIN | ⊞ | SEWER MAIN | — S — | |
| SEWER MANHOLE | ⊙ | STONE WALL | — | |
| GAS VALVE | ⊞ | WETLANDS | --- | |
| UTILITY POLE | ⊞ | PROPOSED FENCE | --- | |
| HYDRANT | ⊞ | | | |
| WATER VALVE | ⊞ | | | |
| WATER SHUTOFF | ⊞ | | | |
| BOLLARD | ⊙ | | | |
| MONITORING WELL | ⊙ | | | |
| LIGHT POLE | ☆ | | | |
| SOLAR PANELS | ▣ | | | |

EROSION & SEDIMENT CONTROL NOTES:

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF JOHNSTON REGULATIONS AND RIDEM EROSION AND SEDIMENT CONTROL MANUAL. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
- SEED TO APPLIED AT A RATE OF 4 LBS / 1000 S.F. FERTILIZER SHALL BE APPLIED AT A RATE OF 6 LBS / 1000 S.F. PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDING SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OF WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
- AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 6 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUIVALENT TO BE 50 % CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 10 LBS / 1000 S.F. WHERE GRASS PREDOMINATES, FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COURSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
- CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL REQUEST THE TOWN ENGINEER OR RIDEM TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENT, THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE AGENT MAY FEEL ARE IN NEED OF SUCH.
- LOAM THROUGHOUT THE PROJECT SITE SHALL BE STOCKPILED IN DESIGNATED AREAS. ALL LOAM MATERIAL SHALL BE REUSED ON SITE UPON FINAL GRADING OF THE SITE. 6" OF LOAM SHALL BE USED THROUGHOUT THE SITE.
- STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2:1. STOCKPILES SHALL BE LOCATED AT LEAST 50' FROM REGULATED WETLAND RESOURCE AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE STRAW WATTLE OR HAY BALE.
- DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
- ALL CONSTRUCTION SEDIMENTATION SHALL BE REMOVED FROM TEMPORARY AND PERMANENT SEDIMENTATION BASIN PRIOR TO COMPLETION OF PROJECT AND ESTABLISHMENT OF ALL SLOPES. BASINS SHALL BE GRADED AND SHAPED TO DESIGN PARAMETERS.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED DEC 7 2017 FILE # 17-013
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

EROSION CONTROL PLAN
"ALTUS POWER AMERICA SOLAR ARRAY"

