

Preliminary Plan Submission for

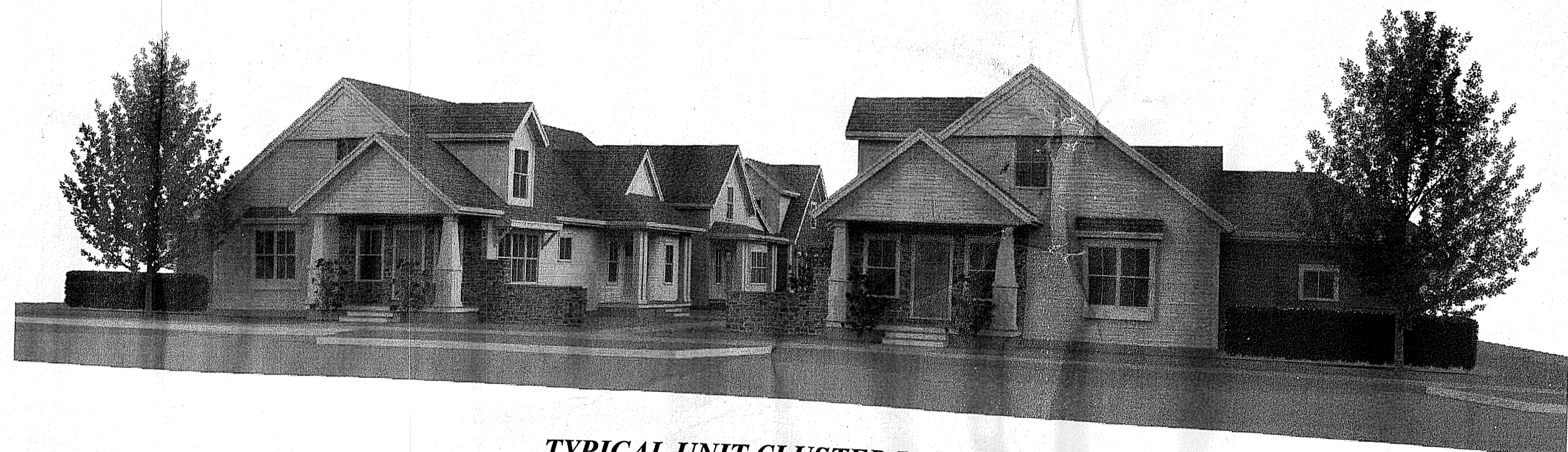
# OLD COUNTY VILLAGE

A COMPREHENSIVE PERMIT FOR A 79-UNIT RESIDENTIAL COMMUNITY  
(INCLUDING 25% LOW TO MODERATE INCOME HOUSING)

190 & 194 OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30



**TYPICAL UNIT RENDERING**  
PREPARED BY O'HEARNE ASSOCIATES



**TYPICAL UNIT CLUSTER RENDERING**  
PREPARED BY O'HEARNE ASSOCIATES

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 18 2020 FILE # 18-0174  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

- PRELIMINARY PLAN APPROVAL CONDITIONS:**
1. THE APPLICANT INCREASE THE NOTIFICATION RADIUS TO 500 FEET FOR THE PRE-BLAST SURVEY, NOTIFYING ABUTTERS VIA CERTIFIED MAIL AND BY PLACING AN AD IN THE VALLEY BREEZE REGARDING BLASTING;
  2. INSTALLING A FENCE AROUND THE PERIMETER;
  3. MOVING THE WALKING TRAIL;
  4. MOVING THE STOP BAR AT THE OLD COUNTY ROAD/FARNUM PIKE INTERSECTION;
  5. INCREASING THE VISIBILITY OF THE SCHOOL ZONE SPEED LIMIT SIGN;
  6. ADDING SIGNAGE AND STRIPING AT SEBILLE ROAD;
  7. AND RECEIPT OF ALL OUTSTANDING STATE AND LOCAL APPROVALS.

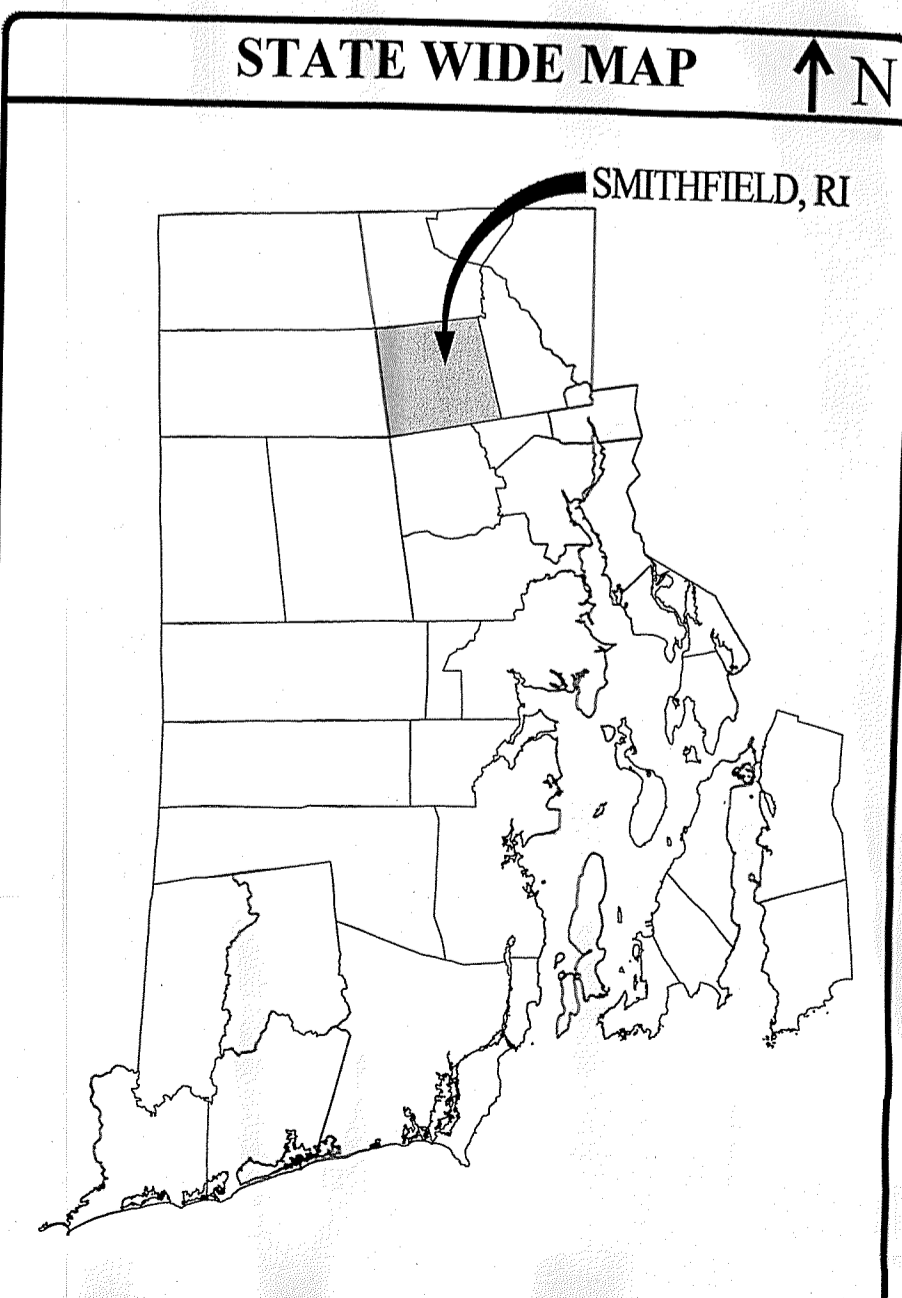
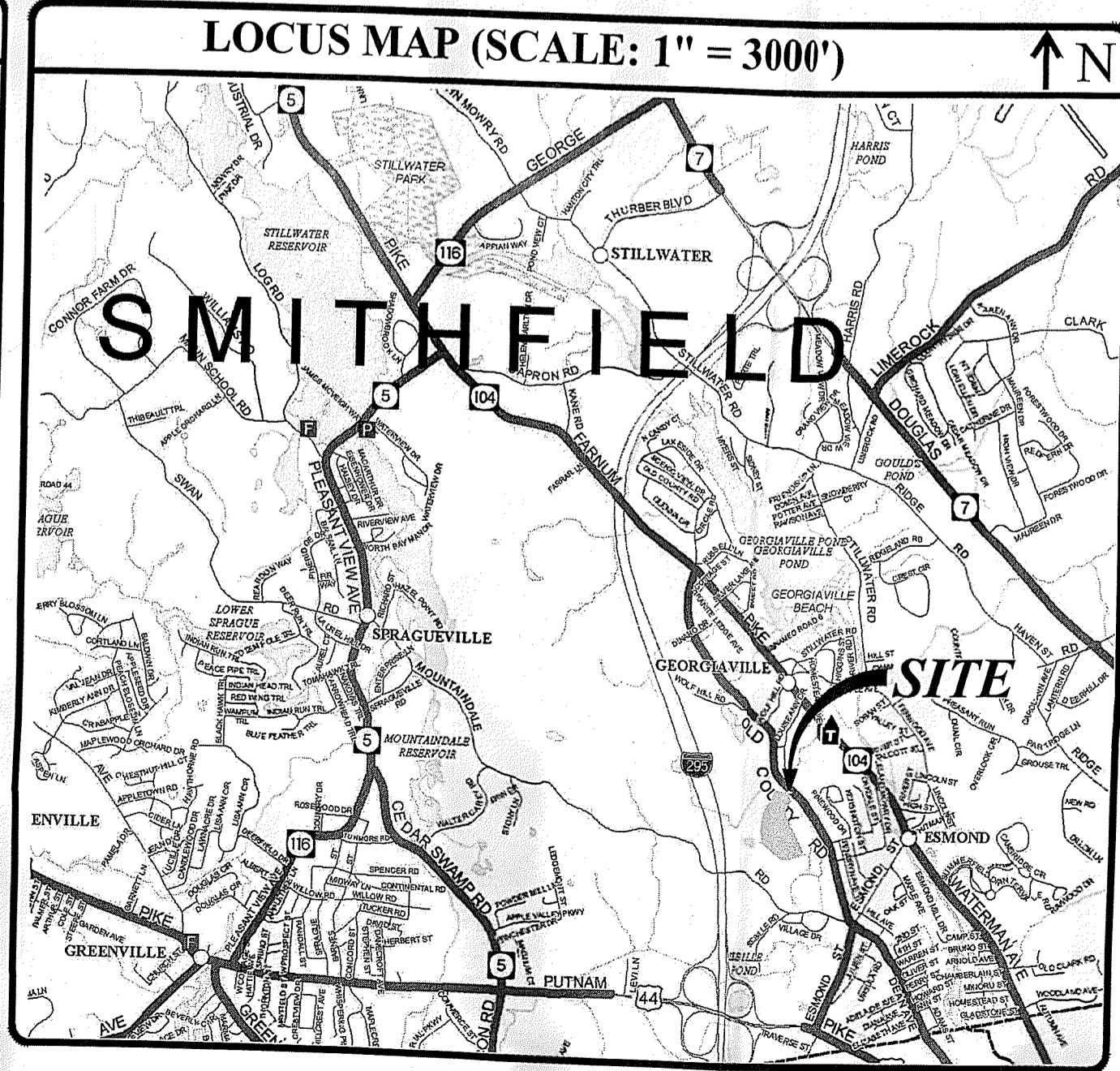
**JCE**  
JOE CASALI ENGINEERING, INC.  
CONSULTING ENGINEERS  
DEVELOPMENT - TRANSPORTATION  
DRAINAGE - WETLANDS - ENVIRONMENTAL PLANNING  
300 POST ROAD, WARWICK, RI 02886  
TEL: 401-944-1300 FAX: 401-944-1313 WWW.JOECASALI.COM

JOSEPH A. CASALI  
No. 7250  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
3.18.2020

**PROPOSED 79-UNIT  
RESIDENTIAL COMMUNITY  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30**

**PROJECT TEAM**

<b>OWNER:</b>	SHAWN A. JORDE 526 OLD POST ROAD NORTH ATTLEBORO, MA 02760 PHONE: 508-254-3552	<b>TRAFFIC ENGINEER:</b>	PARE CORPORATION 8 BLACKSTONE VALLEY PLACE LINCOLN, RI 02865 PHONE: 401-334-4100 FAX: 401-334-4108
<b>APPLICANT:</b>	OLD COUNTY VILLAGE, LLC. 435 EDDIE DOWLING HIGHWAY NORTH SMITHFIELD RI 02896	<b>LAND SURVEYOR:</b>	INTERNATIONAL MAPPING AND SURVEYING CORP. 19 INDUSTRIAL DRIVE SMITHFIELD, RI 02917 PHONE: 401-232-2620
<b>ARCHITECT:</b>	O'HEARNE ASSOCIATES ARCHITECTS P.O. BOX 1213 11 MAIN STREET SLATERVILLE, RI 02876 PHONE: 401-765-3971 FAX: 401-769-7435 OHEARNEASSOCIATES.COM	<b>LANDSCAPE ARCHITECT:</b>	DIANE C. SOULE & ASSOCIATES, ASLA 422 FARNUM PIKE SMITHFIELD, RI 02917 PHONE: 401-231-0736
<b>CIVIL ENGINEER:</b>	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313 JOECASALI.COM	<b>WETLAND BIOLOGIST:</b>	NATURAL RESOURCE SERVICES 180 TINKHAM LANE HARRISVILLE, RI 02830 PHONE: 401-568-7390



SHEET NO.	PLAN
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	SITE PREPARATION PLAN
4	SITE PLAN
5	OVERALL GRADING PLAN
6	GRADING & DRAINAGE PLAN I
7	GRADING & DRAINAGE PLAN II
8	STORMWATER MGMT AREA CROSS-SECTIONS I
9	STORMWATER MGMT AREA CROSS-SECTIONS II
10	STORMWATER MGMT AREA CROSS-SECTIONS III
11	WATER PLAN
12	SEWER PLAN
13	RIDOT PAP PLAN
14	MAIN ROADWAY PROFILE
15	RI STANDARD DETAILS
16	DETAILS I
17	DETAILS II
18	DETAILS III
19	DETAILS IV

**REFERENCE PLAN**  
R1 EXISTING CONDITIONS PLAN PREPARED BY INTERNATIONAL MAPPING & SURVEYING, CORP.

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	2/21/19	SEWER FILING
2	10/1/19	RIDOT COMMENTS
3	10/15/19	RIDOT COMMENTS
4	3/18/20	TOWN-RIDEM REV.

DESIGNED BY: WML/RSD  
DRAWN BY: SD/SEP  
CHECKED BY: JAC  
DATE: JUNE 2018  
PROJECT NO: 15-204

ISSUED FOR PERMIT

**COVER SHEET**

**SHEET 1 OF 19**

**GENERAL NOTES:**

- CONTRACTOR SHALL NOTIFY "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CLASS I PROPERTY LINE AND CLASS III TOPOGRAPHIC SURVEY COMPLETED BY INTERNATIONAL MAPPING & SURVEYING INC. IN JULY OF 2015.
- WETLANDS FLAGS DELINEATED BY NATURAL RESOURCE SERVICES INC. IN MAY OF 2015.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THIS SITE LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD), AS SHOWN ON THE FIRM MAP FOR PROVIDENCE COUNTY, COMMUNITY PANEL NO. 44007C0166G, MAP EFFECTIVE MARCH 2, 2009.
- SOILS EXISTING ON THE SITE CONSIST OF CANTON AND CHARLTON SOIL GROUPS (C&c & C&d).
- THERE ARE NO KNOWN HIGH HAZARD AREAS ON THE PROJECT SITE.
- THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE WOONASQUATUCKET RIVER WATERSHED.
- AN EXISTING ACCESS EASEMENT EXISTS ON AP 32, LOT 8 GRANTING ACCESS TO AP 32 LOT 8A.
- SEWER, WATER, GAS AND ELECTRIC SERVICES ARE LOCATED IN OLD COUNTY ROAD.

**SITE NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICAN WITH DISABILITIES ACT AND WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, WHICHEVER IS MORE STRINGENT.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- REFER TO ARCHITECTURAL PLANS, STRUCTURAL PLANS, PLUMBING PLANS AND ELECTRICAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDINGS AND WORK WITHIN 5 FEET OF THE PROPOSED BUILDINGS.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION, UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- LEDGE TO BE REMOVED BY MECHANICAL MEANS OR BY BLASTING. REFER TO BLASING NOTES BELOW, IF BLASTING IS DETERMINED TO BE REQUIRED.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, AMENDED DECEMBER 2010 (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

**MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

**DRAINAGE SYSTEM NOTES:**

- THE PROPOSED DRAINAGE LINES SHALL BE ADS N-12 HDPE PIPE OR AN APPROVED EQUAL UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.

**BLASTING NOTES:**

- NOTICE, INSPECTIONS AND BLASTING SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS.
- BLASTING PRODUCTS ARE TO BE FREE OF PERCHLORATE. BLASTING CONTRACTOR SHALL SUBMIT MANUFACTURER'S SPECIFICATIONS AND LETTER TO ENGINEER AND TOWN STATING PRODUCTS TO BE USED ARE FEE OF PERCHLORATE.
- A PRE-BLAST SURVEY WILL BE OFFERED TO OWNERS OF ADJACENT PROPERTIES PRIOR TO COMMENCEMENT OF BLASTING ACTIVITIES. CONTRACTOR WILL BE REQUIRED TO NOTIFY LAND OWNERS WILL BE NOTIFIED VIA CERTIFIED MAIL AS PER STATE LAW 23-28-37-37.
- ROADWAYS, UTILITIES, AND BUILDINGS SHALL BE OVERBLASTED ACCORDING TO ARCHITECT, CIVIL ENGINEER, GEOTECHNICAL ENGINEER REQUIREMENTS. CONTRACTOR SHALL SUBMIT BLASTING PLAN TO ALL APPLICABLE DESIGN PROFESSIONALS PRIOR TO BLASTING.
- PER THE CONDITIONS OF PRELIMINARY PLAN APPROVAL, THE OWNER AND/OR THE CONTRACTOR MUST INCREASE THE NOTIFICATION RADIUS TO 500-FT FOR THE PRE-BLAST SURVEY, NOTIFYING ABUTTERS VIA CERTIFIED MAIL AND BY PLACING AN AD IN THE VALLEY BREEZE REGARDING BLASTING.

**DRAINAGE SYSTEM MAINTENANCE SCHEDULE:**

UPON PROJECT COMPLETION, THE PROPERTY OWNER OR ASSOCIATION SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

- MANHOLES AND DRAIN LINES:** AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
  - DAMAGE TO GRATE/ COVERS
  - EVIDENCE OF STANDING WATER
  - DEBRIS REMOVAL
  - STRUCTURAL ALIGNMENT/ INTEGRITY

ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- THE SILT FENCE / HAY BALE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) OUTLET PROTECTION (STAKED HAYBALE OR STAKED HAYBALE WITH SILT FENCE) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STANDING OF VEGETATION IS MAINTAINED.
- ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- THE SILT FENCE/HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE/HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER, TOWN ENGINEER, OR OWNER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993 AMENDED 2014.

**MISCELLANEOUS UTILITY NOTES:**

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT THEIR OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR TOWN.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.
- ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF SMITHFIELD SEWER AUTHORITY "STANDARD SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF SEWER AND APPURTENANCES BY PRIVATE DEVELOPERS."
- ALL NEW SEWER PIPES AND MANHOLES SHALL BE CLEANED AND TESTED PRIOR TO ACCEPTANCE. GRAVITY SEWER PIPES SHALL BE REQUIRED TO PASS BOTH LOW PRESSURE AIR AND DEFLECTION (IE., MANDREL) TESTING. LOW PRESSURE SEWER PIPING SHALL BE REQUIRED TO PASS A LOW PRESSURE (IE., HYDROSTATIC) TEST.
- A BACKFLOW PREVENTION DEVICE MUST BE INSTALLED AT EACH SEWER SERVICE BUILDING CONNECTION THAT IS BELOW THE RIM ELEVATION OF THE NEAREST SEWER MANHOLE, AS REQUIRED BY THE INTERNATIONAL PLUMBING CODE AND THE TOWN OF SMITHFIELD.
- APPLICANT IS REQUIRED TO PROVIDE TWO SETS OF FINAL AS-BUILT PLANS TO SEWER AUTHORITY AND ENGINEERING DEPARTMENT UPON COMPLETION OF CONSTRUCTION, PRIOR TO FINAL ACCEPTANCE. AS-BUILT PLANS SHALL INCLUDE FIELD MEASUREMENTS OF ALL INSTALLED PIPES AND APPURTENANCES, INCLUDING LENGTH, SLOPE, MANHOLE RIMS AND INVERTS, AS WELL AS SWING TIES/MEASUREMENTS TO ALL MANHOLES, SEWER STUBS, AND/OR LATERAL SERVICE CONNECTIONS.
- INSPECTION OF ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY TOWN OF SMITHFIELD SEWER CONSULTANT. APPLICANT SHALL PROVIDE SCHEDULE FOR CONSTRUCTION AS SOON AS POSSIBLE TO ALLOW FOR DEVELOPMENT OF INSPECTION FEE, TO BE PAID BY APPLICANT DIRECTLY TO TOWN OF SMITHFIELD, ENGINEERING DEPARTMENT. UPON PAYMENT OF FEE, COMMENCEMENT OF CONSTRUCTION INSPECTION REQUIRES MINIMUM NOTIFICATION OF 48-HOURS.
- THE APPLICANT IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM LOCAL, STATE, AND/OR FEDERAL AGENCIES WITH REGULATORY JURISDICTION OVER THE PROPOSED WORK. COPIES OF ALL PERMITS SHALL BE PROVIDED TO SMITHFIELD SEWER AUTHORITY AND TOWN ENGINEER PRIOR TO CONSTRUCTION. ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR, OR LICENSED PLUMBER IN THE STATE OF RHODE ISLAND AND THE TOWN OF SMITHFIELD.
- NO FLOW WILL BE ACCEPTED UNTIL A COMPLETION CERTIFICATE IS ISSUED.
- THE CONTRACTOR SHALL CONFINE HIS CONSTRUCTION OPERATIONS AND ACTIVITIES TO WITHIN THE STREET LINES, EASEMENT AND/OR RIGHT-OF-WAY, AS SHOWN ON THE DRAWINGS.
- ALL CONSTRUCTION MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHEETS SHALL BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER, THE SEWER AUTHORITY, OR ITS REPRESENTATIVE PRIOR TO FABRICATION AND INSTALLATION, AND SUBMITTED TO THE SMITHFIELD SEWER AUTHORITY AND TOWN ENGINEER PRIOR TO CONSTRUCTION FOR THEIR RECORDS.
- PRIOR TO CONSTRUCTION OF THE RELOCATION OF ALL WATER MAINS, THE CONTRACTOR SHALL COORDINATE WITH PROVIDENCE WATER COMPANY FOR INSPECTION AND CHLORINATION OF NEW PIPING, FITTINGS AND VALVES.

**SEDIMENTATION CONTROL PROGRAM:**

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE STORMWATER MANAGEMENT AREAS. THESE AREAS CANNOT BE USED AS SEDIMENT CONTROL DEVICES.
- DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY ARE NEWLY FILLED OR EXCAVATED, SHALL RECEIVE SUITABLE SLOPE PROTECTION.
- ALL UPSLOPED AREAS ARE TO BE STABILIZED PRIOR TO CONNECTING TO THE STORMWATER FACILITIES.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF DURING STORMS AND PERIODS OF RAINFALL.
- CONTRACTOR SHALL CONSTRUCT TEMPORARY BERMS/BARS/CHANNELS AS NECESSARY TO DIRECT FLOW TO TEMPORARY SEDIMENT TRAPS. BERM/BAR/CHANNEL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (2016).
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER PERIODS OF RAINFALL. SUCH DEVICES SHALL BE REPAIRED OR REPLACED AS NEEDED.
- REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" ISSUED IN 1989 (REVISED 2014, UPDATED 2016).
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- MATERIAL STOCKPILES SHALL BE ENCLOSED BY SILT FENCE (RI STD. 9.2.0).

**ORDER OF PROCEDURE:**

- SEDIMENT CONTROL DEVICES SHALL SET IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY CLEANED AND MAINTAINED DURING THE CONSTRUCTION.
- IF WORK PROGRESS IS INTERRUPTED AT ANY TIME, REFERENCE EROSION & SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
- SPECIFIED PLANTINGS ARE TO TAKE PLACE IN EARLY SPRING (APRIL 1 THRU JUNE 15) OR EARLY FALL (SEPTEMBER 1 THRU OCTOBER 15) AND ARE TO BE MAINTAINED FOR A PERIOD OF ONE GROWING SEASON AND SHALL BE REPLACED IF NECESSARY.

