

LEGEND:

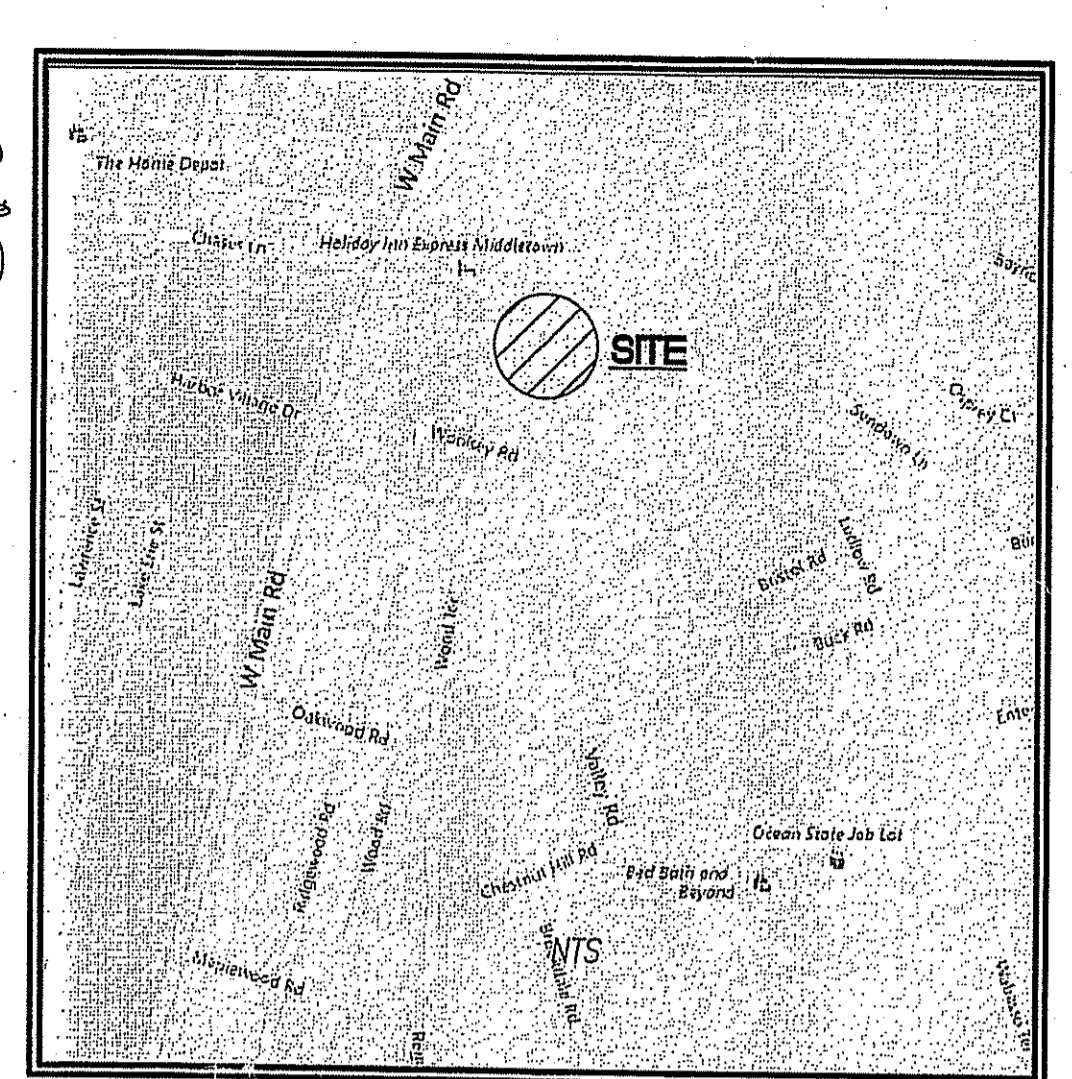
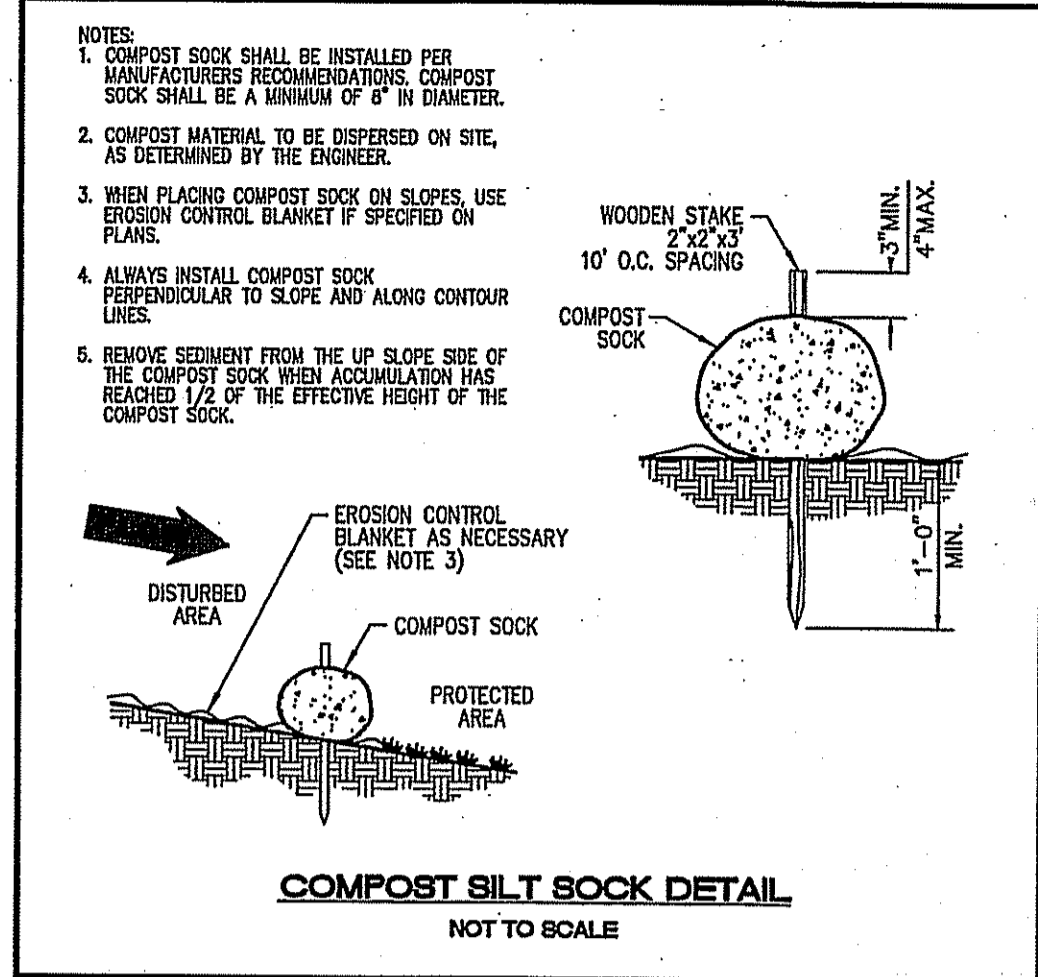
---	SUBJECT PROPERTY LINE
---	EXISTING EASEMENT
---	ABUTTING LOT LINE
---	PLAT 107NE, LOT 451
---	ASSESSOR'S PLAT / LOT
---	EXISTING EDGE OF PAVEMENT
---	EXISTING ZONING BOUNDARY
---	EXISTING STREAM
---	EXISTING FLOOD ZONE BOUNDARY
---	EXISTING CATCH BASIN
---	EXISTING MANHOLE
---	EXISTING EDGE OF VEGETATION
---	EXISTING DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING ELECTRIC LINE
---	EXISTING CONTOUR
---	R&D
---	REMOVE & DISPOSE

FLOOD ZONE NOTES:
 THE FLOOD ZONE DATA SHOWN FROM THE FLOOD INSURANCE RATE MAP (FIRM):
 4400SC0093J - LAST REVISED 9-4-2013
 THE REFERENCED FIRM WAS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR MIDDLETOWN RI:
 THE SITE LIMITS ARE LOCATED WITHIN 2 FLOOD ZONES:
 ZONE AE (EASTERN END OF SITE): IDENTIFIED AS A ZONE WITHIN THE 100 YEAR FLOOD PLAIN - THIS AREA MUST BE KEPT FREE FROM ENCROACHMENT SO THAT THE 1% (100 YR) FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS.
 ZONE X (OTHER FLOOD AREAS): IDENTIFIED AS AREAS DETERMINED TO BE WITHIN THE 0.2% (500 YR) ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1'.
 FOR CLARIFICATION:
 ZONE X (OTHER AREAS): IDENTIFIED AS AREAS OUTSIDE OF THE 0.2% CHANCE FLOODPLAIN.

