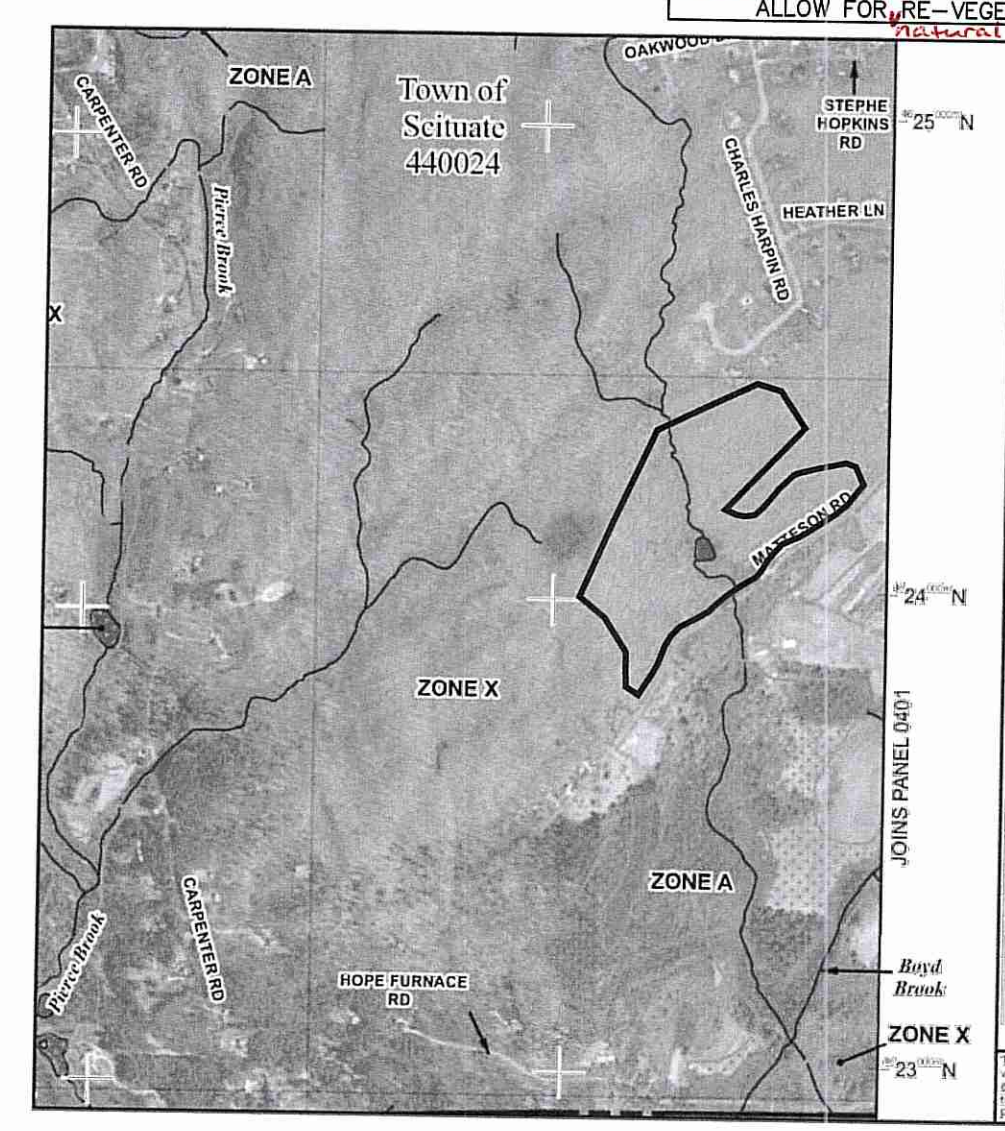
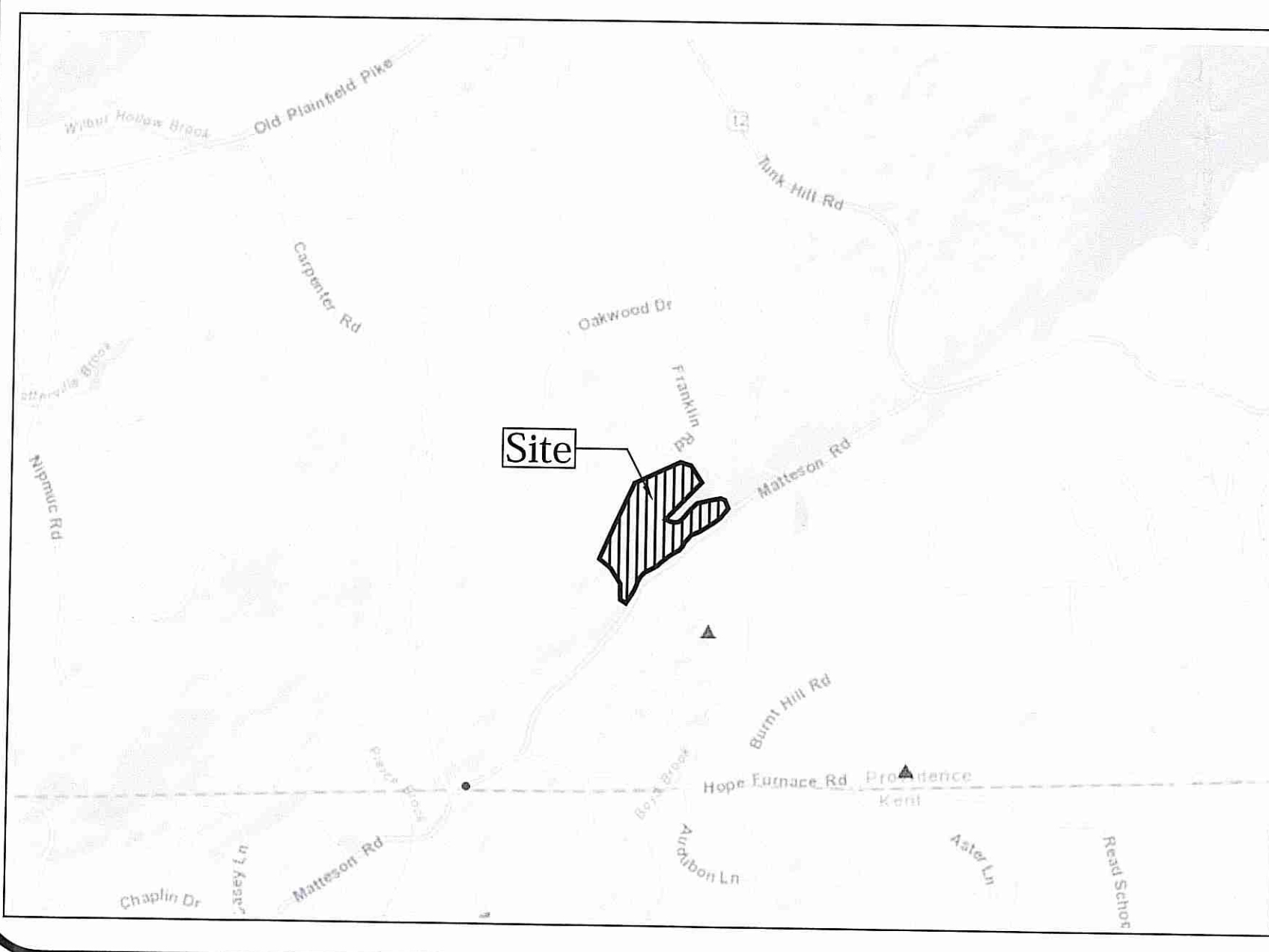


