

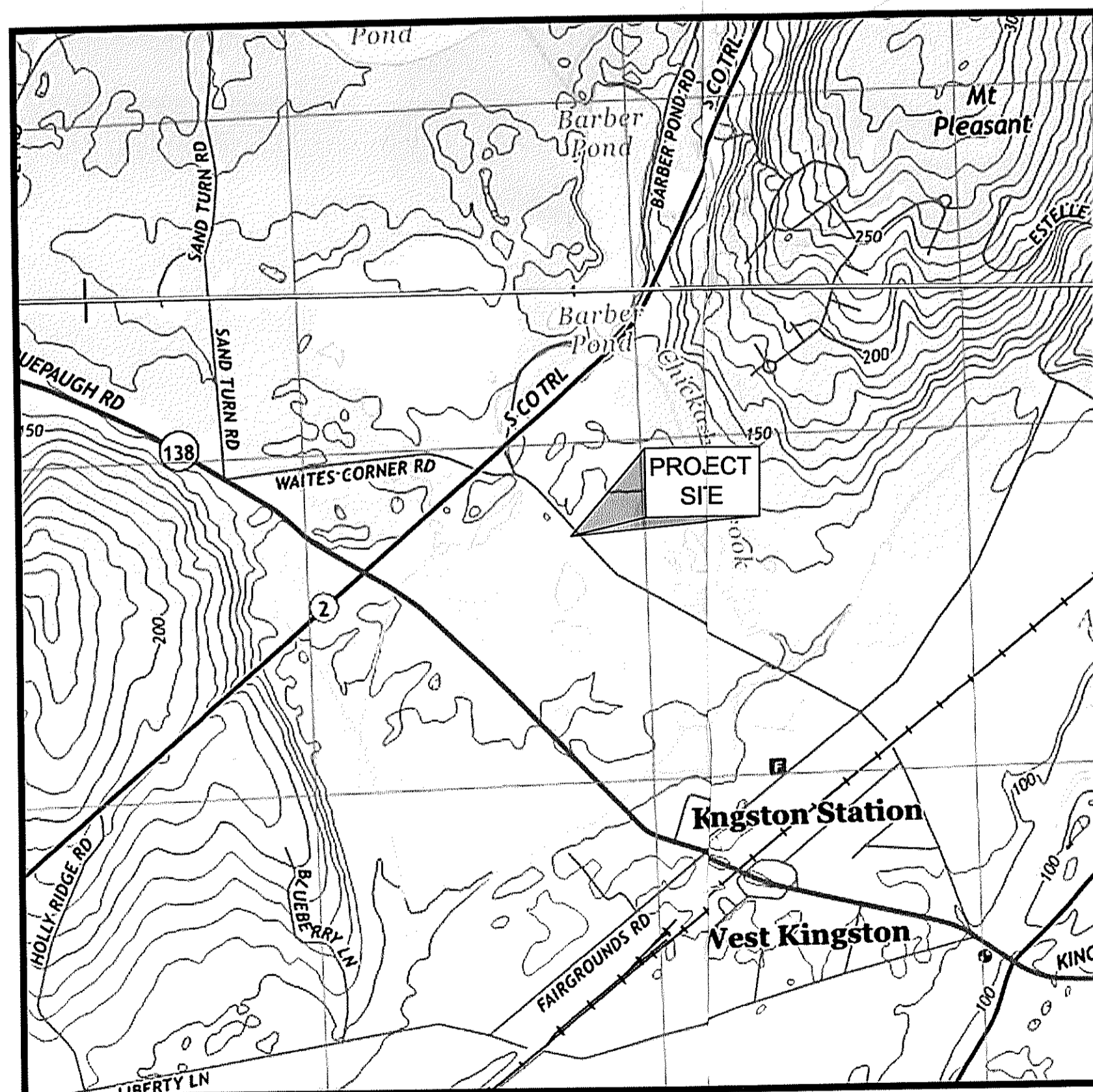
# TOWN OF SOUTH KINGSTOWN

250 KW DC SOLAR PV DEVELOPMENT  
 500 WAITES CORNER ROAD - PLAT 14 LOT 65  
 ZONING DISTRICT: RESIDENTIAL (R200) & OPEN SPACE (OS)  
 SOUTH KINGSTOWN, RHODE ISLAND  
 ISSUED FOR PERMITTING/NOT FOR CONSTRUCTION  
 LAST REVISED MARCH 2018