LOCATION: HARTFORD AVENUE, JOHNSTON R.I.
 ASSESSORS MAP 54 LOT 42

APPLICANT: ALTUS POWER AMERICA
 102 GREENWICH AVENUE, GREENWICH CT. 06830

OWNER: DOMINIC AND FRANCESCO CASSISI
 31 OAKDALE AVENUE, JOHNSTON R.I. 02919

JOB # 09-014 SCALE: 1" = 80' DRAWN BY: SCA DATE: 04-28-2017

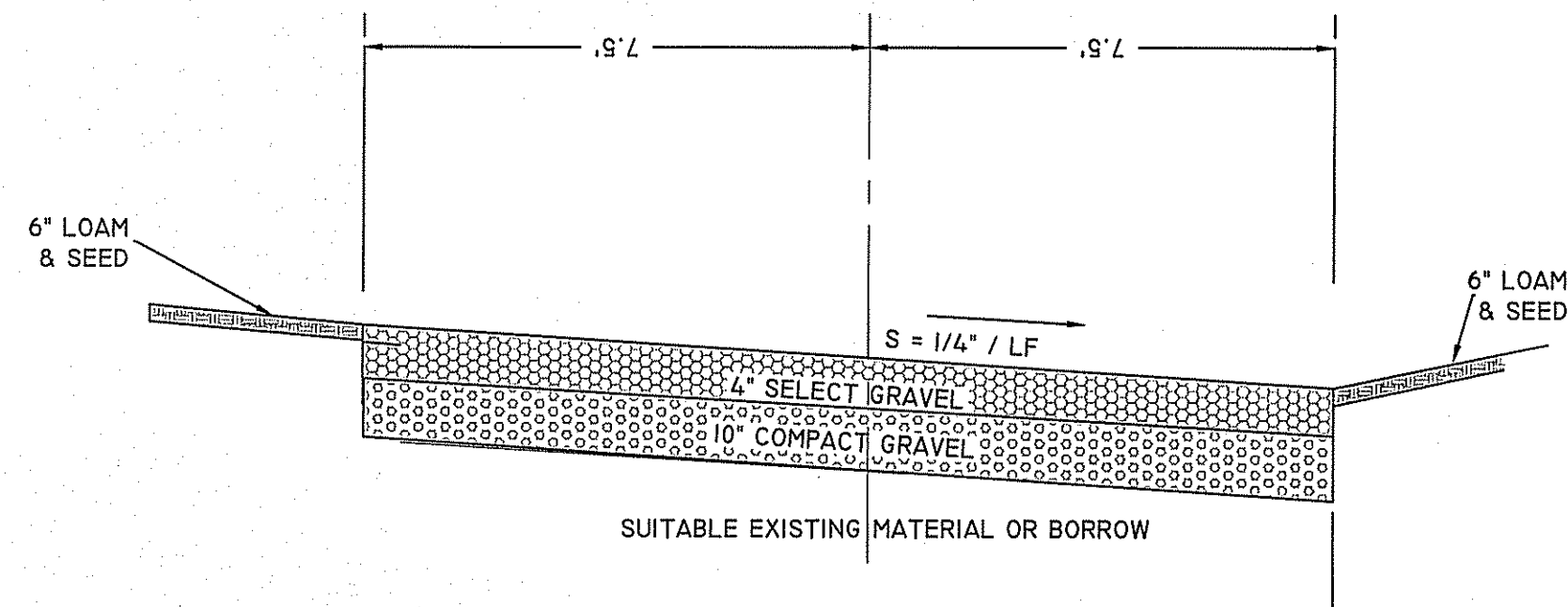
REVISED: OCT. 17, 2017 DEM / DRAINAGE MODIFICATIONS

