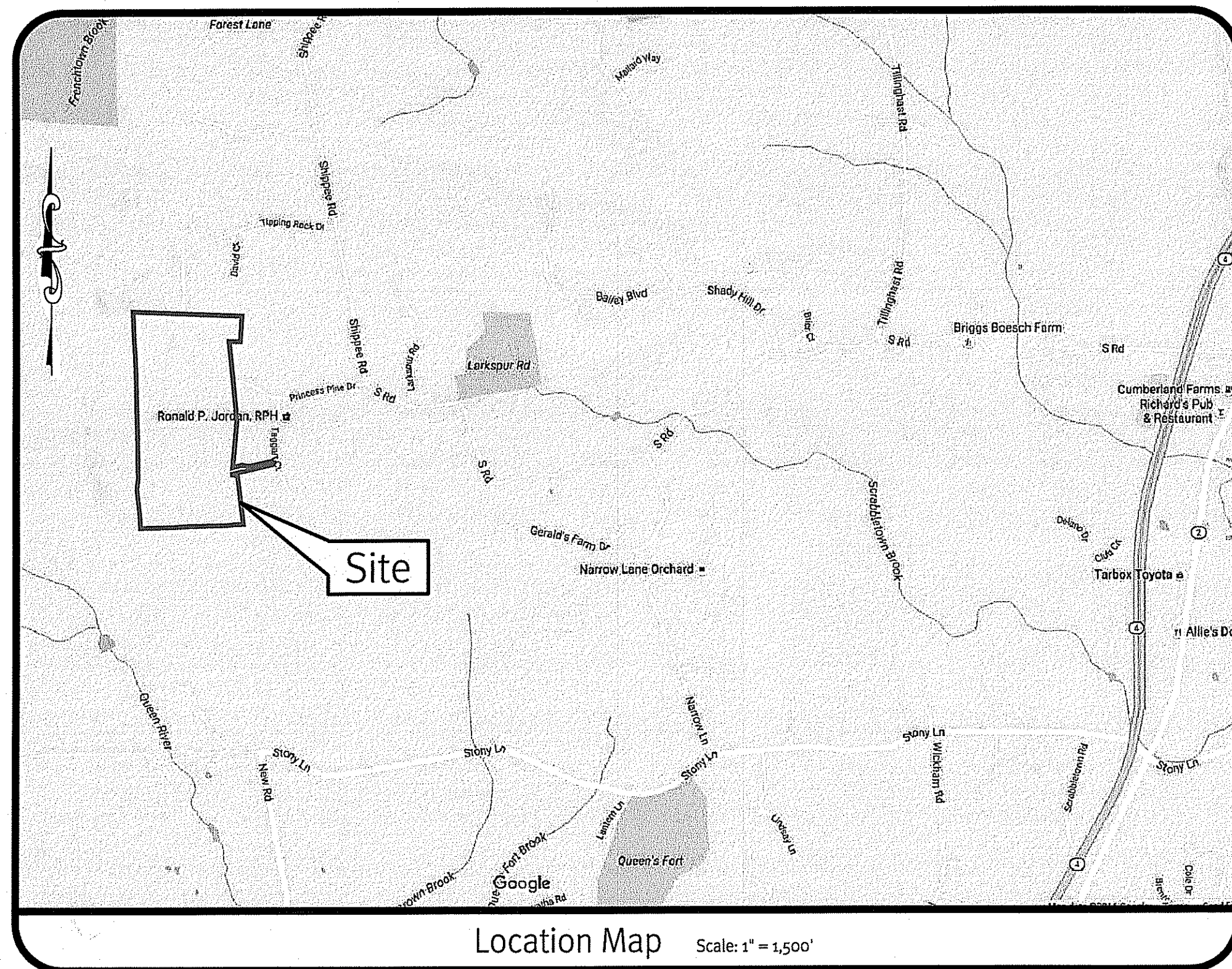


RIDEM Submission

Highland Woods

East Greenwich, Rhode Island 02818

Assessor's Map 7, Plat 19, Lots 12 & 156



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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WATER QUALITY DIVISION
 APPROVED WITH COMMENTS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED SEP 12 2018 FILE # 18-0079
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Hester

Environ. Civil Management
 JUL 27 2018

Cover Sheet
 Highland Woods
 Assessor's Map 7 Plat 19, Lots 12 & 156
 East Greenwich, Rhode Island 02818
 Owner & Applicant
GSA Properties, LLC
 50 Nantic Avenue
 Providence, Rhode Island 02907

MATHEW S CAULFIELD
 No. 12078
 REGISTERED PROFESSIONAL CIVIL ENGINEER

JASON P. CLOUGH
 No. 11010
 REGISTERED PROFESSIONAL CIVIL ENGINEER

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	Drawn By: J.A.R.	Design By: A.D.O.
1	7/26/2018	RIDEM Reapplication		
2	08/09/2018	Initial Set		
3	08/25/2018	Master Plan Submission		
4	09/23/2018	Pre-application Submission		

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DE Job No: 2406-001-001. Copyright 2018 by DiPrete Engineering Associates, Inc.

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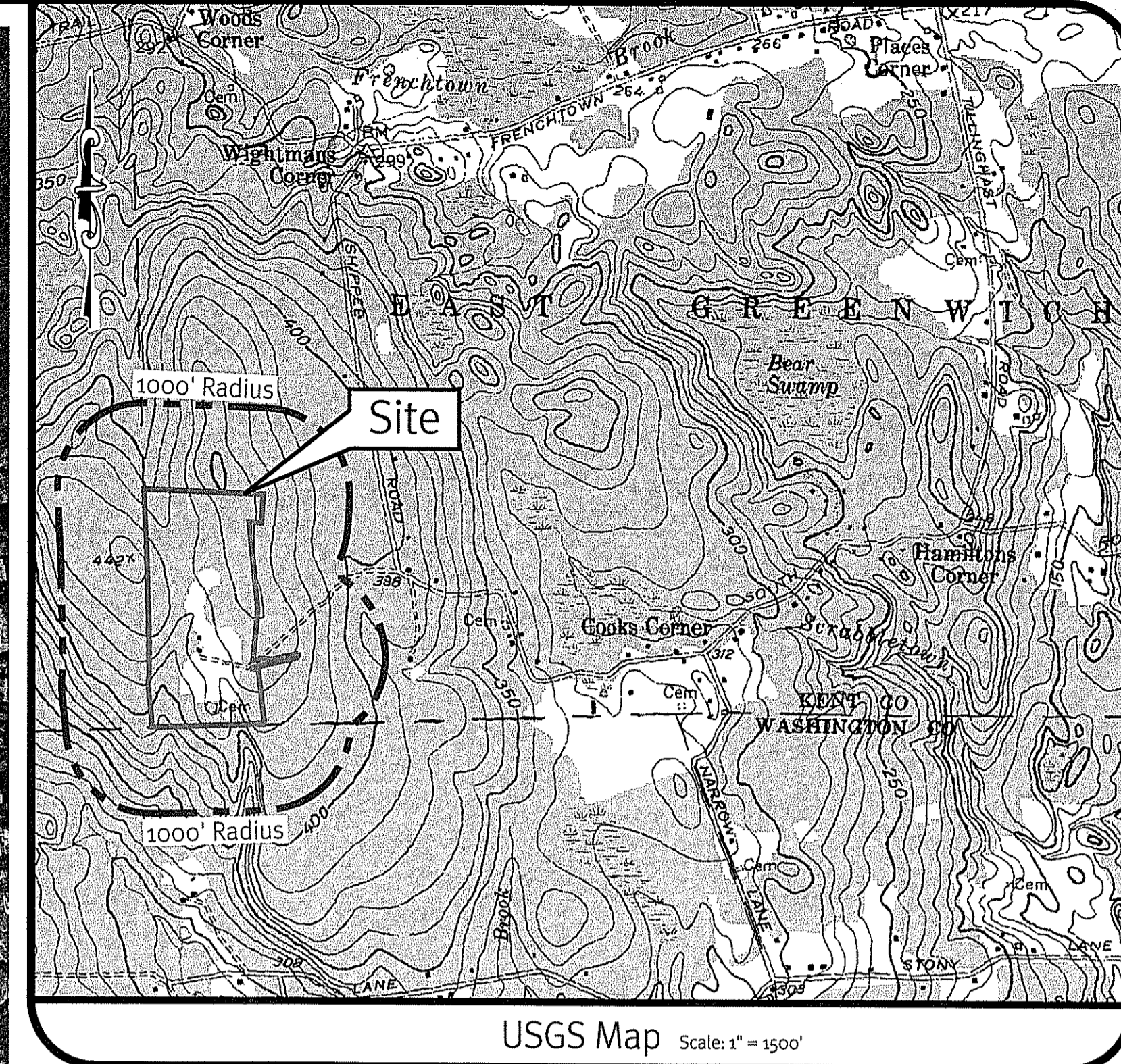
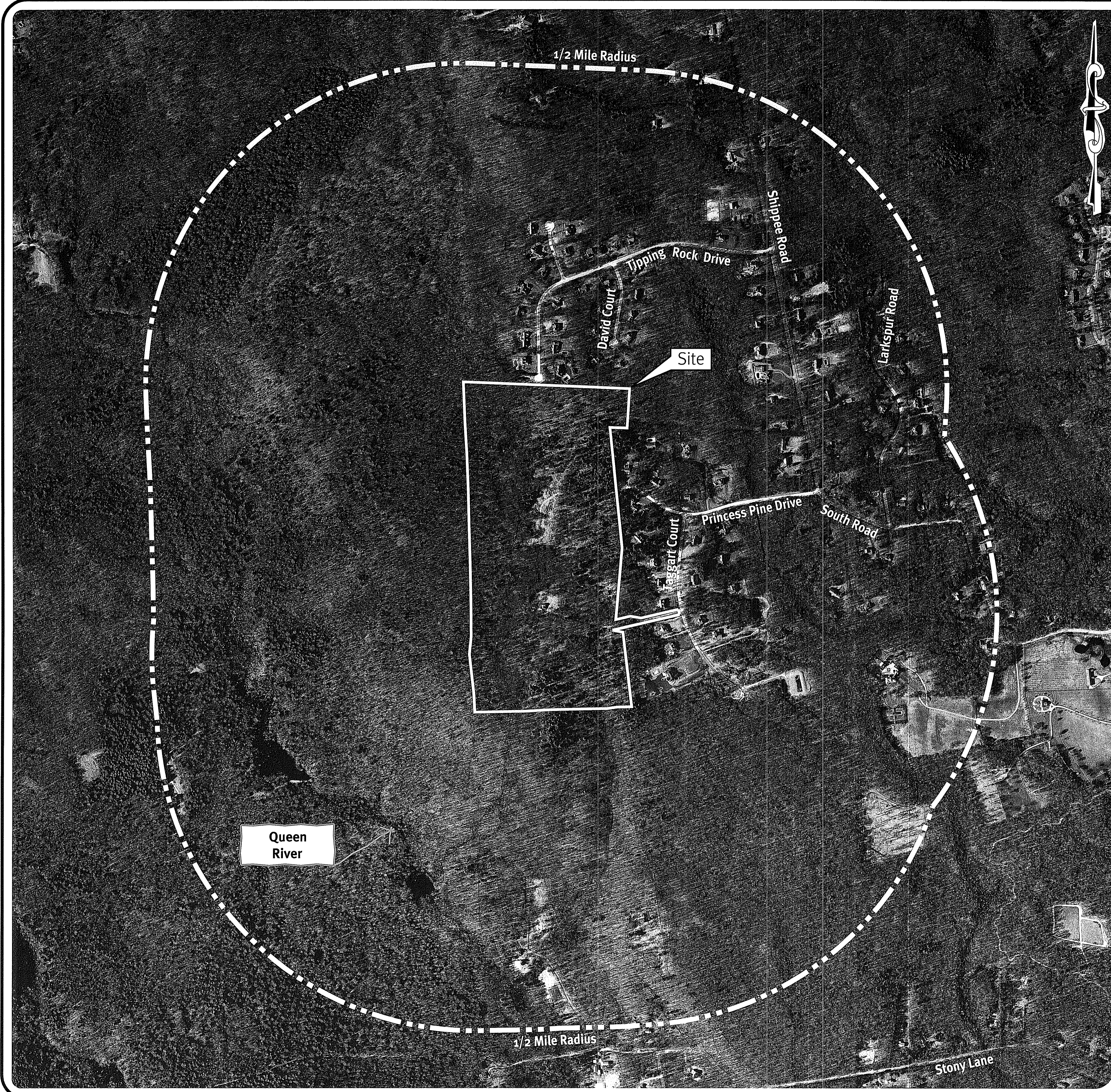
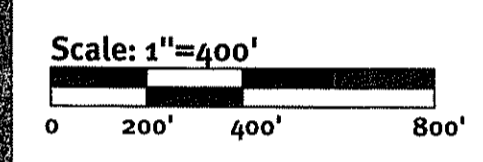


Photo obtained from the RI-GIS.



Environmental Management
JUL 27 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
AS OF JUL 12 2018
DATED 18-0079
NO CHANGES
APPROVED PLAN
Charles A. Haber

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com
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MATTHEW S CAULFIELD
No. 12079
REGISTERED PROFESSIONAL ENGINEER
CIVIL

JASON P. CLOUGH
No. 12124
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction and signed by a DiPrete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By
3	2-26-2018	RI-001 Resubmission	M.S.C.
2	04-02-2018	Final Plan	J.A.R.
1	08-25-2017	Major Plan Submission	J.A.R.
0	07-21-2016	Pre-Application Submission	J.A.R.

Drawn By: J.A.R. Design By: A.D.O.

**Aerial Half Mile Radius
Highland Woods**
Associates, Map 7 Plat 19, Lots 12, 13, 14, 15
East Greenwich, Rhode Island 02838
GSA Properties, LLC
50 Nantux Avenue
Providence, Rhode Island 02907

DE File No: 2406-001-A01 Copyright 2018 by DiPrete Engineering Associates, Inc.

General Notes:

- 1. THE SITE IS LOCATED ON THE TOWN OF EAST GREENWICH ASSESSOR'S MAP 7 PLAT 19 LOTS 12 AND 156.
2. THE SITE IS APPROXIMATELY 78.7± ACRES AND IS ZONED F-2.
3. THE OWNER OF ASSESSOR'S MAP 7 PLAT 19 LOTS 12 AND 156 IS:
GSA PROPERTIES, LLC
50 NANTIC AVENUE
PROVIDENCE, RI 02907
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 4400300231G, MAP REVISED DECEMBER 3, 2010.
5. TOPOGRAPHY WAS OBTAINED FROM LIDAR MAPS. ELEVATIONS ARE APPROXIMATE AND REFERENCED TO THE MTD 83 US FEET DATUM. PRIOR TO ANY DEVELOPMENT ON THE SITE, THE OWNER SHALL VERIFY ELEVATIONS USING FIELD SURVEY.
6. SOIL MAPPING OBTAINED FROM WEBSOIL SURVEY, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.
7. THIS SURVEY AND PLAN CONFORMS TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
8. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREAS (RIDEM)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
PRIME FARMLAND (USDA)
9. WETLANDS WERE DELINEATED BY ECOTONES INC. AND SURVEYED BY ALPHA ASSOCIATES. DIPRETE ENGINEERING REFLAGGED BY SURVEY ONLY FOR WETLAND EDGE VERIFICATION.
10. WETLAND EDGE VERIFICATION REQUESTED FLAGS A100-A154, B111-119, C89-C118 AND D1-D5 ONLY. RIDEM VERIFIED THE WETLAND EDGE UNDER RIDEM APPLICATION NO. 16-0198.
11. HISTORIC CEMETERY 70 WAS FOUND TO BE WITHIN THE SITE LIMITS.
12. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION
• OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION
13. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
14. DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
15. THE SITE IS TO BE SERVICED BY PRIVATE WELL AND PRIVATE OWTS.
16. PROPOSED RIGHTS OF WAY ARE TO BE 44' WIDE WITH 24' WIDE PAVEMENT (12' TRAVEL LANES AND CONCRETE CURB ON EACH SIDE).
17. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF EAST GREENWICH SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, PIPE NETWORK, AND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
18. THE SITE IS PROPOSED TO BE BUILT IN 2 PHASES AND HOMES ARE PROPOSED TO BE 3,000 SF MINIMUM WITH 4 BEDROOMS.
19. AFFORDABLE UNITS ARE PROPOSED TO BE PROVIDED BY OWNERS AT ANOTHER LOCATION.
20. THIS PROJECT PREVIOUSLY RECEIVED MASTER PLAN APPROVAL AS "FRENCHTOWN HIGHLANDS".
21. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
22. THE SITE IS TO BE SERVICED BY PUBLIC UNDERGROUND UTILITIES WITHIN THE RIGHT OF WAY.

Development Data:

Table with 2 columns: Description and Value. Includes: TOTAL SITE AREA: 78.7± ACRES; TOTAL NUMBER OF LOTS: 25; TOTAL LOT AREA: 74.1± ACRES; AVERAGE LOT AREA: 2.9± ACRES; RIGHT OF WAY AREA: 4.6± ACRES; LENGTH OF ROAD: 4,283±; PAVEMENT WIDTH: 24'

Dimensional Regulations:

Table with 2 columns: Regulation and Value. Includes: CURRENT ZONING: F-2; MINIMUM LOT AREA: 87,120 SF; MINIMUM BUILDABLE AREA (M.B.A.): 42,750 SF; MINIMUM FRONTAGE AND LOT WIDTH: 150'; MINIMUM FRONT YARD: 60'; MINIMUM SIDE YARD: 30'; MINIMUM REAR YARD: 45'; MAXIMUM STRUCTURE HEIGHT: 35'; MAXIMUM LOT COVERAGE: 60%

* MINIMUM BUILDABLE AREA: THE AMOUNT OF LAND REQUIRED BY ZONE TO CONSTITUTE THE BUILDING ENVELOPE FOR EACH LOT. THE MINIMUM BUILDABLE AREA IS DEFINED BY TAKING THE MINIMUM LOT SIZE FOR A ZONE AND SUBTRACTING THE REQUIRED SETBACKS. THE M.B.A. SHALL BE FREE OF ALL WETLANDS, DRAINAGE STRUCTURES OR OTHER FEATURES, WHICH WOULD IMPAIR ITS USE FOR PURPOSES ALLOWED UNDER THE ZONING ORDINANCE. THE M.B.A. MUST BE CONTIGUOUS.

Soil Erosion and Sedimentation Control Notes:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL, TEMPORARY SWALES, TEMPORARY SEDIMENTATION PONDS, ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION AND THE SOIL EROSION SEDIMENTATION CONTROL PLAN (SESC).
3. TEMPORARY SWALES SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED ROADWAY. TEMPORARY SWALES SHALL BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS SHALL BE INSTALLED IF NECESSARY TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES SHALL BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE SHALL BE PER THE DESIGN PLANS.
4. INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
5. SEE SESC PLAN FOR SEQUENCE OF CONSTRUCTION ACTIVITY.
6. SEE SESC PLAN FOR PROJECT PHASING.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
8. FOR CONSTRUCTION PHASING SEE SESC PLAN.

Demolition Notes:

- 1. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE. ONLY PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 IN MA, ME, NH, RI & VT PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON TAGGART COURT.
4. ANY DAMAGE TO EXISTING BUILDINGS AND/OR PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS TO INCLUDE BUT NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK SHALL BE RESTORED TO MATCH THE DESIGN PLANS.

As-Built Notes:

- 1. ALL COMPONENTS OF THE DRAINAGE MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDEM Site Suitability Notes:

- 1. THERE ARE NO KNOWN EXISTING OR PROPOSED PRIVATE WELLS WITHIN 200 FT. OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
2. THERE ARE NO KNOWN EXISTING OR PROPOSED OWTS WITHIN 200 FT. OF THE DEVELOPMENT EXCEPT WHERE SHOWN.
3. THERE ARE NO KNOWN PUBLIC WELLS WITHIN 500 FT. OF THE PROPOSED DEVELOPMENT.
4. THERE ARE NO KNOWN EXISTING OR PROPOSED WELLS WITHIN 200 FT. OF A PROPOSED OWTS EXCEPT WHERE SHOWN.
5. RESIDENTIAL HOMES ARE TO BE SERVICED BY PRIVATE WELLS AND OWTS.
6. SOIL EVALUATIONS, WERE COMPLETED BY DIPRETE ENGINEERING ON JANUARY 16-19, 2018.

Layout and Materials:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. INTERSECTION FILLET CURVE PAVEMENT/CURB RADI TO BE 25 FEET MINIMUM.
3. CURBING SHALL BE PRECAST CONCRETE.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Grading and Utility Notes:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONSTRUCTION TO COMMENCE SUMMER 2018 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
4. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF EAST GREENWICH STANDARD SPECIFICATIONS AND DETAILS.
5. SEQUENCE OF CONSTRUCTION SHOWN IN SESC MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING(S). THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
8. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
9. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
10. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
11. ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
12. ALL COMPONENTS OF THE DRAINAGE SYSTEM MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
13. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
14. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
15. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ON SITE OR REMOVED.
16. NO STUMP DUMPS ARE PROPOSED ON SITE.
17. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE. ONLY PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233 IN MA, ME, NH, RI & VT, PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
18. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.
19. ALL DRAINAGE PIPE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE SHALL BE WATER TIGHT, INCLUDING WATER TIGHT SEALS/BOOTS AT DRAINAGE STRUCTURE CONNECTIONS.

DRAINAGE
ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY TO BE REINFORCED CONCRETE PIPE (RCP) PIPE.
DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• CATCH BASINS ALONG CURBING TO BE RIDOT STD. 4.4.0, TYPE F FRAME, 4' DIAMETER WITH APRON STONE.
• CATCH BASINS NOT ALONG CURBING TO BE RIDOT STD 4.4.0, 4' DIAMETER
• SINGLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
• DOUBLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
• HIGH CAPACITY CATCHBASIN GRATES TO BE RIDOT STD 6.3.4 AND INSTALLED ANYWHERE GRATES ARE 6% AND STEEPER
• MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
• DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1
• DROP INLETS TO BE RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2.
• APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.
• HEADWALLS TO BE RIDOT STD 2.1.0.

Soil Information:

(REFERENCE: WEBSOIL SURVEY OF RHODE ISLAND, U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE.

Table with 2 columns: SOIL NAME and DESCRIPTION. Includes: BnB BRIDGEHAMPTON-CHARLTON COMPLEX, VERY STONY, 0 TO 8 PERCENT SLOPES; ChD CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 15 TO 25 PERCENT SLOPES; NbB NARRAGANSETT VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES; Rf RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS; WcB WAPPING VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES

Plan Reference:

CLASS I PROPERTY LINE SHOWN ON THESE PLANS ARE FROM BOUNDARY SURVEY AND PLAN COMPLETED BY DIPRETE ENGINEERING, DATED 12-16-2016.