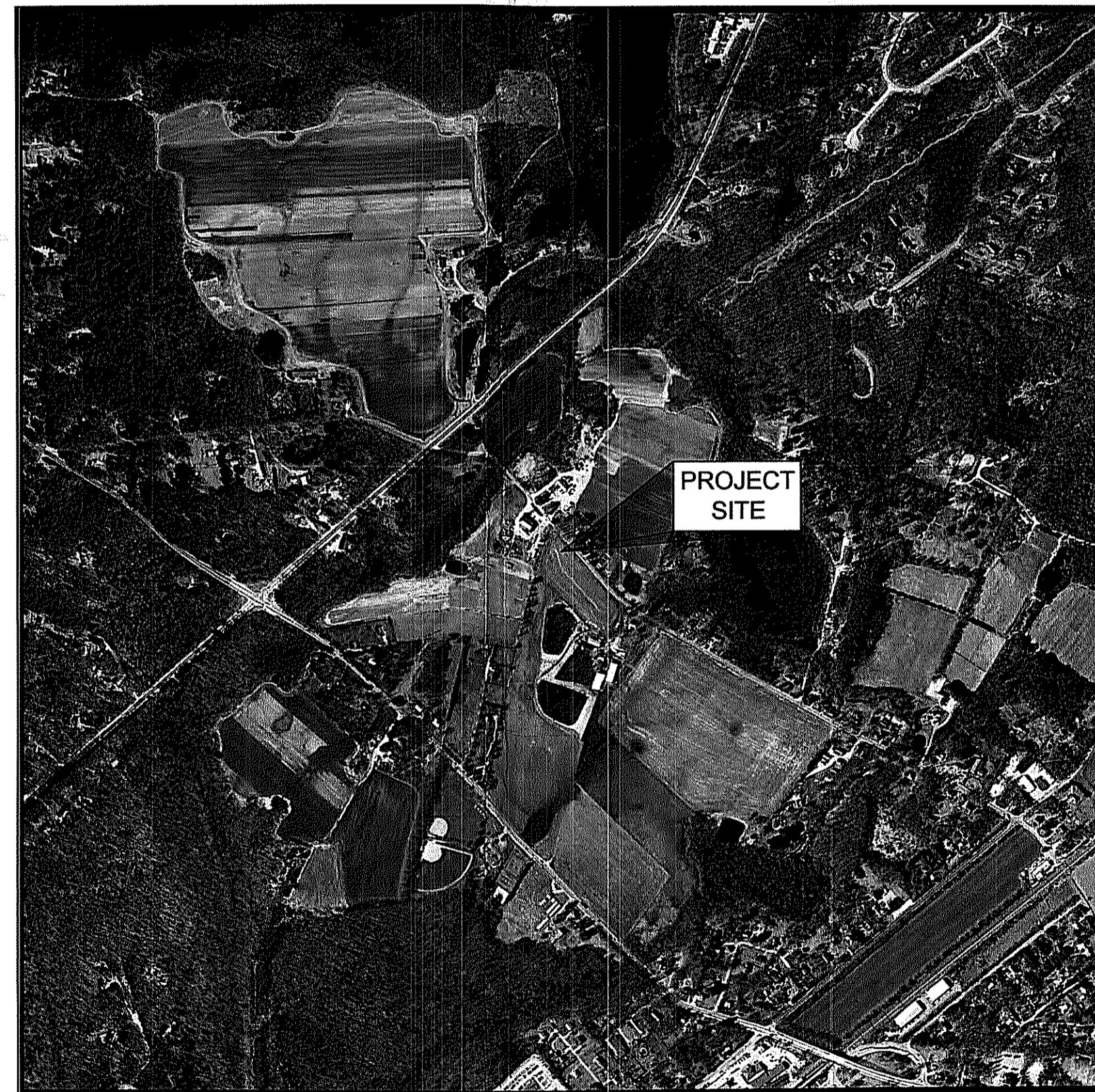
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED MAY 30 2018 FILE # 18-0052  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Christopher D. Jensen*

### DRAWING INDEX

SHEET NUMBER	DRAWING TITLE	DRAWING NUMBER
	COVER SHEET	
1	EXISTING CONDITIONS PLAN	V-101
2	PROPOSED SITE PLAN	C-101
3	NOTES AND DETAIL PLAN	C-501



LOCUS MAP  
NOT TO SCALE



AERIAL IMAGE  
NOT TO SCALE

### PROPERTY OWNERS


**COTTRELL HOMESTEAD, LLC**  
 500 WAITES CORNER ROAD  
 WEST KINGSTON, RHODE ISLAND 02892  
 (401) 783-8665

### DEVELOPED BY

**ECONOX RENEWABLES, INC.**

48 WATERFIELD ROAD, #808  
 WINCHESTER, MASSACHUSETTS 01890  
 (401) 480-8507

### PREPARED BY

amec foster wheeler   
**AMEC FOSTER WHEELER**  
**ENVIRONMENT & INFRASTRUCTURE, INC.**  
 271 MILL ROAD  
 CHELMSFORD, MASSACHUSETTS 01824  
 (978) 692-9090

MAR 23 2018

PROPRIETARY INFORMATION: THIS DRAWING IS THE PROPERTY OF AMEC FOSTER WHEELER

U:\\_CAD Projects\Econox\Econox S. Kingston & Hopkinton - 368217019\7.02 CAD - Waites Corner S. Kingston\7.1 Design - Permitting\Sheets\0 - 368217019 Waites Corner Rd - C-000.dwg - C-000 - Mar. 07, 2018 9:59am - andrew.vrdulak



**LEGEND:**

- ROAD
- 1:10 EXISTING MAJOR CONTOUR
- 1:14 EXISTING MINOR CONTOUR
- PROPERTY LINE (SURVEY - SEE NOTE 4)
- PROPERTY LINE (SMALLER DEED AREA)
- PROPERTY LINE SETBACK
- ABUTTERS PROPERTY LINE (RIGIS - SEE NOTE 5)
- WETLAND LINE
- WETLAND FLAG
- WA-24 WETLAND IDENTIFIER
- SOIL TYPE BOUNDARY
- SOIL TYPE
- 50' WETLAND BUFFER
- STREAM
- 100' STREAM BUFFER
- TREE LINE
- BUILDING

Environmental Management  
**MAR 23 2018**  
 Office of Water Resources

**FARMLAND CLASSIFICATION**

MAP UNIT SYMBOL	MAP UNIT NAME	RATING	ACRES IN A/D	PERCENT OF A/D
BHA	BRIDGEHAMPTON SILT LOAM, 0-3 PERCENT SLOPES	ALL AREAS ARE PRIME FARMLAND	28.4	38.2%
EIA	ENFIELD SILT LOAM, 0-3 PERCENT SLOPES	ALL AREAS ARE PRIME FARMLAND	24.2	32.6%
EBB	ENFIELD SILT & P PERCENT SLOPES	FARMLAND OF STATE WIDE IMPORTANCE	8.6	11.5%
FeA	FRETOWN MUCK, 0-1 PERCENT SLOPES	NOT PRIME FARMLAND	1.7	2.3%
ScA	SCIO SILT LOAM, 0-3 PERCENT SLOPES	ALL AREAS ARE PRIME FARMLAND	0.6	0.8%
Ss	SUDBURY SANDY LOAM	ALL AREAS ARE PRIME FARMLAND	1.6	2.2%
W	WATER	NOT PRIME FARMLAND	2.4	3.2%
Wa	WALPOLE SANDY LOAM, 0-3 PERCENT SLOPES	FARMLAND OF STATE WIDE IMPORTANCE	6.8	9.1%
TOTAL FOR PROPERTY OF INTEREST			74.4	100.0%

