

Site Plans

Issued for **Permitting**
 Date Issued **May 26, 2017**
 Latest Issue **August 21, 2017**

Family Dollar

Main Street and
 Maple Avenue
 West Warwick, RI

Owner

Xavier Investments
 401 Broadway Suite
 Providence, RI 02903

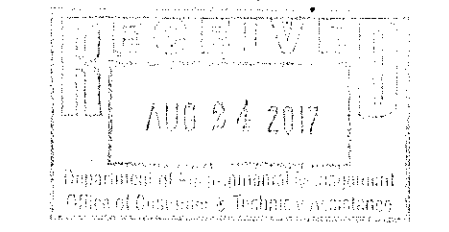
Applicant

The Greystone Group
 151 Broadway, Suite 102
 Providence, RI 02903

Assessor's Map: 3
Lots: 4, 5, and 41



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1 Cedar Street
 Suite 400
 Providence, RI 02903
 401.272.8100

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED Aug 21 2017 FILE # 17-0129
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Hester

RENEE L. CODEGA
 No. 6517
 REGISTERED
 PROFESSIONAL ENGINEER
 8/21/17

\\VHB\PROJ\PROVIDENCE\72839.00\CAD\LD\PLANSET\72839.00-COV 17 August 2017

VHB Project: 72839.00 Permitting, August 21, 2017
 Issued for:



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Legend

Exist.	Prop.	Exist.	Prop.	
				PROPERTY LINE
				PROJECT LIMIT LINE
				RIGHT-OF-WAY/PROPERTY LINE
				EASEMENT
				BUILDING SETBACK
				PARKING SETBACK
				BASELINE
				CONSTRUCTION LAYOUT
				ZONING LINE
				TOWN LINE
				200' RIVERBANK WETLAND
				GRAVEL ROAD
				EDGE OF PAVEMENT
				BITUMINOUS BERM
				BITUMINOUS CURB
				CONCRETE CURB
				CURB AND GUTTER
				EXTRUDED CONCRETE CURB
				MONOLITHIC CONCRETE CURB
				PRECAST CONC. CURB
				SLOPED GRAN. EDGING
				VERT. GRAN. CURB
				LIMIT OF CURB TYPE
				SAWCUT
				BUILDING
				BUILDING ENTRANCE
				LOADING DOCK
				BOLLARD
				DUMPSTER PAD
				SIGN
				DOUBLE SIGN
				STEEL GUARDRAIL
				WOOD GUARDRAIL
				PATH
				TREE LINE
				WIRE FENCE
				FENCE
				STOCKADE FENCE
				STONE WALL
				RETAINING WALL
				STREAM / POND / WATER COURSE
				DETENTION BASIN
				HAY BALES
				SILT FENCE
				SILT SOCK / STRAW WATTLE
				MINOR CONTOUR
				MAJOR CONTOUR
				PARKING COUNT
				COMPACT PARKING STALLS
				DOUBLE YELLOW LINE
				CROSSWALK
				ACCESSIBLE CURB RAMP
				ACCESSIBLE PARKING
				VAN-ACCESSIBLE PARKING
Matchline				MATCHLINE

Abbreviations

General	Utility
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DVCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
PV	POST INDICATOR VALVE
RCP	REINFORCED CONCRETE PIPE
R=	RM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
 - ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
 - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 4 INCHES LOAM AND SEED.
 - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
 - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
 - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
 - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
 - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- Utilities**
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVES HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
 - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
 - SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
 - RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - LANDSCAPE LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
 - THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
 - CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
 - UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - WATER PIPES SHALL BE DUCTILE IRON
 - SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
 - STORM DRAINAGE PIPES SHALL BE HDPE
 - PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
 - CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
 - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURB RADI ARE 3 FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PCC WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORSEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- SEE SESC PLANS 1 AND 2.

Existing Conditions Information

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY SCLTUAUTE SURVEYS, INC. AND FROM PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY SCLTUAUTE SURVEYS, INC.
- TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 88.
- GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM VHB.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Charles A. Hart

Family Dollar
Main Street and Maple Avenue
West Warwick, Rhode Island

No.	Revision	Date	Apprv.

Issued for: **Permitting** Date: **May 26, 2017**

Not Approved for Construction
Drawing Title: **Legend and General Notes**

Drawing Number: **C-1**

Sheet **1** of **7**

Project Number: **72839.00**

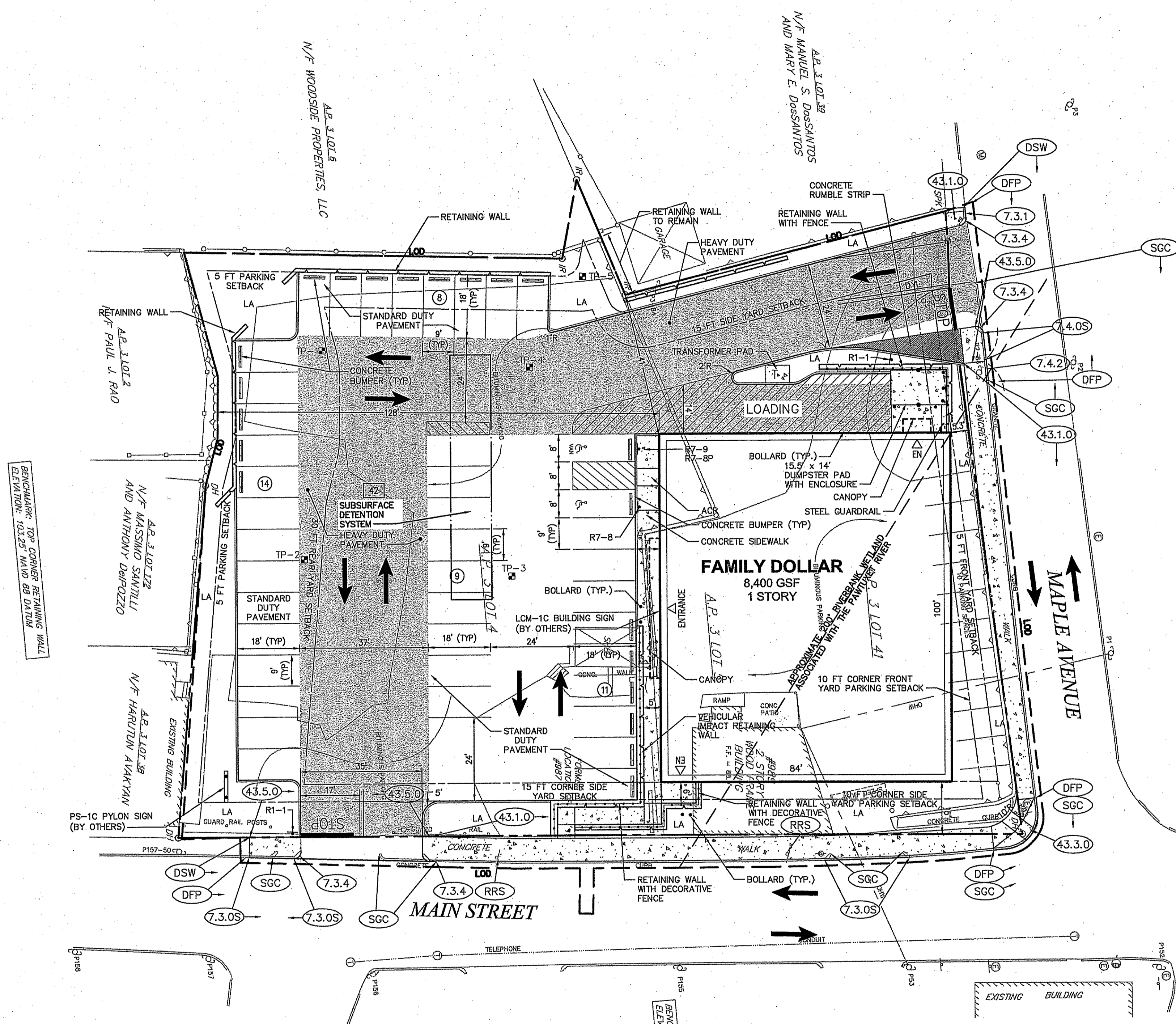
2 of 12

REGISTERED PROFESSIONAL ENGINEER
No. **6517**
5/26/17



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

- RIDOT STANDARD LEGEND**
- (7.3.0S) GRANITE CURB (STRAIGHT)
 - (7.3.1) 3'-0" GRANITE TRANSITION CURB
 - (7.3.4) GRANITE 2'-0" RADIUS CORNER
 - (7.4.0S) GRANITE SLOPED FACE CURB (STRAIGHT)
 - (7.4.2) GRANITE TRANSITION CURB (VERTICAL FACE TO SLOPE FACE)
 - (43.1.0) CEMENT CONCRETE SIDEWALK
 - (43.3.0) WHEELCHAIR RAMP
 - (43.5.0) CEMENT CONCRETE DRIVEWAYS
 - (AB) ADJUST CATCH BASIN TO GRADE
 - (AG) ADJUST GAS GATE BOX TO GRADE
 - (AHH) ADJUST HANDHOLE TO GRADE
 - (AW) ADJUST WATER GATE BOX TO GRADE
 - (CCB) CLEAN CATCH BASIN
 - (DFP) REMOVE AND DISPOSE FLEXIBLE PAVEMENT
 - (DSW) REMOVE AND DISPOSE SIDEWALK
 - (RRS) REMOVE AND RESET SIGN
 - (RUP) RELOCATE UTILITY POLE (BY OTHERS)
 - (SCCB) INLET PROTECTION
 - (SGC) REMOVE AND STOCKPILE GRANITE CURB



Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	40	40
STANDARD ACCESSIBLE SPACES *	8 x 18	8 x 18	1	1
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	1	1
TOTAL SPACES			42	42
LOADING BAYS**	14 x 60	14 x 60	0	1

* PER THE TOWN OF WEST WARWICK ZONING ORDINANCE SECTION 5.9.4. ALL PARKING SPACES AND AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, AS AMENDED. ADA REQUIREMENTS ARE AS FOLLOWS:
A. 2 ACCESSIBLE SPACES FOR PARKING LOTS OF 26 TO 50 TOTAL SPACES
B. AT LEAST 1 ACCESSIBLE SPACE SHALL BE DESIGNATED AS "VAN ACCESSIBLE". 1 OF EVERY 6 ACCESSIBLE SPACES SHALL BE DESIGNATED AS "VAN ACCESSIBLE".
C. ACCESSIBLE SPACES SHALL HAVE AN ADJACENT ACCESS AISLE AT LEAST A 60 INCHES WIDE AND VAN ACCESSIBLE SPACES SHALL HAVE AN ADJACENT ACCESS AISLE AT LEAST 96 INCHES WIDE.

** THE REQUIRED NUMBER OF LOADING BAYS WITH MINIMUM DIMENSIONS OF 14 FT WIDE BY 60 FT LONG AND 15 FT OF VERTICAL CLEARANCE PER THE TOWN OF WEST WARWICK ZONING ORDINANCE SECTION 5.9.15 ARE AS FOLLOWS:
A. 0 BAYS FOR 0-10,000 SF OF GFA
B. 1 BAY FOR 10,000-49,999 SF OF GFA

Parking Requirements:

RETAIL 8,400 SF x 1 SPACES / 200 SF = 42 SPACES
TOTAL PARKING REQUIRED = 42 SPACES

Zoning Summary Chart

Zoning District(S): B - Business

Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	10,000 SF	37,813.7 SF
FRONTAGE	0 FT	179.5 FT
FRONT YARD SETBACK	5 FT	5.3 FT
SIDE YARD SETBACK	15 FT	15 FT
REAR YARD SETBACK	30 FT	128 FT
MINIMUM LOT WIDTH	100 FT	228.9 FT
MINIMUM LOT DEPTH	100 FT	178.0 FT
MAXIMUM BUILDING HEIGHT	90 FT	23.5 FT
MAXIMUM BUILDING COVERAGE	50%	22.2%

Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
RI-1	30"	30"	STOP
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE

General

1. ALL WORK WITHIN IN STATE RIGHT OF WAY SHALL BE PER RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS.

Family Dollar
Main Street and Maple Avenue
West Warwick, Rhode Island

No.	Revision	Date	Appr.
1	REVISIONS FOR RIDOT SUBMISSION	6/2/2017	

Issued for: Permitting
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Not Approved for Construction
Layout and Materials Plan

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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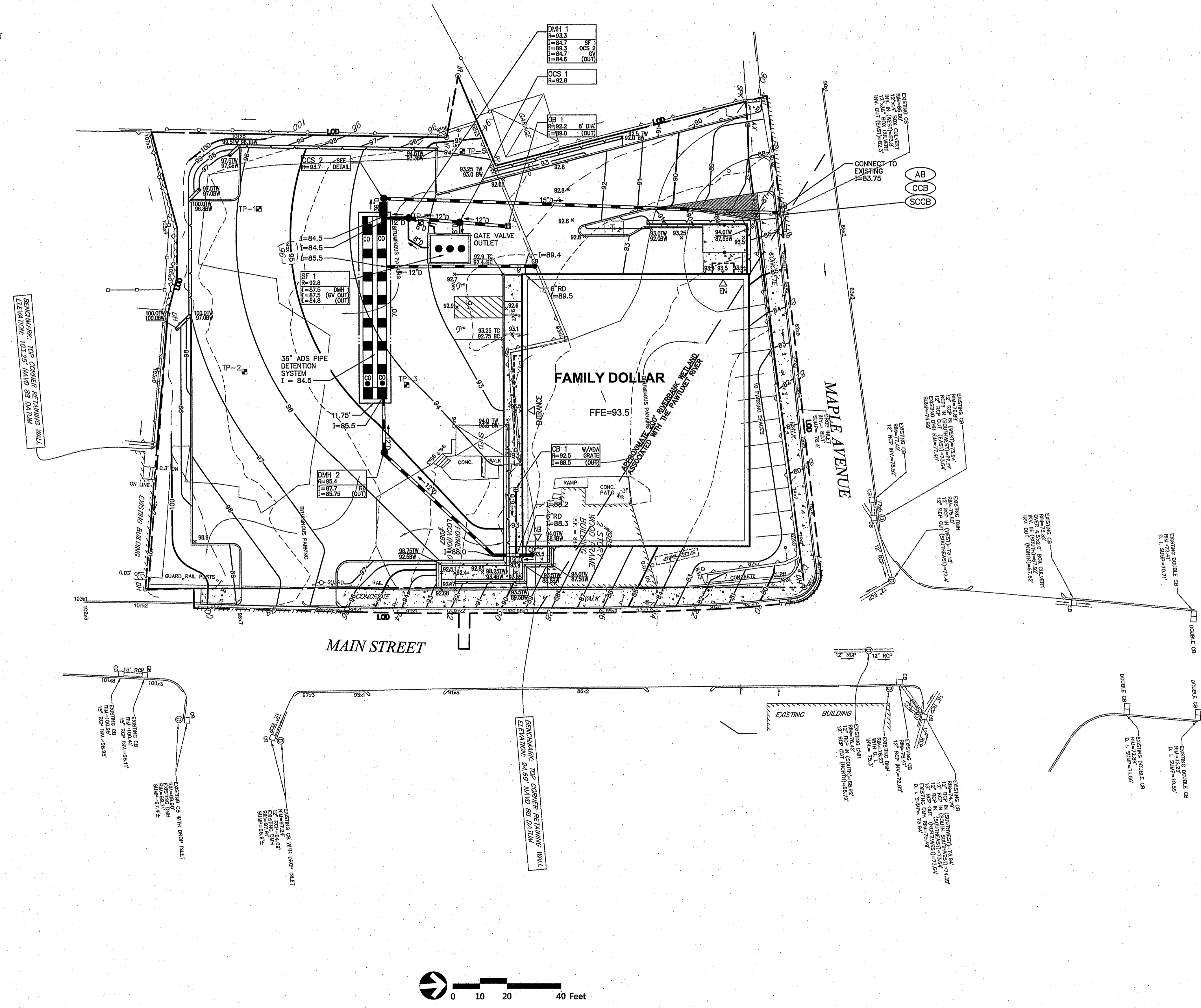
C-2
Sheet 2 of 7





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Charles H. Barber

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Grading and
Drainage Plan

Drawing Number
C-3
Sheet 3 of 7
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4 of 12

