

GENERAL NOTES:

- ALL DISTURBED AREAS ARE TO RECEIVE 4" PLANTABLE SOIL AND RESIDENTIAL SEED.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE ANY EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY TOWN, STATE OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL REQUIRED AUTHORIZATION TO PERFORM WORK MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR LABELS, DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL CONTRACT DOCUMENTS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE CONTRACT DOCUMENTS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL STUMPS AND ROOTS ARE TO BE REMOVED AND DISPOSED OF OFF THE SITE IN ACCORDANCE WITH STATE, FEDERAL, AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY COORDINATION WITH THE TOWN OF BURRILLVILLE (WATER, SEWER, AND STORM) AND NATIONAL GRID, VERIZON, AND COX COMMUNICATIONS, AS REQUIRED.
- ANY DAMAGED EXISTING PIPE/STRUCTURE SHALL BE REPLACED IN KIND AND MATCH EXISTING HORIZONTAL AND VERTICAL LAYOUT.
- ALL PAVEMENT MARKINGS AND SIGNS ARE TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," (M.U.T.C.D.), LATEST EDITION.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" LOAM AND SEED, UNLESS OTHERWISE SHOWN.
- THE SITE PLANS REPRESENT THE GENERAL SITE AND CONSTRUCTION REQUIREMENTS AND DO NOT REPRESENT ALL WORK ITEMS, DETAILS, AND SPECIFICATIONS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND GRADES ON SITE PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE OWNER AND ENGINEER. THE CONTRACTOR SHALL ALSO REPORT ANY CONDITIONS UNCOVERED IN THE WORK THAT ARE NOT REFLECTED WITHIN THE PLANS.
- THE CONTRACTOR SHALL, UNDER THE DIRECTION OF THE OWNER, ESTABLISH CONSTRUCTION LIMITS ON THE SITE BY ACCEPTABLE VISIBLE MARKERS PLACED AT EYE LEVEL. ALL WORK AND EQUIPMENT SHALL BE CONFINED TO WITHIN THESE LIMITS. THE CONTRACTOR SHALL REMOVE ALL MARKERS WHEN DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING LOAM FROM THOSE AREAS THAT ARE TO BE EXCAVATED OR FILLED AND TO WITHIN THE PROJECT LIMITS. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR OTHER UNSUITABLE MATERIAL UNLESS DIRECTED BY THE OWNER. ALL EXCESS SOIL REMAINS THE PROPERTY OF THE OWNER. EARTH EXCAVATION SHALL BE LIMITED TO THE DIMENSIONS AND REQUIREMENTS SHOWN ON THE DRAWINGS.
- THE INTENTION OF THE OWNER IS TO MAINTAIN THE BOUNDARIES OF THE SITE IN ITS EXISTING CONDITION AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFINING THE WORK TO WITHIN THE CONSTRUCTION LIMITS.
- ALL EXISTING VEGETATION (TREES, SHRUBS, GRASSES, ETC.) TO REMAIN SHALL BE PROTECTED FROM INJURY. INDIVIDUAL TREES AND SHRUBS TO BE SAVED WITHIN THE DESIGNATED WORK AREA SHALL BE ADEQUATELY PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE ALL PROTECTIVE BARRIERS AS DIRECTED BY THE OWNER.
- ALL EXISTING GRASSED AREAS NOT ADEQUATELY PROTECTED AND THEREFORE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION OR R.I.D.O.T. LICENSED FLAGMEN. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES, CHANNELING DEVICES AND LANE CLOSURES, ETC. SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) 2009, INCLUDING ALL REVISIONS.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF UTILITIES ON SITE. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS. INSTALLATIONS PERFORMED WITHOUT INSPECTIONS BY THE ENGINEER MAY WARRANT COMPLETE REMOVAL AND REINSTALLATION AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL DRAINAGE AND UTILITY INSTALLATIONS. AS-BUILT INFORMATION MUST INCLUDE MATERIAL LIST, PIPE DEPTH AND SWING THE LOCATIONS (2 MINIMUM) FROM NEW PIPE TO BUILDING CORNERS. ALL PIPE BEND/ELBOW/WYE LOCATIONS SHALL BE DIMENSIONED. FINAL PAYMENT WILL NOT BE MADE UNTIL SUITABLE AS-BUILT DATA IS PROVIDED.

DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO ORDERING.
- CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
- ALL STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.
- ALL PERFORATED DRAINAGE PIPE SHALL BE ADS N-12 HDPE PIPE (CPP SMOOTH INTERIOR) OR APPROVED EQUAL. ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S REQUIREMENTS.
- ALL JOINTS TO BE WATERTIGHT.
- PROJECT WIDE, CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND INSTALLING NEW PAVEMENT SURFACE ELEVATIONS IN A MANNER WHICH ALLOWS FOR SURFACE RUNOFF TO DRAIN FREELY AND PREVENTS PONDING OR PUDDLING ON THE NEW PAVEMENT SURFACES.
- CATCH BASINS, MANHOLES AND DRAIN LINES WITHIN THE WORK LIMITS ARE TO BE CLEANED AND FLUSHED. THE ENGINEER AND OWNER SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO WORK. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK TO THE OWNER PRIOR TO ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EXISTING FLOW FOR THE DURATION OF THE CONSTRUCTION OPERATIONS, INCLUDING PUMPS, DIKES, BY-PASS HOSES AND ANY OTHER INCIDENTAL EQUIPMENT NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING OPERATIONS DURING CONSTRUCTION.
- NEW UNDERDRAINS SHALL HAVE 3' MIN. COVER AND BE INSTALLED TO DRAIN FREELY AND TO AVOID CONFLICTS WITH UTILITIES AND OTHER STRUCTURES.
- CONTRACTOR SHALL CLEAN AND SWEEP THE ENTIRE BITUMINOUS PROJECT LIMITS AT THE END OF THE PROJECT. CLEAN AND SWEEPING SHALL BE DONE BEFORE CLEAN AND FLUSHING PIPES IN ORDER TO PREVENT SEDIMENT FROM ENTERING THE CATCH BASINS OR PIPES.
- ALL FRAME AND GRATES THAT ARE ADJUSTED TO GRADE WILL HAVE BITUMINOUS PAVEMENT INSTALLED AFTER FINAL ADJUSTMENT. THE FINISHED GRADE OF THE BITUMINOUS PAVEMENT SHALL DIRECT ALL SURFACE RUNOFF INTO THE CATCH BASIN.

LAYOUT NOTE

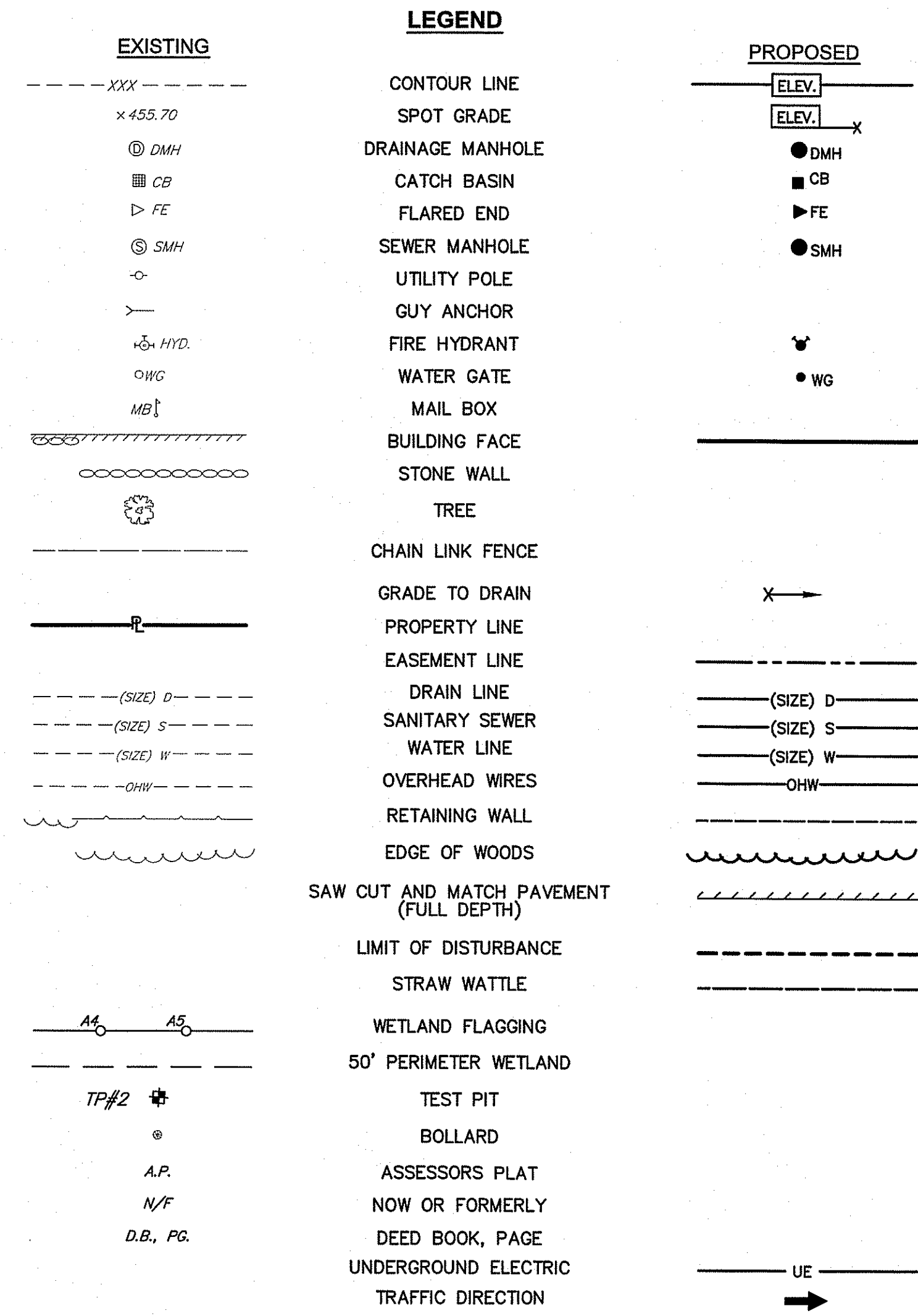
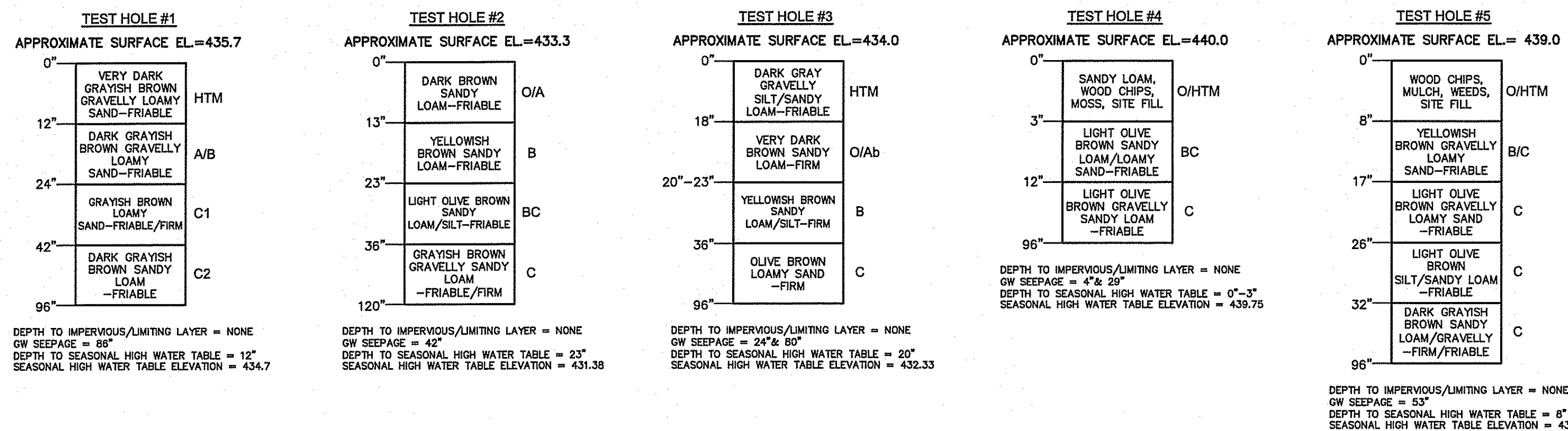
THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

FLOOD ZONE NOTE

THE SITE IS WITHIN FLOOD ZONE 'X' WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD ACCORDING TO FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND, PANEL 135 OF 451, MAP NUMBER 44007C0135G, EFFECTIVE DATE MARCH 2, 2009.

SOIL EVALUATION DATA

TEST PITS PERFORMED BY BRUCE HAGERMAN (RI PE 5787), CROSSMAN ENGINEERING ON MAY 10, 2017.



RHODE ISLAND STATE HIGHWAY CONSTRUCTION NOTES:

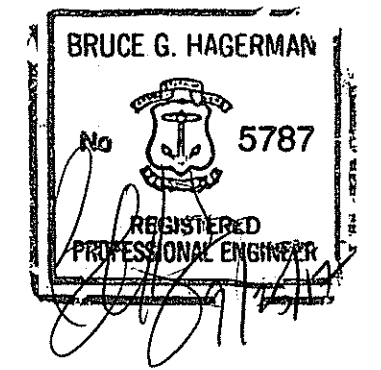
- ALL WORK WITHIN THE STATE OF RHODE ISLAND'S RIGHT-OF-WAY WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2013, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
OCT 19 2017 FILE # 17-011
DATED
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James A. [Signature]

Crossman Engineering
Rhode Island: 151 Centerville Road, Warwick, RI 02886
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763
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Email: col@crossmaneng.com

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PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:
MK LEASING, LLC

60 PINE LEDGE ROAD
GREENVILLE, RI 02838

DRAWING TITLE:
GENERAL LEGEND AND NOTES

DATE: JULY 2017 SCALE: NO SCALE

DWG. NAME: 2231-C01-NOTES.dwg

REVISIONS	NUMBER	REMARKS	DATE
Δ	1	RIOT & RIDEM COMMENTS	9/13/17

DRAWING NUMBER:
C1.0
SHEET: 2 OF 13

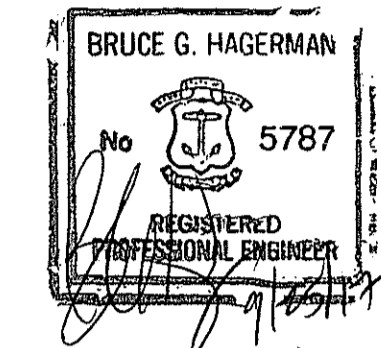


- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

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PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING
 A.P. 213, LOTS 3 AND 13
 730 BRONCO HIGHWAY
 BURRILLVILLE, RHODE ISLAND

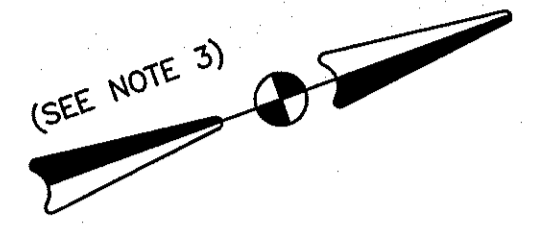
PREPARED FOR:
MK LEASING, LLC
 60 PINE LEDGE ROAD
 GREENVILLE, RI 02838

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 AS SPECIFIED IN THE DRAWING TITLE
 DATED OCT 1 2017
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSISTENT AERIAL MAP

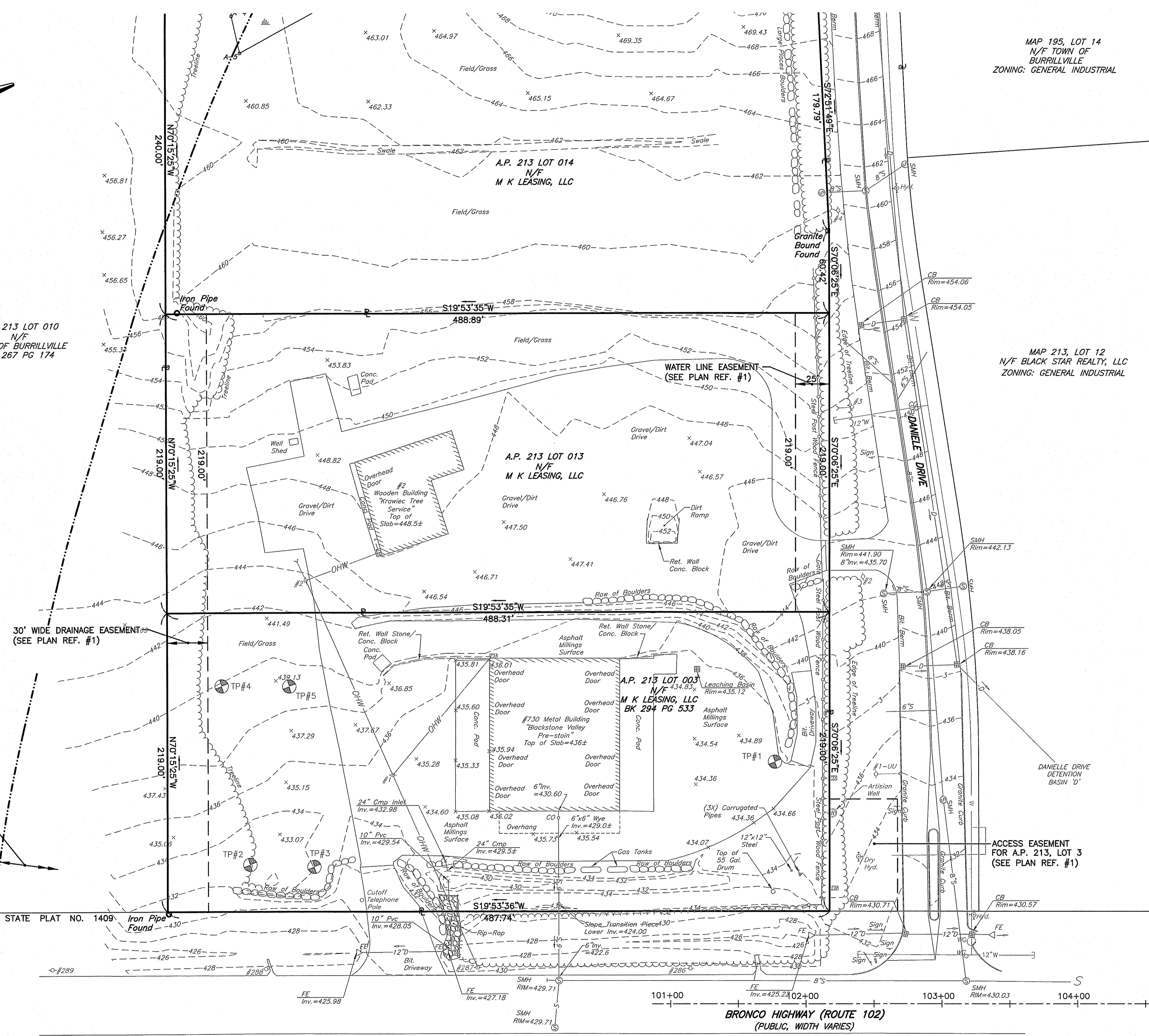
DATE: JULY 2017 SCALE: 1"=400'±
 DWG. NAME: 2231-C02-AERIAL.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	ROOT & RIDEN COMMENTS	9/13/17