- GENERAL NOTES:**
- PROPERTY OWNER: COTTRELL HOMESTEAD, L.L.C., 500 WAITES CORNER ROAD, WEST KINGSTON, RHODE ISLAND 02892.
  - ZONING DISTRICT: RESIDENTIAL R200 AND OPEN SPACE (OS).
  - THIS PLAN WAS PREPARED FOR PERMITTING AND IS NOT SUITABLE FOR CONSTRUCTION.
  - THE PROPERTY LINES FOR PLAT 14 LOT 65 WERE FIELD SURVEYED BY CANAVAN & ASSOCIATES, INC. LAND SURVEYING IN OCTOBER 2017 (SEE SURVEY NOTES ON V-101).
  - WETLANDS DELINEATION PERFORMED BY AMEC FOSTER WHEELER AND GPS LOCATED ON OCTOBER 5, 2017. ALL OTHER INFORMATION SHOWN ON THIS PLAN IS FROM WEB BASED GIS AND/OR AERIAL IMAGES AND SHOULD BE CONSIDERED APPROXIMATE. AMEC FOSTER WHEELER HAS NOT INDEPENDENTLY VERIFIED THE INFORMATION SHOWN AND MAKES NO GUARANTEE TO THE COMPLETENESS OR ACCURACY OF ANY FEATURE SHOWN.
  - AMEC FOSTER WHEELER HAS NOT INDEPENDENTLY VERIFIED THE LOCATION, EXISTENCE, OR SERVICEABILITY OF ANY UTILITIES, AND MAKES NO GUARANTEE TO THE COMPLETENESS OR ACCURACY OF ANY UTILITIES. ADDITIONAL UTILITIES MAY EXIST IN THE FIELD, WHICH ARE NOT SHOWN ON THIS PLAN. SEE ADDITIONAL NOTES ON SHEET C-201.
  - THE SUBJECT PARCEL AND PARCELS IMMEDIATELY ADJACENT LIE IN ZONE X AREA OF MINIMAL FLOOD HAZARD (AREAS SHOWN TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON FIRM PANEL 4402C0180H WITH AN EFFECTIVE DATE OF OCTOBER 19, 2010.
  - THE SUBJECT PARCEL CONTAINS TWO ZONING DISTRICTS BY UNANIMOUS VOTE BY TOWN COUNCIL FALL 2017. ZONING DISTRICT FOR THE LARGER PORTION OF THE SUBJECT PARCEL (68.49 AC) IS OPEN SPACE (OS), ZONING DISTRICT FOR THE SMALLER PORTION OF THE SUBJECT PARCEL (4.59 AC) IS RESIDENTIAL (R200).
  - THE LARGER PORTION OF THE SUBJECT PARCEL (68.49 AC) HAS A CONSERVATION RESTRICTION PLACED UPON IT (SEE PLAN REFERENCE 2).
  - THE PROPOSED PROJECT IS LOCATED WITHIN THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT.
  - THE SUBJECT PARCEL IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AS THE RHODE ISLAND MPS COTTRELL HOUSE (NATIONAL ARCHIVES IDENTIFIER: 41374654).
  - THE PROPOSED PROJECT IS NOT LOCATED WITHIN OR ADJACENT TO A HISTORIC CEMETERY, UNIQUE HISTORIC FEATURES, UNIQUE NATURAL FEATURES, NATURAL HERITAGE AREAS (RIDEM), NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (RICHMO), SALT PONDS SPECIAL AREA MANAGEMENT PLAN (RICHMO), TMDL WATERSHED AREAS (RIDEM), OWTS CRITICAL RESOURCE AREA (RIDEM), OR DRINKING WATER SUPPLY WATERSHED (RIDEM).

- PLAN REFERENCES:**
- PLAN ENTITLED "PLAN OF LAND OWNED BY OLIVER C. & JUNE T. COTTRELL TO BE PURCHASED BY STATE OF RHODE ISLAND FOR AGRICULTURAL DEVELOPMENT RIGHTS PROGRAM SOUTH KINGSTOWN, RHODE ISLAND" DATED JANUARY, 1996, AT A SCALE OF 1 INCH EQUALS 200 FEET.
  - DEED TO DEVELOPMENT RIGHTS BOOK 245 PAGE 314.

**SURVEY NOTES:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE: JANUARY 2016.

**TYPE OF BOUNDARY SURVEY:** (WHERE NOTED: LOST) LIMITED CONTENT BOUNDARY SURVEY

**MEASUREMENT SPECIFICATIONS:**

(WHERE NOTED: DAT) DATA ACCUMULATION SURVEY (NOT A BOUNDARY SURVEY)

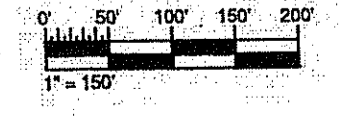
TOPOGRAPHIC SURVEY T-4

THIS COMPLETION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

BY: *Martin G. Canavan* MARTIN G. CANAVAN #1895  
 COA # LS-A536

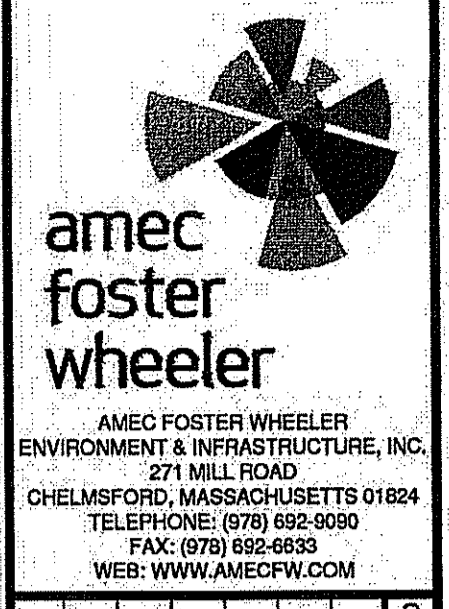


**CANAVAN & Associates, Inc.**  
 Land Surveying  
 450 George Washington Highway  
 Smithfield, R.I. 02917  
 P-(401)232-1990 F-(401)232-1994



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
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*Martin G. Canavan*



AMEC FOSTER WHEELER  
 ENVIRONMENT & INFRASTRUCTURE, INC.  
 271 MILL ROAD  
 CHELMSFORD, MASSACHUSETTS 01824  
 TELEPHONE: (978) 682-6000  
 FAX: (978) 682-6033  
 WEB: WWW.AMECFW.COM

ISSUED FOR TOWN PRELIMINARY PLAN / RIDEM WETLANDS	REVIEWED PER TOWN COMMENTS	ISSUED FOR PERMITTING/NOT FOR CONSTRUCTION	ISSUE REVISION DESCRIPTION	DATE
2	1	0		