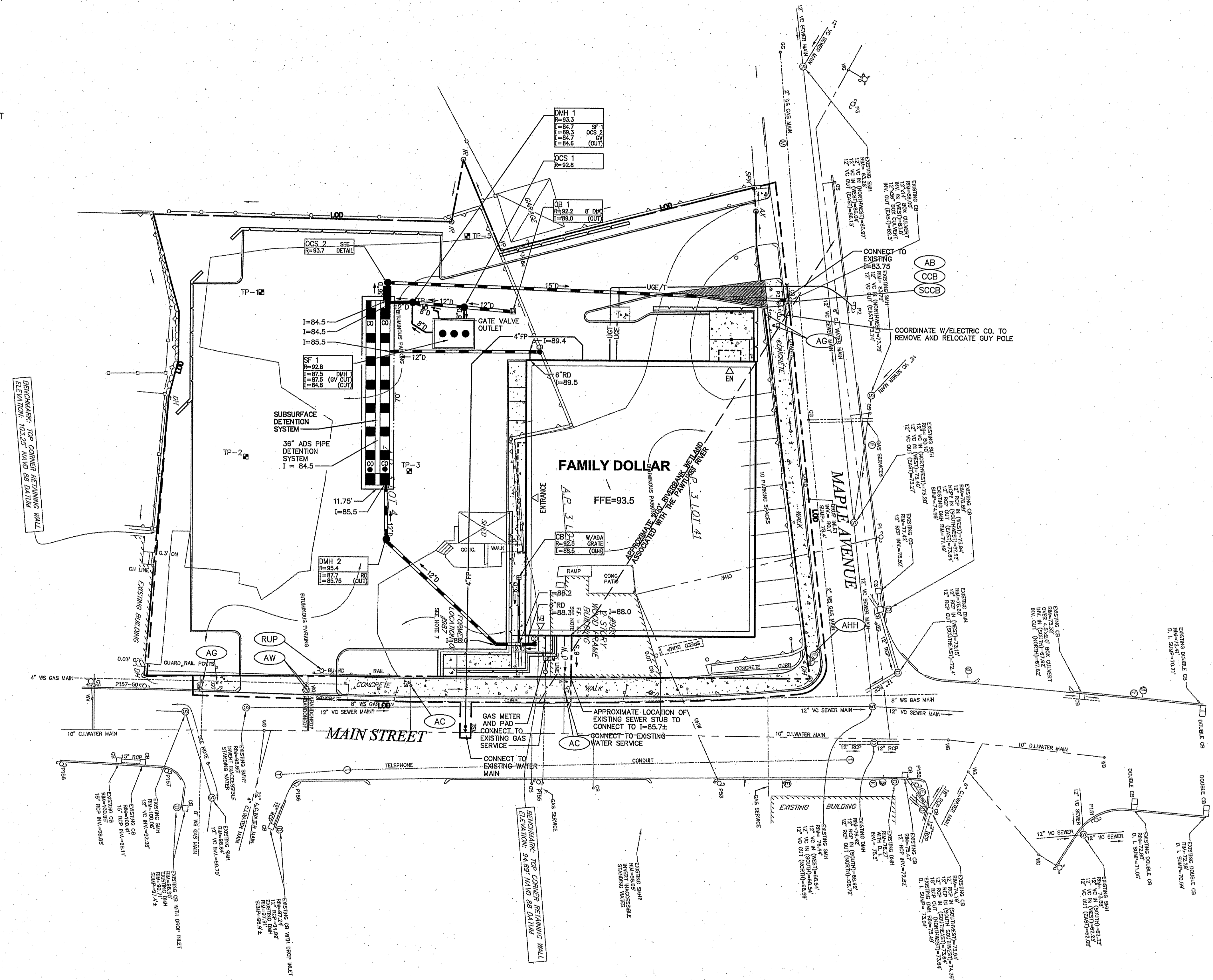
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AUG 24 2017
PROVIDENCE, RHODE ISLAND



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 - 7.3.4 GRANITE 2'-0" RADIUS CORNER
 - 7.4.0S GRANITE SLOPED FACE CURB (STRAIGHT)
 - 7.4.2 GRANITE TRANSITION CURB (VERTICAL FACE TO SLOPE FACE)
 - 43.1.0 CEMENT CONCRETE SIDEWALK
 - 43.3.0 WHEELCHAIR RAMP
 - 43.5.0 CEMENT CONCRETE DRIVEWAYS
 - AB ADJUST CATCH BASIN TO GRADE
 - AG ADJUST GAS GATE BOX TO GRADE
 - AHH ADJUST HANDHOLE TO GRADE
 - AW ADJUST WATER GATE BOX TO GRADE
 - CCB CLEAN CATCH BASIN
 - DFP REMOVE AND DISPOSE FLEXIBLE PAVEMENT
 - DSW REMOVE AND DISPOSE SIDEWALK
 - RRS REMOVE AND RESET SIGN
 - RUP RELOCATE UTILITY POLE (BY OTHERS)
 - SCCB INLET PROTECTION
 - SGC REMOVE AND STOCKPILE GRANITE CURB



Family Dollar
Main Street and Maple Avenue
West Warwick, Rhode Island

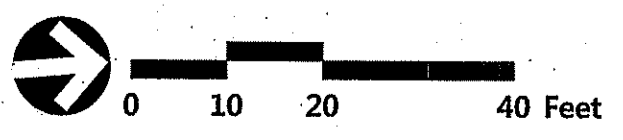
No.	Revision	Date	Appr.

Issued for: **Permitting** Date: **May 26, 2017**

Not Approved for Construction
Drawing Title: **Utility Plan**

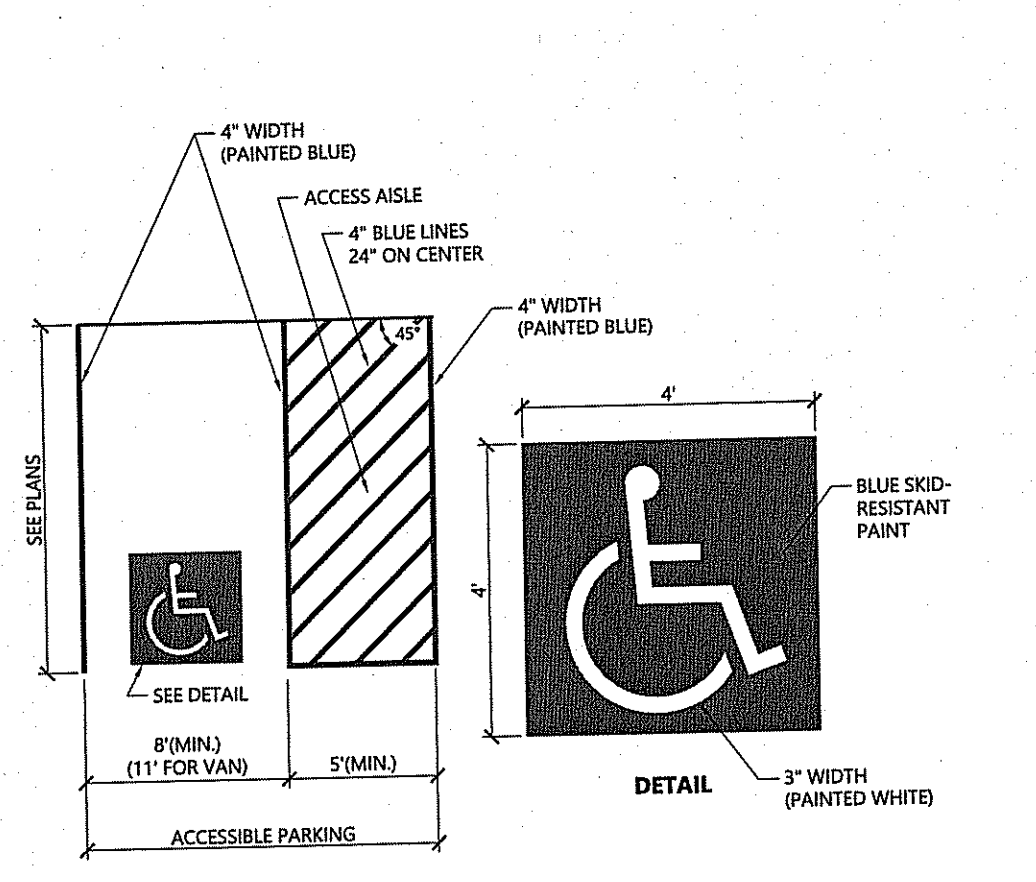
REGISTERED PROFESSIONAL ENGINEER
RENEE L. CODEGA
No. 6517
5/26/17

Sheet **C-4** of 7
Project Number **72839.00**
5 of 12

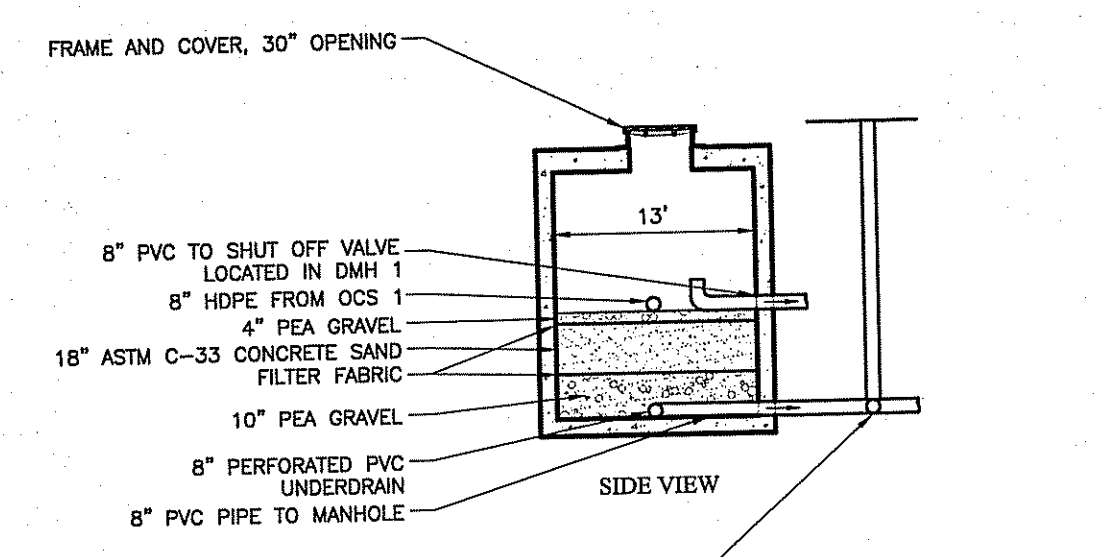




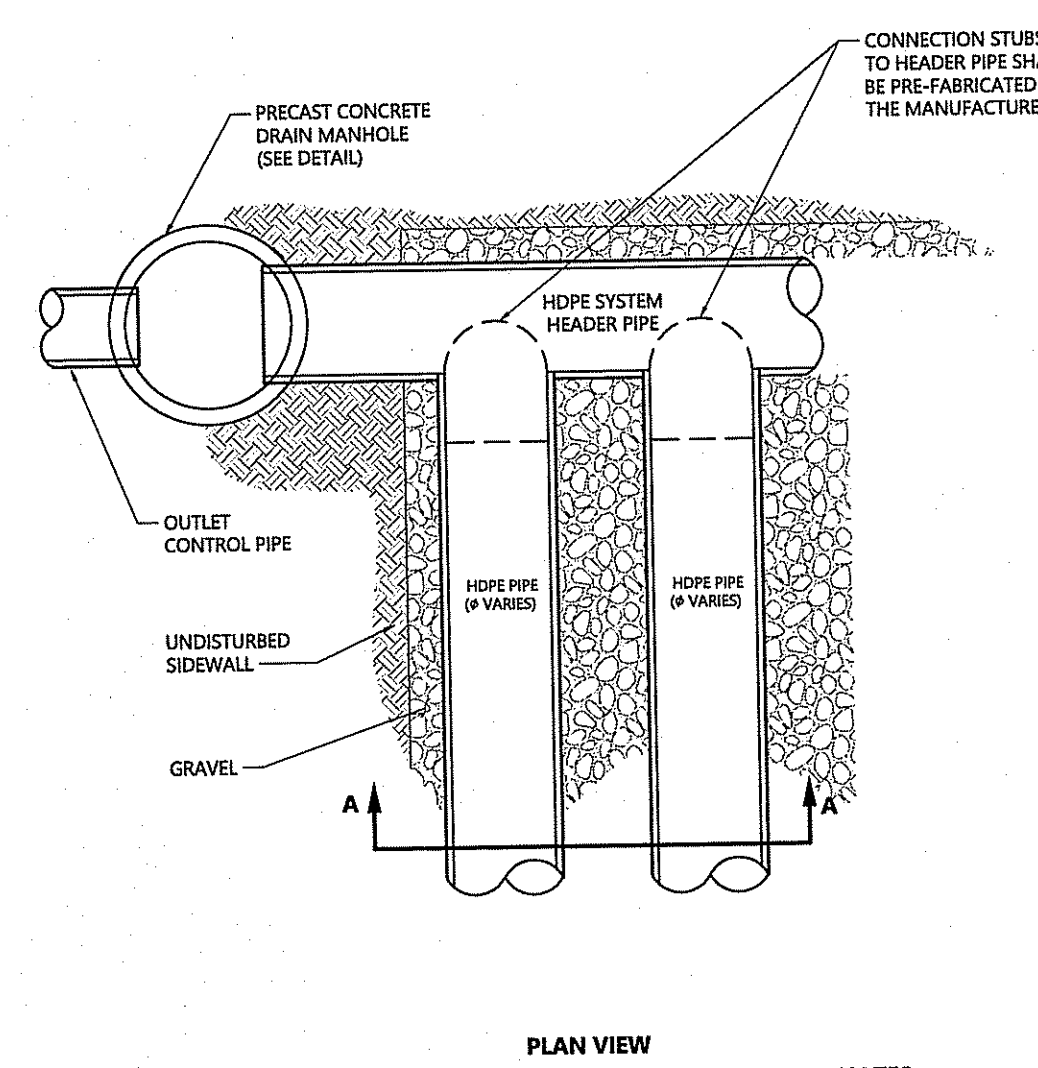
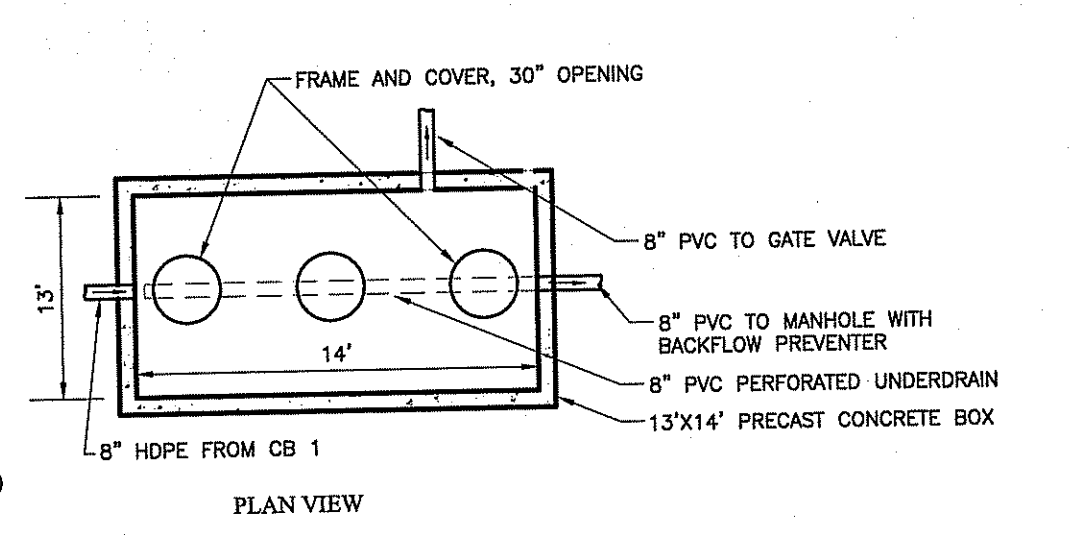
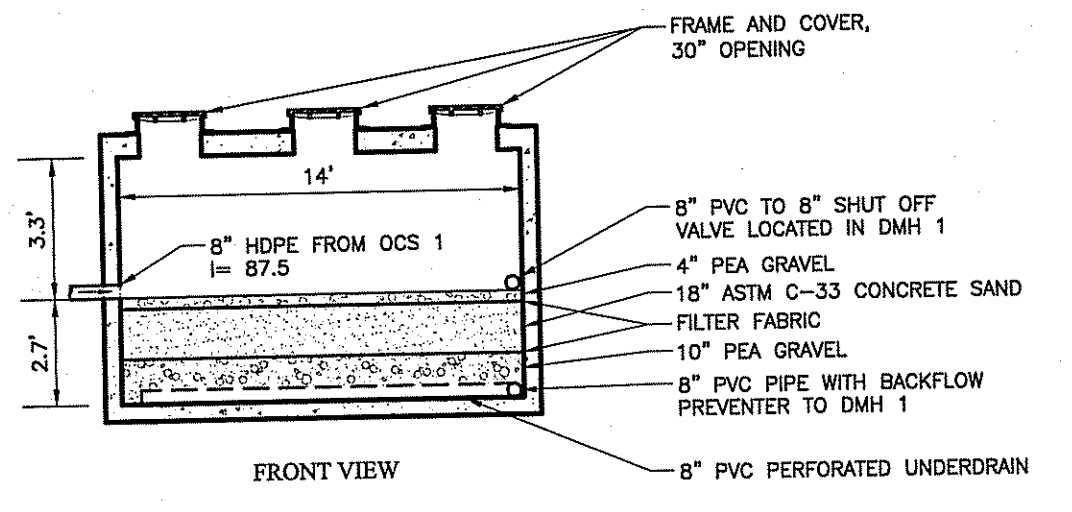
1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



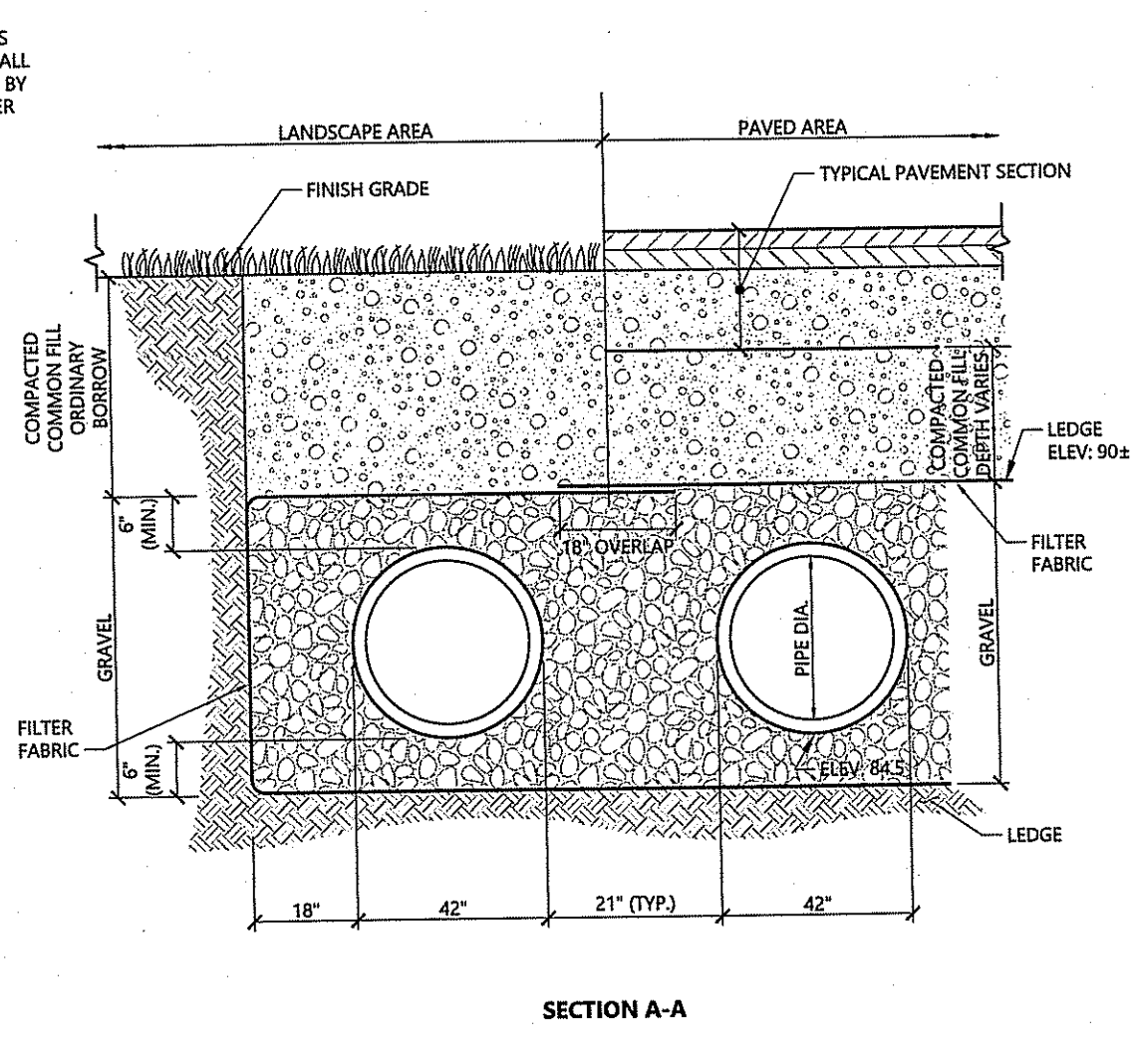
- NOTES**
- ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
 - 8" STALL WIDTH REFERS TO 8" CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
 - ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.