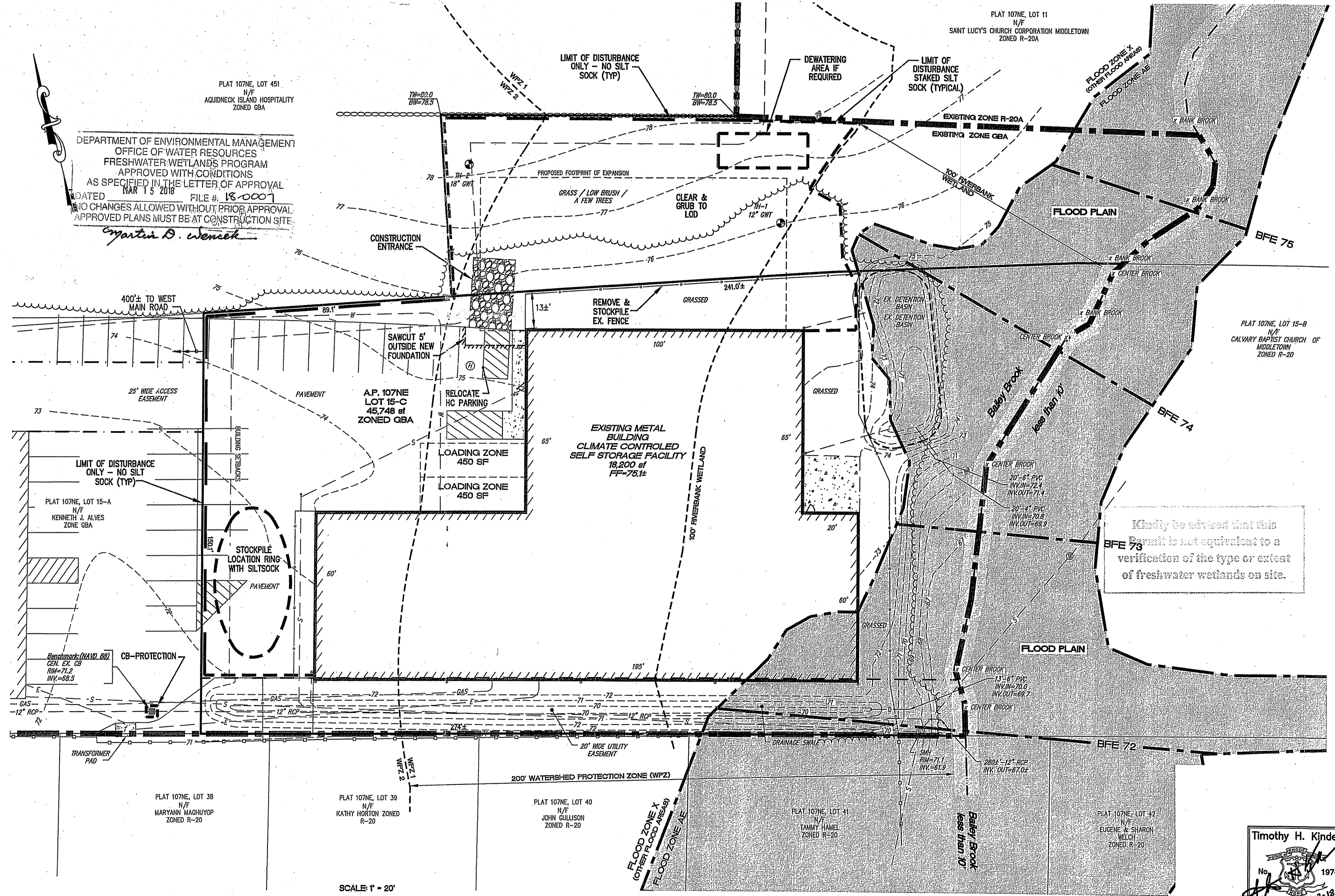
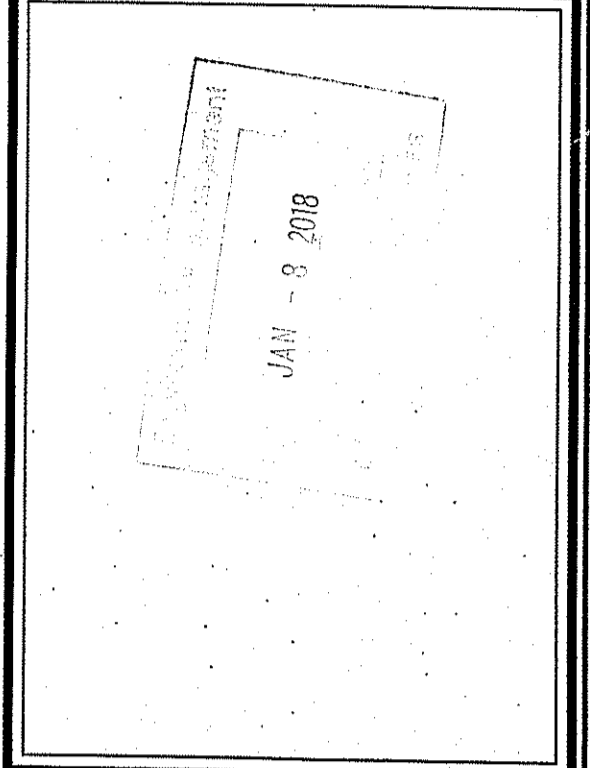
NOTES:
 1. THE MAJORITY OF THE SITE LIES WITHIN ZONE 1 OF THE WATERSHED PROTECTION OVERLAY DISTRICT.
 2. THE FLOOD PLAIN BFE ELEVATIONS RANGE BETWEEN 72 AND 75 ALONG THIS STRETCH OF THE BAILEY BROOK.
 3. EXISTING LOT COVERAGE APPROVED UNDER ZONING VARIANCE, SEE DECISION IN LAND EVIDENCE BOOK 1322, PAGE 300.

REFERENCES:
 1. PROPERTY LINES ARE APPROXIMATE, TAKEN FROM TOWN OF MIDDLETOWN ASSESSOR'S PLAT AS WELL AS THE DEED AND MONUMENTATION FOUND IN THE FIELD IT SHOULD BE CONSIDERED APPROXIMATE.
 2. EXISTING CONDITIONS SURVEYS WERE CONDUCTED BY MILLSTONE ENGINEERING, P.C. AND SUPPLEMENTED BY THE FOLLOWING:
 RIDGE FILES:
 98-0122 - WETLAND VERIFICATION (CURRENTLY THE HOLIDAY INN EXPRESS / CHILIES DEVELOPMENT)
 12-0215 - WEST MAIN SELF STORAGE PRELIMINARY DETERMINATION PERMIT (SUBJECT SITE)

OWNER/APPLICANT:
 825 WEST MAIN LLC
 c/o KENNETH ALVES
 PO BOX 4360
 MIDDLETOWN, RI 02842



NO.	DATE	REVISION

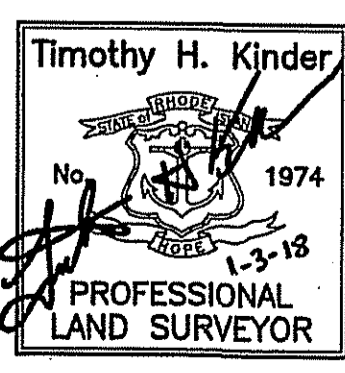


ZONING TABLE - OTHER PERMITTED USES:
 A.P. 107NE, LOT 15-C

GBA BUSINESS DISTRICT (CODE: SEC. 603)	REQUIRED	EXISTING
MINIMUM LOT SIZE (CODE: SEC. 603, TABLE 6-2)	12,000 SF.	45,748 SF
DEVELOPABLE LAND AREA *		32,819 SF (DLA) *
LOT WIDTH / FRONTAGE (CODE: SEC. 603 TABLE 6-2)	100 ft.	N/A
(CODE: SEC. 720B, TRAFFIC SENSITIVE DISTRICT)	300 ft.	
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED BY PRINCIPAL & ACCESSORY BUILDINGS (CODE: SEC. 603 TABLE 6-2)	35 % max.	56 % *
MAXIMUM BUILDING HEIGHT (CODE: SEC. 603 TABLE 6-2)	PRINCIPAL 40 ft. ACCESSORY 20 ft.	PRINCIPAL 24 ft. ACCESSORY N/A
MINIMUM YARD DIMENSIONS	PRINCIPAL ACCESSORY	PRINCIPAL ACCESSORY
FRONT YARD (CODE: SEC. 603 TABLE 6-2)	10 ft. -	N/A -
SIDE YARD (CODE: SEC. 603 TABLE 6-2)	10 ft. 20 ft.	13 ft. -
REAR YARD (CODE: SEC. 603 TABLE 6-2)	20 ft. 5 ft.	N/A -
PARKING AND LOADING		
OFF STREET PARKING (CODE: SEC. 1304) COMMERCIAL / UN-SPEC. BUS. 4 / 1,000 SF GFA (12,222 SF BLD)	2 SPACES	11 SPACES
LOADING (CODE: SEC. 1307-B) 1 PLUS 1 / 20,000 GFA (18,200 SF BLD)	1 SPACES	1 SPACES
PARKING SETBACK TO RESIDENTIAL DISTRICT (CODE: SEC. 1301 B)	20 ft.	20 ft.
LANDSCAPE ELEMENT (CODE: SEC. 521.3) *	25 % *	37 % *