PROJECT: 250 KW DC SOLAR PV DEVELOPMENT  
 500 WAITES CORNER ROAD  
 PLAT 14 LOT 65  
 SOUTH KINGSTOWN, RHODE ISLAND

TITLE: EXISTING CONDITIONS PLAN

ECONOX RENEWABLES, INC.  
 38 WASHINGTON SQUARE  
 NEWPORT, RHODE ISLAND

ANDREW P. VARDAKIS  
 No. 12219  
 REGISTERED PROFESSIONAL ENGINEER

DESIGNED BY: APV  
 CHECKED BY: JH  
 DRAWN BY: APV  
 SCALE: AS SHOWN

PROJECT NUMBER: 365271019.0200  
 DRAWING NUMBER: V-101  
 SHEET NUMBER: 1 OF 3

ISSUED FOR PERMITTING/NOT FOR CONSTRUCTION

UNLESS OTHERWISE AGREED IN A WRITTEN CONTRACT BETWEEN AMEC FOSTER WHEELER AND ITS CLIENT: (i) THIS DOCUMENT CONTAINS INFORMATION, DATA AND DESIGN THAT IS CONFIDENTIAL AND MAY NOT BE COPIED OR DISCLOSED; AND (ii) THIS DOCUMENT MAY ONLY BE USED BY THE CLIENT IN THE CONTEXT AND FOR THE EXPRESS PURPOSE FOR WHICH IT HAS BEEN DELIVERED; ANY OTHER USE OR RELIANCE ON THIS DOCUMENT BY ANY THIRD PARTY IS AT THAT PARTY'S SOLE RISK AND RESPONSIBILITY.



**GENERAL NOTES:**

- PROPERTY OWNER: COTTELL HOMESTEAD, LLC, 500 WAITE CORNER ROAD WEST KINGSTOWN, RHODE ISLAND 02892-1800.
- PLANS HAVE BEEN COMPILED FROM AVAILABLE ONLINE INFORMATION INCLUDING RIGIS AND LIDAR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER, INCLUDING DISCREPANCIES TO ANY CODE/REGULATORY REQUIREMENTS. IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE DRAWINGS. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL, STATE, AND FEDERAL JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM OWNER AND/OR ENGINEER TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED BY THE OWNER, ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH, AND EQUIPMENT AS SPECIFIED. CONTRACTOR SHALL CLEAN AND SUPPLY A ROLL-OFF CONTAINER OR DUMPSTER TO BE EMPTIED AS NEEDED. CLEANING SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM TRASH, DEBRIS, DUST, OR OTHER HAZARDS OF ANY NATURE AT PROJECT COMPLETION.
- DISPOSAL OF ALL MATERIALS SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING FEATURES PRIOR TO THE START OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. CONTRACTOR SHALL VERIFY ACTUAL FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL UTILITIES AND SERVICES THROUGHOUT THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL PROTECT ALL UTILITY LINES THROUGHOUT ALL PHASES OF WORK.
- UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES WITHIN THE PROJECT SITE.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND PIPING AND STRUCTURES PRIOR TO ANY EXCAVATION ACTIVITIES BY CONTACTING THE TOWN OF SOUTH KINGSTOWN AND RHODE ISLAND FOR DIG-SAFE (1-800-DIG-SAFE) SEVENTY TWO (72) HOURS BEFORE STARTING CONSTRUCTION ACTIVITIES FOR LOCATING FIELD MARKING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES THAT MAY NOT BE MARKED BY THE UTILITY COMPANIES. SUBSURFACE CONDITIONS ARE NOT GUARANTEED. THE CONTRACTOR SHALL REPAIR CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AT CONTRACTOR'S EXPENSE.
- UNLESS OTHERWISE NOTED, ALL EXISTING FEATURES DESIGNATED ON THE PLANS ARE TO REMAIN, INCLUDING, BUT NOT LIMITED TO, TREES, SIGNS, FENCING/GATES, AND SIGN POSTS. FEATURES SHALL BE VERIFIED, LOCATED, AND PROTECTED DURING ALL PHASES OF CONSTRUCTION.
- ALL CONSTRUCTION ACTIVITIES MUST BE COMPLETED WITH RESPECT TO THE ONGOING ACTIVITIES OF THE SURROUNDING AREAS. ACCESS ROADWAYS SHALL REMAIN OPEN AND FREE OF DEBRIS AS MUCH AS PRACTICABLE.
- ALL ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC), RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AND THE RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM (RIDDES) CONSTRUCTION GENERAL PERMIT, IF APPLICABLE.
- CONTRACTOR SHALL LIMIT ALL CONSTRUCTION ACTIVITIES TO THE PROPOSED FENCE LINE, LIMITS OF TREE CLEARING (IF REQUIRED), AND THE ELECTRICAL INTERCONNECTION ROUTE.
- CONTRACTOR TO DISABLE AND SECURE ALL EQUIPMENT PRIOR TO DAILY SHUTDOWN. CLIENT IS NOT RESPONSIBLE FOR VANDALISM, OR LOSS DUE TO TRESPASSING.
- JOB SITE OR NEIGHBORHOOD COMPLAINTS OF EXCESSIVE NOISE, VIBRATION, OR ODORS MUST BE COMMUNICATED WITH ENGINEER UPON RECEIPT OF FIRST COMPLAINT EACH PROJECT DAY. CONTRACTOR MUST HAVE CONTINGENCY PLANS FOR EXCESSIVE NOISE AND ODORS AS APPLICABLE.
- SUBJECT PARCEL AND PARCELS IMMEDIATELY ADJACENT LIE IN ZONE X AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON FIRM PANEL 44098C0180H WITH AN EFFECT DATE OCTOBER 19, 2010.