DRAWING NUMBER
C2.0
 SHEET: 3 OF 13

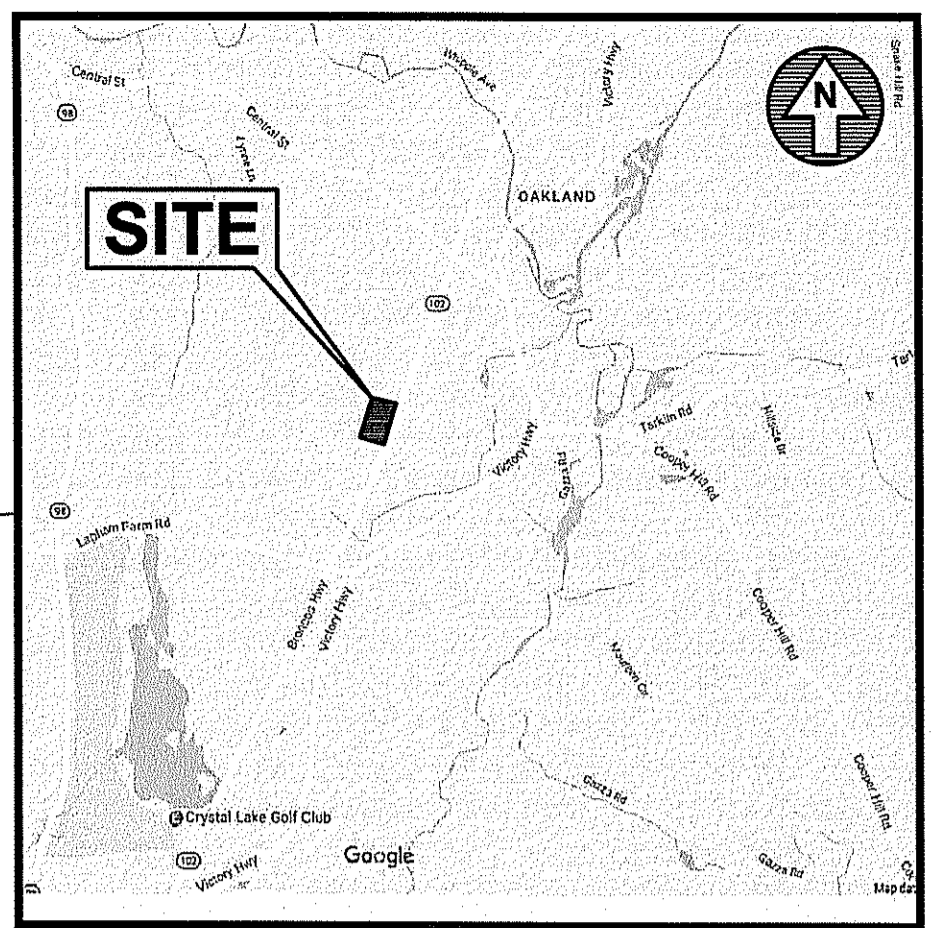


A.P. 213 LOT 010
N/F
TOWN OF BURRILLVILLE
BK 267 PG 174



MAP 195, LOT 14
N/F TOWN OF
BURRILLVILLE
ZONING: GENERAL INDUSTRIAL

MAP 213, LOT 12
N/F BLACK STAR REALTY, LLC
ZONING: GENERAL INDUSTRIAL



LOCUS MAP
NOT TO SCALE

PLAN REFERENCES

- "FINAL MINOR SUBDIVISION PLAN ASSESSOR'S PLAT 213 LOT 3 SITUATED ON BRONCO HIGHWAY (ROUTE 102) BURRILLVILLE, RHODE ISLAND SCALE 1"=100' DATE: SEPTEMBER, 2005 PREPARED FOR MK LEASING, LLC PREPARED BY CROSSMAN ENGINEERING, INC."
- "EXISTING CONDITIONS AND SOILS MAP SUBDIVISION A.P. 213, LOT 3 BRONCO HIGHWAY-RT. 102 BURRILLVILLE, RHODE ISLAND SCALE 1"=80', DATE: JANUARY 2004, REVISION 1: OCTOBER, 2004, PREPARED FOR M.K. LEASING, LLC, PREPARED BY CROSSMAN ENGINEERING, INC."
- "CONCEPTUAL SITE PLANS FOR PROPOSED INDUSTRIAL BUILDING ASSESSOR'S PLAT 213 LOTS 3 AND 13 ZONING DISTRICT: GENERAL INDUSTRIAL 730 BRONCO HIGHWAY BURRILLVILLE, RHODE ISLAND PREPARED FOR MK LEASING LLC, DATE: APRIL 5, 2017 PREPARED BY CROSSMAN ENGINEERING."

NOTES

- FIELD SURVEY WORK FOR EXISTING CONDITIONS PERFORMED BY CROSSMAN ENGINEERING ON APRIL OF 2017. PROPERTY LINE INFORMATION HAS BEEN COMPILED FROM PLAN REFERENCE #1.
- UTILITY NOTE: THE UTILITIES SHOWN HEREON ARE PLOTTED FROM FIELD LOCATION OF VISIBLE ABOVE GROUND STRUCTURES. NO INVERTS HAVE BEEN MEASURED AND NO RESEARCH HAS BEEN PERFORMED. ALL UNDERGROUND UTILITY INFORMATION SHOWN HEREON MUST BE VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THIS SITE. THE CONTRACTOR OR USERS OF THIS PLAN SHOULD CONTACT DIGSAFE PRIOR TO ANY WORK. CROSSMAN ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
- THE HORIZONTAL DATUM AND BEARING SYSTEM WAS TAKEN FROM SURVEY MONUMENTS AND CONTROL TAKEN FROM PLAN REFERENCE #1 AND THE VERTICAL DATUM IS NGVD 29 USING THE BENCHMARK SHOWN ON PLAN REFERENCE #2.
- OWNERS AND ABUTTERS INFORMATION TAKEN FROM THE TOWN OF BURRILLVILLE TAX ASSESSORS RECORDS IN APRIL OF 2017. THIS INFORMATION IS NOT INTENDED TO BE A CERTIFICATION OF TITLE OR OWNERSHIP FOR THE PROPERTIES SHOWN. NO TITLE RESEARCH OR REPORTS HAVE BEEN PROVIDED. PARCELS ARE SUBJECT TO ANY EASEMENTS RESTRICTIONS, OR CONDITIONS OF RECORD.
- WETLAND FLAGS DELINEATED BY NATURAL RESOURCE SERVICES IN MARCH AND APRIL OF 2017 AND FIELD LOCATED BY CROSSMAN ENGINEERING.
- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS FOR ENGINEERING DESIGN BY CROSSMAN ENGINEERING.

APPROXIMATE
NON-COMMUNITY WELL
HEAD PROTECTION AREA
BOUNDARY. (SOURCE:
RIDEM)

ACCESS EASEMENT
FOR A.P. 213, LOT 3
(SEE PLAN REF. #1)

R.I.H.B.
Found

STATE PLAT NO. 1409

STATE PLAT NO. 1409

MAP 213, LOT 7
N/F 102 ASSOCIATES
ZONING: GENERAL COMMERCIAL

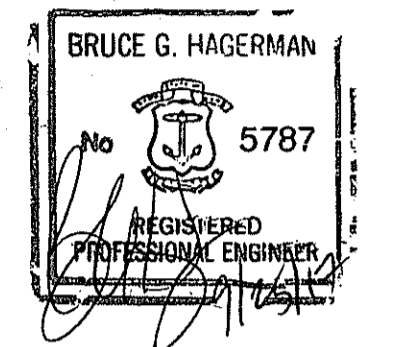
MAP 213, LOT 17
N/F 102 ASSOCIATES
ZONING: GENERAL INDUSTRIAL



CROSSMAN ENGINEERING

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@crossmaneng.com

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PROJECT TITLE:

PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

MK LEASING, LLC
60 PINE LEDGE ROAD
GREENVILLE, RI 02838

DRAWING TITLE:

EXISTING CONDITIONS PLAN NO. 1

DATE: JULY 2017 SCALE: 1" = 40'

DWG. NAME: 2231-C03-EXCN.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDDY & RIDEM COMMENTS	9/13/17

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
RIVER & WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
APPROVED IN THE LETTER OF APPROVAL
AS SPECIFIED IN THE LETTER OF APPROVAL
OCT 19 2017 FILE # 17-017
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DRAWING NUMBER

C3.0

SHEET: 4 OF 13

(SEE NOTE 3)

PARKING SUMMARY:

REQUIRED NUMBER OF PARKING SPACES:
 INDUSTRIAL USE = 20 EMPLOYEES X 2 SPACES/3 EMPLOYEES = 14 SPACES
 TOTAL NUMBER OF SPACES REQUIRED = 14 SPACES

PROPOSED NUMBER OF PARKING SPACES = 15 SPACES
 PROPOSED NUMBER OF LOADING SPACES = 4

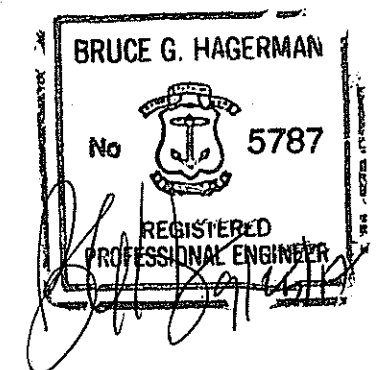
BURRILLVILLE ZONING REQUIREMENTS:

ZONING DISTRICTS: GENERAL INDUSTRIAL DISTRICT OAKLAND/MAPLEVILLE FIRE DISTRICT		
PROPOSED USE: INDUSTRIAL BUILDING (SEC. 30-71)		
A.P. 213, LOT 3	REQUIRED	PROVIDED
MINIMUM LOT AREA	NONE	106,878 SF
MIN. LOT FRONTAGE	200'	487.74'
FRONT YARD SETBACK	40'	78.00'
SIDE YARD SETBACK	15'	17'
REAR YARD SETBACK	40'	41'
MAXIMUM STRUCTURE HEIGHT	MAN=35' ACCESSORY=35'	35'
MAXIMUM BUILDING COVERAGE	25%	21.0%
MINIMUM DISTANCE FROM RESIDENTIAL OR FARMING DISTRICT	100'	195' (F2 DISTRICT)



CROSSMAN ENGINEERING
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PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING
 A.P. 213, LOTS 3 AND 13
 730 BRONCO HIGHWAY
 BURRILLVILLE, RHODE ISLAND

PREPARED FOR:
MK LEASING, LLC
 60 PINE LEDGE ROAD
 GREENVILLE, RI 02838

DRAWING TITLE:
SITE LAYOUT PLAN

DATE: JULY 2017 SCALE: 1" = 40'
 DWG. NAME: 2231-C04-SITE.dwg

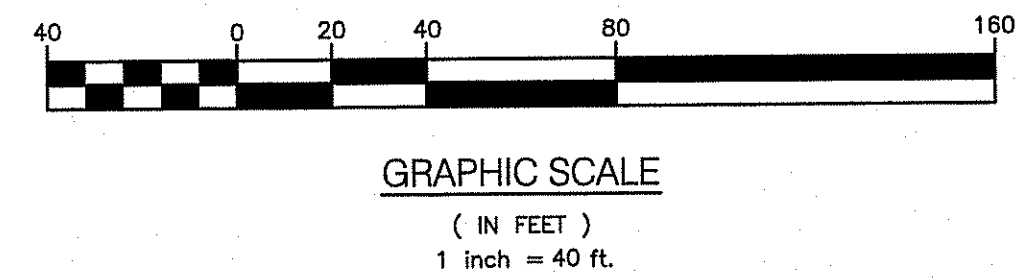
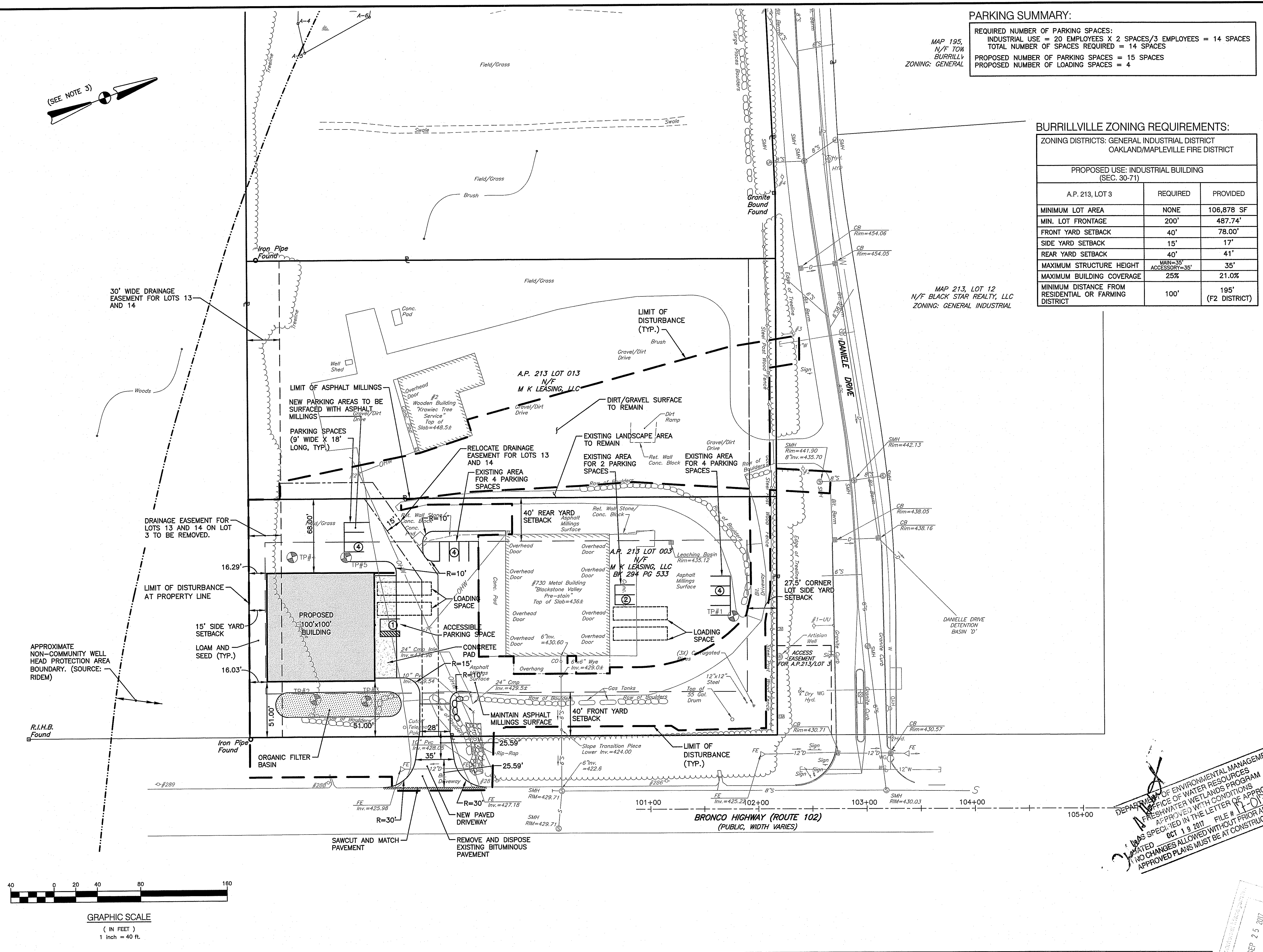
REVISIONS

NUMBER	REMARKS	DATE
1	RI DOT & RIDEM COMMENTS	9/13/17

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SEP 23 2017

DRAWING NUMBER
C4.0
 SHEET: 5 OF 13



MAP 213, LOT 7
 N/F 102 ASSOCIATES
 ZONING: GENERAL COMMERCIAL

MAP 213, LOT 17
 N/F 102 ASSOCIATES
 ZONING: GENERAL INDUSTRIAL

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 APPLIED IN THE LETTER OF APPROVAL
 OCT 19 2017 FILE # 1-010
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



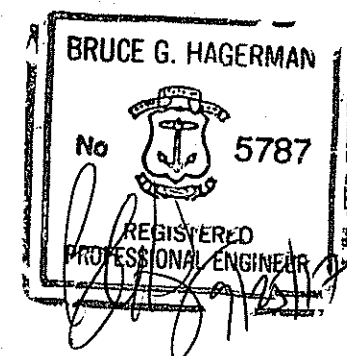
CROSSMAN ENGINEERING

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PROJECT TITLE:

PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

MK LEASING, LLC
60 PINE LEDGE ROAD
GREENVILLE, RI 02838

DRAWING TITLE:
GRADING, DRAINAGE AND UTILITY PLAN

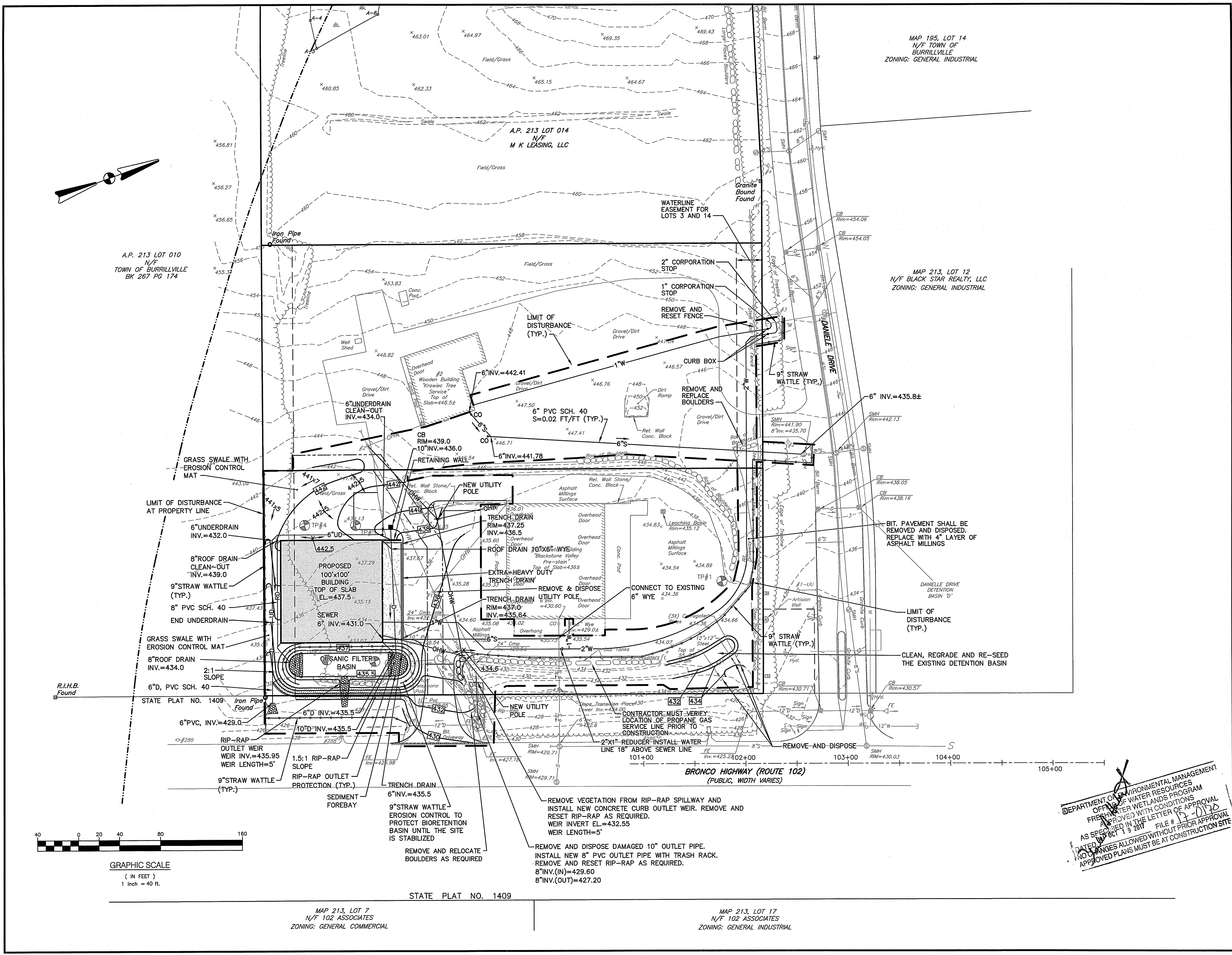
DATE: JULY 2017 SCALE: 1" = 40'

DWG. NAME: 2231-C05-GDU.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDDIT & RIDEW COMMENTS	9/13/17