- Notes:**
- SAND FILTER VAULT SHALL BE A PRECAST TANK.
 - STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
 - SEE DRAINAGE PLAN FOR LOCATION OF MANHOLES & CONDUIT SERVICING THE VAULT.
 - PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN ALL SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - STANDARD DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
 - BARREL BLOCK AND MORTAR SHALL BE USED TO BRING MANHOLE FRAME AND COVER TO FINISHED GRADE WHEN DEPTH TO TOP OF STRUCTURE EXCEEDS 18 INCHES.
 - ALL PVC PIPE INSIDE VAULT SHALL BE PERFORMED.



- NOTES**
- PIPE SIZE AND CONFIGURATION TO BE SUPPLIED AS SPECIFIED ON SITE PLANS.



- NOTES**
- PIPE SIZE AND CONFIGURATION TO BE SUPPLIED AS SPECIFIED ON SITE PLANS.

Accessible Parking Space 1/16
N.T.S. Source: VHB LD_552

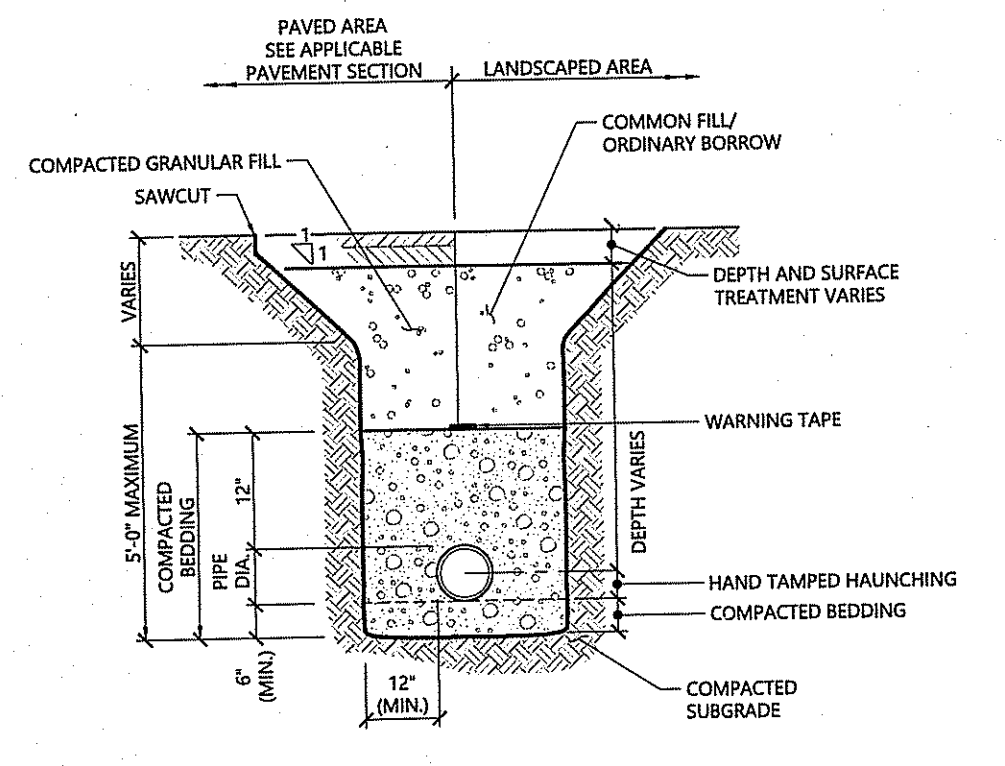
Sand Filter Vault-SF1 1/16
N.T.S. Source: VHB LD_183

Detention/Header System 1/16
N.T.S. Source: VHB REV LD_183

Family Dollar
Main Street and Maple Street West Warwick
Described 02/15/2017
By Jeffrey C. Peterson, CPSS, RIDEM Class IV License 4039

Test Pit #	Depth	Soil Description
Test Pit 1	0 to 3 inches	Black (10YR 2/1) Asphalt pavement.
*C1	3 to 11 inches	Dark olive brown (2.5Y 4/3) very gravelly coarse sand, single grain, loose, common medium roots, clear smooth boundary (HTM).
	11 to 25 inches	Dark brown (10YR 3/3) very stony sandy loam, with 10 percent artifacts including bricks, broken concrete, and wood shreds, massive, friable, clear wavy boundary.
*Aub	25 to 31 inches	Very dark grayish brown (10YR 3/2), stony sandy loam, with wood and brick debritment, massive, friable, many medium roots, abrupt wavy boundary.
3C3	31 to 65 inches	Light olive brown (2.5Y 5/4) very stony coarse sand, single grain, loose, with much weathered rock, abrupt smooth boundary.
R	65 inches	Competent bedrock.
Test Pit 2	0 to 4 inches	Very dark grayish brown (10YR 3/2) fine sandy loam, weak medium granular structure, friable, clear smooth boundary (HTM).
*C1	4 to 46 inches	Light olive brown (2.5Y 5/4) and 2.5Y 4/4 very bouldery sandy loam, 10 percent brick fragments, massive, friable, abrupt wavy boundary (HTM).
2C	48 to 52 inches	Light olive brown (2.5Y 5/4) very stony coarse sand, single grain, loose, with much weathered rock, abrupt smooth boundary.
R	52 inches	Competent bedrock.
Test Pit 3	0 to 2 inches	Asphalt pavement.
*C1	3 to 11 inches	Dark olive brown (2.5Y 4/3) very gravelly coarse sand, single grain, loose, no roots, abrupt smooth boundary (HTM).
Ab	11 to 13 inches	Very dark grayish brown (10YR 3/2) stony fine sandy loam, massive, firm, no roots, abrupt irregular boundary.
Bwb	13 to 28 inches	Brown (7.5YR 4/4), bouldery sandy loam, massive, friable, abrupt smooth boundary.
2C2	28 to 56 inches	Light olive brown (2.5Y 5/4) very bouldery loamy coarse sand, single grain, loose, abrupt smooth boundary.
R	56 inches	Competent bedrock.

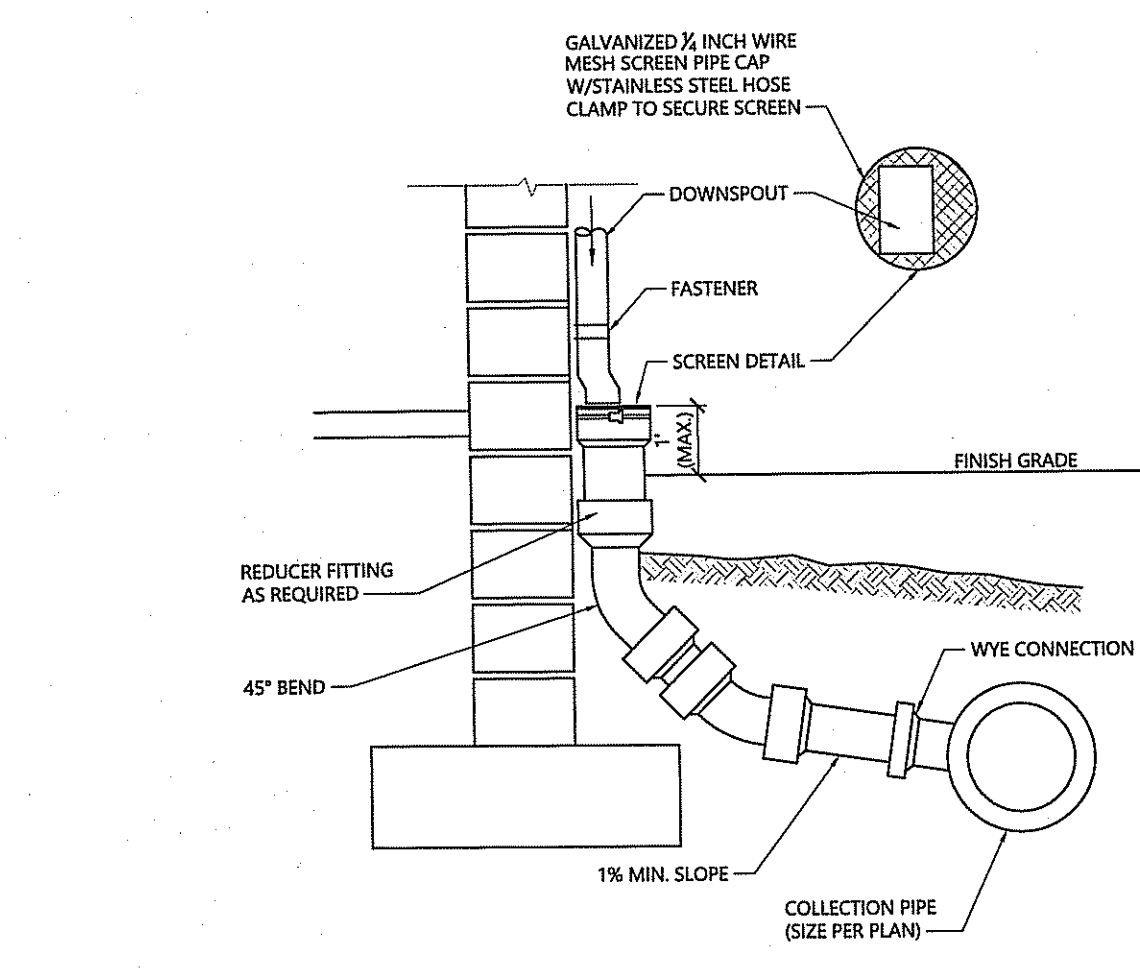
Test Pit #	Depth	Soil Description
Test Pit 4	0 to 2 inches	Asphalt pavement.
*C1	2 to 9 inches	Dark olive brown (2.5Y 4/3) very gravelly coarse sand, single grain, loose, no roots, abrupt smooth boundary (HTM).
Bwb	9 to 25 inches	Brown (7.5YR 4/4) bouldery sandy loam, massive, friable, clear wavy boundary.
BC	25 to 34 inches	Olive brown (2.5Y 4/4), very bouldery coarse sand, single grain, loose, clear wavy boundary.
C2	34 to 62 inches	Light olive brown (2.5Y 5/4) very bouldery loamy coarse sand, single grain, loose, abrupt smooth boundary.
R	62 inches	Competent bedrock.
Test Pit 5	0 to 2 inches	Asphalt pavement.
*C1	2 to 11 inches	Dark olive brown (2.5Y 3/3) very gravelly coarse sand, single grain, loose, common medium roots, clear smooth boundary (HTM).
Ab	11 to 22 inches	Very dark grayish brown (10YR 3/2) very stony fine sandy loam, weak medium granular structure, friable, common medium roots, abrupt wavy boundary.
Bwb	22 to 35 inches	Brown (7.5YR 4/4) stony sandy loam, weak medium subangular blocky structure, friable, abrupt wavy boundary.
2C2	35 to 47 inches	Light olive brown (2.5Y 5/4) very stony loamy sand, single grain, loose, abrupt smooth boundary.
R	47 inches	Competent bedrock.



- NOTES**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
 - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

Downspout Rain Leader 1/16
N.T.S. Source: VHB REV LD_193

Cleanout - Paved Area 1/16
N.T.S. Source: VHB LD_303



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 31 2017 FILE # 17-0129
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James H. Herbert

Test Pit Data 4/17
N.T.S. Source: VHB

Utility Trench 1/16
N.T.S. Source: VHB LD_300

Cleanout - Paved Area 1/16
N.T.S. Source: VHB LD_303

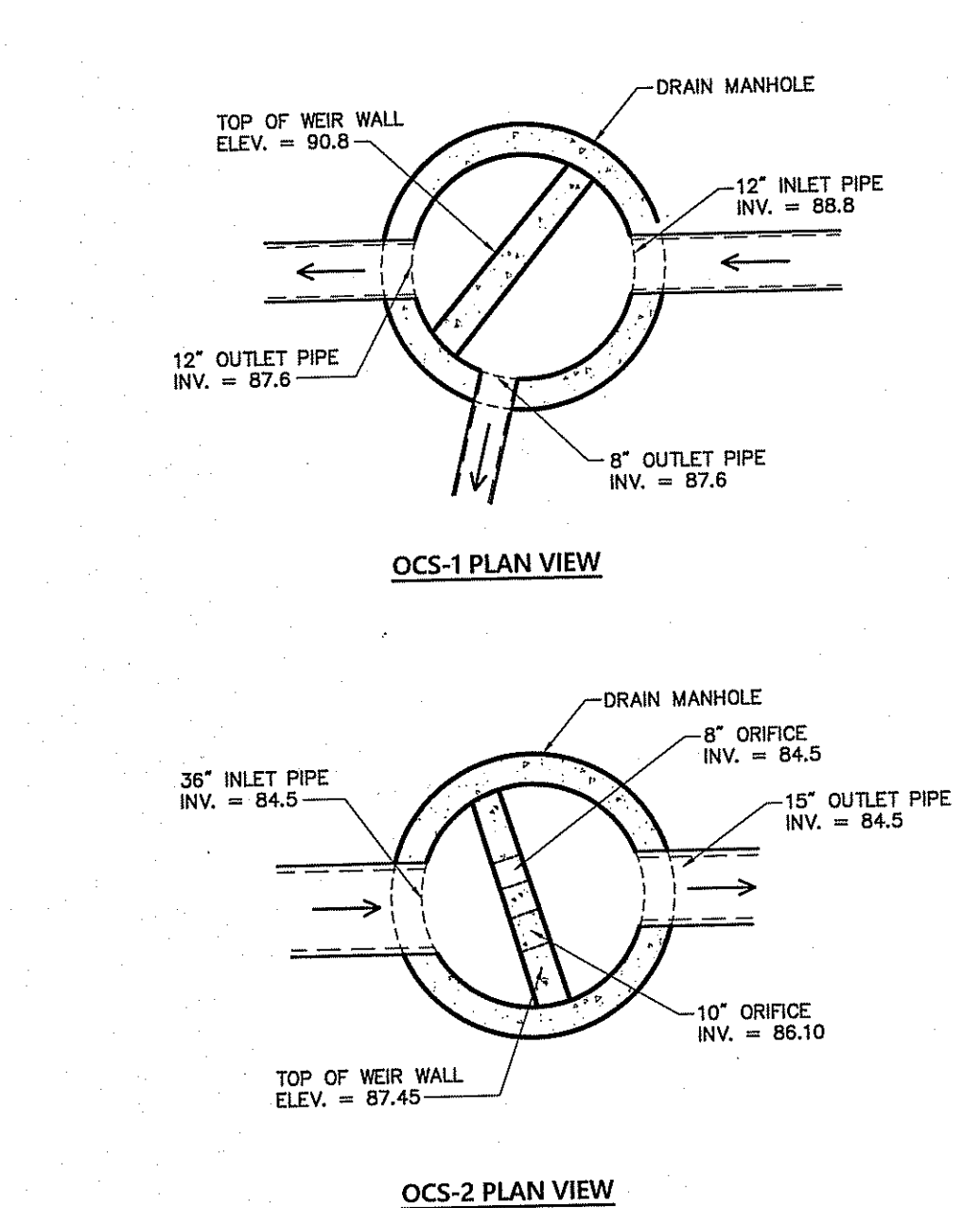
Downspout Rain Leader 1/16
N.T.S. Source: VHB REV LD_193

Family Dollar

Main Street and Maple Avenue
West Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM Comments	Aug. 21, 2017	RLC

Designed by: *GB* Checked by: _____
Issued for: _____ Date: _____
Permitting May 26, 2017



Outlet Control Structures OCS-1 and OCS-2 4/17
N.T.S. Source: VHB

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/2"	8"	15"	12"	24"	12"	6" 4 1/2"	8"	30"	12"	24"	14"
6" 22 1/2"	19"	-	-	13"	6" 9" 0"	-	-	30"	-	-	27"
8" 11 1/2"	20"	-	-	12"	8" 4 1/2"	-	-	30"	-	-	24"
8" 22 1/2"	22"	-	-	17"	8" 9" 0"	-	-	36"	-	-	36"
12" 11 1/2"	30"	-	-	15"	12" 4 1/2"	-	-	40"	-	-	40"
12" 22 1/2"	35"	-	-	25"	12" 9" 0"	-	-	40"	-	-	52"