**BMP MAINTENANCE SCHEDULE:**

- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
  - MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
  - INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
- UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
- ALL INSTALLATION, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 212 AND SECTION 708. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (RIDEM/RICRMC, 2010).
- AFTER CONSTRUCTION, STORMWATER BMPs SHALL BE INSPECTED AND MAINTAINED BY THE OLD COUNTY VILLAGE CONDOMINIUM ASSOCIATION AS FOLLOWS:
  - CATCH BASINS / DRAIN LINES
    - INSPECTIONS SHALL BE PERFORMED A MINIMUM OF 2 TIMES PER YEAR (SPRING/FALL). UNITS SHALL BE CLEANED WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO 2-FEET (LESS THAN 2-FEET FROM THE BOTTOM OF PIPE). ALL REMOVED SEDIMENT SHALL BE TESTED TO DETERMINE POLLUTANT CONTENT AND SHALL BE REMOVED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
    - THE INLET GRATE SHALL NOT BE WELDED TO THE FRAME SO THAT THE SUMP CAN BE EASILY INSPECTED AND MAINTAINED.
  - ROOF DRAIN LEADERS
    - PERFORM ROUTINE ROOF INSPECTIONS QUARTERLY.
    - KEEP ROOFS CLEAN AND FREE OF DEBRIS.
    - KEEP ROOF DRAINAGE SYSTEMS CLEAR.
  - SAND FILTER SYSTEMS
    - DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, THE SAND FILTERS SHALL BE INSPECTED AFTER THE FIRST TWO RAINFALL EVENTS OF AT LEAST 1.0 INCH TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO 2 INCHES.
    - SILT/SEDIMENT SHALL BE REMOVED FROM THE FILTER BEDS WHEN THE ACCUMULATION EXCEEDS ONE INCH. WHEN THE FILTERING CAPACITY OF THE SAND FILTERS DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTANCE MANNER AT AN APPROVED AND PERMITTED LOCATION.
  - INFILTRATION BASINS
    - DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, THE INFILTRATION BASINS SHALL BE INSPECTED AFTER THE FIRST TWO RAINFALL EVENTS OF AT LEAST 1.0 INCH TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON A BI-ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO 2 INCHES.
    - SILT AND SEDIMENT SHALL BE REMOVED FROM THE INFILTRATION BASINS WHEN THE ACCUMULATION EXCEEDS 6 INCHES, OR WHEN WATER PONDS ON THE SURFACE OF THE INFILTRATION BASIN FOR MORE THAN 48 HOURS.
    - SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
    - THE OUTLET DEVICES SHALL BE CLEANED/REPAIRED WHEN NECESSARY.
    - TRASH AND DEBRIS SHALL BE REMOVED WHEN NECESSARY OR ANNUALLY AT A MINIMUM.
    - THE OUTFLOW WEIR SHOULD BE INSPECTED ANNUALLY TO ENSURE THAT IT IS FUNCTIONING PROPERLY.

**CATCH BASINS / DRAIN LINES**

- INSPECTIONS SHALL BE PERFORMED A MINIMUM OF 2 TIMES PER YEAR (SPRING/FALL). UNITS SHALL BE CLEANED WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO 2-FEET (LESS THAN 2-FEET FROM THE BOTTOM OF PIPE). ALL REMOVED SEDIMENT SHALL BE TESTED TO DETERMINE POLLUTANT CONTENT AND SHALL BE REMOVED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- THE INLET GRATE SHALL NOT BE WELDED TO THE FRAME SO THAT THE SUMP CAN BE EASILY INSPECTED AND MAINTAINED.

**ROOF DRAIN LEADERS**

- PERFORM ROUTINE ROOF INSPECTIONS QUARTERLY.
- KEEP ROOFS CLEAN AND FREE OF DEBRIS.
- KEEP ROOF DRAINAGE SYSTEMS CLEAR.

**SAND FILTER SYSTEMS**

- DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, THE SAND FILTERS SHALL BE INSPECTED AFTER THE FIRST TWO RAINFALL EVENTS OF AT LEAST 1.0 INCH TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO 2 INCHES.
- SILT/SEDIMENT SHALL BE REMOVED FROM THE FILTER BEDS WHEN THE ACCUMULATION EXCEEDS ONE INCH. WHEN THE FILTERING CAPACITY OF THE SAND FILTERS DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTANCE MANNER AT AN APPROVED AND PERMITTED LOCATION.

**INFILTRATION BASINS**

- DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, THE INFILTRATION BASINS SHALL BE INSPECTED AFTER THE FIRST TWO RAINFALL EVENTS OF AT LEAST 1.0 INCH TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON A BI-ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO 2 INCHES.
- SILT AND SEDIMENT SHALL BE REMOVED FROM THE INFILTRATION BASINS WHEN THE ACCUMULATION EXCEEDS 6 INCHES, OR WHEN WATER PONDS ON THE SURFACE OF THE INFILTRATION BASIN FOR MORE THAN 48 HOURS.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- THE OUTLET DEVICES SHALL BE CLEANED/REPAIRED WHEN NECESSARY.
- TRASH AND DEBRIS SHALL BE REMOVED WHEN NECESSARY OR ANNUALLY AT A MINIMUM.
- THE OUTFLOW WEIR SHOULD BE INSPECTED ANNUALLY TO ENSURE THAT IT IS FUNCTIONING PROPERLY.

**LOADING & SEEDING**

SEEDING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH SECTION L.02 SEEDING OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA), AND SHALL ALSO CONFORM TO THE FOLLOWING:

- AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS AND AREAS LABELED AS 'LOAM AND SEED' ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. SCARIFY THE SUBGRADE TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE OR A POWER RAKE TO RESULT IN AN UNCOMPACTED SUBSOIL. 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
- THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.18.01 OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA).
- PRIOR TO SEEDING OR SODDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 1-2" OF THE PLANTING SOIL. APPLY AT A RATE OF 8 LBS. PER 1000 SQUARE FEET.
- APPLY LIME AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATE INTO THE TOP 1-2" OF TOPSOIL.
- SEEDING**  
AFTER THE SEED BED IS PREPARED, SEED IS TO BE BROADCAST EVENLY OVER THE SURFACE AND WORKED INTO THE TOP 1" OF SOIL. SEED SHALL BE APPROVED URI #2 OR APPROVED EQUAL. APPLY AT A RATE OF 4-5 LBS. PER 1000 SQUARE FEET OR AS OTHERWISE DIRECTED BY THE MANUFACTURER.

**URI #2 IMPROVED SEED MIX, % BY WEIGHT:**

- 40% CREEPING RED FESCUE
- 20% IMPROVED PERENNIAL RYEGRASS
- 20% IMPROVED KENTUCKY BLUEGRASS
- 20% KENTUCKY BLUEGRASS

RECOMMENDED SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 15. AT THE CONTRACTORS DISCRETION, SEED MAY BE APPLIED BY HYDROSEEDING RATHER THAN THE METHOD DESCRIBED ABOVE.

- THE TOPSOIL IN THE SAND FILTER SHALL CONSIST OF 40% COMPOST AND 60% SAND (ASTM C-33) THE TOPSOIL SHALL ALSO HAVE AN ORGANIC CONTENT BETWEEN 8-10% AND THE PERCENT PASSING THE #200 SIEVE BETWEEN 2-3%. TYPICAL GRADATION OF THE TOP SOIL MIXTURE SHALL MEET THE FOLLOWING:

SIEVE SIZE	PERCENT PASSING
3/8"	100
#4	95-100
#10	75-90
#40	25-40
#100	4-10
#200	2-5

**SEQUENCE & STAGING OF PROPOSED CONSTRUCTION ACTIVITIES:**

- THIS IS A GENERAL SEQUENCE AND STAGING OF CONSTRUCTION ACTIVITIES. A DETAILED SEQUENCE WITH TIME LINES SHALL BE ESTABLISHED BY THE CONTRACTOR IN COORDINATION WITH THE OWNER, ENGINEER AND SITE CONTRACTORS PRIOR TO THE START OF CONSTRUCTION.
- SURVEY AND STAKE THE PROPOSED DRAINAGE BMPs (SEDIMENT FOREBAY, SAND FILTER AND DETENTION BASIN), ROADWAY CENTERLINE, WATER LINE, SEWER LINE AND LIMIT OF DISTURBANCE. THE CONTRACTOR SHALL NOT COMPACT THE AREAS OF THE DRAINAGE BMPs DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE TO PROTECT BMPs.
  - PLACE SEDIMENTATION BARRIERS (SILT FENCE) AS SHOWN ON THE PLANS AND AS STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
  - BEGIN SITE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING ETC.) TOPSOIL IS TO BE STRIPPED AND STOCKPILED WITHIN DISTURBANCE LIMITS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS. STOCKPILES TO BE COVERED OR TEMPORARILY SEEDED.
  - EXCAVATE AND CONSTRUCT STORMWATER MANAGEMENT AREAS AND ASSOCIATED EMBANKMENTS AS SHOWN ON THE PLANS. DIVERT ALL THE RUNOFF FROM DISTURBED AREAS TO THE PROPOSED STORMWATER STORAGE AREA.
  - INSTALL UTILITIES AND DRAINAGE INCLUDING DRAINAGE PIPE. IMMEDIATELY PLACE THE RIP-RAP AT THE DISCHARGE POINTS. SEED ALL DISTURBED AREAS. BEGIN PAVEMENT AND PROPOSED GRADING. BRING ROADWAY TO SUBBASE GRADE WITH GRAVEL. SEED ALL DISTURBED AREAS.
  - BEGIN BUILDING CONSTRUCTION.
  - FINISH PAVEMENT CONSTRUCTION.
  - MAINTAIN SEDIMENT AND EROSION CONTROLS WHILE BUILDINGS ARE CONSTRUCTED.
  - FINISH LANDSCAPING AND PERMANENT STABILIZATION.
  - INSPECT AND REPAIR ALL DRAINAGE STRUCTURES INCLUDING DISCHARGE POINTS. REMOVE ANY DEBRIS (LEAVES, TREE LIMBS, BOULDERS, ETC.) FROM DRAINAGE INLETS AND OUTLETS. FLUSH ALL SEDIMENTS FROM DRAINAGE PIPES AND APPLY TOPSOIL TO PONDS.
  - REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE VEGETATION HAS BEEN ESTABLISHED TO ALL DISTURBED AREAS.

**LEGEND**

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- 100' PROPOSED CONTOUR
- EXISTING STONE WALL
- EXISTING CURB
- PROPOSED CURB
- EXISTING GROUND RAIL
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING TELECOM DUCTBANK
- EXISTING ELECTRIC DUCTBANK
- RELOCATED ELECTRIC DUCTBANK
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER SHUT OFF VALVE
- PROPOSED WATER SHUT OFF VALVE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- N/F - NOW OR FORMERLY
- TREELINE
- SILT FENCE
- LOD - LIMIT OF DISTURBANCE
- (T)LOD - TEMPORARY LIMIT OF DISTURBANCE
- TEST HOLE

**JOE CASALI ENGINEERING, INC.**  
 CIVIL, SITE DEVELOPMENT, TRANSPORTATION  
 DRAINAGE, WETLANDS, I&DS, TRAFFIC, FLOODPLAIN  
 (401) 844-1300 (401) 844-1319 FAX WWW.JOECSA.COM

JOSEPH A. CASALI  
 No. 7250  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 3-18-2020

**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
 OLD COUNTY ROAD  
 SMITHFIELD, RHODE ISLAND  
 AP 32, LOTS 8 & 30

Environmental Management  
 Office of Water Resources  
 MAR 19 2020  
 Office of Water Resources

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/21/19	SEWER FILING
2	10/1/19	RIDOT COMMENTS
3	10/15/19	RIDOT COMMENTS
4	3/18/20	TOWN-RIDEM REV.

DESIGNED BY: WML/RSD  
 DRAWN BY: SD/SEP  
 CHECKED BY: JAC  
 DATE: JUNE 2018  
 PROJECT NO: 15-20a

ISSUED FOR PERMIT

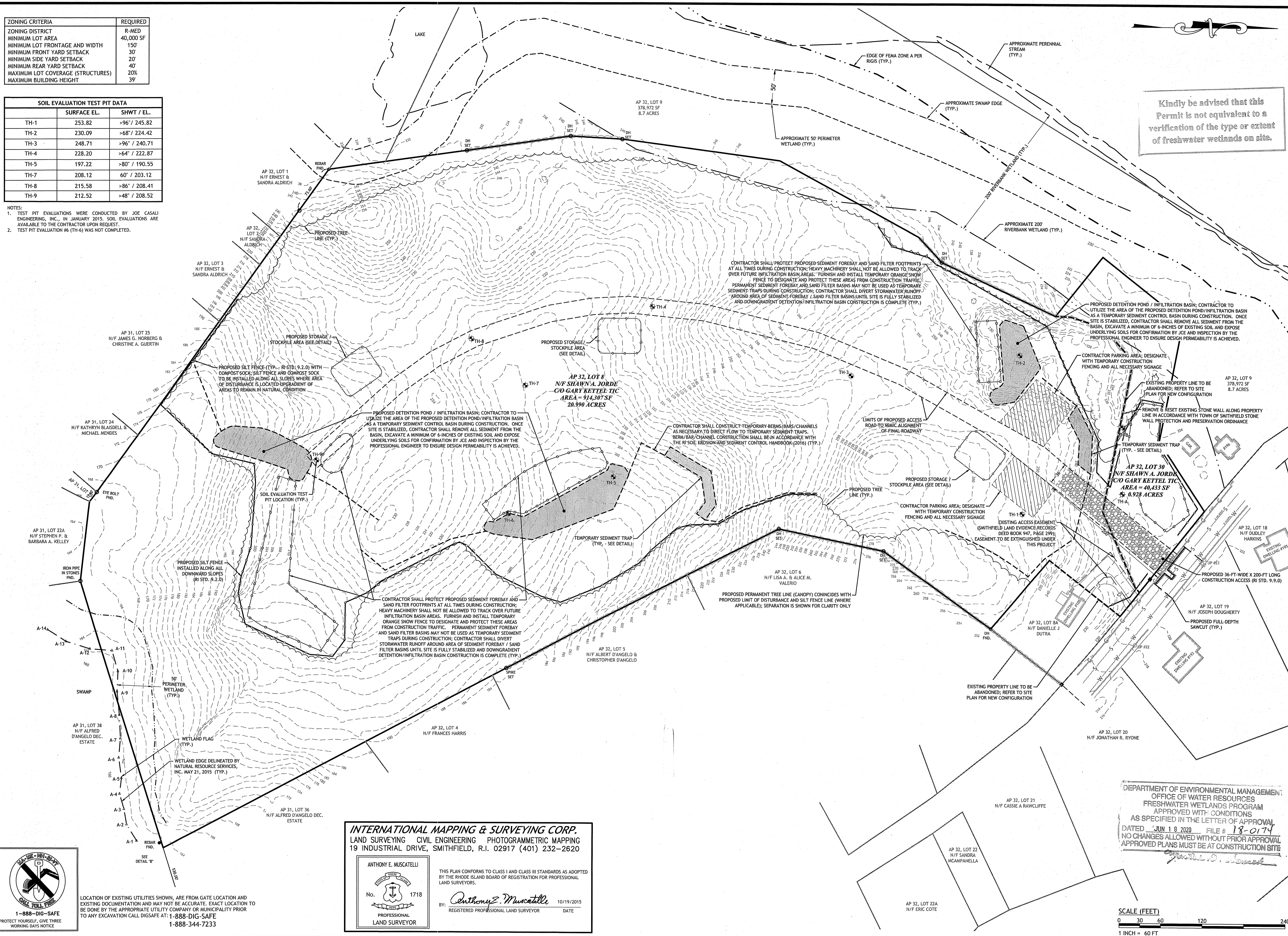
**GENERAL NOTES & LEGEND**

**SHEET 2 OF 19**

ZONING CRITERIA	REQUIRED
ZONING DISTRICT	R-MED
MINIMUM LOT AREA	40,000 SF
MINIMUM LOT FRONTAGE AND WIDTH	150'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	40'
MAXIMUM LOT COVERAGE (STRUCTURES)	20%
MAXIMUM BUILDING HEIGHT	39'

SOIL EVALUATION TEST PIT DATA		
	SURFACE EL.	SHWT / EL.
TH-1	253.82	>96' / 245.82
TH-2	230.09	>68' / 224.42
TH-3	248.71	>96' / 240.71
TH-4	228.20	>64' / 222.87
TH-5	197.22	>80' / 190.55
TH-7	208.12	60' / 203.12
TH-8	215.58	>86' / 208.41
TH-9	212.52	>48' / 208.52

- NOTES:
- TEST PIT EVALUATIONS WERE CONDUCTED BY JOE CASALI ENGINEERING, INC., IN JANUARY 2015. SOIL EVALUATIONS ARE AVAILABLE TO THE CONTRACTOR UPON REQUEST.
  - TEST PIT EVALUATION #6 (TH-6) WAS NOT COMPLETED.



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

**JCE**  
 JOE CASALI ENGINEERING, INC.  
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION  
 DRAINAGE - WETLANDS - SURVEYING - LAND SURVEYING  
 (401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI  
 REGISTERED PROFESSIONAL ENGINEER - CIVIL  
 3.18.2020

**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
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DESIGNED BY: WMLR/SD  
 DRAWN BY: SD/SEP  
 CHECKED BY: JAC  
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ISSUED FOR PERMIT  
**SITE PREPARATION PLAN**  
 SHEET 3 OF 19

**INTERNATIONAL MAPPING & SURVEYING CORP.**  
 LAND SURVEYING CIVIL ENGINEERING PHOTOGRAMMETRIC MAPPING  
 19 INDUSTRIAL DRIVE, SMITHFIELD, R.I. 02917 (401) 232-2620

ANTHONY E. MUSCATELLI  
 No. 1718  
 PROFESSIONAL LAND SURVEYOR

THIS PLAN CONFORMS TO CLASS I AND CLASS III STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY: *Anthony E. Muscatelli* 10/19/2015  
 REGISTERED PROFESSIONAL LAND SURVEYOR DATE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 18 2020 FILE # 18-0174  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SCALE (FEET)  
 0 30 60 120 240  
 1 INCH = 60 FT



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT: 1-888-DIG-SAFE  
 1-888-344-7233

**PROPOSED COMPREHENSIVE PERMIT FOR LOW AND MODERATE INCOME HOUSING (LMI)**

**MAXIMUM DENSITY\***  
Per Table 22: Selected Properties for the Construction of Low and Moderate Income Housing of Town of Smithfield's Comprehensive Plan, Approved 2010.

7 Units/Nominal Acre (40,000 SF) (from Table 22):  
Where at least 25%, but less than 100%, of the total units will be LMI housing units.  
908,192 SF OF BUILDABLE AREA\*\* / 40,000 SF = 22.70 NOMINAL ACRES (LOT 8)  
22.70 Total Nominal Acres of Buildable Area x 7 Units/Acre = 158 Units

79 Units Proposed with 25% LMI housing  
22 duplex structures  
35 single unit structures

\* DENSITY PER STATE HOUSING APPEALS BOARD (SHAB) MANDATE.  
\*\* 908,192 SF OF BUILDABLE AREA IS BASED ON A LOT 8 AREA OF 944,753 SF AFTER THE ADMINISTRATIVE SUBDIVISION WITH LOT 8A AND 30, LESS WETLANDS, BUFFERS & FLOODPLAIN AREAS OF 36,561 SF ON LOT 8.

**OFF-STREET PARKING ANALYSIS**

MULTI-FAMILY DWELLING:  
TWO (2) SPACES FOR EACH DWELLING UNIT  
(SMITHFIELD ZONING ORDINANCE SECTION 7.4.A.2)

PARKING SPACES REQUIRED: 79-UNITS PROPOSED \* 2 SPACES/UNIT = 158 SPACES  
PROPOSED: 179 SPACES (EACH UNIT: 1 GARAGE SPACE & 1 PERVIOUS PAVER SPACE; 16 VISITOR SPACES; 5 SPACES FOR MAIL CENTER)

**CONSERVATION DEVELOPMENT CALCULATIONS**

TOTAL EXISTING LOT AREA OF AP 32, LOTS 8 & 30 = 944,753 SF  
(LESS WETLANDS, BUFFERS & FLOODPLAIN AREAS OF 32,709 SF)  
LEAVES A BUILDABLE LOT AREA OF 912,044 SF (20.94 AC.)

BASED ON THE UNDERLYING R-MED ZONE, 50% OF BUILDABLE LOT AREA IS TO BE DESIGNATED OPEN SPACE (SMITHFIELD ZONING ORDINANCE SECTION 5.6.6.c)

REQUIRED OPEN SPACE AREA: 1/2 OF 908,192 SF = 456,022 SF

PROPOSED OPEN SPACE AREA: 461,416 SF

ZONING CRITERIA	REQUIRED	PROPOSED
ZONING DISTRICT	R-MED	R-MED
MINIMUM LOT AREA	40,000 SF	944,753 SF
MINIMUM LOT FRONTAGE	150'	116.84'
MINIMUM LOT WIDTH	150'	126.85'
MINIMUM FRONT YARD SETBACK	30'	30'
MINIMUM SIDE YARD SETBACK	20'	15'
MINIMUM REAR YARD SETBACK	75'	30'
MAXIMUM LOT COVERAGE (STRUCTURES)	20%	<20%
MAXIMUM BUILDING HEIGHT	39'	<39'

RELIEF REQUESTED FOR NON-CONFORMING CONDITION  
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

**JCE**  
JOE CASALI ENGINEERING, INC.  
CIVIL SITE DEVELOPMENT - TRANSPORTATION  
LANDSCAPE ARCHITECTURE - TRAFFIC - FLOODPLAIN  
DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN  
(401)944-1300 (401)944-1313 FAX WWW.JCEINC.COM