See Sheets C2 and C3 for Detailed Lot Design



MAP SCALE 1" = 1000'

FIRM
FLOOD INSURANCE RATE MAP
PROVIDENCE COUNTY
RHODE ISLAND
PANEL 385 OF 451
EFFECTIVE DATE MARCH 2, 2009

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 19 2018 FILE # 18-0011
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Walter D. Wenczek

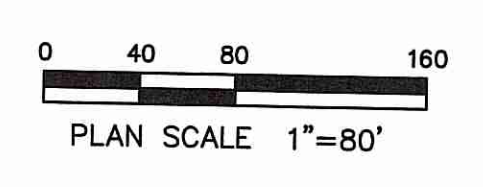
- Notes:**
- THE PROPERTY LINE, EXISTING CONDITIONS, AND TOPOGRAPHY SHOWN ON THIS PLAN WAS PROVIDED BY JOHN A. TZITZOURIS, PLS., 7 SPRINGDALE AVE., NORTH PROVIDENCE, RI 02904.
 - WETLAND EDGES WERE FLAGGED AND DELINEATED BY NATURAL RESOURCE SERVICES OF BURRILLVILLE, RI.
 - REFERENCE PRELIMINARY SUBDIVISION SUITABILITY NO. S30-B1.
 - THE CONTRACTOR SHALL NOTIFY DIG-SAFE 72 HOURS PRIOR TO START OF CONSTRUCTION.
 - PROPER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AS SHOWN. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF SCITUATE AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 - LAYOUT AND LOCATIONS OF ROOF DRAINS ARE SHOWN IN CONCEPT ONLY. FINAL LAYOUT AND LOCATIONS OF ROOF DRAINS SHALL BE COORDINATED WITH DOWNSPOUTS.

Zoning Information

ZONE DESIGNATION	RR-120
MINIMUM LOT SIZE	120,000 S.F.
MINIMUM LOT WIDTH	300 FT.
FRONT SETBACK	50'
REAR SETBACK	60'
SIDE SETBACK	35'

Existing Property Data

ASSESSOR'S PLAT 49-2
LOT # 33
TOTAL LOT AREA 43.64± ACRES



Advanced Civil Design, Inc.
CIVIL ENGINEERS
88 PEEPTOAD ROAD
SCITUATE, RI 02857
PH: (401) 473-4404

NO.	DATE	REVISION

PROJECT:
MACERA FARMHOUSE LOT
~6 Lot Major Subdivision~
A.P. 49-2 LOT 33
Matteson Road
Scituate, Rhode Island