DRAWING NUMBER

C5.0
SHEET: 6 OF 13

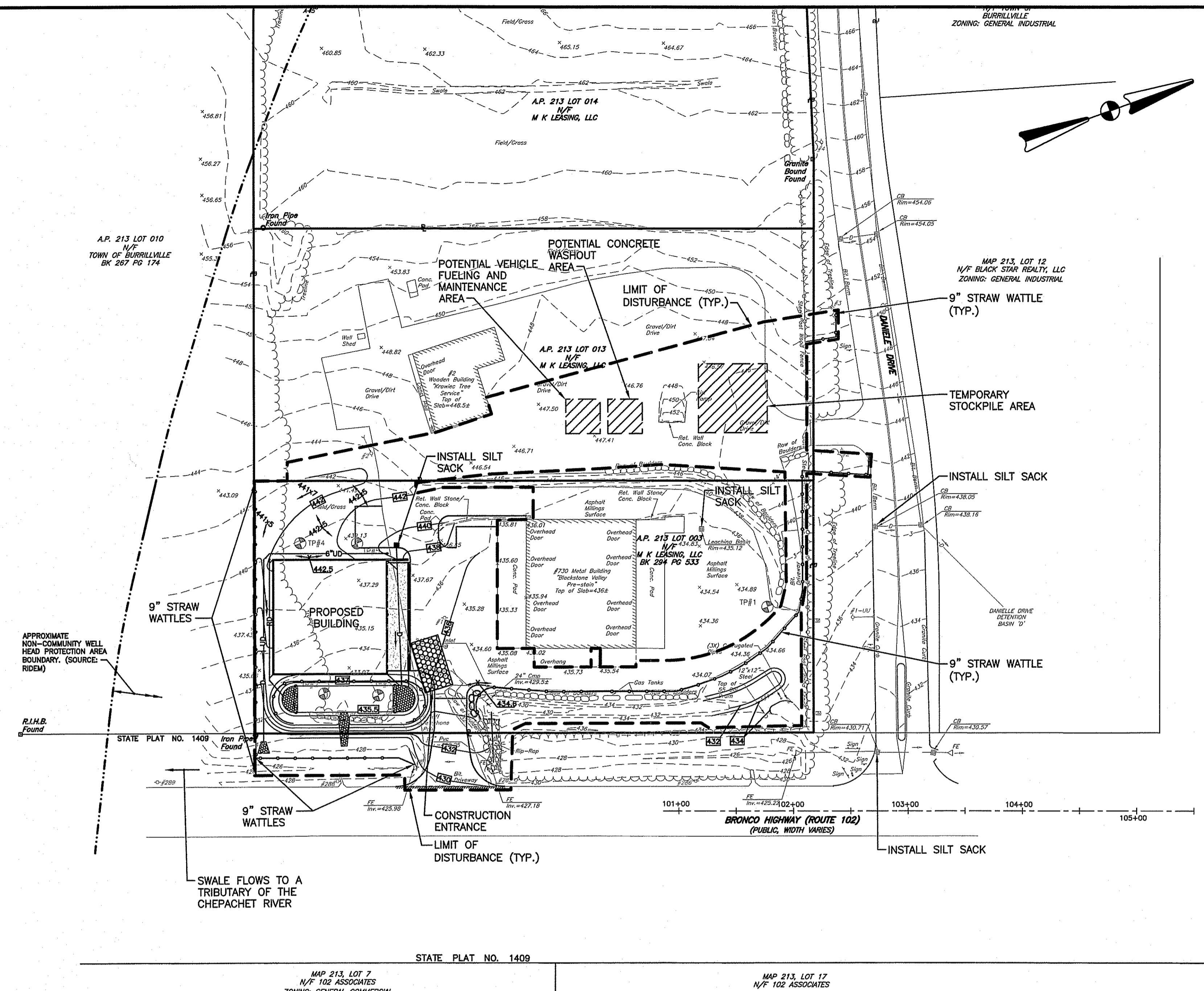


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 10/19/2017 FILE # 17-0172
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

MAP 213, LOT 7
N/F 102 ASSOCIATES
ZONING: GENERAL COMMERCIAL

MAP 213, LOT 17
N/F 102 ASSOCIATES
ZONING: GENERAL INDUSTRIAL



SITE PLAN
SCALE: 1"=60'

NOTES:

- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS: FIBER MATTING, CRUSHED STONE, RIP RAP, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- CONTRACTOR SHALL INSTALL SILT SACK OR APPROVED EQUAL IN ALL EXISTING CATCH BASINS WITHIN THE LIMIT OF WORK AND IN ADJACENT STREETS DOWNGRADIANT OF WORK. REMOVE AFTER CONSTRUCTION. REFER TO SITE PREPARATION PLANS FOR LOCATIONS OF SILT SACKS WITHIN EXISTING CATCH BASINS.
- STRAW WATTLES SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION AS NOTED ON THE PLANS. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE OWNER, LOCAL MUNICIPALITY, STATE AGENCIES OR ENGINEER DURING CONSTRUCTION.
- IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING ROADWAYS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTING CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.
- THE CONTRACTOR MUST REFERENCE AND FOLLOW THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE SWPPP SHOULD BE KEPT ON-SITE AT ALL TIMES DURING CONSTRUCTION.

RECEIVING WATER DATA:

- WATERSHED BODY NAME - CHEPACHET RIVER AND TRIBUTARIES, RI 001002R-03.
- IMPAIRMENTS: ENTEROCOCCUS
- TMDL: ENTEROCOCCUS, 9/22/11.
- GROUNDWATER CLASSIFICATION - GA

PROJECT DATA:

- LIMIT OF DISTURBANCE AREA = 2.55± ACRES
- THE SITE IS NOT LOCATED WITHIN A RIDEM NATURAL HERITAGE AREA. (SOURCE: RIDEM)
- THE SITE IS LOCATED WITHIN A WELLHEAD PROTECTION AREA. (SOURCE: R.I.D.E.M.)

ADDITIONAL CONTROLS:

- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS REQUIRED TO NOTIFY LOCAL AUTHORITIES AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WASTE MANAGEMENT, OF ANY HAZARDOUS MATERIAL SPILL.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN THE SITE IN AN ORDERLY AND CLEAN STATE. ALL CONSTRUCTION WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS PRIOR TO REMOVAL AND CONTACT WITH PRECIPITATION SHALL BE KEPT TO A MINIMUM.
- GENERAL MAINTENANCE PROCEDURES ARE OUTLINED IN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR AND CONTRACTOR ARE REQUIRED TO INSPECT ALL EROSION CONTROLS ON THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER A RAIN EVENT, WHICH GENERATES 0.25 INCHES OF RAIN IN A TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.
- CONCRETE WASHOUT SHALL BE PERFORMED USING ONE OF THE METHODS LISTED IN SECTION 3 OF THE R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. THE WASHOUT AREAS ARE DESIGNATED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- VEHICLE AND EQUIPMENT WASHING ON-SITE DURING CONSTRUCTION IS NOT ALLOWED.
- A SPILL RESPONSE KIT SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.

SITE CONSTRUCTION SEQUENCE AND SCHEDULE:

- INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SOIL DISTURBANCE.
- PRIOR TO CONSTRUCTION, CLEARLY MARK AREAS TO BE LEFT UNDISTURBED.
- SELECTIVE CLEARING OF TREES AND VEGETATION AS SHOWN ON THE SITE PLANS.
- TOP SOIL TO BE STRIPPED AND STOCKPILED. ESTABLISH EROSION CONTROLS AROUND PILES (STRAW WATTLES). ESTABLISH COVER IF STOCKPILES WILL REMAIN FOR LONGER THAN ONE MONTH.
- ROUGH GRADING FOR STORMWATER BASINS AND BUILDING.
- BUILDING CONSTRUCTION.
- INSTALL NEW UTILITY SERVICES.
- LANDSCAPE AND STABILIZE STORMWATER BASINS.
- FINAL GRADING AND LANDSCAPING.
- CLEANING OF ALL EROSION AND SEDIMENT CONTROLS, AND SWALES. CLEANING OF DRAINAGE SYSTEM.
- ESTIMATED DURATION OF SOIL EXPOSURE, AUGUST 2017 TO NOVEMBER 2017.

DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE TOWN OR ENGINEER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS (AS RECOMMENDED BY THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK", ISSUED 1989, REVISED 2014) TO CONTROL DUST:

- THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

- PRIOR TO COMMENCING GRUBBING OPERATIONS OR EARTHWORK, EROSION CONTROLS SHALL BE PLACED TO PREVENT SEDIMENT FROM ENTERING WETLAND AREAS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING WETLAND AREAS, ADJUTING PROPERTIES AND THE DRAINAGE SYSTEMS.
- ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- ADDITIONAL EROSION CONTROLS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE TOWN OR ENGINEER.
- THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, REVISED 2014, UPDATED 2016, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.
- AFTER CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE INSPECTION REPORTS THAT WERE TAKEN DURING THE CONSTRUCTION ACTIVITIES. THE OWNER IS TO RETAIN THE INSPECTION REPORTS FOR 5 YEARS FROM THE DATE ON THE REPORT OR APPLICATION.

GENERAL PROJECT WIDE NOTES

- EROSION CONTROLS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY, DRAINAGE SYSTEMS AND WETLANDS.
- THE CONTRACTOR MUST REPLACE AND/OR RESEED ANY VEGETATION THAT DOES NOT DEVELOP/SURVIVE WITHIN THE PERIOD OF ONE YEAR AND HE/SHE SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL EROSION CONTROLS OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE; THE AREA BEYOND THE DRIPLINE SHALL BE FENCED OR ROPED OFF TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
- AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESEDED, RESEEDING, OR OTHERWISE RESTORED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTING CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE ROADWAY DRAINAGE SYSTEM, WETLAND AREAS, ADJACENT PROPERTY AND OUTSIDE THE LIMIT OF WORK.
- ALL PERIMETER EROSION CONTROLS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. PERIMETER EROSION CONTROLS CAN BE STRAW WATTLES, SILT SACKS, OR APPROVED EQUALS AS SPECIFIED IN THE PLANS. NO CHANGES ALLOWED WITHOUT APPROVED PLANS MUST BE AT THE START OF CONSTRUCTION.
- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO CONSTRUCTION SHALL BE SEEDED OR PROTECTED BY THAT DATE.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER WILCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- STOCKPILES SHALL BE SURROUNDED WITH STRAW WATTLES.
- HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- ALL STRAW WATTLES SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED. ONCE THE AREAS HAVE AN ACCEPTABLE STAND OF GRASS OF APPROVED GROUND COVER, AND AFTER APPROVAL OF THE OWNER, THE CONTRACTOR SHALL REMOVE ALL STRAW WATTLES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL STRAW WATTLES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER OR TOWN REPRESENTATIVES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST.
- CATCH BASINS SHALL BE PROTECTED USING SILT SACKS WHERE NOTED ON THE PLANS.
- TEMPORARY DEWATERING BASINS SHALL BE UTILIZED AS REQUIRED. THE NUMBER AND SIZE OF DEWATERING BASINS REQUIRED WILL VARY DEPENDING ON SITE CONDITIONS.
- THE CONTRACTOR SHALL REFERENCE THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, REVISED 2014, UPDATED 2016, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.

Crossman Engineering
Rhode Island: 151 Centerville Road, Warwick, RI 02886
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BRUCE G. HAGERMAN
REGISTERED PROFESSIONAL ENGINEER
No. 5787

PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:
MK LEASING, LLC

**60 PINE LEDGE ROAD
GREENVILLE, RI 02838**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WETLANDS PROGRAM
NO CHANGES ALLOWED WITHOUT APPROVED PLANS MUST BE AT THE START OF CONSTRUCTION

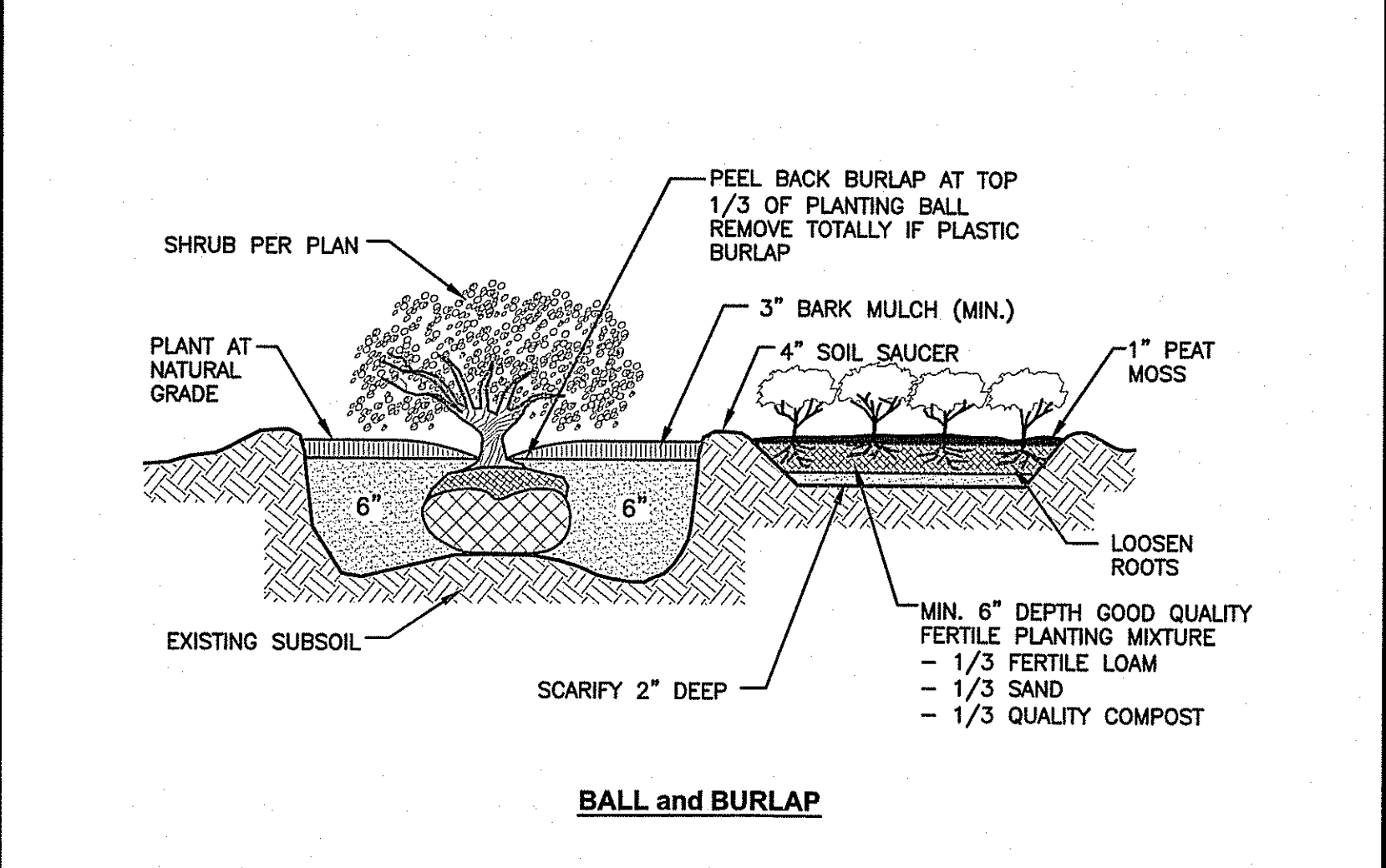
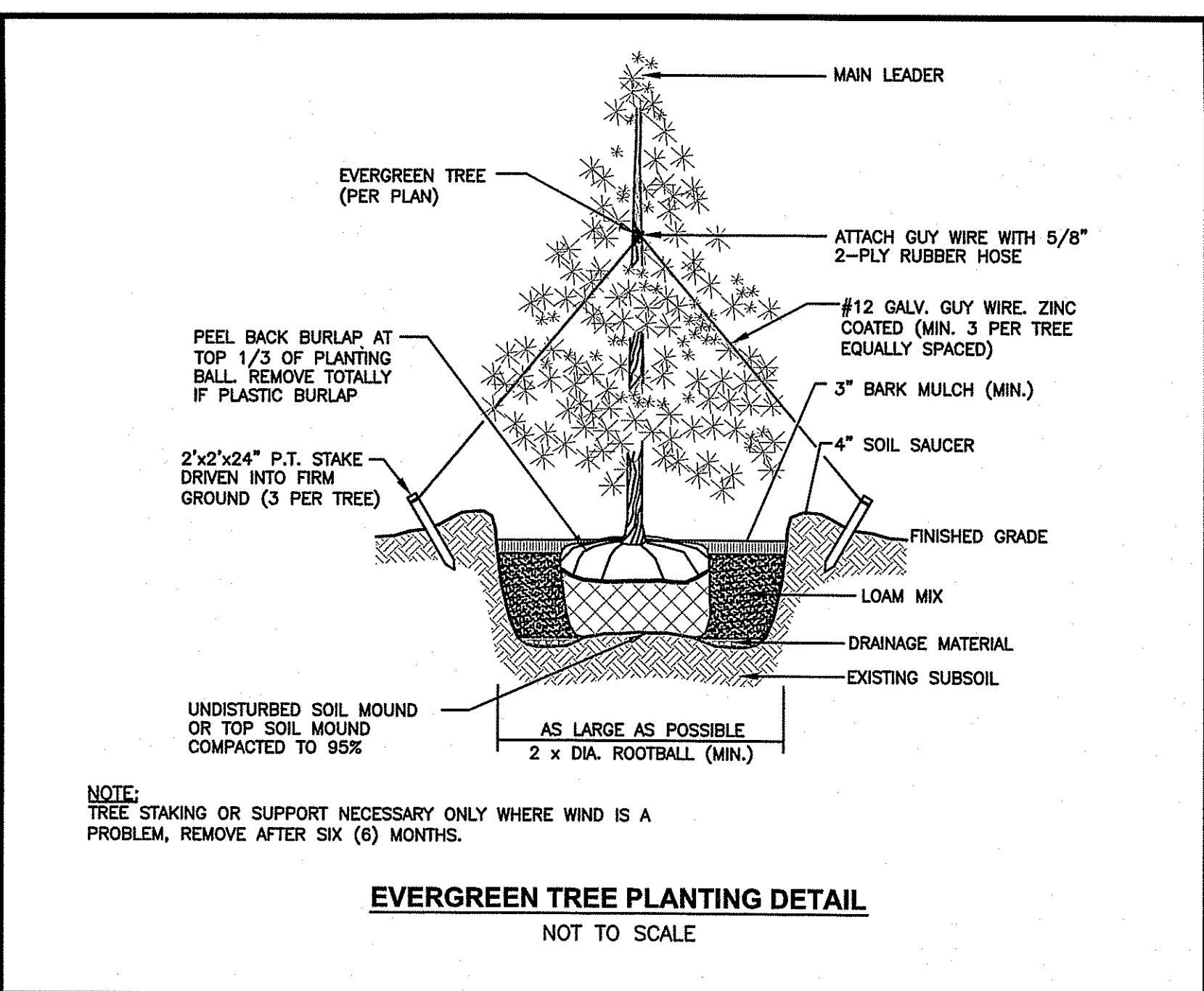
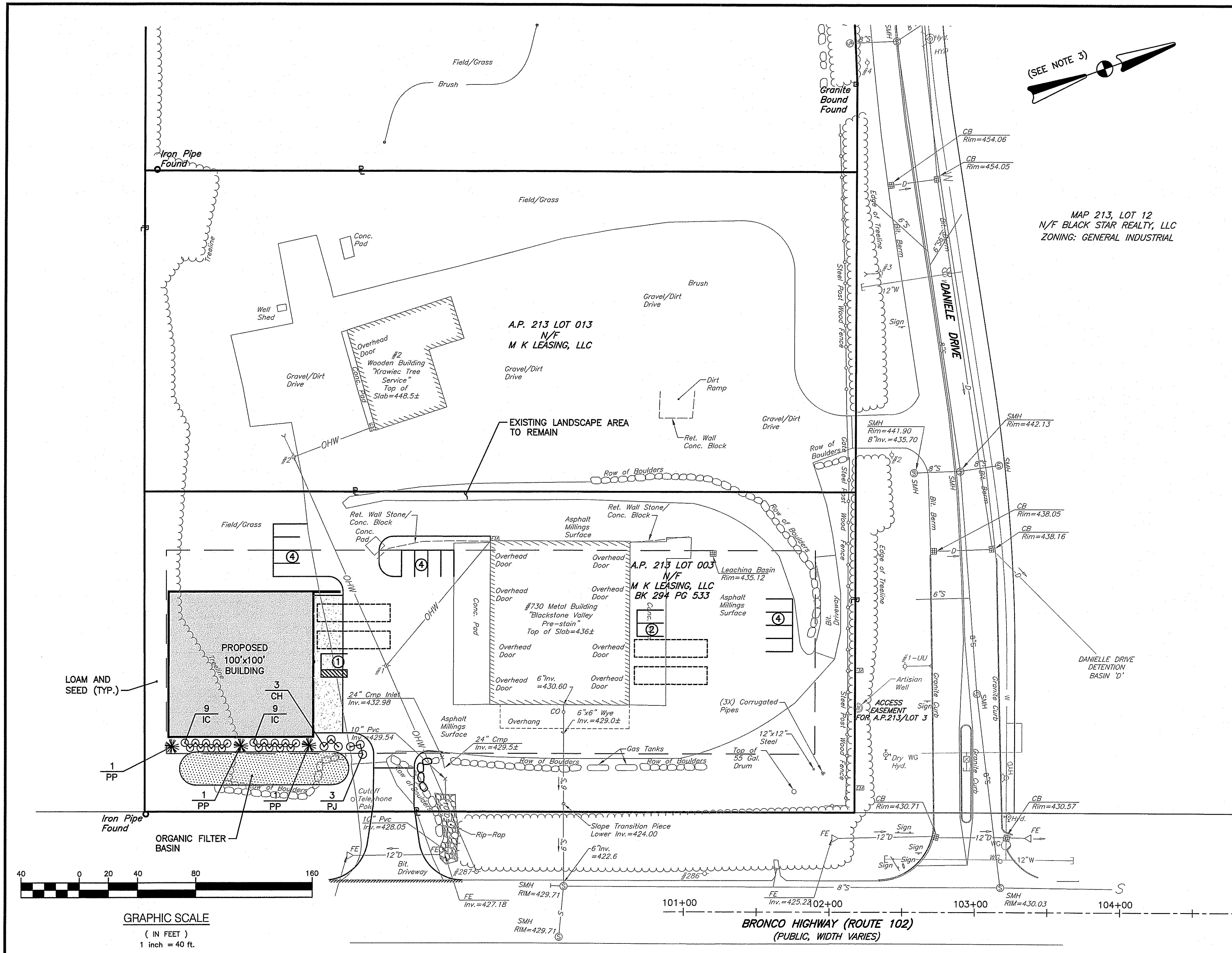
NO EROSION AND SEDIMENT CONTROL PLAN