PAUL D. CARLSON
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 7142

PROFESSIONAL SEAL

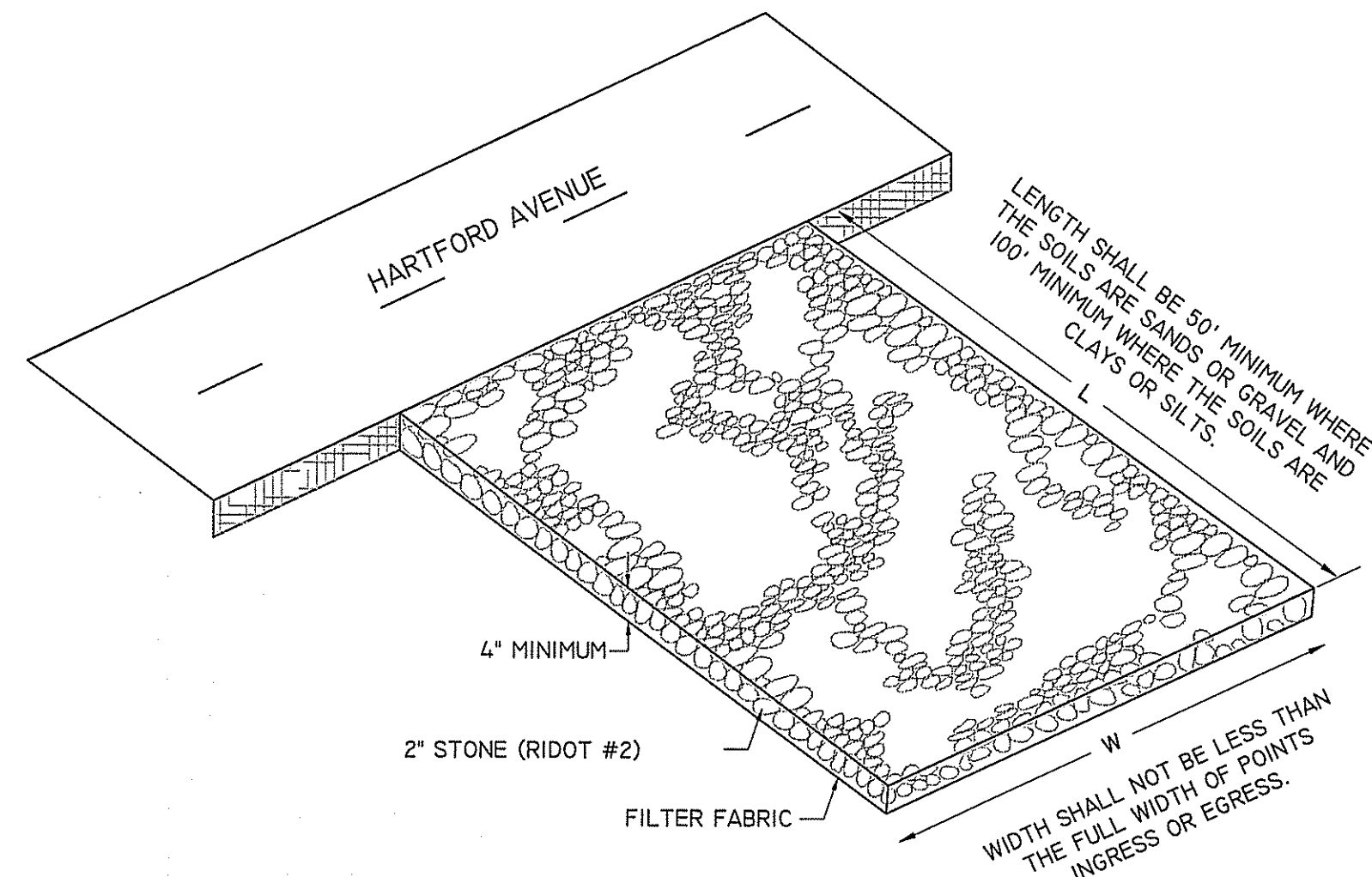
INSITE Engineering Services, LLC
 Precision. Clarity. Certainty.
 InSite Professional Complex, Suite 1
 1539 Fall River Avenue Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InSiteEngineers.com