OWNER/APPLICANT:
Richard J. Macera
311 Pippin Orchard Road
Cranston, RI 02921

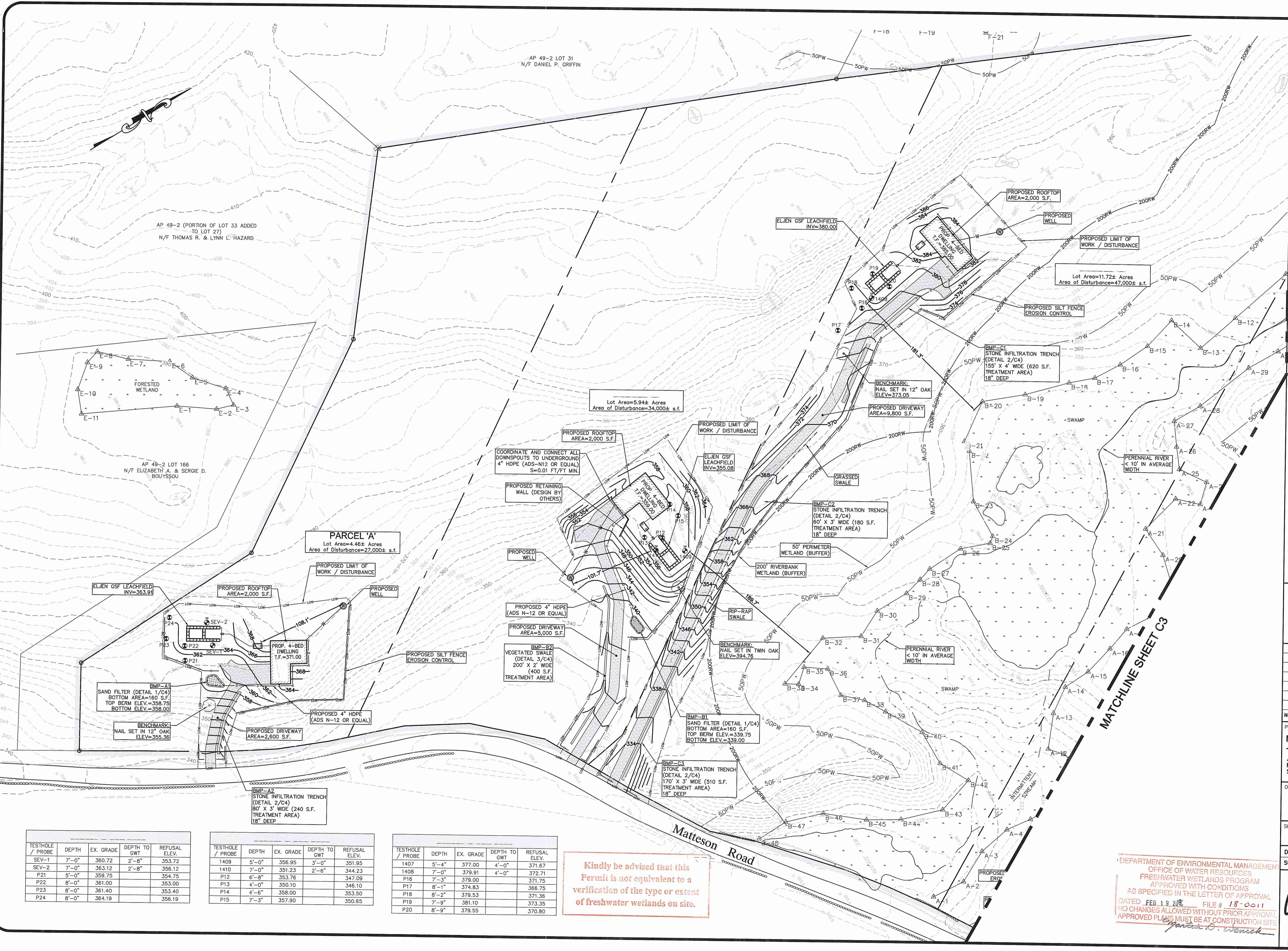
SHEET TITLE:
OVERALL SITE PLAN

DATE: 12/4/2017 DESIGNED BY: C.S.R.
SCALE: 1"=80' CHECKED BY: C.S.R.

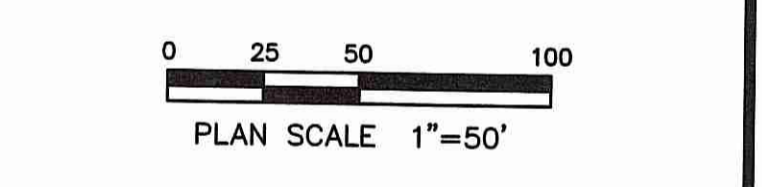
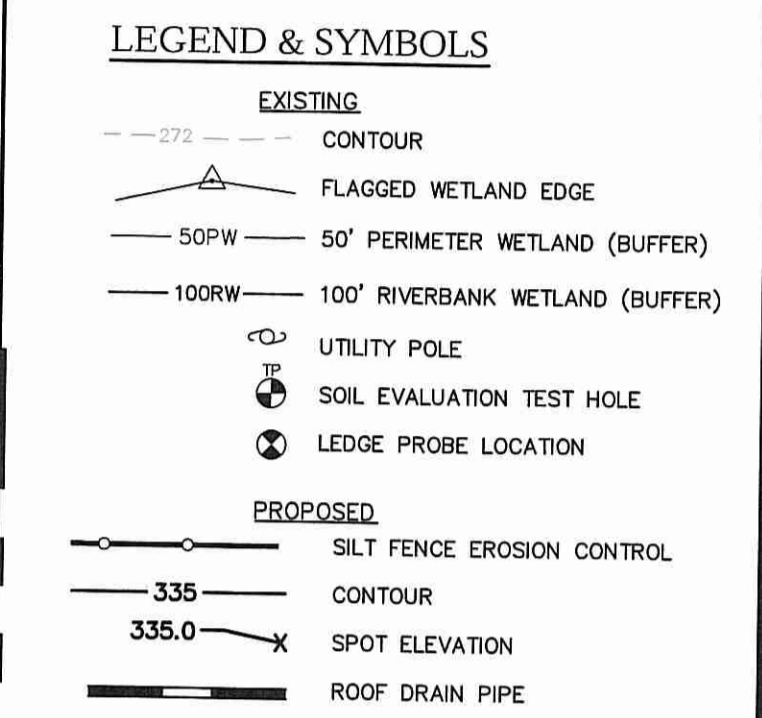
DRAWING NO.
C1

SHEET 1 OF 4

CUNY S. RIUTOLO
No. 8756
REGISTERED PROFESSIONAL ENGINEER (CIVIL)



- Notes:**
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 6. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF SCITUATE AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
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Advanced Civil Design, Inc.
 CIVIL ENGINEERS
 88 PEEPTOD ROAD
 SCITUATE, RI 02857
 PH: (401) 473-4404

PROJECT:
 MACERA FARMHOUSE LOT
 -MAJOR SUBDIVISION-
 A.P. 49-2 LOT 33
 Matteson Road
 Scituate, Rhode Island

OWNER/APPLICANT:
 Richard J. Macera
 311 Pippin Orchard Road
 Cranston, RI 02921

SHEET TITLE:
 PROPOSED SITE PLAN - 1

DATE: 12/4/2017 **DESIGNED BY:** C.S.R.
SCALE: 1"=50' **CHECKED BY:** C.S.R.