JULY 2017
SCALE: AS NOTED

DWG. NAME: 2231-C06-SOIL.dwg

REVISIONS	NUMBER	REMARKS	DATE
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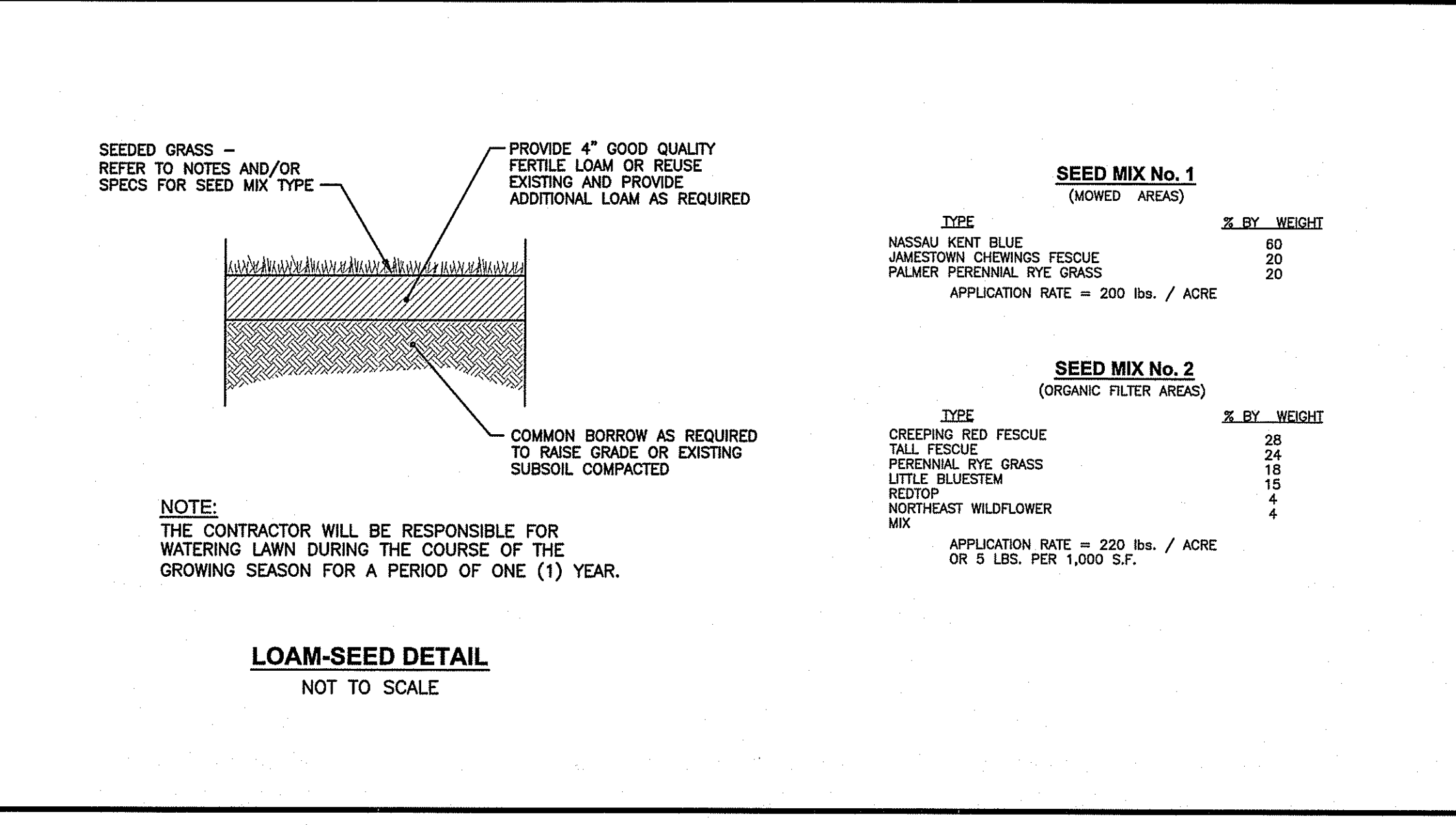
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SHEET: 7 OF: 13



- LANDSCAPE CONSTRUCTION NOTES**
- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED IN THE QUANTITIES LISTED ON THE PLANTING SCHEDULE. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
 - LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS.
 - ORGANIC FILTER AREAS—PLANTING SOIL AND MULCH: LOAMY SAND TO A SANDY LOAM—80% SAND <20% SILT, <2% CLAY. WELL AGED GRADED COMPOST (25% OF SOIL MIX), WELL AGED, AERATED DARK BROWN HARD-WOOD MULCH (AGED 6 MONTHS).
 - NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
 - ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
 - SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
 - STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
 - WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
 - PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
 - FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
 - LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
 - MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
 - GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.

PLANTING SCHEDULE

Key	Quantity	Botanical Name Common Name	Size	Remarks
CH	3	Chamaecyparis obtusa 'Gracillis' Hinoki False Cypress	6'-7'	B&B
IC	18	Ilex crenata 'Steads' Steads Upright Holly	4'-5'	B&B
PP	3	Picea pungens 'Hoopsii' Colorado Spruce	6'-8'	B&B
PJ	3	Pieris japonica 'Mtn. Fire' Mountain Fire Japanese andromeda	7 Gallon	B&B



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Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@grossmaneng.com

• Civil
• Transportation
• Environmental
• Site Planning
• Surveying
• Permitting
• Landscape Architecture