SHEET 5 OF 7



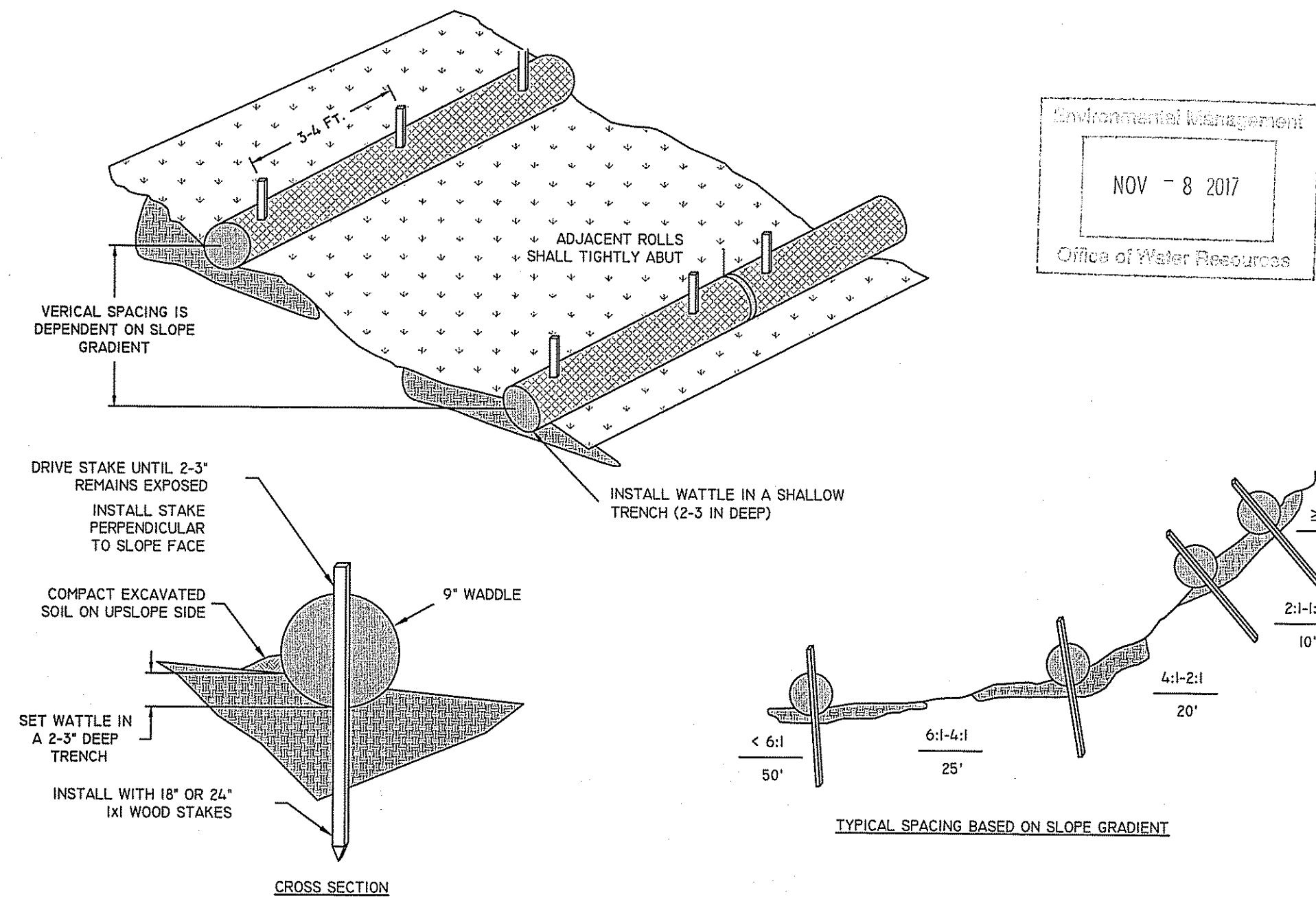
TYPICAL DRIVEWAY CROSS-SECTION

NOT TO SCALE



CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



STRAW WATTLE (OR SILT SOCK) DETAIL

NOT TO SCALE

NOTES

- GRAVEL SUB-BASE CONFORMING TO RIDOT SPECIFICATIONS DIVISION 300 SECTION 301 SUBSECTION M01.09 AND SHALL BE INSTALLED IN 6" MAXIMUM LIFTS, COMPACTED TO 95% MAX DRY DENSITY IN ACCORDANCE WITH AASHTO TEST DESIGNATION T99
- SIDESLOPES OUTSIDE LAYOUT TO BE 3:1 IN BOTH CUT & FILL SECTIONS

INSTALLATION

THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

LOCATION

SEE OVERALL SHEET FOR LOCATION OF CONSTRUCTION ENTRANCE.

GENERAL NOTES:

- BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3" DEEP x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
- EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
- LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.

NOTES

CONSTRUCTION PROCEDURES AND SEQUENCING

THE ENGINEER SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF THE PROVISIONS ON THE PLANS.

THE CONTRACTOR SHALL ORGANIZE SITE CONSTRUCTION IN A MANNER WHICH WILL ENSURE THE IMMEDIATE STABILIZATION OF SURFACES. PERIMETER CONTROLS EQUAL APPROVED PROJECT LIMITS.