DRAWING NO.: C2

SHEET 2 OF 4

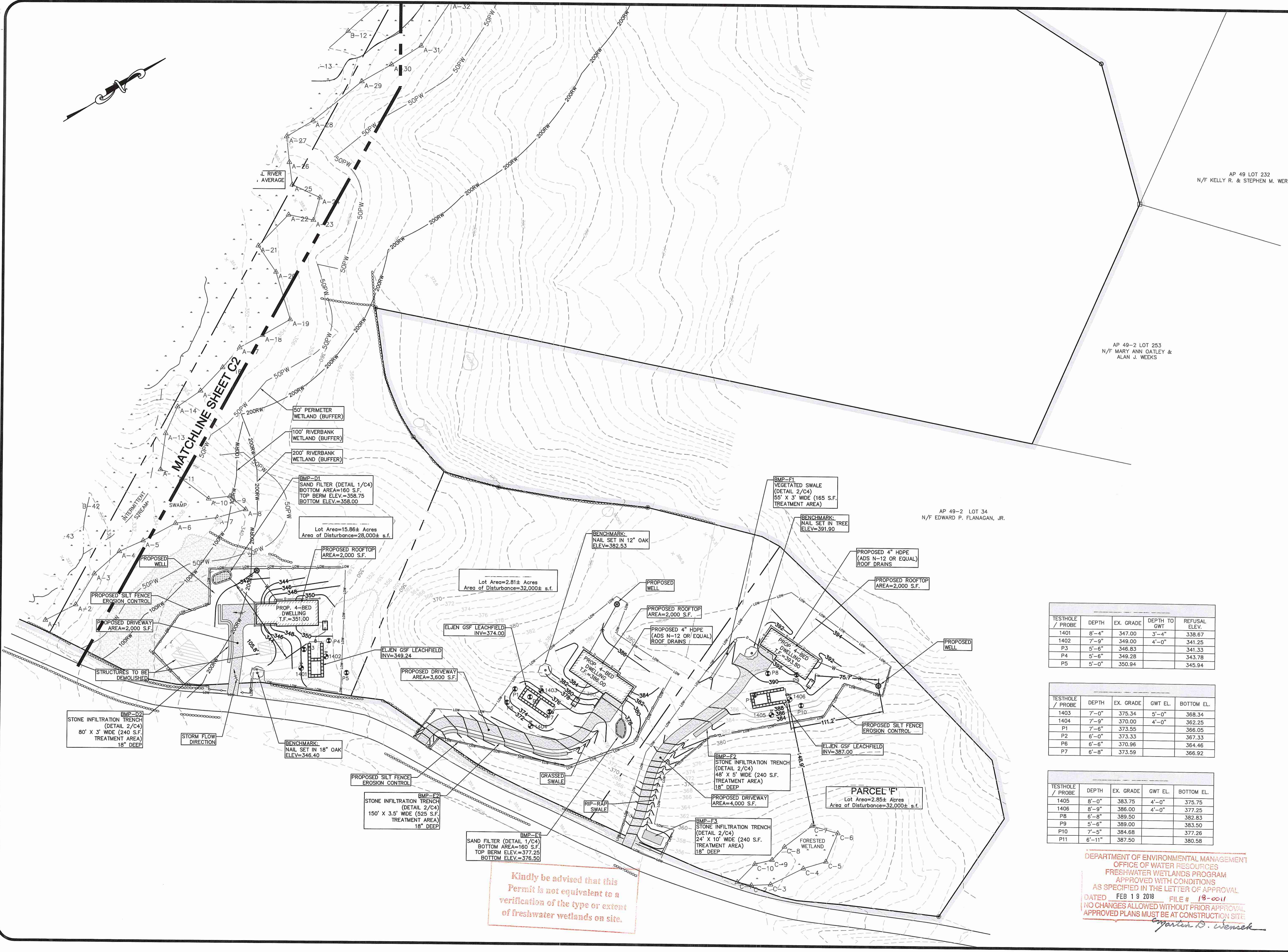
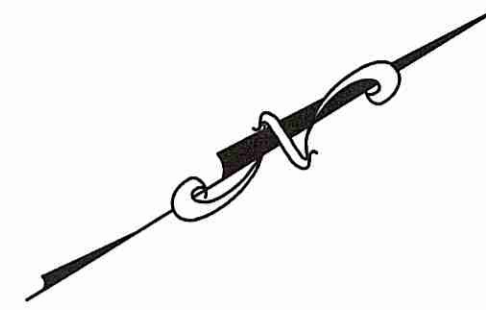
TESTHOLE / PROBE	DEPTH	EX. GRADE	DEPTH TO GWT	REFUSAL ELEV.
SEV-1	7'-0"	360.72	2'-8"	353.72
SEV-2	7'-0"	363.12	2'-8"	356.12
P21	8'-0"	359.75		354.75
P23	8'-0"	361.00		353.00
P24	8'-0"	364.19		353.40

TESTHOLE / PROBE	DEPTH	EX. GRADE	DEPTH TO GWT	REFUSAL ELEV.
1409	5'-0"	356.95	3'-0"	351.95
1410	7'-0"	351.23	2'-6"	344.23
P12	6'-8"	353.76		347.09
P13	4'-0"	350.10		346.10
P14	4'-6"	358.00		353.50
P15	7'-3"	357.90		350.65

TESTHOLE / PROBE	DEPTH	EX. GRADE	DEPTH TO GWT	REFUSAL ELEV.
1407	5'-4"	377.00	4'-0"	371.67
1408	7'-0"	379.91	4'-0"	372.71
P16	7'-3"	379.00		371.75
P17	8'-1"	374.83		366.75
P18	8'-2"	379.53		371.36
P19	7'-9"	381.10		373.35
P20	8'-9"	379.55		370.80

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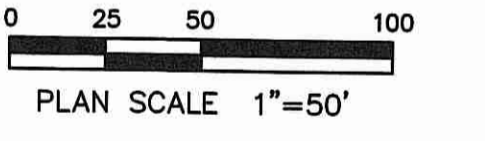


Notes:

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LEGEND & SYMBOLS

- EXISTING**
- - - - - 272 - - - - - CONTOUR
 - ▲ FLAGGED WETLAND EDGE
 - 50PW - 50' PERIMETER WETLAND (BUFFER)
 - 100RW - 100' RIVERBANK WETLAND (BUFFER)
 - UTILITY POLE
 - ⊕ SOIL EVALUATION TEST HOLE
 - ⊗ LEDGE PROBE LOCATION
- PROPOSED**
- SILT FENCE EROSION CONTROL
 - 335 - CONTOUR
 - ⊕ SPOT ELEVATION
 - ▬ ROOF DRAIN PIPE



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NO.	DATE	REVISION

PROJECT:
MACERA FARMHOUSE LOT
 ~MAJOR SUBDIVISION~
 A.P. 49-2 LOT 33
 Matteson Road
 Scituate, Rhode Island

OWNER/APPLICANT:
 Richard J. Macera
 311 Pippin Orchard Road
 Cranston, RI 02921

SHEET TITLE:
PROPOSED SITE PLAN - 2

DATE: 12/4/2017 **DESIGNED BY:** C.S.R.
SCALE: 1"=50' **CHECKED BY:** C.S.R.