State Permits Received:

WETLAND VERIFICATION APPLICATION NUMBER 16-0198

Abbreviations Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Abbreviation and Description. Includes: ADA AMERICANS WITH DISABILITY ACT; AP ASSESSOR'S PLAT; BC BOTTOM OF CURB; BT BOTTOM OF TESTHOLE; BIT BITUMINOUS (BERM); BIO BIODETENTION; BS BASEMENT SLAB ELEVATION; BW FINISHED GRADE AT BOTTOM OF WALL; CB CATCH BASIN; (C) CALCULATED; @ CENTERLINE; (CA) CHORD ANGLE; CLDIP CONCRETE LINED DUCTILE IRON PIPE; CO CLEAN OUT; CONC CONCRETE; (D) DEEP; DCB DOUBLE CATCH BASIN; DI DROP INLET; DMH DRAINAGE MANHOLE; DP DETENTION POND; ELEV ELEVATION; EOP EDGE OF PAVEMENT; ESC EROSION AND SEDIMENT CONTROL; EX EXISTING; FES FLARED END SECTION; FFE FINISH FLOOR ELEVATION; GS GARAGE SLAB ELEVATION; GWT GROUND WATER TABLE; HW HEADWALL; HC HIGH CAPACITY CATCH BASIN GRATE; HDPE HIGH DENSITY POLYETHYLENE; ID INLINE DRAIN; INV INVERT; INF INFILTRATION POND; LF LINEAR FEET; LOD LIMIT OF DISTURBANCE; LP LIGHT POLE; M.B.A. MAXIMUM BUILDABLE AREA; (M) MEASURED; N/F NOW OR FORMERLY; OHW OVERHEAD WIRE; PE POLYETHYLENE; PP PROPERTY LINE; PR PROPOSED; PVC POLYVINYL CHLORIDE; R RADIUS; R&D REMOVE AND DISPOSE; RCP REINFORCED CONCRETE PIPE; RHIB RHODE ISLAND HIGHWAY BOUND; RL ROOF LEADER; ROW RIGHT OF WAY; S SLOPE; SD SUBDRAIN; SED SEDIMENT FOREBAY; SF SQUARE FOOT; SFL STATE FREEWAY LINE; SFM SEWER FORCE MAIN; SG SLAB ON GRADE ELEVATION; SHL STATE HIGHWAY LINE; SMH SEWER MANHOLE; SNDF SAND FILTER; SS DRAINAGE LINE; STA STATION; TC TOP OF CURB; TD TRENCH DRAIN; TF TOP OF FOUNDATION; TRANS TRANSITION; TW TOP OF WALL (FINISHED); GRADE AT TOP OF WALL); TYP TYPICAL; UDS UNDERGROUND DETENTION SYSTEM; UIS UNDERGROUND INFILTRATION SYSTEM; UP UTILITY POLE; WQ WALKOUT ELEVATION; WQ WATER QUALITY

Existing Legend

(AS SHOWN ON PROPOSED PLANS)

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Symbol and Description. Includes: PROPERTY LINE; ASSESSOR'S LINE; BUILDING; BRUSHLINE; TREE LINE; GUARDRAIL; FENCE; RETAINING WALL; STONE WALL; MINOR CONTOUR LINE; MAJOR CONTOUR LINE; WATER LINE; SEWER LINE; SEWER FORCE MAIN; GAS LINE; ELECTRIC LINE; OVERHEAD WIRES; DRAINAGE LINE; SOILS LINES; 50' PERIMETER WETLAND; 100' RIVERBANK WETLAND; 200' RIVERBANK WETLAND; FEMA BOUNDARY; STREAM; WETLAND LINE & FLAG; NAIL FOUND/SET; DRILL HOLE FOUND/SET; BOUND FOUND/SET; SIGN; BOLLARD; SOIL EVALUATION; CATCH BASIN; DOUBLE CATCH BASIN; DRAINAGE MANHOLE; FLARED END SECTION; GUY POLE; ELECTRIC MANHOLE; UTILITY/POWER POLE; LIGHTPOST; SEWER/SEPTIC MANHOLE; SEWER VALVE; CLEANOUT; HYDRANT; IRRIGATION VALVE; WATER VALVE; WELL; MONITORING WELL; UNKNOWN MANHOLE; GAS VALVE; BENCH MARK; STREAM FLOW DIRECTION

Proposed Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Symbol and Description. Includes: PROPERTY LINE; BUILDING SETBACKS; TREELINE; PHASE LINE; GUARDRAIL (RIDOT STD 34.2.0, 34.4.0 OR APPROVED EQUAL); BOULDER RETAINING WALL; RETAINING WALL; MINOR CONTOUR LINE; MAJOR CONTOUR LINE; SPOT ELEVATION; EDGE OF PAVEMENT; BITUMINOUS BERM (RIDOT STD 7.5.1); CONCRETE CURB (RIDOT STD 7.1.0); BUILDING FOOTPRINT; BUILDING OVERHANG; ASPHALT PAVEMENT; HEAVY DUTY ASPHALT PAVEMENT; HEAVY DUTY CONCRETE; CONCRETE APRON; ASPHALT SIDEWALK; SAWCUT LINE; CONSTRUCTION ENTRANCE; SIGN (RIDOT STD 24.6.2 AS APPLICABLE); SINGLE LIGHT; DOUBLE LIGHT; OVERHANGING LIGHT; ACCESSIBLE PARKING SPACE SYMBOLS; DRAINAGE LINE; PERFORATED SUBDRAIN; SEWER FORCE MAIN; GAS LINE; WATER LINE; HYDRANT ASSEMBLY; WATER SHUT OFF; WATER VALVE; THRUST BLOCK; SEWER LINE; OVERHEAD WIRE; ELECTRIC, TELEPHONE, CABLE LINE; LIMIT OF DISTURBANCE - NO EROSION CONTROL; SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL AT LIMIT OF DISTURBANCE; 2:1 OR 1:1 SLOPES; UNDERGROUND INFILTRATION OUTLINE; POND ACCESS; RIP RAP; SAND FILTER; BIO RETENTION; CATCH BASIN; DOUBLE CATCH BASIN; MANHOLE; FLARED END SECTION; HEAD WALL; Environmental Management; JUL 27 2018; Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLAND PERMITS
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE DEVELOPMENT PLAN
DATED SEP 12 2018 FILE # 18-0079
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Charles A. Harter

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-641-6006 www.diprete-eng.com

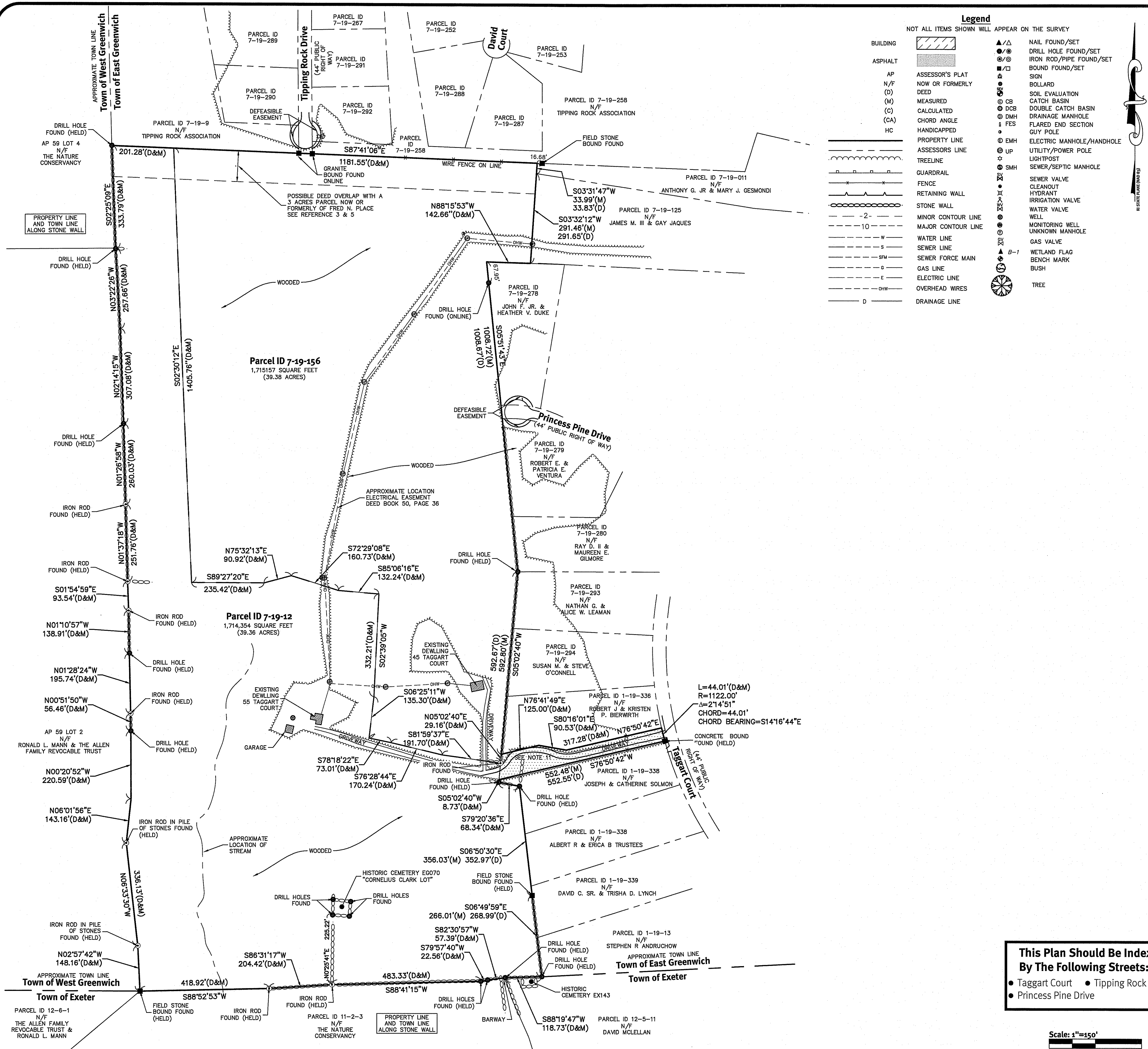
MATTHEW S CAULFIELD
No. 12070
REGISTERED PROFESSIONAL ENGINEER CIVIL

JASON P. CLOUGH
No. 8110
REGISTERED PROFESSIONAL ENGINEER CIVIL

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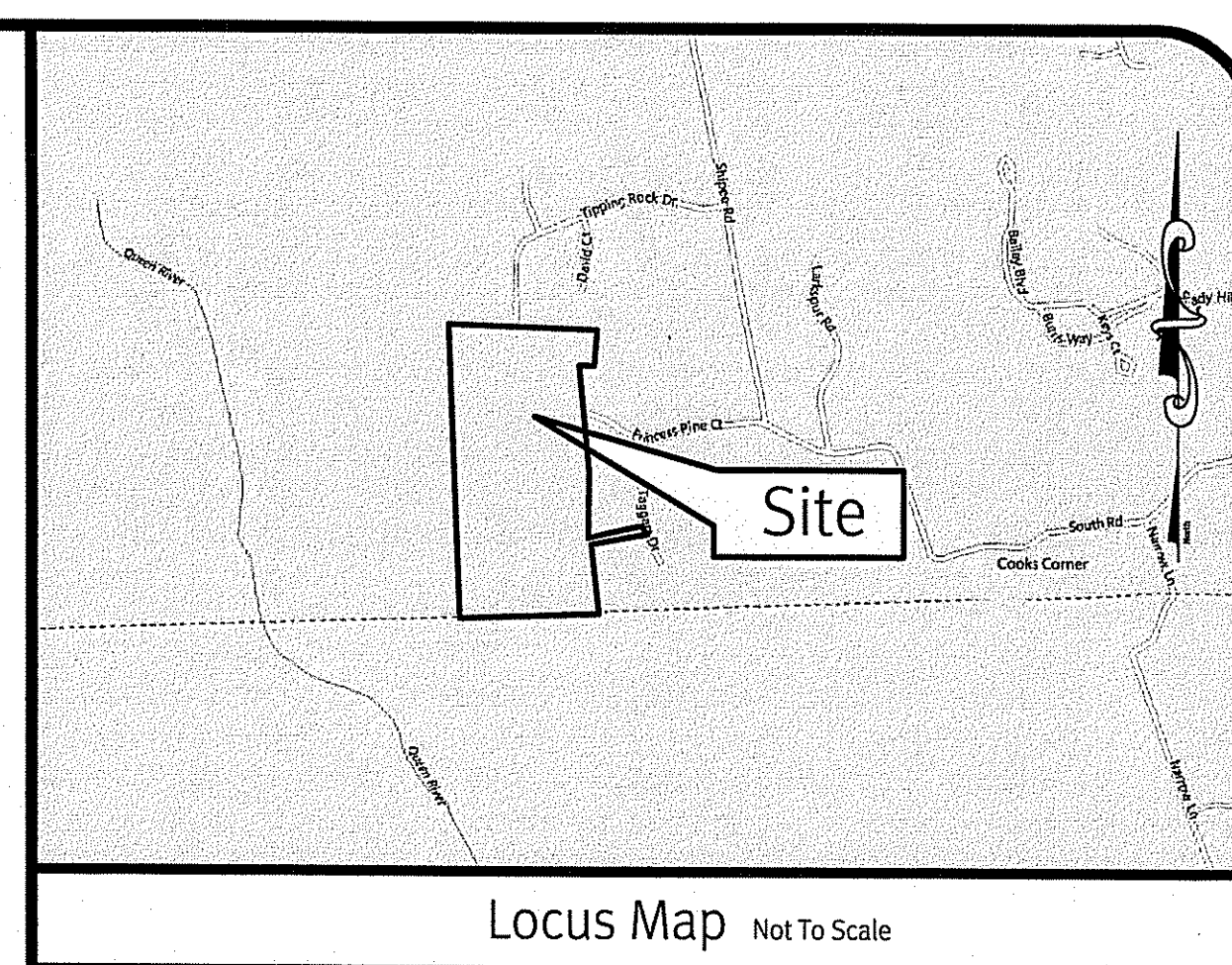
Table with 2 columns: Date and Description. Includes: 7-26-2018 BRGA Registration; 8-1-2018 Client Use; 8-1-2018 Client Use; 8-28-2018 Master Plan Submission; 9-1-2018 Pre-Application Submission

Notes And Legend
Highland Woods
Assessor's Map 7, Plat 19, Lots 12 & 156
East Greenwich, Rhode Island 02818
Owner Approval
GSA Properties, LLC
50 Nantatic Avenue
Providence, Rhode Island 02907
DESIGN BY: J.A.R.
SHEET 3 OF 18



Legend
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	ASSESSOR'S PLAT	▲/△	NAIL FOUND/SET
ASPHALT	NOW OR FORMERLY	●/◎	DRILL HOLE FOUND/SET
AP	DEED	⊠/⊡	IRON ROD/PIPE FOUND/SET
N/F	MEASURED	⊞	BOUND FOUND/SET
(D)	CALCULATED	⊟	SIGN
(M)	CHORD ANGLE	⊙ CB	SOIL EVALUATION
(C)	HANDICAPPED	⊙ DCB	CATCH BASIN
(CA)	PROPERTY LINE	⊙ DMH	DOUBLE CATCH BASIN
HC	ASSESSORS LINE	⊙ FES	DRAINAGE MANHOLE
	TREELINE	⊙ EMH	FLARED END SECTION
	GUARDRAIL	⊙ UP	GUY POLE
	FENCE	⊙ SMH	ELECTRIC MANHOLE/HANDHOLE
	RETAINING WALL		UTILITY/POWER POLE
	STONE WALL		LIGHTPOST
	MINOR CONTOUR LINE		SEWER/SEPTIC MANHOLE
	MAJOR CONTOUR LINE		SEWER VALVE
	WATER LINE		CLEANOUT
	SEWER LINE		HYDRANT
	SEWER FORCE MAIN		IRRIGATION VALVE
	GAS LINE		WATER VALVE
	ELECTRIC LINE		WELL
	OVERHEAD WIRES		MONITORING WELL
	DRAINAGE LINE		UNKNOWN MANHOLE
			GAS VALVE
			WETLAND FLAG
			BENCH MARK
			BUSH
			TREE



- General Notes**
- THE PARCELS ARE KNOWN AS PARCEL ID 7-19-12 & 7-19-156 IN THE TOWN OF EAST GREENWICH, KENT COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 1284, PAGE 163 AND DEED BOOK 1284, PAGE 169 IS RAYMOND E. HULING, JR AND DIANNE J. HULING.
 - THE PARCELS ARE LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44003C0231G, DATED DECEMBER 3, 2010.
 - THE PARCELS ARE ZONED F-2 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING IN OCTOBER OF 2016. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DISSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
 - PLEASE REFER TO RHODE ISLAND GENERAL LAW § 23-23-18-11 FOR BUILDING REQUIREMENTS AROUND A HISTORIC CEMETERY.
 - DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR AN ARCHAEOLOGICAL INVESTIGATION NEEDED TO DETERMINE THE BOUNDARIES OF THE UNMARKED CEMETERY AS REQUIRED BY RHODE ISLAND GENERAL LAW § 23-23-18-11 SUBSECTION 2C. THE APPROXIMATE AREA OF THE UNMARKED CEMETERY THE AREA SHOWN ON THIS SURVEY IS BASED SOLELY ON THE LOCATION OF THE HEADSTONE FOUND IN THE FIELD AT THE TIME OF THE SURVEY ON OCTOBER 17, 2011
 - PARCEL SUBJECT TO EASEMENT AND RESTRICTIONS IN DEED BOOK 318, PAGE 237.

- Plan References:**
- PLAN OF LAND SITUATED ON HOPKINS HILL ROAD, WEST GREENWICH, RHODE ISLAND, ASSESSORS PLAT 59 LOT 4, OWNED BY THE NATURE CONSERVANCY, DATED 9 SEPT 2004, PLAN BY CROSSMAN ENGINEERING, INC. PLAT BOOK 26 PAGE 391.
 - SURVEY OF LAND-THE RODMAN LEWIS LAND SHOWN AS ASSESSORS MAP 11 BLOCK 2 LOT 3, EXETER, RHODE ISLAND, OWNED BY LEWIS E. JR. AND SYLVIA A. PECK, DATED JUNE 2003, PLAN BY ALPHA ASSOCIATES.
 - BOUNDARY SURVEY PLAN OF LAND, ASSESSORS PLAT 19-0, LOT 9, SHIPPEE ROAD, EAST GREENWICH, RHODE ISLAND, OWNED BY WINGS FINANCIAL MARKETING, INC. PLAN BY SQUATTE SURVEYS, INC. PLAT 542
 - SURVEY PLAN SHOWING PROPERTY LINES FOLLOWING PROPOSED AGREEMENT AND CONVEYANCES BETWEEN WINGS FINANCIAL MARKETING, INC. AND JAMES M. JACQUES III AND JAY JACQUES, SHIPPEE ROAD, EAST GREENWICH, RHODE ISLAND DATED MAY 1995, PLAN BY SQUATTE SURVEYS, INC. PLAT 567.
 - PLAN OF LAND IN TIPPING ROCK, SUBDIVISION NO.1A, EAST GREENWICH, RHODE ISLAND, OWNED BY WINGS FINANCIAL MARKETING, INC. DATED APRIL 1995, PLAN BY S.F.M. ENGINEERING ASSOCIATES. PLAT 576.
 - PLAN OF LAND IN TIPPING ROCK, SUBDIVISION NO. 1B, EAST GREENWICH, RHODE ISLAND, OWNED BY WINGS FINANCIAL MARKETING, INC. DATED SEPTEMBER 1996, PLAN BY S.F.M. ENGINEERING ASSOCIATES. PLAT 600.
 - FINAL GEOMETRY PLAN OF LAND SITUATED IN SOUTHDRIDGE, EAST GREENWICH, OWNED BY STEPHEN ANDRUCHOW INC. DATED SEPTEMBER 1996, PLAN BY ALPHA ASSOCIATES. PLAT 665
 - FINAL GEOMETRY PLAN OF LAND SITUATED IN SOUTHDRIDGE, EAST GREENWICH, OWNED BY STEPHEN ANDRUCHOW, INC. DATED SEPTEMBER 1996, PLAN BY ALPHA ASSOCIATES. PLAT 685
 - PLAN OF LAND IN TIPPING ROCK, SUBDIVISION NO.2B, OWNED BY WINGS FINANCIAL MARKETING, INC. DATED MAY 1994, PLAN BY S.F.M. ENGINEERING ASSOCIATES. PLAT 652.
 - PLAN OF LAND IN SOUTHDRIDGE, MAJOR SUBDIVISION, PHASE III, ASSESSOR PLAT 19M, LOT 13, EAST GREENWICH, RHODE ISLAND, OWNED BY STEPHEN ANDRUCHOW, INC. DATED OCTOBER 2000 PLAN BY ALPHA ASSOCIATES.
 - ADMINISTRATIVE SUBDIVISION PLAN, ASSESSORS PLAT 19M, LOTS 12 & 156, EAST GREENWICH, RHODE ISLAND, OWNED BY RAYMOND E. HULING & NANCY HULING DATED JANUARY 2007 PREPARED BY ALPHA ASSOCIATES, LTD.-REFERENCE L.E. 860, PAGE 1.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
APPROVED WITH THESE PLANS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 12 2018 FILE # 18-0079
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Herbert

Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF SURVEY: **MEASUREMENT SPECIFICATION**
COMPREHENSIVE BOUNDARY SURVEY CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTED.

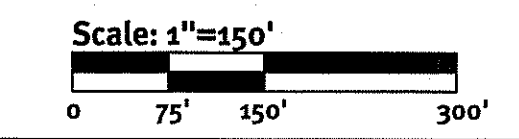
ROBERT G. BABCOCK
No. 2504
PROFESSIONAL LAND SURVEYOR

Robert G. Babcock
ROBERT G. BABCOCK, RIPLS #2504, COA #S.000A160

12/16/16

This Plan Should Be Indexed By The Following Streets:

- Taggart Court
- Tipping Rock Drive
- Princess Pine Drive



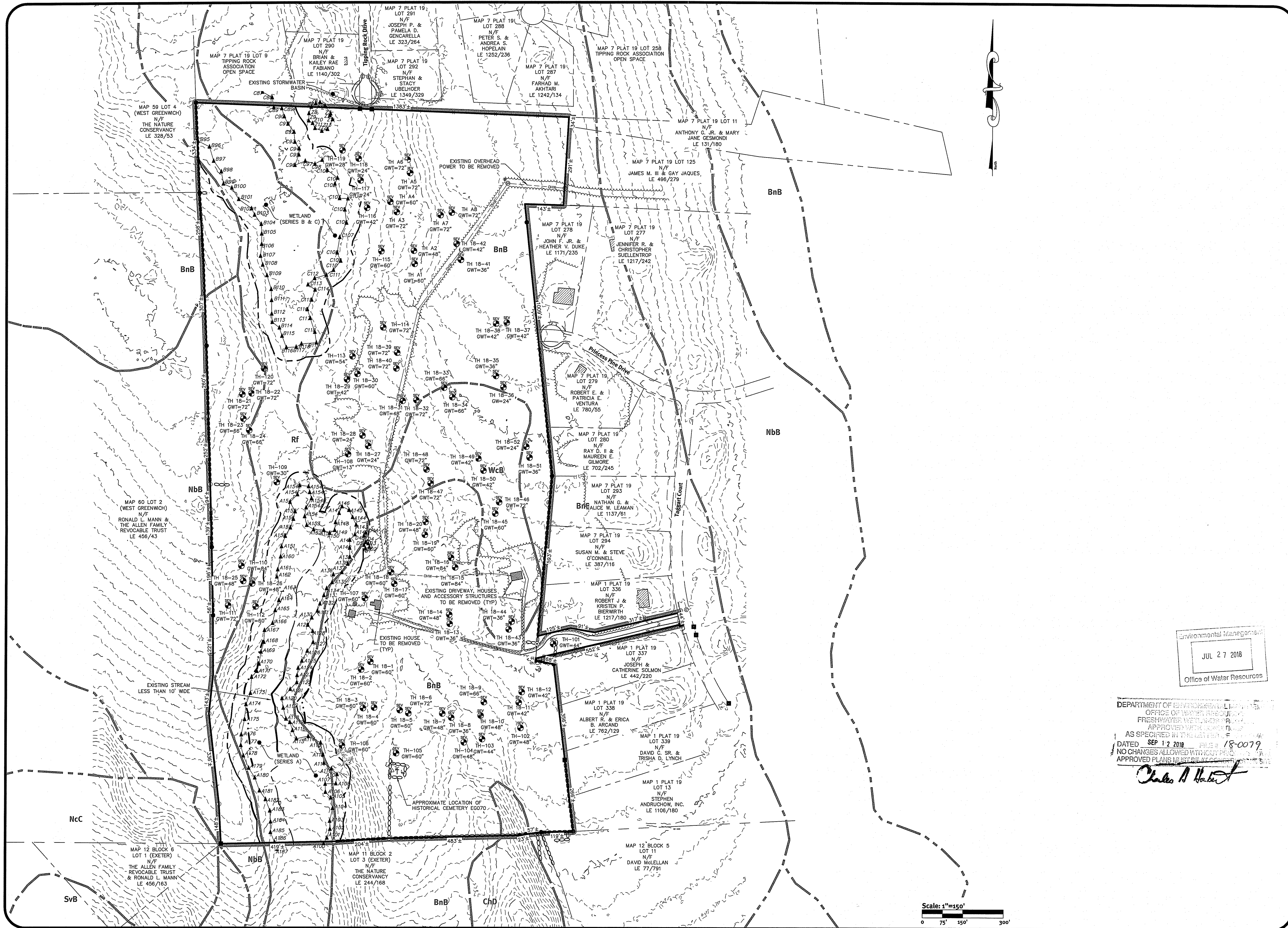
DiPrete Engineering
Tina Stafford Court, Cranston, RI 02920
tel 401-949-1000 fax 401-664-6008 www.diprete-eng.com

Environmental Management
JUL 27 2018
Office of Water Resources

Boundary Survey
45 & 55 Taggart Court
East Greenwich, Rhode Island

Glenn Amore
139 Wilbert Way
North Kingstown, RI 02882
01-800-368-0001 Copyright 2016 by Diprete Engineering Associates, Inc.