PRIOR TO ANY CONSTRUCTION ON SITE, THE CONTRACTOR SHALL SETUP PRE-CONSTRUCTION MEETING WITH OWNER, ENGINEER, JOHNSTON PLANNING AND DPW PERSONAL.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A LINE OF STAKED STRAW WATTLE AND OR HAYBALES, WILL BE PLACED AT ALL CONSTRUCTION TOE OF SLOPES IN THE AREA OF ROADWAY AND ALONG PERIMETER OF PROJECT LIMIT OF DISTURBANCE WHERE INDICATED ON PROJECT PLANS.

RESERVE EROSION CONTROL DEVICES SHALL BE STOCKPILED ON SITE IN THE EVENT OF EMERGENCIES AND SHALL BE LOCATED 100' FROM REGULATED WETLAND RESOURCE AREAS.

THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROPER STORAGE AND/OR REMOVAL OF DEBRIS ON SITE TO AVOID UNNECESSARY ACCUMULATION ON SITE.

CONSTRUCTION INSPECTION

THE ENGINEER SHALL PERFORM FREQUENT INSPECTION OF THE SITE DURING CONSTRUCTION, WITH CLEANING AND MAINTENANCE AS WARRANTED. DURING ACTIVE CONSTRUCTION PERIODS, WEEKLY INSPECTION IS REQUIRED.

IF CONSTRUCTION IS SUSPENDED (E.G., OVER THE WINTER), THEN MONTHLY INSPECTIONS ARE REQUIRED. IN ADDITION, THE SYSTEM SHOULD BE CHECKED AFTER ANY SIGNIFICANT RAINFALL, TO INSURE IT IS FUNCTIONING CORRECTLY AND TO MONITOR SEDIMENT ACCUMULATION FROM THE DISTURBED AREAS OF THE SITE.

CLEARING

CONSIDERATION SHALL BE GIVEN TO PRESERVING SPECIMEN TREES. THE ENGINEER SHALL BE CONTACTED TO REVIEW DESIGN IMPACTS AND APPROVE METHOD OF TREE PRESERVATION.

BRUSH AND BRANCHES SHALL BE CHIPPED TO BE UTILIZED FOR WOOD MULCH WHERE FEASIBLE.

GRUBBING AND STRIPPING

SUITABLE TOPSOIL SHALL BE STRIPPED FROM THE AREAS TO BE GRADED AND STOCKPILED FOR SUBSEQUENT USE AND/OR FOR LANDSCAPE PURPOSES.

ROUGH GRADING

DURING GRADING, THE POTENTIAL FOR EROSION IS HIGH. DURING GRADING OPERATIONS, DISTURBED SLOPES WILL BE MULCHED AND VEGETATION ESTABLISHED TO PREVENT SEDIMENT EROSION TO THE SATISFACTION OF THE ENGINEER.

GRAVEL

A. GRAVEL BORROW BASE COURSE:

1. GRAVEL SHALL MEET THE GRADATION REQUIREMENTS OF THE RIDOT STANDARD SPECIFICATIONS:

| SIEVE SIZE | PERCENT FINER BY WEIGHT |
|------------|-------------------------|
| 1/2" | 50 - 85 |
| NO. 4 | 40 - 75 |
| NO. 40 | 8 - 28 |
| NO. 200 | 0 - 10 |