DRAWING NO.
 C3

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 CURTIS S. RUOTOLO
 No. 8756
 FEB 12/17

SHEET 3 OF 4

TESTHOLE / PROBE	DEPTH	EX. GRADE	DEPTH TO GW	REFUSAL ELEV.
1401	8'-4"	347.00	3'-4"	338.67
1402	7'-9"	349.00	4'-0"	341.25
P3	5'-6"	346.83		341.33
P4	5'-6"	349.28		343.78
P5	5'-0"	350.94		345.94

TESTHOLE / PROBE	DEPTH	EX. GRADE	GW EL.	BOTTOM EL.
1403	7'-0"	375.34	5'-0"	368.34
1404	7'-9"	370.00	4'-0"	362.25
P1	7'-6"	373.55		366.05
P2	6'-0"	373.33		367.33
P6	6'-6"	370.96		364.46
P7	6'-8"	373.59		366.92

TESTHOLE / PROBE	DEPTH	EX. GRADE	GW EL.	BOTTOM EL.
1405	8'-0"	383.75	4'-0"	375.75
1406	8'-9"	386.00	4'-0"	377.25
P8	6'-8"	389.50		382.83
P9	5'-8"	389.00		383.50
P10	7'-5"	384.68		377.28
P11	6'-11"	387.50		380.58

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Signature: Stephen B. Wenzel

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General Site Construction Notes

1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ALL AREAS AFFECTED BY CONSTRUCTION SHALL BE STABILIZED WITH 4" LOAM & SEED OR RESTORED TO ORIGINAL CONDITION.
4. OWNER OR CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK.

Soil Erosion & Sediment Control Notes

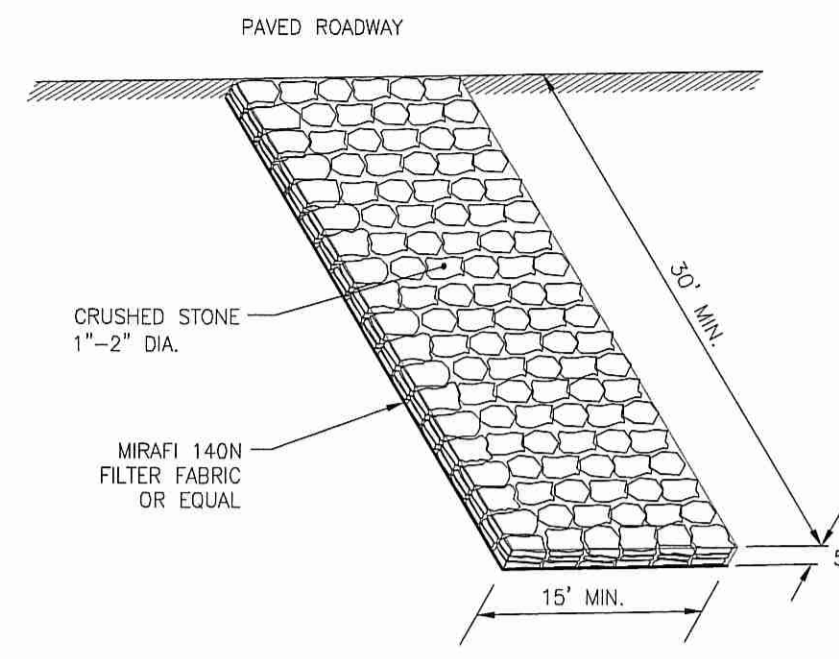
1. A SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN HAS BEEN PREPARED BY ADVANCED CIVIL DESIGN, INC. AND SUBMITTED TO RIDEM. THE SITE CONTRACTOR AND/OR OPERATOR SHALL MAINTAIN A COPY OF THIS PLAN ON-SITE, INCLUDING ALL INSPECTION REPORTS, AND MAKE MODIFICATIONS TO THE PLAN AS REQUIRED DURING CONSTRUCTION. ALL RECORDS SHALL BE RETAINED FOR A MINIMUM OF FIVE (5) YEARS FROM THE DATE OF THE REPORT.
2. ALL DISTURBED AREAS SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK REGULARLY ALL SEEDED AREAS TO SEE THAT A GOOD STAND IS MAINTAINED.
3. THE CONTRACTOR MUST STABILIZE (SEED) ALL AREAS WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS.
4. EROSION CONTROLS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
5. THE CONTRACTOR SHALL MAINTAIN ALL TOP SOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER.
6. EROSION CONTROL BARRIER SHALL BE MONITORED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. CONTRACTOR SHALL REPAIR OR REPLACE AS NECESSARY.
7. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE EROSION CONTROL BECOMES FILLED IN WITH SEDIMENTS.
8. THE STONE STABILIZATION PAD AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND.
9. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
10. PRIOR TO SITE CONTRACTOR DEMOBILIZING FROM SITE, FLUSH DRAIN PIPES AND REMOVE SEDIMENT FROM WATER QUALITY STRUCTURES, UNDERGROUND DETENTION SYSTEM, AND DETENTION POND.