**GRADING, DRAINAGE, AND EROSION CONTROL NOTES:**

- NO VEGETATION SHALL BE DISTURBED EXCEPT AS NECESSARY FOR CONSTRUCTION AND ONLY AS APPROVED BY THE ENGINEER. NO HEAVY EQUIPMENT SHALL BE OPERATED OR STORED AND NO MATERIALS SHALL BE HANDLED OR STORED WITHIN THE DRIP LINES OF UNDISTURBED TREES OR WITHIN 100 FEET FROM THE LIMIT OF STREAMS.
- PERMANENT CONTROLS OR SURFACE STABILIZATION SHALL COMMENCE AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER COMPLETION OF FILLING AND GRADING ACTIVITIES. AREAS WHICH WILL NOT BE REWORKED FOR 14 CALENDAR DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED AS SOON AS IT IS KNOWN WITH REASONABLE CERTAINTY THAT WORK WILL BE STOPPED FOR AT LEAST 14 CALENDAR DAYS.
- CONSTRUCT TEMPORARY EROSION CONTROLS AS SHOWN ON THE DRAWINGS PRIOR TO STARTING WORK. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING CONSTRUCTION. WHEN LAND IS EXPOSED DURING CONSTRUCTION, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS IF APPLICABLE.
- SILT FENCE SHALL BE INSTALLED AND MAINTAINED WHERE SHOWN. ADDITIONAL PERIMETER CONTROLS SHALL BE ADDED AS REQUIRED BY THE ENGINEER PRIOR TO ANY ON SITE DISTURBANCE OF EXISTING SURFACE MATERIAL. SILT FENCE SHALL BE MAINTAINED DURING AND AFTER CONSTRUCTION TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING CONSTRUCTION. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN ITS DEPTH REACHES 50% OF THE HEIGHT OF THE FENCE. REPLACE DAMAGED SILT BARRIERS AS REQUIRED BY THE ENGINEER AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. WHERE POSSIBLE, NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE CLEAN EXCESS SURFACE WATER.
- ALL LOCATIONS OF TEMPORARY EROSION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DIRECTED BY THE ENGINEER, AND SHALL BE REPLACED IF NECESSARY.
- TEMPORARY EROSION AND SEDIMENT CONTROL BMPs (INCLUDING SILT FENCE AND CONSTRUCTION ENTRANCE) SHALL BE REMOVED WITHIN 30 CALENDAR DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMPs ARE NO LONGER NEEDED AS DETERMINED BY THE ENGINEER. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL RESULTING FROM REMOVAL OF BMPs OR VEGETATION SHALL BE PERMANENTLY STABILIZED (95% VEGETATION DENSITY).
- EXISTING CONTOUR LINES ARE SHOWN BASED ON GIS AND LIDAR DATA. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS OF THEIR INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
- STORMWATER DRAINAGE SHALL BE CONTROLLED ON-SITE, SUCH THAT THERE IS NO CHANNELIZED FLOW OF RUNOFF.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS AND WHEREVER CONSTRUCTION TRAFFIC ENTERS AND LEAVES THE SITE. EXISTING CONSTRUCTION ENTRANCES SHALL BE INSPECTED AND MAINTAINED.
- THE EROSION CONTROL DEVICES SHOWN ON THE DRAWING REPRESENT THE MINIMUM REQUIRED FOR EROSION CONTROL AND SHALL BE INSTALLED AS REQUIRED. THE CONTRACTOR SHALL ADD TO THESE DEVICES ANY AND ALL MEASURES AS REQUIRED BY THE ENGINEER TO EFFECTIVELY PREVENT EROSION AND MIGRATION OF SEDIMENT FROM THE WORK AREA.
- EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER. IF EROSION IS OBSERVED ALONG THE LOWER EDGE OF THE SOLAR PANEL ARRAY ("DRIP EDGE"), EROSION CONTROL MATTING SHALL BE INSTALLED ALONG THE LENGTH OF THE DRIP EDGE.
- EXCESS SOILS REMOVED FOR UNDERGROUND ELECTRICAL CONDUIT SHALL BE REUSED FOR TRENCH BACKFILL AND SHALL BE BACKFILLED THE SAME DAY OF EXCAVATION. SOILS EXCAVATED FROM TRENCH SHALL BE PLACED ON THE UPGRADIENT SIDE OF THE TRENCH TO MITIGATE THE POTENTIAL FOR EROSION BEYOND THE TRENCH. BACKFILLED TRENCH SURFACE SHALL BE MULCHED PRIOR TO VEGETATIVE GROWTH IF NECESSARY TO PREVENT EROSION.