TABLE OF DIMENSIONS

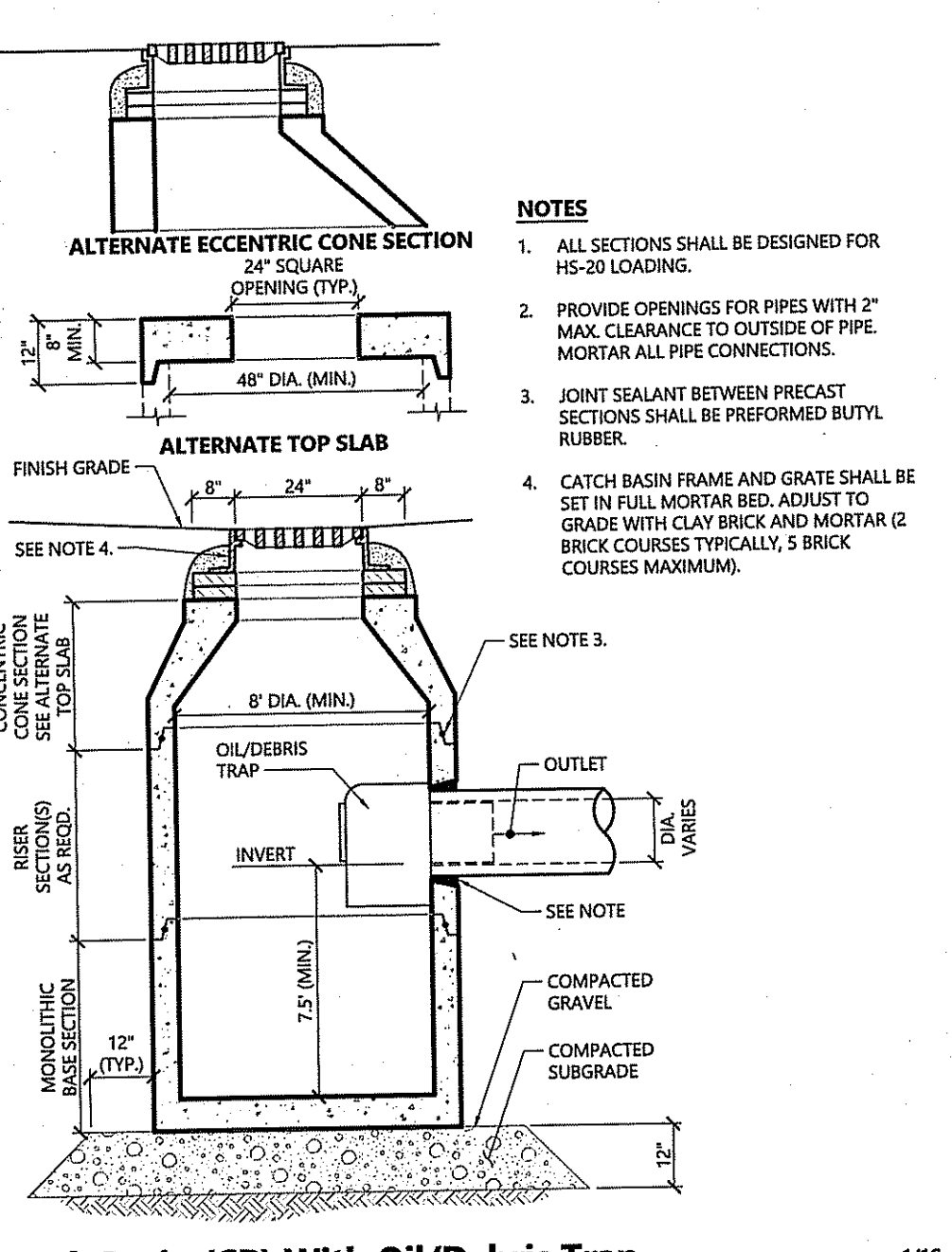
TEES	G	H	I	J	TEES	G	H	I	J
6"X6"X6"	12"	24"	24"	18"	12"X12"X6"	12"	24"	24"	18"
8"X8"X6"	-	-	-	-	12"X12"X8"	-	-	-	24"
8"X8"X8"	-	-	-	24"	12"X12"X12"	-	-	-	36"

NOTES

- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES AND VERTICAL BENDS SAME SIZE AS REQUIRED FOR TEES, PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
- CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTINGS.
- CONCRETE SHALL BE 3000 PSI-TYPE I.

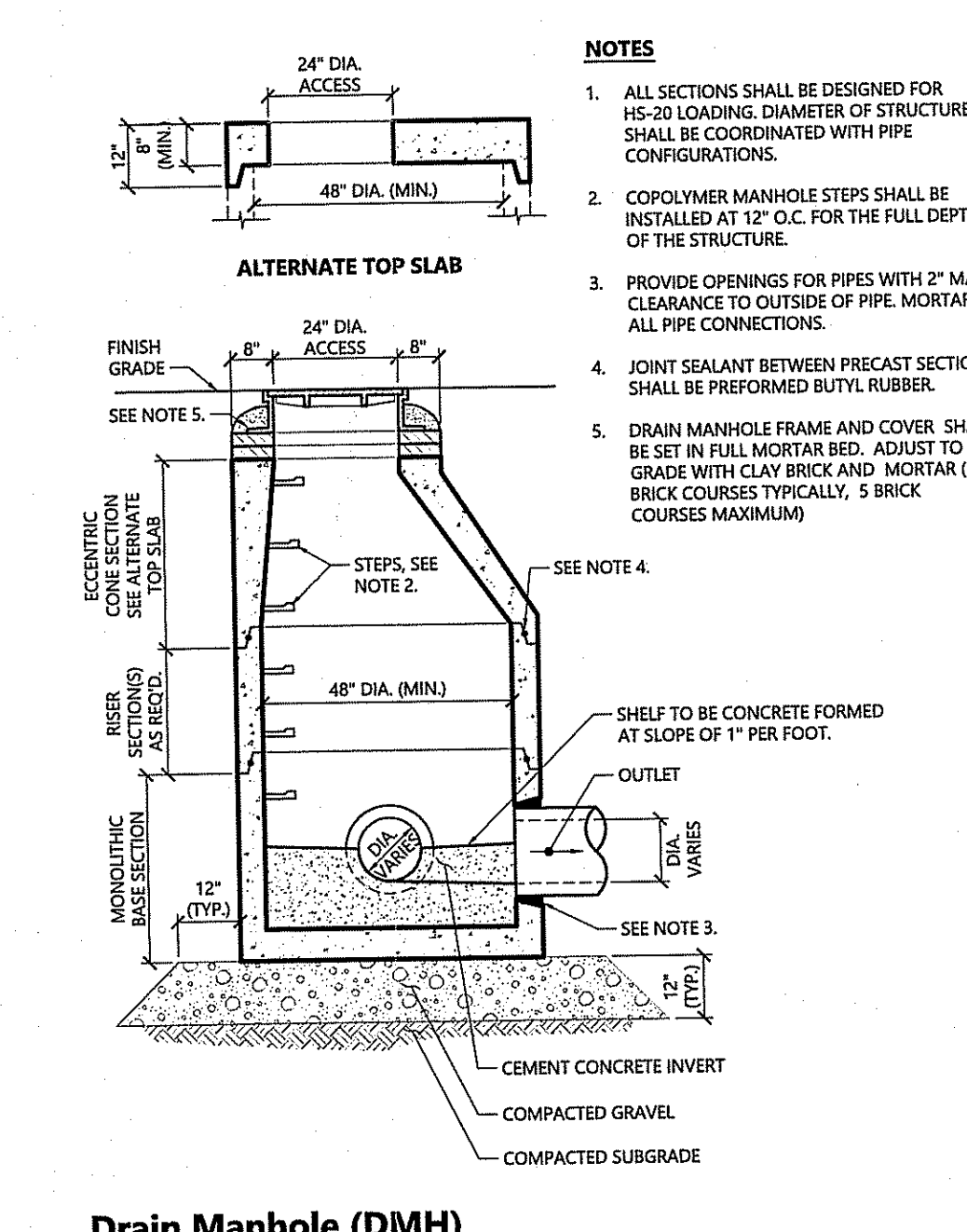
Concrete Thrust Block 1/16
N.T.S. Source: VHB LD_260

Utility Trench 1/16
N.T.S. Source: VHB LD_300



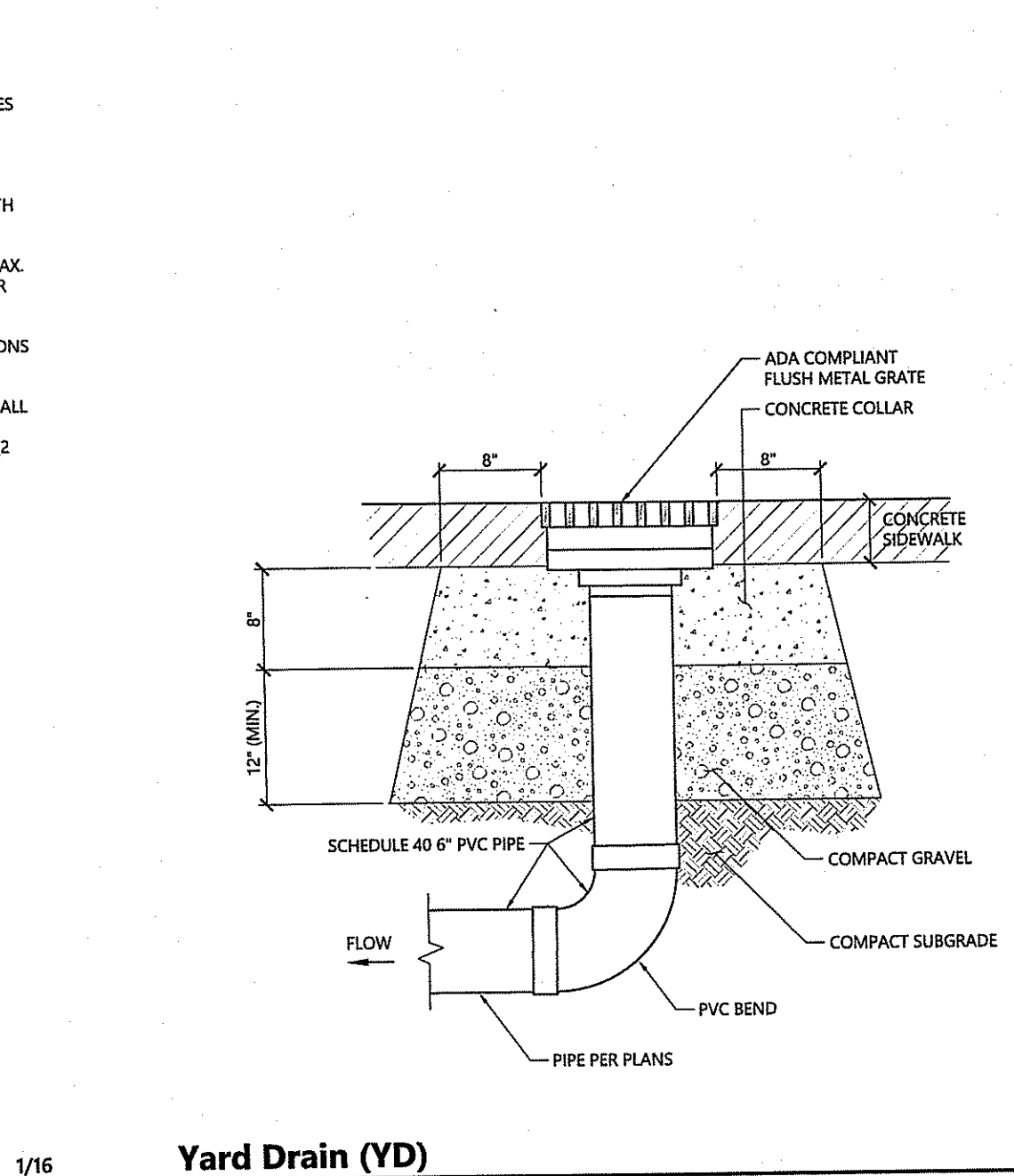
Catch Basin (CB) With Oil/Debris Trap 1/16
N.T.S. Source: VHB REV LD_101