JOSEPH A. CASALI  
7250  
REGISTERED PROFESSIONAL ENGINEER - CIVIL  
3.18.2020

**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

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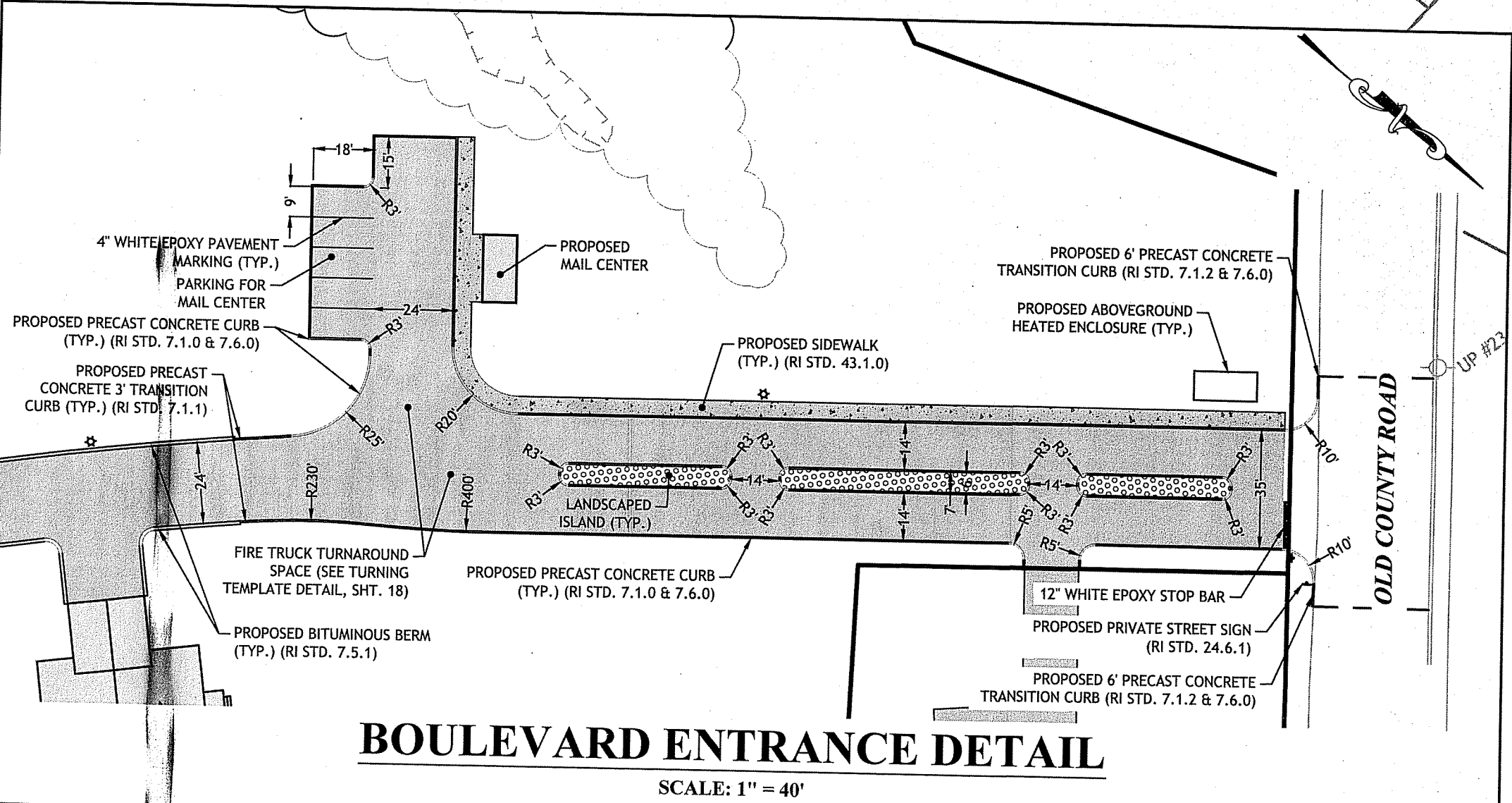
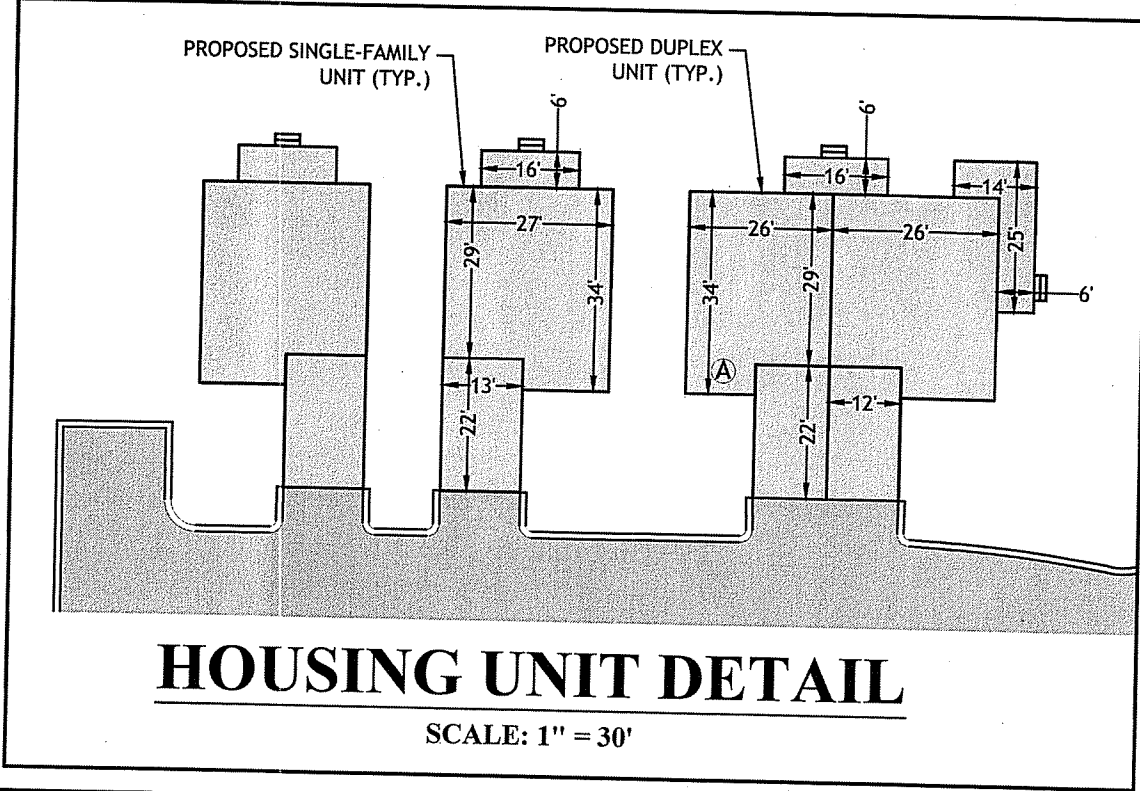
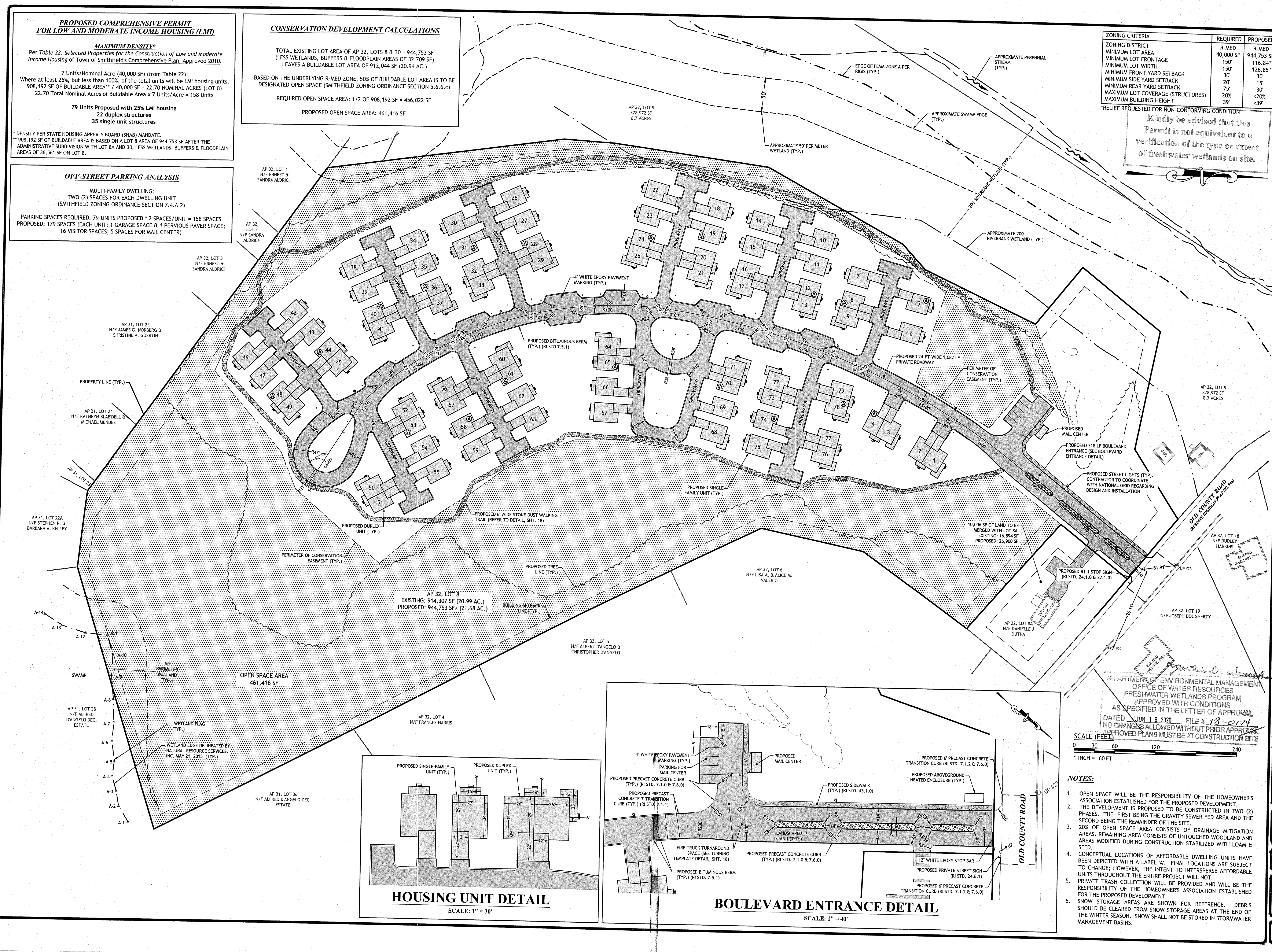
DESIGNED BY: WML/JRS/D  
DRAWN BY: SD/SEP  
CHECKED BY: JAC  
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PROJECT NO: 15-20a

ISSUED FOR PERMIT

**SITE PLAN**

**SHEET 4 OF 19**

Q:\15-20-Centric Funding\15-20a Old County Village\KCO\Old County Road Preliminary Plan R7.dwg Mar. 19, 2020 10:05am



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
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SCALE (FEET)  
0 30 60 120 240  
1 INCH = 60 FT

- NOTES:**
- OPEN SPACE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION ESTABLISHED FOR THE PROPOSED DEVELOPMENT.
  - THE DEVELOPMENT IS PROPOSED TO BE CONSTRUCTED IN TWO (2) PHASES. THE FIRST BEING THE GRAVITY SEWER FED AREA AND THE SECOND BEING THE REMAINDER OF THE SITE.
  - 20% OF OPEN SPACE AREA CONSISTS OF DRAINAGE MITIGATION AREAS. REMAINING AREA CONSISTS OF UNTOUCHED WOODLAND AND AREAS MODIFIED DURING CONSTRUCTION STABILIZED WITH LOAM & SEED.
  - CONCEPTUAL LOCATIONS OF AFFORDABLE DWELLING UNITS HAVE BEEN DEPICTED WITH A LABEL 'A'. FINAL LOCATIONS ARE SUBJECT TO CHANGE; HOWEVER, THE INTENT TO INTERPERSE AFFORDABLE UNITS THROUGHOUT THE ENTIRE PROJECT WILL NOT.
  - PRIVATE TRASH COLLECTION WILL BE PROVIDED AND WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION ESTABLISHED FOR THE PROPOSED DEVELOPMENT.
  - SNOW STORAGE AREAS ARE SHOWN FOR REFERENCE. DEBRIS SHOULD BE CLEARED FROM SNOW STORAGE AREAS AT THE END OF THE WINTER SEASON. SNOW SHALL NOT BE STORED IN STORMWATER MANAGEMENT BASINS.

Q:\15-20 Celtic Funding\15-20a Old County Village\AC\Old County Road Preliminary Plan R9.dwg, May, 14, 2020 5:07pm



**JCE**  
 JOE CASALI ENGINEERING, INC.  
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JOSEPH A. CASALI  
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 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 5-12-2018

**PROPOSED 79-UNIT  
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DESIGNED BY:	WML/RS/D
DRAWN BY:	SD/SEP
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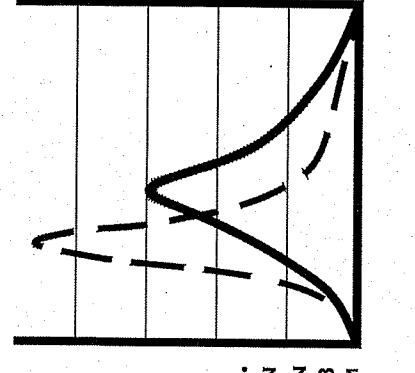
**OVERALL  
 GRADING  
 PLAN**

**SHEET  
 5 OF 19**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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**JCE**  
JOE CASALI ENGINEERING, INC.  
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DRAINAGE, WETLANDS, EROSION CONTROL, TRAFFIC SIGNALS  
300 POST ROAD, WARWICK, RI 02886  
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CIVIL  
3.18.2020

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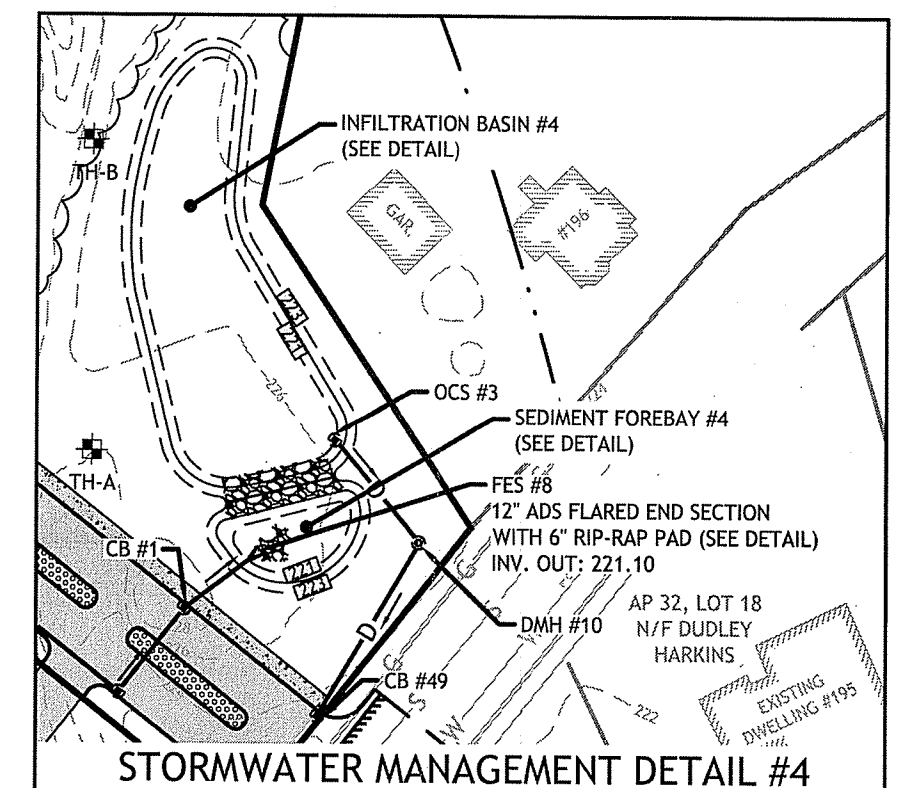
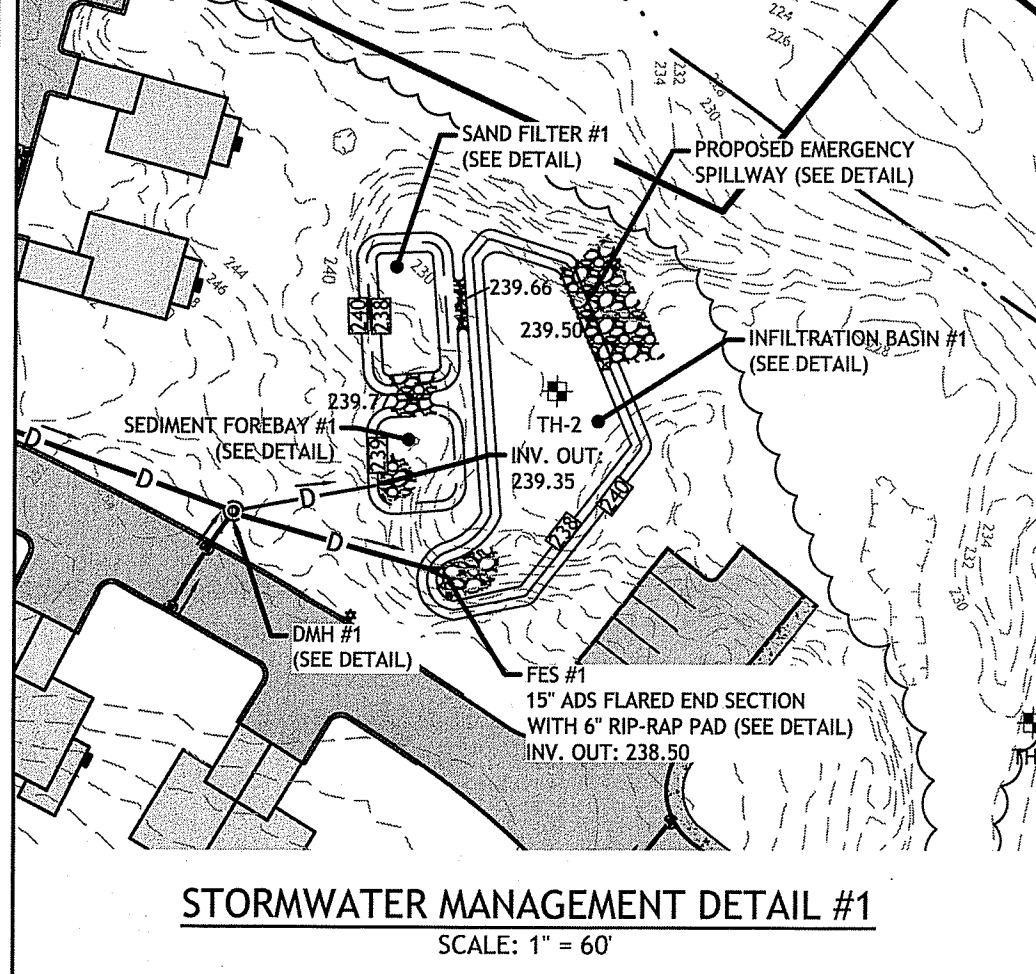
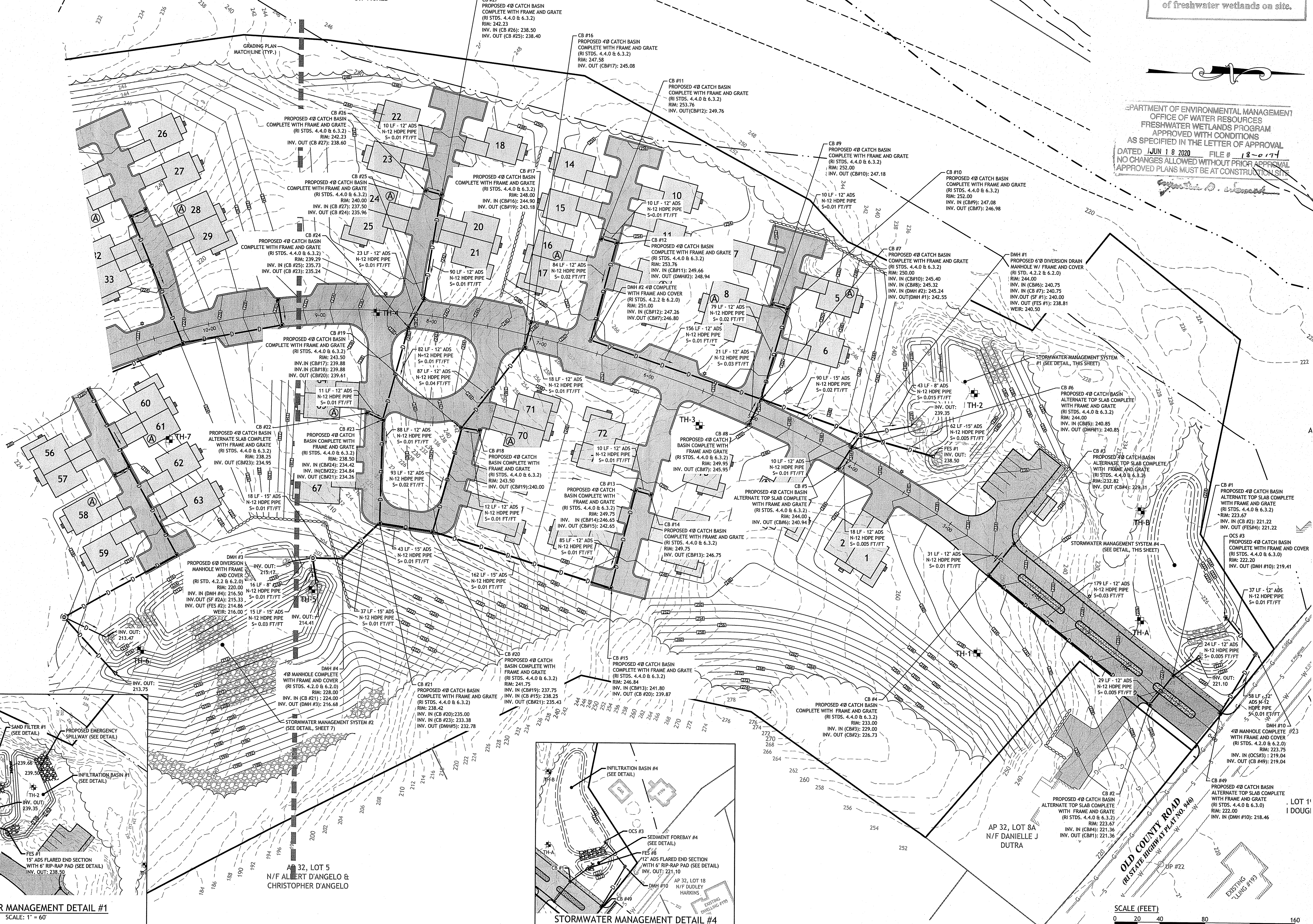
DESIGNED BY: WMLR/SD  
DRAWN BY: SD/SEP  
CHECKED BY: JAC  
DATE: JUNE 2018  
PROJECT NO: 15-20a

ISSUED FOR PERMIT

**GRADING & DRAINAGE PLAN I**

**SHEET 6 OF 19**

AP 32, LOT 9  
378,972 SF  
8.7 ACRES

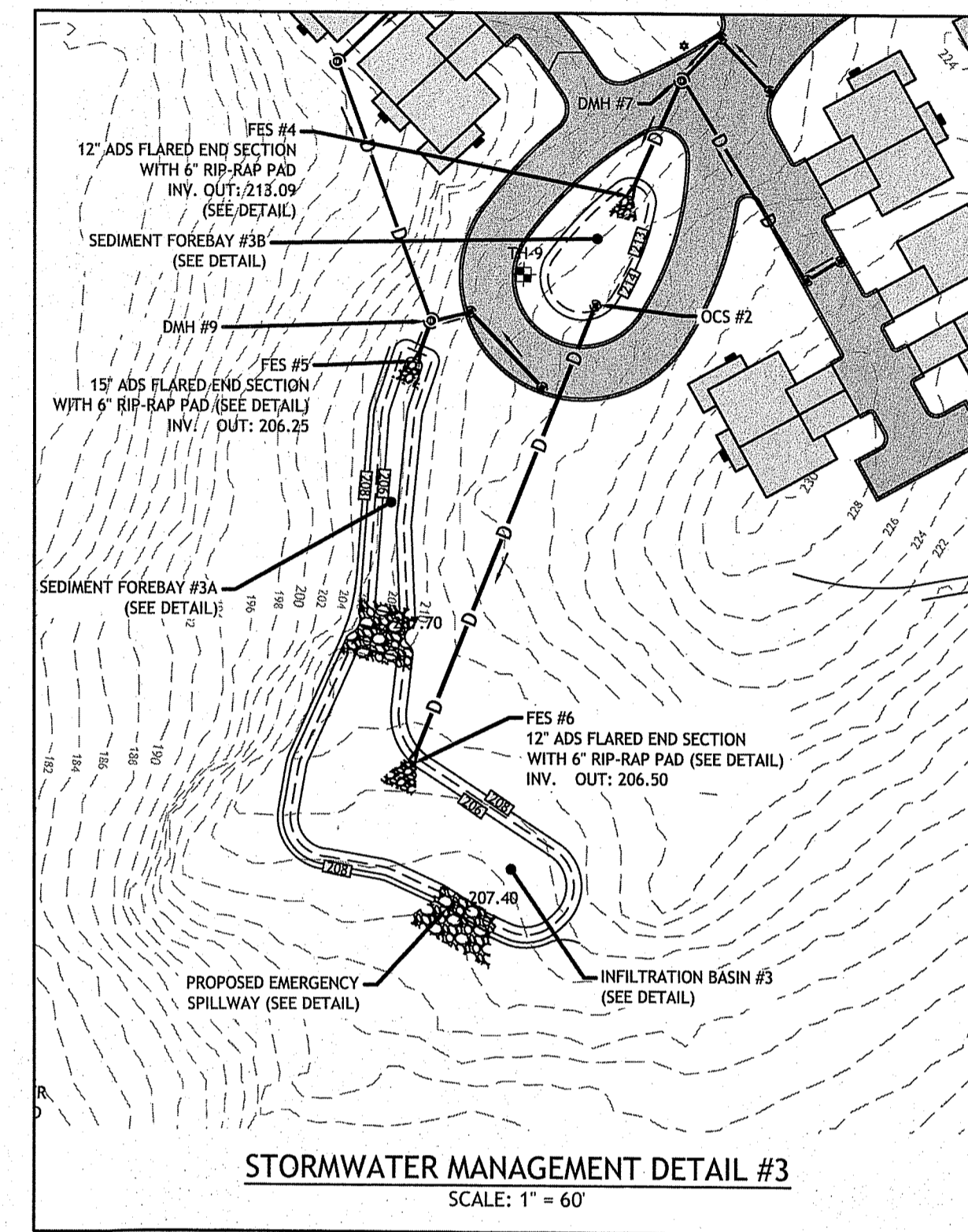


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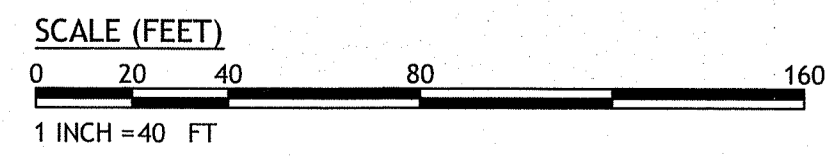
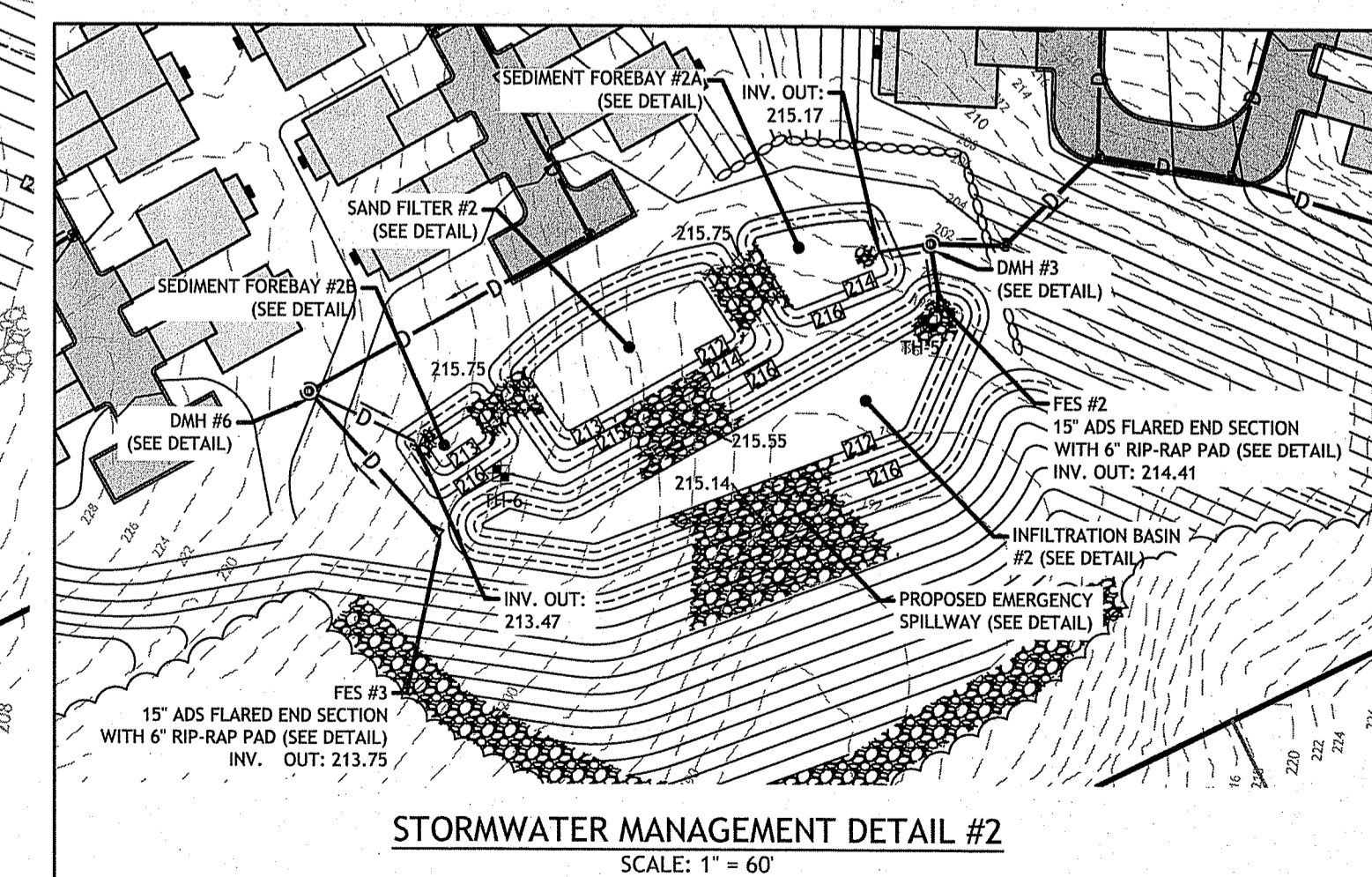
Environmental Management  
 MAY 15 2020  
 Office of Water Resources