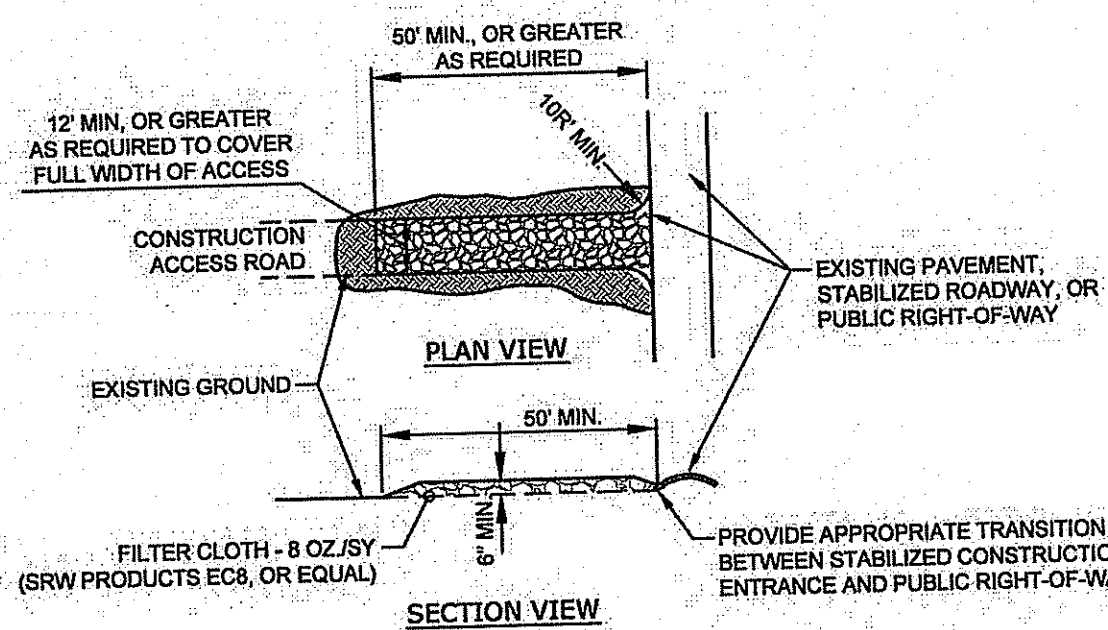
**DUST CONTROL:**

- CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED SO THAT A MINIMUM OF DISTURBED SOIL IS EXPOSED AT ONE TIME.
- DUST SHALL BE CONTROLLED ON CONSTRUCTION ROUTES AND OTHER DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND DUST BLOWING.
- MAINTAIN DUST CONTROL MEASURES PROPERLY THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- DUST CONTROL METHODS SHALL INCLUDE VEGETATIVE COVER, MULCH (INCLUDING GRAVEL MULCH), WATER SPRINKLING, STONE, AND BARRIERS.
- VEGETATIVE COVER - FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.
- MULCH (INCLUDING GRAVEL MULCH) - WHEN PROPERLY APPLIED, MULCH OFFERS A FAST, EFFECTIVE MEANS OF CONTROLLING DUST.
- SPRINKLING - THE SITE MAY BE SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. SPRINKLING IS ESPECIALLY EFFECTIVE FOR DUST CONTROL ON HAUL ROADS AND OTHER TRAFFIC ROUTES.
- STONE - USED TO STABILIZE CONSTRUCTION ROADS; CAN ALSO BE EFFECTIVE FOR DUST CONTROL.
- BARRIERS - A BOARD FENCE, WIND FENCE, SEDIMENT FENCE, OR SIMILAR BARRIER CAN CONTROL AIR CURRENTS AND BLOWING SOIL. ALL OF THESE FENCES ARE NORMALLY CONSTRUCTED OF WOOD AND THEY PREVENT EROSION BY OBSTRUCTING THE WIND NEAR THE GROUND AND PREVENTING THE SOIL FROM BLOWING OFFSITE.

**SEEDING AND REVEGETATION PLAN:**

UPON COMPLETION OF SITE CONSTRUCTION, ALL AREAS PREVIOUSLY DISTURBED SHALL BE TREATED AS STATED BELOW PER THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (RI SESC). THESE AREAS WILL BE CLOSELY MONITORED BY THE CONTRACTOR UNTIL SUCH TIME AS A SATISFACTORY GROWTH OF VEGETATION IS ESTABLISHED. SATISFACTORY GROWTH SHALL MEAN APPROXIMATELY 95% OF THE AREA IS VEGETATED WITH VIGOROUS GROWTH.

- DISTURBED AREAS SHALL BE PREPARED FOR SEEDING BY RAKING 3-4" OF THE GROUND SURFACE TO LOOSEN THE EXISTING SOIL.
- SLOW RELEASE FERTILIZER SHALL BE APPLIED AT A 10-20-20 PROPORTION AT A RATE NOT TO EXCEED 1,600 LBS. PER ACRE. GROUND LIMESTONE SHALL BE APPLIED AT A RATE OF 1-3 TONS PER ACRE DEPENDING ON SOIL TYPE AS SPECIFIED IN THE RI SESC.
- HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE FOR MAXIMUM MOISTURE RETENTION RESULTS. CELLULOSE FIBER MULCH APPLICATION RATE SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- DISTURBED AREAS SHALL BE SEEDED USING THE FOLLOWING MIX OR OTHER APPROVED MIX AS DIRECTED BY THE OWNER AND ENGINEER DEPENDING ON THE TIME OF YEAR AND AMOUNT OF SEEDING REQUIRED:  
  
AT THE RATE OF 3.5 LBS. PER 1,000 SQ. FT. OF THE FOLLOWING MIXTURE: KENTUCKY BLUE GRASS (0.5LB/1,000 SF), CREEPING RED FESCUE (2.5 LB/1,000 SF), PERENNIAL RYE GRASS (0.5 LB/1,000 SF). SEEDING METHODS MAY BE DRILL SEEDINGS, BROADCASTS AND ROLLED, CULTIPACKED, OR TRACKED WITH A SMALL TRACK PIECE OF CONSTRUCTION EQUIPMENT.
- SEEDING FOR NON-NATIVE SPECIES SHALL BE COMPLETED BETWEEN THE DATES OF APRIL 1 THROUGH JUNE 1 AND AUGUST 15 THROUGH SEPTEMBER 30. SEEDING FOR NATIVE SPECIES SHALL BE COMPLETED IN AUGUST AND SEPTEMBER. WATERING MAY BE REQUIRED DURING DRY PERIODS.
- IF FINAL SEEDING OF THE DISTURBED AREA IS NOT COMPLETED BY OCTOBER 1ST OF THE YEAR OF CONSTRUCTION THEN TEMPORARY VEGETATIVE COVER SHALL BE INSTALLED PER THE RI SESC.
- STEEP SLOPES (3:1 AND STEEPER) SHALL BE STABILIZED BY INSTALLING EROSION CONTROL MATTING (E.G., NORTH AMERICAN GREEN OR EXCELSIOR).
- INSPECT SEEDED AREAS FOR FAILURE AND MAKE NECESSARY REPAIRS AND RESEED IMMEDIATELY. CONDUCT A FOLLOW-UP SURVEY AFTER ONE YEAR AND RESEED WHERE NECESSARY.
- IF THERE ARE AREAS WITH LESS THAN 40% COVER, REEVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. IF THE SEASON PREVENTS RESEEDING, MULCH OR JUTE NETTING IS AN EFFECTIVE TEMPORARY COVER.
- LIME AND FERTILIZE THEREAFTER AT PERIODIC INTERVALS, AS NEEDED.
- ALL SEDIMENT CONTROL STRUCTURES WILL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED. ESTABLISHED MEANS APPROXIMATELY 95%, AS DETERMINED BY CONSTRUCTION INSPECTOR, OF THE AREA IS VEGETATED WITH VIGOROUS GROWTH.