Cleanout - Paved Area 1/16
N.T.S. Source: VHB LD_303



Drain Manhole (DMH) 1/16
N.T.S. Source: VHB LD_115

Downspout Rain Leader 1/16
N.T.S. Source: VHB REV LD_193

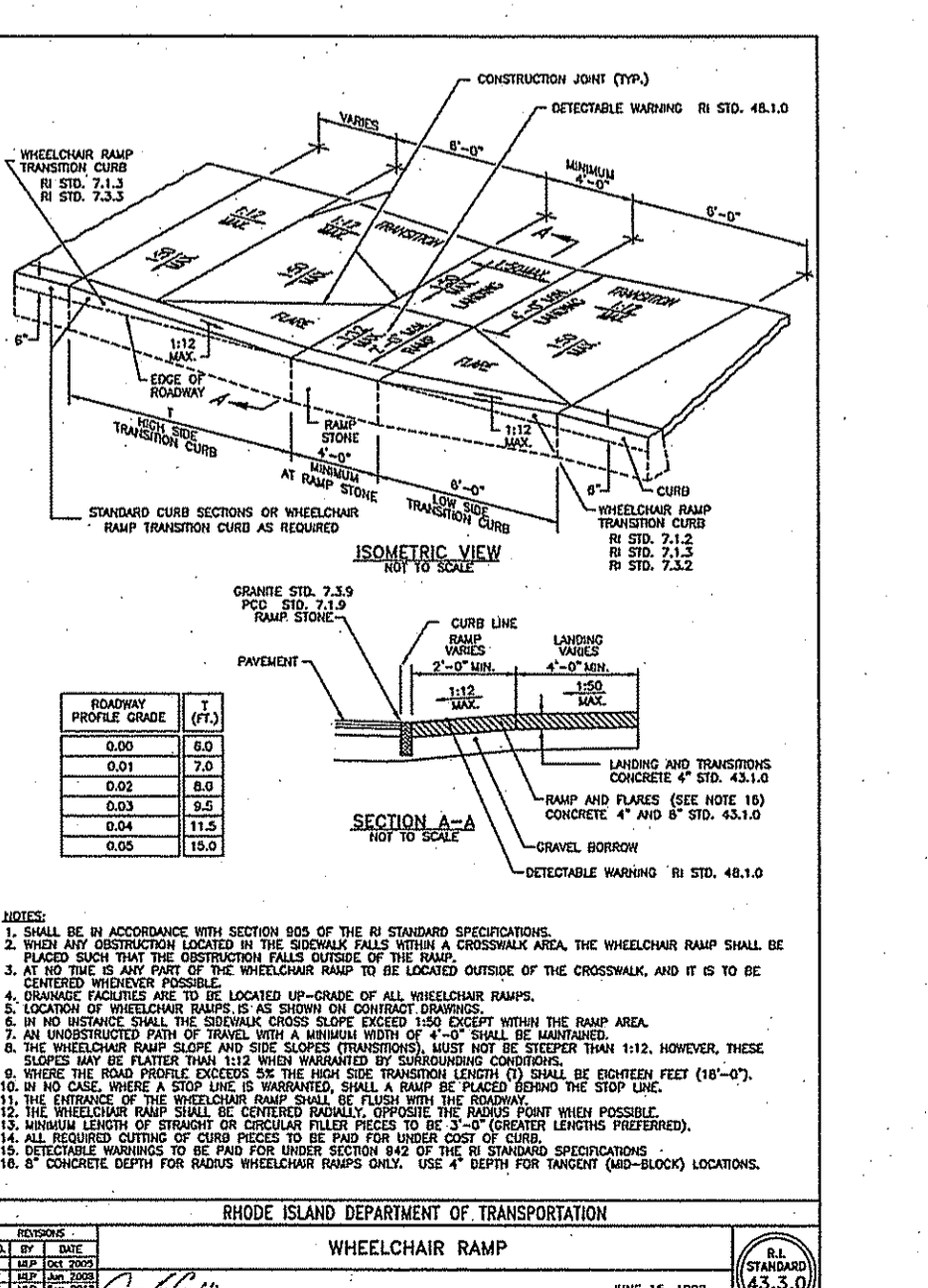
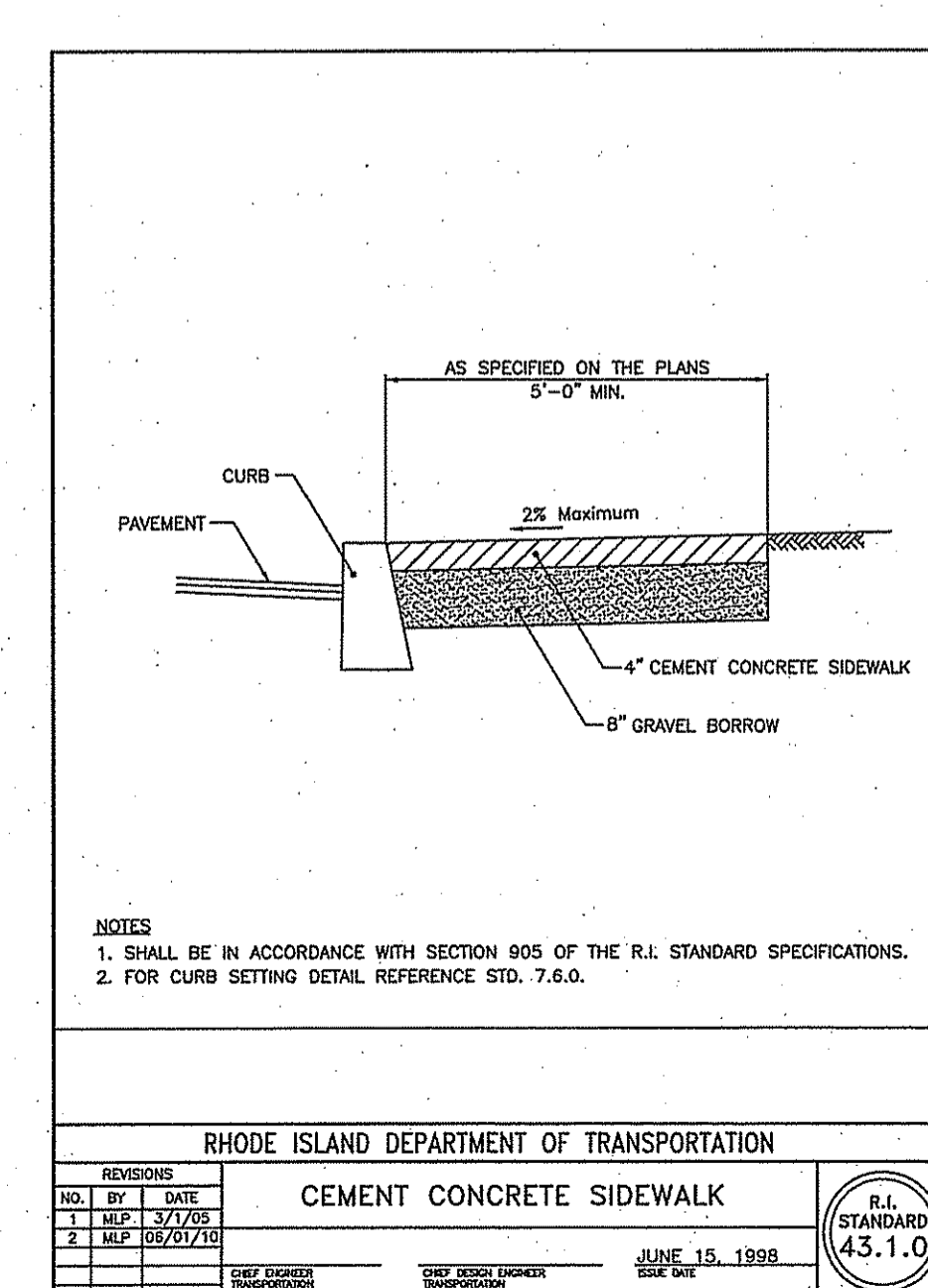
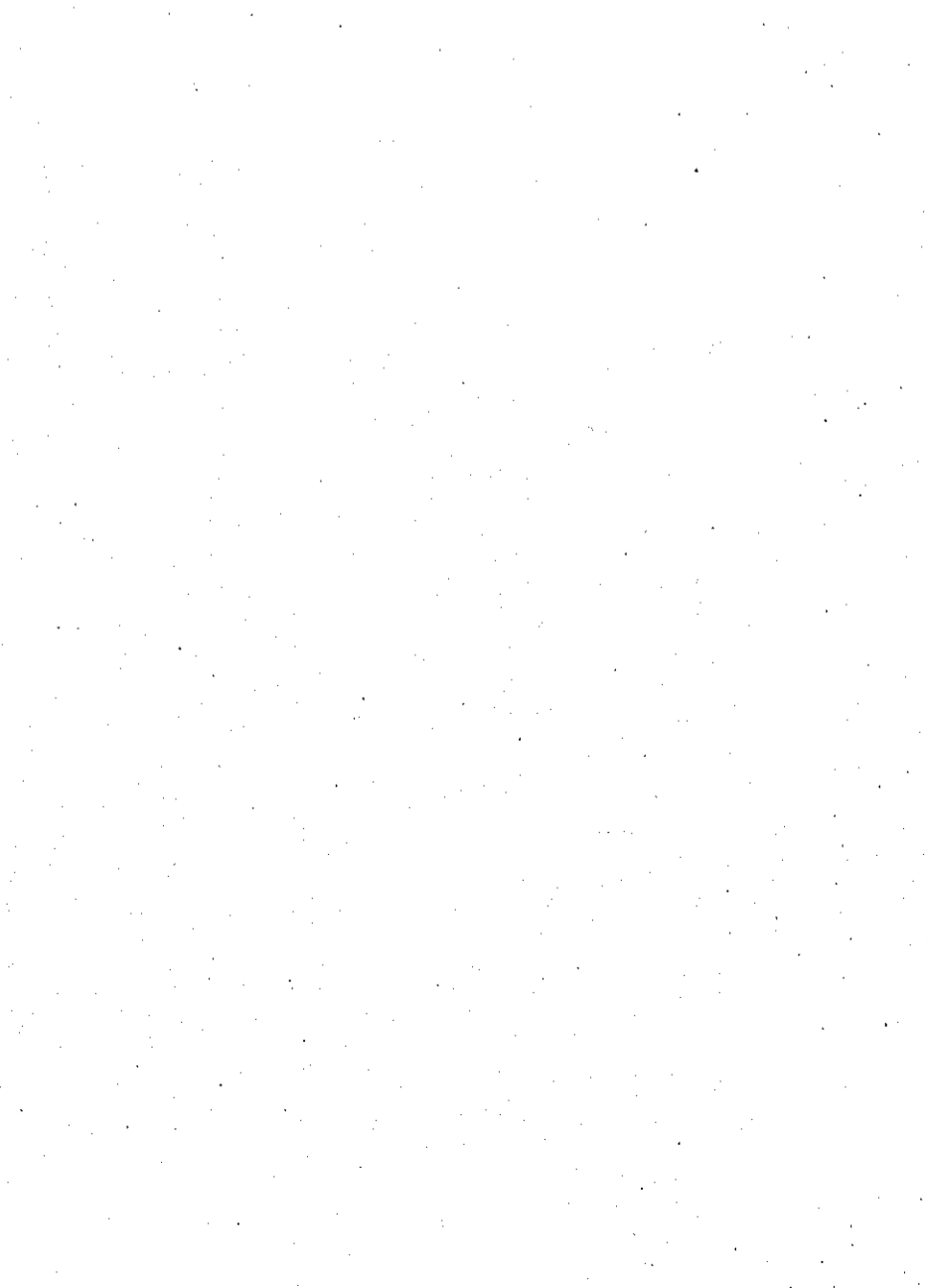