SHEET 4 OF 18



Environmental Management
 JUL 27 2018
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WATER RESOURCES
 APPROVED WITH COMMENTS
 AS SPECIFIED IN THE LIST OF COMMENTS
 DATED SEP 12 2018 FILE # 18-0079
 NO CHANGES ALLOWED WITHOUT PERMIT
 APPROVED PLANS MUST BE ACCORDING TO THIS PLAN
Charles A. Hester

Scale: 1"=150'
 0 75' 150' 300'

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-943-6006 www.diprete-eng.com
 Boston • Providence • Newport

MATTHEW S. CAULFIELD
 No. 12070
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

JASON P. CLOUGH
 No. 11110
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

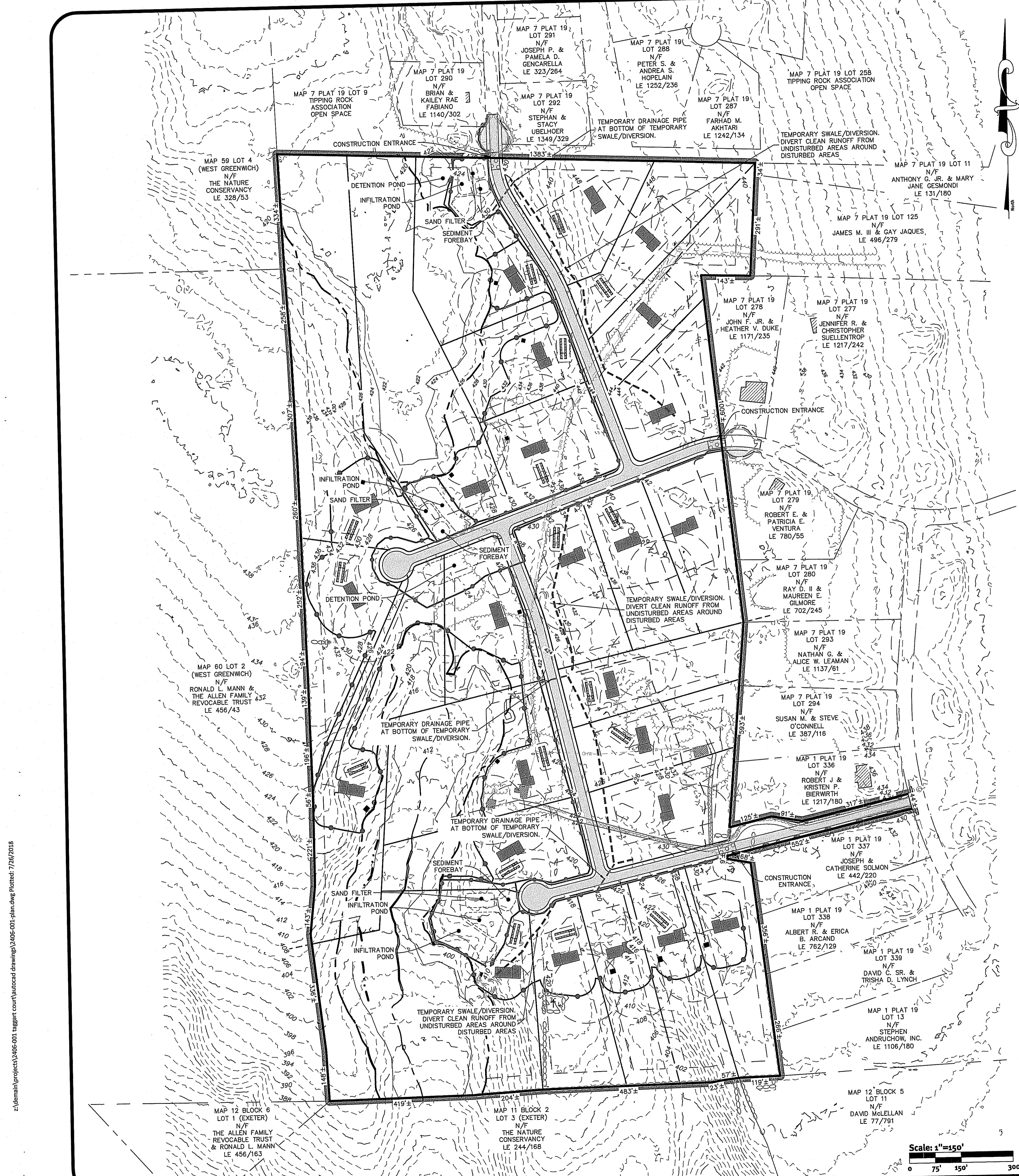
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 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By
1	2/23/2018	Initial Submission	J.A.R.
2	04/20/2018	Align Line	J.A.R.
3	06/22/2018	Water Submission	J.A.R.
4	08/22/2018	Final Submission	J.A.R.
5	09/12/2018	Re-application Submission	J.A.R.

Design By: J.A.R.
 Drawn By: J.A.R.

Existing Conditions Plan
Highland Woods
 60 Main Street, Box 88
 East Greenwich, Rhode Island 02838
GSA Properties, LLC
 60 Main Street, Box 88
 Providence, Rhode Island 02907
 SHEET 5 OF 18

z:\diprete\projects\2406-001 Taggart Court\unacad drawings\2406-001-plan.dwg Plotmed: 7/26/2018



Soil Erosion Control Legend:

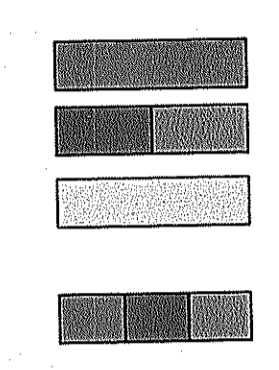
- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM) (PHASES 1a & 2a ONLY - REMOVE PRIOR TO PHASES 1b & 2b)
- TEMPORARY DRAINAGE PIPE
- ROADWAY & DRAINAGE NETWORK CONSTRUCTION AREA
- SILT FENCE OR APPROVED EQUAL EROSION CONTROL MEASURE PHASE 1a/2a (ROAD CONSTRUCTION) (RI STD 9.2.0)
- SILT FENCE OR APPROVED EQUAL EROSION CONTROL MEASURE PHASE 1b/1b (LOT CONSTRUCTION) (RI STD 9.2.0)
- LIMIT OF DISTURBANCE (NO EROSION CONTROL)
- CONSTRUCTION ENTRANCE (RI STD 9.9.0)
- DRAINAGE BMP OUTLINES

Soil Erosion Control Plan Notes:

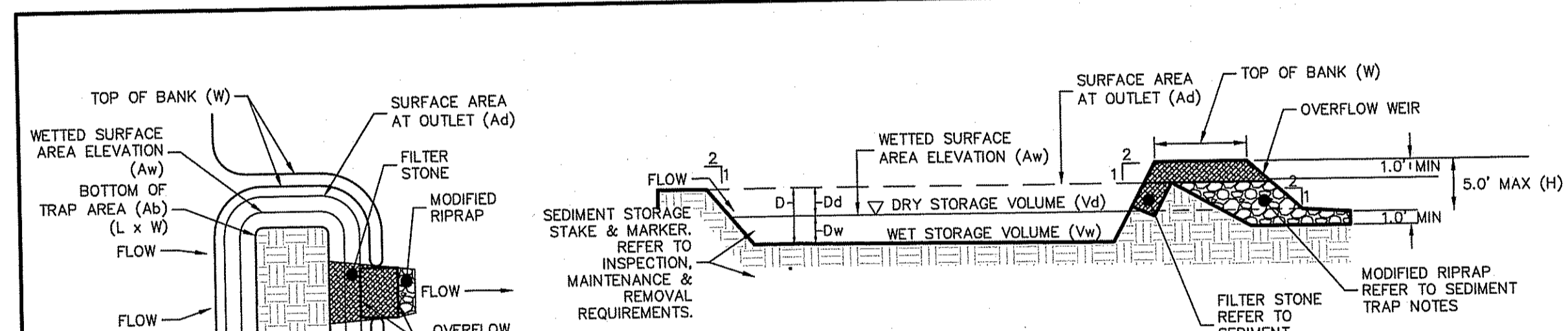
- THIS PLAN SHOWS THE SOIL EROSION CONTROL PLAN NECESSARY FOR CONSTRUCTION OF THE ROADWAY, UTILITIES, DRAINAGE NETWORK AND DRAINAGE AREAS ONLY. IF DISTURBED AREAS ARE TO VARY BEYOND THOSE SHOWN ON THIS SOIL EROSION CONTROL PLAN, ALL SOIL EROSION CONTROL AND SEDIMENT CONTROL PRACTICES SHALL CONFORM TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION. DISTURBED AREAS GREATER THAN 1 ACRE CAN BE MANAGED USING TEMPORARY SEDIMENT TRAPS. THE CONTRACTOR MAY CONSULT THE PROVIDED TYPICAL SEDIMENT TRAP DETAIL AND SHALL ENSURE ALL PRACTICES MEET THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK PRACTICES.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES FOR INDIVIDUAL LOT BUILD OUT SHALL CONFORM TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION.
- THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK CAN BE FOUND ONLINE AT: [HTTP://WWW.DEM.RI.GOV/PROGRAMS/WATER/PERMITS/RIPDES/STORMWATER/SOIL-EROSION.PHP](http://www.dem.ri.gov/PROGRAMS/WATER/PERMITS/RIPDES/STORMWATER/SOIL-EROSION.PHP)

Soil Erosion Control Implementation Phasing

- Phase 1a or 2a**
- INSTALL CONSTRUCTION ENTRANCE
 - CLEAR AND GRUB SITE AREAS FOR ROADWAY & DRAINAGE CONSTRUCTION.
 - INSTALL EROSION CONTROL & SEDIMENT BARRIERS.
 - CONSTRUCT PROPOSED DIVERSIONS SWALES & TEMPORARY DRAINAGE PIPES.
 - INSTALL UTILITIES WITH ROADWAYS. INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK. INSTALL ASPHALT PAVING
 - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS, ROADWAY EROSION CONSTRUCTION AND TEMPORARY PIPES.
- Phase 1b or 2b Individual Lot Construction**
- INSTALL CONSTRUCTION ENTRANCE
 - INSTALL EROSION CONTROL/SEDIMENT BARRIERS & INLET PROTECTION.
 - CLEAR AND GRUB LOT AREA
 - CONSTRUCT INDIVIDUAL RESIDENTIAL LOTS
 - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT SEDIMENT BARRIERS, EROSION CONTROL & STONE CONSTRUCTION ENTRANCE



JUL 27 2018
Office of Water Resources



Temporary Sediment Trap Details

TYPICAL TRAP VOLUMES

DRAINAGE AREA (ACRES)	REQUIRED SEDIMENT TRAP VOLUME (CF)
1	3,618
2	7,236
3	10,854
4	14,472
5	18,090

TOP WIDTH VS. HEIGHT

H (FT)	W (FT)
1.5	2.0
2.0	3.0
3.0	2.5
3.5	3.0
4.0	3.0
4.5	4.0
5.0	4.5

SEDIMENT TRAP DIMENSIONS

TRIBUTARY DRAINAGE AREA (AC)	WET STORAGE DEPTH (Dw) (FT)	DRY STORAGE DEPTH (Dd) (FT)	TOTAL DEPTH (D) (FT)	BOTTOM OF TRAP AREA (Ab) (SF)	WETTED SURFACE AREA (Aw) (SF)	SURFACE AREA AT OUTLET (Aa) (SF)

Sediment Trap Notes:

- THE TEMPORARY SEDIMENT TRAPS SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
- THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES SHALL NOT EXCEED 1.5:1
- THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
- THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
- TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
- MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET.
- SIDE SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
- MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
- FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.1.

Inspection, Maintenance, and Removal Requirements:

- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE TRAP STORAGE VOLUME.
- INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
- CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
- WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
- DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
- THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

Installation Notes:

- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
- REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
- EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
- USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS SECTION
APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTER TO THE PERMITTEE
DATED 10/2/2018 FILE # 18-0079
NO CHANGES ALLOWED WITHOUT PERMITTEE'S APPROVAL

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

MATTHEW S CAULFIELD
No. 12074
REGISTERED PROFESSIONAL ENGINEER CIVIL

JASON P. CLOUGH
No. 9110
REGISTERED PROFESSIONAL ENGINEER CIVIL

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Design By: J.A.L.

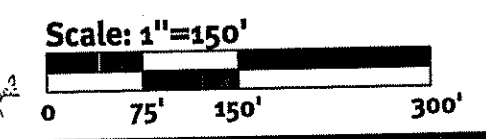
No.	Date	Description	By
1	12/22/2018	Initial Registration	J.A.L.
2	04/12/2018	Initial Registration	J.A.L.
3	08/24/2017	Initial Registration	J.A.L.
4	08/24/2017	Initial Registration	J.A.L.
5	08/24/2017	Initial Registration	J.A.L.

Soil Erosion And Sediment Control Plan
Highland Woods
Assessor's Map 7, Plat 19, Lots 12 & 156
East Greenwich, Rhode Island 02918

GSA Properties, LLC
90 Natick Avenue
Providence, Rhode Island 02907

DE-008-2018-001-001 Copyright 2018 by DiPrete Engineering, Associates, Inc.

z:\diprete\projects\1406-001\taggart\cadd\drawings\1406-001-plm.dwg Plotdate: 7/26/2018



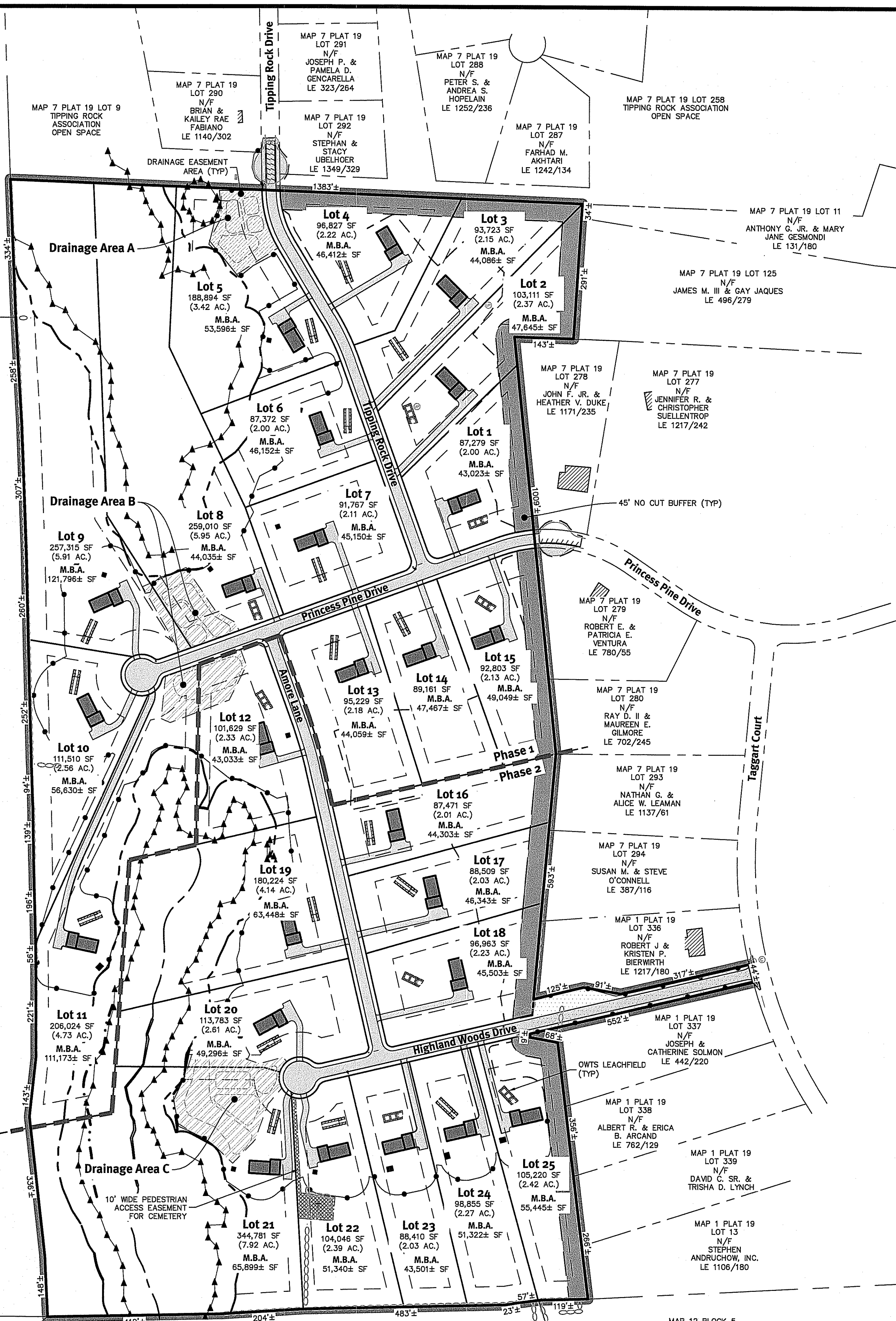
MAP 59 LOT 4
(WEST GREENWICH)
N/F
THE NATURE
CONSERVANCY
LE 328/53

MAP 60 LOT 2
(WEST GREENWICH)
N/F
RONALD L. MANN &
THE ALLEN FAMILY
REVOCABLE TRUST
LE 456/43

MAP 12 BLOCK 6
LOT 1 (EXETER)
N/F
THE ALLEN FAMILY
REVOCABLE TRUST &
RONALD L. MANN
LE 456/163

MAP 11 BLOCK 2
LOT 3 (EXETER)
N/F
THE NATURE
CONSERVANCY
LE 244/168

MAP 12 BLOCK 5
LOT 11
N/F
DAVID McLELLAN
LE 77/791



JUL 27 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WATER QUALITY
APPROVED WITH COMMENTS
AS SPECIFIED IN THE COMMENTS SHEET
DATED SEP 12 2018 FILE # 18-0079
NO CHANGES ALLOWED WITHOUT PROSECUOR'S APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Charles A. Hester

Scale: 1"=150'
0 75' 150' 300'

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CIVIL

JASON P. CLOUGH
No. 5110
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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No.	Date	Description	By
1	07-23-2018	Initial Submission	J.A.R.
2	08-22-2018	Client Use	J.A.R.
3	09-12-2018	Revised Submission	J.A.R.
4	09-23-2018	Final Application Submission	J.A.R.

Design By: A.D.O.
Drawn By: J.A.R.

Site Layout Plan
Highland Woods
Assessor's Map 7 Plat 19, Lots 12 & 156
Owner & Applicant
GSA Properties, LLC
50 Natick Avenue
Providence, Rhode Island 02907



Diprete Engineering
 Two Stafford Court, Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

MATHEW S. CAULFIELD
 No. 12079
 REGISTERED PROFESSIONAL ENGINEER
JASON P. CLOUGH
 No. 1110
 REGISTERED PROFESSIONAL ENGINEER CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a Diprete Engineering representative.
 The contractor is responsible for all of the means, methods, materials, and equipment used in the construction of this plan and design.

No.	Date	Description	Drawn By: J.A.R.	Design By: A.D.O.
1	7-23-2018	PRELIM SUBMISSION		
2	8-13-2018	PRELIM SUBMISSION		
3	8-23-2018	PRELIM SUBMISSION		
4	8-23-2018	PRELIM SUBMISSION		
5	8-23-2018	PRELIM SUBMISSION		
6	8-23-2018	PRELIM SUBMISSION		
7	8-23-2018	PRELIM SUBMISSION		
8	8-23-2018	PRELIM SUBMISSION		
9	8-23-2018	PRELIM SUBMISSION		
10	8-23-2018	PRELIM SUBMISSION		

Grading, Drainage & Utility Plan - 1
Highland Woods
 GSA Properties, LLC
 Providence, Rhode Island 02907

MAP 7 PLAT 19
 LOT 278
 N/F
 JOHN F. JR. &
 HEATHER V. DUKE
 LE 1171/2235
 Environmental Management
 JUL 27 2018
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 AS SPECIFIED BY PERMIT
 DATED SEP 12 2018
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 EXISTING PAVEMENT AND CURB TO BE REMOVED
 SAWCUT AND MATCH (SEE DETAIL SHEET 17)

Scale: 1"=50'
 0 25' 50' 100'

See Sheet 9

z:\dmain\projects\3206-001\regent_court\anncad\drawings\2406-001-plan.dwg Plotdate: 7/26/2018

See Sheet 8



STONE DRYWELL FOR WATER QUALITY TREATMENT OF HALF OF HOUSE IMPERVIOUS AREA. SEE DETAIL SHEET - 2

PR F.D. OWTS
INV.=430.96
BOT.=429.00

Lot 10
111,510 SF
(2.56 AC.)

Lot 11
206,024 SF
(4.73 AC.)

Sediment Forebay B
(SEE SHEET 16)

Sand Filter B
(SEE SHEET 16)

Lot 12
101,629 SF
(2.33 AC.)

STONE TRENCH ALONG DOWN GRADIENT SIDE OF ENTIRE DRIVEWAY FOR WATER QUALITY TREATMENT OF DRIVEWAY IMPERVIOUS AREA. SEE DETAIL SHEET - 2

STONE DRYWELL FOR WATER QUALITY TREATMENT OF HALF OF HOUSE IMPERVIOUS AREA. SEE DETAIL SHEET - 2

STONE DRYWELL FOR WATER QUALITY TREATMENT OF ALL HOUSE IMPERVIOUS AREA. SEE DETAIL SHEET - 2

Lot 8
259,010 SF
(5.95 AC.)