*** TABLE NOTES:**
 1. IN CALCULATING ZONING CRITERIA, THE PROJECT'S DEVELOPABLE LAND AREA HAS BEEN USED AS DEFINED IN THE MIDDLETOWN ZONING REGULATIONS. PER THE DEFINITION, ALL AREAS WITHIN THE 100 YR FLOOD PLAIN (I.e. AE FLOOD ZONE) HAVE BEEN REMOVED FROM THE CALCULATIONS.
 LOT AREA: 45,748 sf
 AREA OUTSIDE AE FLOOD ZONE: 32,819 sf (PER LATEST 100-FLOOD PLAIN LINE)
 DEVELOPABLE LAND AREA: 32,819
 TOTAL BUILDING AREA: 18,200
 LOT COVERAGE CALCULATION: 18,200 sf / 32,819 sf = 56%
 2. IN CALCULATING LANDSCAPE PERCENTAGE THE MIN. IS 25% OF PROJECT AREA (PROJECT AREA IS NOT DEFINED - ASSUMED OVERALL LOT AREA)
 IMPERVIOUS LOT COVERAGE:
 LOT AREA: 45,748 sf
 TOTAL IMPERVIOUS AREA: 28,877 sf
 IMPERVIOUS LOT COVERAGE CALCULATION: 28,877 sf / 45,748 sf = 63.0%

CERTIFICATION:
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
 TYPE OF SURVEY:
 COMPILATION PLAN IV
 DATA ACCUMULATION SURVEY III
 PURPOSE OF THE SURVEY:
 TO PROVIDE ESTIMATED PROPERTY LINE AND EXISTING CONDITIONS SURVEY PLAN IN ORDER TO PERMIT DESIGN IMPROVEMENTS PROPOSED FOR THE BUSINESS.
 BY: *[Signature]*
 PROFESSIONAL LAND SURVEYOR LIC.# 1974 COA.# A-534
 DATE: 1-3-2018

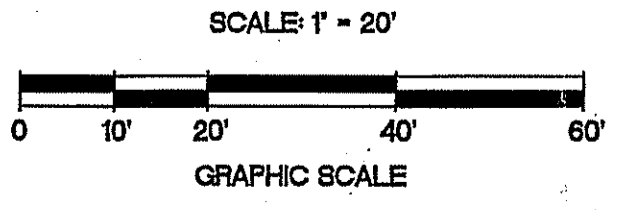


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 CIVIL ENGINEERING • LAND PLANNING
 790 Aquidneck Avenue, Building B
 Middletown, Rhode Island 02842
 www.MillstoneEng.com
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 F. (401) 921-3343

EXISTING CONDITIONS / SITE PREPARATION PLAN
WEST MAIN SELF-STORAGE EXPANSION
 A.P. 107NE, LOT 15-C
 825 WEST MAIN ROAD
 MIDDLETOWN, RI
 PREPARED FOR:
 825 WEST MAIN LLC
 SCALE: 1"=20'
 DECEMBER 2017

Drawn By: MJV
 Checked By: JCH
 Sheet
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 of 4
 FILE NO.: 16.102.375

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LEGEND:		LEGEND cont:	
	SUBJECT PROPERTY LINE		PROPOSED LOT LINE
	EXISTING EASEMENT		PROPOSED FENCE
	ABUTTING LOT LINE		PROPOSED YARD MAHOLE
	ASSESSOR'S PLAT / LOT		
	EXISTING EDGE OF PAVEMENT		
	EXISTING ZONING BOUNDARY		
	EXISTING STREAM		
	EXISTING FLOOD ZONE BOUNDARY		
	EXISTING CATCH BASIN		
	EXISTING MANHOLE		
	EXISTING EDGE OF VEGETATION		
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	EXISTING SEWER LINE		
	EXISTING GAS LINE		
	EXISTING WATER LINE		
	EXISTING ELECTRIC LINE		
	EXISTING CONTOUR		
	R&D		
	REMOVE & DISPOSE		

NOTES:

1. THE MAJORITY OF THE SITE LIES WITHIN ZONE 1 OF THE WATERSHED PROTECTION OVERLAY DISTRICT.
2. EXISTING LOT COVERAGE APPROVED UNDER ZONING VARIANCE, SEE DECISION IN LAND EVIDENCE BOOK 1322, PAGE 300.
3. ALL UTILITIES FOR ADDITION SHALL BE FED INTERNALLY, NO NEW UTILITY CONNECTIONS PROPOSED.

REFERENCES:

1. PROPERTY LINES ARE APPROXIMATE, TAKEN FROM TOWN OF MIDDLETOWN ASSESSORS PLAT AS WELL AS THE DEED AND MONUMENTATION FOUND IN THE FIELD IT SHOULD BE CONSIDERED APPROXIMATE.
2. EXISTING CONDITIONS SURVEYS WERE CONDUCTED BY MILLSTONE ENGINEERING, P.C. AND SUPPLEMENTED BY THE FOLLOWING:
98-0122 - HOLIDAY INN EXPRESS WETLAND VERIFICATION
12-0215 - WEST MAIN SELF STORAGE PRELIMINARY DETERMINATION PERMIT (SUBJECT SITE)

*** TABLE NOTES:**

1. IN CALCULATING ZONING CRITERIA, THE PROJECT'S DEVELOPABLE LAND AREA HAS BEEN USED AS DEFINED IN THE MIDDLETOWN ZONING REGULATIONS. PER THE DEFINITION, ALL AREAS WITHIN THE 100 YR FLOOD PLAIN (ie AE FLOOD ZONE) HAVE BEEN REMOVED FROM THE CALCULATIONS.
LOT AREA: 45,748 sf
AREA OUTSIDE AE FLOOD ZONE: 32,819 sf (PER LATEST 100-FLOOD PLAIN LINE)
DEVELOPABLE LAND AREA: 32,819
TOTAL BUILDING AREA: 18,200
LOT COVERAGE CALCULATION: 18,200 sf / 32,819 sf = 56%