AP 32, LOT 9  
 378,972 SF  
 8.7 ACRES

Kindly be advised that this  
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 18 2020 FILE # 18-0174  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED FOR USE AT CONSTRUCTION SITE



**JCE**  
 JOE CASALI ENGINEERING, INC.  
 CIVIL, SITE DEVELOPMENT, TRANSPORTATION  
 DRAINAGE - 3000 PINE ROAD, WARWICK, RI 02886  
 (401)944-1300 (401)944-1313 FAX WWW.JCEONLINE.COM

JOSEPH A. CASALI  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 6-12-2020

**PROPOSED 79-UNIT  
 RESIDENTIAL COMMUNITY**  
 OLD COUNTY ROAD  
 SMITHFIELD, RHODE ISLAND  
 AP 32, LOTS 8 & 30

REVISIONS:

NO.	DATE	DESCRIPTION
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4	3/18/20	TOWN-RIDEM REV.
5	5/12/20	RIDEM-SEWER RTC

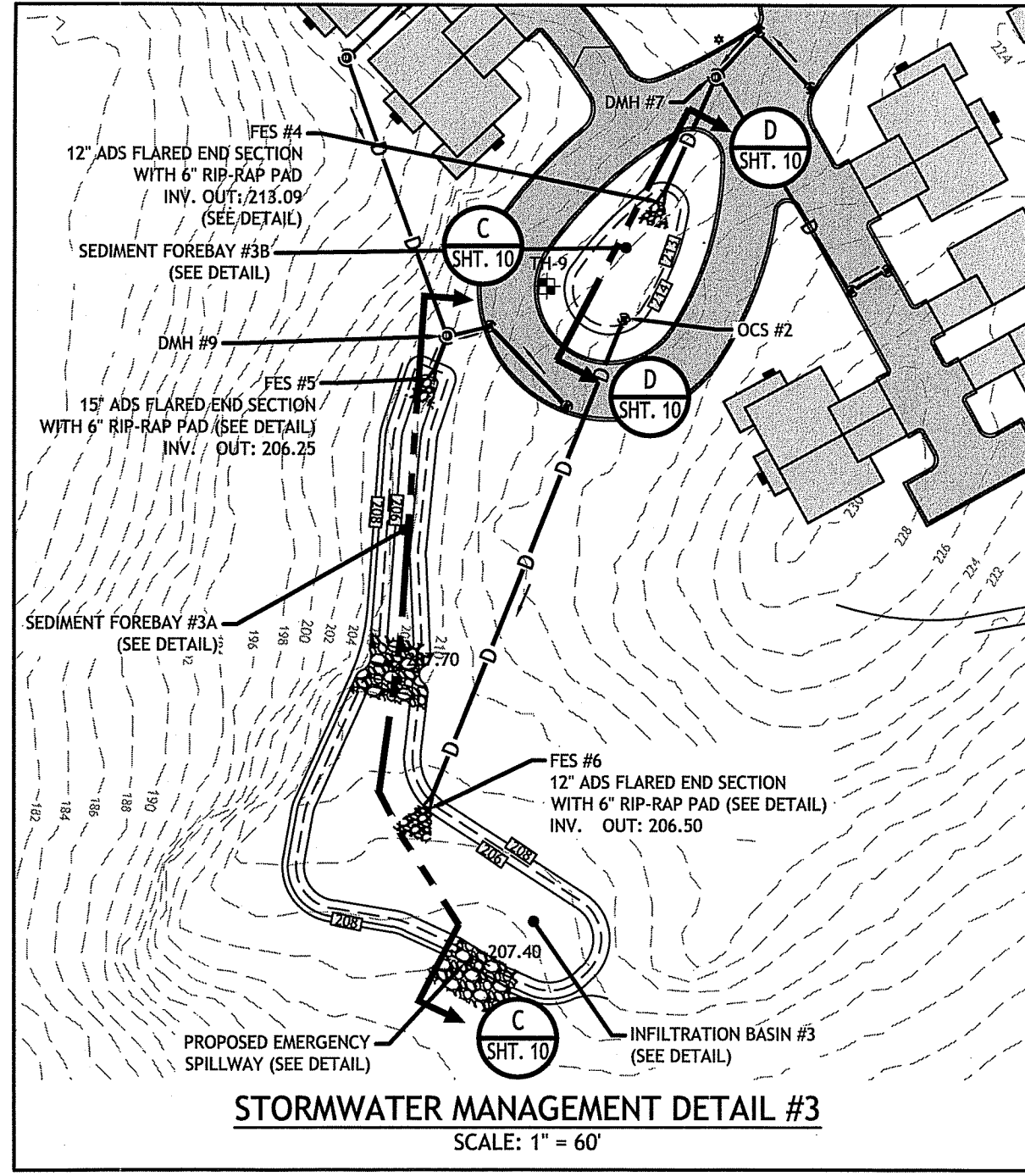
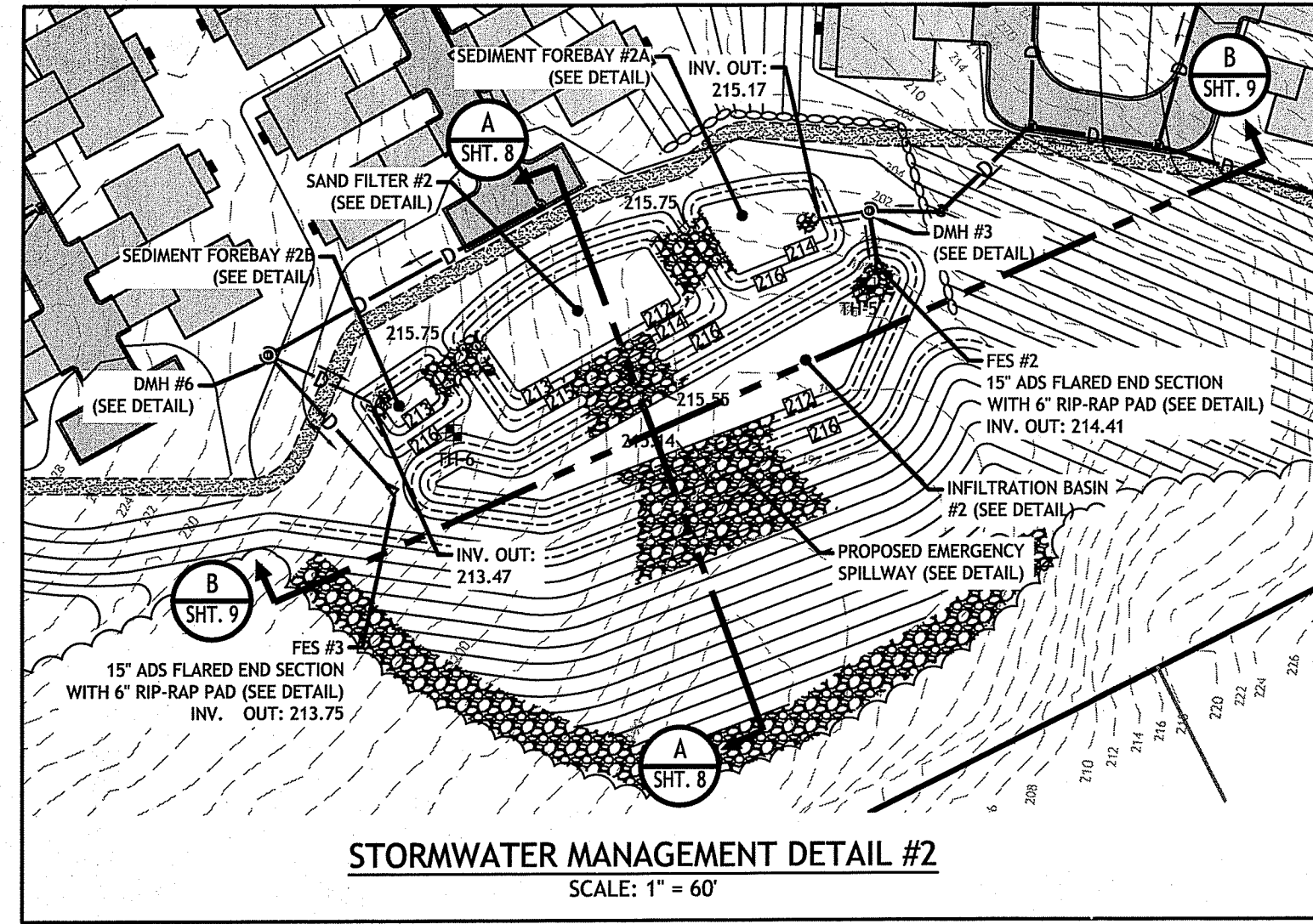
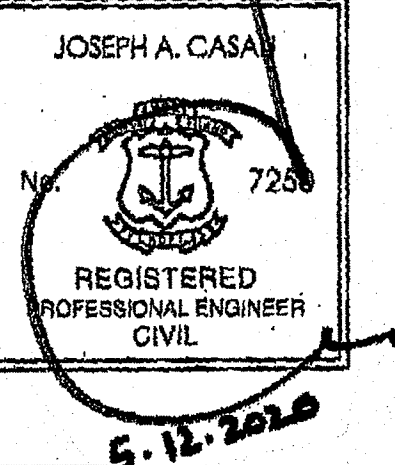
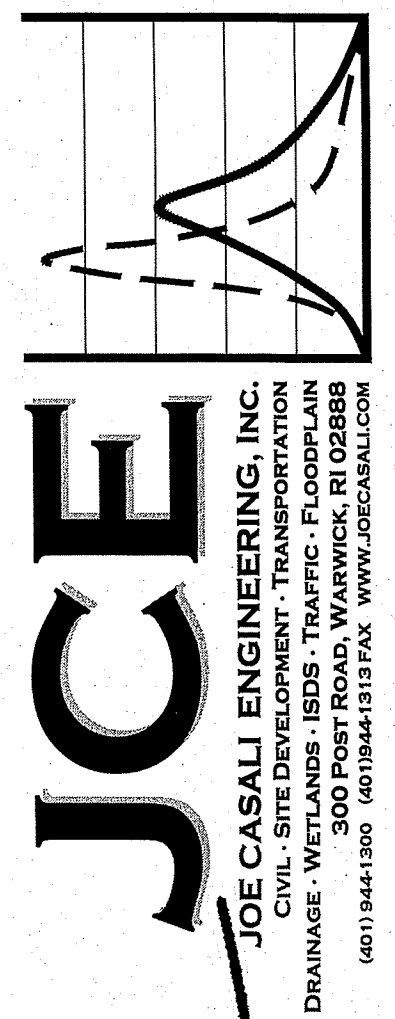
DESIGNED BY: WML/JSD  
 DRAWN BY: SD/SEP  
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ISSUED FOR PERMIT

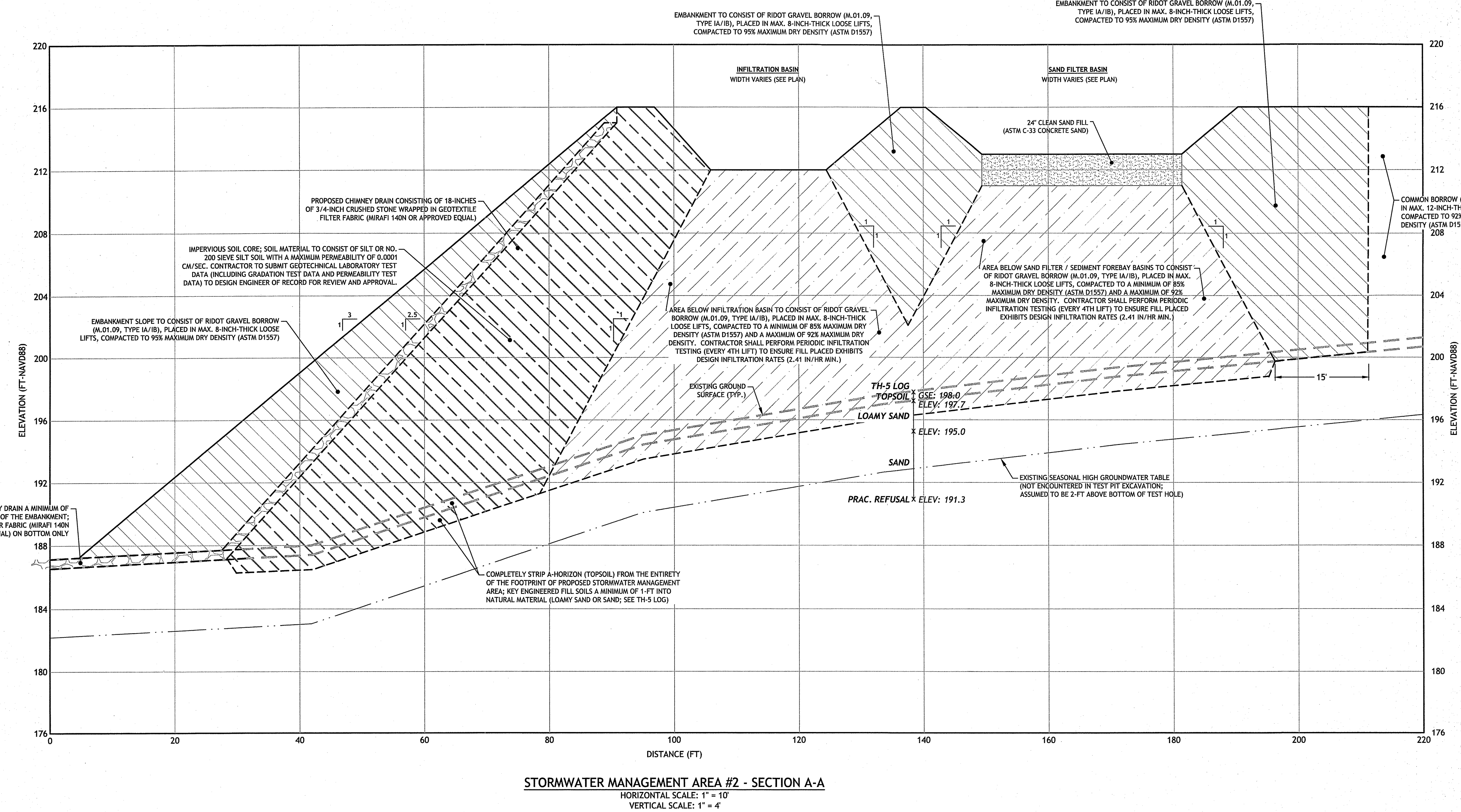
**GRADING &  
 DRAINAGE  
 PLAN II**

**SHEET  
 7 OF 19**

Q:\15-20 Cattr Funding\15-20a Old County Village\CAD\Old County Road Preliminary Plan R9.dwg Mwy. 14, 2020 5:07pm



- EMBANKMENT CONSTRUCTION NOTES:**
- CONTRACTOR SHALL ENSURE ALL SEDIMENT CONTROL DEVICES SHALL SET IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY CLEANED AND MAINTAINED DURING THE CONSTRUCTION. IF WORK PROGRESS IS INTERRUPTED AT ANY TIME, REFERENCE EROSION & SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL AND STABILIZATION OF ENGINEERED SLOPES.
  - STRIP ALL TOPSOIL FROM FOOTPRINT OF STORMWATER MANAGEMENT AREAS AND ASSOCIATED EMBANKMENT FOOTPRINTS. UPON EXPOSURE OF SUBGRADE, CONTRACTOR SHALL PROOF COMPACT IN THE PRESENCE OF THE DESIGN ENGINEER OF RECORD. ANY AREAS OF LOOSE OR OTHERWISE UNSUITABLE MATERIAL SHALL BE OVER-EXCAVATED AND BACKFILLED WITH MATERIAL AS SPECIFIED BY THE DESIGN ENGINEER OF RECORD IN THE FIELD.
  - UPON APPROVAL OF SUBGRADE, FILL PLACEMENT MAY COMMENCE AS DESCRIBED IN CROSS-SECTIONS A-A THROUGH D-D. CONTRACTOR SHALL PLACE MATERIAL IN LIFTS NOT EXCEEDING SPECIFICATIONS BELOW; MATERIAL SHALL BE COMPACTED TO SPECIFICATIONS BELOW. CONTRACTOR SHALL RETAIN THE SERVICES OF THE DESIGN ENGINEER OF RECORD, OR AN INDEPENDENT GEOTECHNICAL MATERIALS TESTING CONSULTANT TO PROVIDE CONTINUOUS INSPECTION AND COMPACTION TESTING DURING CONSTRUCTION OF ALL STORMWATER MANAGEMENT AREAS AND ASSOCIATED EMBANKMENTS.
  - ALL EMBANKMENT SLOPES SHALL HAVE EROSION CONTROL MATTING INSTALLED UNTIL ADEQUATE ROOT GROWTH IS ESTABLISHED TO ENSURE NO SLOUGHING OF EMBANKMENT SLOPES OCCURS.



**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

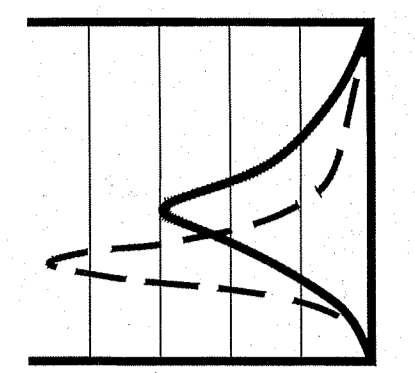
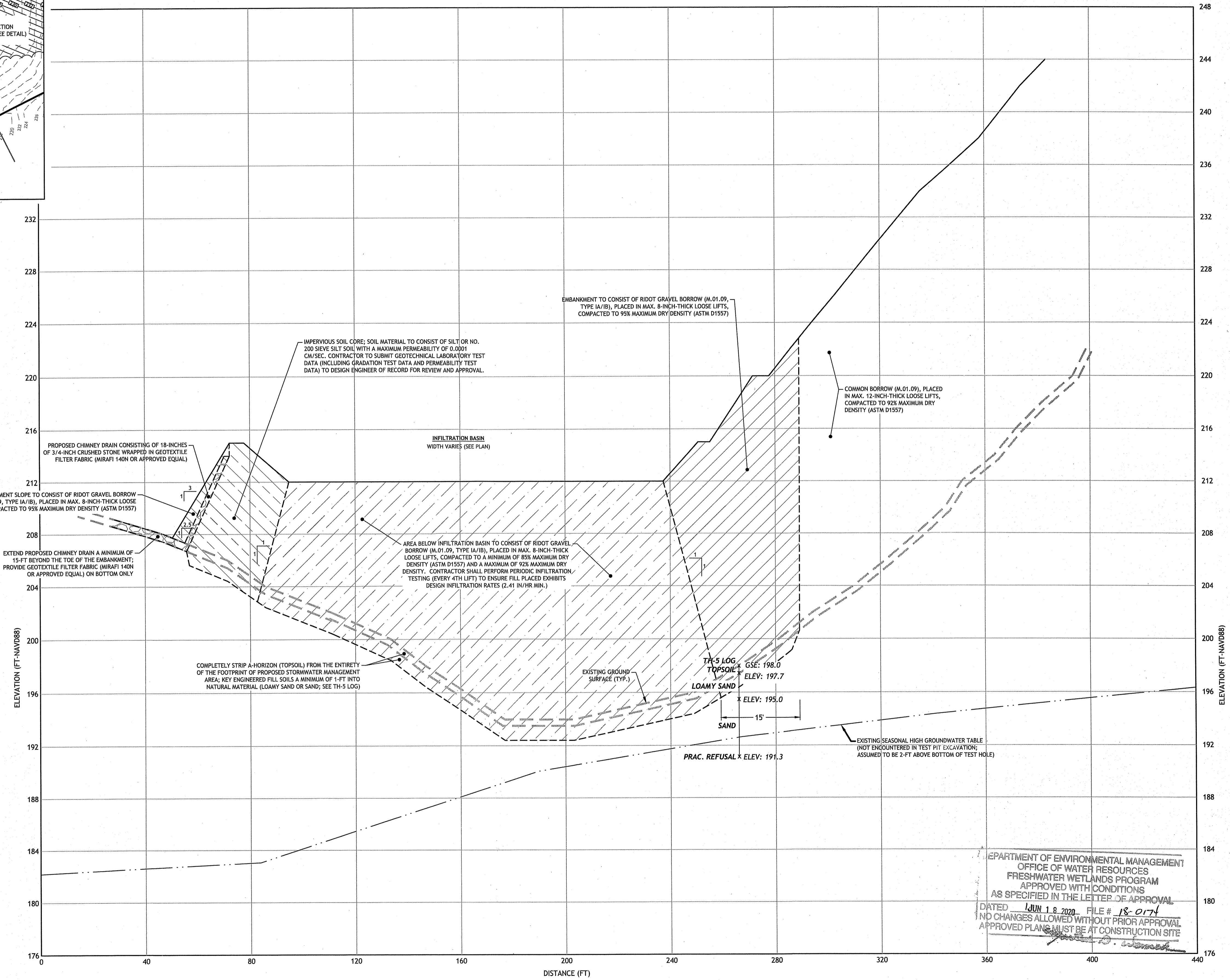
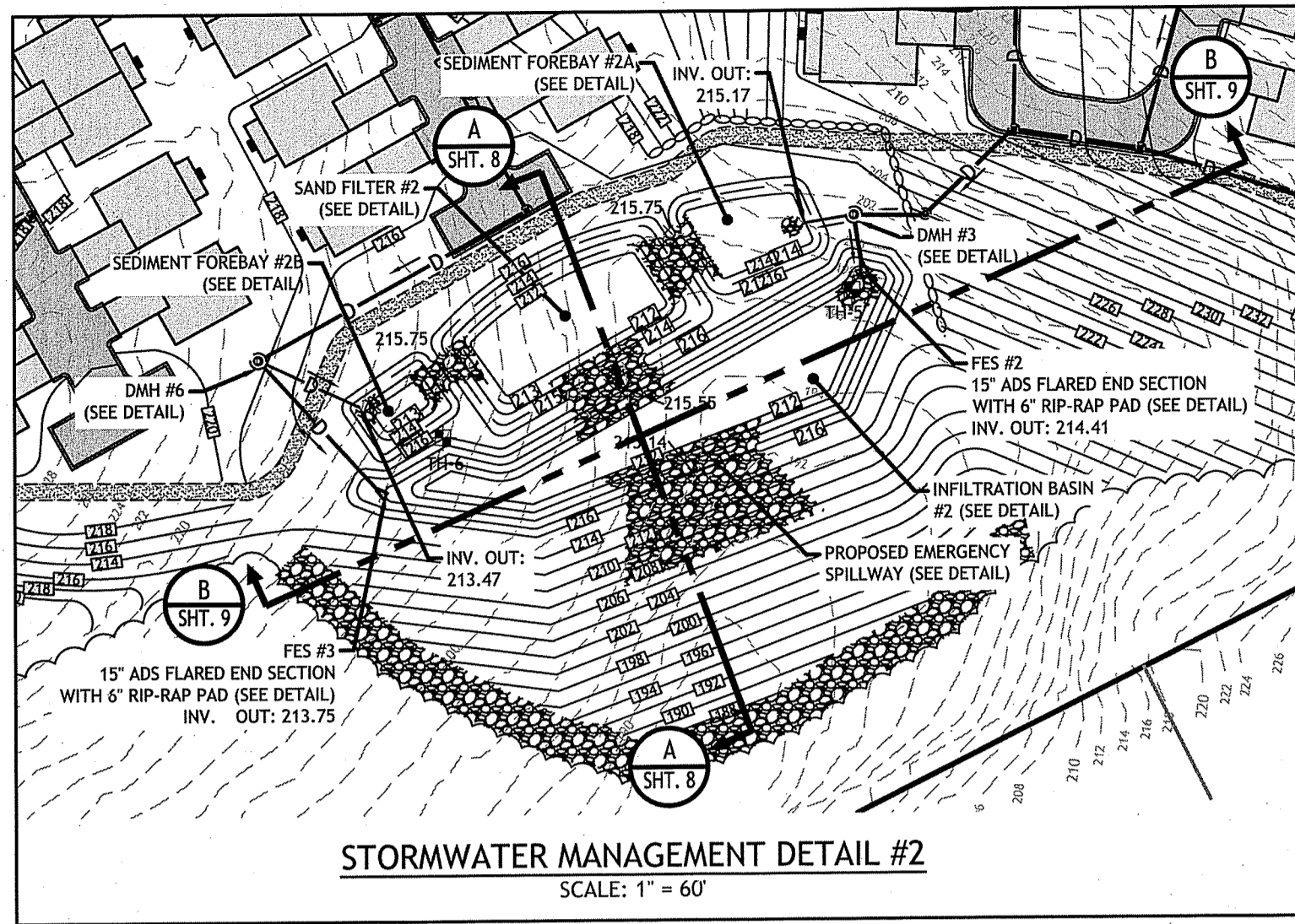
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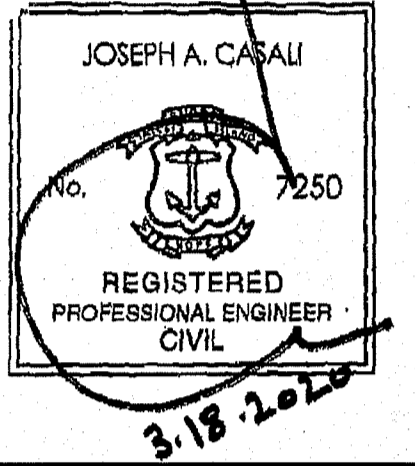
DESIGNED BY: WML/SD  
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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DATED JUN 18 2020 FILE # 18-0174  
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