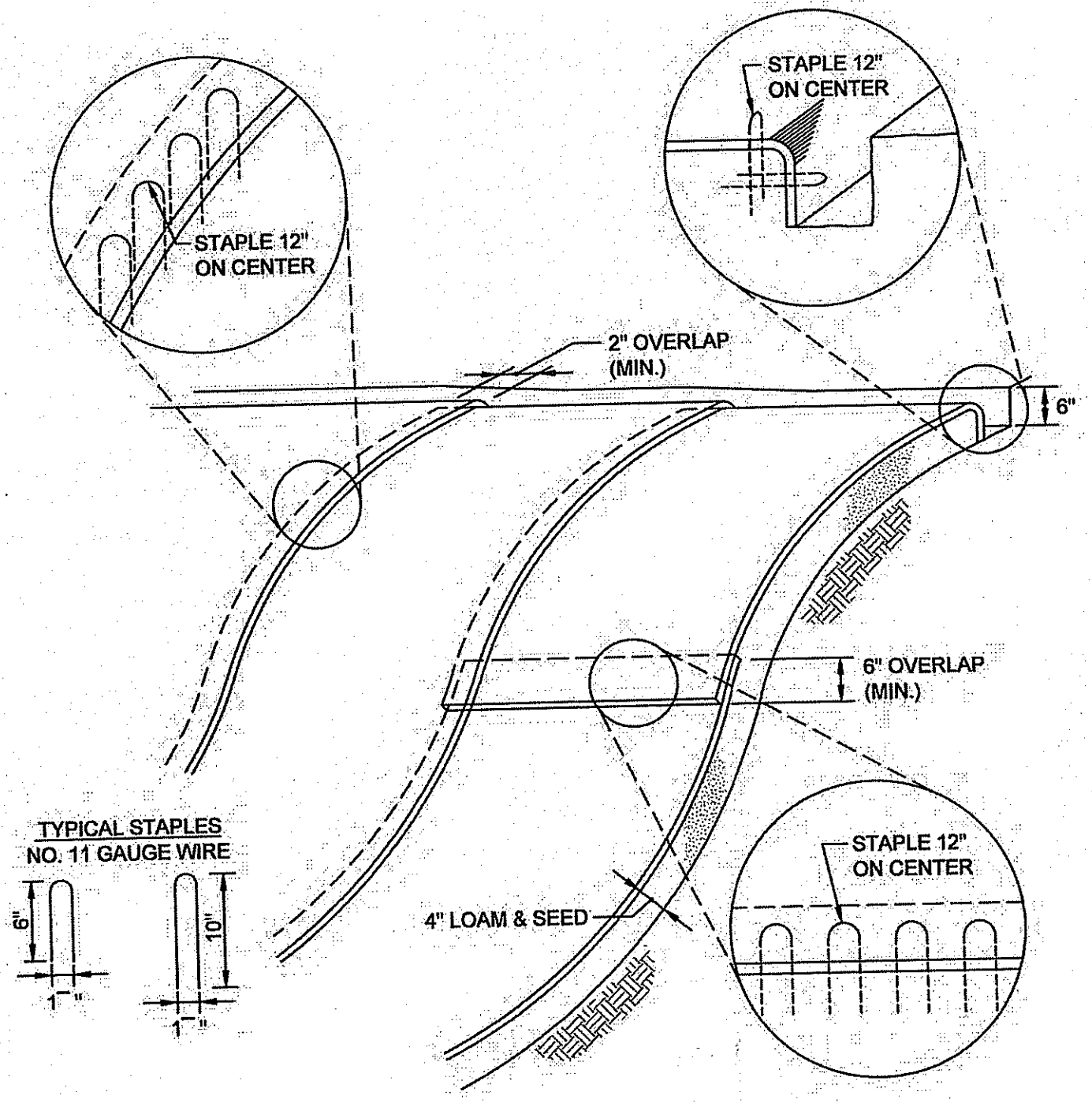
**NOTES:**

- STONE SIZE - TO BE 1"-3" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FT.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FT. MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS OR BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SIDE SLOPES WILL BE PERMITTED.
- FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - IF WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE

1



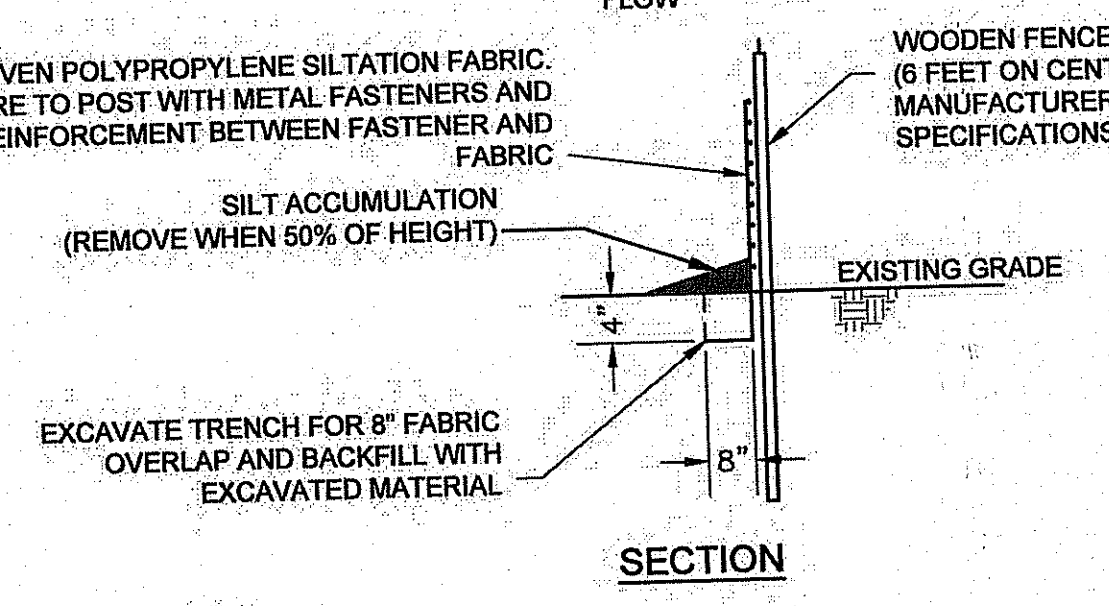
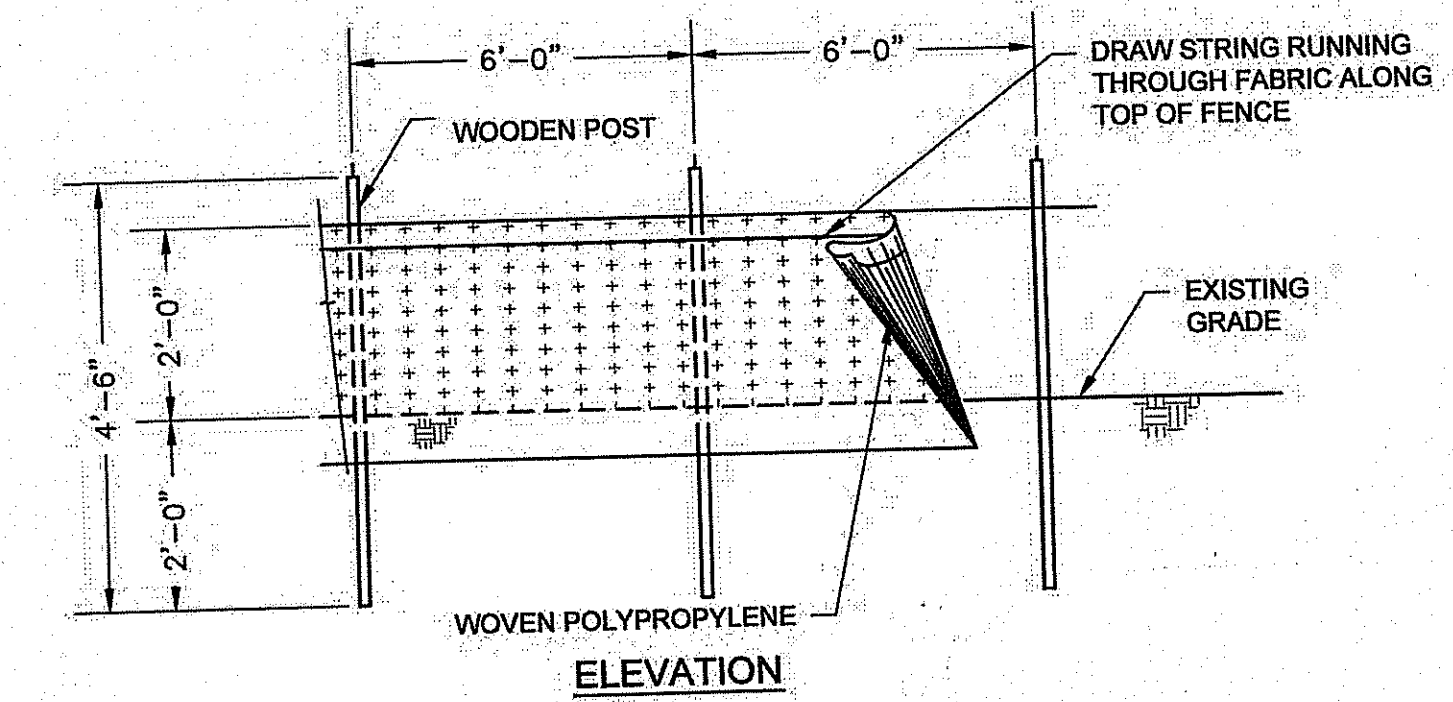
**NOTES:**