CLEAN SCREENED LOAM

- A. LOAM SHALL CONSIST OF SCREENED FERTILE, LOOSE, FRIABLE FINE SANDY LOAM OR SANDY LOAM FREE OF SUBSOIL, REFUSE, STAMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN ONE INCH (1") IN ANY DIMENSION AND WHICH WILL PREVENT HEALTHY PLANT GROWTH. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN FIVE PERCENT (5%) NOR MORE THAN TWENTY PERCENT (20%) AS DETERMINED BY WET COMBUSTION METHOD (CHROMIC ACID REDUCTION). THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF THE INTENDED SOURCE OF LOAM TO BE EMPLOYED AT LEAST TWO (2) WEEKS PRIOR TO THE INTENDED TIME OF USE TO ALLOW TIME FOR SAMPLING.
- B. LOAM SHALL POSSESS GOOD FILTRATION AND PERMEABILITY RATES, AND SHALL POSSESS A MECHANICAL ANALYSIS WHERE: N 85% OF SAND SIZE IS 0.5 TO 1.0 MM AND N 95% OF SAND MIX IS BETWEEN 0.5 AND 2.0 MM AND NO MORE THAN 5% OF MIX IS LESS THAN 0.5 MM.
- C. ACIDITY RANGE OF APPROXIMATELY PH 5.5 TO 7.5 WHEN TESTED ACCORDING TO METHODS OF TESTING OR A.O.A.C. AND ORGANIC CONTENT NOT LESS THAN 5% NOR MORE THAN 20% AS DETERMINED BY WET COMBUSTION METHOD (CHROMIC ACID REDUCTION).

GRADING AND SPREADING LOAM

- A. REMOVE ALL DEBRIS AND OTHER INORGANIC MATERIALS ON ANY PREPARED SUBGRADES, AND RESHAPE AND DRESS ANY DAMAGED OR ERODED SLOPES, SWALES, AND OTHER AREAS. SCARIFY AND LOOSEN SUBGRADE TO A FRIABLE CONDITION IN ANY AREAS WHERE COMPACTION MAY HAVE OCCURRED. LOAM SHALL NOT BE PLACED UNTIL SUBGRADE IS IN SUITABLE CONDITION AND FREE OF EXCESSIVE MOISTURE OR FROZEN MATERIALS.
- B. LOAM SHALL BE SPREAD AS REQUIRED ON ALL DISTURBED AND BARE AREAS TO PRODUCE A TOTAL DEPTH OF 6" AS SHOWN ON THE PLAN. FILL ALL DEPRESSIONS IN EXISTING GRADES WITH SUITABLE FILL MATERIAL AS SPECIFIED PRIOR TO SPREADING LOAM, THEN SHAPE AND FINISH GRADE TO DEPTH OF LOAM REQUIRED.
- C. AREA SHALL BE PROGRESSIVELY FINE GRADED AND MACHINE AND HAND RAKED, WITH LOAM ADDED AS REQUIRED TO CORRECT DEPRESSIONS AND OTHER IRREGULARITIES, TO PRODUCE SMOOTH AND UNBROKEN FINISH GRADES AND THE DEPTH OF LOAM REQUIRED.

PLANTING NOTES:

- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AND SHALL OBTAIN ANY NECESSARY PERMITS.
- IN ACCORDANCE WITH DIG-SAFE LAW, THE CONTRACTOR SHALL CONTACT DIG SAFE AT (1-888-344-7233 OR 811) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR ANY/ALL UTILITY DAMAGE AT NOT COST TO THE OWNER.
- ALL EXISTING TREES SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO MATERIALS SHALL BE STOP AND PLACED AROUND EACH PLANT OR GROUP OF PLANTS. BARRIERS SHALL BE A MINIMUM OF FOUR FEET (4') HIGH AND SHALL BE A DURABLE MATERIAL.

- ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS INDICATED ON THE PLANS. ALL DIMENSIONS ARE CONSIDERED PARALLEL OR PERPENDICULAR UNLESS INDICATED ON THE PLANS. ANY DISCREPANCIES SHALL BE NOTIFIED TO THE OWNER IMMEDIATELY.

