

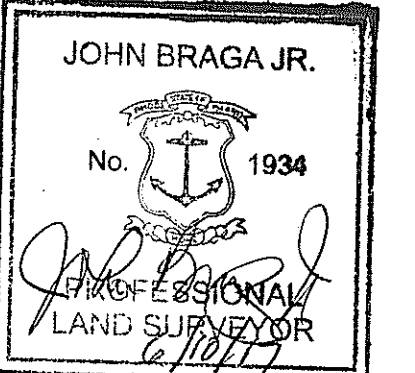
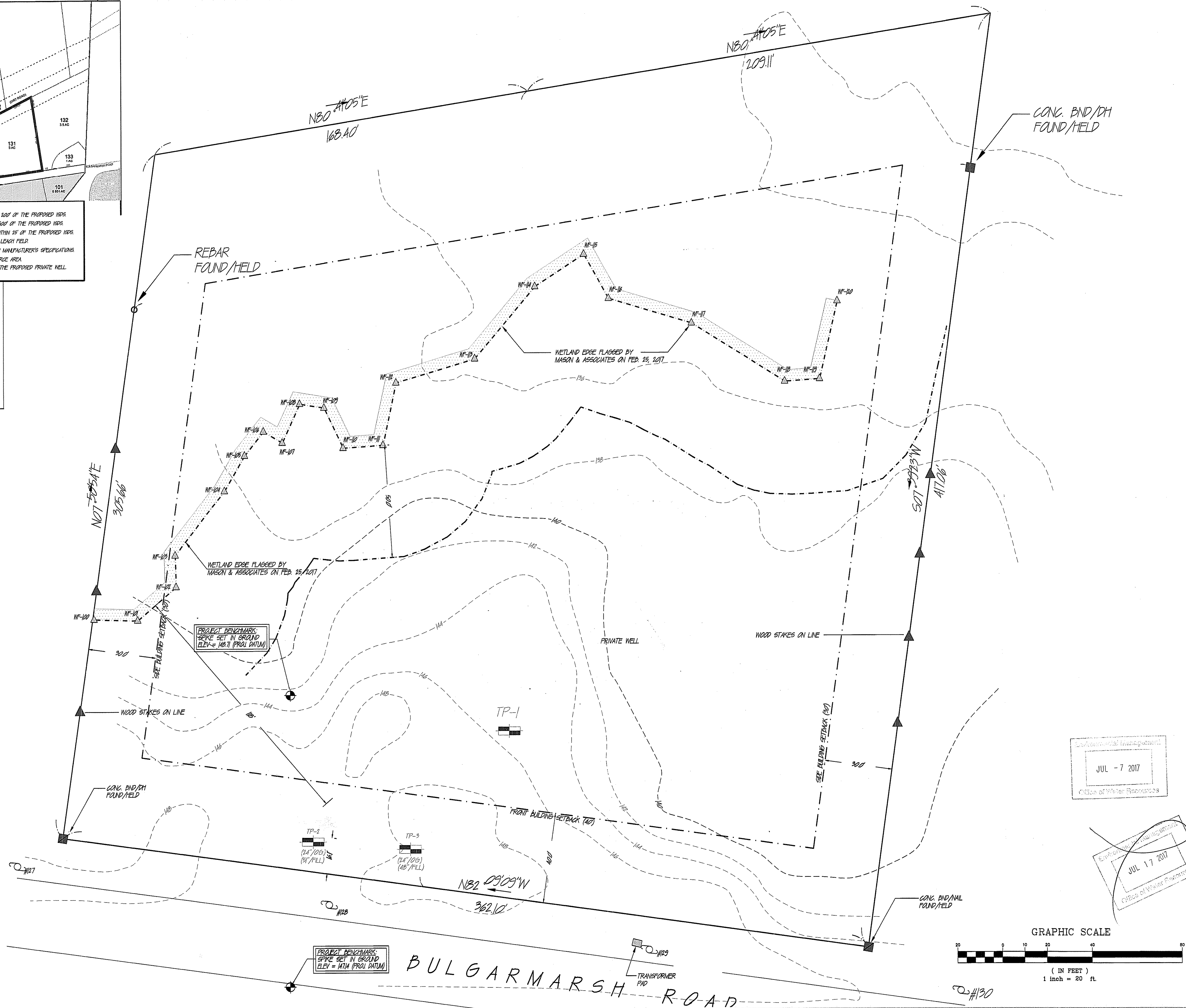
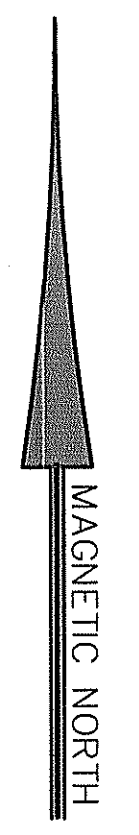
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- NOTES**
1. THERE ARE NO KNOWN WELLS OR DRAINS, OTHER THAN SHOWN, WITHIN 500' OF THE PROPOSED 1925.
  2. THERE ARE NO KNOWN PROPOSED OR EXISTING PUBLIC WELLS WITHIN 500' OF THE PROPOSED 1925.
  3. THERE ARE NO KNOWN EXISTING OR PROPOSED SUBSURFACE DRAINS WITHIN 25' OF THE PROPOSED 1925.
  4. ALL TREES AND BRUSH TO BE REMOVED WITHIN 10' OF THE PROPOSED LEACH FIELD.
  5. ELEM IN DRAINS ARE TO BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS.
  6. THIS SITE IS NOT IN A RIVER, ISLAND WATERBODY OR CRITICAL RESOURCE AREA.
  7. THERE ARE NO KNOWN EXISTING OR PROPOSED 1925S WITHIN 100' OF THE PROPOSED PRIVATE WELL.