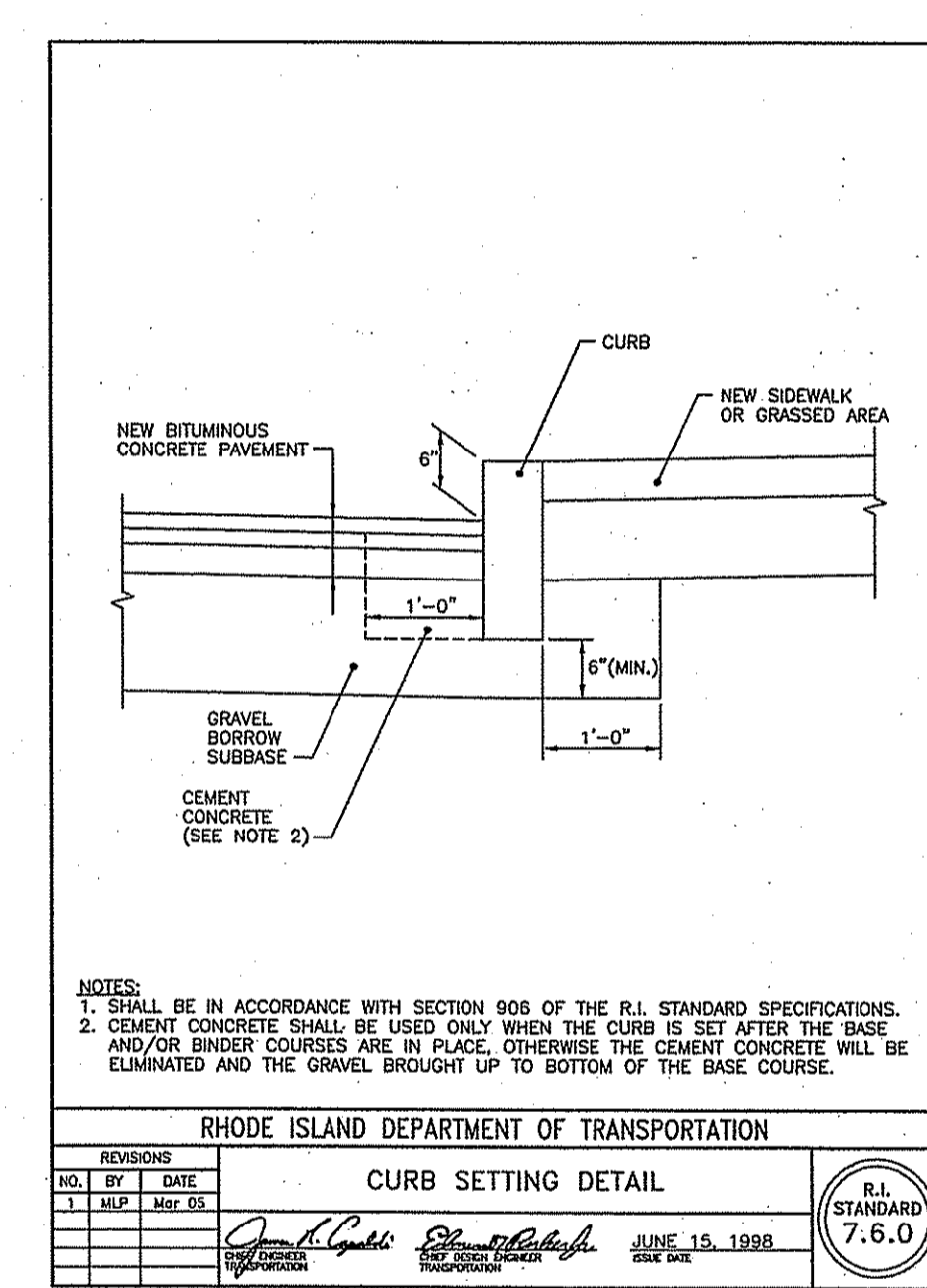
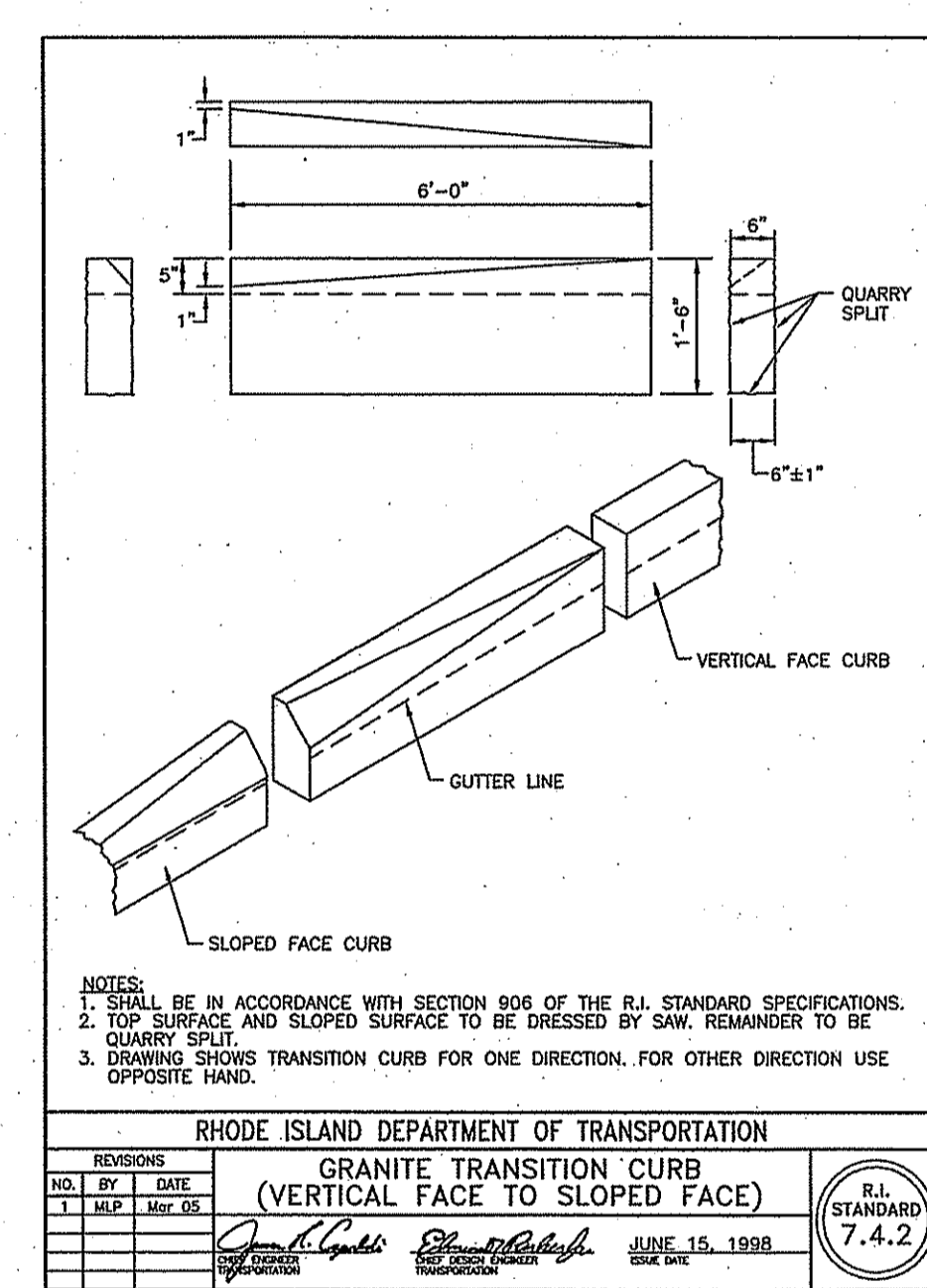
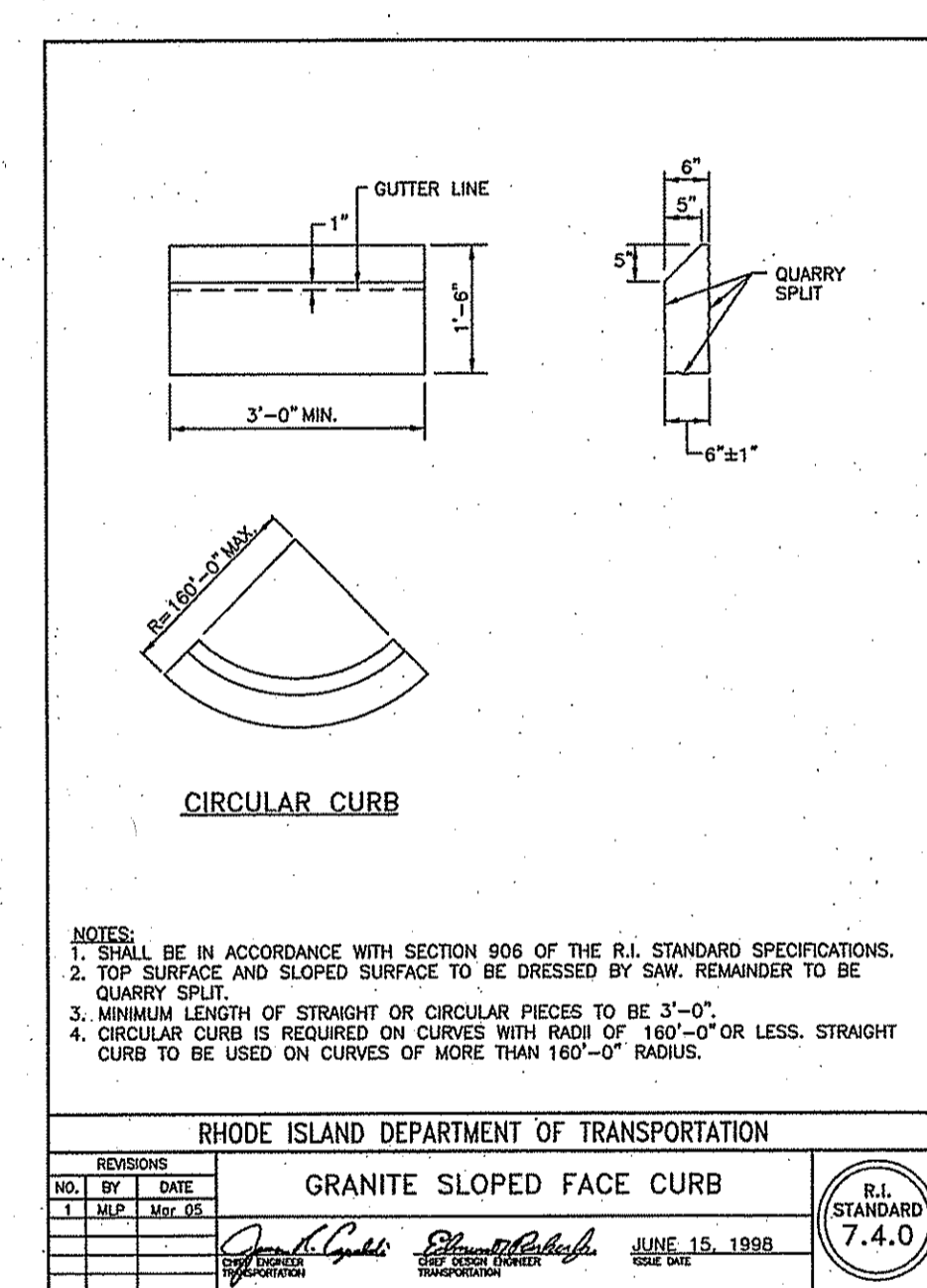
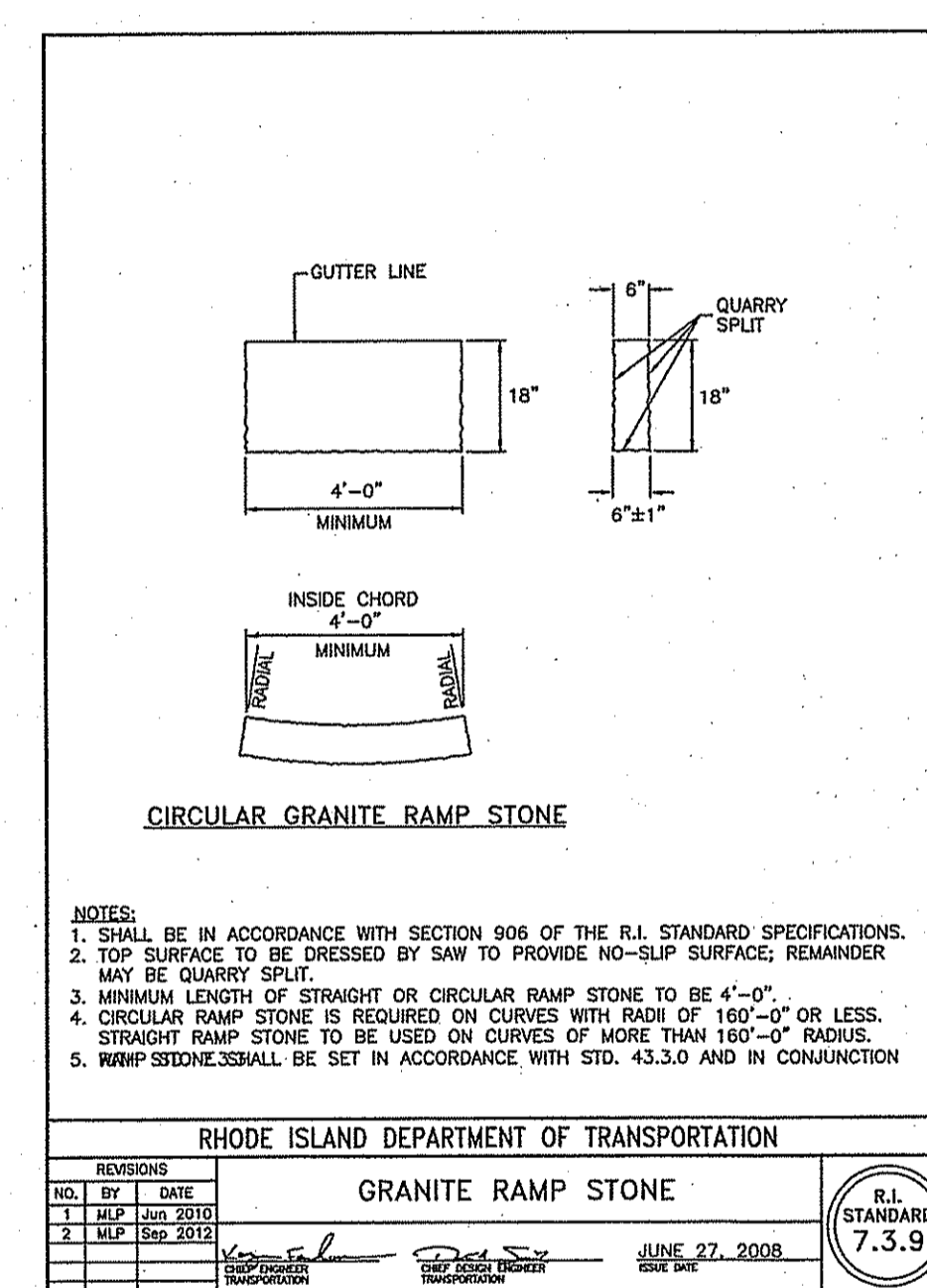
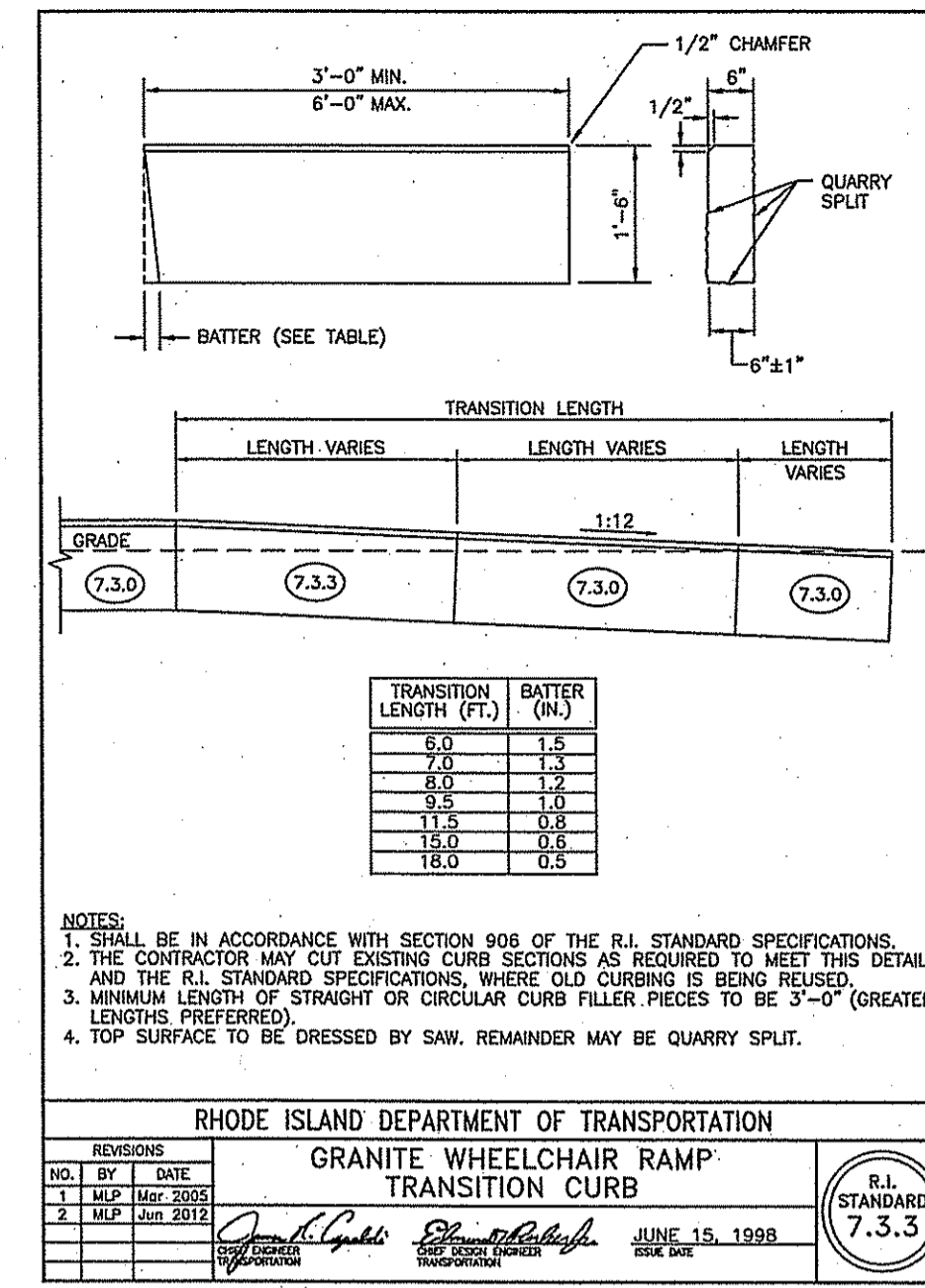
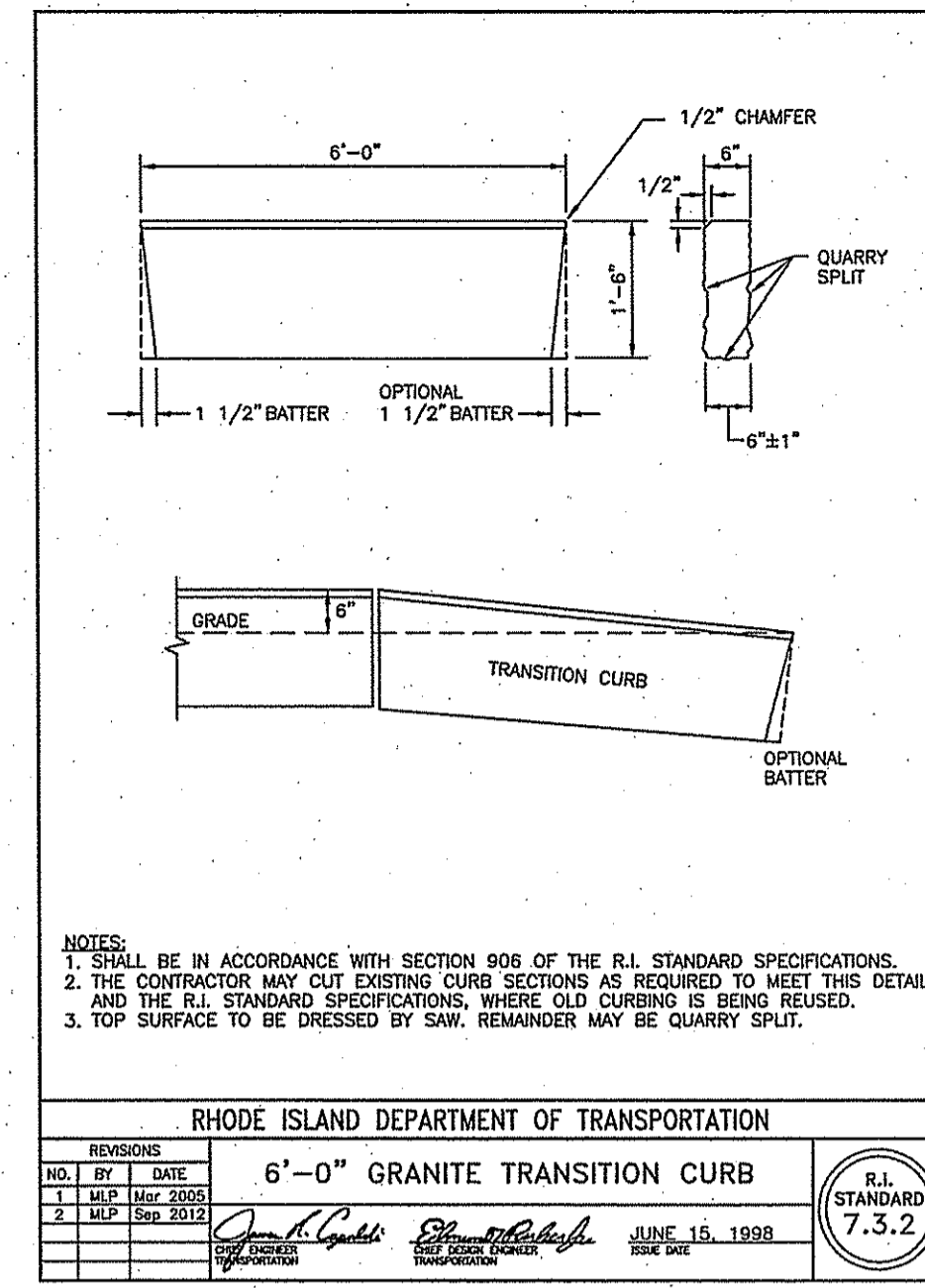
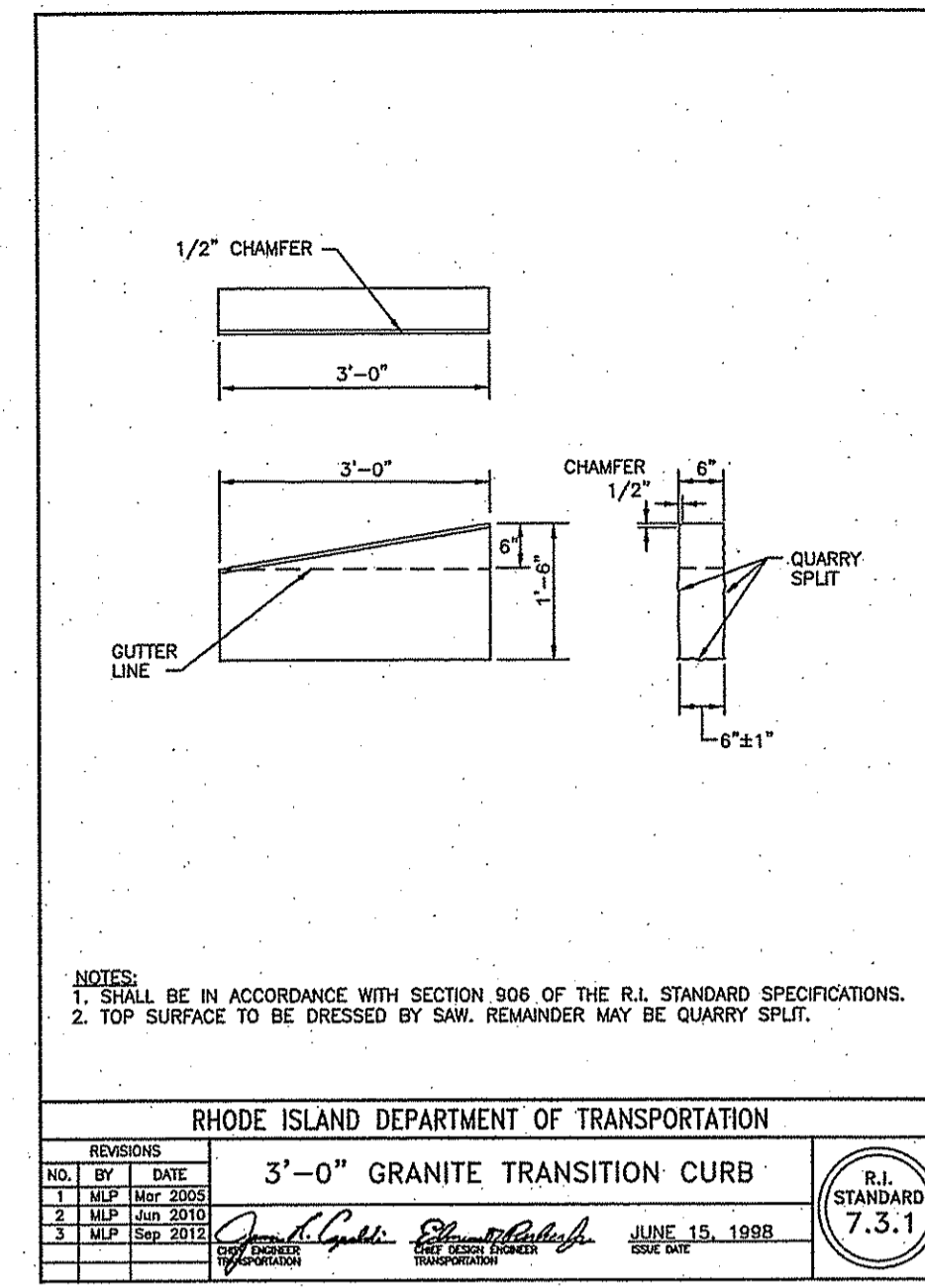
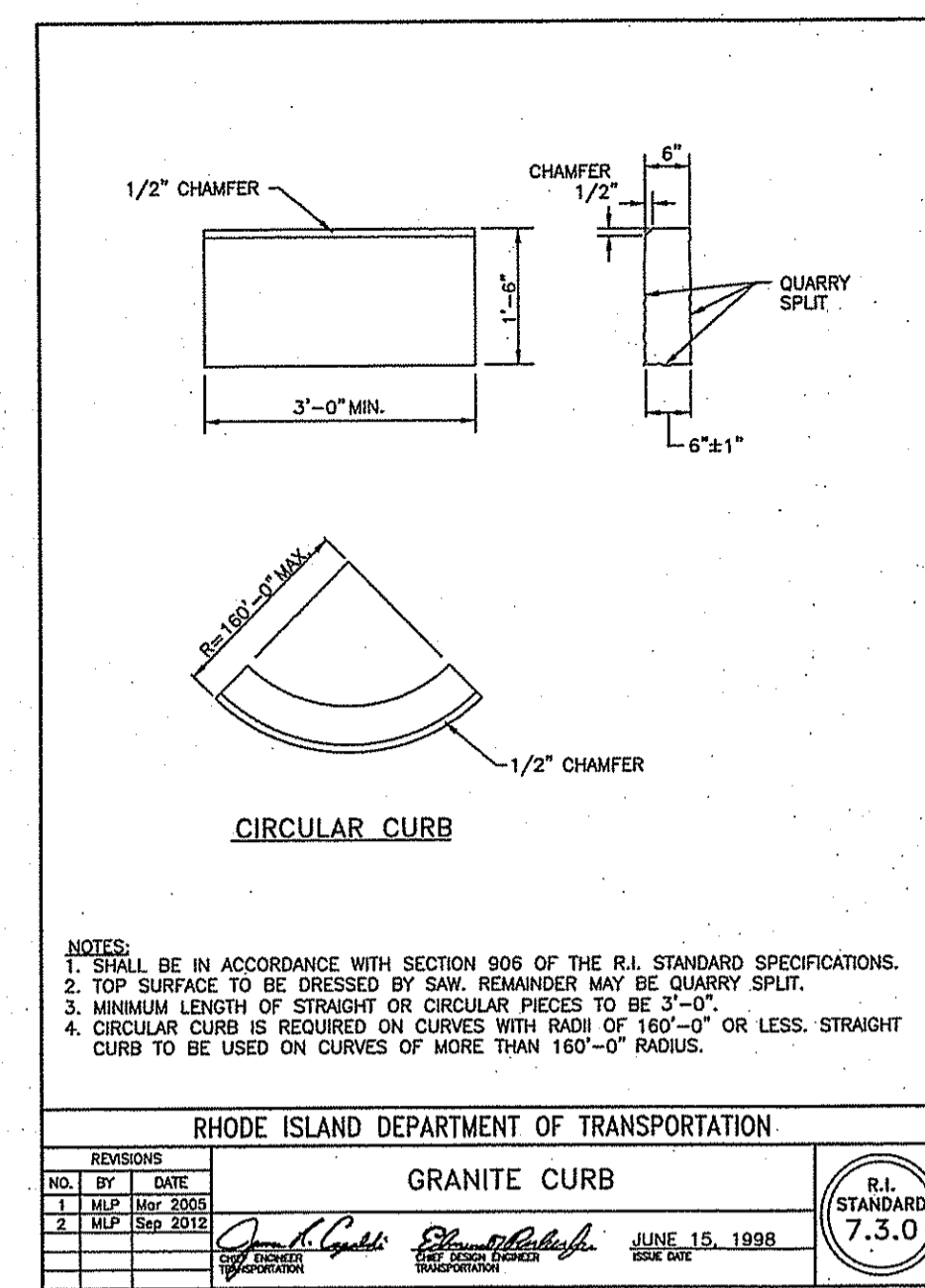