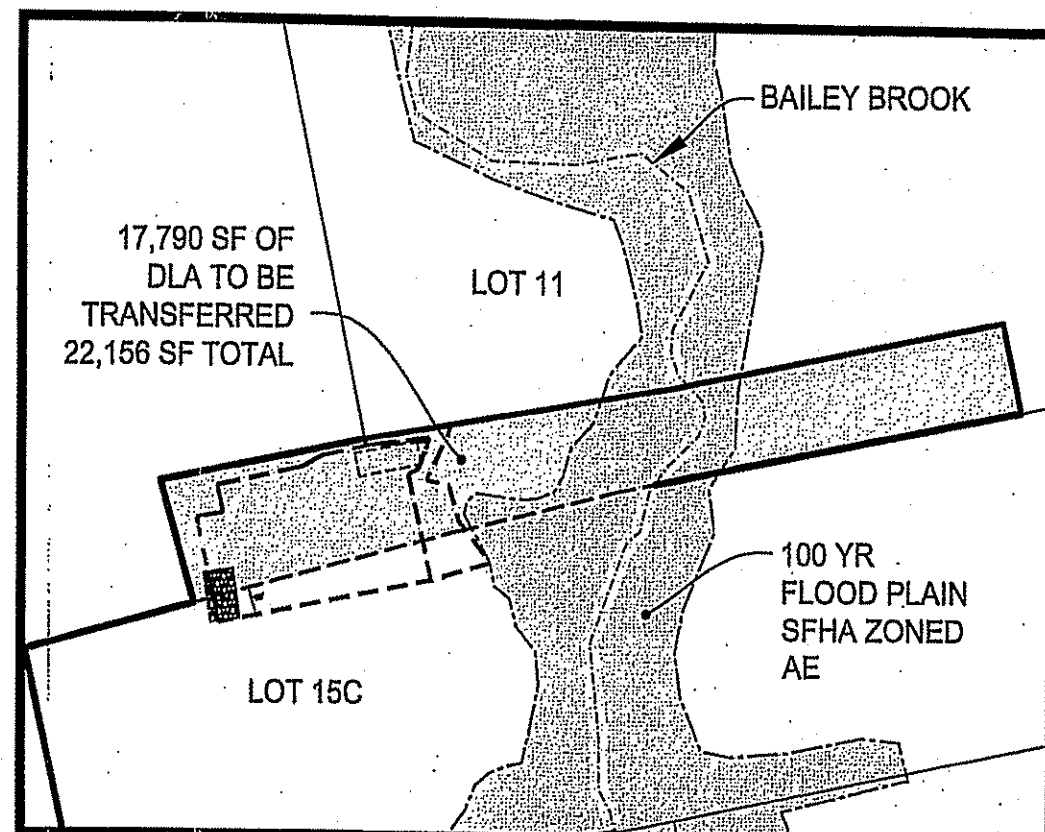
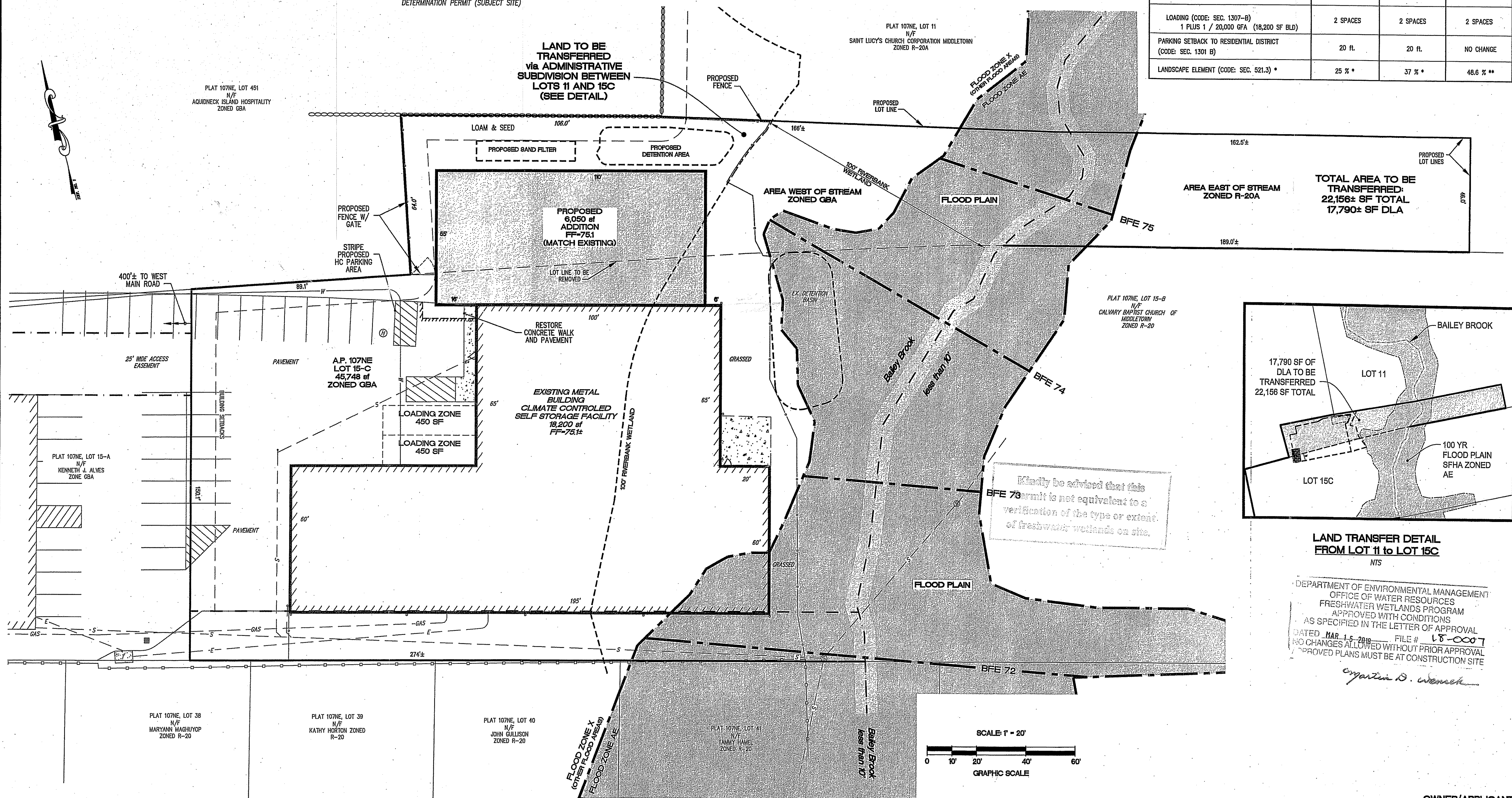
**** ADDITIONAL TABLE NOTES:**

1. IN CALCULATING ZONING CRITERIA, THE PROJECT'S DEVELOPABLE LAND AREA HAS BEEN USED AS DEFINED IN THE MIDDLETOWN ZONING REGULATIONS. PER THE DEFINITION, ALL AREAS WITHIN THE 100 YR FLOOD PLAIN (ie AE FLOOD ZONE) HAVE BEEN REMOVED FROM THE CALCULATIONS.
LOT AREA: 67,904 sf
AREA OUTSIDE AE FLOOD ZONE: 50,609 sf
DEVELOPABLE LAND AREA: 50,609 sf
TOTAL BUILDING AREA: 24,250 sf
LOT COVERAGE CALCULATION: 24,250 sf / 50,609 sf = 47.9%

ZONING TABLE - OTHER PERMITTED USES:
A.P. 107NE, LOT 15-C

GBA BUSINESS DISTRICT (CODE: SEC. 603)	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (CODE: SEC. 603, TABLE 6-2)	12,000 SF	45,748 SF	67,904 SF
DEVELOPABLE LAND AREA *		32,819 SF (DLA) *	50,609 SF (DLA) **
LOT WIDTH / FRONTAGE (CODE: SEC. 603 TABLE 6-2)	100 ft.	N/A	N/A
(CODE: SEC. 720B, TRAFFIC SENSITIVE DISTRICT)	300 ft.		
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED PRINCIPAL & ACCESSORY BUILDINGS (CODE: SEC. 603 TABLE 6-2)	35 % max.	56 % *	47.9 % **
MAXIMUM BUILDING HEIGHT (CODE: SEC. 603 TABLE 6-2)	PRINCIPAL 40 ft. ACCESSORY 20 ft.	PRINCIPAL < 40 ft. ACCESSORY N/A	PRINCIPAL < 40 ft. ACCESSORY N/A
MINIMUM YARD DIMENSIONS:	PRINCIPAL ACCESSORY	PRINCIPAL ACCESSORY	PRINCIPAL ACCESSORY
FRONT YARD (CODE: SEC. 603 TABLE 6-2)	10 ft. -	N/A -	N/A -
SIDE YARD (CODE: SEC. 603 TABLE 6-2)	10 ft. 20 ft.	13 ft. -	10 ft. -
REAR YARD (CODE: SEC. 603 TABLE 6-2)	20 ft. 5 ft.	N/A -	N/A -
PARKING AND LOADING			
OFF STREET PARKING (CODE: SEC. 1304) COMMERCIAL / UN-SPEC. BUS.	2 SPACES	11 SPACES	10 SPACES
LOADING (CODE: SEC. 1307-B) 1 PLUS 1 / 20,000 GFA (18,200 SF BLD)	2 SPACES	2 SPACES	2 SPACES
PARKING SETBACK TO RESIDENTIAL DISTRICT (CODE: SEC. 1301 B)	20 ft.	20 ft.	NO CHANGE
LANDSCAPE ELEMENT (CODE: SEC. 521.3) *	25 % *	37 % *	48.6 % **

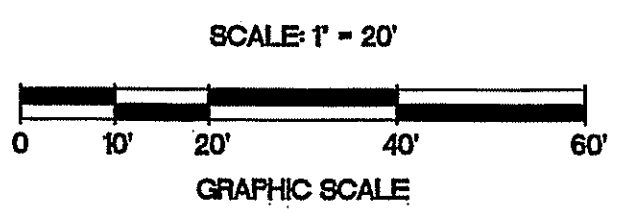
LAND TO BE TRANSFERRED via ADMINISTRATIVE SUBDIVISION BETWEEN LOTS 11 AND 15C (SEE DETAIL)



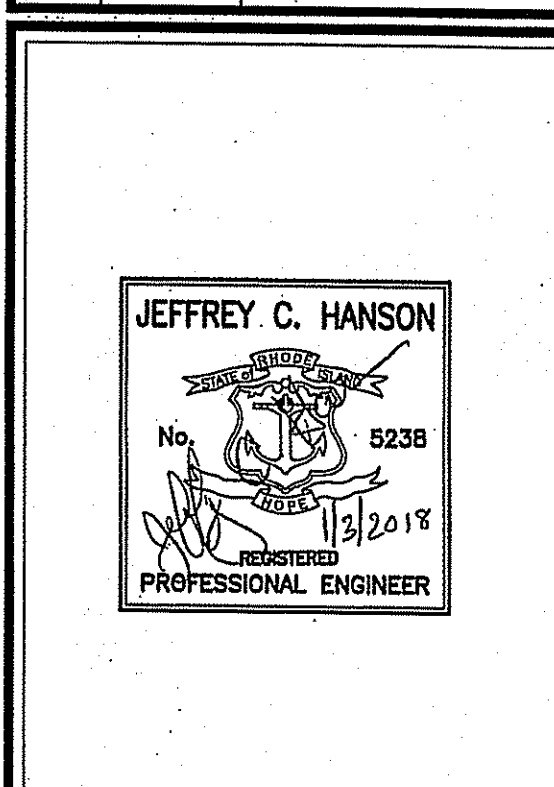
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 15 2010 FILE # 18-0007
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Jonathan D. Wronski