Construction (Short-Term) BMP Maintenance

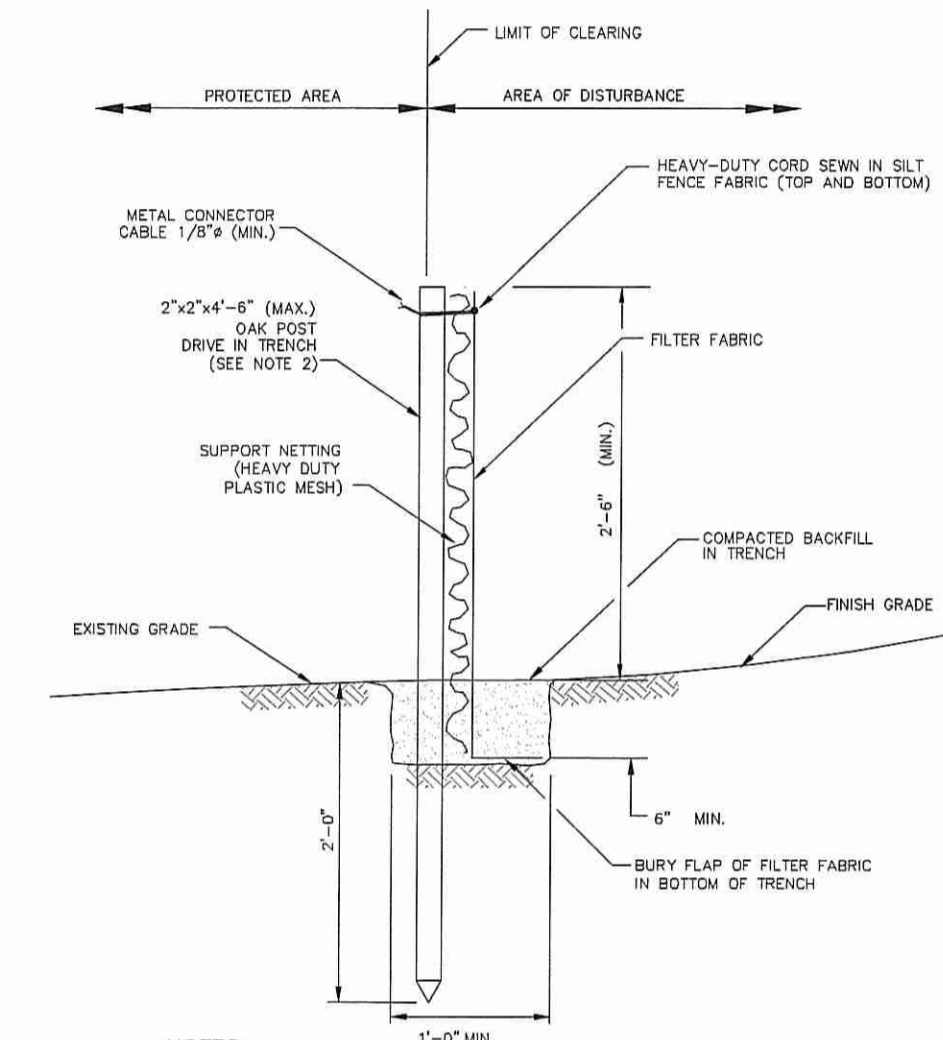
1. THE OWNER AND CONTRACTOR WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY STORMWATER FACILITIES, SLOPE PROTECTION, AND ALL EROSION CONTROLS DEPICTED ON THESE PLANS. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DURING CONSTRUCTION AND PHASING OPERATIONS.
2. A SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN HAS BEEN PREPARED BY ADVANCED CIVIL DESIGN, INC. AND SUBMITTED TO RIDEM. THE SITE CONTRACTOR AND/OR OPERATOR SHALL MAINTAIN A COPY OF THIS PLAN ON-SITE, INCLUDING ALL INSPECTION REPORTS, AND MAKE MODIFICATIONS TO THE PLAN AS REQUIRED DURING CONSTRUCTION.
3. THE TEMPORARY CONSTRUCTION BMPs WILL BE MAINTAINED AS FOLLOWS:

Long-Term Best Management Practice (BMP) O&M

1. A STORMWATER FACILITY OPERATION AND MAINTENANCE (O&M) PLAN HAS BEEN PREPARED FOR THIS DEVELOPMENT.
2. THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF EACH STORMWATER BEST MANAGEMENT PRACTICE (BMP).