Yard Drain (YD) 1/16
N.T.S. Source: VHB REV LD_193

Not Approved for Construction
Site Details 1

RENEE L. CODEGA
No. 6517
REGISTERED PROFESSIONAL ENGINEER
Project Number: 72839.00
6 of 12

C-5
Sheet 5 of 7



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTERING
DATED AUG 31 2017 FILE # 17-0129
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION

Jules A. H...

Family Dollar
Main Street and Maple Avenue
West Warwick, Rhode Island

No.	Revision	Date	Appr.

Not Approved for Construction
Site Details 3

DRIVING TITLE

RENEE L. CODEGA
No. 6517
REGISTERED PROFESSIONAL ENGINEER

5/26/17

C-7

Sheet 7 of 7
Project Number 72839.00
8 of 12



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

General

- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- STAGING AND STOCKPILE AREAS SHALL BE LOCATED WITHIN THE LOD.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND INSTALLING THE FOLLOWING ITEMS ON SITE AND REDLINING THE PLAN FOR RECORD KEEPING PURPOSES:
 - STOCKPILE AREAS. EROSION CONTROLS SHALL BE PLACED AT THE BASE OF ALL STOCKPILES.
 - TEMPORARY SEDIMENT BASIN AREAS.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES DAILY, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
- STABILIZED CONSTRUCTION EXIT. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO A PROTECTED SETTLING AREA. IF DEEMED NECESSARY AFTER CONSTRUCTION BEGINS, A WASH PAD MAY BE INCLUDED TO WASH OFF VEHICLE WHEELS BEFORE LEAVING THE PROJECT SITE.
- TEMPORARY SEDIMENT BASINS WILL BE DESIGNED EITHER AS EXCAVATIONS OR BERMED STORMWATER DETENTION STRUCTURES THAT WILL RETAIN RUNOFF FOR A SUFFICIENT PERIOD OF TIME TO ALLOW SUSPENDED SOIL PARTICLES TO SETTLE OUT PRIOR TO DISCHARGE. BASINS WILL BE LOCATED AS DETERMINED BY THE CONTRACTOR BASED ON CONSTRUCTION NEEDS. POINT OF DISCHARGE FROM SEDIMENT BASINS WILL BE STABILIZED TO MINIMIZE EROSION.
- VEGETATIVE SLOPE STABILIZATION WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR STEEPER. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.
- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATION OR OTHER EARTH DISTURBANCE ACTIVITIES ARE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT BE RESUMED FOR A PERIOD EXCEEDING FOURTEEN (14) CALENDAR DAYS. STABILIZATION MUST BE COMPLETED USING VEGETATIVE STABILIZATION MEASURES WHERE POSSIBLE.
- ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15TH SHALL BE SEEDED BY THAT DATE. ANY SUCH AREAS WHICH DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION BY NOVEMBER 15TH MUST BE STABILIZED THROUGH THE USE OF NON-VEGETATIVE EROSION CONTROL MEASURES. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15TH TO APRIL 15TH CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THE DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE STABILIZED WITHIN FIVE (5) WORKING DAYS.

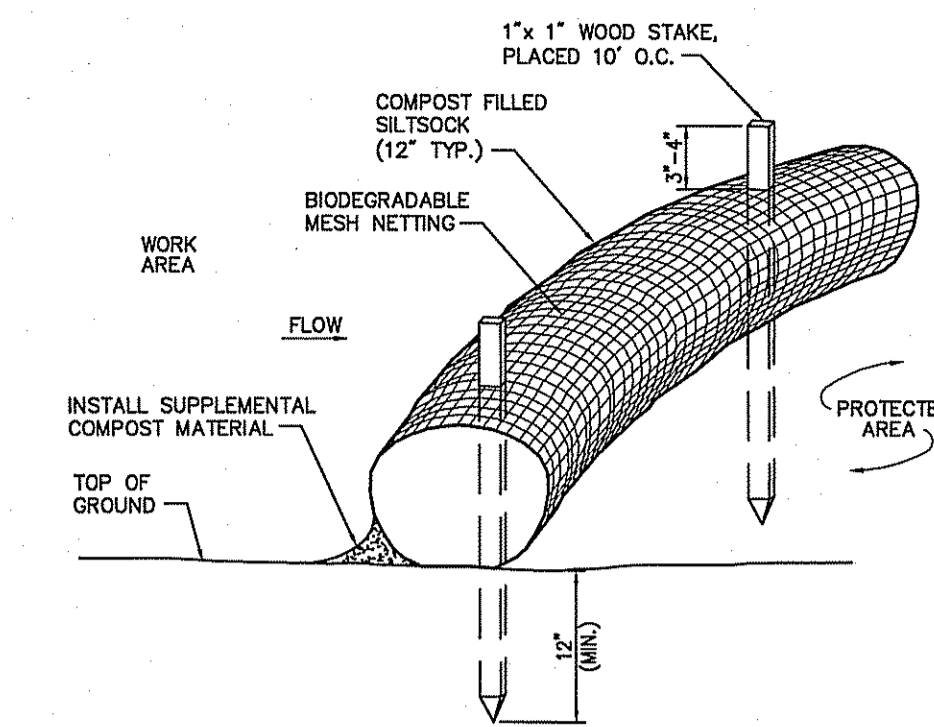
Erosion Control Maintenance Requirements

SITE OWNERS AND OPERATORS MUST ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS REMAIN IN EFFECTIVE OPERATING CONDITION AND ARE PROTECTED FROM ACTIVITIES THAT WOULD REDUCE THEIR EFFECTIVENESS. SITE OWNERS AND OPERATORS MUST ALSO ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS ARE INSPECTED AT THE REQUIRED FREQUENCY REQUIREMENTS LISTED BELOW. IF THE DESIGNATED SITE INSPECTOR FINDS A PROBLEM (I.E. EROSION, RUNOFF, SEDIMENT OR POLLUTION PREVENTION CONTROLS REQUIRE REPLACEMENT, REPAIR, OR MAINTENANCE), THE OWNER AND OPERATOR MUST ENSURE THAT THE NECESSARY REPAIRS OR MODIFICATIONS ARE MADE IN ACCORDANCE WITH THE FOLLOWING:

- INITIATE WORK TO FIX THE PROBLEM IMMEDIATELY AFTER DISCOVERING THE PROBLEM, AND COMPLETE SUCH WORK BY THE CLOSE OF THE NEXT WORK DAY, IF THE PROBLEM DOES NOT REQUIRE SIGNIFICANT REPAIR OR REPLACEMENT, OR IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE.
- WHEN INSTALLATION OF A NEW CONTROL OR A SIGNIFICANT REPAIR IS NEEDED, SITE OWNERS AND OPERATORS MUST ENSURE THAT THE NEW OR MODIFIED CONTROL PRACTICE IS INSTALLED AND MADE OPERATIONAL BY NO LATER THAN SEVEN (7) CALENDAR DAYS FROM THE TIME OF DISCOVERY WHERE FEASIBLE. IF IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN SEVEN (7) CALENDAR DAYS, THE REASONS WHY IT IS INFEASIBLE MUST BE DOCUMENTED IN THE SESC PLAN ALONG WITH THE SCHEDULE FOR INSTALLING THE STORMWATER CONTROL(S) AND MAKING IT OPERATIONAL AS SOON AS PRACTICABLE AFTER THE 7-DAY TIMEFRAME. WHERE THESE ACTIONS RESULT IN CHANGES TO ANY OF THE STORMWATER CONTROL MEASURES OUTLINED IN THE SESC PLAN, SITE OWNERS AND OPERATORS MUST MODIFY THE SESC PLAN ACCORDINGLY WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETING THIS WORK IN ACCORDANCE WITH THE FOLLOWING:
 - THE OWNER AND OPERATOR SHALL AMEND THE SESC PLAN WITHIN SEVEN (7) DAYS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE OR OTHER PROCEDURE WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS, OR IF THE SESC PLAN PROVES TO BE INEFFECTIVE IN ACHIEVING ITS OBJECTIVES. IN ADDITION, THE SESC PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW OPERATOR THAT WILL IMPLEMENT A COMPONENT OF THE SESC PLAN. THE AMENDED SESC PLAN MUST BE KEPT ON FILE AT THE CONSTRUCTION SITE AND ANY SESC PLAN MODIFICATIONS MUST BE DOCUMENTED. ANY AMENDMENTS TO CONTROL MEASURES WHICH INVOLVED THE PRACTICE OF ENGINEERING, MUST FIRST BE REVIEWED, SIGNED, AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND.
- IF CORRECTIVE ACTIONS ARE REQUIRED, THE SITE OWNER AND OPERATOR MUST ENSURE THAT ALL CORRECTIVE ACTIONS ARE DOCUMENTED ON THE INSPECTION REPORT IN WHICH THE PROBLEM WAS FIRST DISCOVERED. THESE CORRECTIVE ACTIONS MUST BE DOCUMENTED, SIGNED, AND DATED BY THE SITE OPERATOR ONCE ALL NECESSARY REPAIRS HAVE BEEN COMPLETED.
- SOIL EROSION AND SEDIMENT CONTROL INSPECTION REQUIREMENTS

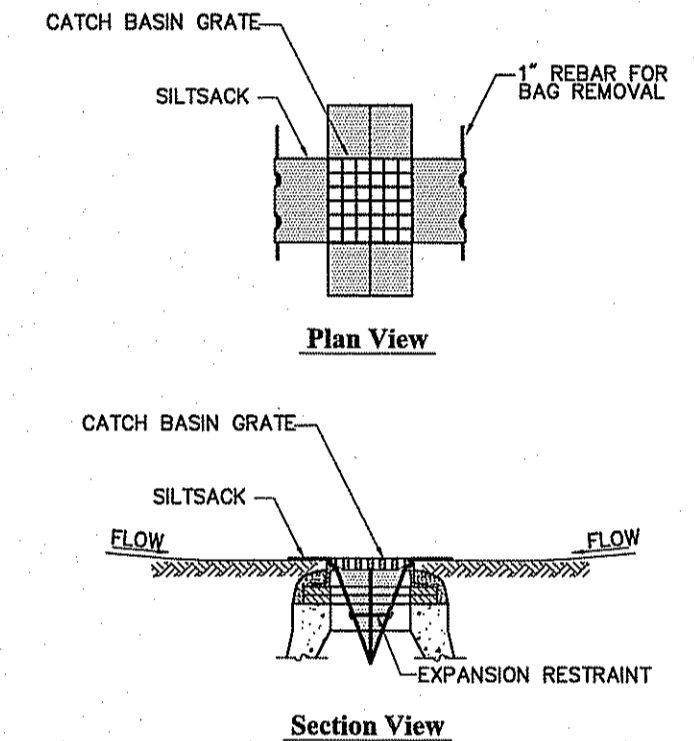
MINIMUM FREQUENCY - EACH OF THE FOLLOWING AREAS MUST BE INSPECTED BY OR UNDER THE SUPERVISION OF THE OWNER AND OPERATOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF:

 - ALL AREAS THAT HAVE BEEN CLEARED, GRADED, OR EXCAVATED AND THAT HAVE NOT YET COMPLETED STABILIZATION;
 - ALL STORMWATER EROSION, RUNOFF, AND SEDIMENT CONTROL MEASURES (INCLUDING POLLUTION PREVENTION PRACTICES) INSTALLED AT THE SITE TO COMPLY WITH THIS PERMIT;
 - CONSTRUCTION MATERIAL, UNSTABILIZED SOIL STOCKPILES, WASTE, BORROW, OR EQUIPMENT STORAGE, AND MAINTENANCE AREAS THAT ARE COVERED BY THIS PERMIT AND ARE EXPOSED TO PRECIPITATION;
 - ALL AREAS WHERE STORMWATER TYPICALLY FLOWS WITHIN THE SITE, INCLUDING TEMPORARY DRAINAGE WAYS DESIGNED TO DIVERT, CONVEY, AND/OR TREAT STORMWATER;
 - ALL POINTS OF DISCHARGE FROM THE SITE;
 - ALL LOCATIONS WHERE TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES HAVE BEEN IMPLEMENTED;
 - ALL LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.



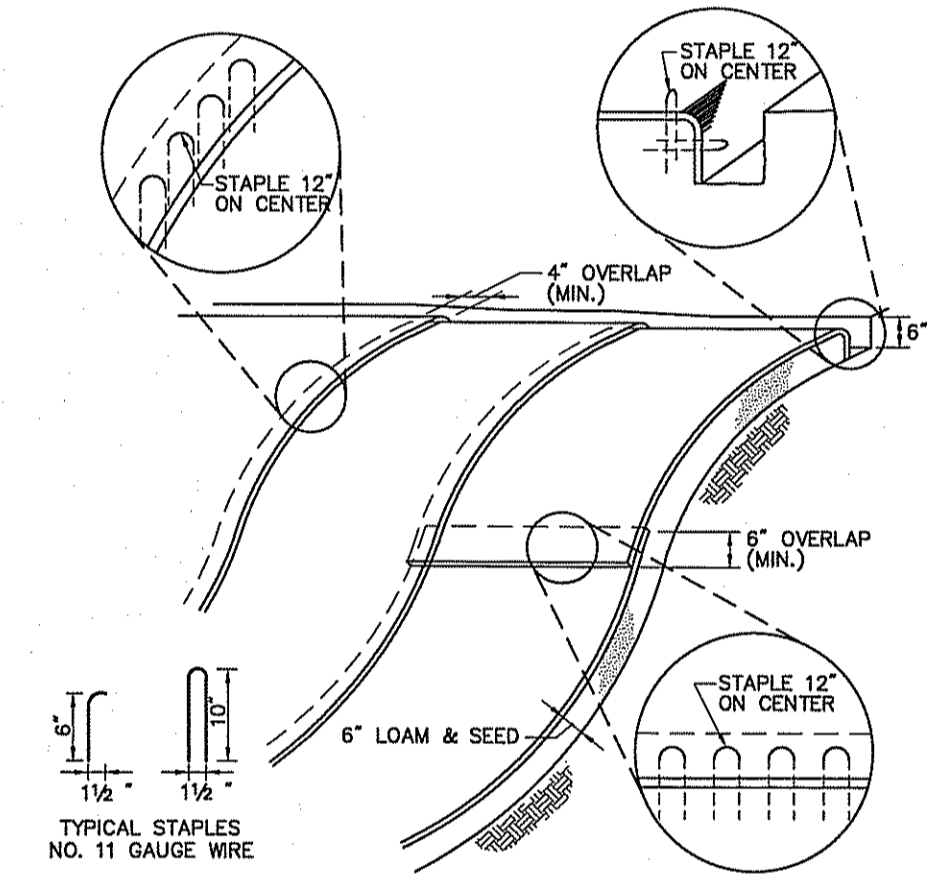
- Notes:**
- SILTSOCK SHALL BE FILTREXX SILTSOCK, OR APPROVED EQUAL.
 - SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
 - SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsack - Erosion Control Barrier 8/12
N.T.S. Source: VHB LD_658



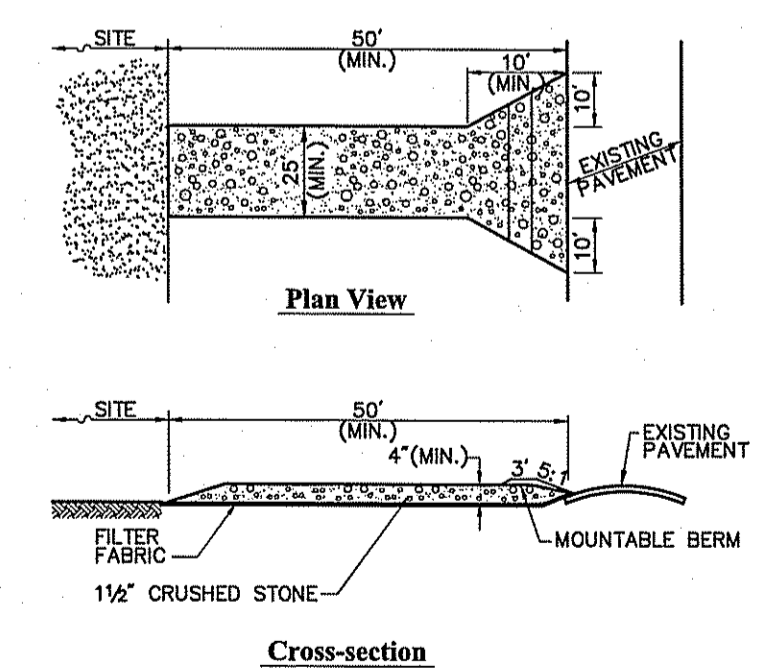
- Notes:**
- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILTSACK.
 - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Siltsack Sediment Trap 6/08
N.T.S. Source: VHB LD_674



- Notes:**
- BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
 - ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
 - THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
 - WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
 - METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
 - EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

Erosion Control Blanket Slope Installation 1/10
N.T.S. Source: VHB LD_660



- Notes:**
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit 6/08
N.T.S. Source: VHB LD_682

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PERMITTING
APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: AUG 31 2017 FILE # 17-0129
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Herbert