Kindly be advised that this BFE 75 permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



NO.	DATE	REVISION



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SITE LAYOUT and UTILITY PLAN

WEST MAIN SELF-STORAGE EXPANSION

A.P. 107NE, LOT 15-C
825 WEST MAIN ROAD
MIDDLETOWN, RI

PREPARED FOR:
825 WEST MAIN LLC

SCALE: 1"=20'
DECEMBER 2017

Drawn By: MJV
Checked By: JCH
Sheet
2
of 4
OWNER/APPLICANT:
825 WEST MAIN LLC
c/o KENNETH ALVES
PO BOX 4360
MIDDLETOWN, RI 02842
FILE NO.: 16.102.375

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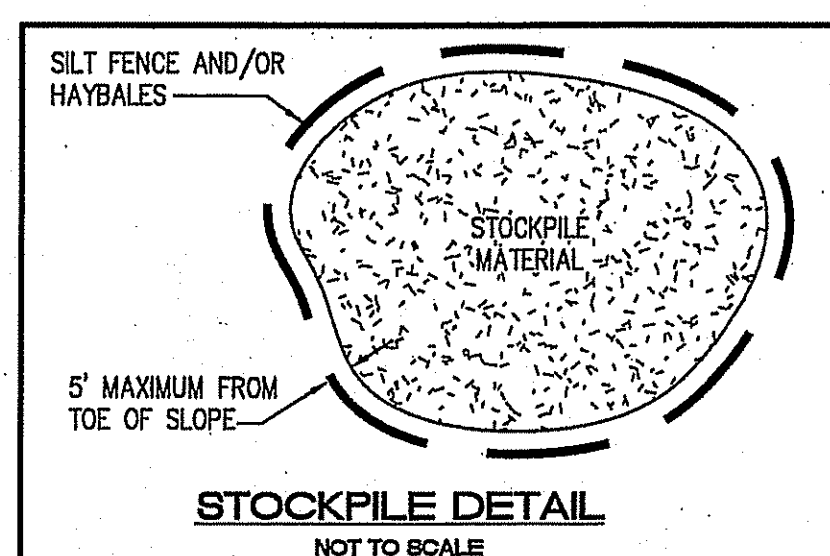
GENERAL NOTES:

- THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS, ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS F ATTACHED HERETO. THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION, IN ADDITION, THE TOWN OF MIDDLETOWN STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS F ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTICE IS GIVEN TO THE TOWN. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, FEDERAL GOVERNMENT AND TOWN OF MIDDLETOWN PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS, WETLAND, OR ADJACENT TO DRAINAGE STRUCTURES.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETE SET OF AS-BUILT DRAWINGS OF ALL INFRASTRUCTURE. AS-BUILT DRAWINGS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL LAND SURVEYOR.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THEREAFTER EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.

EROSION CONTROL and SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR MORE THAN 14 DAYS WITHOUT VEGETATIVE PRACTICES BEING INITIATED UNLESS ACTIVITY RESUMES WITHIN 21 DAYS.
 - ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
 - TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
 - HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
 - ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
 - THE TOPSOIL SHALL BE A MINIMUM OF 4" THICK AND HAVE A LOAMY SAND TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
 - THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
 - THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:
- | TYPE | % BY WEIGHT |
|---------------------|-------------|
| CREeping RED FESCUE | 70 |
| ASTORNA BENTGRASS | 5 |
| BIRDFOOT TREFOIL | 15 |
| PERENNIAL RYEGRASS | 10 |
- APPLICATION RATE 100 LBS/ACRE
- LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
 - THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
 - STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FOURTEEN (14) DAYS OF FINAL GRADING.
 - STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEED AND/OR STABILIZED AND COMPLETELY ENCLOSED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)

- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
 - THE DESIGN SEED MIX FOR ALL PERMANENT STORMWATER BASINS SHALL BE COMPRISED OF THE FOLLOWING AND PLANTED IN A MINIMUM OF A 6" DEPTH OF LOAMY SAND FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS:
- | TYPE | % BY WEIGHT |
|---------------------|-------------|
| CREeping RED FESCUE | 70 |
| KENTUCKY BLUEGRASS | 15 |
| TALL FESCUE | 15 |
- APPLICATION RATE 100 LBS/ACRE
- LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.



SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER SIX SHALL BE SEED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES AND STORMWATER FACILITIES SHALL BE INSPECTED EVERY 7 DAYS AND MAINTAINED PROMPTLY AFTER EACH RAINFALL EVENT LARGER THAN .25".
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL HAYBALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

CONSTRUCTION MAINTENANCE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL ELEMENTS OF THE STORMWATER INFRASTRUCTURE PRIOR TO AND UPON COMPLETION OF CONSTRUCTION OF THE PROJECT DRAINAGE SYSTEM.

- ALL STORM STRUCTURES AND DRAIN PIPES THAT COULD BE REASONABLY AFFECTED BY THE PROJECT SHALL BE CLEANED OF SEDIMENT. STORMWATER SHALES SHALL BE CLEANED OF SEDIMENT TO THE DESIGN GRADES INDICATED ON THE CONSTRUCTION DRAWINGS.
- INSPECTION OF THE BASINS AND ALL INLET AND OUTLET STRUCTURES SHALL BE PERFORMED ON A WEEKLY BASIS, PREFERABLY DURING A STORM EVENT TO INSPECT FOR PROPER FUNCTIONING OF THE FACILITY.
- GRASSES MUST BE PLANTED AROUND AND WITHIN THE STORMWATER BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION.
- SEDIMENTS SHALL BE REMOVED FROM DRAINAGE STRUCTURES AND THE STORMWATER BASINS IMMEDIATELY FOLLOWING SITE STABILIZATION AND DURING THE FIRST (INITIAL) YEAR OF OPERATION.
- ALL COSTS INCURRED FOR MAINTENANCE, CLEANING, AND INSPECTION ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE PROPERTY OWNER UPON COMPLETION.
- ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RIDEM.
- ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY INCLUDING INLET AND OUTLET STRUCTURES DAILY.
- REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES, RIP-RAP CHANNELS, FENCES, OR OTHER ELEMENTS OF THE FACILITY DURING CONSTRUCTION SHALL BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS.
- PARKING LOT SWEEPING SHALL BE PERFORMED UPON COMPLETION OF THE PROJECT.
- DUST IS A PROBLEM ON ALL CONSTRUCTION SITES AND THE BEST MEASURES TO CONTROL IT IS TO CONTROL THE CREATION OF IT. WATER SHOULD BE USED TO MOISTEN EXPOSED SOIL SURFACES PERIODICALLY. AN ADEQUATE AMOUNT SHOULD BE USED TO CONTROL DUST. NO CALCIUM CHLORIDE SHALL BE USED ON THIS SITE.

BMP CONSTRUCTION SEQUENCES:

GENERAL:

GREAT CARE SHALL BE GIVEN TO THE AREAS WHERE STRUCTURES WHICH REQUIRE INFILTRATION AS A MECHANISM FOR STORMWATER TREATMENT AND/OR DISPOSAL ARE PROPOSED PRIOR TO THEIR CONSTRUCTION. NO INFILTRATION STRUCTURE SHALL BE CONSTRUCTED NOR ACCEPT RUNOFF UNTIL ALL UP-SLOPE AREAS OF THE WATERSHED HAVE BEEN BUILT AND FULLY STABILIZED SO AS TO HAVE NO POTENTIAL FOR SEDIMENT OR SILT DEPOSITION. ALSO, ONCE THE ENTIRE SITE IS STABILIZED ALL SEED MEASURES SHALL BE REMOVED.

THE DESIGN SEED MIX FOR ALL PERMANENT STORMWATER BASINS SHALL BE COMPRISED OF THE FOLLOWING AND PLANTED IN A MINIMUM OF A 6" DEPTH OF SANDY LOAM FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
KENTUCKY BLUEGRASS	15
TALL FESCUE	15

APPLICATION RATE 100 LBS/ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

SAND FILTERS:

- EXCAVATE TO THE LINES AND GRADES OF THE DESIGN
 - INSTALL NON-WOVEN GEOTEXTILE
 - INSTALL PRESSURE TREATED TIMBERS
- SAND FILTER SAND SHALL BE ASTM C33 CONCRETE SAND.
- INSTALL NON-WOVEN GEOTEXTILE & GEOMEMBRANE
 - INSTALL SAND
 - INSTALL NON-WOVEN GEOTEXTILE
 - INSTALL 6" WASHED CRUSHED STONE & PERFORATED DISBURSAL PIPING & DRAINS
 - INSTALL NON-WOVEN GEOTEXTILE
 - LOAM AND SEED PER DETAILS WITH PERMANENT SEED MIXTURE

RETENTION BASIN:

- EXCAVATE TO THE LINES AND GRADES OF THE DESIGN.
- INSTALL OUTLET CONTROL STRUCTURE & SPILLWAY
- LOAM AND SEED ACCORDINGLY WITH PERMANENT SEED MIXTURE

STORMWATER MANAGEMENT SYSTEM LONG TERM O/M

LONG-TERM MAINTENANCE OF THE DRAINAGE SYSTEM SHALL BE COMPLETED BY THE APPLICANT/OPERATOR UNDER A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT.