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BRUCE G. HAGERMAN
No. 5787
REGISTERED PROFESSIONAL ENGINEER

PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:
MK LEASING, LLC
60 PINE LEDGE ROAD
GREENVILLE, RI 02838

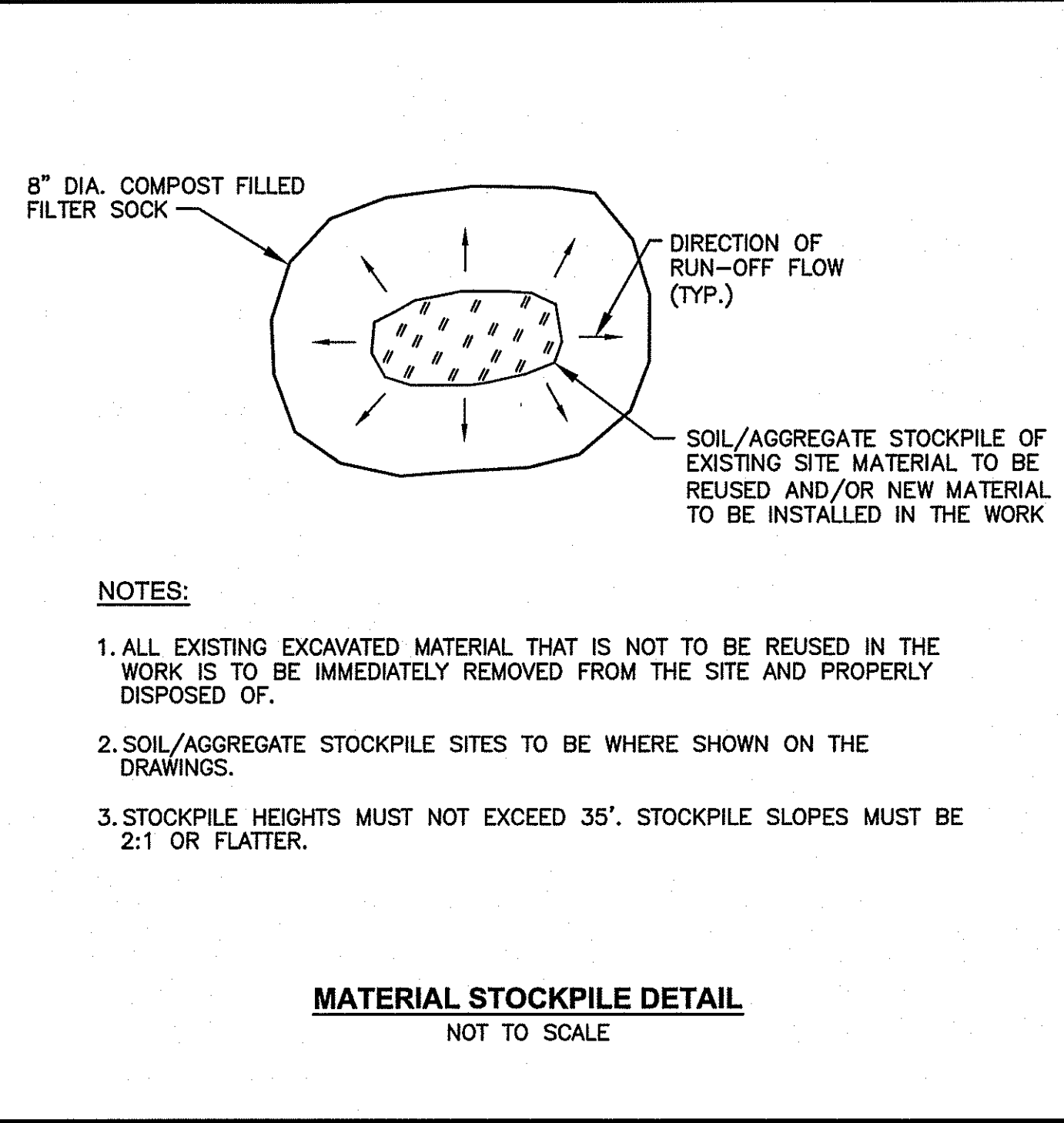
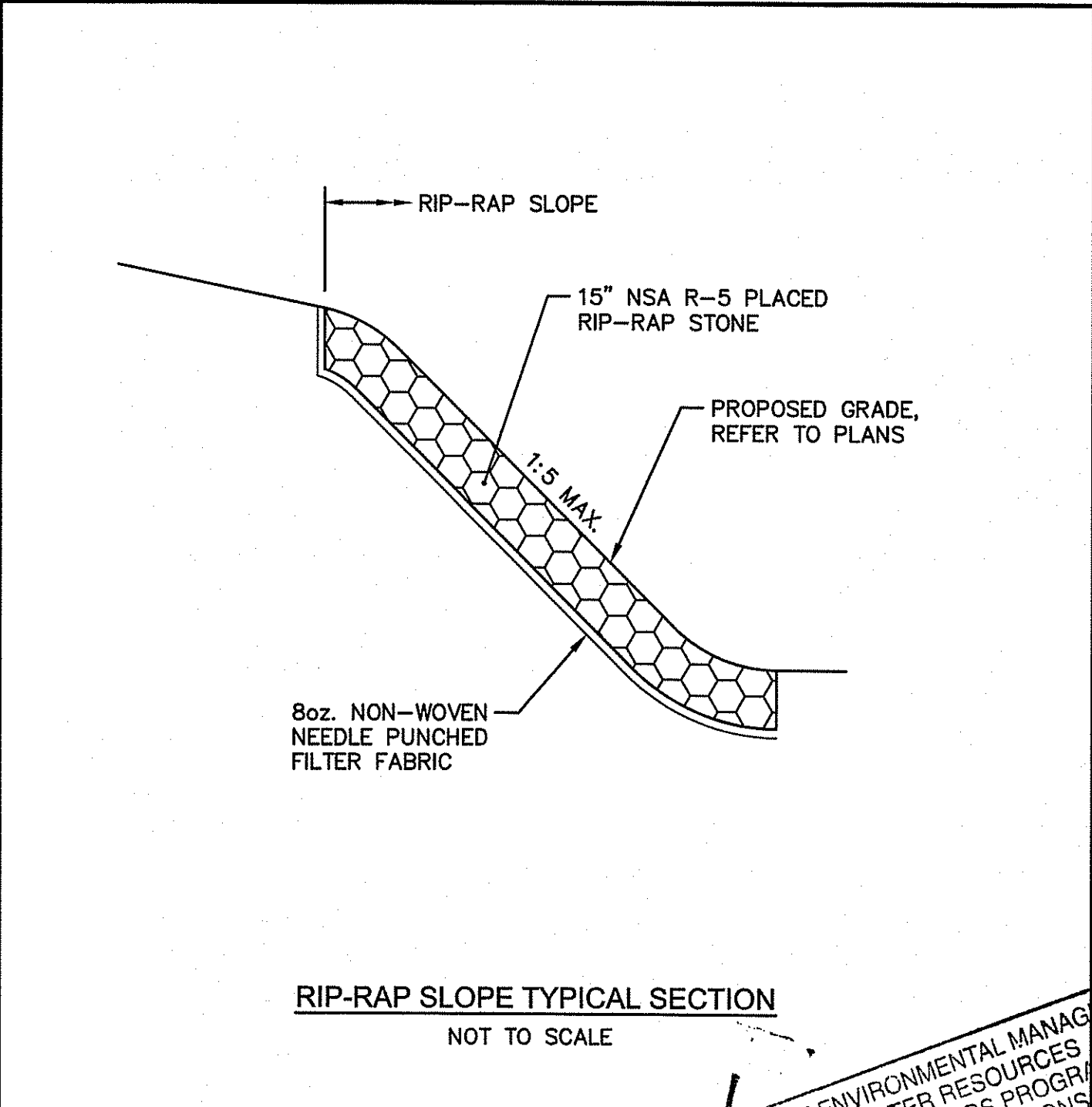
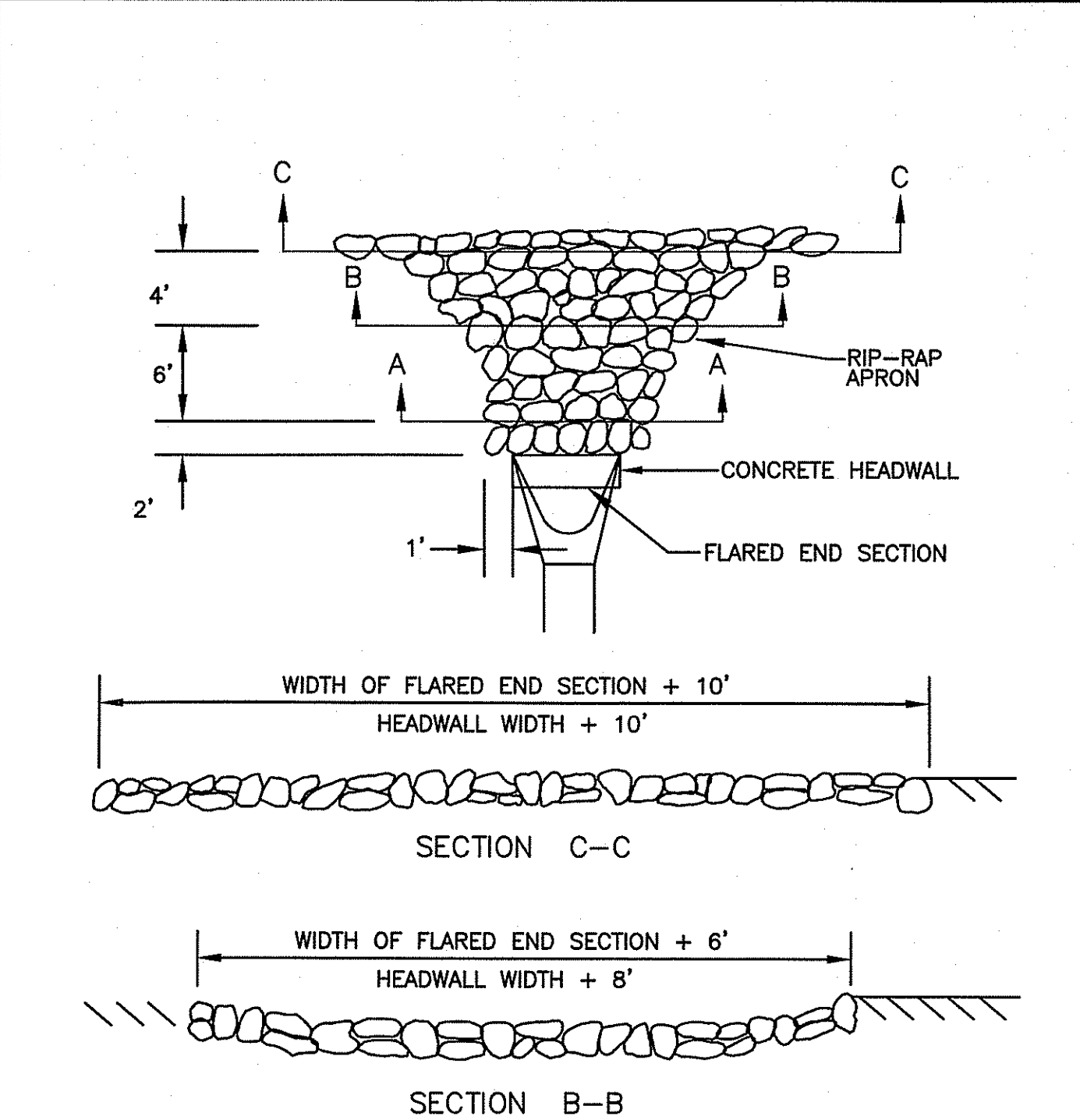
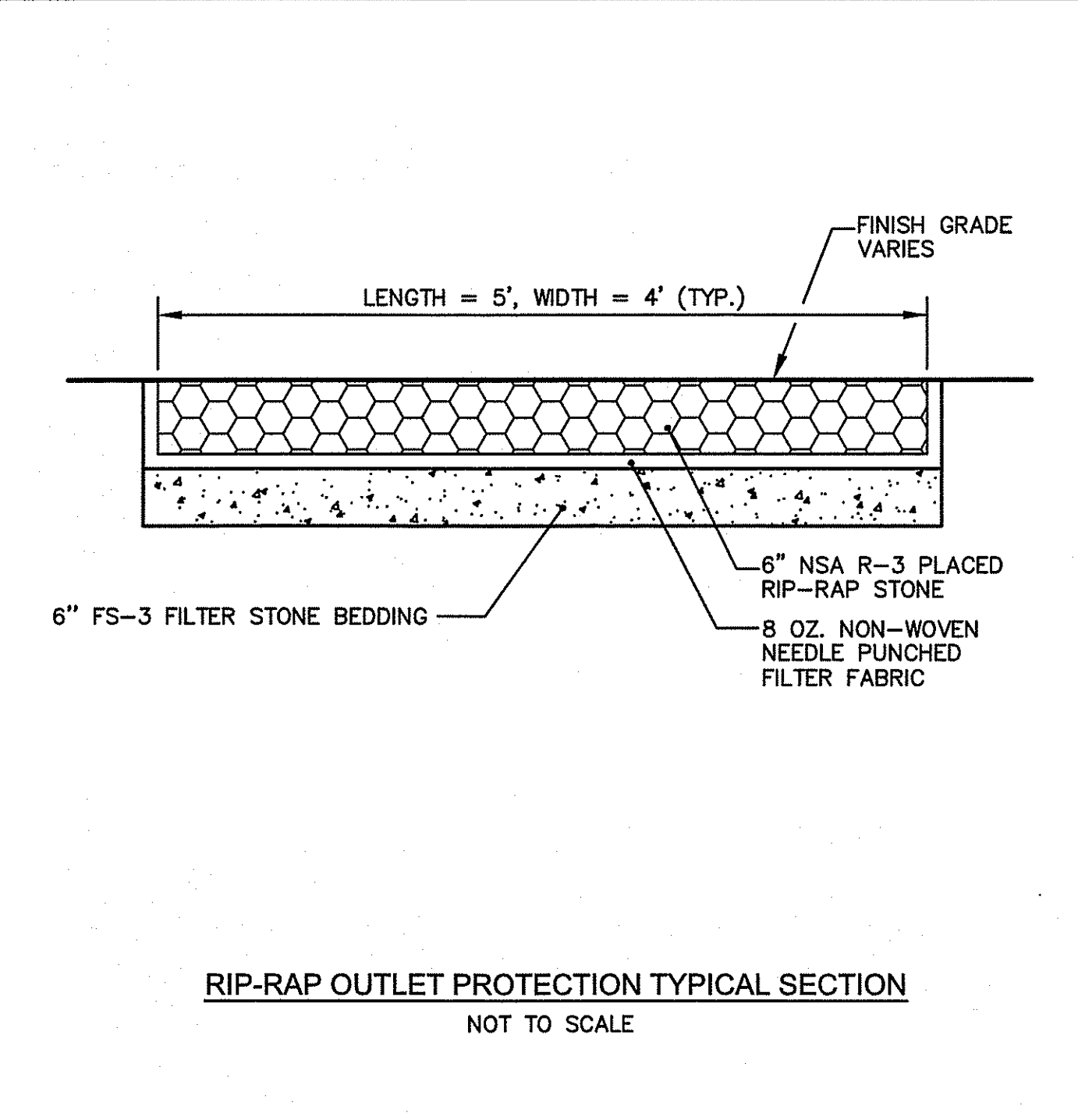
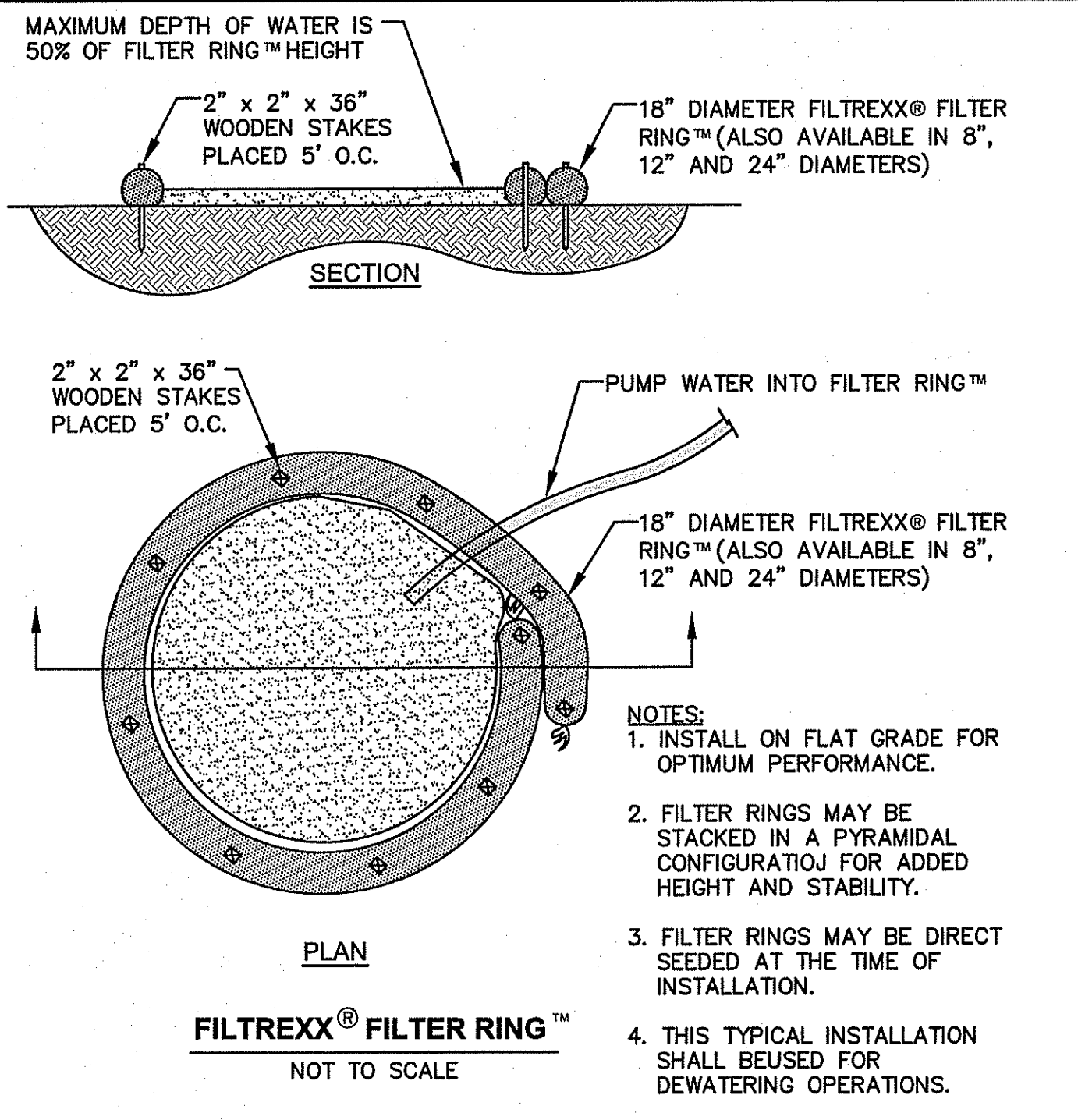
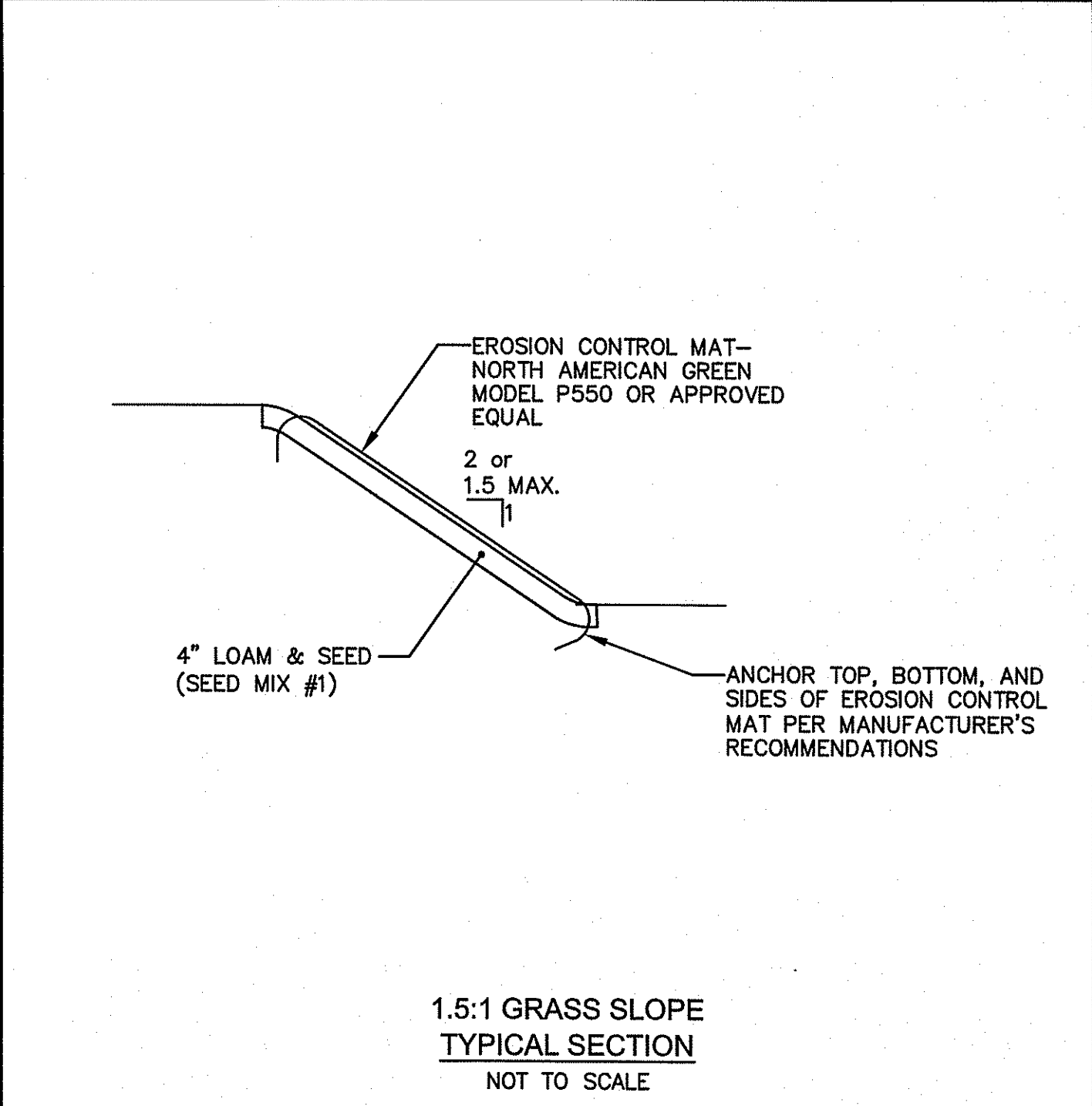
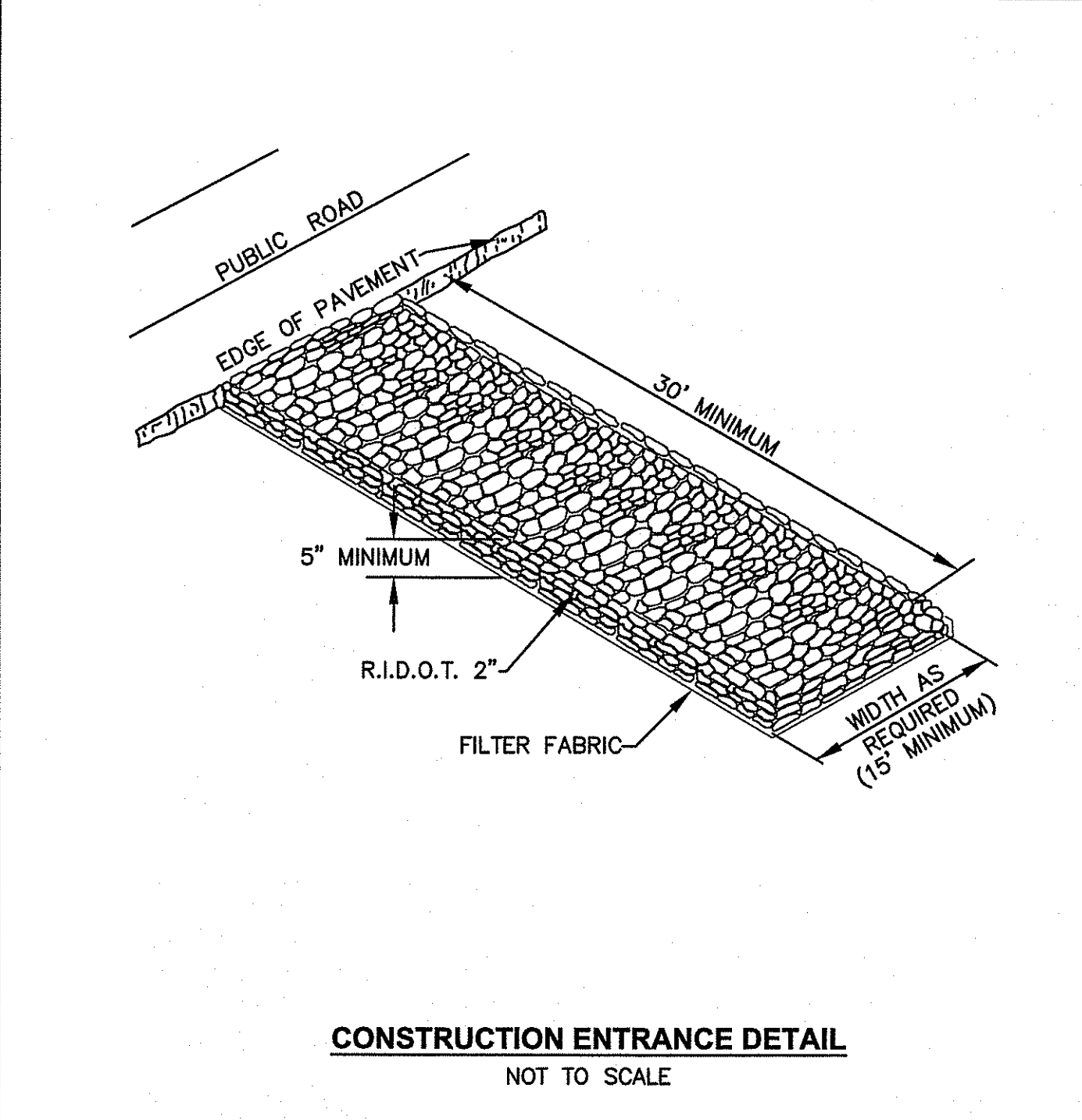
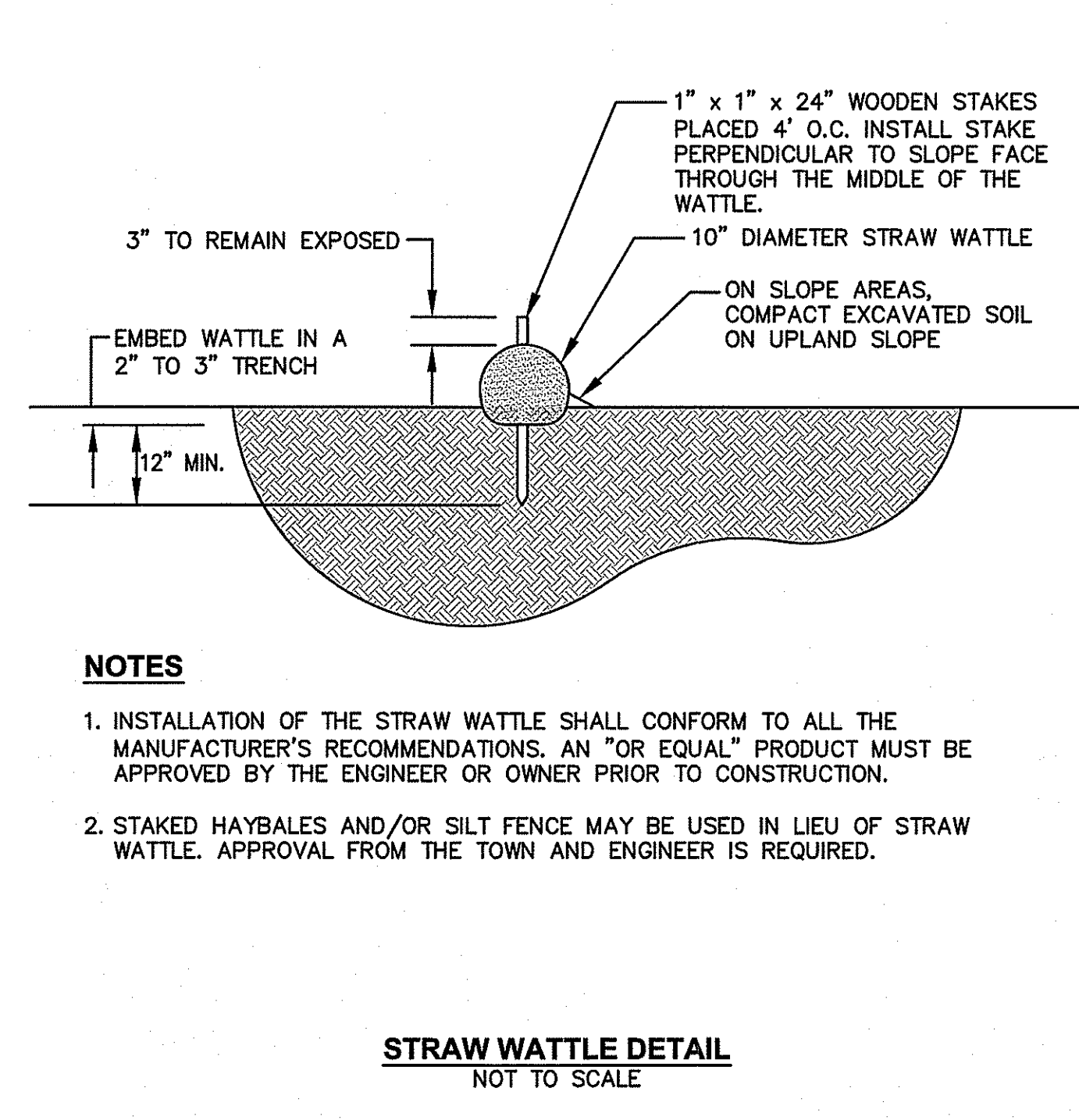
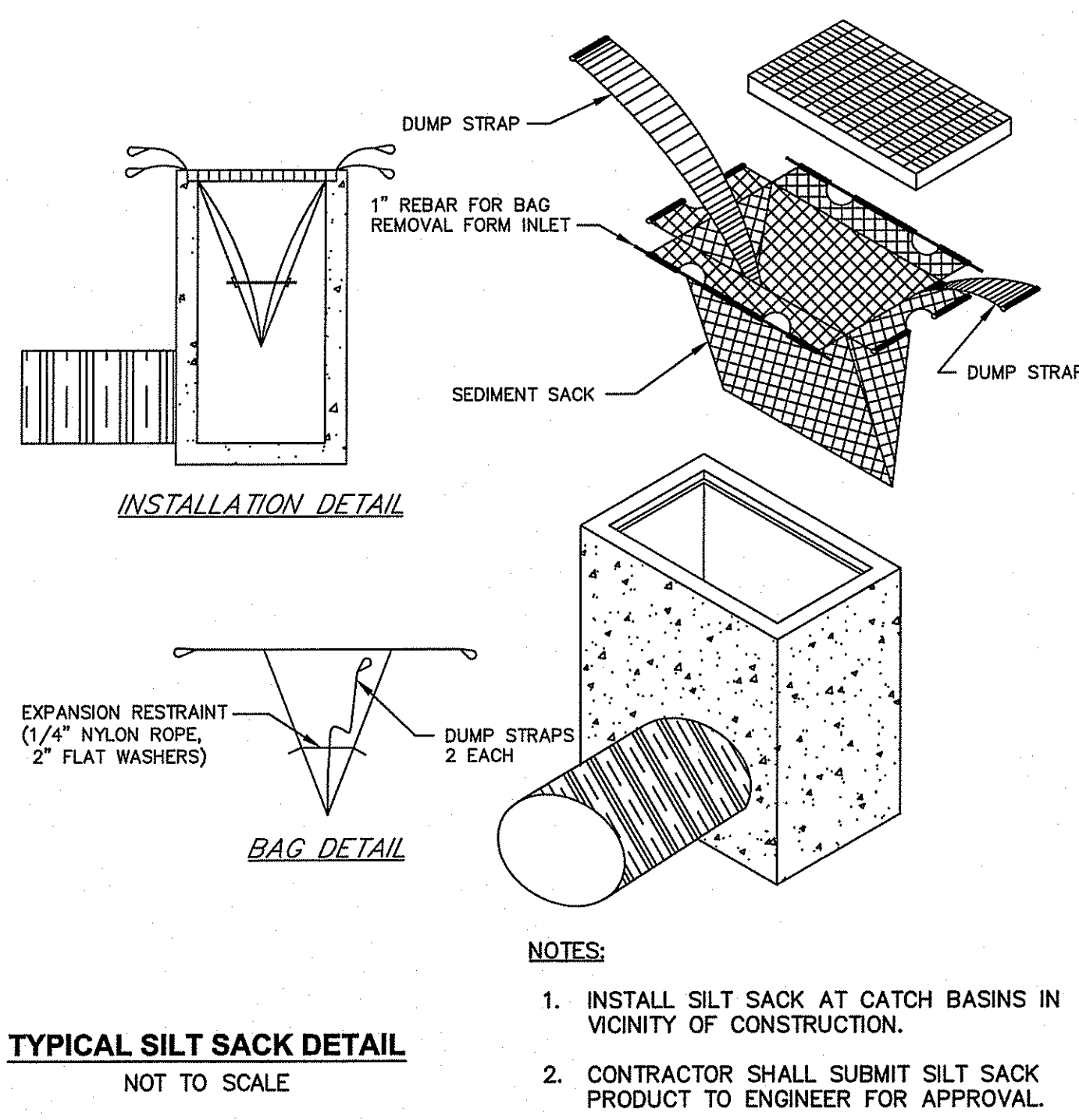
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LANDSCAPE PLAN AND DETAILS