Detention Pond B2
(SEE SHEET 16)

Lot 19
180,224 SF
(4.14 AC.)

Lot 7
91,767 SF
(2.11 AC.)

Lot 13
95,229 SF
(2.18 AC.)

Lot 20
113,783 SF
(2.61 AC.)

Lot 14
89,161 SF
(2.05 AC.)

Lot 16
87,471 SF
(2.01 AC.)

Lot 17
88,509 SF
(2.03 AC.)

Lot 15
92,803 SF
(2.13 AC.)

Lot 18
96,963 SF
(2.23 AC.)

Lot 9
257,315 SF
(5.91 AC.)

Lot 12
101,629 SF
(2.33 AC.)

Lot 17
88,509 SF
(2.03 AC.)

Lot 18
96,963 SF
(2.23 AC.)

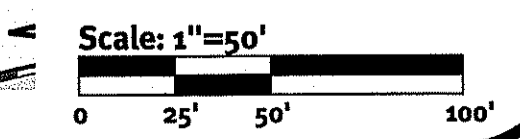
Lot 10
111,510 SF
(2.56 AC.)

Lot 12
101,629 SF
(2.33 AC.)

Lot 17
88,509 SF
(2.03 AC.)

Lot 18
96,963 SF
(2.23 AC.)

Lot 20
113,783 SF
(2.61 AC.)



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel. 401-943-1000 fax. 401-464-6006 www.diprete-eng.com
BOSTON • PROVIDENCE • NEWPORT

MATTHEW S. CAULFIELD
No. 12079
REGISTERED PROFESSIONAL ENGINEER
CIVIL

JASON P. CLOUGH
No. 9110
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for consultation purposes and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Design By: J.A.B.
1	02-23-2018	Initial Submission	
2	04-24-2018	Client Use	
3	04-24-2018	Final Submission	
4	02-23-2018	Final Application Submission	

Design By: J.A.B.

Grading, Drainage & Utility Plan - 2
Highland Woods
Assessor's Map 7 Plat 19, Lots 12 & 156
East Greenwich, Rhode Island 02818
Owner & Applicant
GSA Properties, LLC
Providence, Rhode Island 02907

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WATER RESOURCES
APPROVED WITH COMMENTS
AS SPECIFIED IN THE COMMENTS
DATED SEP 11 2018 FILE 18-0079
NO CHANGES ALLOWED TO THE REGULATORY APPROVED PLANS UNTIL THE CONSTRUCTION SITE

MAP 7 PLAT 19 LOT 279
N/F
ROBERT E. & PATRICIA E. VENTURA
LE 780/55

MAP 7 PLAT 19 LOT 280
N/F
RAY D. II & MAUREEN E. GILMORE
LE 702/245

MAP 7 PLAT 19 LOT 293
N/F
NATHAN S. & ALICE W. LEAMAN
LE 1137/61

MAP 7 PLAT 19 LOT 294
N/F
SUSAN M. & STEVE O'CONNELL
LE 387/116

MAP 1 PLAT 19 LOT 336
N/F
ROBERT J. & KRISTEN P. BIERWIRTH
LE 1217/180

Scale: 1"=50'
0 25' 50' 100'

z:\demain\project\2405-001_taggart_court\autocad drawings\2405-001_plan.dwg Plotdate: 7/26/2018

z:\demain\projects\2406-001_taggart_court\autocad drawings\2406-001-plan.dwg Plotseed: 7/26/2018

See Sheet 9



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WATERS AND WETLANDS
 APPROVED WITH COMMENTS
 AS SPECIFIED IN THE LETTERS
 DATED SEP 12 2018 FILE # 18-0079
 APPROVED BY: [Signature] DATE: [Date]
 [Signature]
 STEPHEN ANDRUCHOW, INC.
 LE 1106/160

Scale: 1"=50'
 0 25' 50' 100'

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-943-6006 www.diprete-eng.com
 Boston • Providence • Newport

MATHEW S CAULFIELD
 No. 12078
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

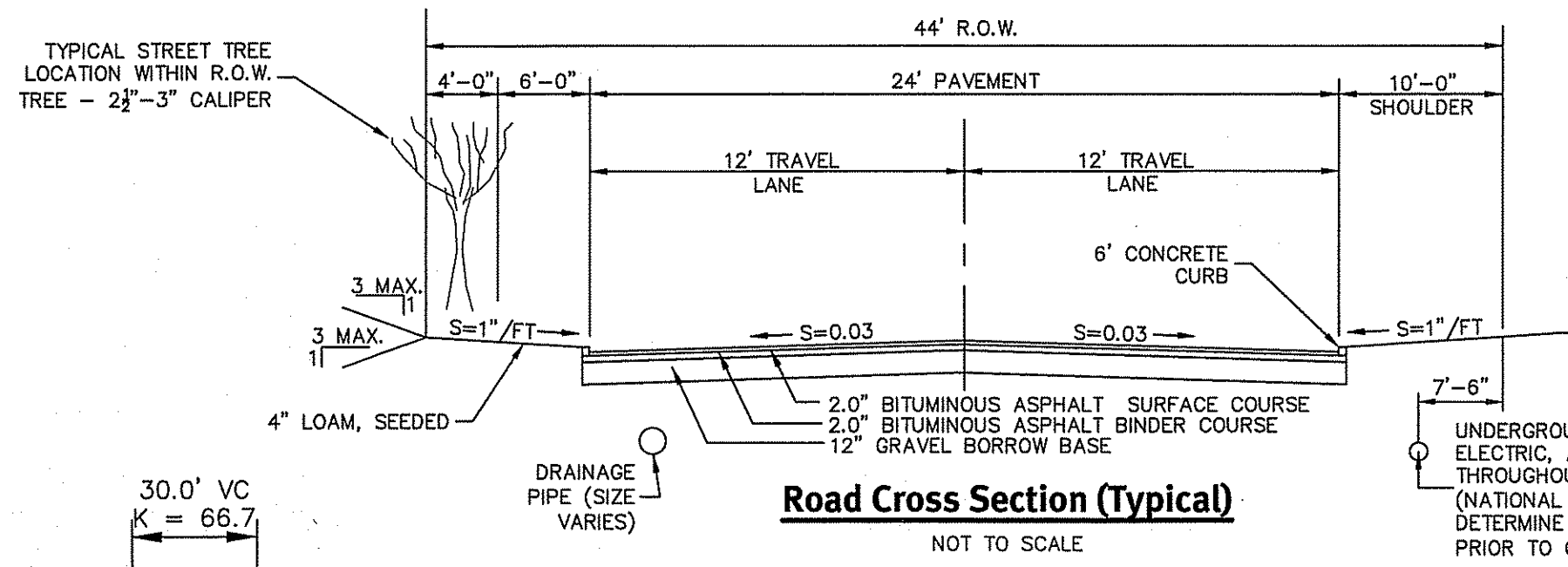
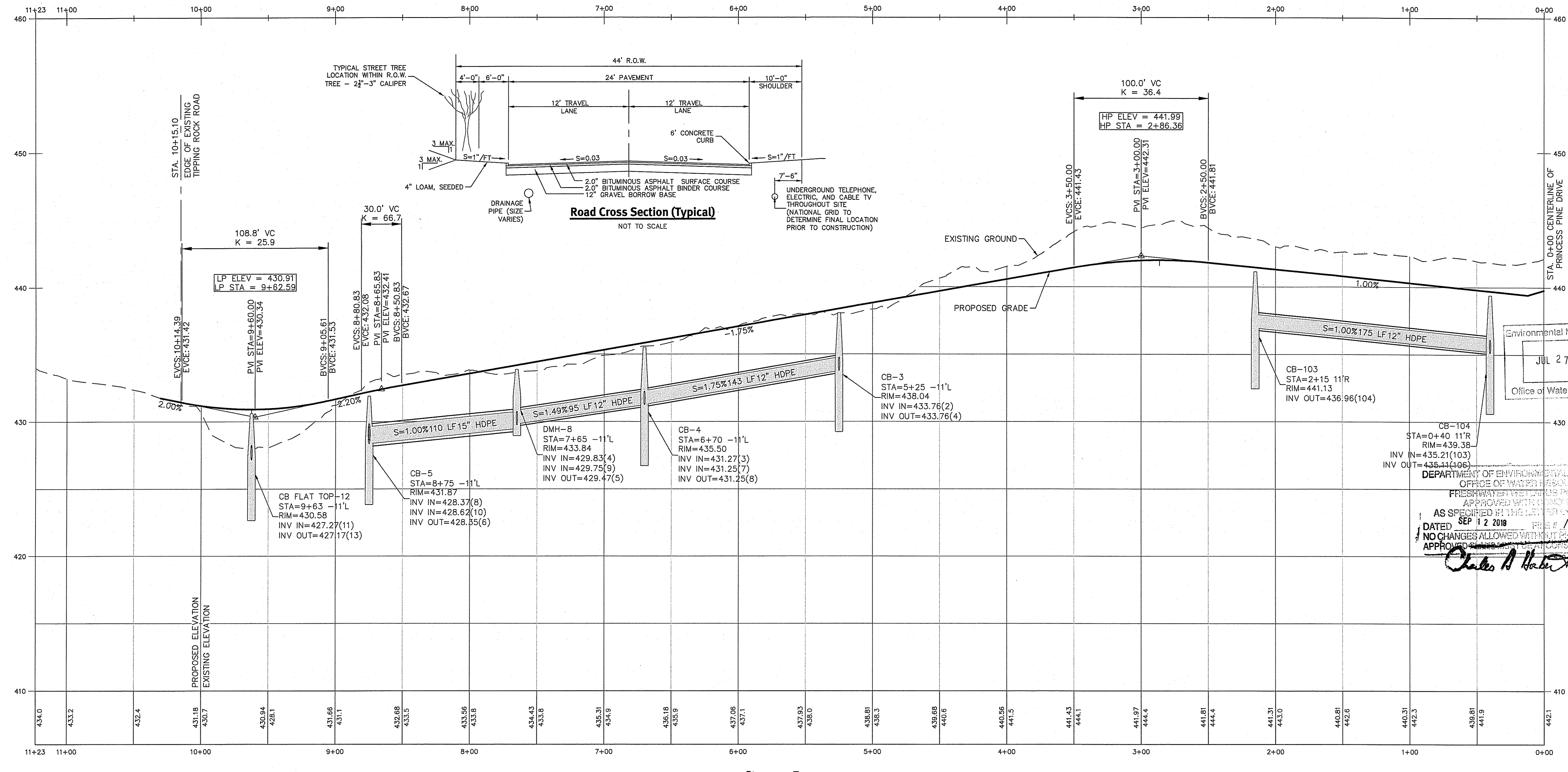
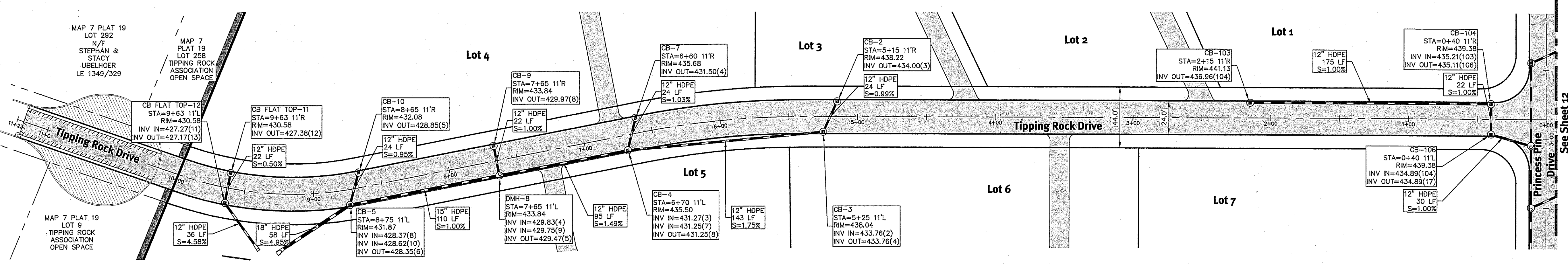
JASON P. CLOUGH
 No. [Signature]
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

This regulatory submission set shall not be used for construction purposes unless it has been reviewed for compliance and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By:
1	7/26/2018	Issue for Submission	J.A.R.
2	9/12/2018	Issue for Construction	J.A.R.
3	09/24/2018	Issue for Construction	J.A.R.
4	09/25/2018	Issue for Construction	J.A.R.
5	09/25/2018	Issue for Construction	J.A.R.
6			
7			
8			
9			
10			

Design By: J.A.R.

Grading, Drainage & Utility Plan - 3
Highland Woods
 Assessor's Map 7 Plat 19, Lots 18, 19 & 25
 East Greenwich, Rhode Island 02818
 Owner's Applicant
GSA Properties, LLC
 50 Natick Avenue
 Providence, Rhode Island 02907
 SHEET 10 OF 18



Environmental Management
JUL 27 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER
DATED SEP 12 2018 FILE 18-0079
NO CHANGES ALLOWED WITHOUT PERMISSION
APPROVED BY: *Charles A. Hester*

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-3000 Fax: 401-941-6006 www.diprete-eng.com
Boston • Providence • Newport

MATTHEW S CAULFIELD
No. 12078
REGISTERED PROFESSIONAL ENGINEER
CIVIL

JASON P. CLOUGH
No. 1110
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction purposes, and signed by a DiPrete Engineering representative.

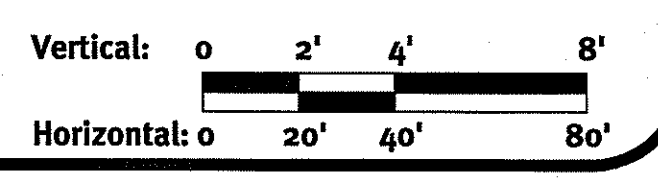
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By
1	7/23/2018	DRM Submission	J.A.R.
2	08/02/2018	DRM Submission	J.A.R.
3	09/12/2018	DRM Submission	J.A.R.
4	09/23/2018	DRM Submission	J.A.R.
5	09/23/2018	DRM Submission	J.A.R.
6	09/23/2018	DRM Submission	J.A.R.

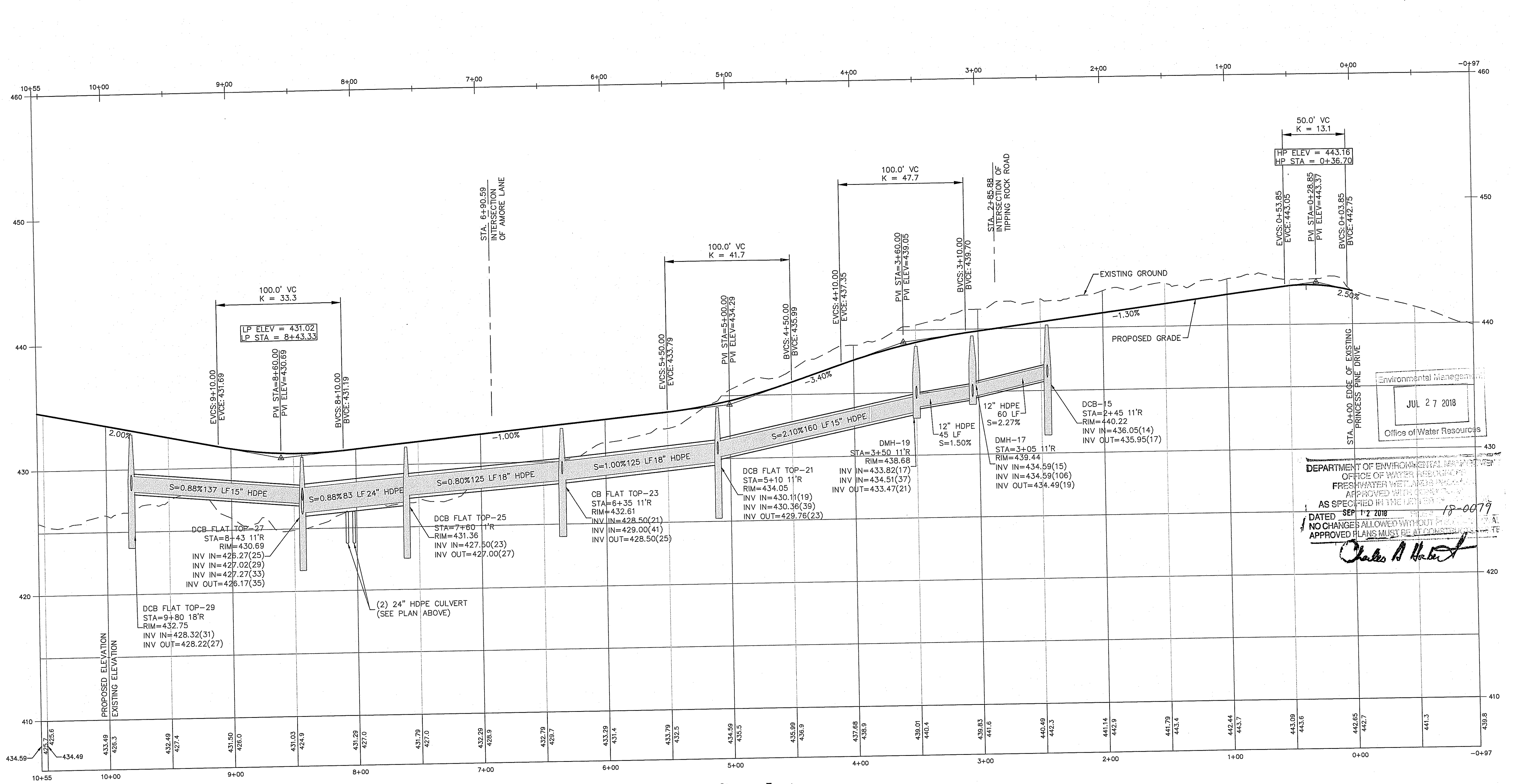
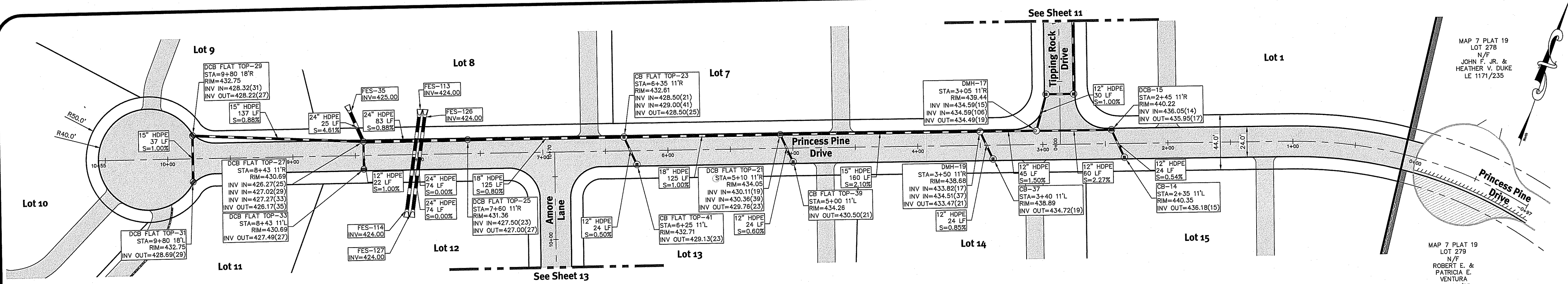
Design By: J.A.R.

Plan & Profile - Tipping Rock Drive
Highland Woods
Assessor's Map File: 19, Lots 12 & 13
Owner & Applicant:
GSA Properties, LLC
Providence, Rhode Island 02907

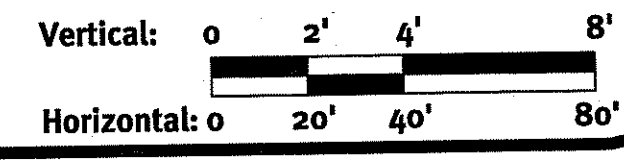
DE: Job No.: 2405-001-001 Copyright 2018 by DiPrete Engineering Associates, Inc.



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Sta. -0+97 To 10+55



Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

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MATTHEW S CAULFIELD
No. 12079
REGISTERED PROFESSIONAL ENGINEER
CIVIL

JASON P. CLOUGH
No. 11104
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety practices and precautions in the implementation of this plan and design.

DESIGN: J.A.K.
CHECK: J.A.K.
DATE: 12/2/2018
TIME: 10:00 AM

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER VEGETATION MANAGEMENT
APPROVED WITH COMMENTS
AS SPECIFIED IN THE PERMIT
DATED SEP 12 2018
NO CHANGES ALLOWED WITHOUT PERMIT
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

18-0079
Charles A. Hester

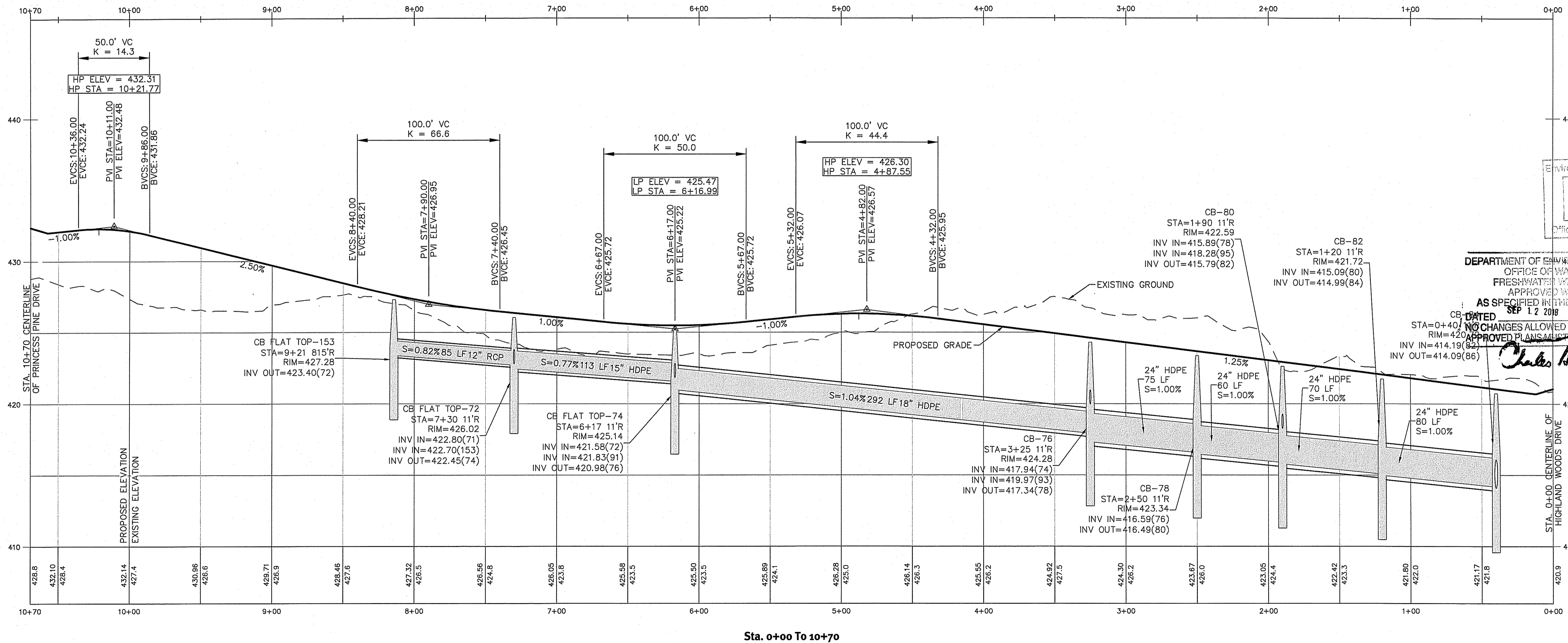
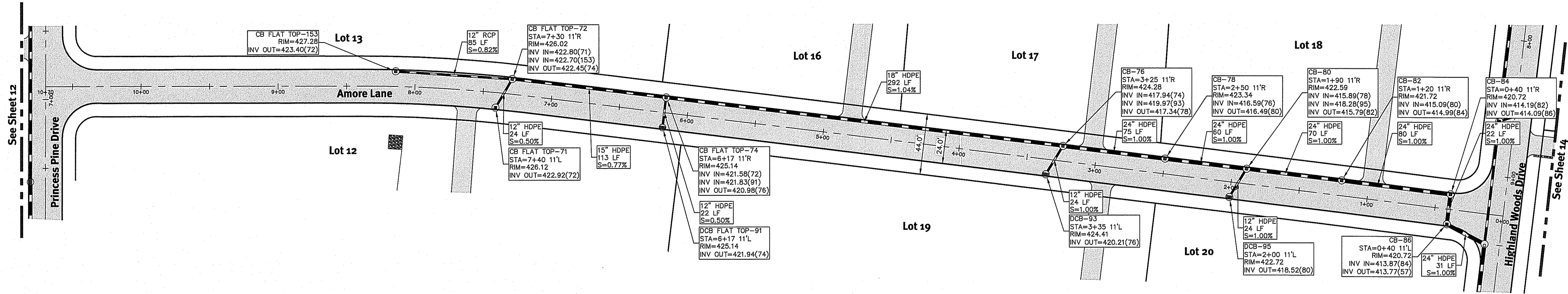
Design By: A.D.O.