ISSUED FOR PERMIT  
**STORMWATER MGMT AREA CROSS SECTIONS I**  
SHEET 8 OF 19



**JOE**  
JOSEPH A. CASALI  
JOE CASALI ENGINEERING, INC.  
CIVIL - SITE DEVELOPMENT - TRANSPORTATION  
DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN  
300 POST ROAD, WARWICK, RI 02888  
(401) 944-1300 FAX: (401) 944-1374 WWW.JOEENGINEERING.COM



**PROPOSED 79-UNIT  
RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

Environmental Management  
MAR 19 2020

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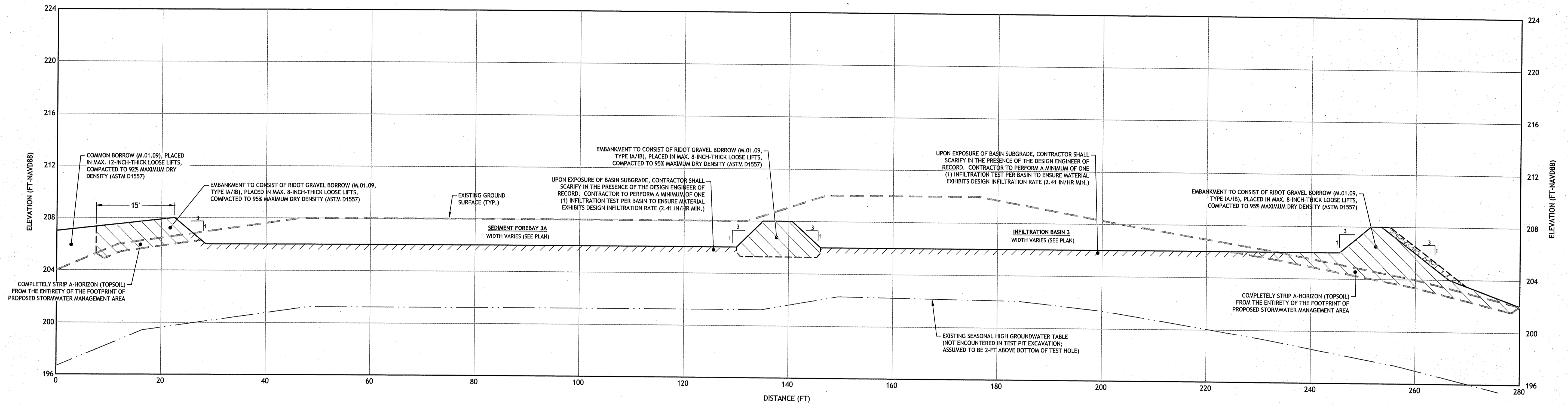
ISSUED FOR PERMIT

**STORMWATER  
MGMT AREA  
CROSS  
SECTIONS II**

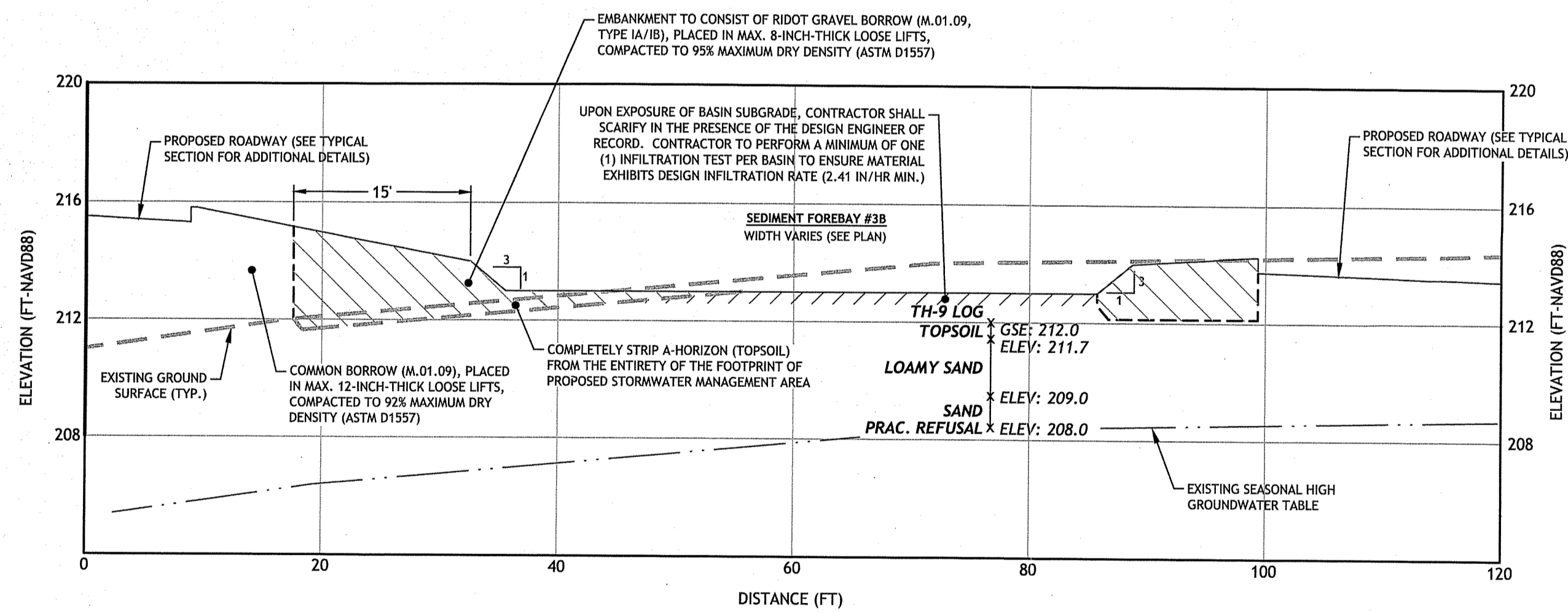
**SHEET  
9 OF 19**

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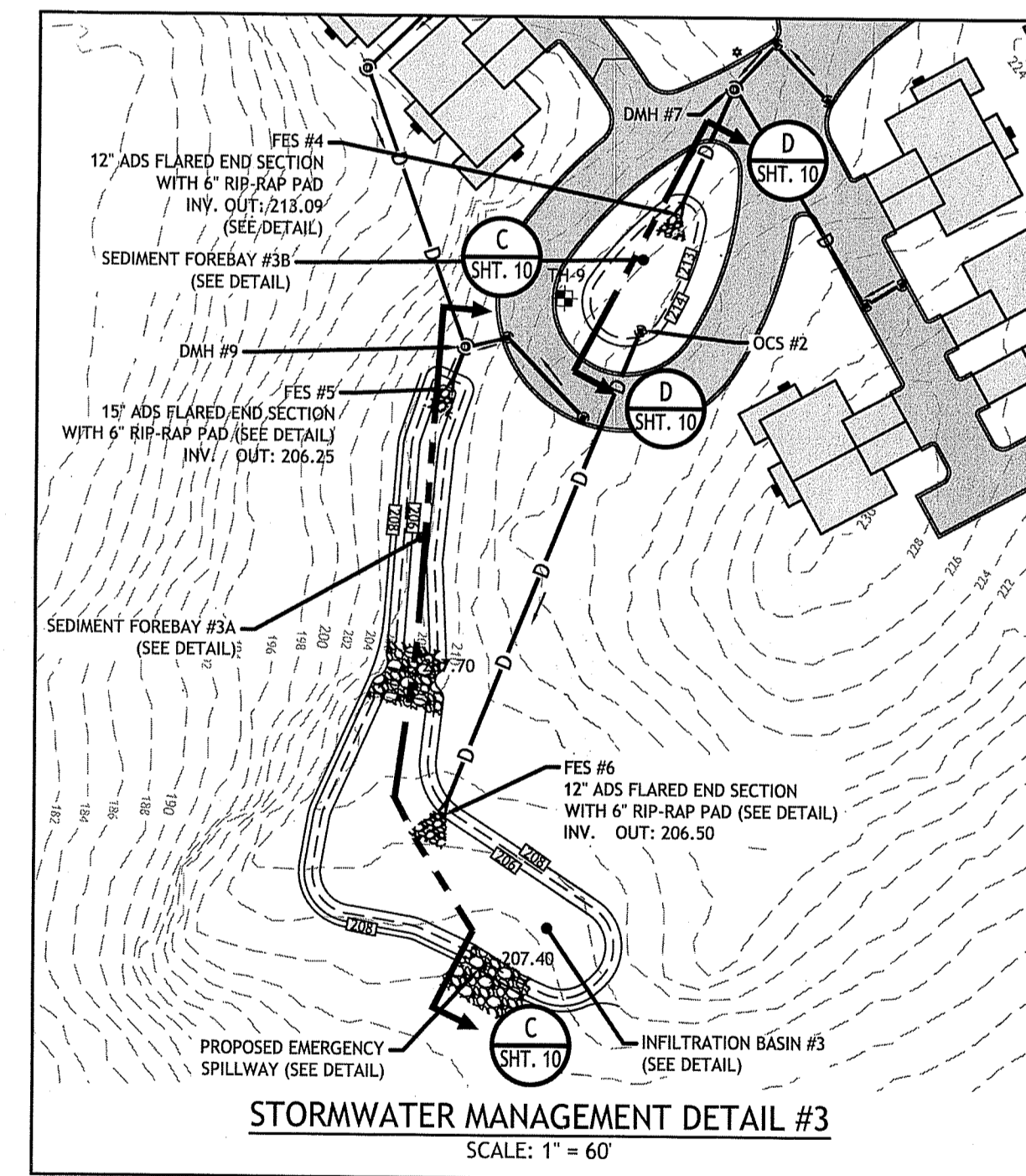
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
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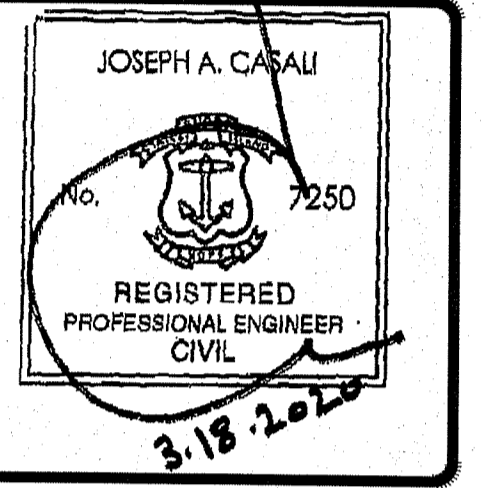
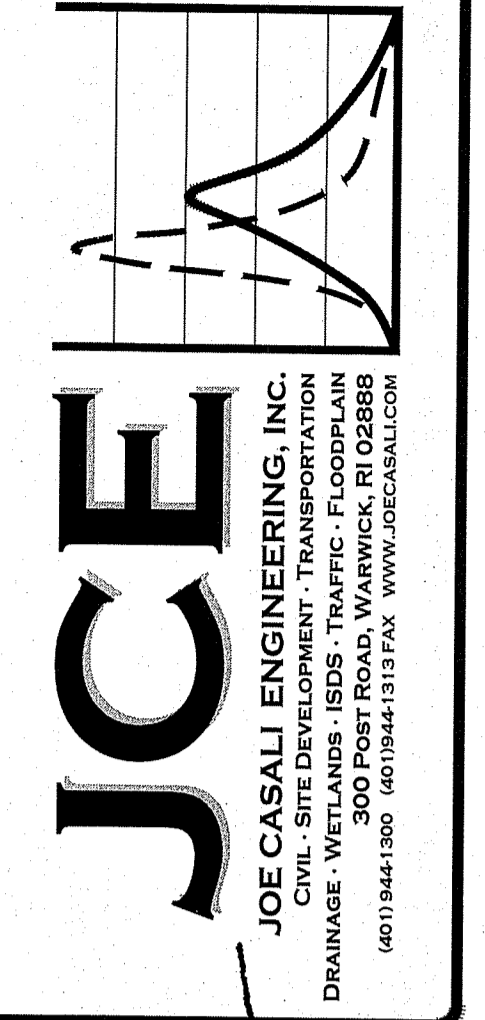
**STORMWATER MANAGEMENT AREA #3 - SECTION C-C**  
 HORIZONTAL SCALE: 1" = 10'  
 VERTICAL SCALE: 1" = 4'



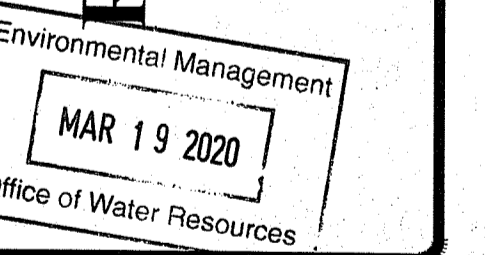
**STORMWATER MANAGEMENT AREA #3 - SECTION D-D**  
 HORIZONTAL SCALE: 1" = 10'  
 VERTICAL SCALE: 1" = 4'



**STORMWATER MANAGEMENT DETAIL #3**  
 SCALE: 1" = 60'



**PROPOSED 79-UNIT  
 RESIDENTIAL COMMUNITY**  
 OLD COUNTY ROAD  
 SMITHFIELD, RHODE ISLAND  
 AP 32, LOTS 8 & 30



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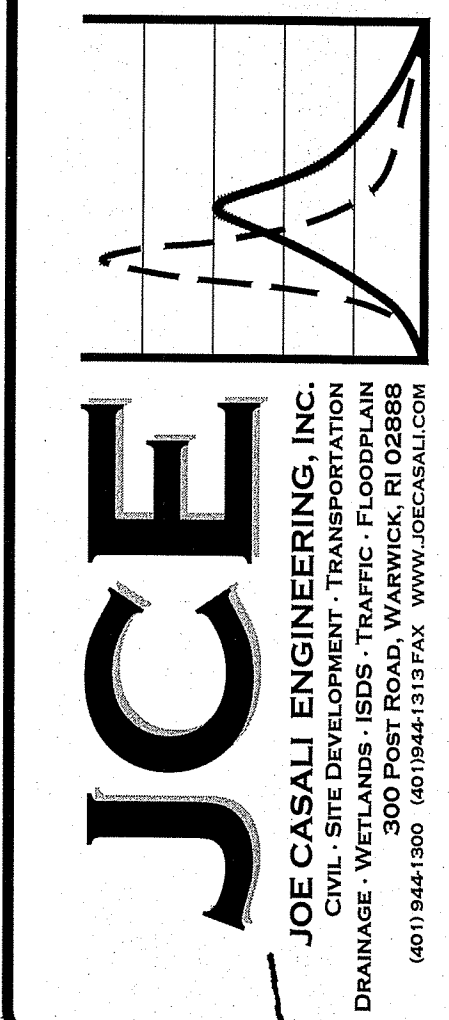
**STORMWATER  
 MGMT AREA  
 CROSS  
 SECTIONS III**

**SHEET  
 10 OF 19**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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**JOCE**  
 JOE CASALI ENGINEERING, INC.  
 CIVIL - SITE DEVELOPMENT - TRAFFIC - FLOODPLAIN  
 DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN  
 300 POST ROAD, WARWICK, RI 02888  
 (401) 944-1300 (401) 944-1313 FAX WWW.JOCE.CA.SALI.COM

JOSEPH A. CASALI  
 No. 7250  
 REGISTERED PROFESSIONAL ENGINEER - CIVIL  
 3.18.2020

**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
**OLD COUNTY ROAD SMITHFIELD, RHODE ISLAND**  
**AP 32, LOTS 8 & 30**

Environmental Management  
 MAR 19 2020

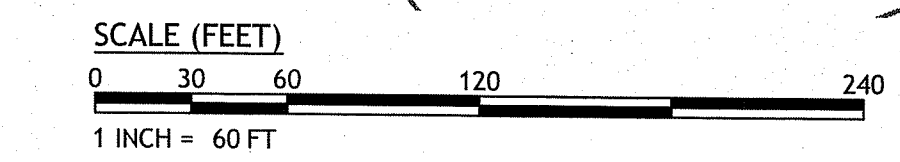
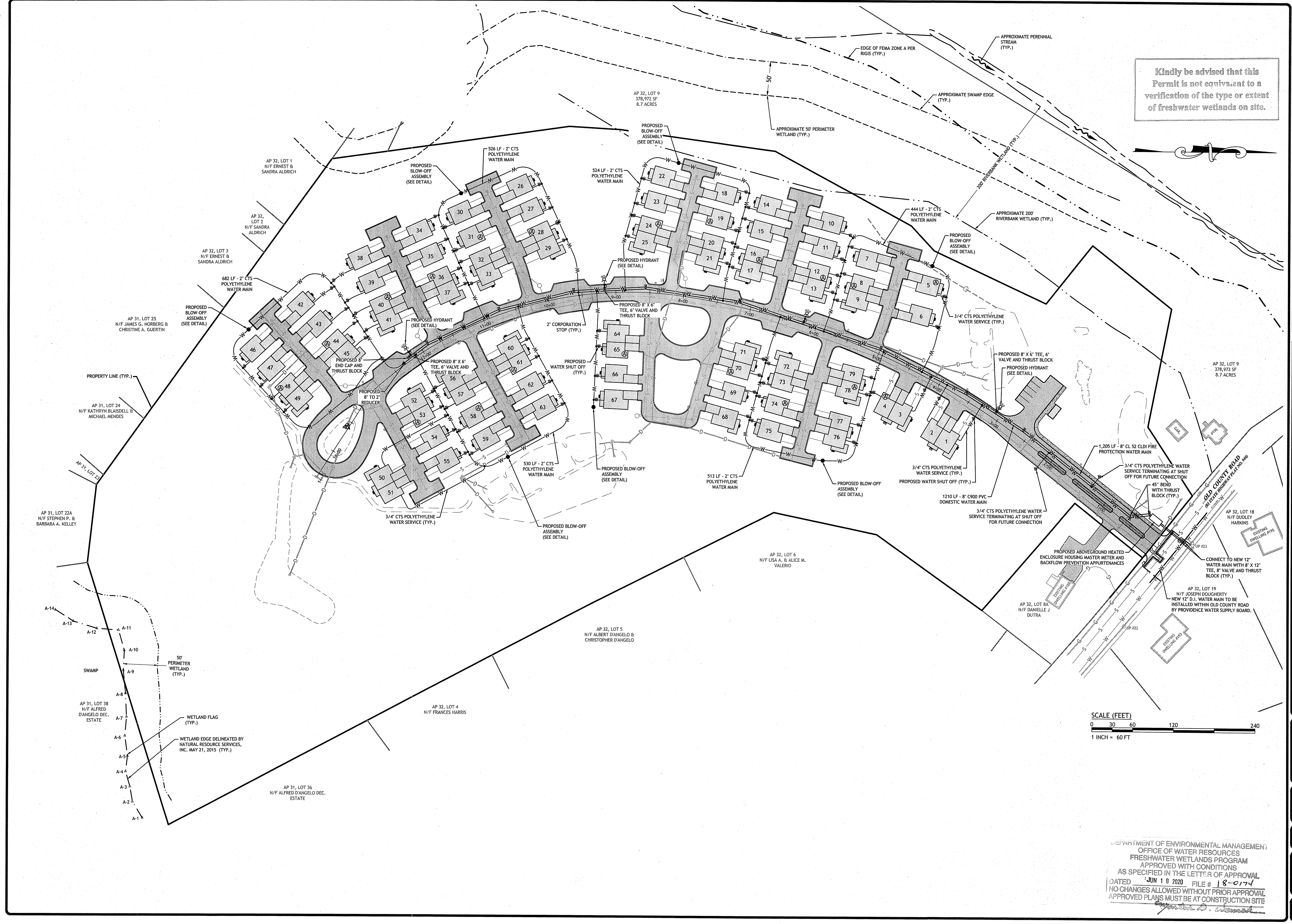
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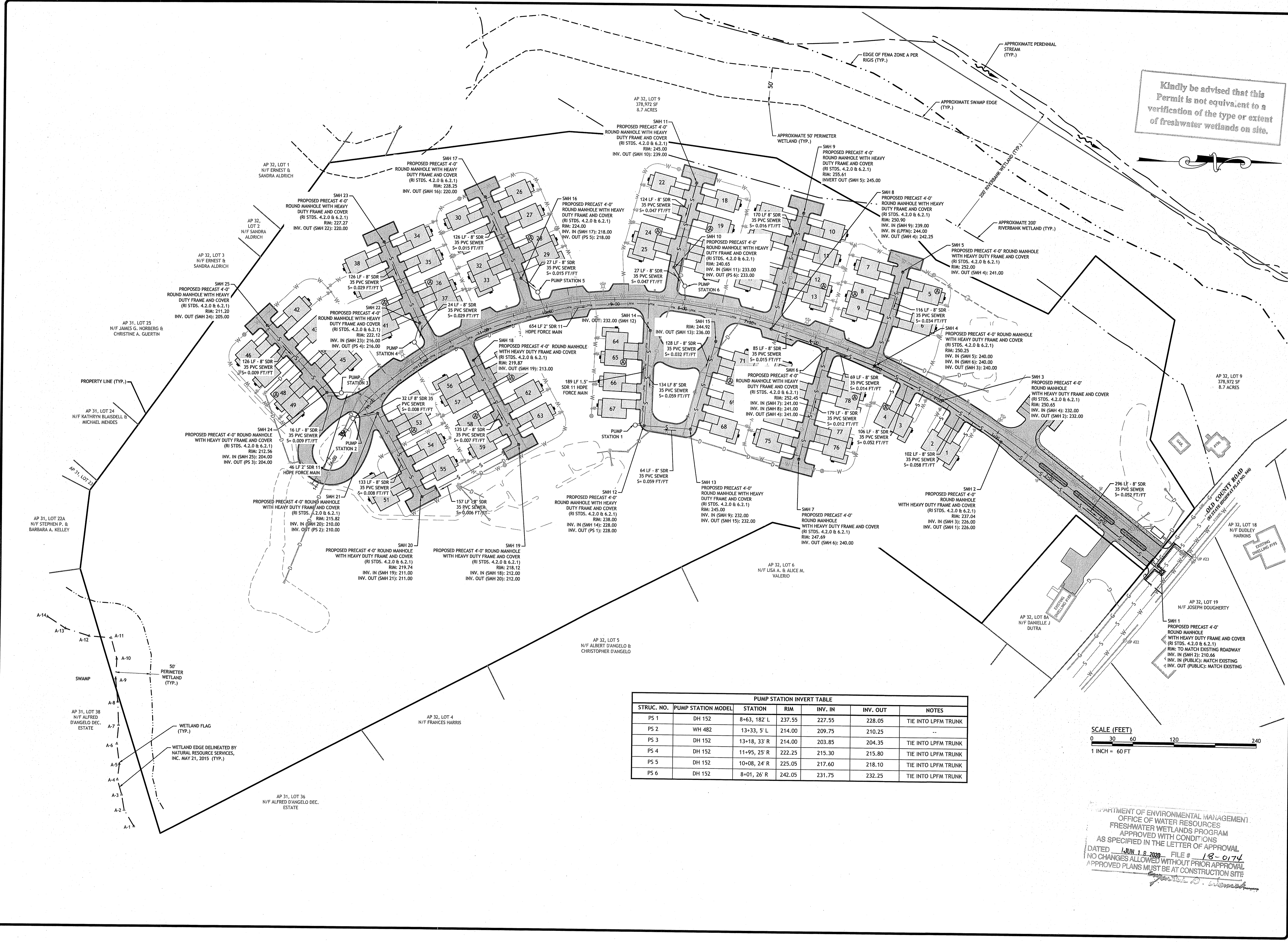
**WATER PLAN**

**SHEET 11 OF 19**



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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**JCE**  
 JOE CASALI ENGINEERING, INC.  
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION  
 300 DOW ROAD, SUITE 100  
 WESTPORT, MA 01886  
 (401) 944-1300 (401) 944-1313 FAX WWW.JCEONLINE.COM

JOSEPH A. CASALI  
 No. 7250  
 REGISTERED PROFESSIONAL ENGINEER - CIVIL  
 3.18.2020

**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
 OLD COUNTY ROAD  
 SMITHFIELD, RHODE ISLAND  
 AP 32, LOTS 8 & 30

Environmental Management  
 MAR 19 2020  
 Office of Water Resources

**PUMP STATION INVERT TABLE**

STRUC. NO.	PUMP STATION MODEL	STATION	RIM	INV. IN	INV. OUT	NOTES
PS 1	DH 152	8+63, 182' L	237.55	227.55	228.05	TIE INTO LPFM TRUNK
PS 2	WH 482	13+33, 5' L	214.00	209.75	210.25	---
PS 3	DH 152	13+18, 33' R	214.00	203.85	204.35	TIE INTO LPFM TRUNK
PS 4	DH 152	11+95, 25' R	222.25	215.30	215.80	TIE INTO LPFM TRUNK
PS 5	DH 152	10+08, 24' R	225.05	217.60	218.10	TIE INTO LPFM TRUNK
PS 6	DH 152	8+01, 26' R	242.05	231.75	232.25	TIE INTO LPFM TRUNK

SCALE (FEET)  
 0 30 60 120 240  
 1 INCH = 60 FT

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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 DRAWN BY: SD/SEP  
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ISSUED FOR PERMIT