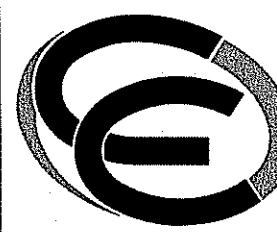
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SCALE: 1" = 40'

DWG. NAME: 2231-L01-LAND.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	ROOT & RIDGE COMMENTS	9/13/17

DRAWING NUMBER:
L1.0
SHEET: 8 OF 13





- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

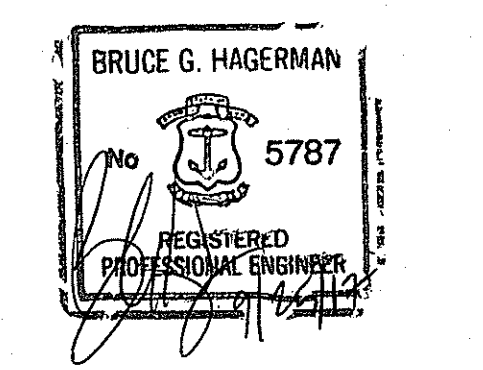
CROSSMAN ENGINEERING

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PROJECT TITLE:

PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

MK LEASING, LLC

60 PINE LEDGE ROAD
GREENVILLE, RI 02838

DRAWING TITLE:

**MISCELLANEOUS DETAILS
PLAN NO. 1**

DATE:	JULY 2017	SCALE:	AS NOTED						
DWG. NAME:	2231-C07.1-DET01.dwg								
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NUMBER</th> <th>REMARKS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>RIDD & RIDD COMMENTS</td> <td>9/13/17</td> </tr> </tbody> </table>			NUMBER	REMARKS	DATE	1	RIDD & RIDD COMMENTS	9/13/17
NUMBER	REMARKS	DATE							
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SHEET:	9	OF:	13						

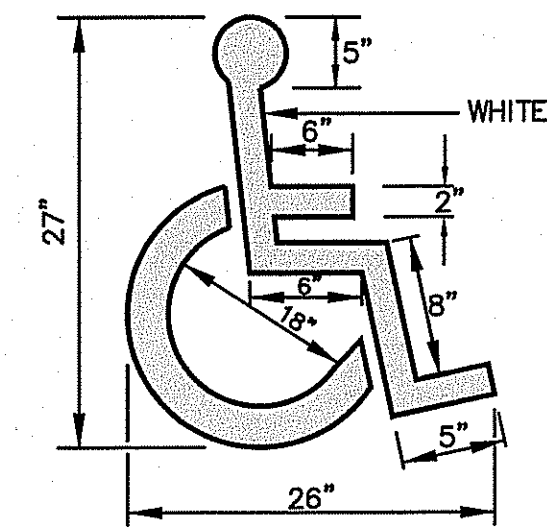


- NOTE:**
1. ALL LETTERS ARE 1" SERIES "C" PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.),
 2. SIGN SHALL BE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 4. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE M.U.T.C.D.
 5. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, ALIGNED WITHIN 12" OF CENTER OF THE PARKING SPACE.
 6. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE.

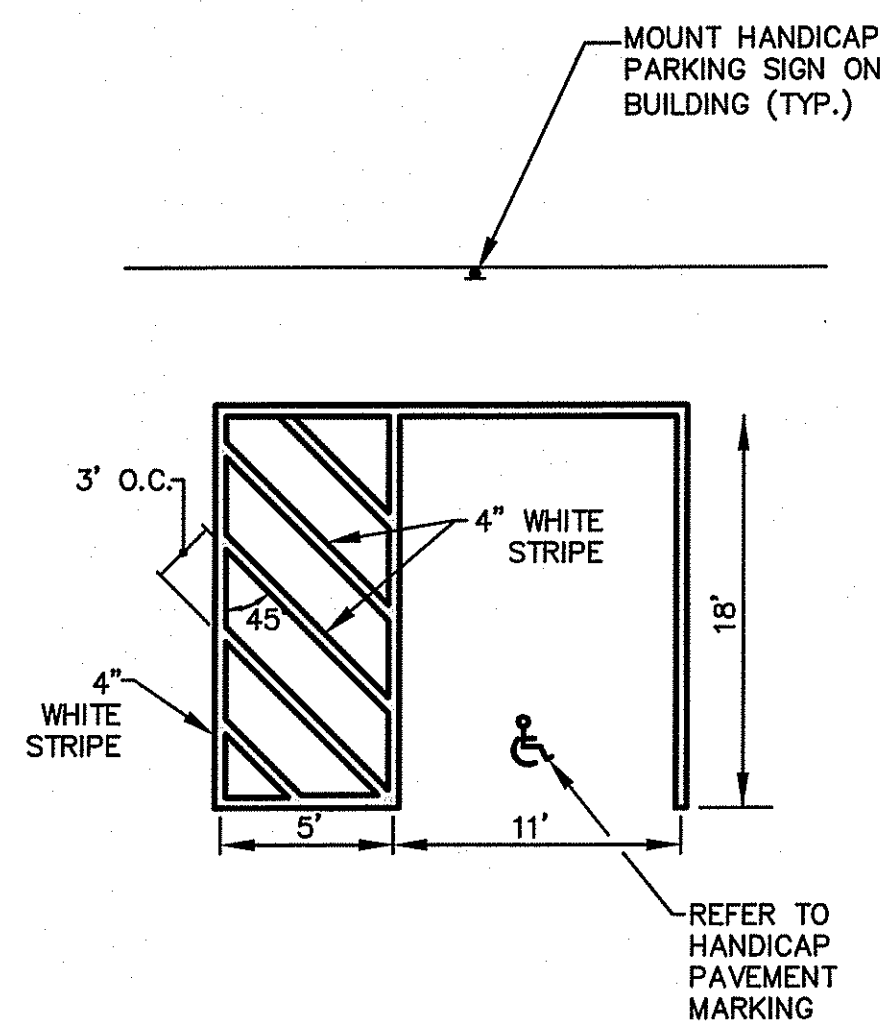
SIGN NOTES:

1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE-MIN.) AND INSTALLED IN CONFORMANCE WITH MUTCD AND LOCAL STANDARDS AND SPECIFICATIONS.
2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN.)
3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.
4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8"x8"x6" SQUARE BOX FORM.

PROPOSED HANDICAPPED PARKING SIGNS
NOT TO SCALE



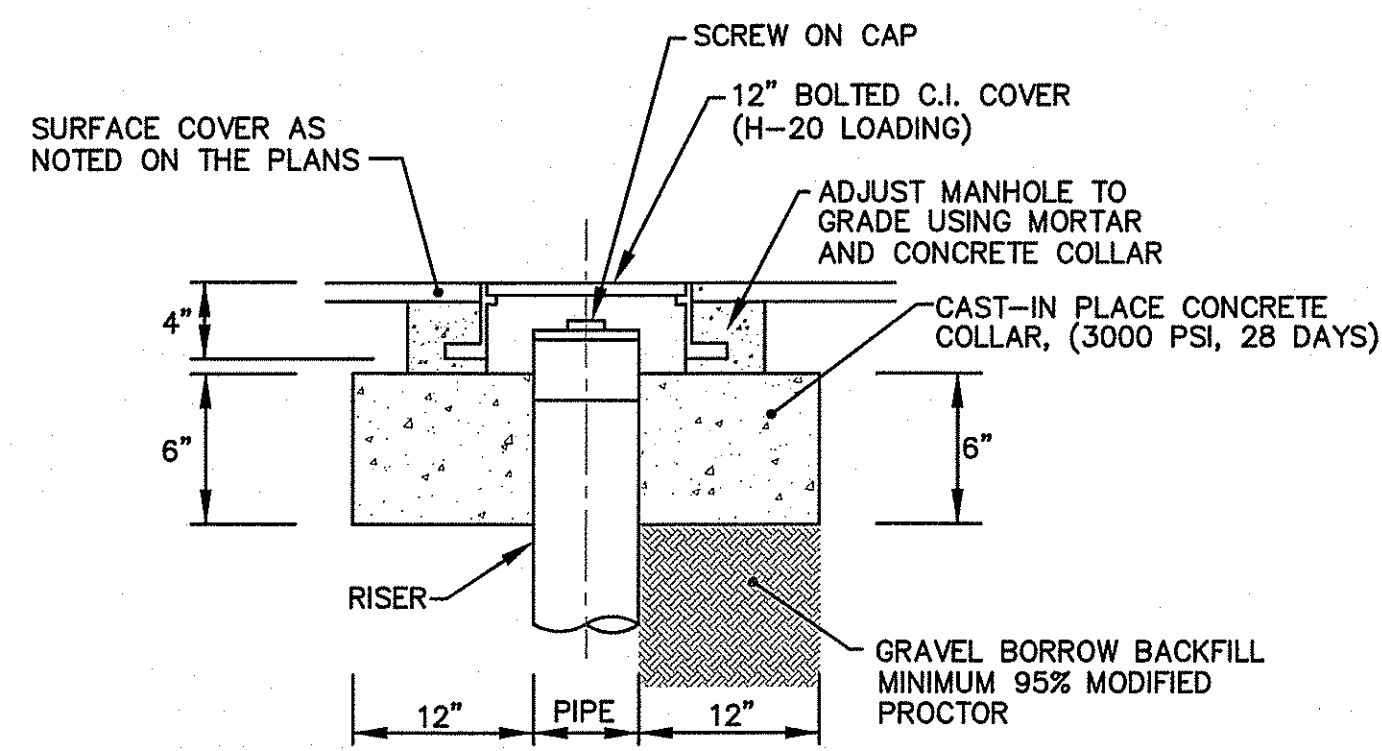
HANDICAP PAVEMENT MARKING
NOT TO SCALE



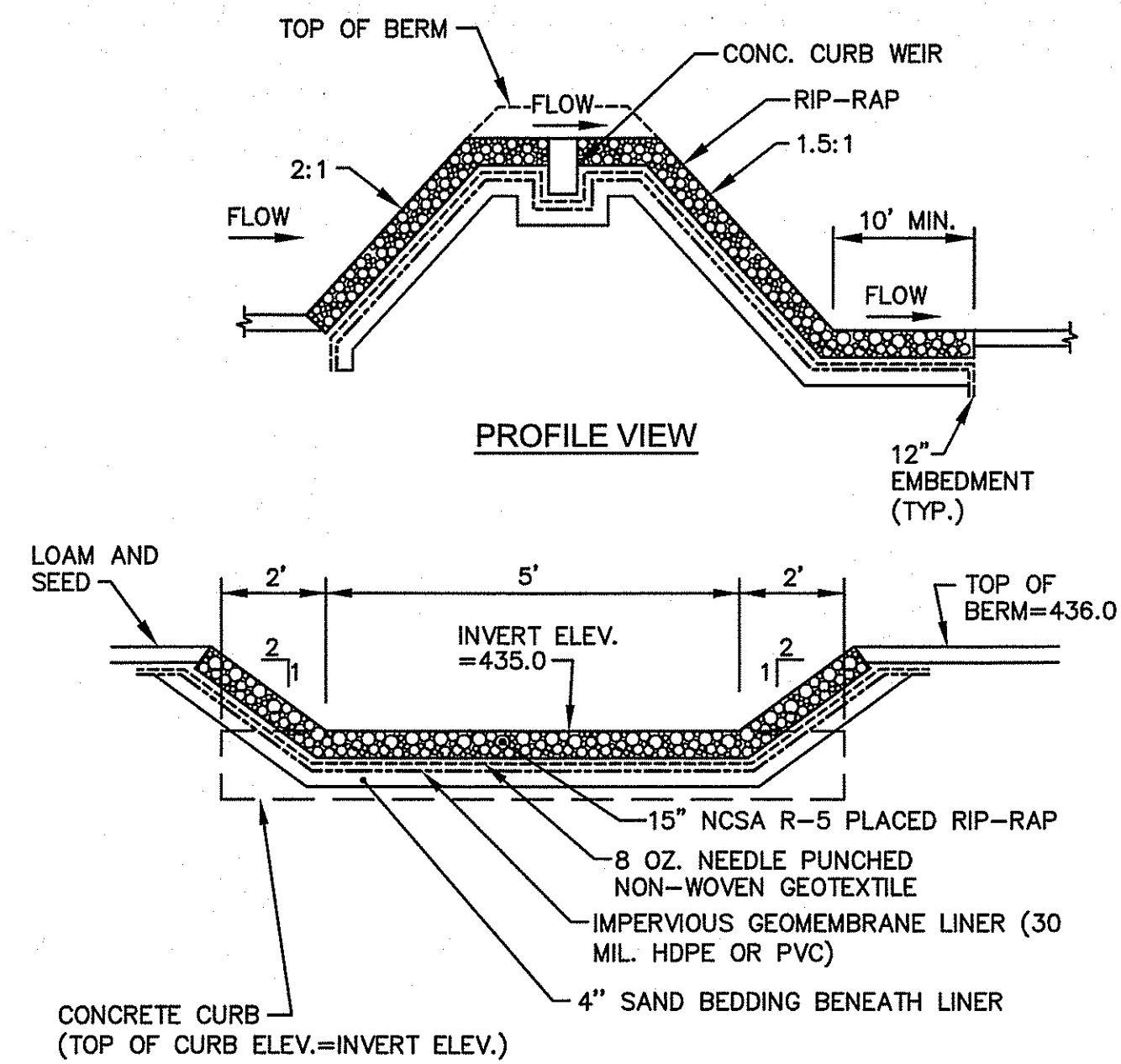
NOTE

1. ALL HANDICAP PARKING SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

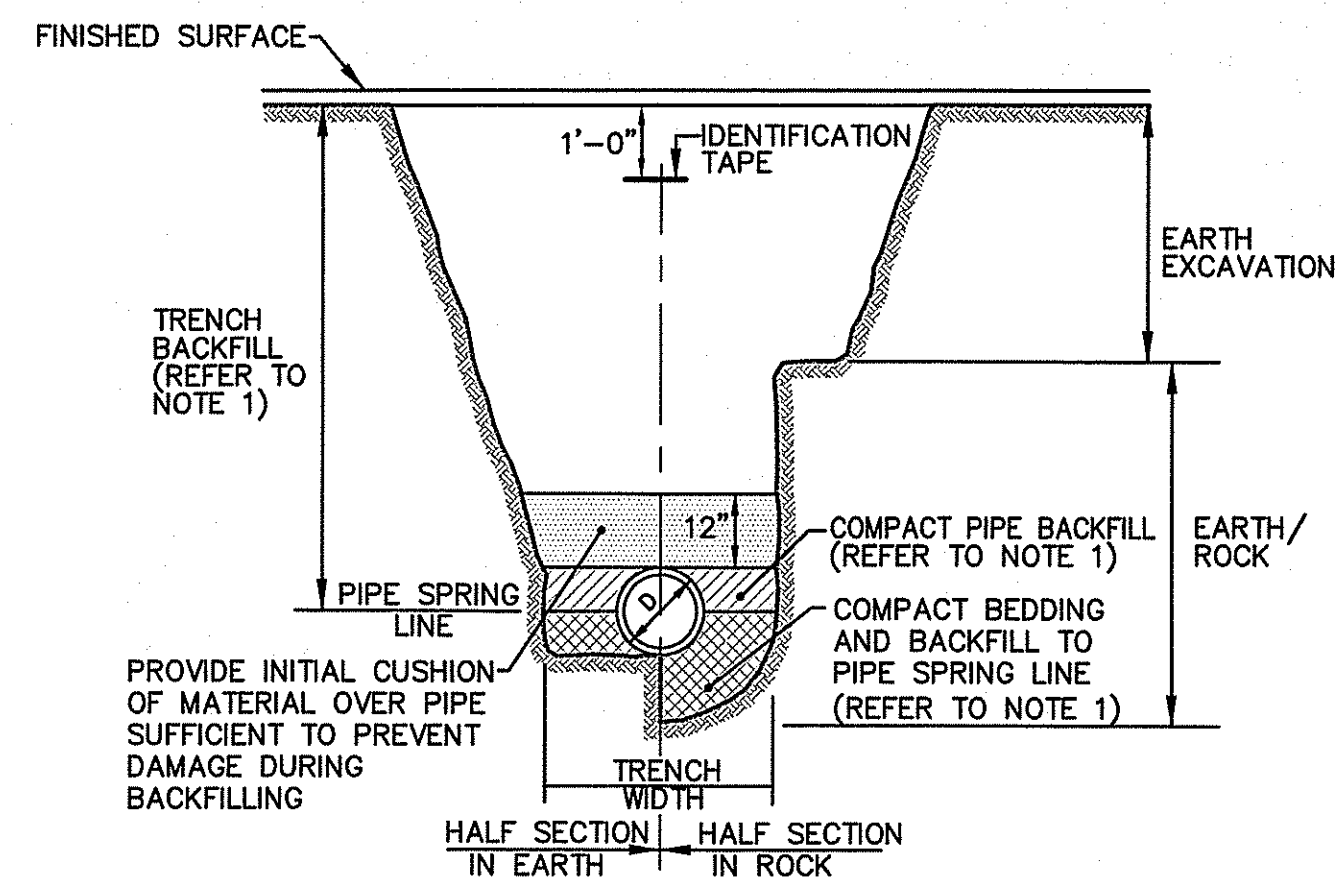
HPS
HANDICAP PARKING STALLS
NOT TO SCALE



CLEAN-OUT COVER DETAIL
NOT TO SCALE



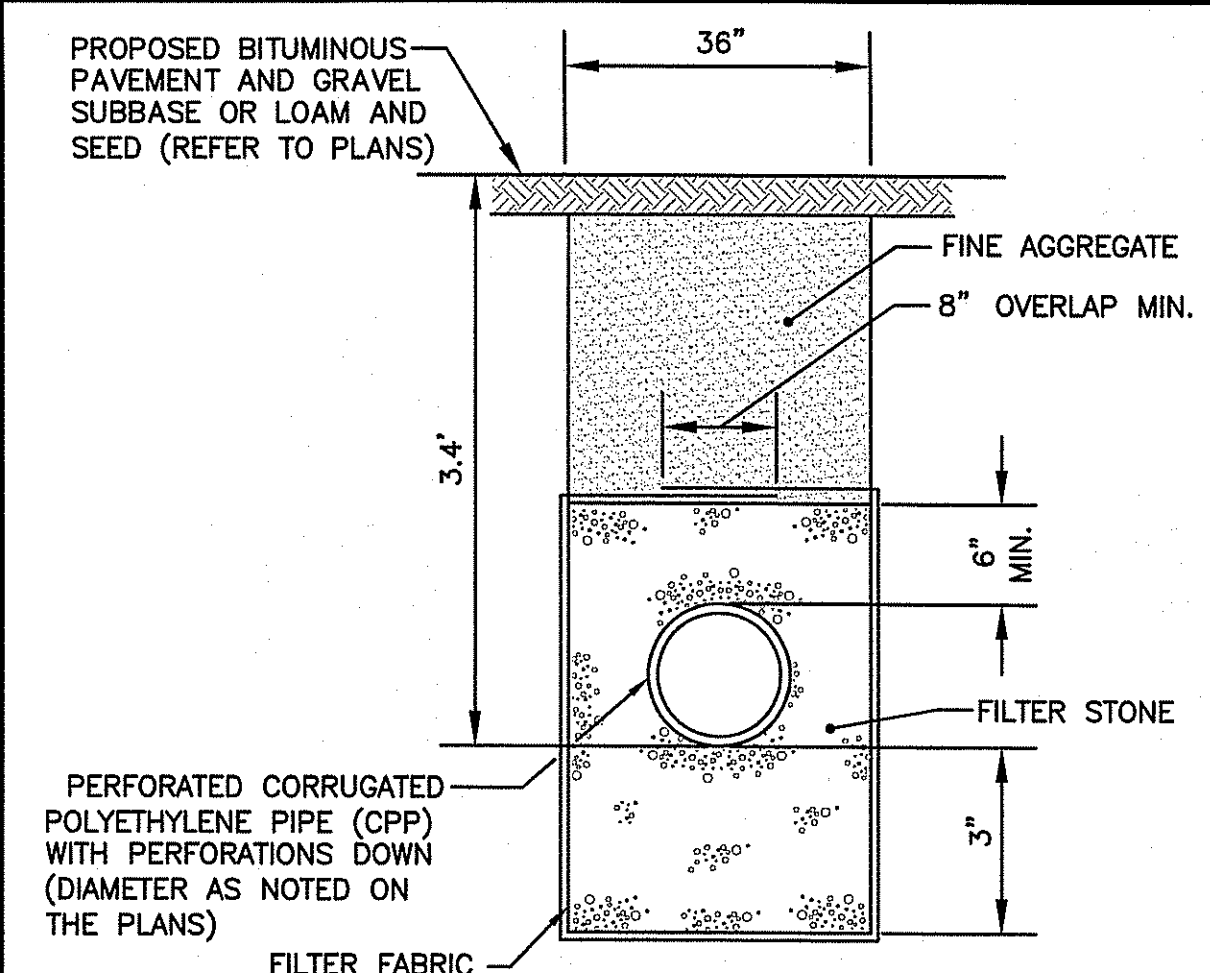
TYPICAL OUTLET WEIR DETAIL
NOT TO SCALE



NOTES:

1. PIPE BEDDING AND BACKFILL TO SPRING LINE SHALL CONSIST OF CRUSHED STONE-3/4" MINUS. PIPE BACKFILL SHALL CONSIST OF CRUSHED STONE (WRAPPED IN FILTER FABRIC) OR GRAVEL (5" MINUS, WITH SIEVE ANALYSIS APPROVED BY ENGINEER), OR OTHER APPROVED MATERIAL. TRENCH BACKFILL SHALL CONSIST OF SUITABLE EXCAVATED MATERIAL OR OTHER APPROVED MATERIAL. ALL BEDDING/BACKFILL TO BE COMPACTED TO 95% DRY DENSITY, MODIFIED PROCTOR METHOD.
2. ALL TRENCH EXCAVATION AND ANY SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND OSHA REGULATIONS.
3. MINIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 12". MAXIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 24".