Plan & Profile - Princess Pine Drive
Highland Woods
Assessor's Map 7 Plat 19, Lot 12 & 15
Site Plan Application
GSA Properties, LLC
50 Niantic Avenue
Providence, Rhode Island 02907

Copyright 2018 by Diprete Engineering Associates, Inc.

SHEET 12 OF 18

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Environmental Management
JUL 27 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WATER RESOURCES
APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTER OF TRANSMITTAL
SEP 12 2018
NO CHANGES ALLOWED WITHOUT PREVIOUS WRITTEN APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
STA=0+40
RIM=420.72
INV IN=414.19(82)
INV OUT=414.09(86)
Charles A. Harte

MATTHEW S. CAULFIELD
No. 12079
REGISTERED PROFESSIONAL ENGINEER
CIVIL

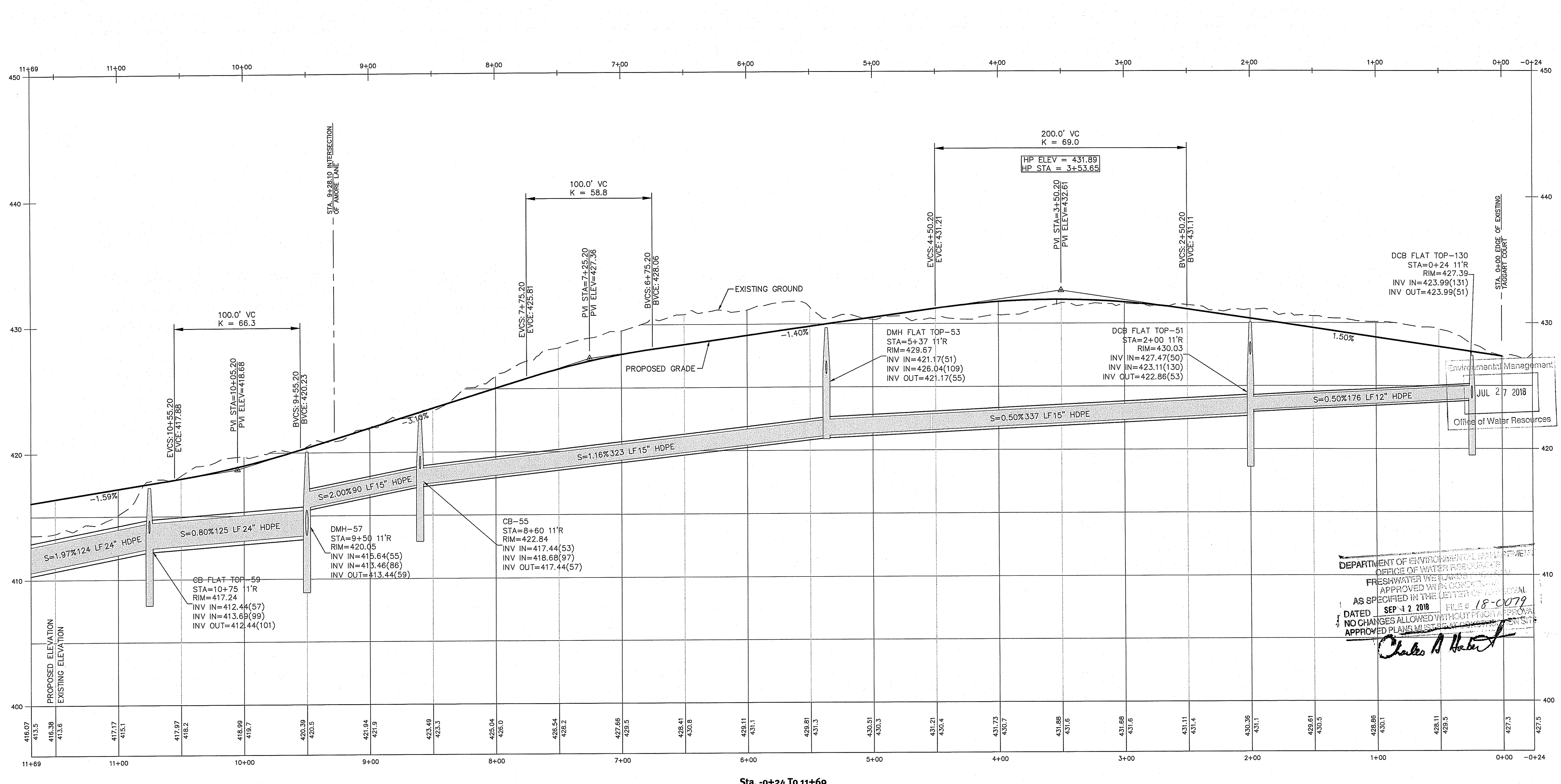
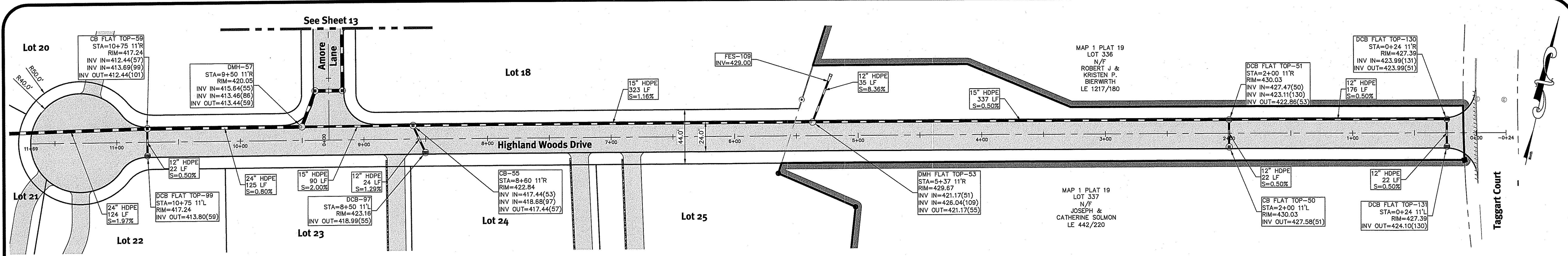
JASON P. CLOUGH
No. 12110
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for any purposes unless stamped, issued for construction and signed by a Diprete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

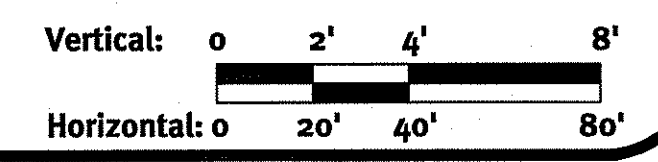
No.	Date	Description	By
1	7/23/2018	Initial Submission	J.A.R.
2	8/13/2018	Revised Submission	J.A.R.
3	8/23/2018	Revised Submission	J.A.R.
4	9/12/2018	Final Submission	J.A.R.

Design By: J.A.R.

Plan & Profile - Amore Lane
Highland Woods
13 OF 18
GSA Properties, LLC
Providence, Rhode Island 02907



Sta. -0+24 To 11+69



MATTHEW S CAULFIELD
No. 12079
REGISTERED PROFESSIONAL ENGINEER
CIVIL

JASON P. CLOUGH
No. 1710
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a Diprete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements and OSHA compliance in the implementation of this plan and design.

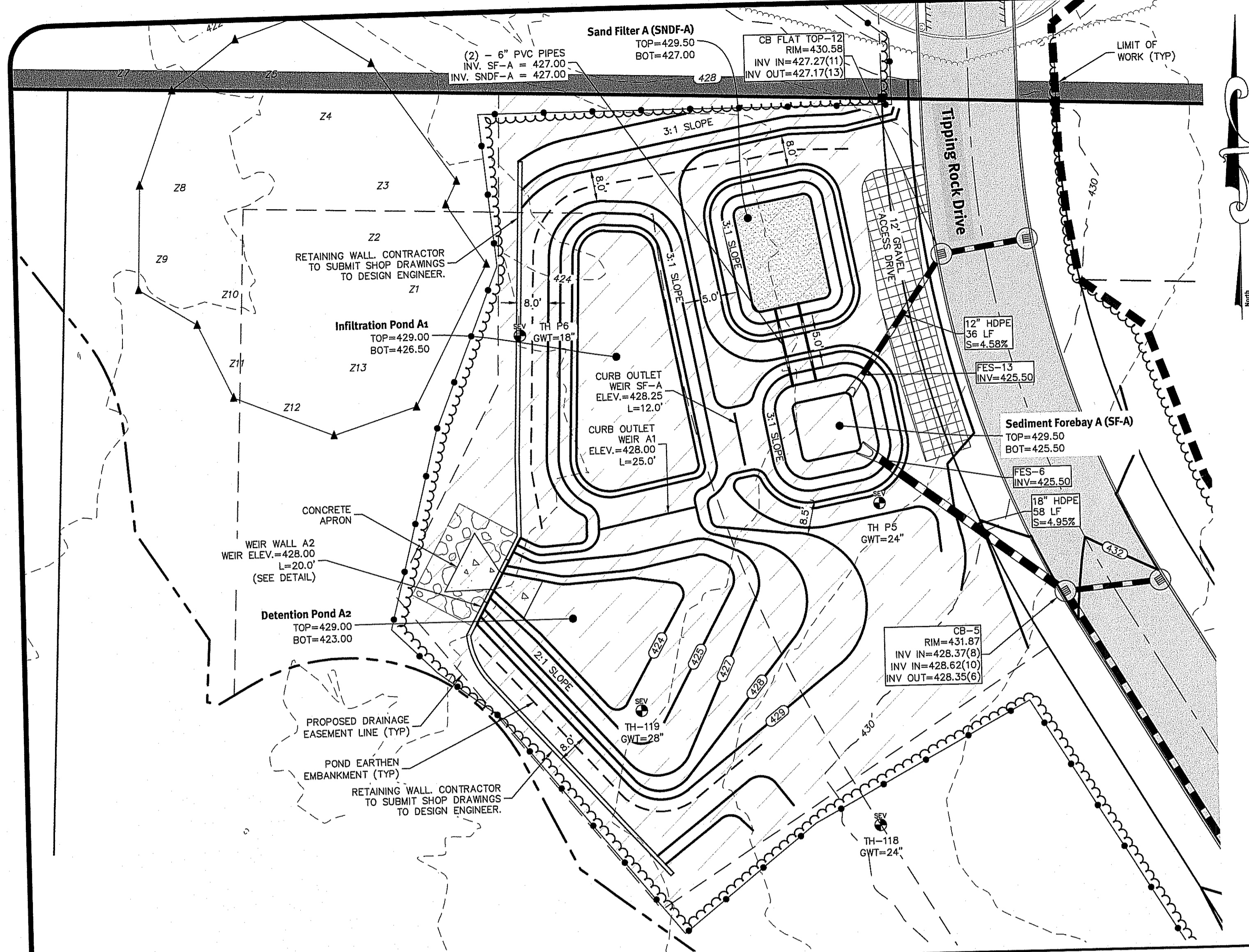
No.	Date	Description	By:
1	08-22-2017	Design	J.A.R.
2	09-12-2018	Design	J.A.R.
3	09-12-2018	Design	J.A.R.
4	09-12-2018	Design	J.A.R.
5	09-12-2018	Design	J.A.R.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WELFARE
APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTER OF TRANSMITTAL
DATED SEP 12 2018 FILE # 18-0079
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE USED AS PRESENT
Charles A. Hester

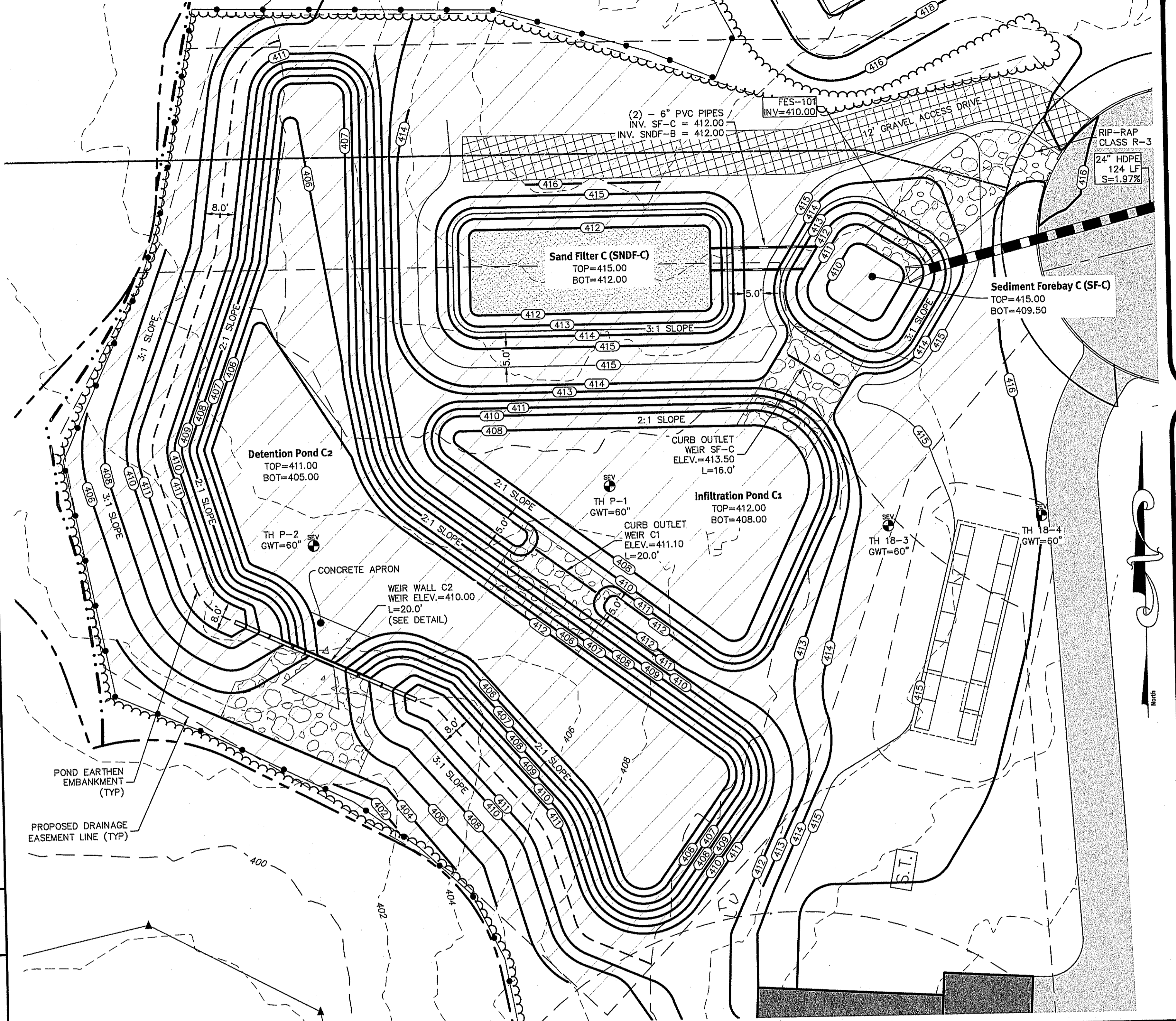
Plan & Profile - Highland Woods Drive
Highland Woods
Assessor's Map 7 Plat 19, Lots 12 & 156
East Greenwich, Rhode Island 02818
Owner & Applicant
GSA Properties, LLC
50 Niantic Avenue
Providence, Rhode Island 02907
DE Job No: 2405-001-A01 Copyright 2018 by Diprete Engineering Associates, Inc.
SHEET 14 OF 18

Diprete Engineering
Two Stafford Court, Cranston, RI 02910
Tel: 401-943-1000 Fax: 401-664-6606 www.diprete-eng.com
Boston • Providence • Newport

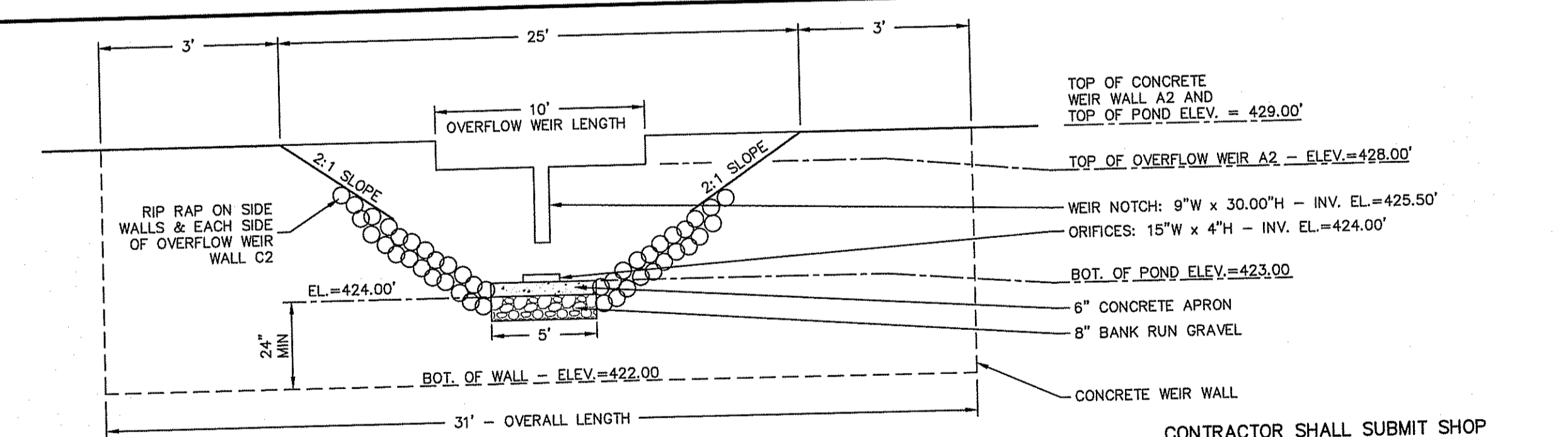
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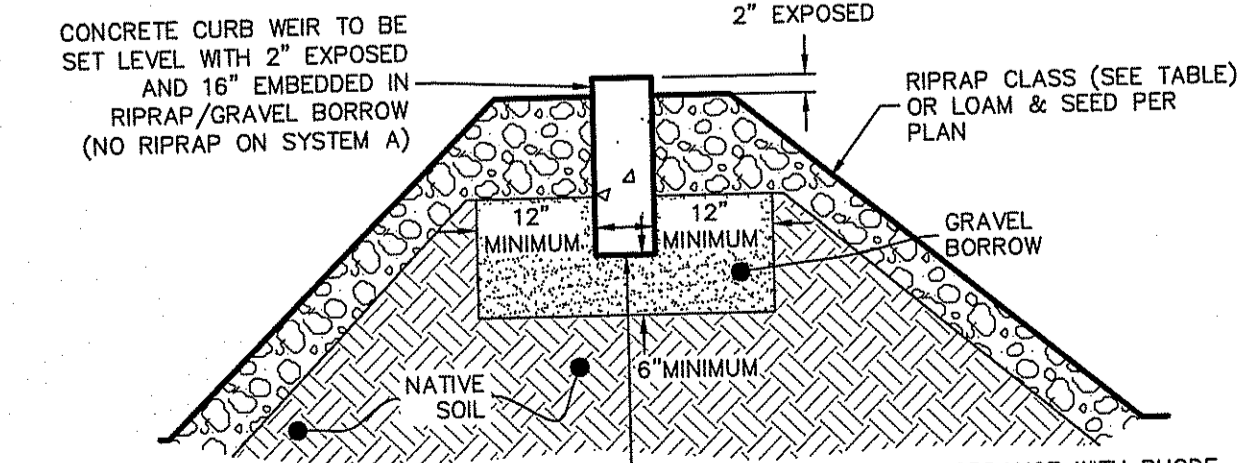


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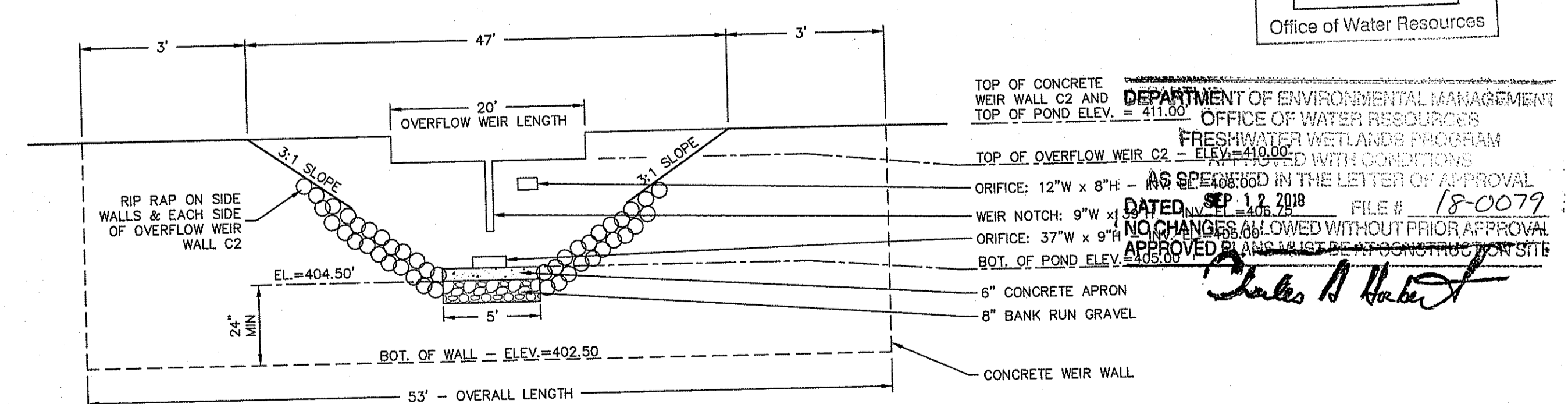


CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DIPRETE ENGINEERING OR OWNER FOR APPROVAL PRIOR TO CONSTRUCTION

LOCATION	TOP OF POND ELEV.	WEIR INVERT	WEIR DEPTH	RIPRAP CLASS
SF-A	429.50'	428.25'	1.25'	-
A2	429.00'	428.00'	1.00'	-
SF-B	431.00'	429.10'	1.90'	-
SF-C	415.00'	413.50'	1.50'	R-3
C1	412.00'	411.00'	1.00'	R-3



Curb Outlet Weir Cross Section NOT TO SCALE



CONCRETE WEIR WALL MUST BE DESIGNED AND STAMPED BY A STRUCTURAL R.I. P.E.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DIPRETE ENGINEERING OR OWNER FOR APPROVAL PRIOR TO CONSTRUCTION

Weir Wall C2 Detail NOT TO SCALE

Environmental Management
JUL 27 2018
Office of Water Resources

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

MATTHEW S CAULFIELD
No. 12070
REGISTERED PROFESSIONAL ENGINEER
CIVIL

JASON P. CLOUGH
No. 11010
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By
1	08/12/2018	Initial Submission	J.P.C.
2	09/12/2018	Revised Submission	J.P.C.
3	09/25/2018	Final Submission	J.P.C.