**SEWER PLAN**

**SHEET 12 OF 19**

Physical Alteration Permit (PAP) Plan for

# OLD COUNTY VILLAGE

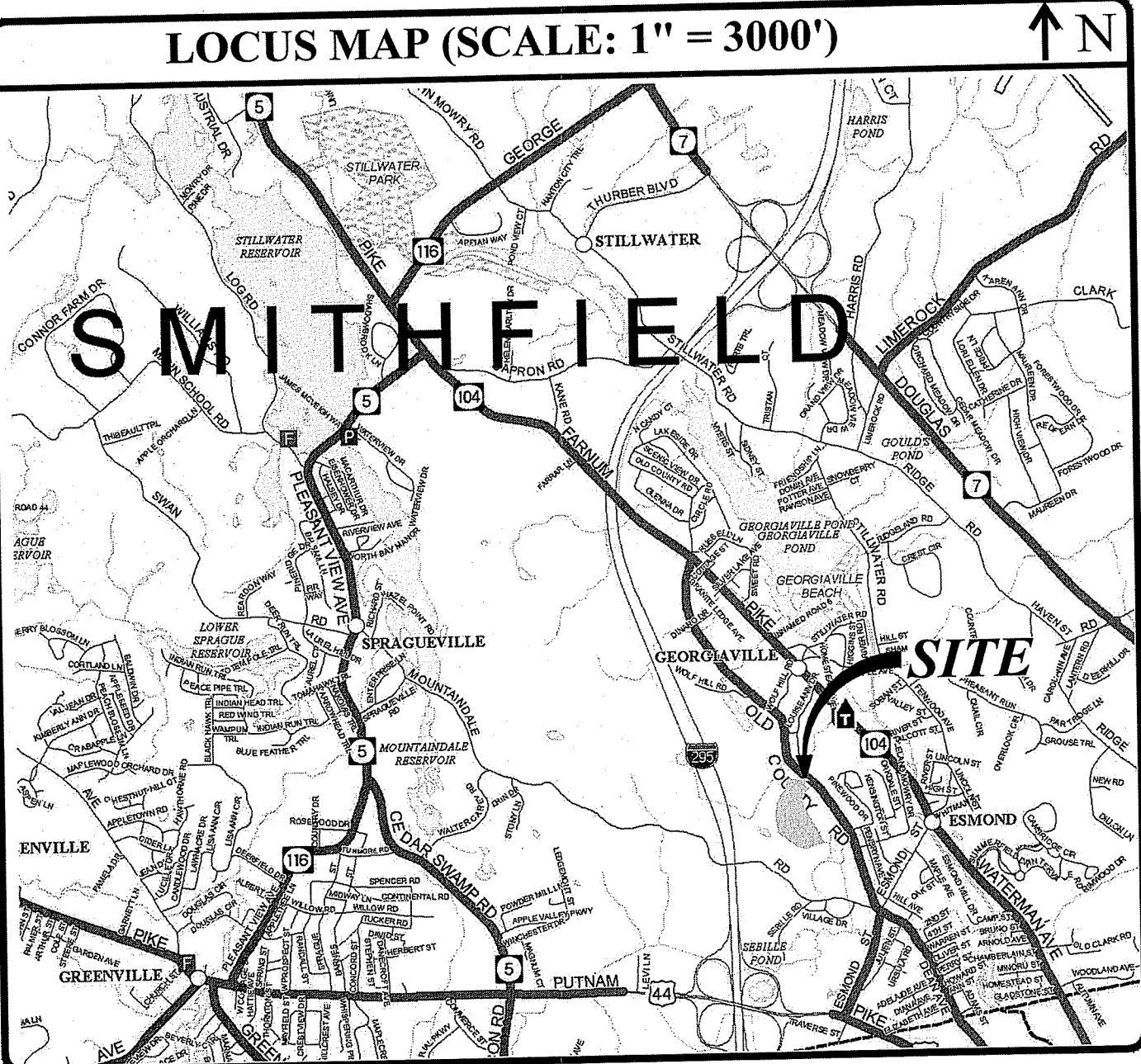
A COMPREHENSIVE PERMIT FOR A 79-UNIT RESIDENTIAL COMMUNITY

(INCLUDING 25% LOW TO MODERATE INCOME HOUSING)

190-192 OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

### REFERENCE PLANS ATTACHED:

- EXISTING CONDITIONS PLAN,  
PREPARED BY INTERNATIONAL MAPPING & SURVEYING, CORP.
- OCTOBER 1, 2019 RIDOT PERMIT PLANS,  
PREPARED BY JOE CASALI ENGINEERING, INC.
- SHEET 3 OF 16 SITE PREPARATION PLAN
  - SHEET 4 OF 16 SITE PLAN
  - SHEET 5 OF 16 OVERALL GRADING PLAN
  - SHEET 6 OF 16 GRADING & DRAINAGE PLAN I
  - SHEET 7 OF 16 GRADING & DRAINAGE PLAN II

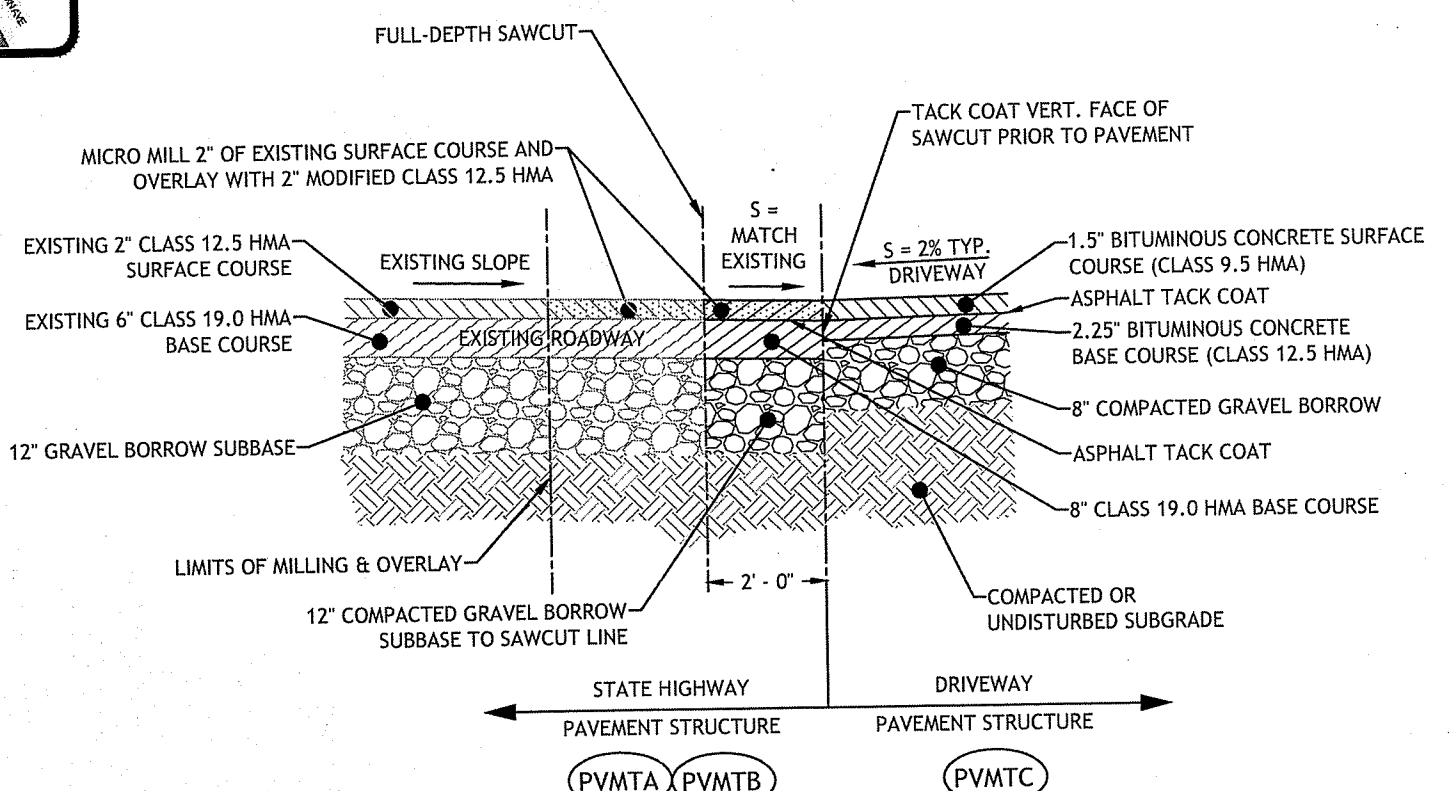


### RHODE ISLAND STANDARDS

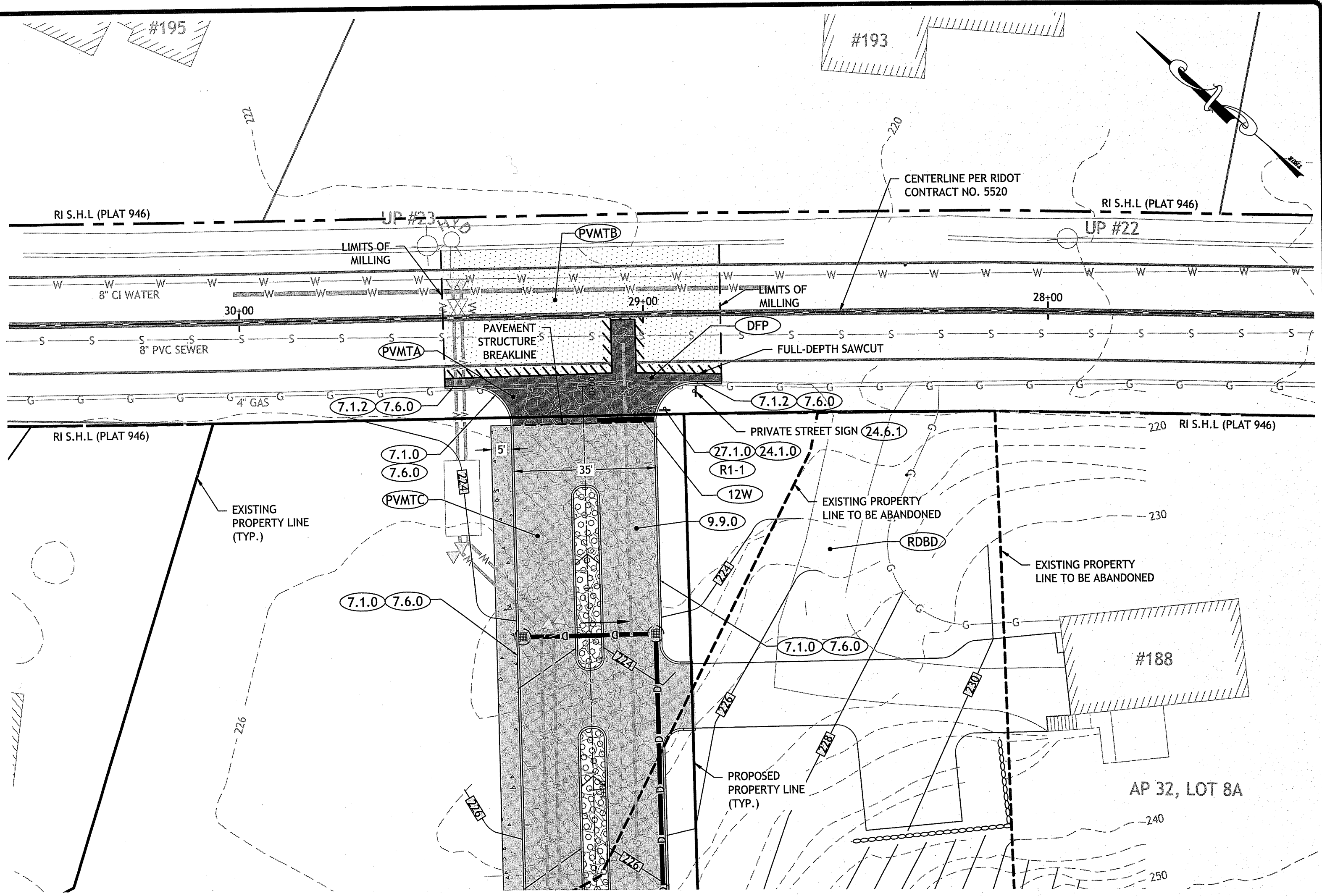
- |   |  |
|---|--|
| (DFP) REMOVE AND DISPOSE FLEXIBLE PAVEMENT    | (PVMTA) PROPOSED PERMANENT TRENCH PATCH:<br>8.0" CLASS 19.0 HMA BASE COURSE<br>(COMPACTED IN 2-INCH LIFTS)   |
| (LS) LOAM & SEED                              | (PVMTB) PROPOSED FINAL PAVEMENT RESTORATION:<br>2.0" MICRO MILLING<br>2.0" MODIFIED CLASS 12.5 HMA BASE COURSE   |
| (R1-1) STOP SIGN                              | (PVMT C) PROPOSED DRIVEWAY ENTRANCE STRUCTURE:<br>1.5" BITUMINOUS CONCRETE SURFACE COURSE (CLASS 9.5 HMA)<br>2.25" BITUMINOUS CONCRETE BASE COURSE (CLASS 12.5 HMA)<br>8.0" COMPACTED GRAVEL BORROW SUB-BASE<br>(RIDOT M.01.09 TYPE 1) PLACED AND COMPACTED IN<br>8-INCH THICK (MAX) LOOSE LIFTS |
| (RDBP) REMOVE AND DISPOSE BITUMINOUS PAVEMENT |  |
| (7.1.0) PRECAST CONCRETE CURB                 |  |
| (7.1.2) 6" PRECAST CONCRETE TRANSITION CURB   |  |
| (7.6.0) CURB SETTING                          |  |
| (9.9.0) CONSTRUCTION ENTRANCE                 |  |
| (24.1.0) SIGN POST INSTALLATION SQUARE POST   |  |
| (24.6.1) STREET SIGN MOUNTING DETAIL          |  |
| (27.1.0) REGULATORY SIGN                      |  |

- NOTES:**
- ALL WORK TO BE DONE WITHIN THE STATE RIGHT-OF-WAY (ROW) SHALL CONFORM TO RI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2013 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RI STANDARD DETAILS 1998 EDITION WITH ALL REVISIONS.
  - UTILITY WORK SHOWN AS REFERENCE. THIS WORK NEEDS TO BE PERMITTED THROUGH A PHYSICAL UTILITY PERMIT (PUP) WITH RIDOT'S DIVISION OF MAINTENANCE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - CONTRACTOR TO PROVIDE TEMPORARY EROSION CONTROLS TO PROTECT THE STATE ROW DURING THE DEMOLITION OF EXISTING DRIVEWAY AND CONSTRUCTION OF NEW DRIVEWAY.

- LEGEND**
- EXISTING PROPERTY LINE
  - ABUTTING PROPERTY LINE
  - EXISTING RIGHT OF WAY LINE
  - PROPERTY LINE TO BE ABANDONED
  - PROPOSED PROPERTY LINE
  - 100' EXISTING CONTOUR
  - 100' PROPOSED CONTOUR
  - EXISTING BERM
  - PROPOSED CURB
  - EXISTING DRAIN LINE
  - PROPOSED DRAIN LINE
  - PROPOSED DRAINAGE MANHOLE
  - PROPOSED CATCH BASIN
  - EXISTING UTILITY POLE
  - GAS EXISTING GAS LINE
  - GAS PROPOSED GAS LINE
  - W EXISTING WATER LINE
  - W PROPOSED WATER LINE
  - H EXISTING HYDRANT
  - WV PROPOSED WATER SHUT OFF VALVE
  - S EXISTING SEWER LINE
  - S PROPOSED SEWER LINE
  - MANHOLE PROPOSED SEWER MANHOLE



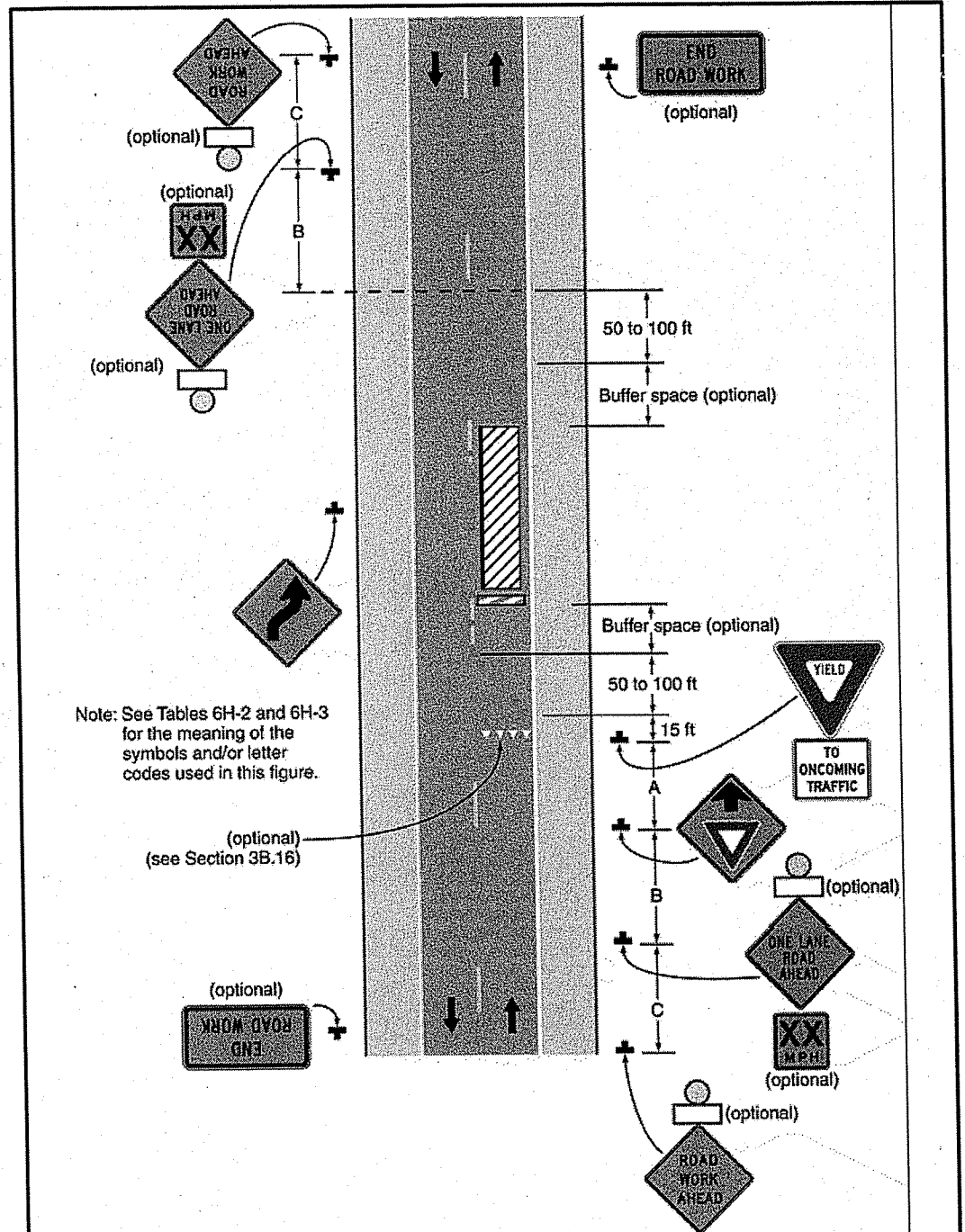
- NOTES:**
- MINIMUM COMPACTION FOR GRAVEL SUB-BASE OR SUBGRADE: 95% MODIFIED PROCTOR.
  - NO WORK SHOULD BE DONE OUTSIDE OF THE PROJECT SITE. PAVEMENT SHOULD MATCH WHERE NOTED ON THE SITE PLANS.
  - WHEN MATCHING EXISTING PAVEMENT, THE LONGITUDINAL CUT AND MATCH SECTION SHOULD NOT EXCEED PAST THE SHOULDER STRIPING.



OLD COUNTY ROAD RIGHT OF WAY PLAN

1 INCH = 20 FT

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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MUTCD FIGURE 6H-11  
LANE CLOSURE ON A TWO-LANE ROAD (TA-11)



STOPPING SIGHT DISTANCE PLAN  
SCALE: 1" = 40'

POSTED SPEED LIMIT ON OLD COUNTY ROAD: 35 MPH  
DESIGN SPEED OF OLD COUNTY ROAD: 42 MPH  
SCHOOL ZONE SPEED LIMIT: 20 MPH  
AASHTO STOPPING SIGHT DISTANCE (SSD) REQUIREMENTS:

SPEED	DISTANCE	SCHOOL ZONE
20	115 FT.	—
25	155 FT.	—
35	250 FT.	— POSTED
42	324 FT.	— DESIGN
55	495 FT.	—

SITE MEETS REQUIREMENTS FOR THE POSTED SPEED LIMIT ON OLD COUNTY ROAD BASED ON A TRAFFIC IMPACT STUDY PERFORMED BY BETA GROUP IN OCTOBER 2015, REVISED MAY 2018. THE AVAILABLE STOPPING SIGHT DISTANCES FROM THE PROPOSED SITE ENTRANCE MEET OR EXCEED THE AASHTO REQUIREMENTS FOR THE 42 MPH DESIGN SPEED OF OLD COUNTY ROAD. SIGHT DISTANCE TO THE NORTH WAS LIMITED BY A COMBINATION HORIZONTAL AND VERTICAL CURVE APPROXIMATELY 500 FEET AWAY, LOCATED AT THE SOUTHERN EDGE OF THE ELEMENTARY SCHOOL PROPERTY. SIGHT DISTANCE TO THE SOUTH WAS LIMITED BY A HORIZONTAL CURVE APPROXIMATELY 350 FEET AWAY, LOCATED AT THE NORTHERN EDGE OF 183 OLD COUNTY ROAD.

**JOE CASALI ENGINEERING, INC.**  
CIVIL SITE DEVELOPMENT - TRANSPORTATION  
DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN  
3600 ROUTE 1A13, SUITE 101, SMITHFIELD, RI 02894  
(401) 944-1362 (F) 401 944-1037 FAX WWW.JOECSALI.COM

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**JOSEPH A. CASALI**  
No. 7250  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
12/19

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**PROPOSED 79-UNIT  
RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

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Environmental Management  
**MAR 19 2020**

---

NO.	DATE	DESCRIPTION
1	2/21/19	SEWER FILING
2	10/1/19	RIDOT COMMENTS
3	10/15/19	RIDOT COMMENTS

---

DESIGNED BY:	WML/JSD
DRAWN BY:	SD/SEP
CHECKED BY:	JAC
DATE:	JUNE 2018
PROJECT NO.:	15-20a

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ISSUED FOR PERMIT

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**RIDOT PAP  
PLAN**

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**SHEET  
1 OF 19**

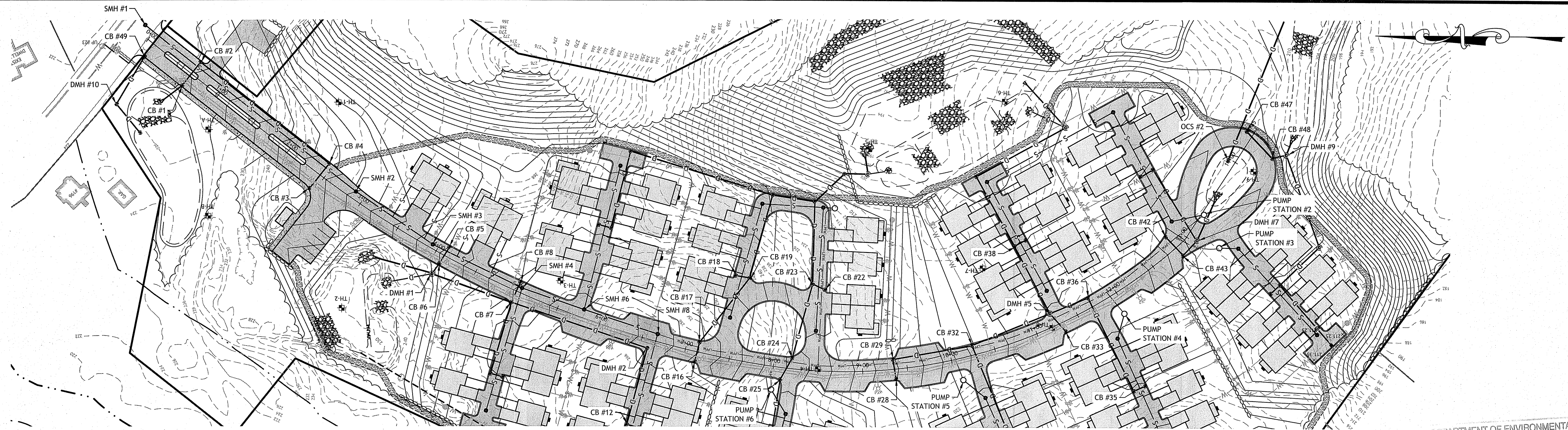
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LAND SURVEYING CIVIL ENGINEERING PHOTOGRAMMETRIC MAPPING  
19 INDUSTRIAL DRIVE, SMITHFIELD, R.I. 02917 (401) 232-2620