OWNER: 825 WEST MAIN LLC
C/O KENNETH ALVES
P.O. BOX 4360
MIDDLETOWN, RI 02842

THE CONTRACTOR / OPERATOR SHALL MAINTAIN ALL DRAINAGE COMPONENTS DURING AND DIRECTLY AFTER CONSTRUCTION. ALL OPERATIONAL MAINTENANCE REQUIREMENTS WILL BE RECORDED ON THE TITLE.

OPERATOR / CONTRACTOR: DEFAULTS TO OWNER

THE ENTIRE STORMWATER SYSTEM SHALL BE INSPECTED THROUGHOUT THE CONSTRUCTION PROCESS AND REPORTED ON THE ATTACHED CONSTRUCTION INSPECTION REPORTING FORMS.

THE ENTIRE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED ON A BI-ANNUAL BASIS FOR GENERAL PROBLEMS AND TO ENSURE PROPER FUNCTION AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-yr, 24-hr TYPE II PRECIPITATION EVENT (2.7"). THESE INSPECTIONS SHALL BE REPORTED ON THE ATTACHED O&M INSPECTION REPORTING FORMS.

ALL INSPECTIONS REPORTS SHALL BE KEPT ON FILE WITH THE STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN.

DIVERSION STRUCTURE:

- THE STRUCTURE SHOULD BE INSPECTED ANNUALLY TO REMOVE TRASH AND SEDIMENT ACCUMULATION
- INLETS AND OUTLET PIPES AND THE SUMP SHALL BE CLEARED OF DEBRIS AS NEEDED

SAND FILTER:

- THE FACILITY SHOULD BE INSPECTED ANNUALLY TO ENSURE INFILTRATION RATES ARE BEING MET. IF STANDING WATER IS OBSERVED FOR MORE THAN 48 HRS AFTER A RAIN EVENT THE LOAM/SEED AND DISPERSAL STONE SHALL BE REMOVED AND STOCKPILED, AND THE TOP 6" OF SAND SHALL BE REPLACED. RECONSTRUCTION OF THE DISPERSAL ZONE AND SURFACE LOAM / SEED SAND SHALL FOLLOW.
- RIPRAP SHOULD BE REINFORCED IF EROSION IS PRESENT AT OUTFALLS OR IF IT HAS BEEN COMPROMISED
- MOW GRASSES TO MAINTAIN A 2-4" STRONG STAND OF TURF. ALL CLIPPINGS SHALL BE COLLECTED AND DISPOSED OF PROPERLY
- NO WOODY GROWTH SHOULD EVER BE ALLOWED TO REMAIN WITHIN THE FILTER
- AREAS OF EROSION OR DISTURBANCE SHALL BE RE-ESTABLISHED IMMEDIATELY
- INLETS AND OUTLETS SHALL BE CLEARED OF DEBRIS AS NEEDED

RETENTION BASIN:

- THE FACILITY SHOULD BE INSPECTED ANNUALLY FOR EROSION, GULLING OR DAMAGE AND CLEANED OF DEBRIS AND TRASH
- RIPRAP SHOULD BE REINFORCED IF EROSION IS PRESENT AT OUTFALLS OR IF IT HAS BEEN COMPROMISED
- MOW GRASSES TO MAINTAIN A 4-6" STRONG STAND OF TURF. ALL CLIPPINGS SHALL BE COLLECTED AND DISPOSED OF PROPERLY
- NO WOODY GROWTH SHOULD EVER BE ALLOWED TO REMAIN IN AND AROUND THE BASIN
- AREAS OF EROSION OR DISTURBANCE SHALL BE RE-ESTABLISHED IMMEDIATELY
- INLETS AND OUTLETS SHALL BE CLEARED OF DEBRIS AS NEEDED

ESTIMATED O&M BUDGET & FUNDING SOURCE:

THE PROJECT OPERATOR WILL BE THE OWNER AND HE SHALL BE RESPONSIBLE FOR FUNDING THE O&M BUDGET.

ESTIMATE OF O&M BUDGET:

BI-ANNUAL INSPECTIONS:	\$500 EA x 2	\$1,000
BI-WEEKLY MOWING:	\$200 EA x 13	\$2,600
MISC. REPAIRS:	\$500	\$ 500
ADDITIONAL INSPECTIONS:	\$500 EA x 2	\$1,000
TOTAL ESTIMATE:		\$5,100 / YR

POLLUTION PREVENTION PLAN:

GENERAL:

LONG-TERM MANAGEMENT OF THE POLLUTION PREVENTION PLAN SHALL BE THE RESPONSIBILITY OF THE OWNER.

OWNER: 825 WEST MAIN LLC
C/O KENNETH ALVES
P.O. BOX 4360
MIDDLETOWN, RI 02842

THE CONTRACTOR SHALL MANAGE THE POLLUTION PREVENTION PLAN DURING THE CONSTRUCTION PROCESS.

CONTRACTOR: TBD

SOLID WASTE CONTAINMENT:

- TRASH RACKS WHERE PRACTICAL SHALL BE INSTALLED AND MAINTAINED ON ALL INLET STRUCTURES WITHIN THE DRAINAGE SYSTEM. INSPECTIONS FOR TRASH SHOULD BE ON A WEEKLY BASIS.
- TRASH RECEPTACLES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT.
- STREET SWEEPING SHALL BE PERFORMED ON AN ANNUAL BASIS.
- PET WASTE DISPOSAL STATIONS SHALL BE PROVIDED WHERE APPLICABLE.

SNOW DISPOSAL AND REMOVAL:

- SAND AND BEING MATERIALS SHALL BE STORED UNDER COVER ON SITE TO PREVENT EXPOSURE TO STORMWATER.
- SNOW REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH RIDEM'S SNOW DISPOSAL POLICY.

DRIVEWAY AND PARKING LOT SEALANTS:

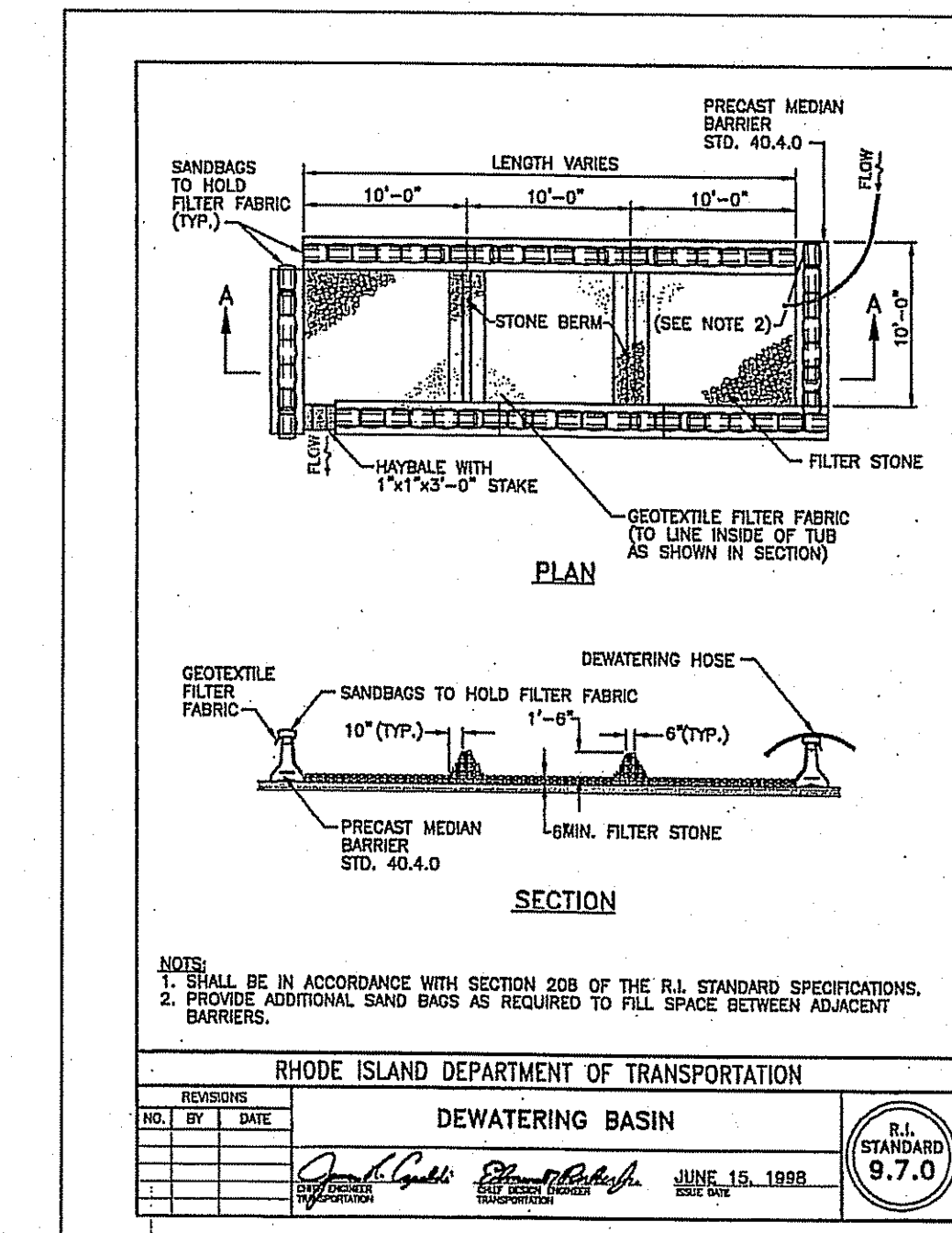
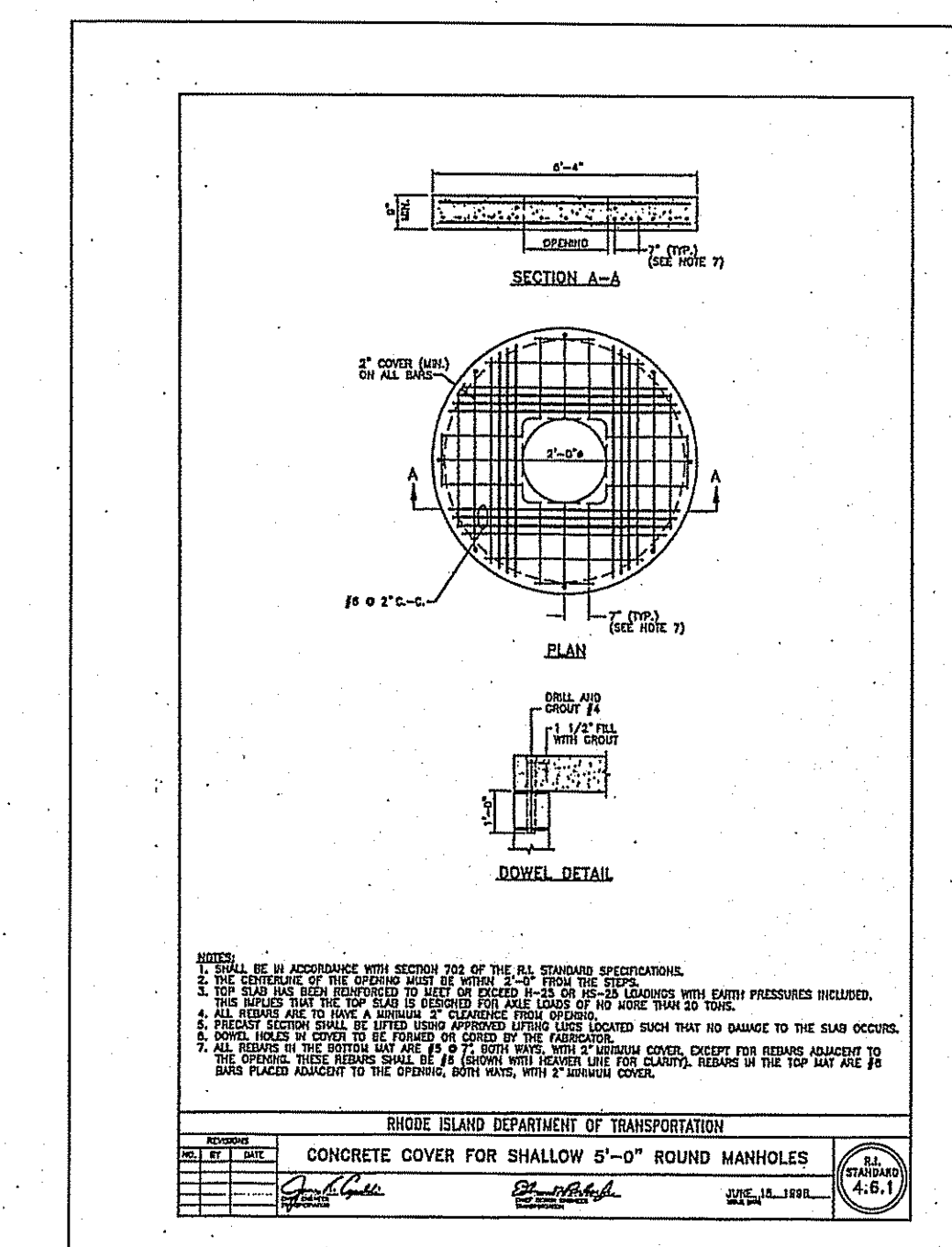
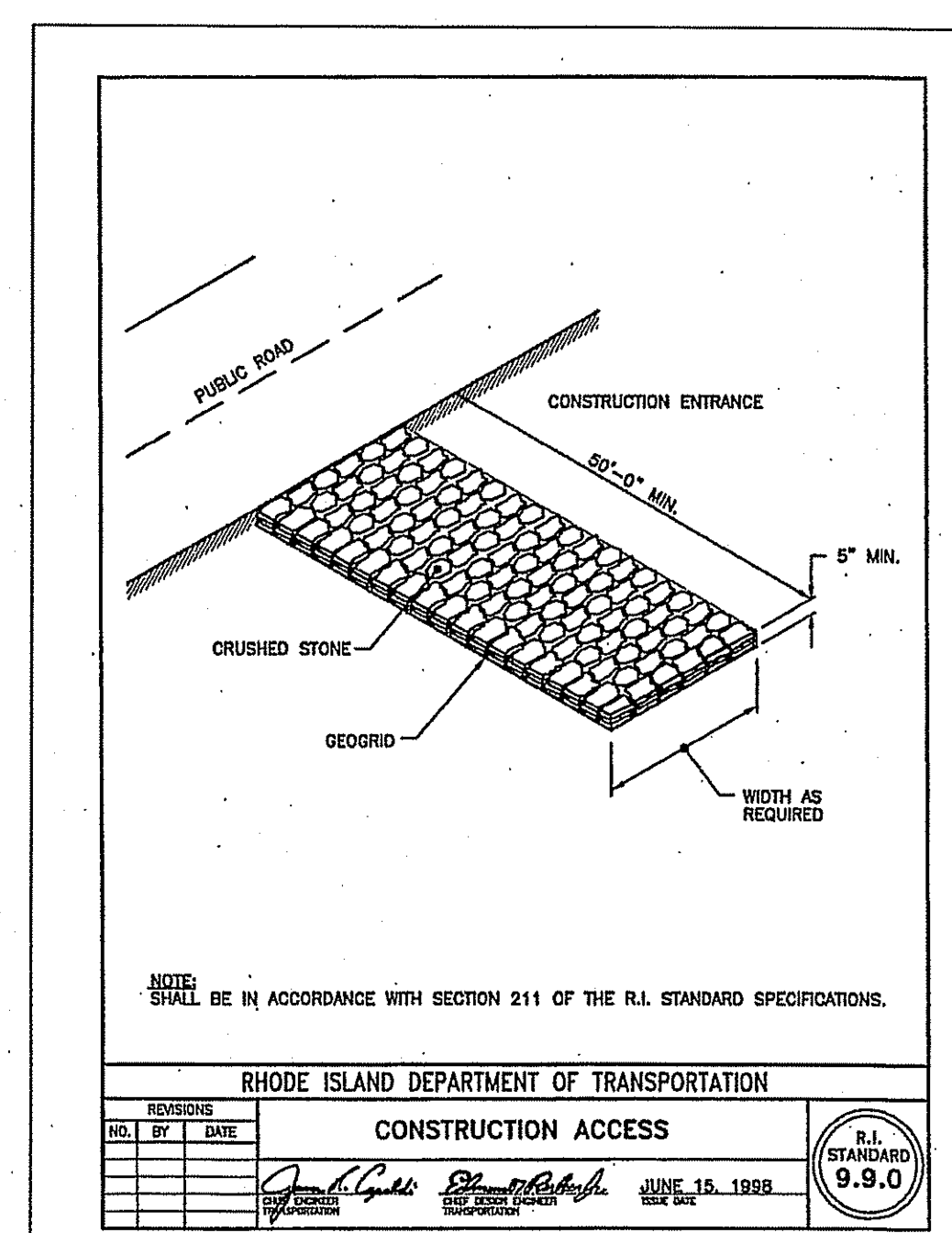
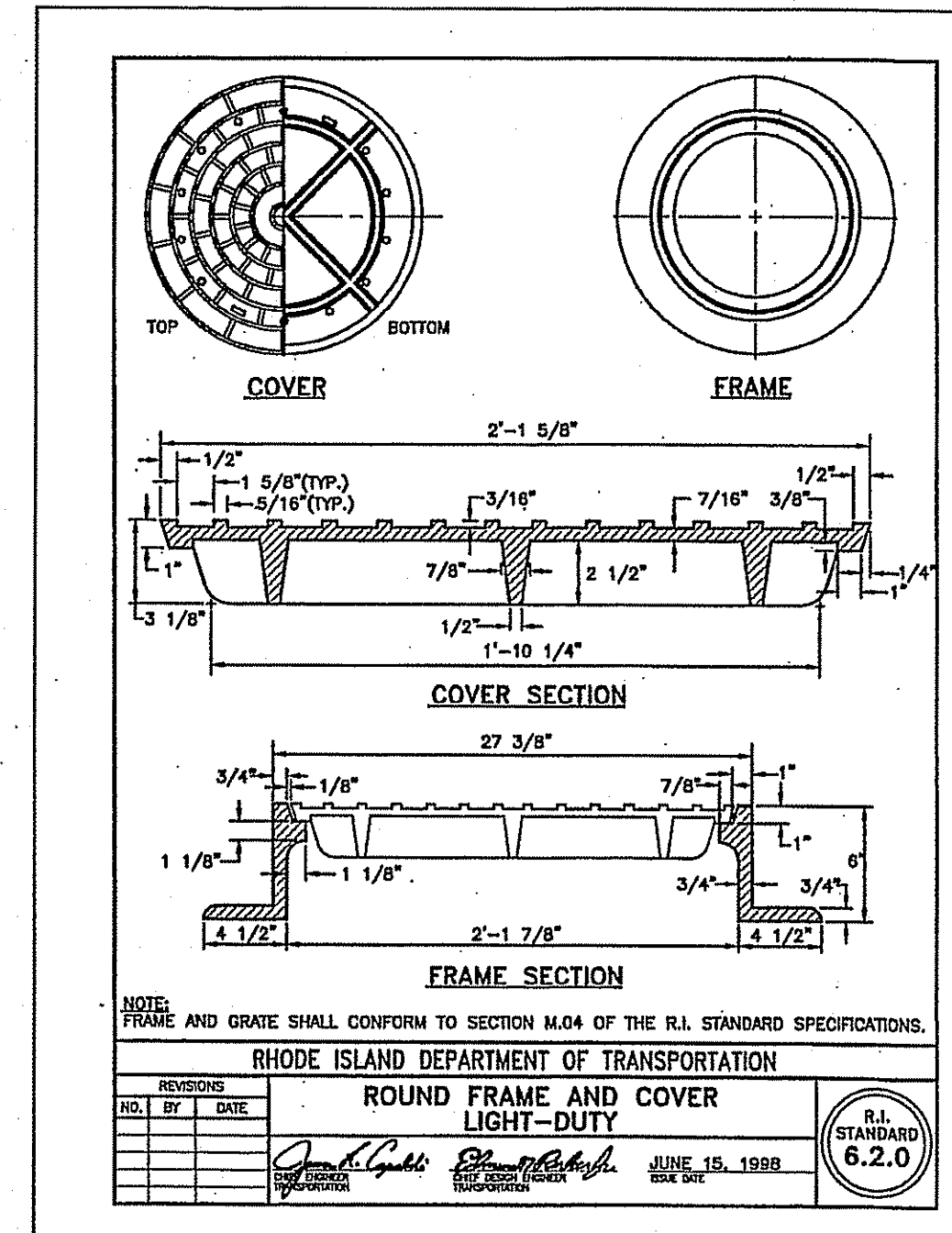
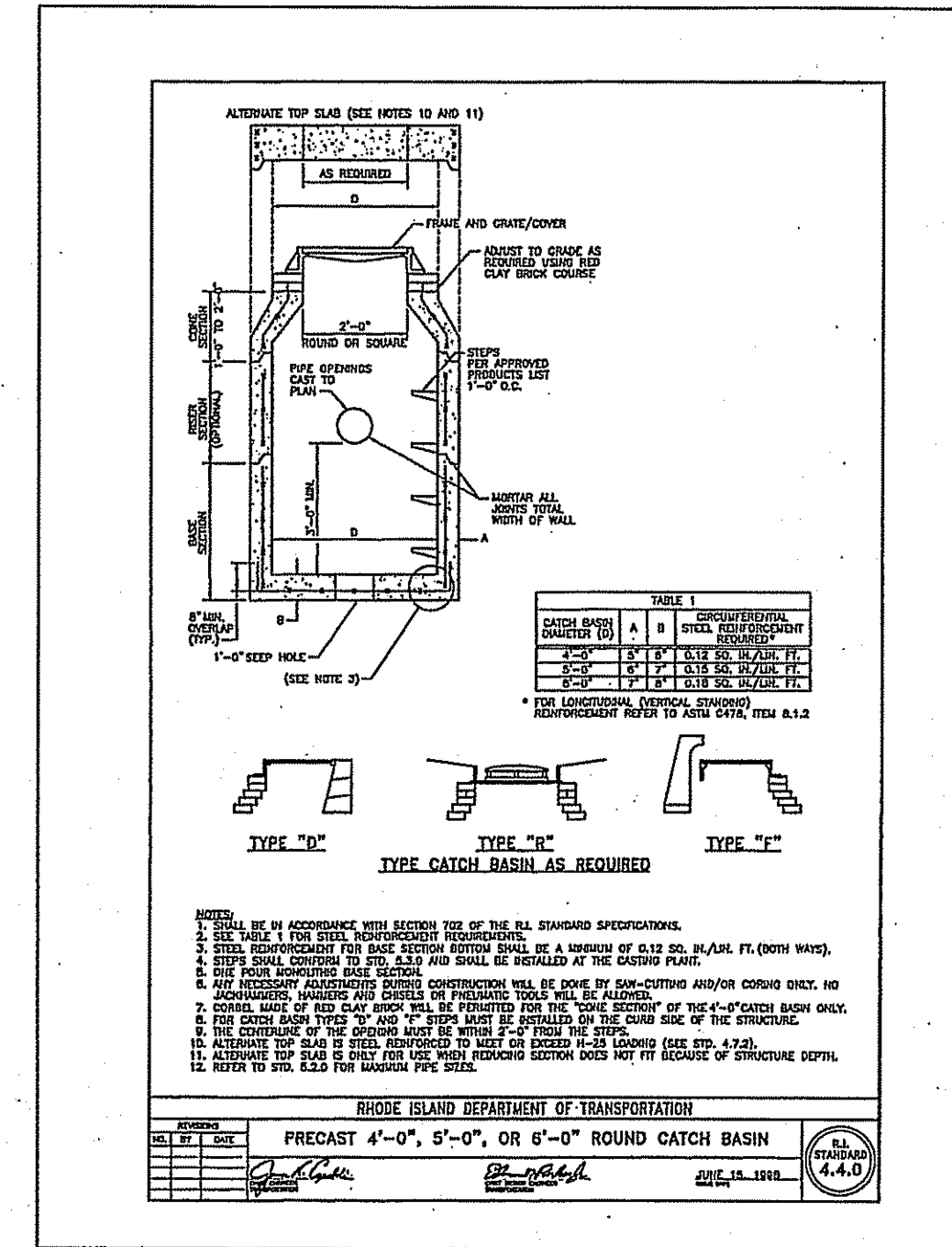
- ONLY ASPHALT BASED SEALANTS ARE ALLOWED, NO COAL-TAR BASED SEALANTS SHALL BE USED ON THIS SITE.