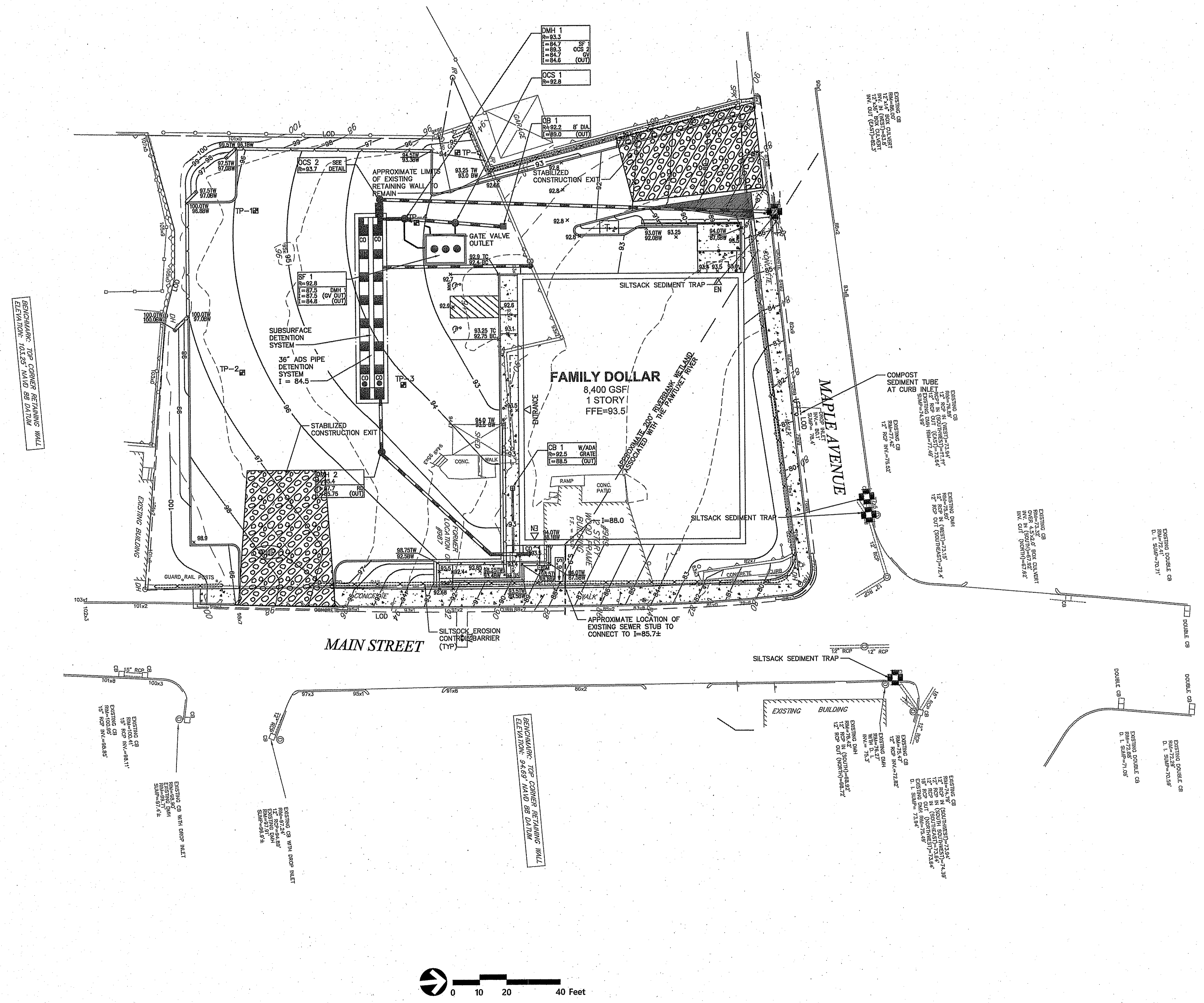
Family Dollar
Main Street and Maple Avenue
West Warwick, Rhode Island

No.	Revision	Date	App'd.
1	RIDBM Comments	Aug. 21, 2017	RLC

Issued by: **GB** Checked by: _____
Issued for: **Permitting** Date: **May 26, 2017**

Drawing Title
Soil Erosion and Sediment Control - General Notes and Details
Drawing Number

REGISTERED PROFESSIONAL ENGINEER
No. **6517**
SESC-1
Sheet **1** of **2**
Project Number **72839.00**
9 of 12



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLAND PERMIT
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 31 2017 FILE # 17-0129
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION

Charles A. Hackett

Family Dollar
Main Street and Maple Avenue
West Warwick, Rhode Island

No.	Revision	Date	Appr.

Issued for: **Permitting** Date: **May 26, 2017**

Soil Erosion and Sediment Control - Site Plan

Drawing Title: **Soil Erosion and Sediment Control - Site Plan**

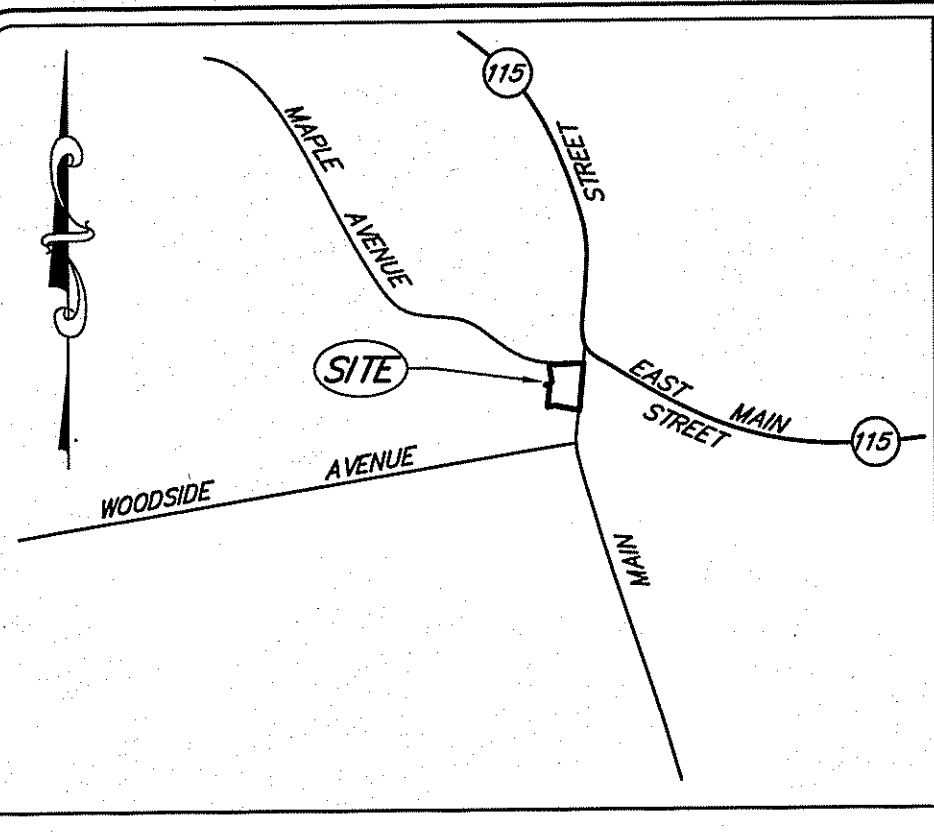
Drawing Number: **SESC-2**

Sheet: **2** of **2**

Project Number: **72839.00**

Professional Engineer: **RENEE L. CODEGA**
No. **6517**
REGISTERED PROFESSIONAL ENGINEER

Date: **5/26/17**



LOCATION PLAN SCALE: 1"=1,000'

OWNERS

A.P. 3 LOT 4 ANGELO P. PETROCELLI, ROBERT PETROCELLI & MARIO PETROCELLI, 987 MAIN STREET WEST WARWICK, RHODE ISLAND 02893	A.P. 3 LOT 5 THE ROBERT PETROCELLI REVOCABLE TRUST AGREEMENT 987 MAIN STREET WEST WARWICK, RHODE ISLAND 02893	A.P. 3 LOT 41 MARIO PETROCELLI & YOLANDA PETROCELLI 987 MAIN STREET WEST WARWICK, RHODE ISLAND 02893
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- GENERAL NOTES**
- THE BOUNDARY AND DATA ACCUMULATION SURVEY DEPICTED HEREON IS A PRODUCT OF ACTUAL ON-THE-GROUND FIELD SURVEY USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE DATA INCLUDES CONTOURS AT A TWO FOOT INTERVAL, AS WELL AS PHYSICAL FEATURES (PLANIMETRICS) AND OBSERVED UTILITIES.
 - VERTICAL DATUM IS NAVD 88; HORIZONTAL DATUM IS NAD 83, BOTH WERE DERIVED THROUGH THE USE OF GLOBAL POSITIONING TECHNOLOGY.
 - SURFACE EVIDENCE OF PUBLIC AND PRIVATE UTILITIES IS BASED UPON SURVEY LOCATION OF VISIBLE FEATURES. SUBSURFACE EVIDENCE IS BASED UPON MAPS AND RECORDS PROVIDED BY MUNICIPALITIES, UTILITY COMPANIES, AND OTHER SOURCES, TOGETHER WITH SUCH REASONABLE ASSUMPTIONS AS MAY BE DRAWN FROM THE FIELD AND RECORD DATA. UTILITY INFORMATION MAY NOT BE ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ALL EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR A MORE RELIABLE LAYOUT OF EXISTING UTILITIES.
 - NO STATE REGULATED WETLANDS WERE OBSERVED BY SCITUATE SURVEYS, INC.
 - LOTS 4, 5 AND 41 LIE WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN). SEE FLOOD INSURANCE RATE MAP NUMBER 4400300108M DATED OCTOBER 5, 2015.
 - THE MAPPED LOCATION OF THE SEWER MAIN BETWEEN MANHOLES ON MAIN STREET AND PIKE STREET IS BASED ON A PLAN PROVIDED BY THE TOWN OF WEST WARWICK. THE PHYSICAL LOCATION OF THE SEWER MAIN IS UNCONFIRMED. FIELD RE-INSPECTION OF THIS SUBSURFACE INFRASTRUCTURE CAN BE CONDUCTED IF TIE-IN TO THIS SYSTEM IS CONTEMPLATED.
 - ACCORDING TO THE RECORDS OF THE TOWN OF WEST WARWICK, THE FORMER LOCATION OF #887 AND THE EXISTING #888 MAIN STREET ARE SERVICED BY 6" VITRIFIED CLAY LATERALS. NO SURFACE EVIDENCE OF THESE LATERALS WAS RECOVERED.

PLAN REFERENCE

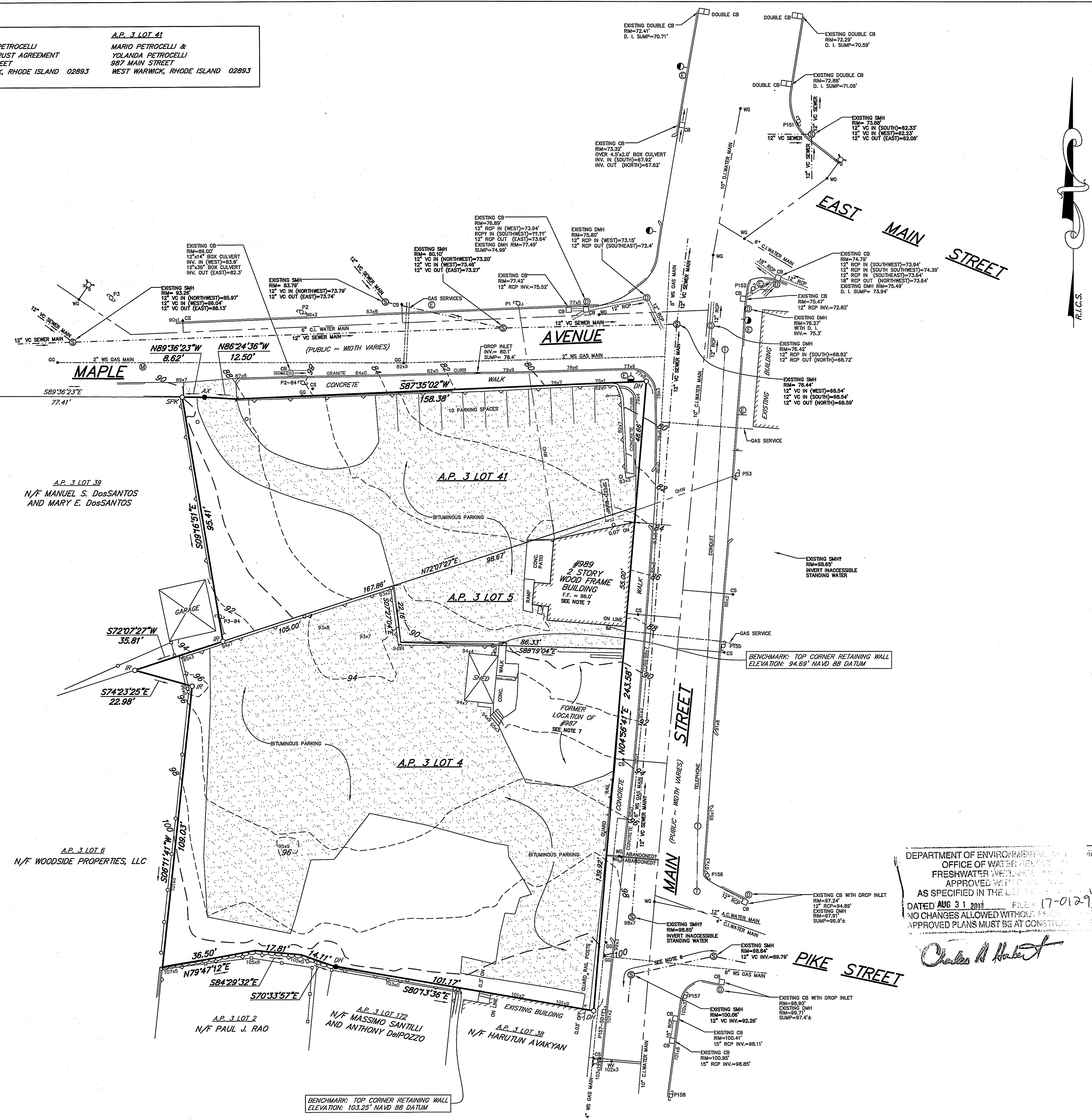
"BEING: ASSESSOR'S PLAT NO. 3 LOT NO. 2 ADMINISTRATIVE SUBDIVISION PADULA BUILDERS, INC. . . . WOODSIDE AVENUE WARWICK, RHODE ISLAND . . . SCALE: 1"=10' DATE: JUNE 24, 2003 REVISION NO. 1 . . . 8-22-03" BY BOY ASSOCIATES

RECORDED IN PLAT BOOK 4 AT PAGE 85 AND FILE #434.

AREA TABLE

ASSESSOR'S PLAT	LOT	AREA
3	4	22,250± SQ. FT.
3	5	3,445± SQ. FT.
3	41	12,118± SQ. FT.
	TOTAL	37,813± SQ. FT.

- LEGEND**
- A.P. ASSESSOR'S PLAT
 - N/F NOW OR FORMERLY
 - SQ. FT. SQUARE FEET
 - DRILL HOLE SET
 - IR IRON ROD WITH CAP SET
 - SPK SPIKE NAIL SET
 - AX ANGLE FOUND
 - DH DRILL HOLE FOUND
 - GR GRANITE BOUND FOUND
 - SM SEWER MANHOLE
 - GSE GROUND SPOT ELEVATION
 - HYDRANT
 - CS CURB STOP
 - WV WATER GATE VALVE
 - UP UTILITY POLE WITH GUY ANCHOR
 - OW OVERHEAD WIRES
 - DM DRAIN MANHOLE
 - CB CATCH BASIN
 - GR GAS SERVICE RISER
 - SIGN
 - EM ELECTRIC MANHOLE
 - TL TRAFFIC LIGHT MAST
 - TM TELEPHONE MANHOLE
 - UM UNIDENTIFIED MANHOLE
 - DI DUCTILE IRON/DROP INLET
 - CL CAST IRON
 - ROP REINFORCED CONCRETE PIPE
 - WS WRAPPED STEEL
 - VC VITREOUS CLAY
 - ON MONUMENT OR FEATURE LOCATED "INSIDE" THE BOUNDS OF THE SPECIFIED PARCEL
 - OFF MONUMENT OR FEATURE LOCATED "OUTSIDE" THE BOUNDS OF THE SPECIFIED PARCEL



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WATER DIVISION
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Charles H. Herbert

SCITUATE SURVEYS, INC.
410 TROQUE AVENUE
COVENTRY, R.I. 02816
401.821.8101
LAND SURVEYING / MAPPING / SITE PLANNING

SCALE IN FEET: 20 10 0 20 40 60

DISCLAIMER

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL LAND SURVEYORS OF THE STATE OF RHODE ISLAND, AS FOLLOWS:

CLASSIFICATION: MEASUREMENT SPECIALIZATION
CLASS 1

DATE OF SURVEY: 08/29/17
DATE OF REVISION: 08/29/17
DATE OF REVISION: 08/29/17
DATE OF REVISION: 08/29/17

THE PURPOSE OF THIS SURVEY WAS TO CONDUCT A BOUNDARY, RECONSTRUCTION SURVEY AND A DATA ACCUMULATION SURVEY TO COLLECT, REPAIR, PHYSICAL EXAMINE AND UTILITY INFORMATION FOR SITE DESIGN.

(INTENTIONALLY UNDESIGNED)

ANGLO M. RAMALHO, PROFESSIONAL LAND SURVEYOR, NO. 1672
IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "NET" STAMP, THEN IT IS NOT AN AUTHENTICATIVE VERSION.

DRAFT
3/29/17

BOUNDARY, EXISTING CONDITIONS AND UTILITIES SURVEY
ASSESSOR'S PLAT 3
LOTS 4, 5 & 41
MAIN STREET & MAPLE AVENUE
WEST WARWICK, RHODE ISLAND

AUG 24 2017
DATE: MARCH 29, 2017 REVISION:
SCALE: 1"=20'

PROJECT NO.: SS2731.01 SHEET 1 OF 1
DRAWING NO.: SS4244