**ANTHONY E. MUSCATELLI**  
No. 1718  
PROFESSIONAL LAND SURVEYOR

THIS PLAN CONFORMS TO CLASS I AND CLASS III STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

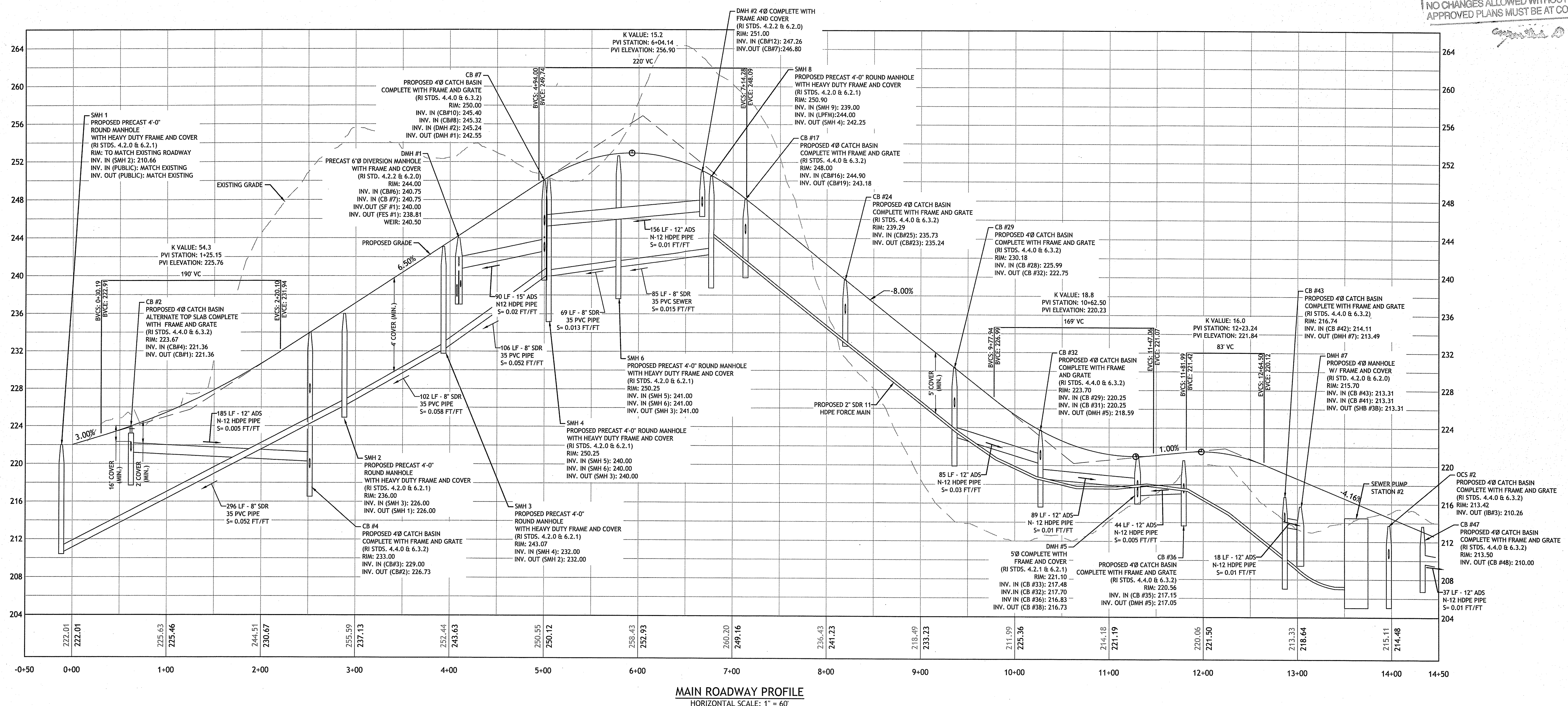
By: *Anthony E. Muscatelli* 10/19/2015  
REGISTERED PROFESSIONAL LAND SURVEYOR DATE

Q:\15-20 Celtic Funding\15-20a Old County Village\ACAD\Old County Road Preliminary Plan R7.dwg, Mar. 19, 2020 10:06am

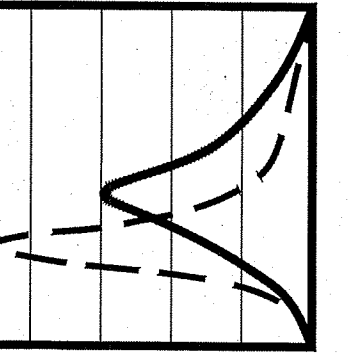


**MAIN ROADWAY PLAN**  
HORIZONTAL SCALE: 1" = 60'

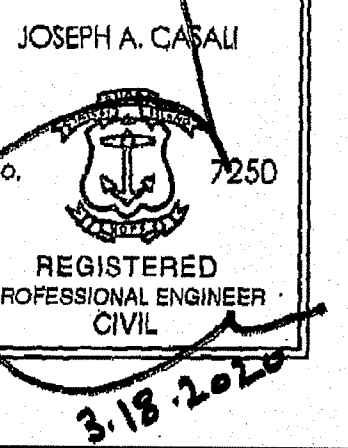
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 18 2020 FILE # 18-0174  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



**MAIN ROADWAY PROFILE**  
HORIZONTAL SCALE: 1" = 60'  
VERTICAL SCALE: 1" = 6'



**JCE**  
JOE CASALI ENGINEERING, INC.  
CIVIL - SITE DEVELOPMENT - TRANSPORTATION  
DRAINAGE - WETLANDS - WATERWORKS - R.D. DESIGN  
(401) 944-1300 (401) 944-1319 FAX WWW.JOECASALI.COM



**PROPOSED 79-UNIT  
RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

Environmental Management  
**MAR 19 2020**  
Office of Water Resources

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	2/21/19	SEWER FILING
2	10/11/19	RIDOT COMMENTS
3	10/15/19	RIDOT COMMENTS
4	3/18/20	TOWN-RIDEM REV.

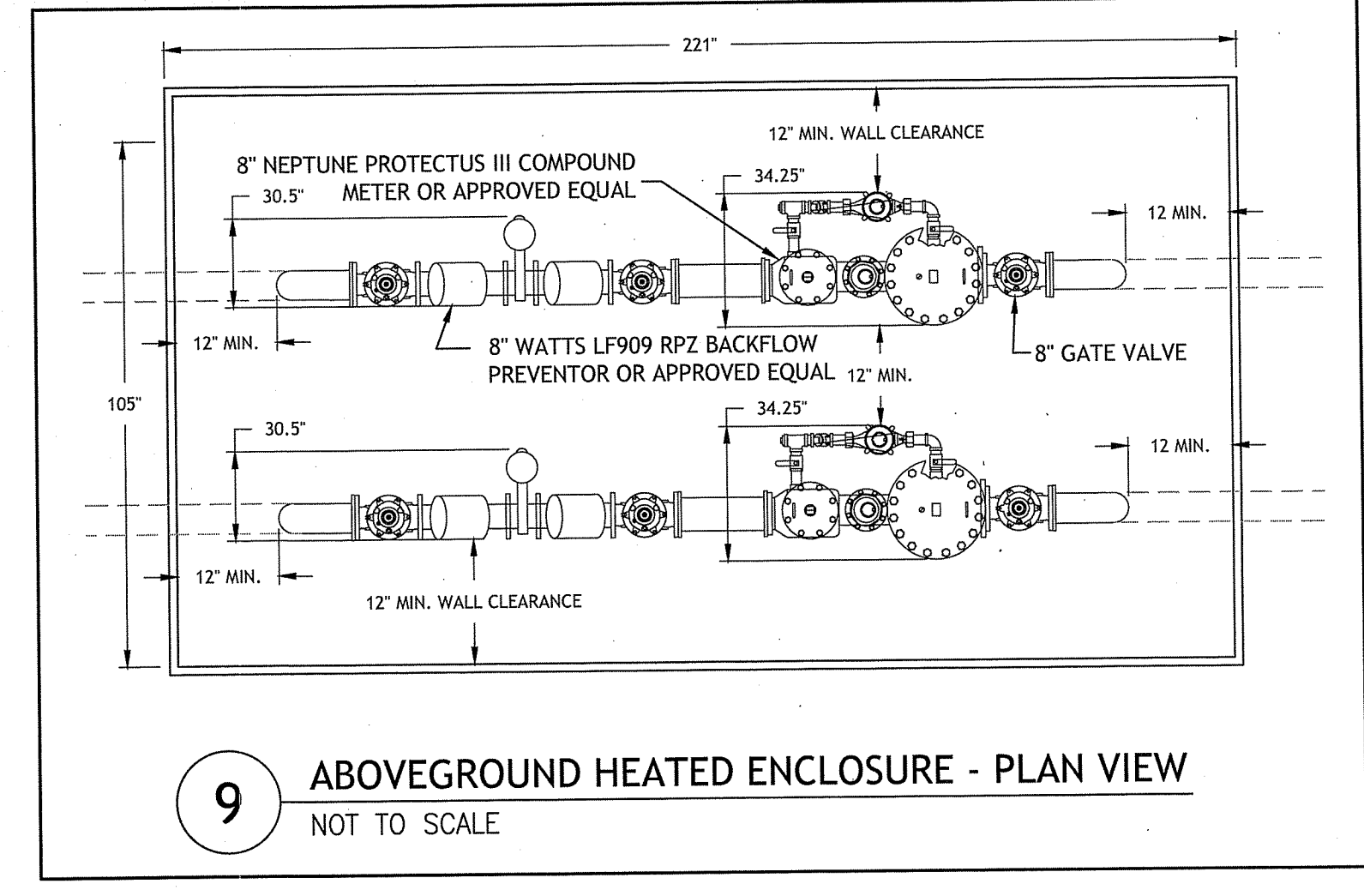
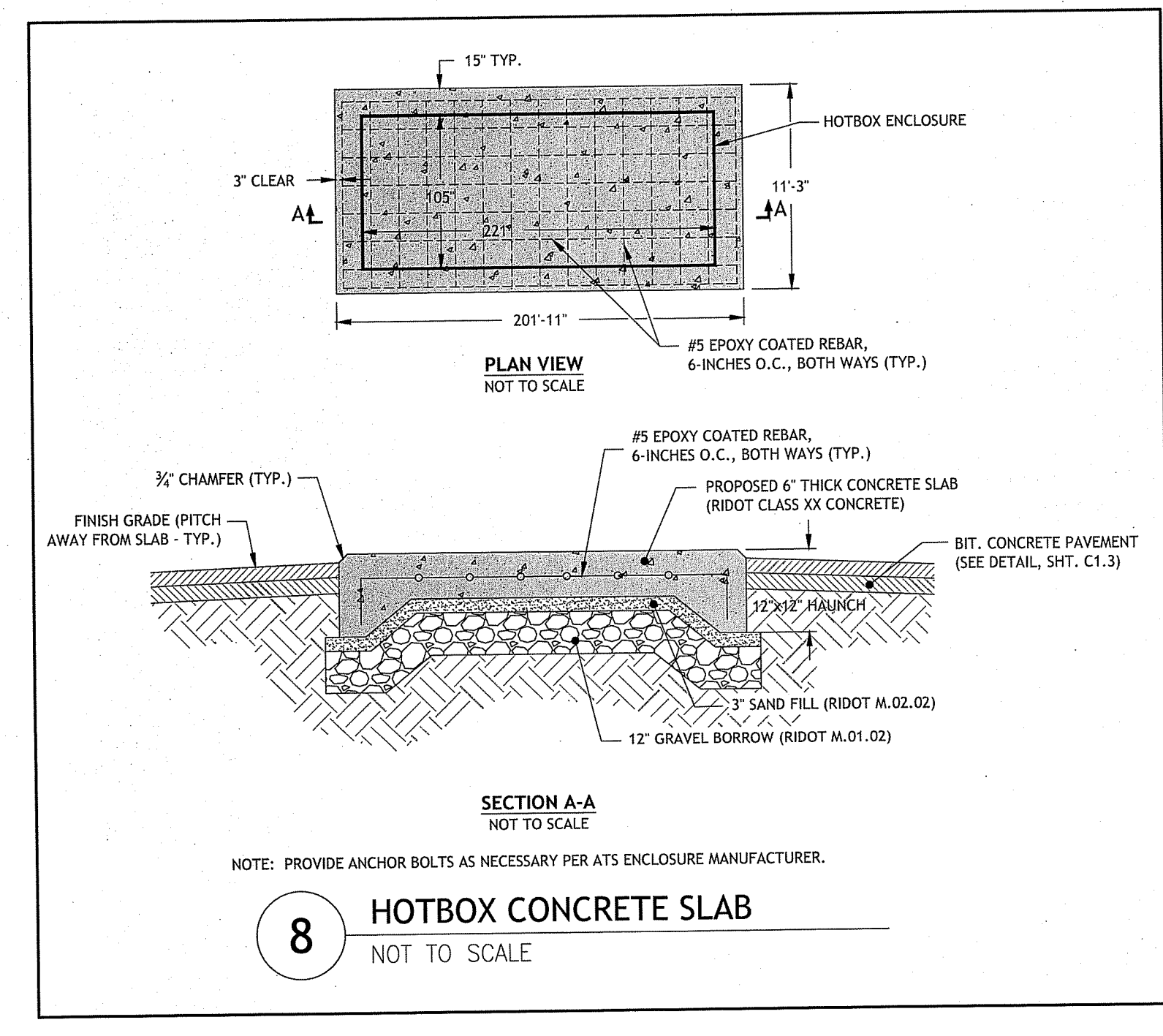
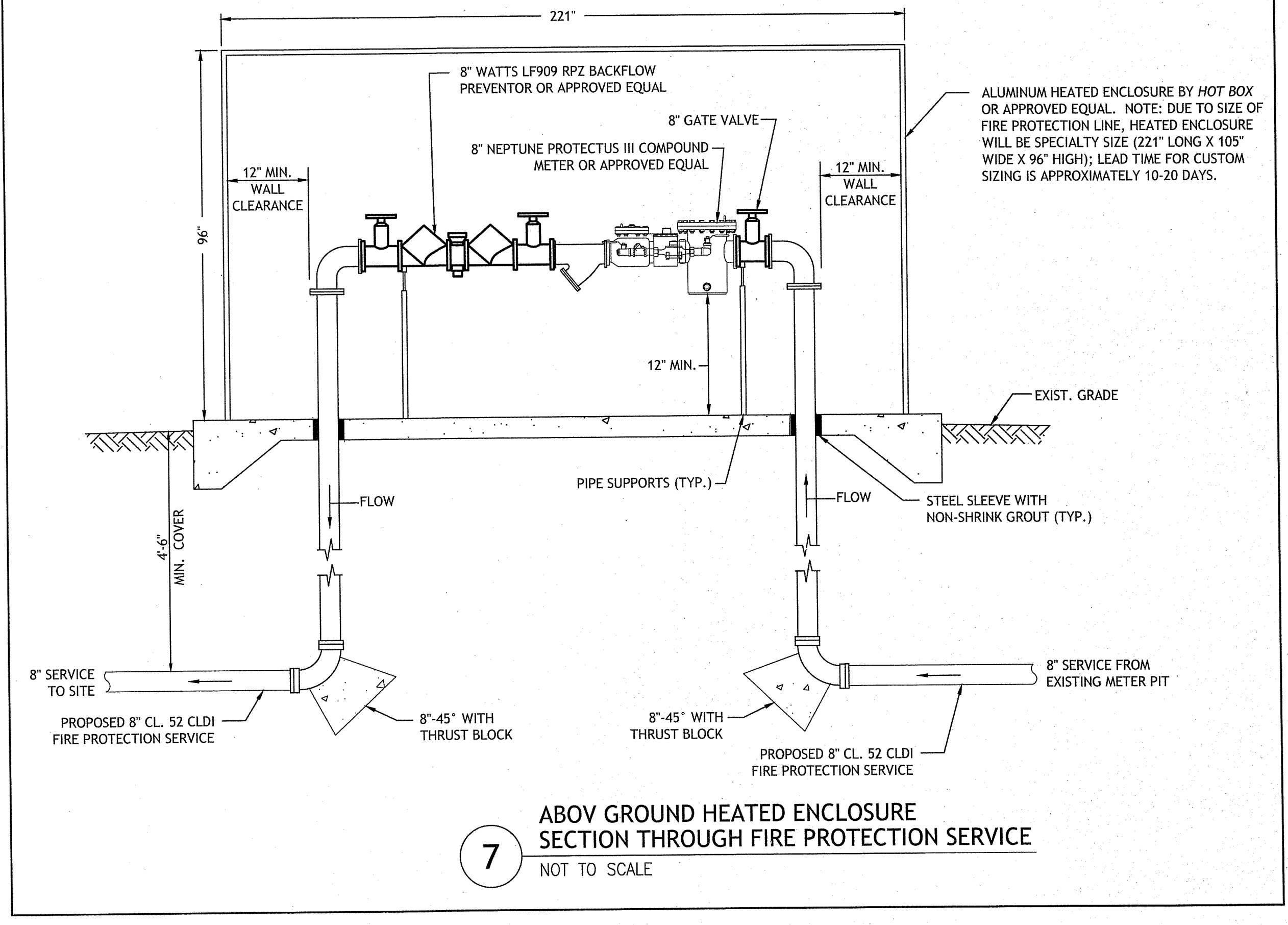
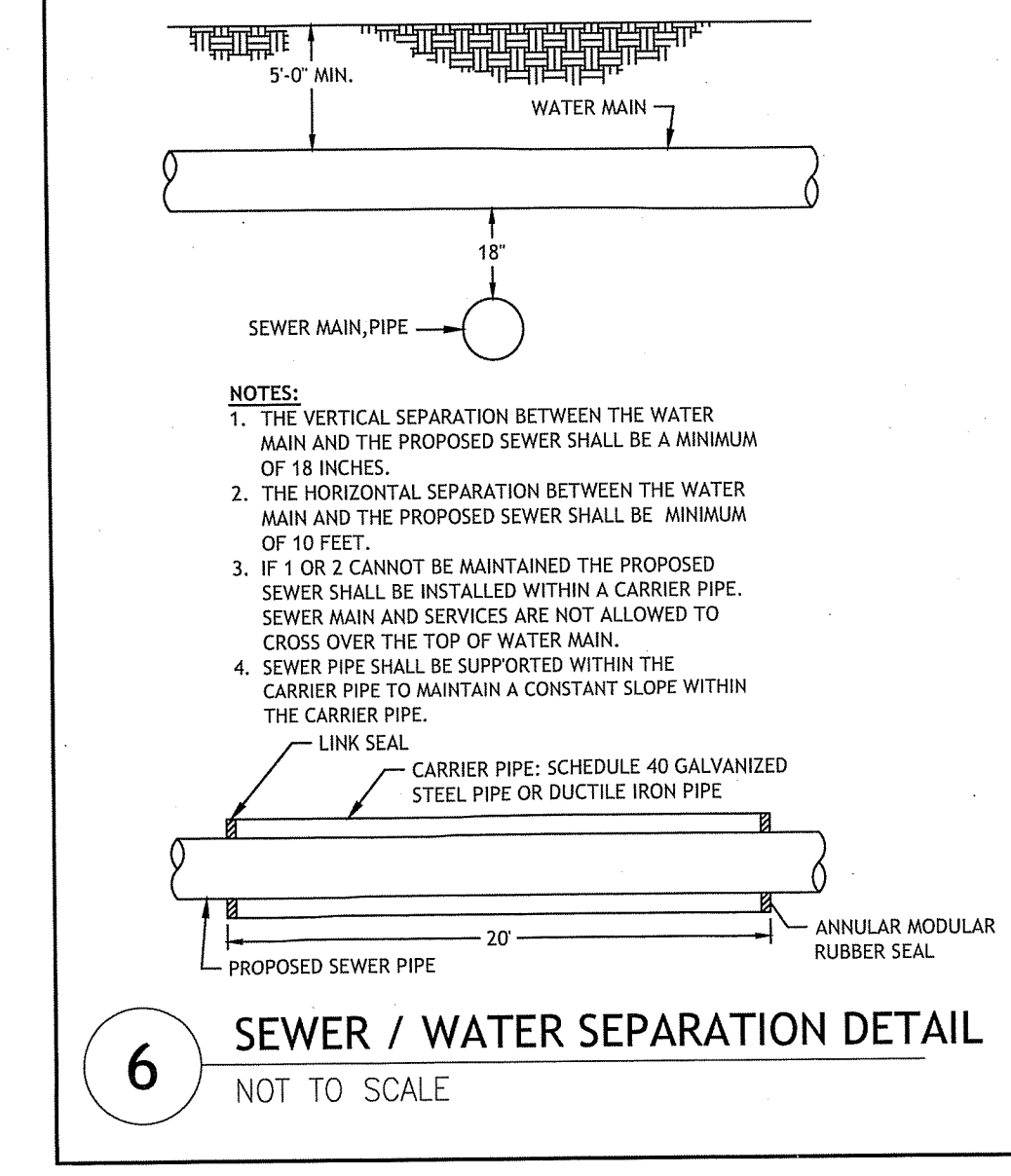
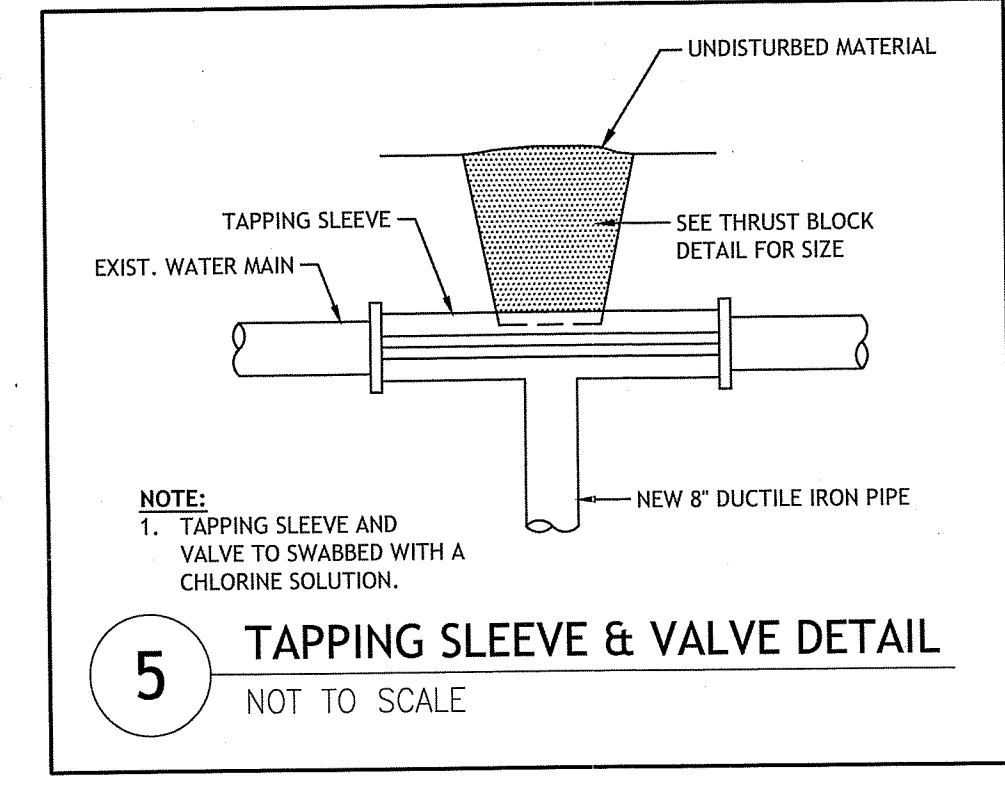
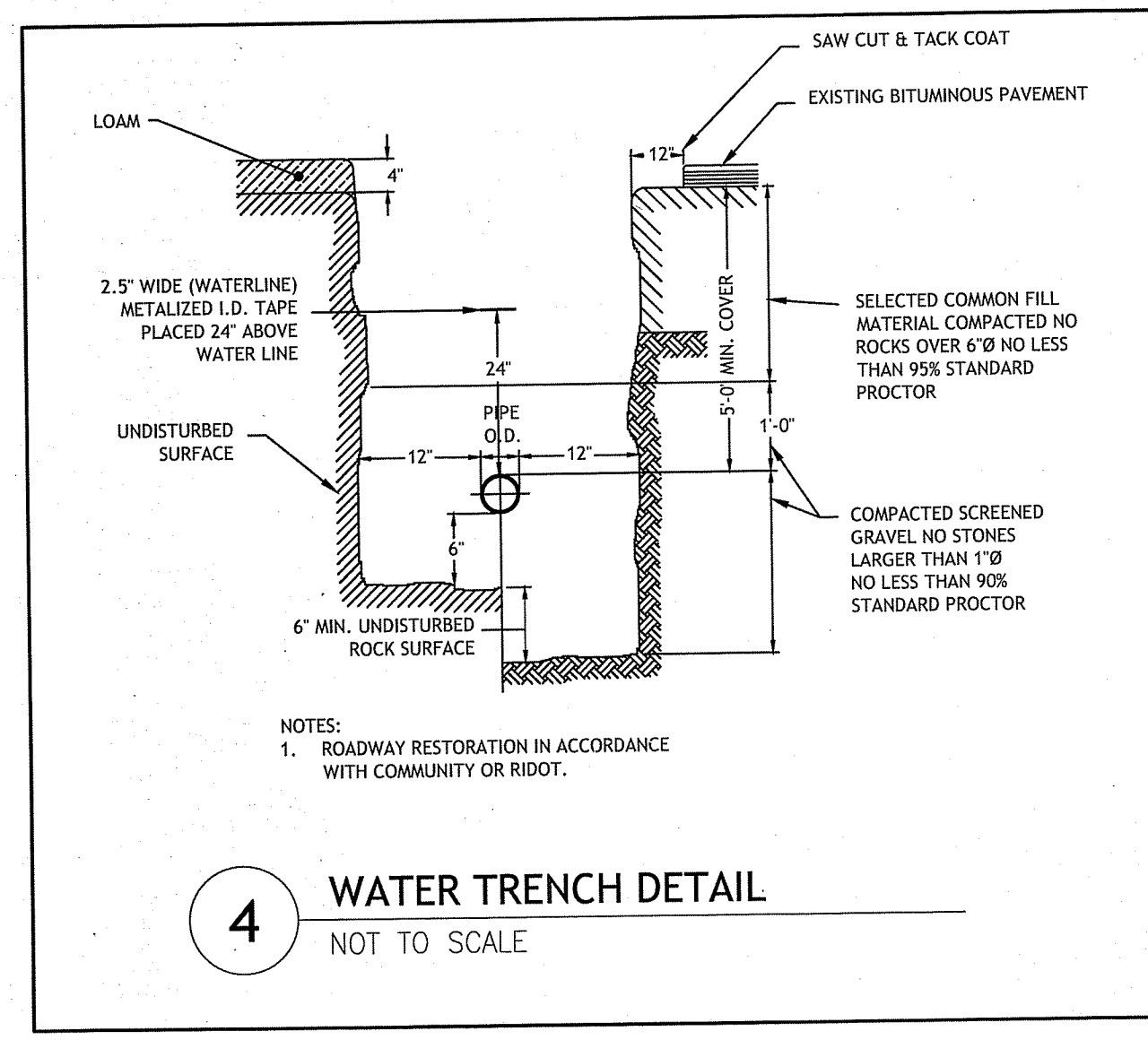
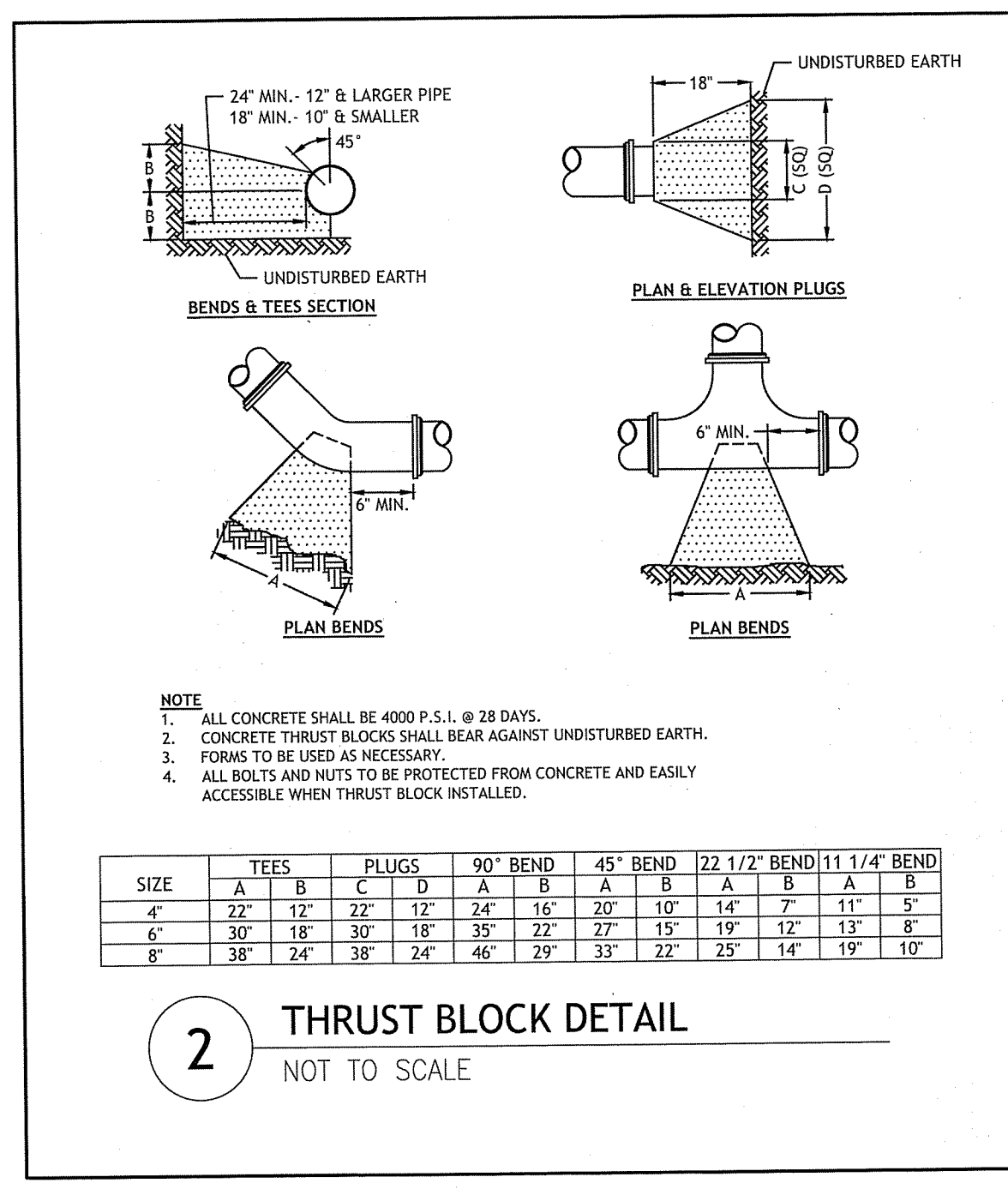
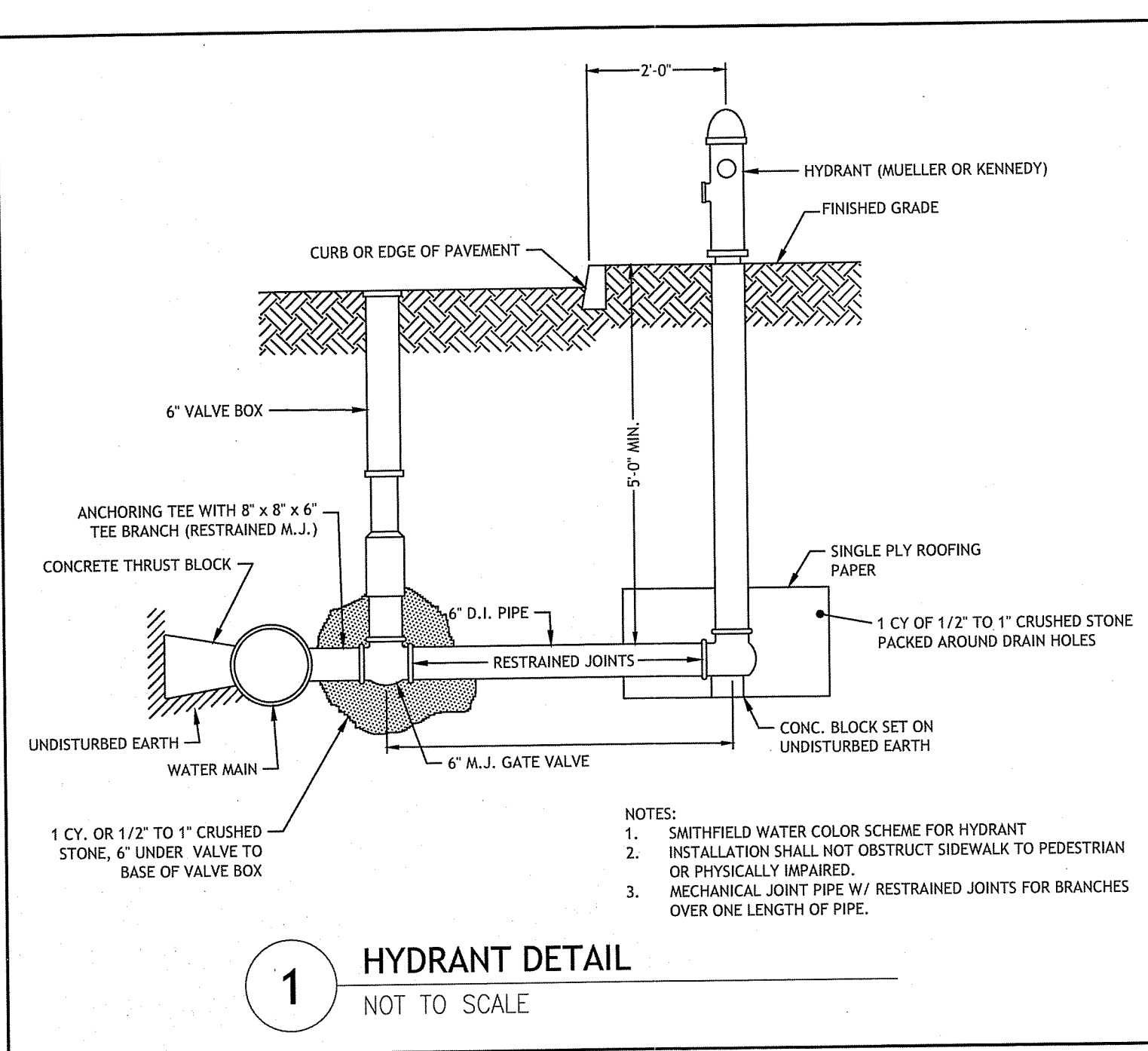
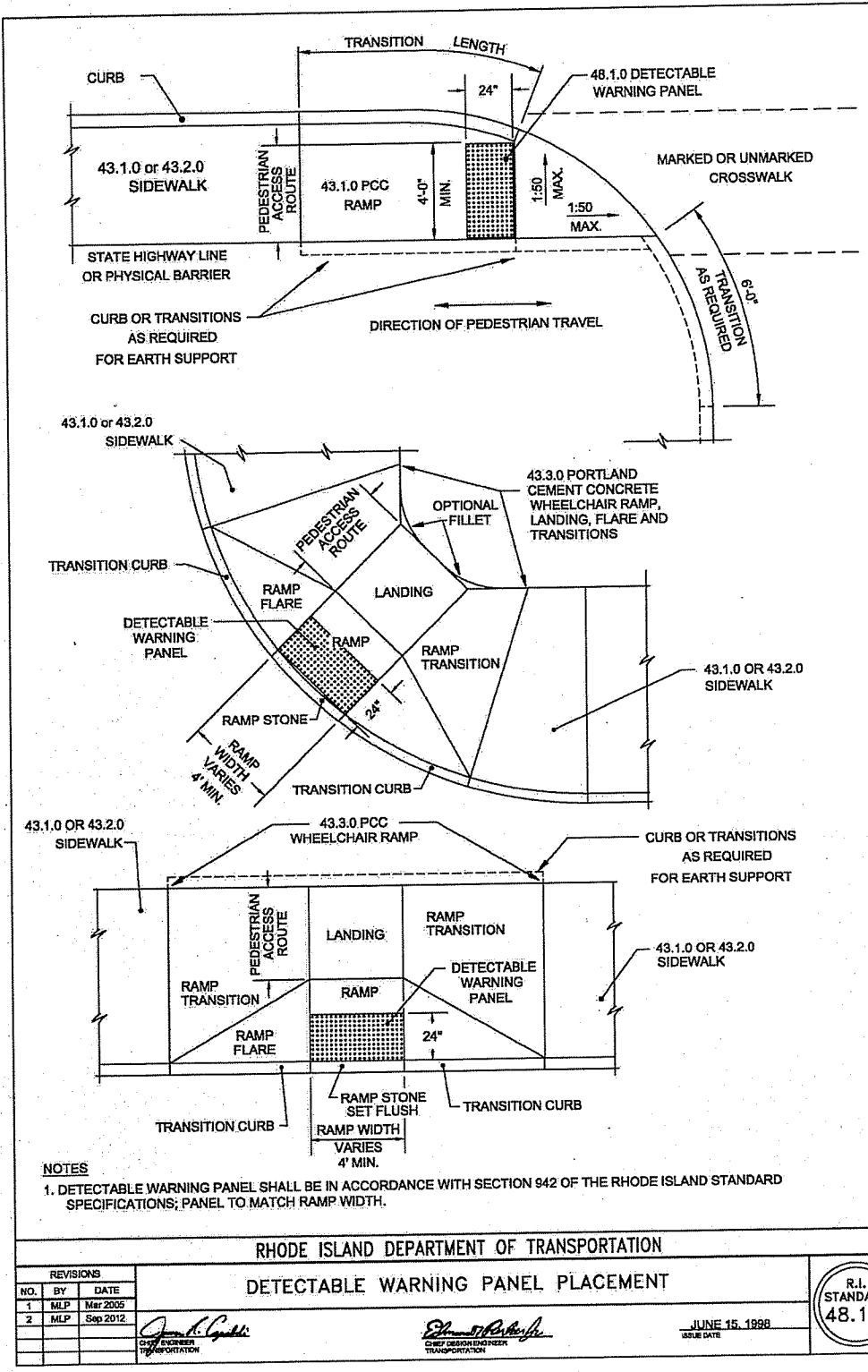
DESIGNED BY: WMLJ/SD  
DRAWN BY: SD/SEP  
CHECKED BY: JAC  
DATE: JUNE 2018  
PROJECT NO: 15-20a