**ZONING DISTRICT:** R-40  
**MINIMUM LOT SIZE:** 40,000 SF  
**MINIMUM LOT FRONTAGE:** 175.0'  
**MAXIMUM HEIGHT (PRINCIPAL):** 25.0'  
**MAXIMUM HEIGHT (ACCESSORY):** 10.0'

**BUILDING SETBACKS (PRINCIPAL STRUCTURE)**  
**MINIMUM FRONT YARD:** 40.0'  
**MINIMUM SIDE YARD:** 30.0'  
**MINIMUM REAR YARD:** 40.0'  
**MAXIMUM LOT COVERAGE:** 15%

**BUILDING SETBACKS (ACCESSORY STRUCTURE)**  
**MINIMUM REAR YARD:** 15.0'  
**MINIMUM SIDE YARD:** 30.0'



**LEGEND**

- PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- CAPE COD BERM
- OVERHEAD WIRES
- TELEPHONE LINE
- ELECTRIC/CABLE/PHONE
- GAS LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- STONE WALL
- PAVING
- REBAR/PIN/IRON PIPE
- DRILL HOLE
- CHAIN LINK FENCE
- PRIVATE WELL
- HYDRANT
- STAKED HAYBALES
- SILT FENCING
- DRAINAGE MANHOLE
- SEWER MANHOLE
- SOIL EVALUATION
- EXISTING UTILITY PALE
- EXISTING GUY PALE

DRAWN BY: JB	DATE: 04/10/17		
CHECKED BY: JB	DRAWING NO: 1925-0175		
JOB NO: 1925	SHEET 1 OF 1		
NO.	DATE	DESCRIPTION	BY

Environmental Management  
 JUL - 7 2017  
 Office of Water Resources

Environmental Management  
 JUL 17 2017  
 Office of Water Resources

**WETLAND EDGE VERIFICATION EXISTING CONDITIONS PLAN**

**PROPERTY OWNERS:**  
 SERGIO & NICOLE R. ALMEIDA  
 169 SHAVE STREET  
 TIVERTON, RI 02878

**PROJECT LOCATION:**  
 0 BULGARMARSH ROAD  
 TIVERTON, RI 02878  
 TAX ASSESSOR'S PLAT 215, LOT 191

JOHN BRAGA & ASSOCIATES, INC.  
 CIVIL ENGINEERS • LAND SURVEYORS  
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