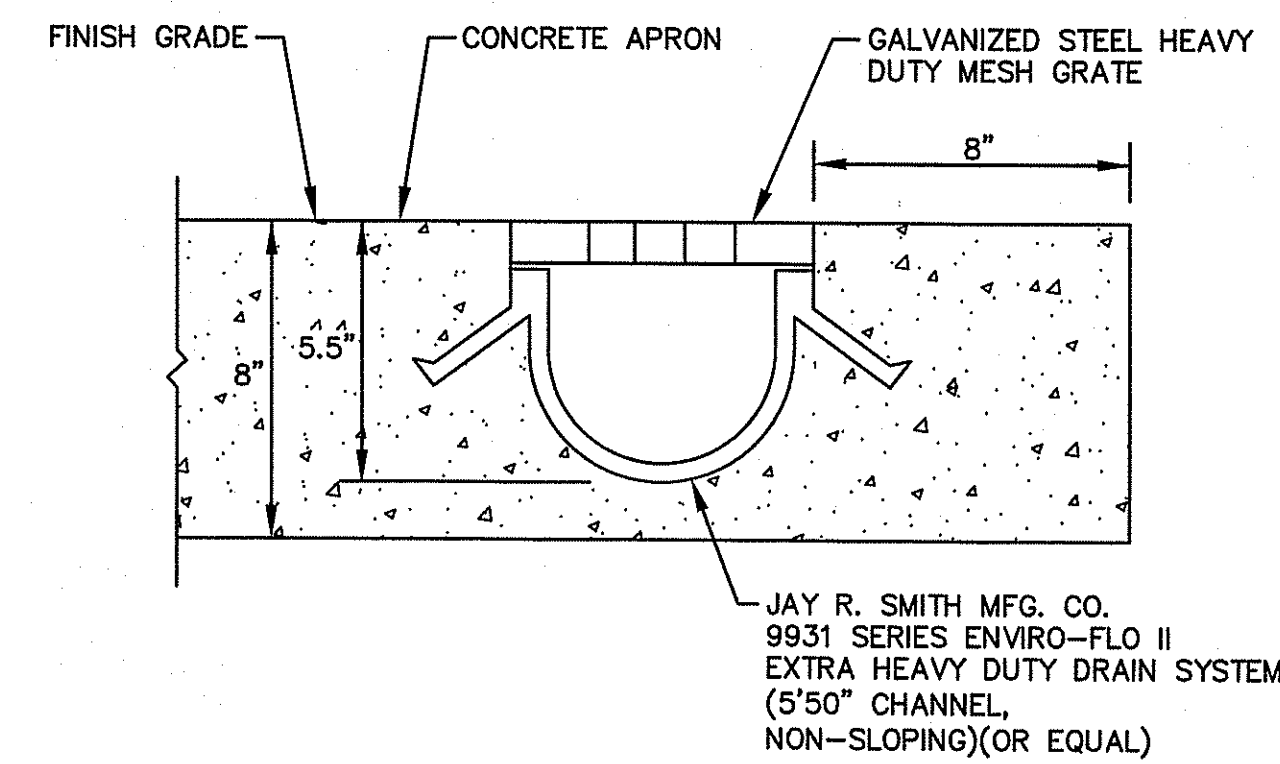
DRAIN LINE TRENCH DETAIL
NOT TO SCALE



NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 703 OF THE R.I. STANDARD SPECIFICATIONS.
2. DISTANCE DIMENSIONS ARE GIVEN TO THE OUTSIDE DIAMETER OF PIPE.
3. MINIMUM PIPE SLOPE SHALL BE 0.50 PERCENT.
4. MINIMUM PIPE COVER IS 3 FEET.

UNDERDRAIN, R.I. STD. 1.1.0 (MODIFIED)
NOT TO SCALE



NOTES:

1. PROVIDE CATCHBASIN (9935 SERIES OR EQUAL) AT DOWNSTREAM END WITH 6" OUTLET FOR DISCHARGE TO THE SEDIMENT FOREBAY. INSTALL CLOSING END CAP ON DOWNSTREAM SIDE OF CATCHBASIN.

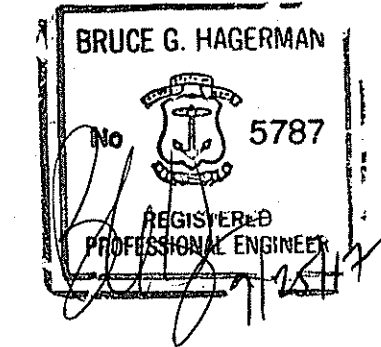
TRENCH DRAIN DETAIL
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
OCT 19 2017 FILE # 17-010
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SEP 25 2017

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PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:
MK LEASING, LLC
60 PINE LEDGE ROAD
GREENVILLE, RI 02838

DRAWING TITLE:
MISCELLANEOUS DETAILS
PLAN NO. 2

JULY 2017 SCALE: AS NOTED
DWG. NAME: 2231-C07.2-DET02.dwg

REVISIONS	NUMBER	REMARKS	DATE
1	1	RIOT & RIEM COMMENTS	9/13/17

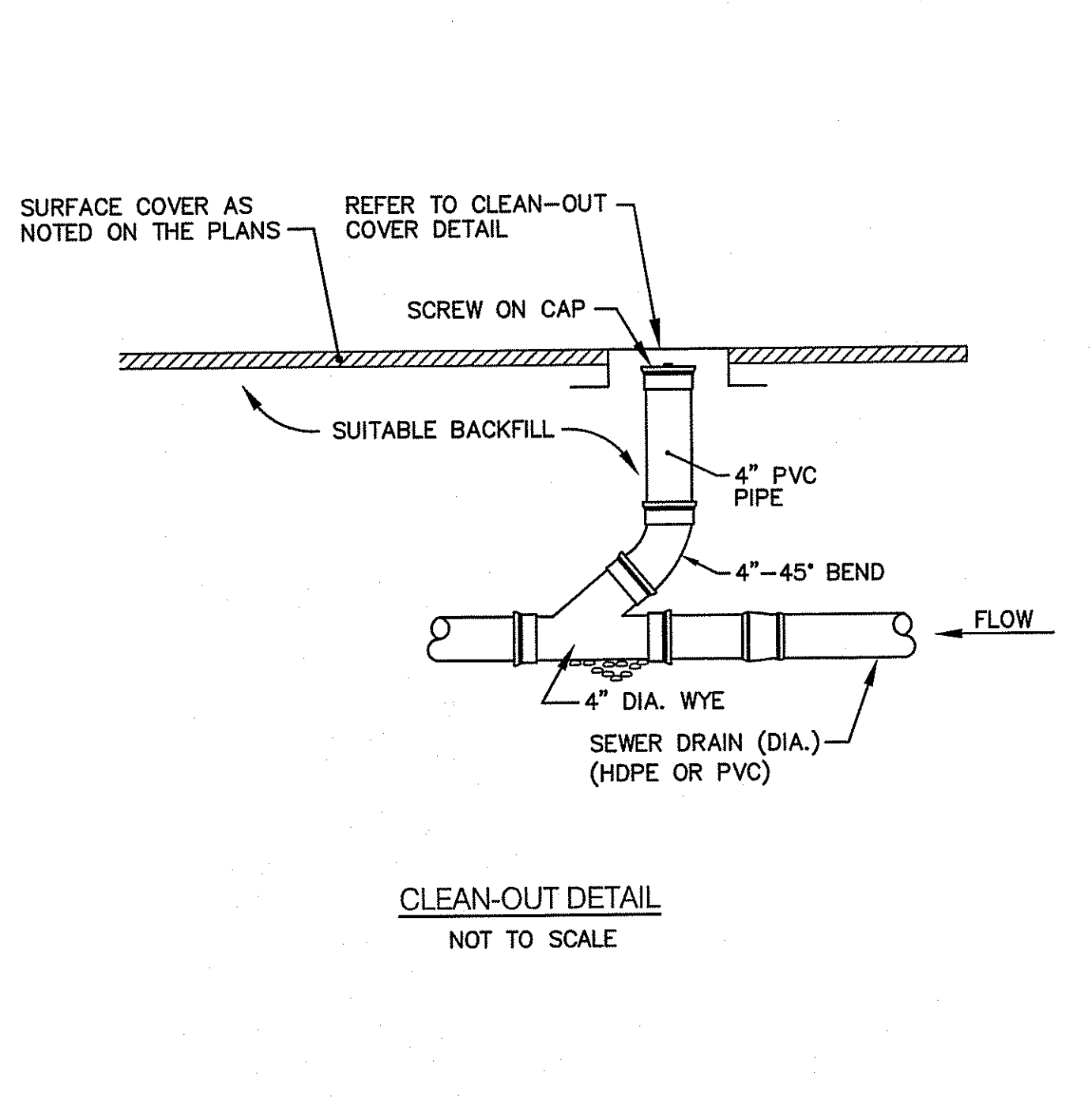
DRAWING NUMBER
C7.2
SHEET: 10 OF 13

LANDSCAPE CONSTRUCTION NOTES

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS.
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING:** WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING:** PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING:** FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- LIMING:** ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
- MULCHING:** WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
- GUARANTEE:** ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.

SEEDING NOTES

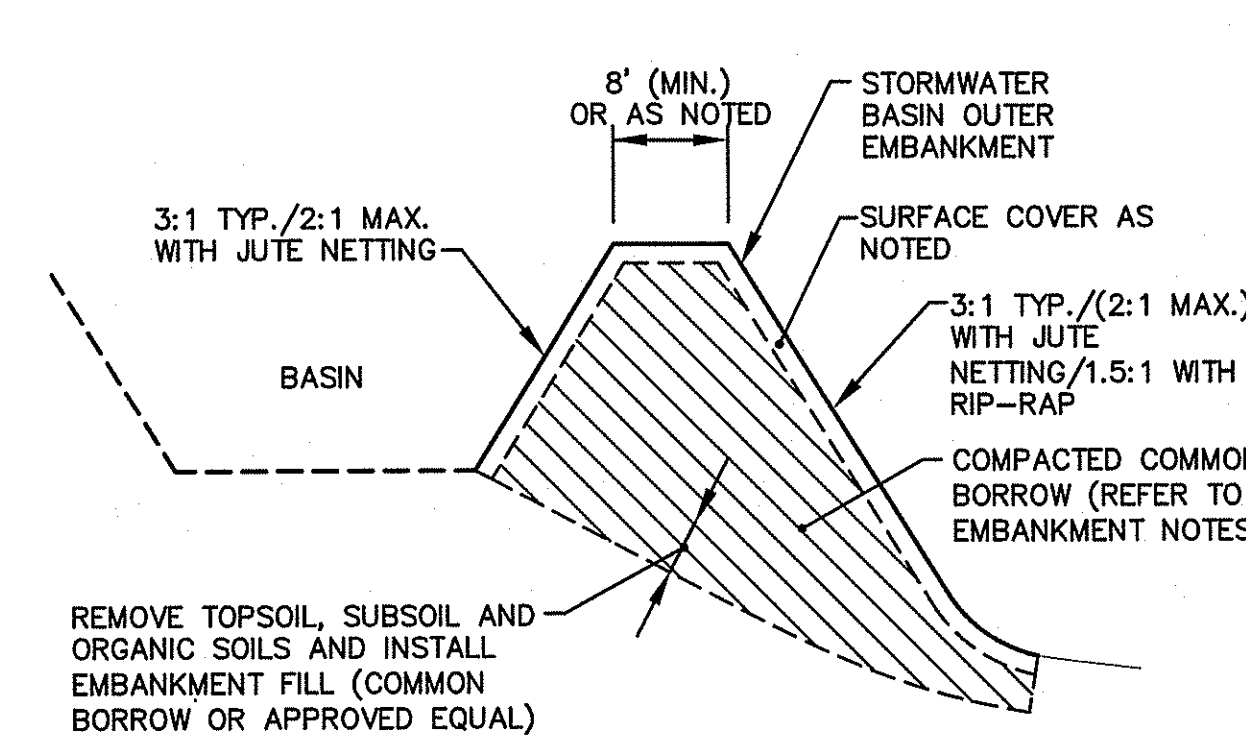
- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 4" OVER ALL AREAS DESIGNATED ON PLANS.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DIGGING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DICING OR ROTOTILLING.
- APPLICATION OF SEED:
 - RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
 - SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES:
 SPRING SEEDING: MARCH 15 TO MAY 31
 FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - THE CONTRACTOR SHALL KEEP ALL SEEDING AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
 - OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
 - REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- SEED:
 - SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS.



CLEAN-OUT DETAIL
NOT TO SCALE

STORMWATER BASIN EMBANKMENT NOTES:

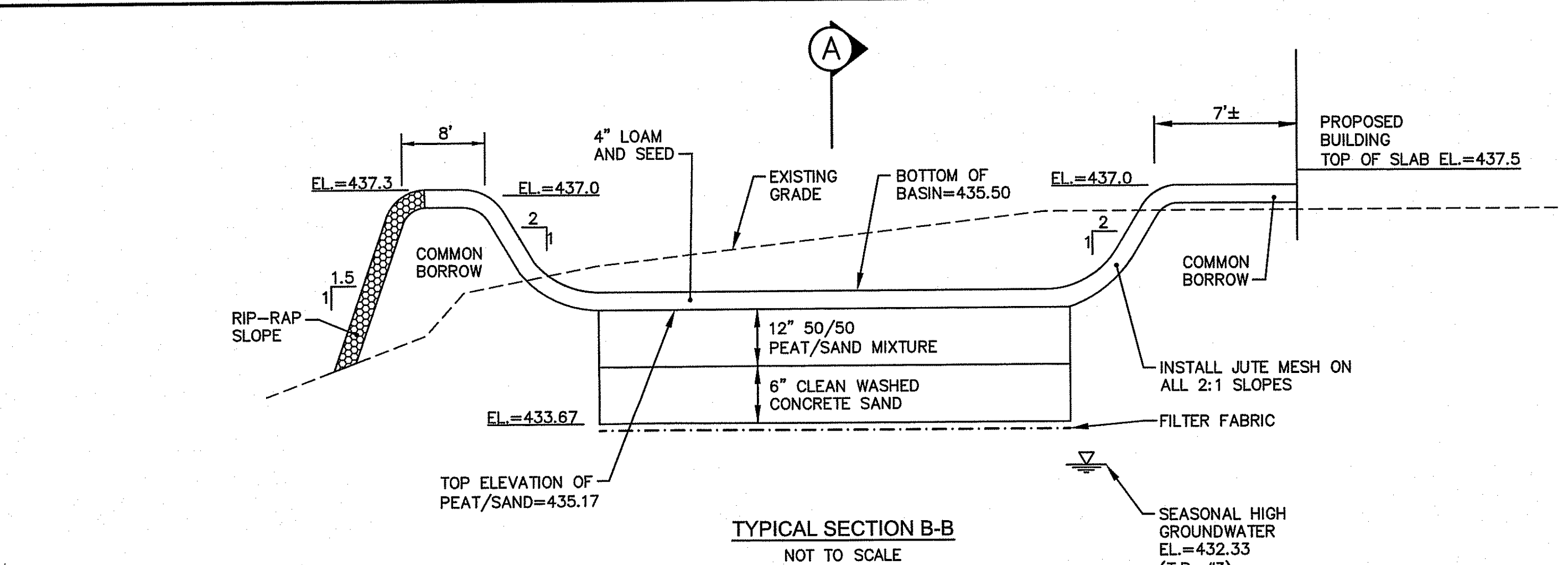
- THE ORGANIC FILTER BASIN EMBANKMENTS ARE TO BE CONSTRUCTED WITH APPROVED COMMON BORROW. NO SOIL/ROCK GRATER THAN 3" SHALL BE UTILIZED. COMMON BORROW SHALL MEET OR EXCEED AN IN-PLACE DENSITY OF 100 LB./CF. ALL MATERIAL SHALL BE PLACED IN 8 TO 12 INCH LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY. FILL MATERIAL WILL NOT CONTAIN FROZEN MATERIALS OR BE PLACED ON FROZEN SURFACES. COMMON BORROW SHALL MEET MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS.
- UPON COMPLETION OF CLEARING AND GRUBBING OPERATIONS, THE EMBANKMENT AREAS ARE TO BE EXCAVATED. IF ANY ORGANIC OR UNSUITABLE MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR REVIEW OF EXCAVATION AREA. THE DEPTH OF EXCAVATION WILL BE DETERMINED BY THE ENGINEER BASED UPON THE LOCAL CONDITIONS. NO FILL MATERIAL SHALL BE PLACED UNTIL THE FOUNDATION PREPARATION HAS BEEN COMPLETED. ALL WATER SHALL BE REMOVED FROM THE FOUNDATION PRIOR TO PLACING THE EMBANKMENT.
- THE FILL MATERIAL MUST BE SPREAD IN UNIFORM LAYERS AND FALL WITHIN THE SPECIFIED OPTIMUM WATER CONTENT RANGE IN ORDER TO ACHIEVE THE REQUIRED COMPACTION. EACH LAYER IS TO BE COMPACTED PRIOR TO LAYING AN ADDITIONAL LAYER. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER HIS SELECTED METHOD OF COMPACTION, COMPACTION EQUIPMENT AND THE SEQUENCE OF OPERATIONS NECESSARY TO OBTAIN THE REQUIRED DENSITY. THE WATER CONTENT AT COMPACTION SHALL BE IN THE RANGE BETWEEN ONE PERCENTAGE POINT BELOW AND TWO PERCENTAGE POINTS ABOVE STANDARD AASHTO OPTIMUM WATER CONTENT. THE MATERIAL SHALL BE PROCESSED TO A UNIFORM WATER CONTENT BY ADDING WATER TO THE MATERIAL IN ADVANCE OF THE FILL PLACEMENT.
- BACKFILL MATERIAL AROUND STRUCTURES AND PIPE IS TO BE PLACED TO PREVENT THE MOVEMENT OF WATER. THE OPTIMUM WATER CONTENT MUST BE MAINTAINED IN THE SAME RANGE AS IN THE EMBANKMENT. THE BACKFILL MUST BE PLACED IN LAYERS LESS THAN 4 INCHES IN THICKNESS AND DISTRIBUTED UNIFORMLY AROUND THE STRUCTURE/PIPE. ALL COMPACTION WILL BE TO 95% MAXIMUM DENSITY AND MAY REQUIRE HAND TAMPERS OR SMALL POWER EQUIPMENT.
- EMBANKMENT DAMAGE COMMONLY RESULTS FROM IMPROPER CONSTRUCTION OF CONDUIT AND STRUCTURAL BACKFILL WITHIN THE EMBANKMENT BECAUSE SEEPAGE WILL OCCUR WITH IMPROPER BACKFILL AND COMPACTION. THEREFORE, STRUCTURES AND PIPES ARE TO BE CONSTRUCTED AS THE EMBANKMENT CONSTRUCTION RISES TO THE RESPECTIVE PIPE OR STRUCTURE. THIS WILL PREVENT THE DISTURBANCE OF CONSTRUCTED EMBANKMENT MATERIAL. PIPES FROM THE OUTLET STRUCTURE TO THE OUTFALL SHALL HAVE AN ANTI-SEEP COLLAR.



