

Stormwater Management Practices for Individual Single-Family Residential Lots

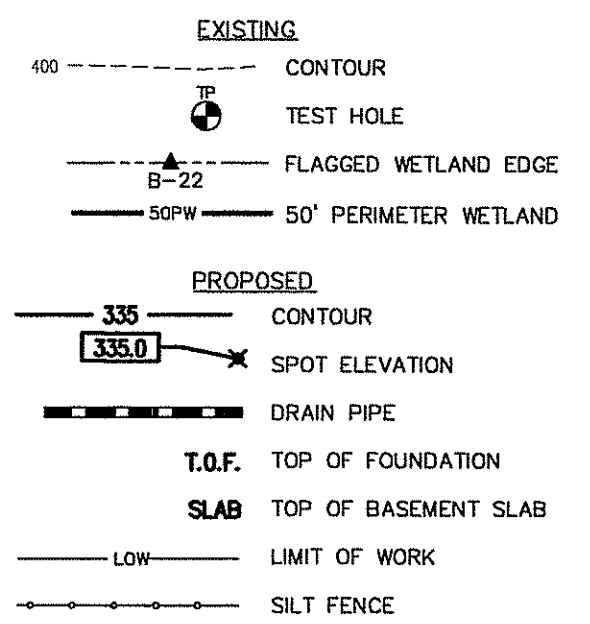
A. Qualifying Pervious Areas

Qualifying Pervious Areas (QPAs) are natural or restored upland vegetated areas that meet specific requirements such as maximum slope and soil characteristics, which can be used to infiltrate storm water runoff. Wetland areas or coastal features may not be used as QPAs, with the exception of perimeter or riverbank wetlands as defined in DEM Rules Section 4.00. For individual single-family residential lot applications, QPAs must be areas of vegetation that are not highly managed or fertilized. Lawn areas may not be used as QPAs for individual single-family residential projects. In general, QPAs are relatively flat with well-drained soils, and receive small volumes of runoff as sheet (unconcentrated) flow. To utilize this practice, simply direct storm water flow to an area that meets the criteria in Table 3 below.

Table 3. Minimum Criteria for Qualifying Pervious Areas on Single-Family Residential Lots

Drainage Area and Size	Criteria
	The rooftop, driveway or parking area draining to any one QPA cannot exceed 1,000 ft ² .
	For roof runoff, the length of the flow path through the QPA shall be equal to or greater than the contributing rooftop area divided by 13.3. The width of the QPA shall be equal to or greater than the length of the contributing rooftop area.
	For driveway runoff, the length and width of the QPA shall be no less than the length and width of the driveway. For example, if a driveway is 15 feet wide and 40 feet long, the QPA width shall be no less than 15 feet wide and 40 feet long.