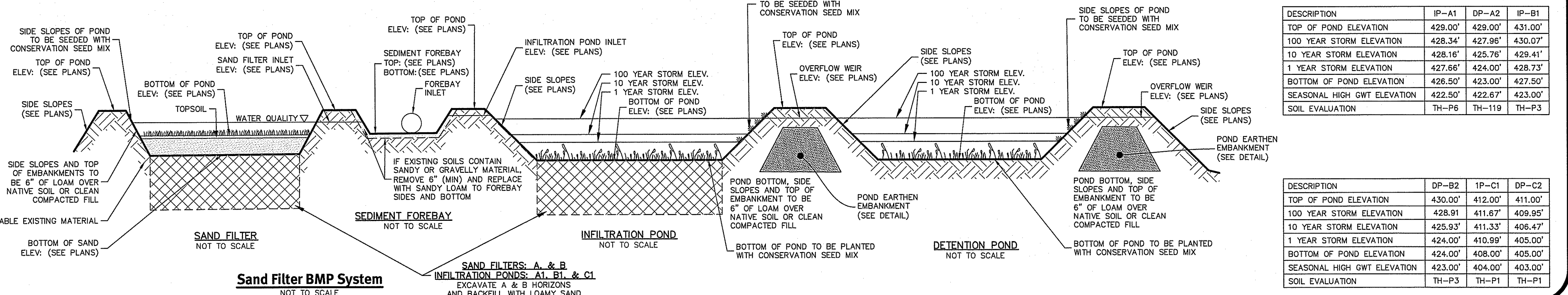
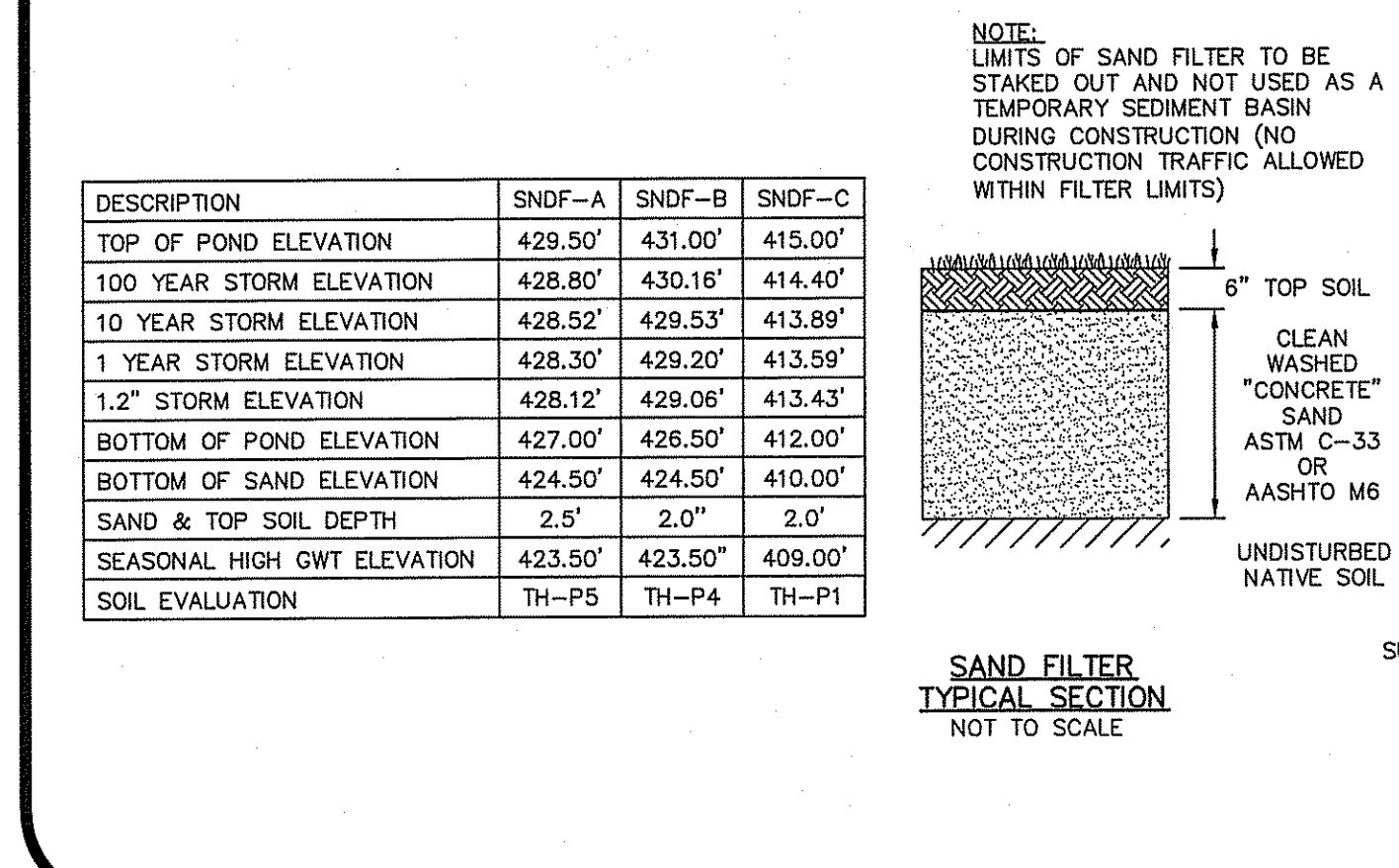
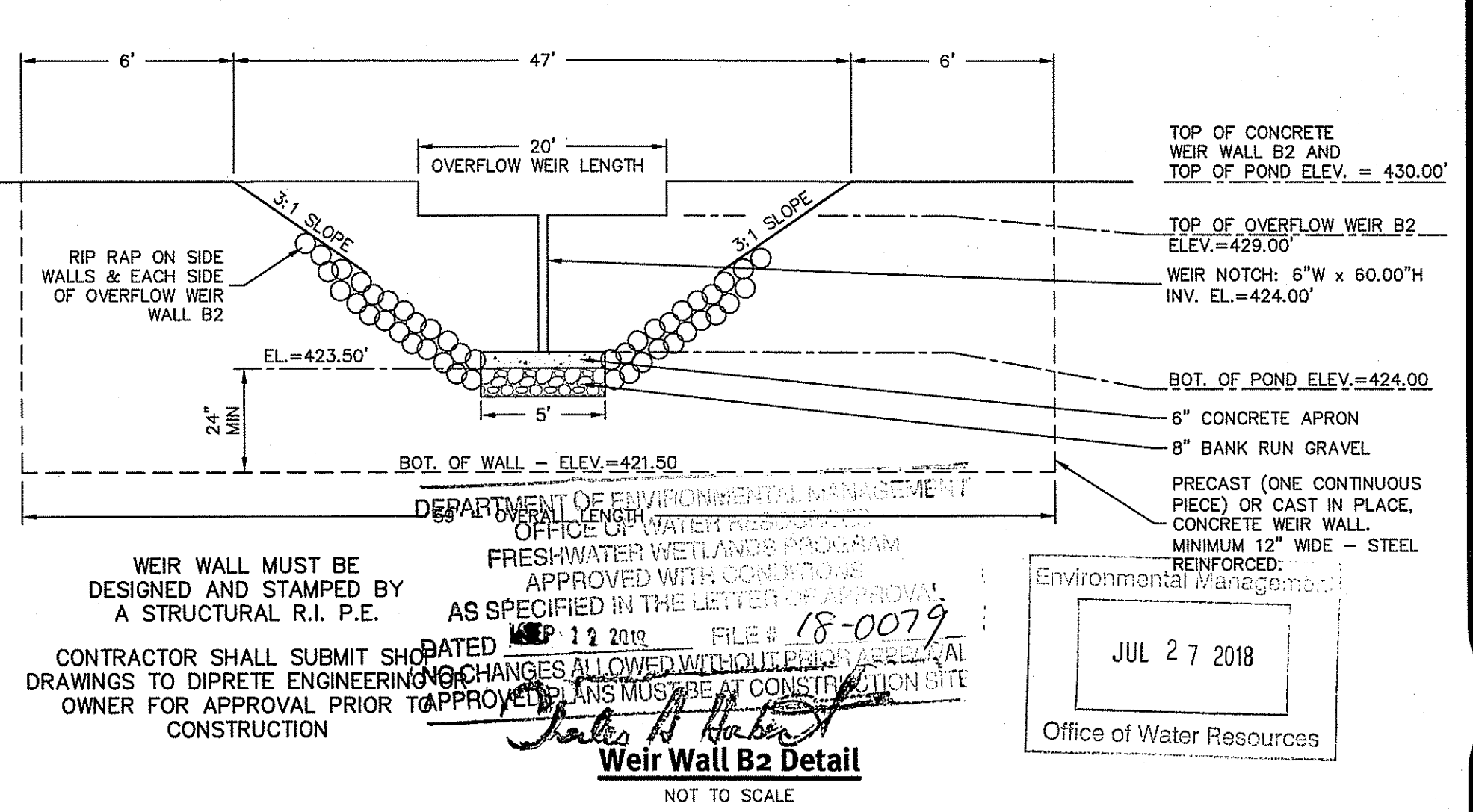
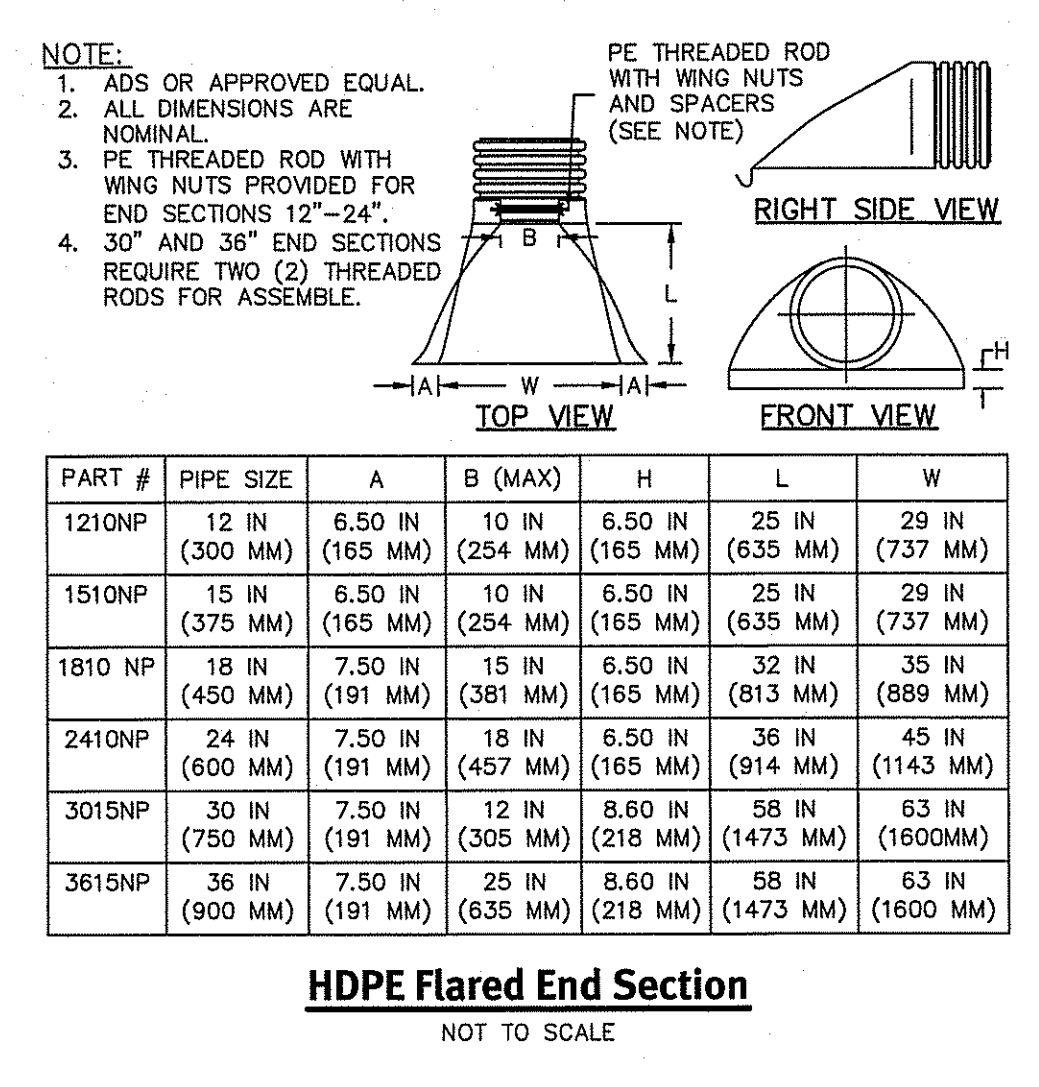
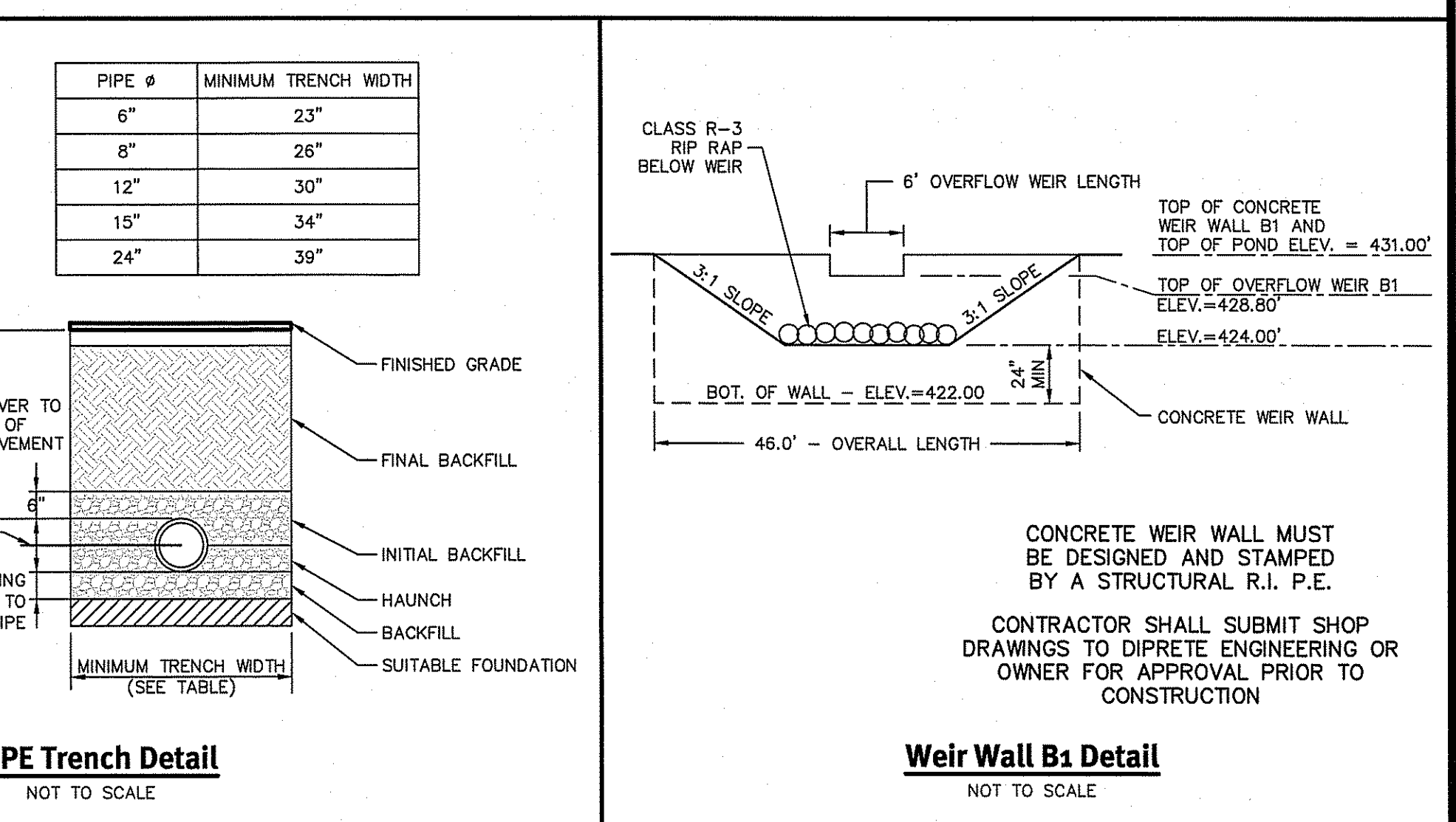
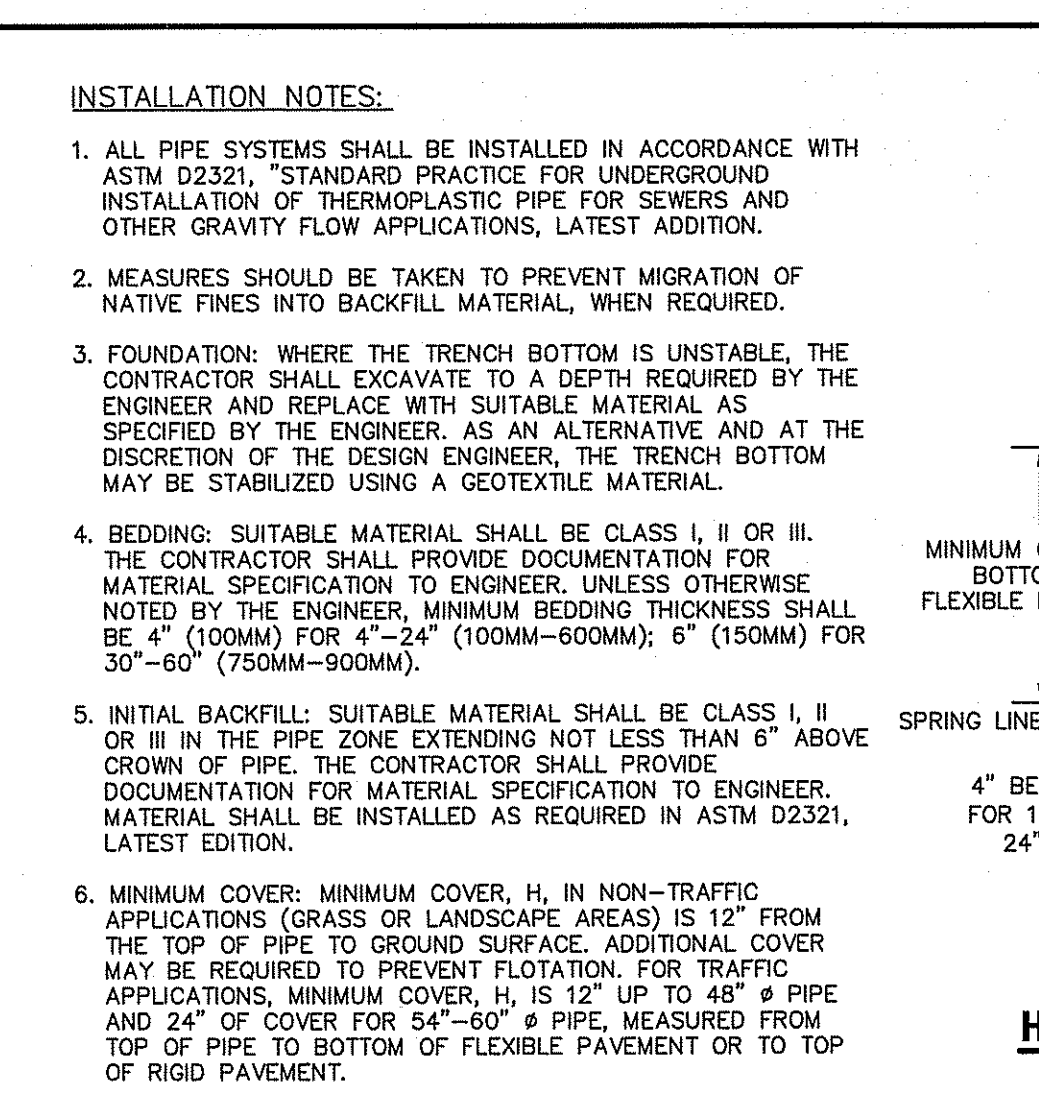
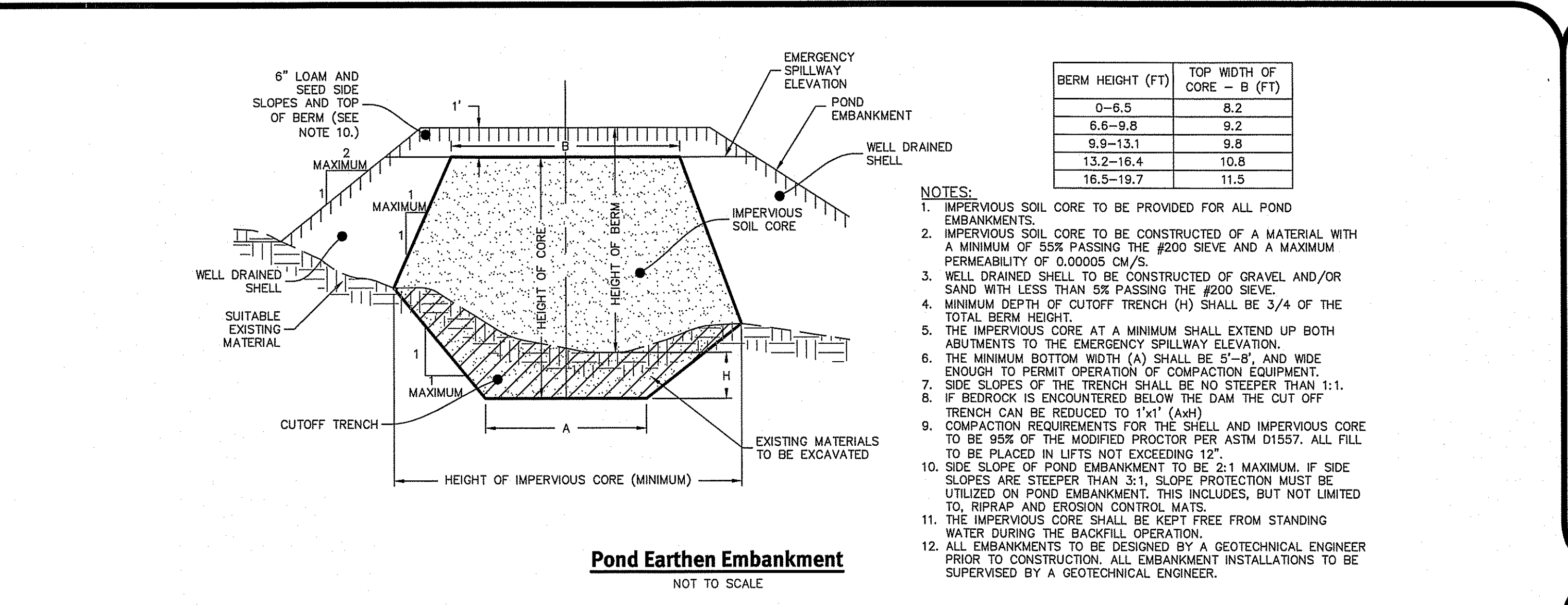
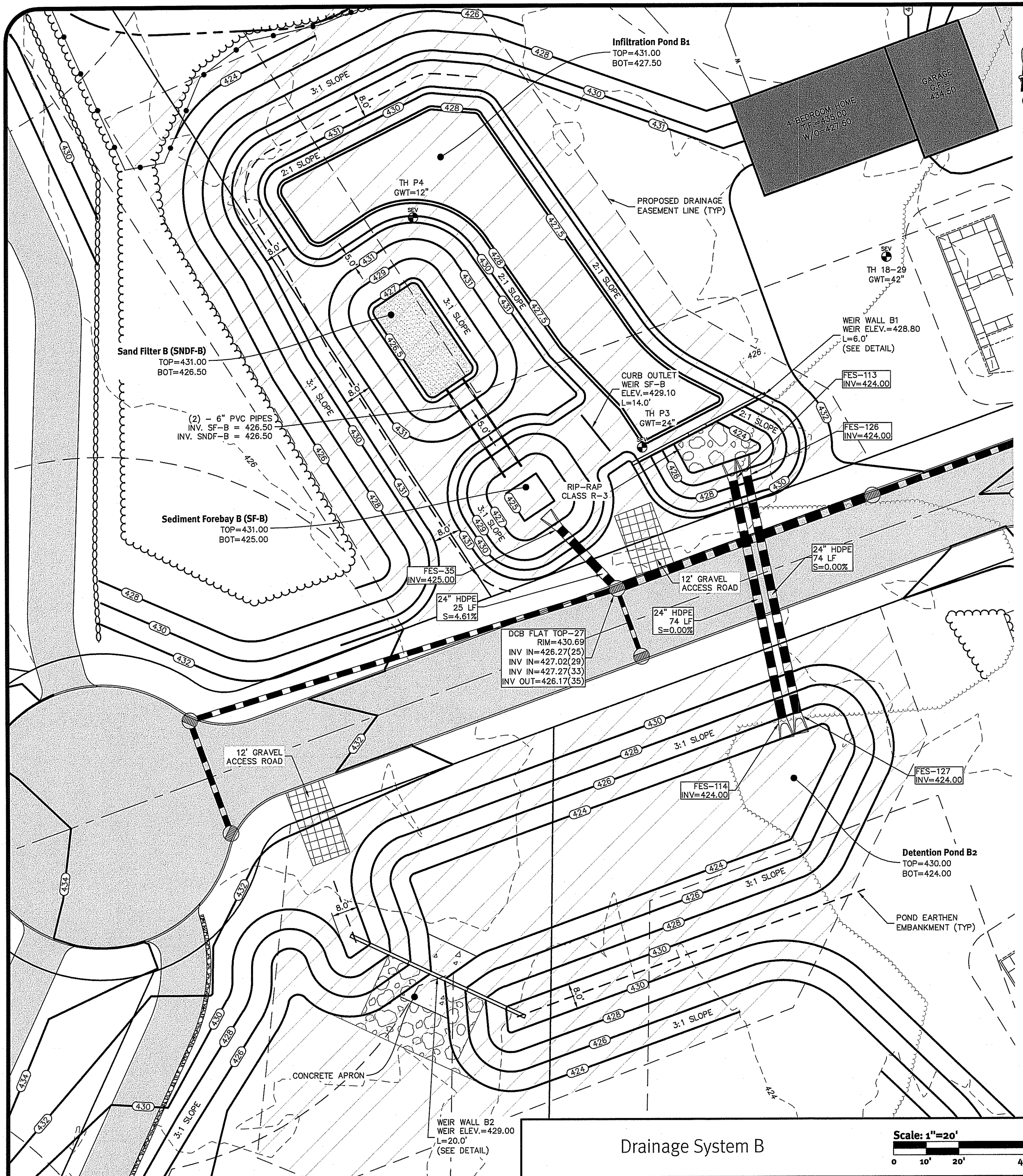
Design By: J.A.R.