- BEGIN AT THE TOP OF MATTING INSTALLATION AREA BY ANCHORING MATTING IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
- ROLL THE MATTING DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
- THE EDGES OF MATTINGS MUST BE STAPLED WITH A MINIMUM OF 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
- WHEN MATTINGS MUST BE SPLICED DOWN THE SWALE, PLACE MATTING END OVER END WITH 6 INCH (MIN) OVERLAP AND ANCHOR DOWN SLOPE MATTING IN A 6 INCH DEEP TRENCH.
- EROSION CONTROL MATTING SHALL BE INSTALLED ON STEEP SLOPES (3:1 AND STEEPER) AND MANUFACTURED BY NORTH AMERICAN GREEN, EXCELSIOR, OR APPROVED EQUAL.

**EROSION CONTROL MATTING SLOPE INSTALLATION**

NOT TO SCALE

3

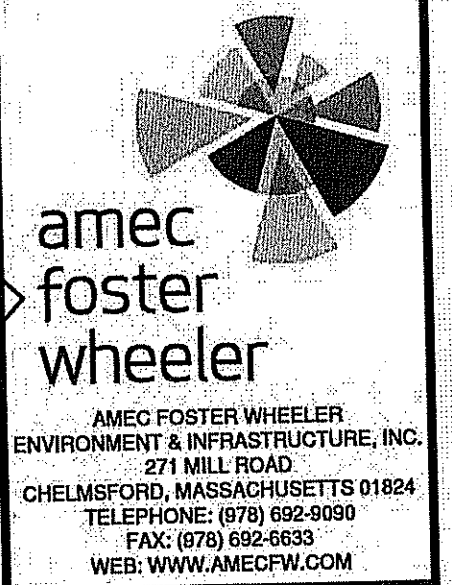
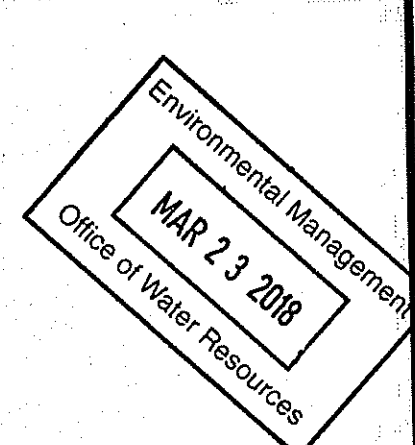


NOTE: SEE MANUFACTURER'S SPECIFICATION FOR REINFORCEMENT REQUIREMENTS.

**SILT FENCE**

NOT TO SCALE

2



ISSUED FOR	DATE	BY	REVISION
ISSUED FOR TOWN PRELIMINARY PLAN FRESHWATER WETLANDS	03/06/2018	JH	1
REVISED PER TOWN COMMENTS	03/06/2018	JH	2
ISSUED FOR PERMITTING/NOT FOR CONSTRUCTION	01/02/2018	DWP	0
ISSUE/REVISION DESCRIPTION			

PROJECT: 250 KW DC SOLAR PV DEVELOPMENT  
500 WAITES CORNER ROAD  
PLAT 14 LOT 65  
SOUTH KINGSTOWN, RHODE ISLAND 02892  
TITLE: NOTES AND DETAIL PLAN

CLIENT: ECONOX RENEWABLES, INC.  
48 WATERFIELD ROAD  
WINCHESTER, MASSACHUSETTS 01890

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED MAY 30 2018 FILE # 18-0052  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Antonia B. Wenczek*

ANDREW P. VARDAKIS  
No. 12219  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

DESIGNED BY: APV  
CHECKED BY: JH  
PROJECT NUMBER: 3652170119.0200  
DRAWING NUMBER: C-501  
SHEET NUMBER: 3 OF 3

ISSUED FOR PERMITTING/NOT FOR CONSTRUCTION