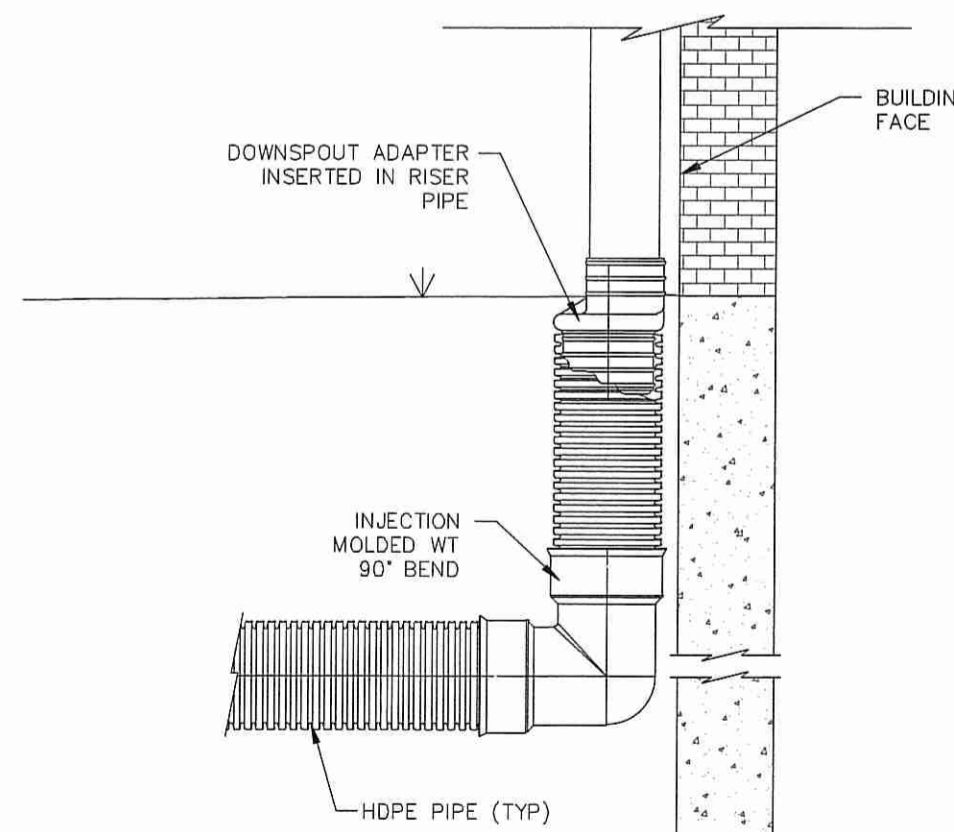


CONSTRUCTION ENTRANCE
NOT TO SCALE

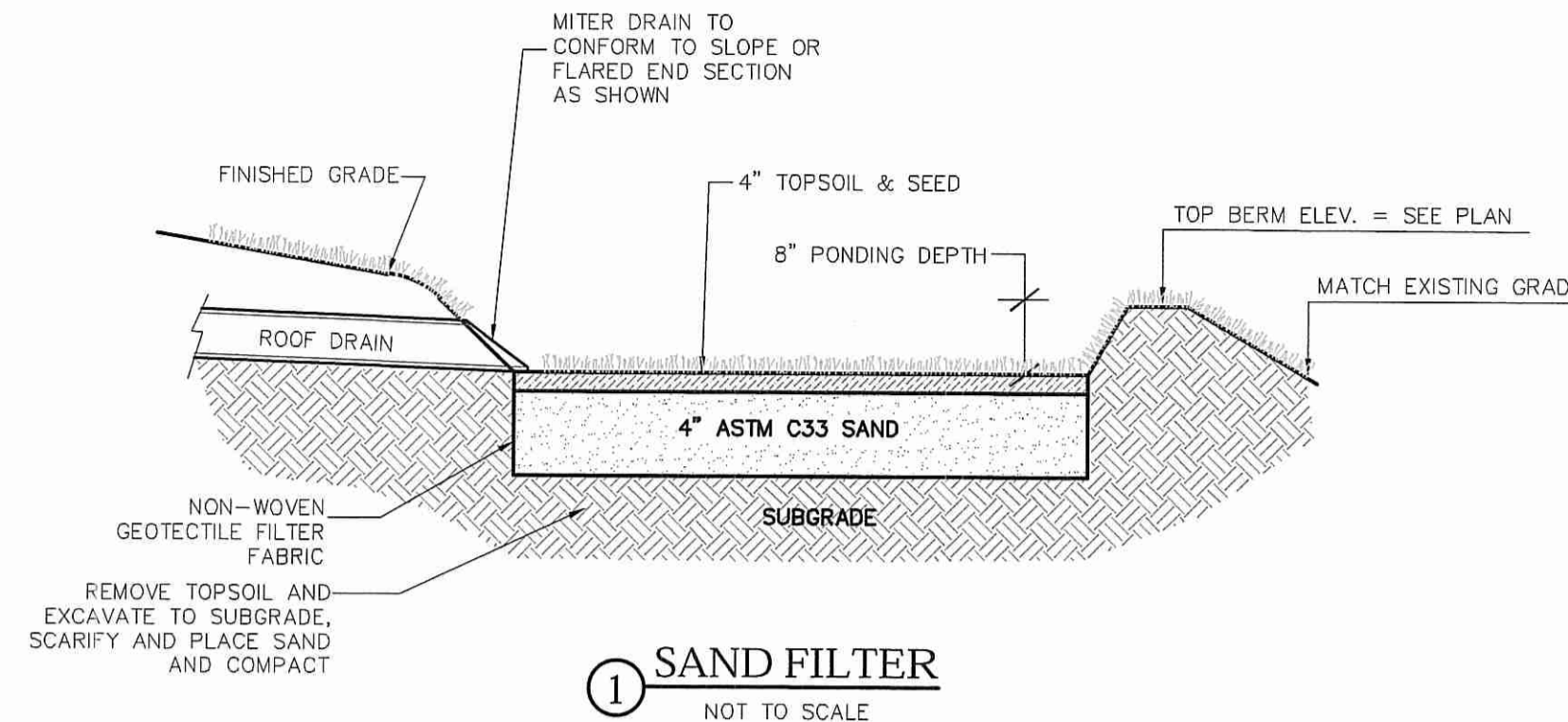


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4" (MAX.) OAK POSTS FOR SILTY FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAHWAY, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4" (MIN.) POSTS PERMITTED FOR RE-FABRICATED SILTY FENCE.
 4. SILTY FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