HAZARDOUS MATERIALS CONTAINMENT:

- NO HAZARDOUS MATERIALS SHALL BE STORED OUTSIDE TO AVOID EXPOSURE TO STORMWATER.

LANDSCAPE MANAGEMENT:

- GRASS CLIPPINGS FROM LAWN CARE PROCEDURES MAY NOT BE STOCKPILED ON SITE, THEY MUST BE EITHER SCATTERED WHILE MOWING OR COLLECTED AND DISPOSED OF OFF SITE.
- GENERAL LAWN HEIGHTS (EXCLUDING STORMWATER BASINS) ON SITE SHALL BE KEPT AT A 2-3" HEIGHT.
- FERTILIZER AND WATERING DEMANDS SHOULD BE HAVE PROFESSIONAL OVERSIGHT AND BOTH USES MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL.



NO.	DATE	REVISION

JEFFREY C. HANSON
No. 5238
1/3/2018
REGISTERED PROFESSIONAL ENGINEER

ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING - LAND PLANNING
790 Aqueduct Avenue, Building B
Middletown, Rhode Island 02842
www.IllstoneEng.com
P. (401) 921-3344 F. (401) 921-3303

NOTES and DETAILS
WEST MAIN SELF-STORAGE EXPANSION
A.P. 107NE, LOT 15-C
825 WEST MAIN ROAD
MIDDLETOWN, RI
PREPARED FOR:
825 WEST MAIN LLC
SCALE: AS NOTED
DECEMBER 2017

Drawn By: MJV
Checked By: JCH
Sheet
4 of 4
FILE NO.: 16.102.375

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 15 2018 FILE # 18-0007
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.