LEGEND & SYMBOLS

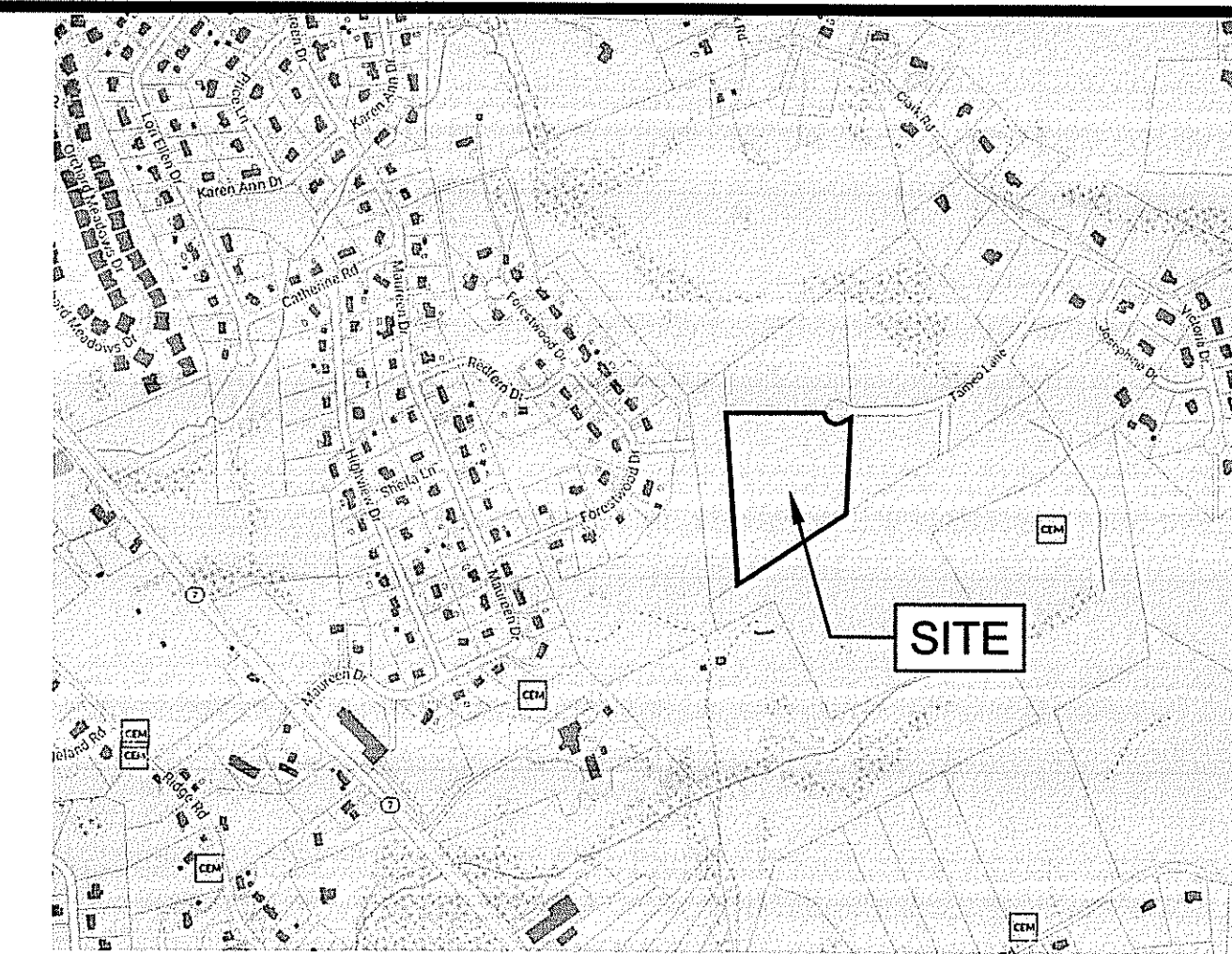


LEACHFIELD DESIGN CALCULATION

- 4 BEDROOMS X 115 GALLONS PER BED/DAY = 460 GALLONS PER DAY
- SOIL CATEGORY 6m = 0.70 GAL/S.F./DAY
- 460 GPD / 0.70 GAL/S.F./DAY = 658 S.F. LEACHING AREA REQUIRED
- 658 S.F. / 28 S.F. PER ELJEN UNIT = 24 ELJENS REQ'D
- TOTAL AREA PROVIDED = 672 S.F. > 658 S.F.