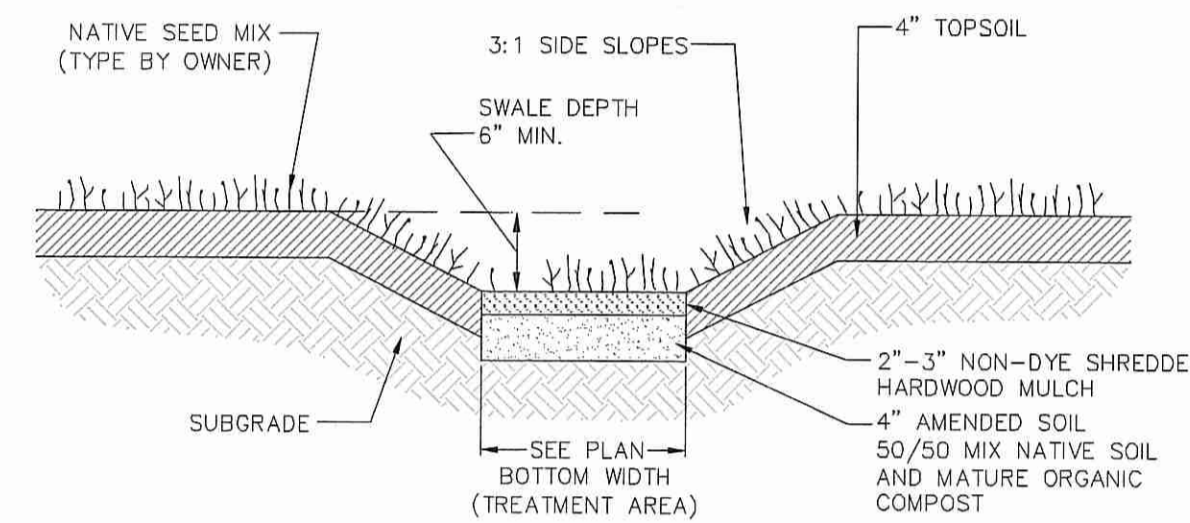
SILTY FENCE DETAIL
NOT TO SCALE



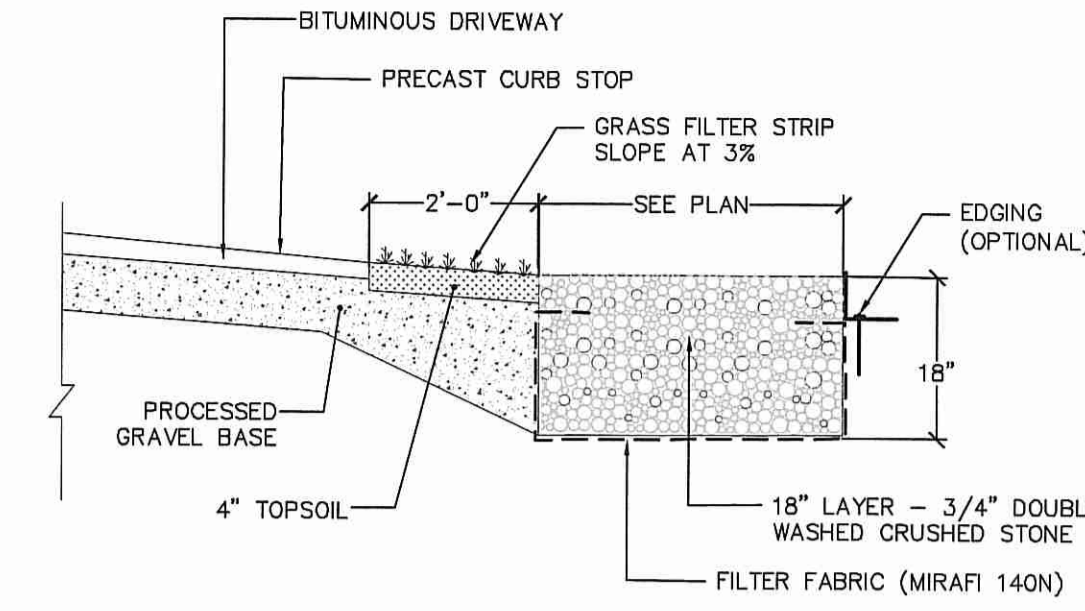
ROOF DRAIN DOWNSPOUT CONNECTION
NOT TO SCALE



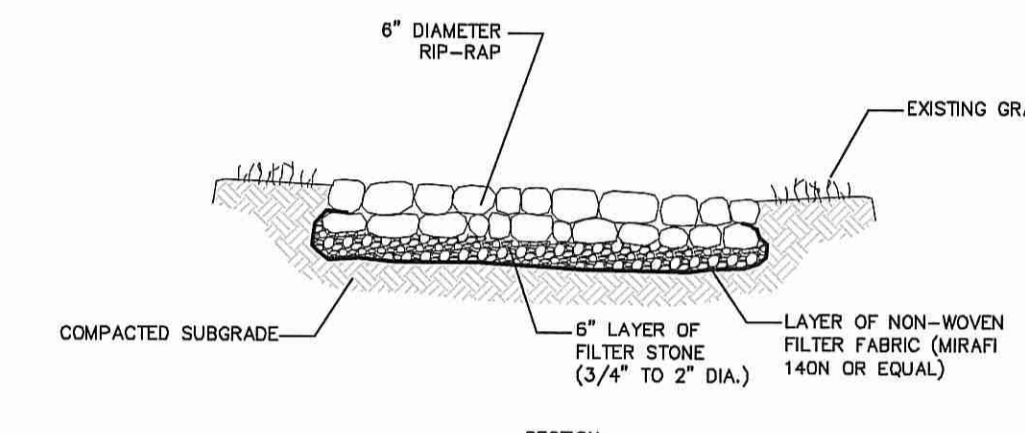
1 SAND FILTER
NOT TO SCALE



3 VEGETATED SWALE DETAIL
NOT TO SCALE



2 STONE INFILTRATION TRENCH
NOT TO SCALE



RIP-RAP OUTFALL PROTECTION
NOT TO SCALE

Stormwater Best Management Practice (BMP) Schedule				
BMP ID	BMP Description	Volume (cu ft)	Volume (cu yd)	Volume (cu ft)
A1	SAND FILTER, 8" PONDING DEPTH	2,000	2,000/12.5 = 160	160
A2	STONE INFILTRATION TRENCH, 18" STONE DEPTH	2,600	2,000/8.33 = 240	240
B1	SAND FILTER, 8" PONDING DEPTH	2,000	2,000/12.5 = 160	160
B2	VEGETATED SWALE	5,000	5,000/12.5 = 400	400
C1	STONE INFILTRATION TRENCH, 18" STONE DEPTH	5,160	5,160/8.33 = 620	620
C2	STONE INFILTRATION TRENCH, 18" STONE DEPTH	1,440	1,440/8.33 = 173	180
C3	STONE INFILTRATION TRENCH, 18" STONE DEPTH	4,200	4,200/8.33 = 504	510
D1	SAND FILTER, 8" PONDING DEPTH	2,000	2,000/12.5 = 160	160
D2	STONE INFILTRATION TRENCH, 18" STONE DEPTH	2,000	2,000/8.33 = 240	240
E1	SAND FILTER, 8" PONDING DEPTH	2,000	2,000/12.5 = 160	160
E2	STONE INFILTRATION TRENCH, 18" STONE DEPTH	3,600	3,600/8.33 = 432	525
F1	VEGETATED SWALE	2,000	2,000/12.5 = 160	165
F2	STONE INFILTRATION TRENCH, 18" STONE DEPTH	2,000	2,000/8.33 = 240	240
F3	STONE INFILTRATION TRENCH, 18" STONE DEPTH	2,000	2,000/8.33 = 240	240

NOTE:
SIZING CALCULATIONS PER STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Stephen D. Weneck

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88 PEEPTOAD ROAD
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NO.	DATE	REVISION

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-MAJOR SUBDIVISION-
A.P. 49-2 LOT 33
Matteson Road
Scituate, Rhode Island

OWNER/APPLICANT:
Richard J. Macera
311 Pippin Orchard Road
Cranston, RI 02921

SHEET TITLE:
DETAILS

DATE: 12/4/2017
SCALE: AS NOTED
DESIGNED BY: C.S.R.
CHECKED BY: C.S.R.

DRAWING NO. **C4**
SHEET 4 OF 4