Pond A & C - Detail Sheet

Highland Woods
1000 East Greenwich, Rhode Island 02818
Owner & Applicant

GSA Properties, LLC
Providence, Rhode Island 02907

SHEET 15 OF 18



Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-7000 Fax: 401-943-6606 www.diprete-eng.com

MATTHEW S CAULFIELD
No. 12070
REGISTERED PROFESSIONAL ENGINEER CIVIL

JASON P. CLOUGH
No. 9110
REGISTERED PROFESSIONAL ENGINEER CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, techniques, practices, and procedures in the implementation of this plan and design.

No.	Date	Description	By
1	7-23-2018	Initial Submission	JAC
2	8-12-2018	Initial Submission	JAC
3	08-25-2018	Initial Submission	JAC
4	08-25-2018	Initial Submission	JAC

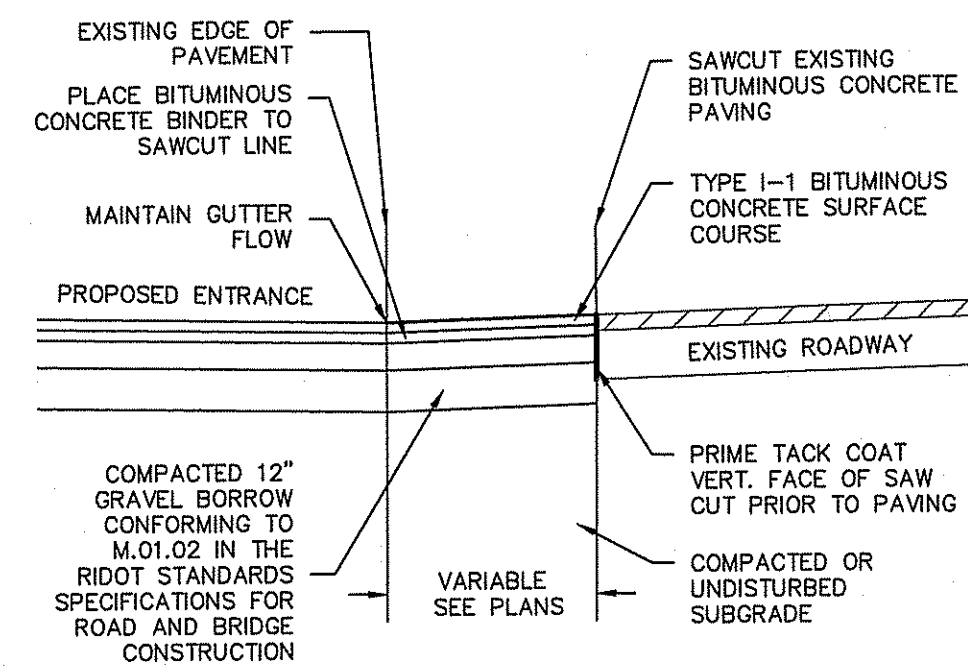
Design By: J.A.R.
Drawn By: J.A.R.

Highland Woods
Assessor's Map 7, Plat 19, Lots 12 & 156
Owner's Applicant
GSA Properties, LLC
50 Niantic Avenue
Providence, Rhode Island 02907

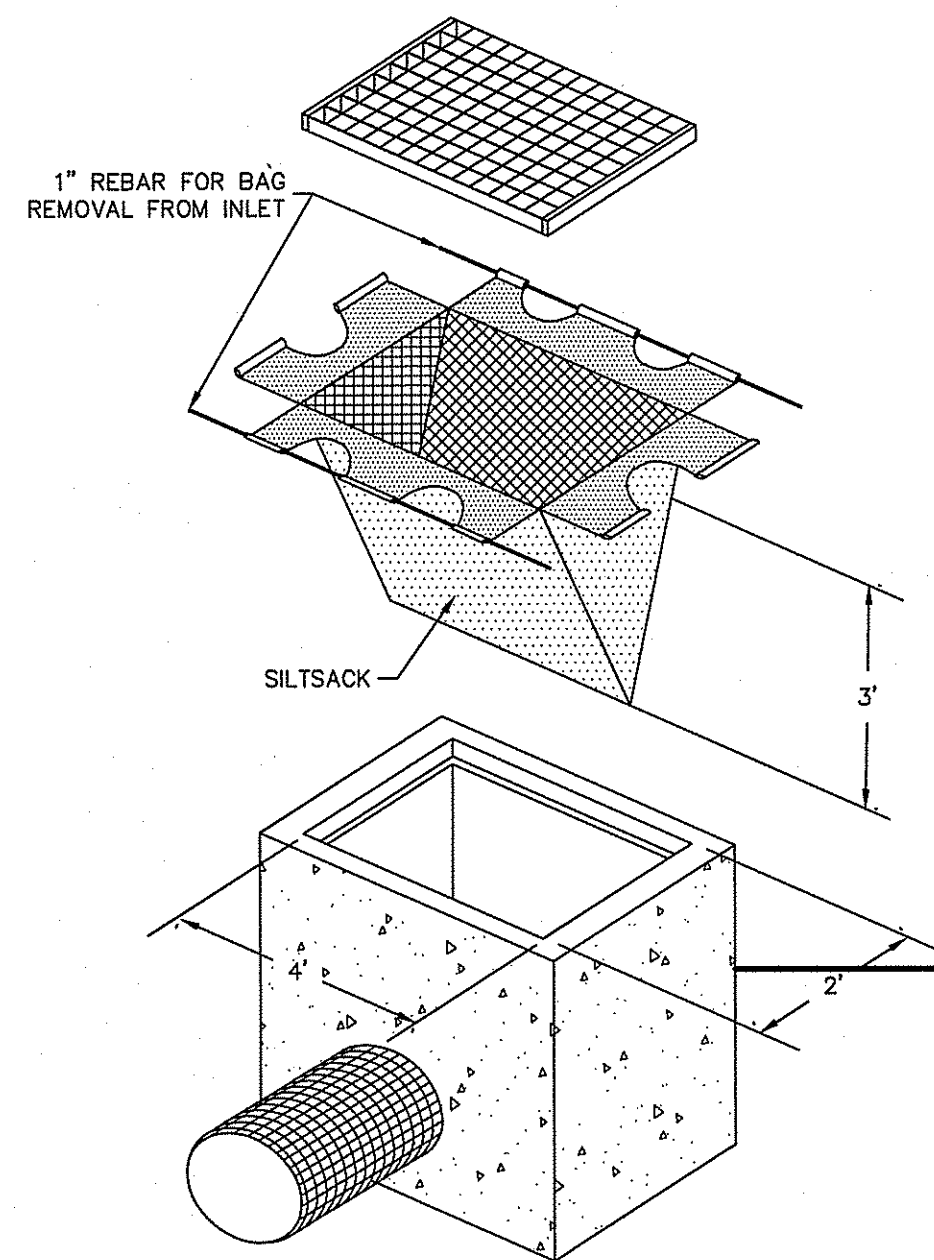
DE Job No: 2405-001-AD1. Copyright: 2018 by Diprete Engineering Associates, Inc.

Pond B - Detail Sheet
SHEET 16 OF 18

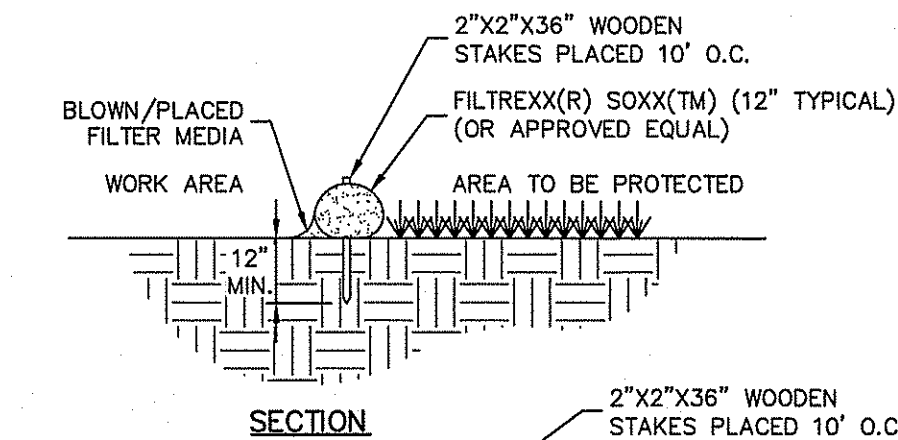
NOTE:
MINIMUM COMPACTION FOR GRAVEL SUB-BASE OR SUBGRADE: 95% MODIFIED PROCTOR.



Sawcut & Match
NOT TO SCALE



Typical Stockpile Erosion Control Installation
NOT TO SCALE

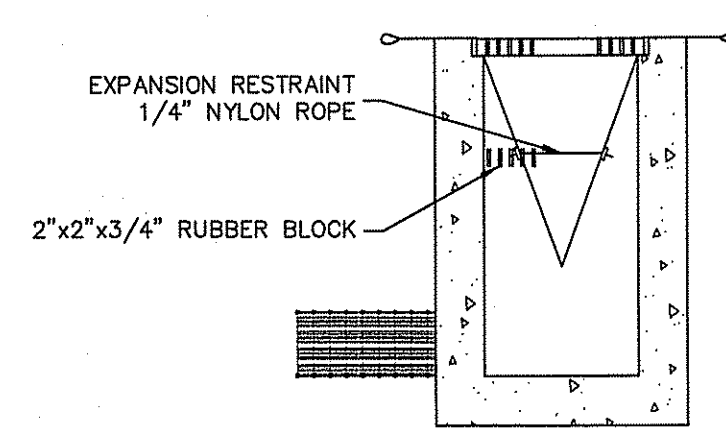


NOTES:

1. ALL MATERIAL TO MEET FILTREX(R) SPECIFICATIONS
2. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
4. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
5. SELF WEIGHT OF FILTREX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS.
6. CONTRACTOR TO PLACE FILTREX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

Filtrex Sediment Control (or Approved Equal)
NOT TO SCALE

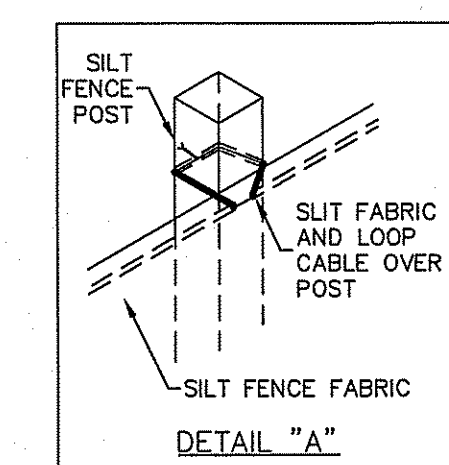
NOTE:
REGULAR FLOW=40 GAL./MIN/SF
HIGH FLOW=200 GAL./MIN/SF



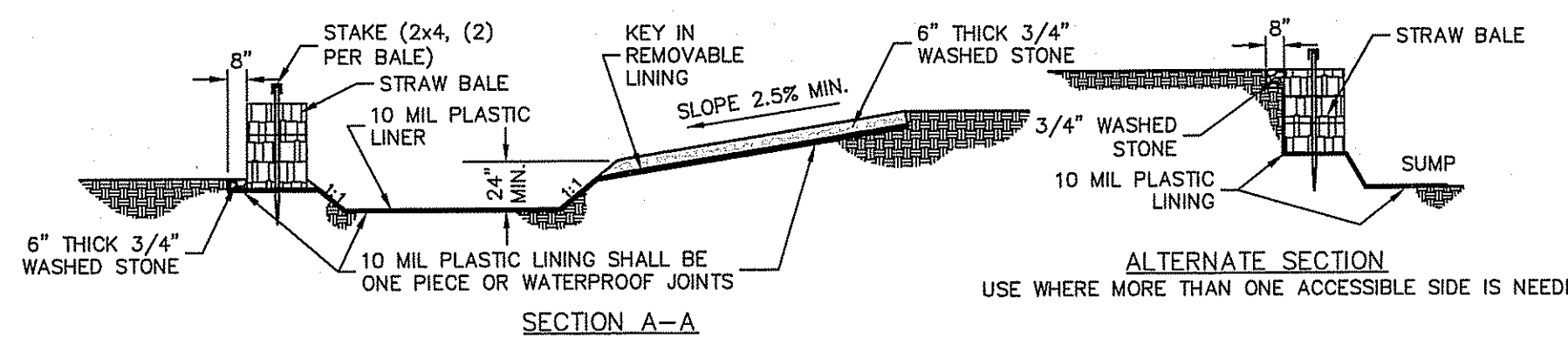
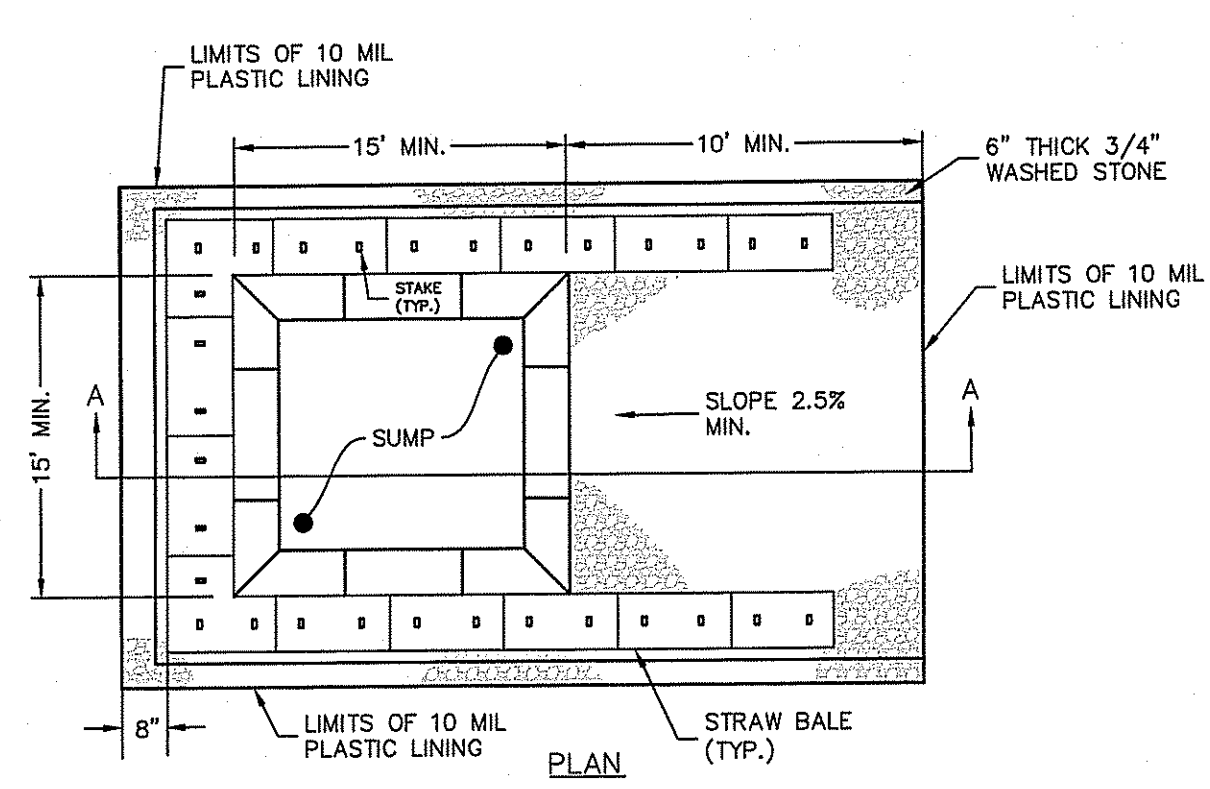
Silt Sack Detail
NOT TO SCALE

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



Silt Fence Detail
NOT TO SCALE



NOTES:

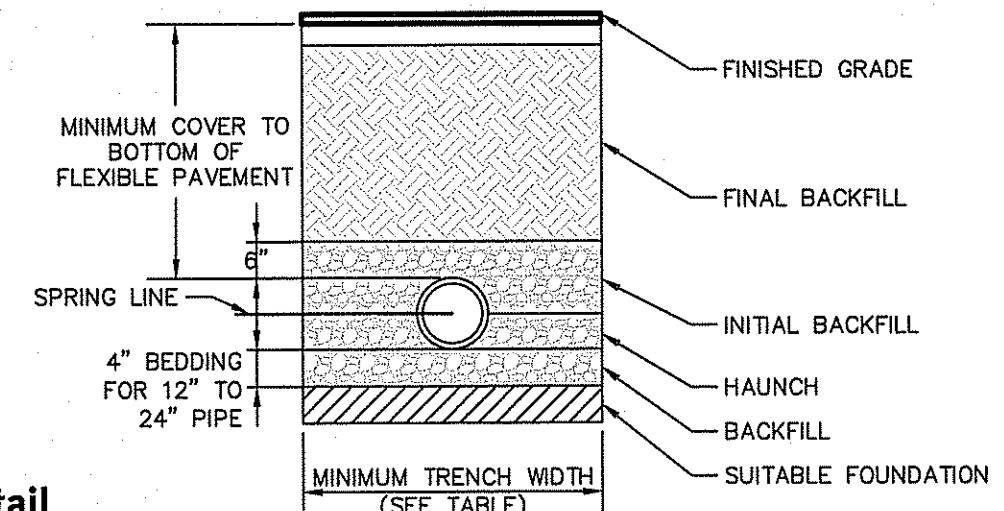
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERS.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

Concrete Washout Area
(NOT TO SCALE)