INVERT SCHEDULE

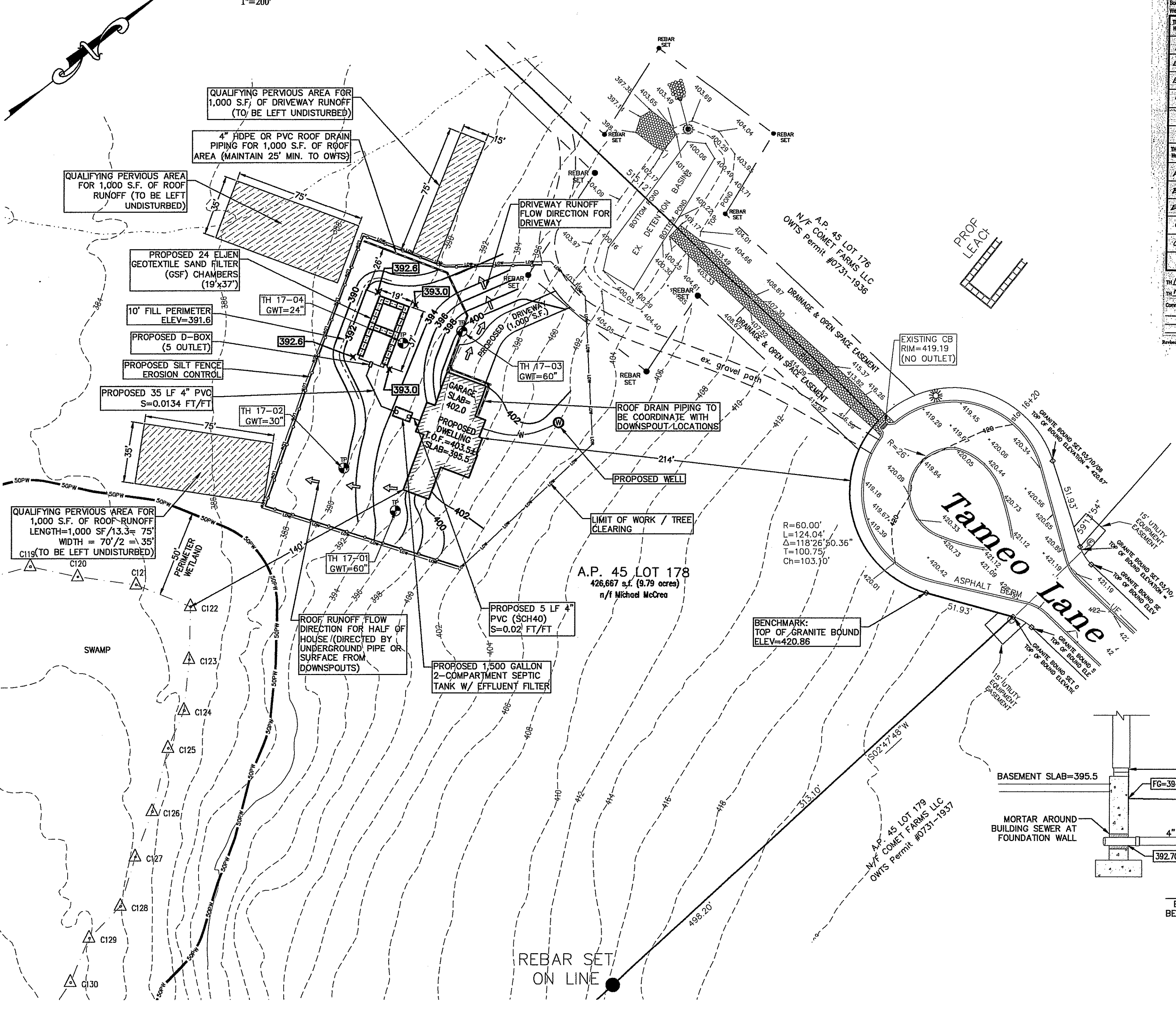
BUILDING SEWER	392.70
SEPTIC TANK IN	392.60
SEPTIC TANK OUT	392.35
D-BOX IN	391.88
D-BOX OUT	391.70
LEACHFIELD INVERT	391.60
BOTTOM OF ELJEN	391.00
BOTTOM OF SAND	390.50
LEACHFIELD STRIP	387.50
SEASONAL HIGH GWT	388.00
LEDGE/BEDROCK	NONE ENCOUNTERED