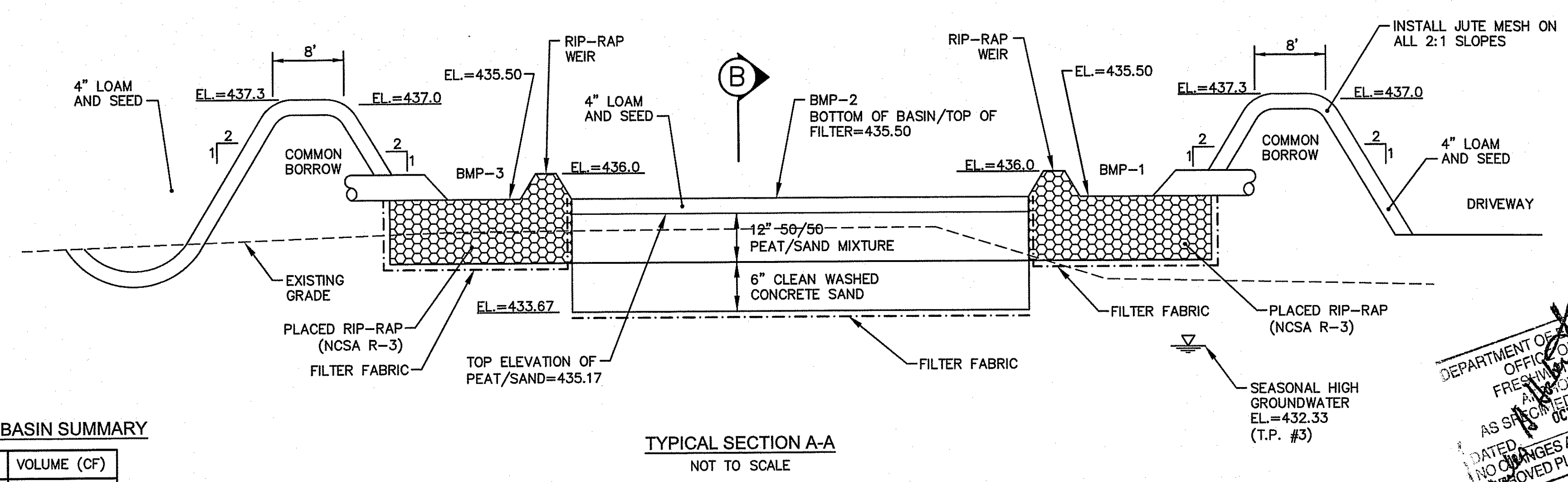
NOTES:

- USE ANTI-SEEP COLLAR AROUND ALL OUTLET PIPES.

EMBANKMENT CONSTRUCTION DETAIL - SCHEMATIC
NOT TO SCALE



TYPICAL SECTION B-B
NOT TO SCALE



TYPICAL SECTION A-A
NOT TO SCALE

BMP-1 SEDIMENT FOREBAY BASIN SUMMARY

CONTOUR	AREA (SF)	VOLUME (CF)
435.50	311	0
436	383	174

BMP-2 ORGANIC FILTER BASIN SUMMARY

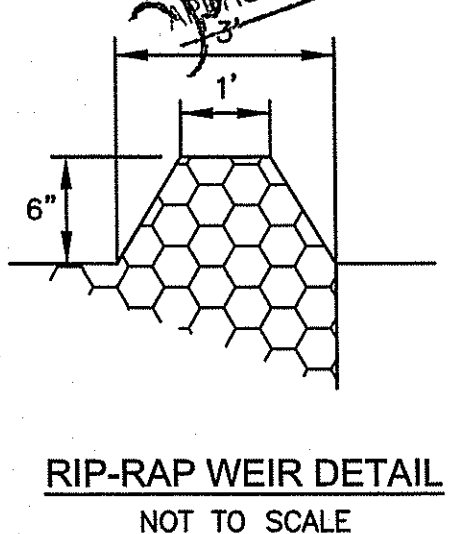
CONTOUR	AREA (SF)	VOLUME (CF)
435.50	1,919	0
437	2,541	5,867

BMP-3 SEDIMENT FOREBAY BASIN SUMMARY

CONTOUR	AREA (SF)	VOLUME (CF)
435.50	181	0
437	234	104

MINIMUM STORAGE VOLUME BELOW OUTLET ELEV.=436.00 IS 3,542 C.F. (VOLUME INCLUDES STORAGE VOLUME IN FILTER SAND BELOW)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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RIP-RAP WEIR DETAIL
NOT TO SCALE

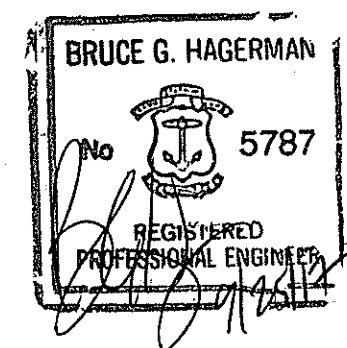
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Email: cel@grossmaneng.com

- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

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PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING
A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:
MK LEASING, LLC
60 PINE LEDGE ROAD
GREENVILLE, RI 02838

DRAWING TITLE:
**MISCELLANEOUS DETAILS
PLAN NO. 3**

JULY 2017
SCALE: AS NOTED

DWG. NAME: 2231-C07.3-DETO3.dwg

REVISIONS	NUMBER	REMARKS	DATE
1	1	ROOT & RIDEN COMMENTS	9/13/17

DRAWING NUMBER
C7.3
SHEET: 11 OF 13

GENERAL WATER NOTES:

- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CURRENT RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- ALL FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CLASS 350 CEMENT MORTAR LINED COMPACT STYLE (BY AMERICAN MANUFACTURER ONLY). FITTINGS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C153/A21.53. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C111/A21.11.
- WATER PIPE SHALL BE DOUBLE CEMENT MORTAR LINED DUCTILE IRON PIPE CLASS 52 (AMERICAN MANUFACTURER ONLY) AND SHALL MEET THE REQUIREMENTS OF HARRISVILLE FIRE DISTRICT AND ANSI/AWWA C151/A21.51.
- CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, THRUST BLOCKS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- CONCRETE THRUST, ANCHOR, OR BEARING BLOCKS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC. WHEN A THRUST BLOCK CANNOT BE PLACED AGAINST UNDISTURBED EARTH, A MECHANICAL RESTRAINED JOINT PIPE MAY BE UTILIZED.
- PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO HARRISVILLE FIRE DISTRICT REQUIREMENTS, AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS SET FORTH IN THE RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT.
- ALL GATE VALVES, FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
- WATER PIPE SHALL BE LOCATED AT A DEPTH OF COVER EQUAL TO 5'-0". A MINIMUM OF 10-FOOT HORIZONTAL OR 18-INCH VERTICAL SEPARATION SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES, OR APPURTENANCES WITHIN THE VICINITY OF SEWER FACILITIES, OR VICE VERSA. WHERE THE ABOVE SEPARATION DISTANCES CANNOT BE ACHIEVED, THE SANITARY SEWER/STORM DRAIN PIPE SHALL BE ENCASED WITHIN A DUCTILE IRON CARRIER PIPE FOR A DISTANCE EQUAL TO 10- FEET ON EITHER SIDE OF THE AREA OF CONCERN. CONCRETE ENCASEMENT IS NOT ALLOWED. UTILITY SEPARATION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE HARRISVILLE FIRE DISTRICT AND ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- WATER LINE TRENCH TO BE AWWA TYPE 5. COMPACTION MUST BE ACCOMPLISHED IN 6" LIFTS. A METALIZED DETECTABLE IDENTIFICATION TAPE 2.5" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1'-0" BELOW FINISHED GRADE.
- GATE VALVES TO BE AMERICAN DARLING RESILIENT VALVE SEAT MODEL CRS-80 OR AN APPROVED EQUAL.
- CURB BOXES TO BE ERIC STYLE OR AN APPROVED EQUAL.
- FIRE HYDRANTS TO BE AMERICAN DARLING B-84-B OR AN APPROVED EQUAL.
- DOMESTIC WATER SERVICE PIPE SHALL BE H.D.P.E. CONFORMING TO ASTM D1248, TYPE III, GRADE P34, CLASS A, CATEGORY 5, COLOR BLUE WITH NATURAL CLEAR CENTER. AWWA C901, 200PSI (CTS.). THE SERVICE PIPE SHALL BE INSTALLED IN ONE CONTINUOUS LENGTH FROM THE MAIN TO THE BUILDING.
- THE FINAL LOCATIONS FOR ALL INTERIOR PIPING, BACK FLOW PREVENTORS AND VALVES SHALL BE VERIFIED WITH THE PLUMBING AND FIRE SPRINKLER SYSTEM SUB-CONTRACTORS.
- THE MANUFACTURER AND MODEL OF BACK FLOW PREVENTORS ARE TO BE VERIFIED BY THE APPROPRIATE PLUMBING AND FIRE SPRINKLER SUB-CONTRACTORS; AND MUST BE APPROVED FOR USE BY THE HARRISVILLE FIRE DISTRICT PRIOR TO ORDERING.
- AS-BUILT DRAWINGS MUST BE FURNISHED BY THE CONTRACTOR TO, AND APPROVED BY, HARRISVILLE FIRE DISTRICT PRIOR TO WATER SERVICE ACTIVATION.
- THE CONTRACTOR MUST INSTALL TEMPORARY BLOW-OFFS AT ALL DEAD-ENDS INSIDE THE PROPOSED BUILDING. THE BLOW-OFFS ARE TO BE USED FOR FLUSHING AND SAMPLES. THE CONTRACTOR MUST FLUSH THE FIRE LINE TO EACH BUILDING USING A 4-INCH TEMPORARY FLUSHING CONNECTION.
- ALL VALVES MUST OPEN RIGHT.
- WATER UTILIZED FOR DISINFECTATION, PRESSURE TESTING AND FLUSHING WHICH IS OBTAINED DIRECTLY FROM THE HARRISVILLE FIRE DISTRICT SYSTEM, MUST FLOW THROUGH AN ISOLATED CONNECTION TO THE HARRISVILLE FIRE DISTRICT SYSTEM VIA AN APPROVED METER, TESTABLE BACK FLOW PREVENTION DEVICE AND JUMPER LINE.
- THE CONTRACTOR SHALL FURNISH AND INSTALL SUITABLE TEMPORARY TESTING PLUGS, CAPS, PUMPS, PIPE CONNECTIONS, AND OTHER APPURTENANCES, AS NECESSARY, TO OBTAIN SAMPLES AT POINTS NO FURTHER THAN 1,000 FEET APART.
- ANY CONFLICTS ENCOUNTERED DURING CONSTRUCTION MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING WORK.

WATER SERVICE NOTE:

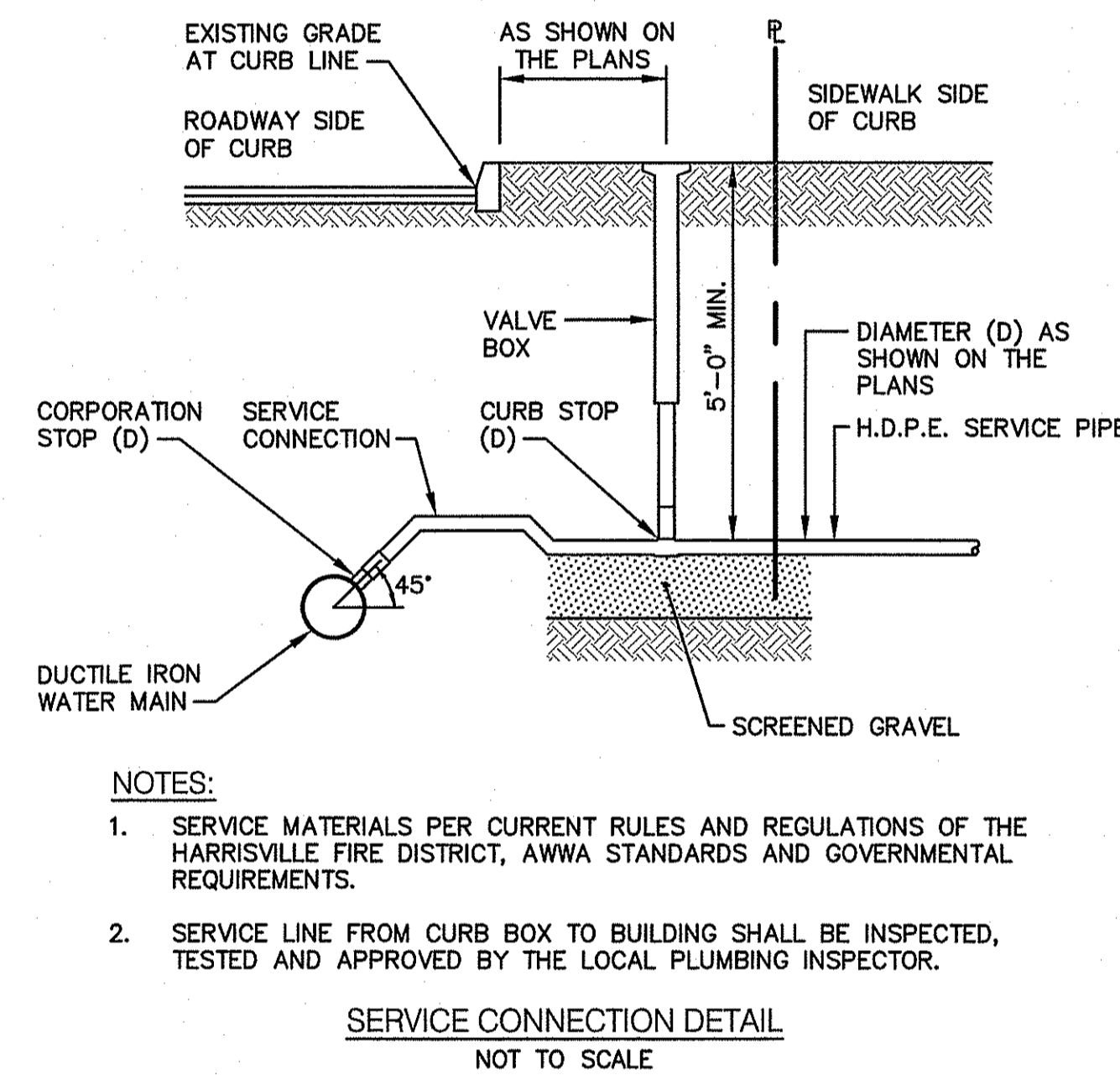
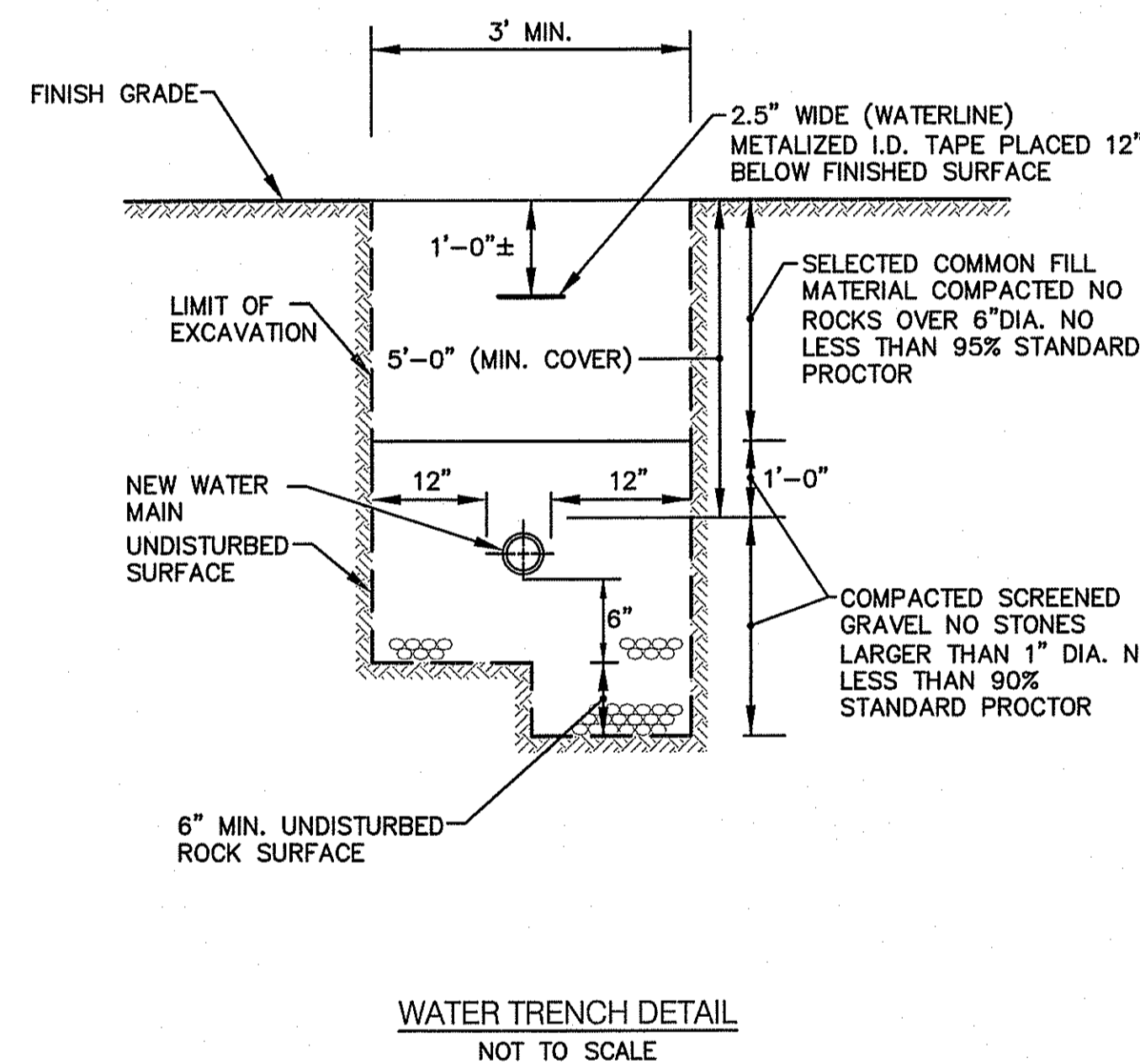
ANY CONFLICT WITH THE PROPOSED WATER SYSTEM MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO ANY CONSTRUCTION.

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

CONSTRUCTION NOTES

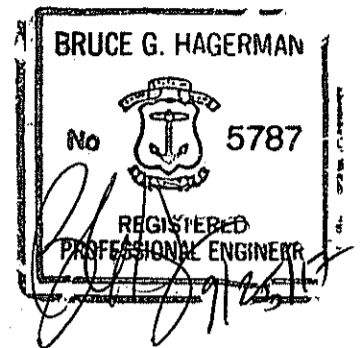
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO ANY SITE EXCAVATION. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE HARRISVILLE FIRE DISTRICT PRIOR TO BACKFILLING ANY PIPING, VALVES, TEES, ETC. FOR INSPECTION AND APPROVAL. FAILURE TO NOTIFY THE HARRISVILLE FIRE DISTRICT MAY RESULT IN THE WORK BEING EXCAVATED FOR INSPECTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL UTILITY INSTALLATION. AS-BUILT INFORMATION INCLUDES MATERIAL LIST, PIPE DEPTH NOTATIONS AND SWING TIE LOCATIONS (2 MINIMUM) NEW PIPE TO BUILDING CORNERS. ALL PIPE BEND/ELBOW LOCATIONS SHALL BE DIMENSIONED.



- NOTES:**
- SERVICE MATERIALS PER CURRENT RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
 - SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

CROSSMAN ENGINEERING
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PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING

A.P. 213, LOTS 3 AND 13
730 BRONCO HIGHWAY
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

MK LEASING, LLC

60 PINE LEDGE ROAD
GREENVILLE, RI 02838

DRAWING TITLE:
MISCELLANEOUS DETAILS
PLAN NO. 4

JULY 2017
SCALE: AS NOTED
DWG. NAME: 2231-C07.4-DET04.dwg

REVISIONS	NUMBER	REMARKS	DATE
Δ	1	RIDDY & RIDEW COMMENTS	9/13/17

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
APPROVED IN THE LETTER OF APPROVAL
OCT 19 2017 FILE # W-17-010
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DRAWING NUMBER
C7.4
SHEET: 12 OF 13