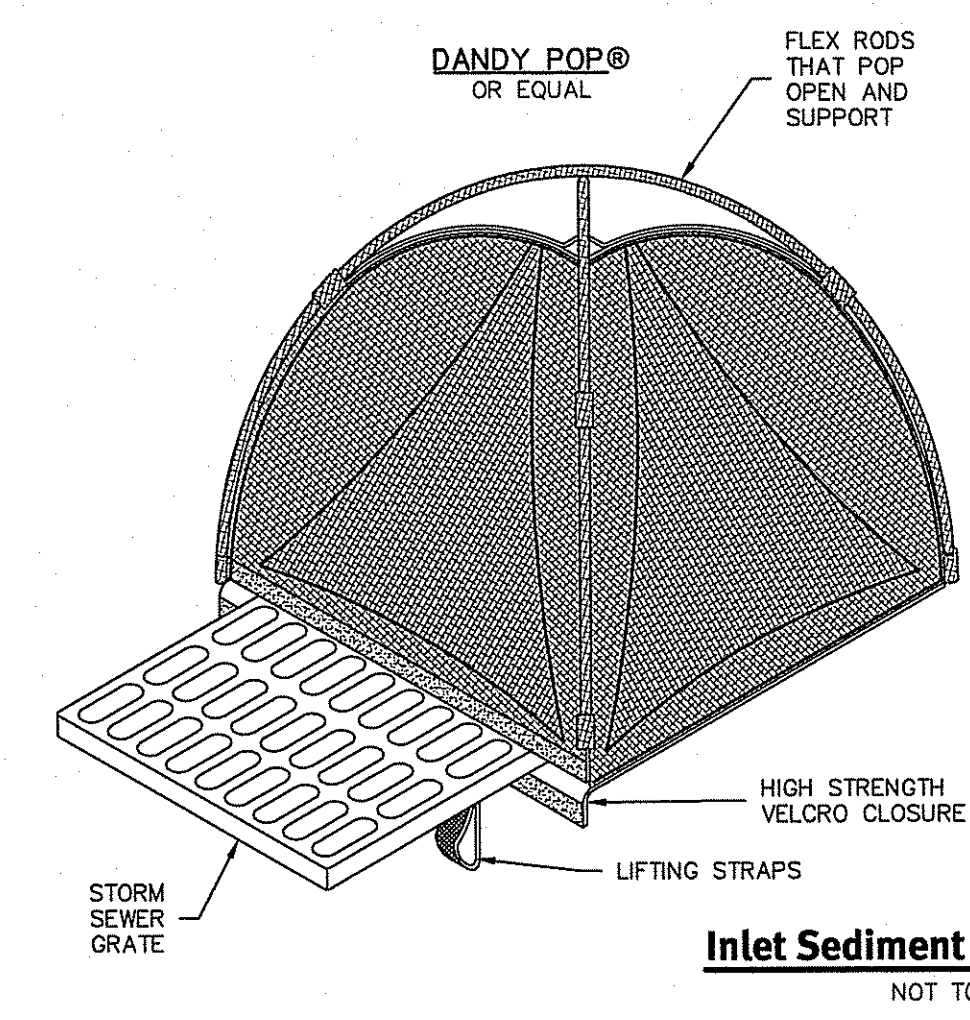
HDPE INSTALLATION NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST ADDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

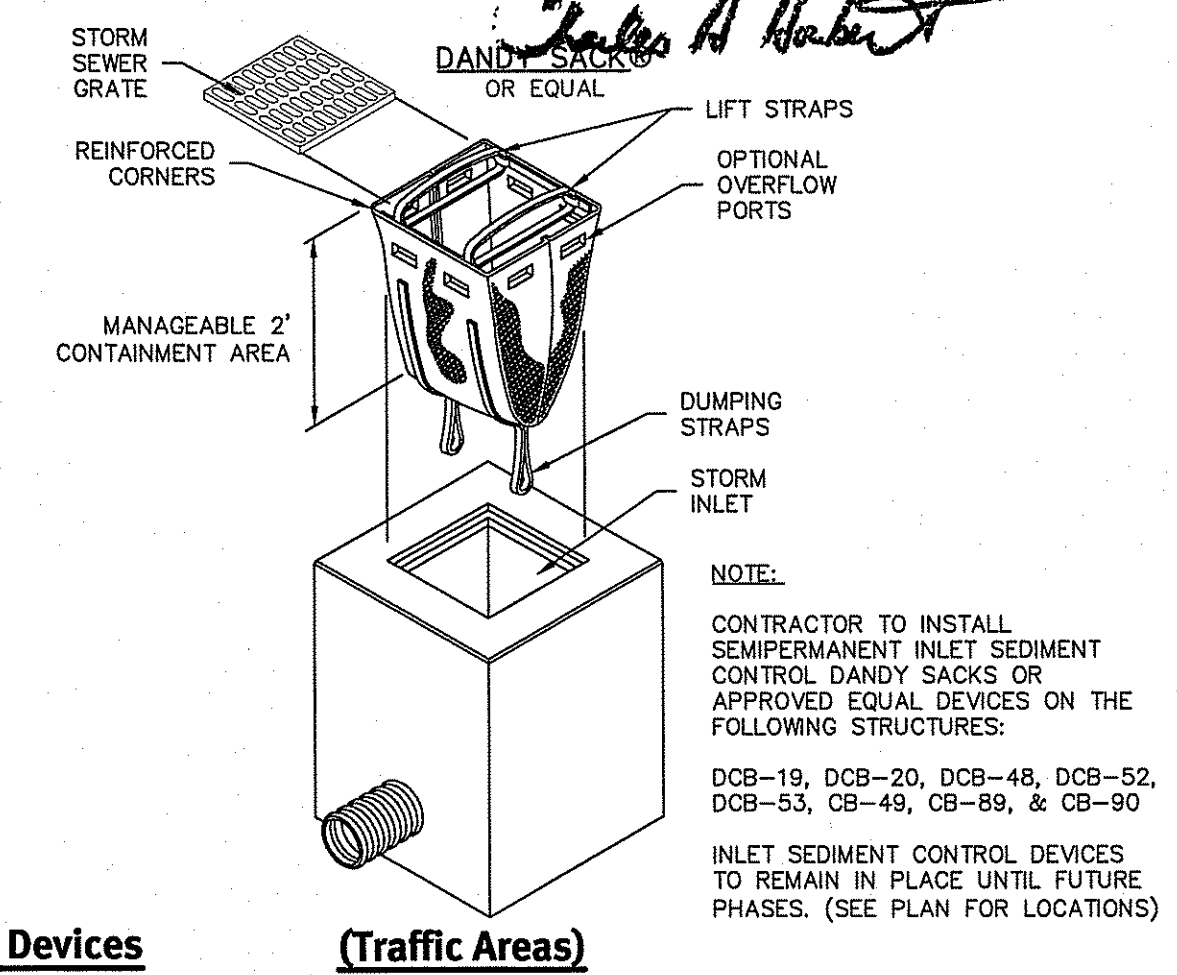
PIPE DIAMETER	MINIMUM TRENCH WIDTH
6"	23"
8"	26"
12"	30"
15"	34"
24"	39"
30"	56"
36"	64"
42"	72"
48"	80"
60"	96"



HDPE Trench Detail
NOT TO SCALE



Inlet Sediment Control Devices
NOT TO SCALE



(Traffic Areas)

Environmental Management
JUL 27 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 10/27/17 FILE # 18-0079
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

MATTHEW S CAULFIELD
No. 12070
REGISTERED PROFESSIONAL ENGINEER
CIVIL

JASON P. CLOUGH
No. 74104
REGISTERED PROFESSIONAL ENGINEER
CIVIL

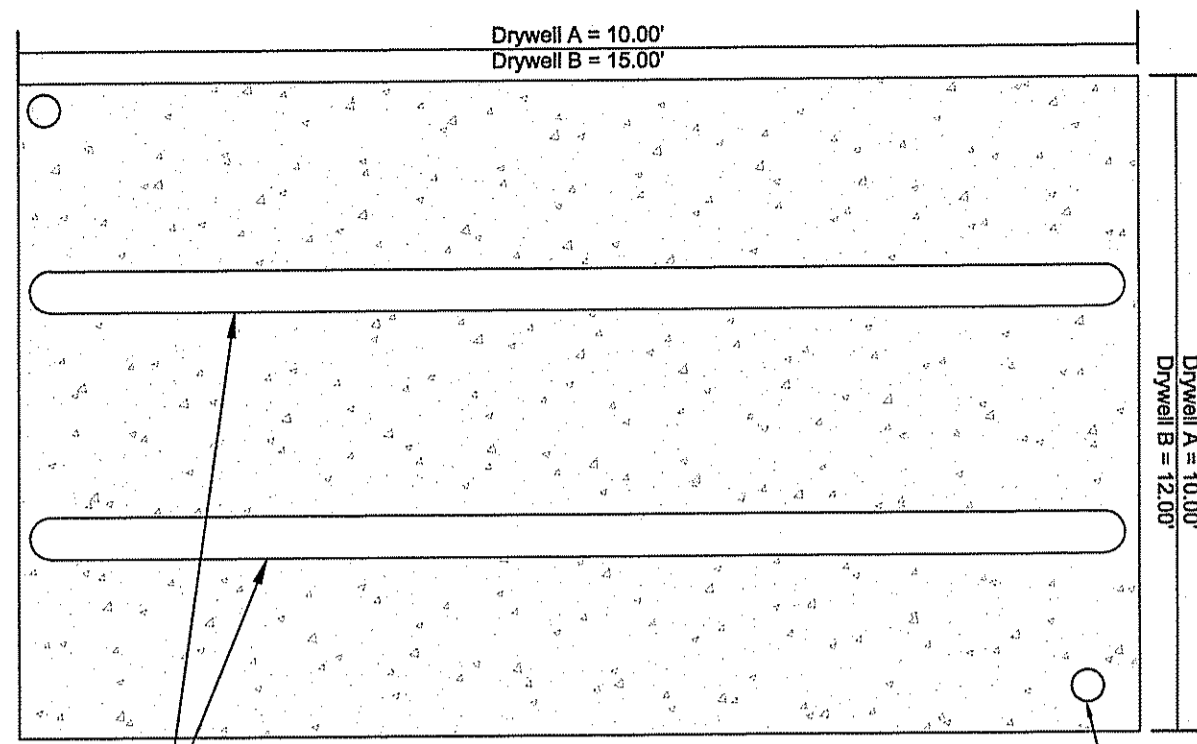
This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements of the OSHA, OSHA 1910.120, and the implementation of this plan and design.

No.	Date	Description	By	Design By: A.D.O.
1	7/23/2018	Initial Submission	J.A.R.	
2	8/13/2018	Revised Submission	J.A.R.	
3	8/13/2018	Final Submission	J.A.R.	
4	8/13/2018	Final Submission	J.A.R.	

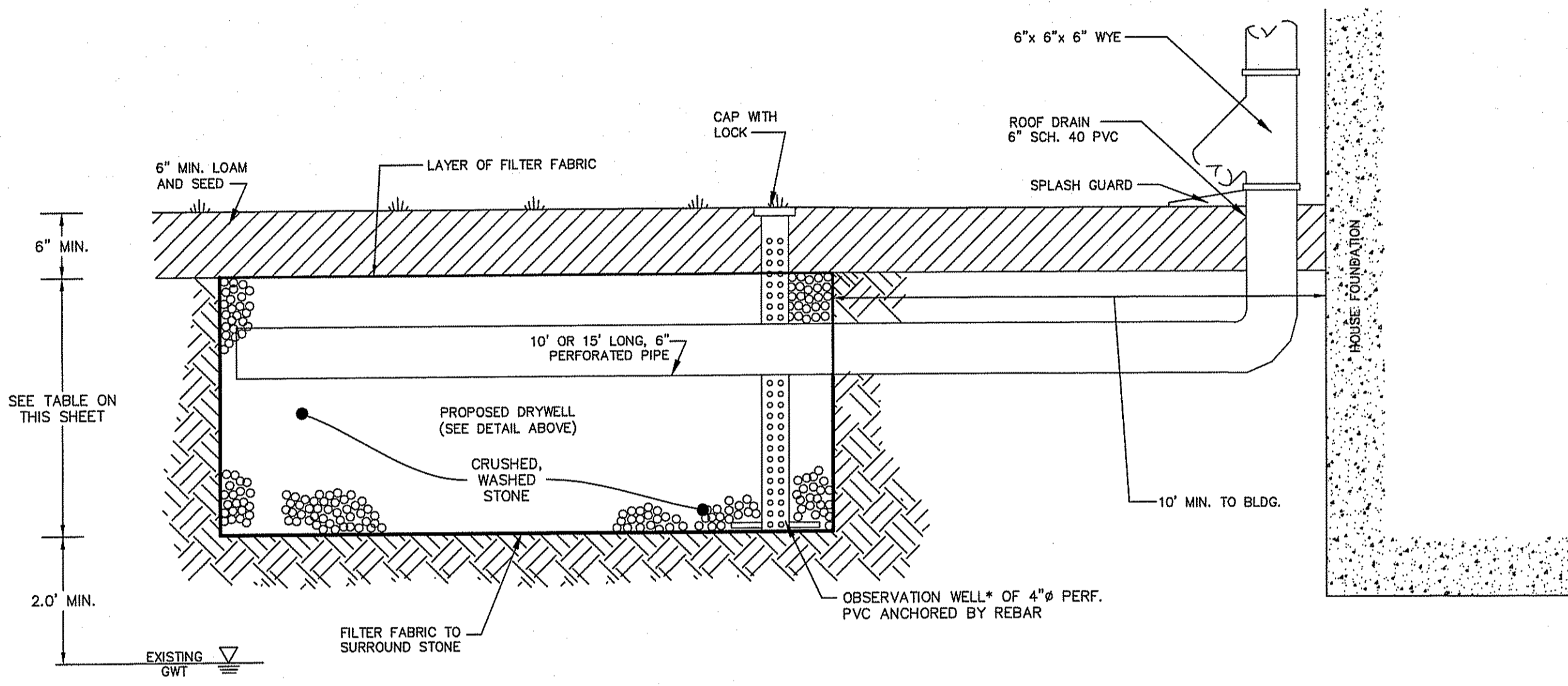
Detail Sheet - 1
Highland Woods
Assessor's Map 7 Plat 19, OS 12 & 156
East Greenwich, Rhode Island 02818
Owner's Applicant
GSA Properties, LLC
50 Narricut Avenue
Providence, Rhode Island 02907

DE Job No: 2405-001-001. Copyright 2018 by Diprete Engineering Associates, Inc.

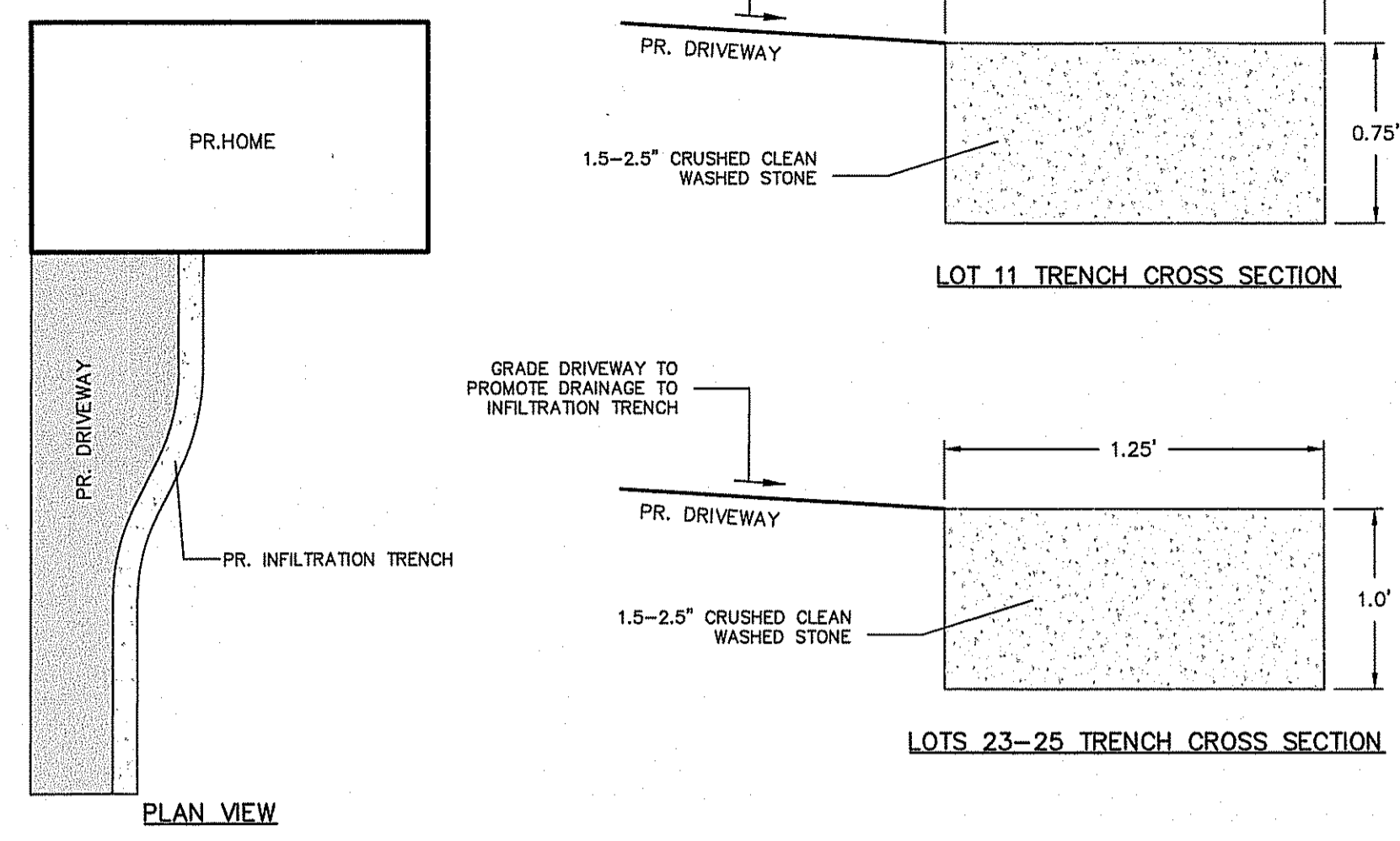


(2) = 10' OR 15' LONG, 6" PERFORATED PIPE
House Drywell Detail (Plan)
NOT TO SCALE

- CONSTRUCTION, MAINTENANCE, & INSPECTION NOTES:**
1. ROOF LEADERS ARE TO TIE INTO PROPOSED DRYWELLS.
 2. DRYWELL AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
 3. PLACE FILTER FABRIC ALONG THE BOTTOM AND SIDES OF TRENCH AND FILL WITH CRUSHED, WASHED STONE.
 4. OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACK FILL WITH CLEAN FILL TO FINISH GRADE.
 5. (*) MONITORING WATER LEVELS WITHIN THE INSPECTION PORT AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRYWELL SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM. THE OWNER WILL MAINTAIN THE DRAINAGE COMPONENTS.



House Drywell Connection Detail
NOT TO SCALE



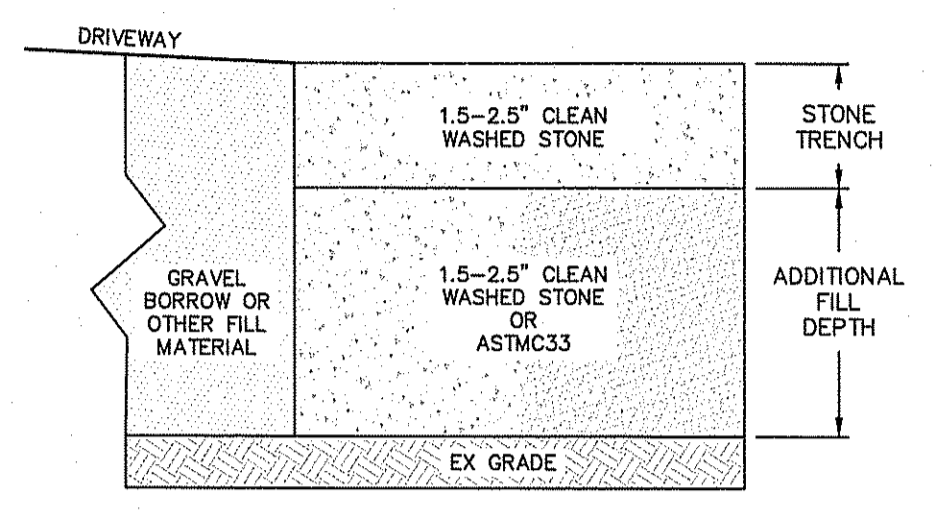
Infiltration Trench Detail
NOT TO SCALE

LOT	MINIMUM DRIVEWAY ELEVATION	GWT ELEVATION	MINIMUM SEPARATION DISTANCE (FEET)
11	422.00	416.00	2.50
23	416.00	412.00	2.50
24	424.00	416.00	7.50
25	428.00	422.00	3.50

Stone Trench Groundwater Separation Table
NOT TO SCALE

CONSTRUCTION NOTES:

1. IF THE BOTTOM ANY SECTION OF AN INFILTRATION TRENCH IS TO BE LOCATED IN MORE THAN 2 FT OF FILL TO EXISTING GRADE, THE REMAINING FILL SHALL CONSIST OF WASHED STONE OR ASTM C33 SAND.



TYPICAL TRENCH CROSS SECTION IN FILL

LOT	PROPOSED GRADING ELEVATION	TOP OF DRYWELL	ELEVATION AT BOTTOM OF DRYWELL	SEASONAL HIGH GWT ELEVATION	SEPARATION DISTANCE (FEET)	DRYWELL (A OR B)	HOUSE TREATMENT AREA
5	428.00	427.50	426.50	424.50	2.00	A	BACK OF ROOFTOP (1/2)
6	432.50	431.00	430.00	427.50	2.50	A	BACK OF ROOFTOP (1/2)
7	432.00	431.00	430.00	426.00	4.00	A	BACK OF ROOFTOP (1/2)
8	426.50	425.50	424.50	422.00	2.50	A	BACK OF ROOFTOP (1/2)
9	433.00	431.00	430.00	427.00	3.00	A	BACK OF ROOFTOP (1/2)
11	413.00	411.00	410.00	408.00	2.00	B	ENTIRE ROOFTOP
12	428.00	426.00	425.00	423.00	2.00	A	BACK OF ROOFTOP (1/2)
19	422.50	422.00	421.00	417.50	3.00	A	BACK OF ROOFTOP (1/2)
21	409.00	407.50	406.50	404.00	2.50	A	BACK OF ROOFTOP (1/2)
22	420.00	418.00	417.00	415.00	2.00	A	BACK OF ROOFTOP (1/2)
23	415.00	413.00	412.00	410.00	2.00	B	ENTIRE ROOFTOP
24	419.00	418.50	417.50	415.33	2.17	B	ENTIRE ROOFTOP
25	424.00	423.00	422.00	420.00	2.00	B	ENTIRE ROOFTOP

Drywell Groundwater Separation Table
NOT TO SCALE

Drywell Sizing Notes

1. THE HOMEOWNER / BUILDING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SIZING, LOCATION AND SEPERATION FROM GROUNDWATER FOR THE HOUSE DRYWELL.
2. FOR THE LOTS SPECIFIED TO HAVE DRYWELLS, ANY OF THE REQUIRED ROOFTOP RUNOFF NOT DIRECTED TO A PUBLIC STREET OR STORMWATER BASIN SHALL BE PIPED TO THE STONE DRYWELL OR OTHER RIDEM APPROVED WATER QUALITY TREATMENT PRACTICE.
3. DRYWELLS SHALL BE SIZED TO PROVIDE 85 SF OF DRYWELL PER 1000 SF OF CONTRIBUTING ROOFTOP AREA. THIS SIZING IS FOR 1' DEEP DRYWELLS ONLY. CHANGE IN DRYWELL DEPTH SHALL REQUIRE DESIGN BY A RI PROFESSIONAL ENGINEER.

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REGISTERED PROFESSIONAL ENGINEER CIVIL

JASON P. CLOUGH
No. 9110
REGISTERED PROFESSIONAL ENGINEER CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By	Design By: J.A.R.
1	7-23-2018	RIDEM Re-submission	J.A.R.	
2	6-09-2018	Client Sign	J.A.R.	
3	08-25-2018	Master Plan Submission	J.A.R.	
4	08-25-2018	Master Plan Submission	J.A.R.	
5	12-23-2016	Pre-application Submission	J.A.R.	

Environmental Management
JUL 27 2018
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **12 2 2018** FILE # **18-0079**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Charles A. Harte

Detail Sheet - 2
Highland Woods
Assess' Map 7 Plat 1a, Lots 12 & 156
East Greenwich, Rhode Island 02818
Owner & Applicant
GSA Properties, LLC
50 Niantic Avenue
Providence, Rhode Island 02907
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