LOCUS MAP

- General Notes:**
- THE SURVEY, EXISTING CONDITIONS, AND TOPOGRAPHY SHOWN ON THIS PLAN WAS PROVIDED BY MARSH AND LONG SURVEYING, INC OF 450 GEORGE WASHINGTON HIGHWAY, SMITHFIELD, RI.
 - THE CONTRACTOR SHALL NOTIFY DIG-SAFE 72 HOURS PRIOR TO START OF CONSTRUCTION.
 - PROPER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES. THIS SHALL INCLUDE SILT FENCE OR HAYBALES AT ALL DOWN GRADIENT AREAS, INLET PROTECTION OF CATCH BASINS, AND CONSTRUCTION ENTRANCE.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF SMITHFIELD AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 - REFERENCE RIDEM WETLANDS FILE NO. 04-0314 (EDGE VERIFICATION) AND 05-0309 (PERMIT TO ALTER FRESHWATER WETLANDS - COMET FARMS).
 - REFERENCE RIDEM OWTS FILE NO. 0731-1933.
- Zoning Information**
- | | |
|-------------------|-----------------------------|
| ZONE DESIGNATION | R-80 |
| MINIMUM LOT SIZE | 80,000 S.F. |
| MINIMUM LOT WIDTH | 200 FT. |
| MAX. LOT COVERAGE | 25% |
| MAX. BLDG. HEIGHT | 39 FT. (*20' FOR ACCESSORY) |
- Building Setbacks**
- | | |
|---------------|-----|
| FRONT SETBACK | 40' |
| REAR SETBACK | 25' |
| SIDE SETBACK | 75' |
- OnSite Wastewater Treatment System Notes**
- ALL DESIGN, CONSTRUCTION, AND MAINTENANCE REQUIREMENTS, WHETHER NOTED HEREON OR NOT, SHALL BE IN CONFORMANCE WITH RULES AND REGULATIONS ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ONSITE WASTEWATER TREATMENT SYSTEMS, JANUARY 1, 2008 AND ALL AMENDMENTS, BY THE RHODE ISLAND DEPT. OF ENVIRONMENTAL MANAGEMENT.
 - STRIP LEACHING AREA AND EXCAVATE DOWN TO ELEVATION 387.50 OR AS REQUIRED TO STRIP ALL FINES AT TRENCH LOCATIONS ONLY (IF SOILS ALLOW).
 - OVER-EXCAVATE ALL UNSUITABLE SOILS AND REPLACE WITH GRAVEL AS SPECIFIED IN RIDEM REGULATIONS.
 - INSTALLER MUST ASSURE THAT BOTTOM AND SIDES OF EXCAVATION FOR THE LEACHFIELD ARE NOT COMPACTED OR SMEARED.
 - ALL TREES, STUMPS, AND BRUSH SHALL BE REMOVED WITHIN 10 FEET OF THE SYSTEM.
 - THERE ARE NO KNOWN PRIVATE WELLS OR DRAINS EXIST, OR PROPOSED LOCATED WITHIN 200 FEET OF THE OWTS EXCEPT AS SHOWN AND NO KNOWN PUBLIC WELLS (EXIST. & PROP.) LOCATED WITHIN 500 FEET OF THE PROPOSED OWTS.
 - THERE ARE NO KNOWN SUBSURFACE DRAINS, EXISTING OR PROPOSED, WITHIN 50 FEET OF THE PROPOSED OWTS.
 - ALL PVC PIPE SHALL BE 4" DIA. SDR 35 OR EQUIVALENT, UNLESS NOTED OTHERWISE.
 - THE SEPTIC TANK SHALL HAVE TEES ON BOTH THE INLET AND OUTLET AND SHALL BE A TWO (2) COMPARTMENT TANK WITH THE 1ST COMPARTMENT CONSISTING OF 3/4 TANK CAPACITY.
 - THE DISTRIBUTION BOX SHALL HAVE A MINIMUM BOTTOM AREA OF 3 SQUARE FEET.
 - NO VEHICULAR TRAFFIC IS ALLOWED OVER THE LEACHFIELD.
 - THE INSTALLER SHALL CONTACT THE DESIGN OF RECORD AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.

Overall Site Layout
1"=200'



STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS
Department of Environmental Management
Office of Water Resources
Onsite Wastewater Treatment System Program

Site Evaluation Form
File # and Permit Description: Application Number: 0731-1933

Property Location: 14 TAMEO LANE, SMITHFIELD, RI 02876

IN (225)	OUT (225)	IN (225)	OUT (225)	IN (225)	OUT (225)	IN (225)	OUT (225)	IN (225)	OUT (225)		
AB	2.2"	C	S	1 1/2"	2 1/2"			4.1	9 1/4"	4 1/4"	4"
BA	2.2"	C	S	1 1/2"	2 1/2"			4.1	9 1/4"	4 1/4"	4"
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