- LOAM MOVED SHALL BE RETAINED AND DISTRIBUTED ON THE SITE IN ACCORDANCE WITH THE PLANS. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIALS. NEW LOAM IF REQUIRED SHALL BE FERTILE, FRIABLE MEDIUM TEXTURED SANDY LOAM FREE OF STUMPS, STONES, ROOTS AND OTHER MATTER ONE INCH (1") OR GREATER IN DIAMETER. THE PH SHALL BE BETWEEN 5.5 AND 7.5.

- GRAVEL PREPARATION: ALL DEBRIS AND INORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE. PRIOR TO THE SPREADING OF ANY LOAM, AREAS SHALL BE RESHAPED AND DRESSED WITH CLEAN LOAM AS REQUIRED TO OBTAIN A SMOOTH SURFACE. SUBGRADE TO BE SCARIFIED AND LOOSEN IN AREAS WHERE COMPACTION HAS OCCURRED. LOAM TO BE SPREAD TO A DEPTH OF SIX INCHES (6"). A STARTER FERTILIZER (10-20-10) AT A RATE OF 20LBS. PER 1000 SQUARE FEET AND LIME AT A RATE OF 40LBS. PER 1000 SQUARE FEET. THE LOAM SHALL BE ROLLED TO CREATE A SMOOTH SURFACE.

- SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 AND MAY 31 OR AUGUST 15 AND OCTOBER 15. SEED SHALL BE PURE, LIVE, FRESH SEED FROM COMMERCIAL SOURCES AND LABELED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. THE SEED MIXTURE SHALL BE:

| PROPORTION PERCENTAGE | PROPORTION TYPE |
|---|-------------------------|
| 24.78% | HENREYS HARD FESCUE |
| 24.78% | AZURE SHEEPS FESCUE |
| 24.67% | AMBROSE CHEWINGS FESCUE |
| 24.63% | CREeping RED FESCUE |
| *INERT MATERIAL TO BE LESS THAN 2.5% MAX. | |

- ANY AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE ORIGINAL CONDITION AT NO COST TO THE OWNER PRIOR TO COMPLETION OF THE PROJECT AND APPROVAL OF THE OWNER.

EROSION & SEDIMENT CONTROL NOTES:

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF JOHNSTON REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
- SEED TO APPLIED AT A RATE OF 4 LBS / 1000 S.F. FERTILIZER SHALL BE APPLIED AT A RATE OF 6 LBS / 1000 S.F. PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDED SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OF WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
- AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 6 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUIVALENT TO BE 50% CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 10 LBS / 1000 S.F. WHERE GRASS PREDOMINATES, FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.

EROSION & SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL REQUEST THE SWANSEA CONSERVATION COMMISSION AGENT TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENT, THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE AGENT MAY FEEL ARE IN NEED OF SUCH.
- STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH, IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2:1. STOCKPILES SHALL BE LOCATED AT LEAST 100' FROM REGULATED WETLAND RESOURCE AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HALL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE STRAW WATTLE OR HAY BALE.
- DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
- ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING DATED TO PERMANENT OPERATION. FILE # 17-0113

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DETAIL AND NOTES SHEET NO. 1
"ALTUS POWER AMERICA SOLAR ARRAY"

| | | | |
|--|---|-----------|------------|
| LOCATION: | HARTFORD AVENUE, JOHNSTON R.I. ASSESSORS MAP 54 LOT 42 | | |
| APPLICANT: | ALTUS POWER AMERICA 102 GREENWICH AVENUE, GREENWICH CT. 06830 | | |
| OWNER: | DOMENIC AND FRANCESCO CASSISI 31 OAKDALE AVENUE, JOHNSTON R.I. 02919 | | |
| Job # | SCALE: | DRAWN BY: | DATE: |
| 09-014 | 1"= 80' | SCA | 04-28-2017 |
| REVISED: Nov. 7, 2017 DEM / DRAINAGE MODIFICATIONS | | | |

PROFESSIONAL SEAL

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS / LAND SURVEYORS
Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

SHEET 6 OF 7