ISSUED FOR PERMIT

**MAIN  
ROADWAY  
PROFILE**

**SHEET  
14 OF 19**





**JCE**  
JOSEPH A. CASALI  
REGISTERED PROFESSIONAL ENGINEER - CIVIL  
3-18-2020

**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

Environmental Management  
MAR 19 2020  
Office of Water Resources

REVISIONS:

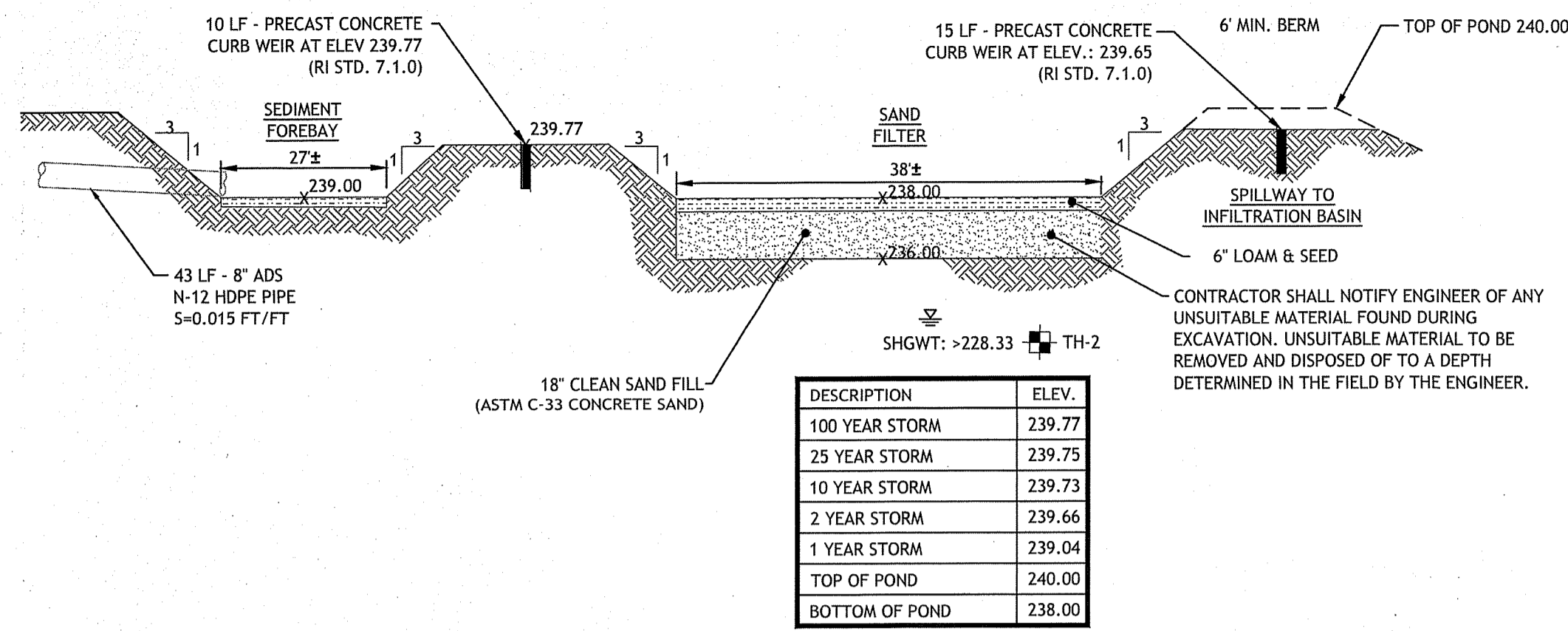
NO.	DATE	DESCRIPTION
1	2/21/19	SEWER FILING
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3	10/15/19	RIDOT COMMENTS
4	3/18/20	TOWN-RIDEM REV.

DESIGNED BY: WMLJR/SD  
DRAWN BY: SD/SEP  
CHECKED BY: JAC  
DATE: JUNE 2018  
PROJECT NO: 15-20a

ISSUED FOR PERMIT

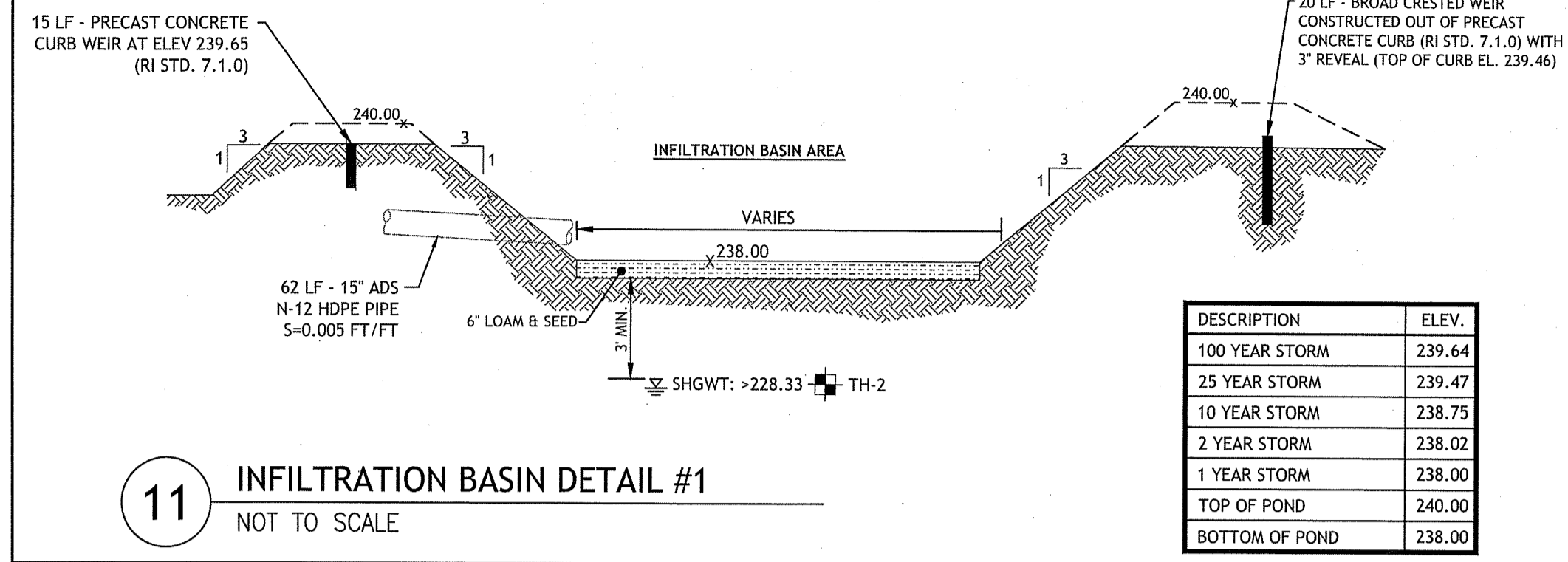
**DETAILS I**  
**SHEET 16 OF 19**

Q:\15-20 Cattle Funding\15-20a Old County Village\ACAD\Old County Road Preliminary Plan R7.dwg, Mar. 19, 2020 10:08am



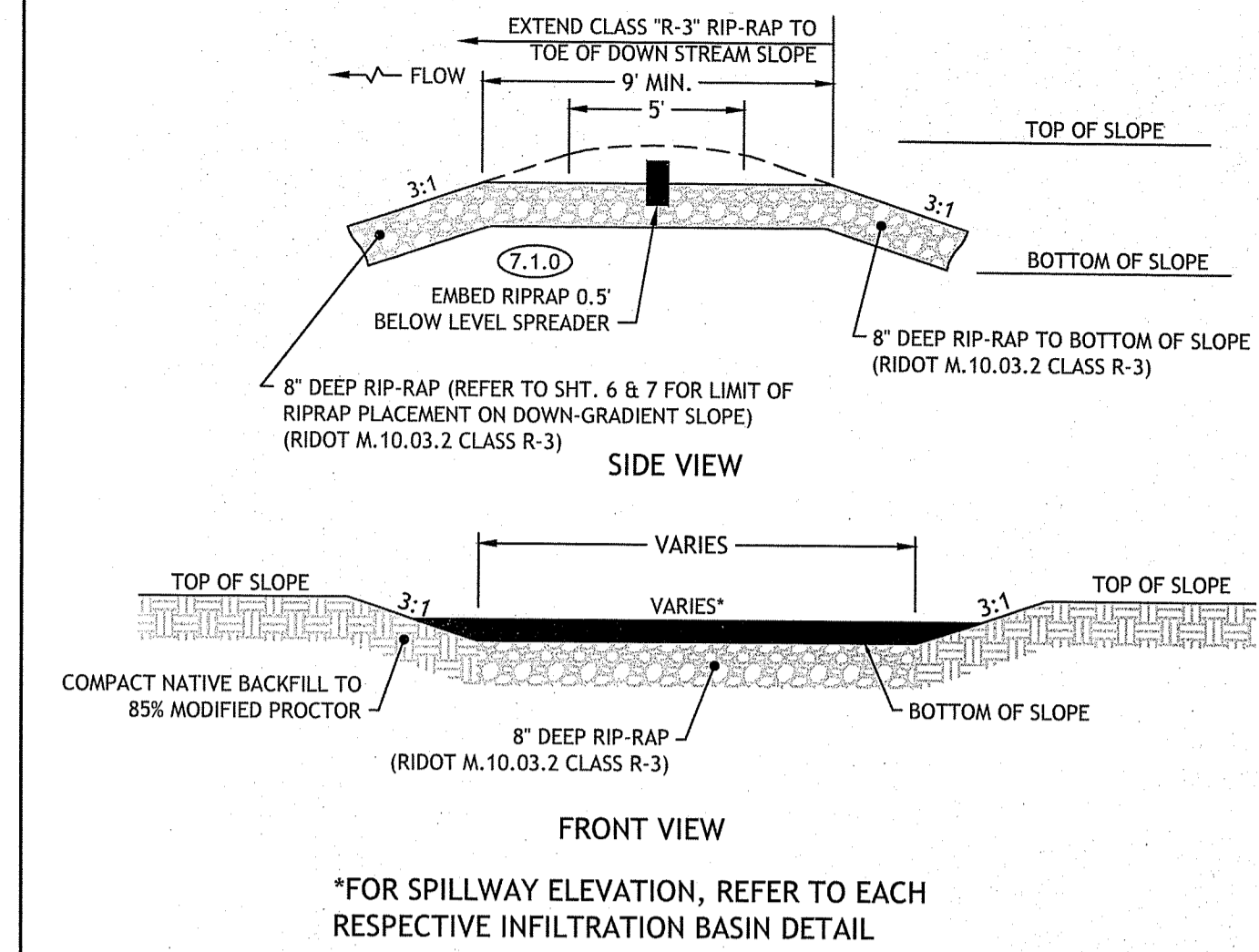
DESCRIPTION	ELEV.
100 YEAR STORM	239.77
25 YEAR STORM	239.75
10 YEAR STORM	239.73
2 YEAR STORM	239.66
1 YEAR STORM	239.04
TOP OF POND	240.00
BOTTOM OF POND	238.00

**10** SEDIMENT FOREBAY #1 & SAND FILTER #1 DETAIL  
NOT TO SCALE

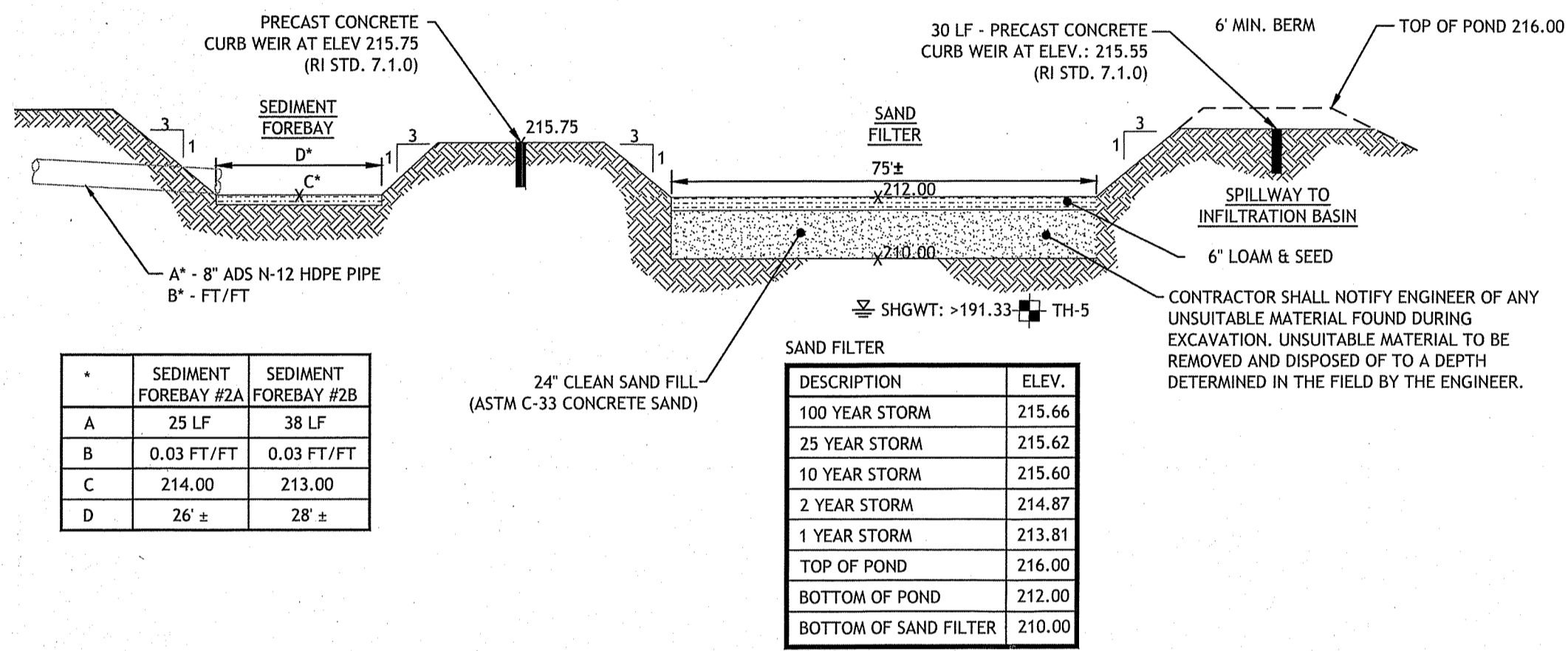


DESCRIPTION	ELEV.
100 YEAR STORM	239.64
25 YEAR STORM	239.47
10 YEAR STORM	238.75
2 YEAR STORM	238.02
TOP OF POND	238.00
BOTTOM OF POND	238.00

**11** INFILTRATION BASIN DETAIL #1  
NOT TO SCALE

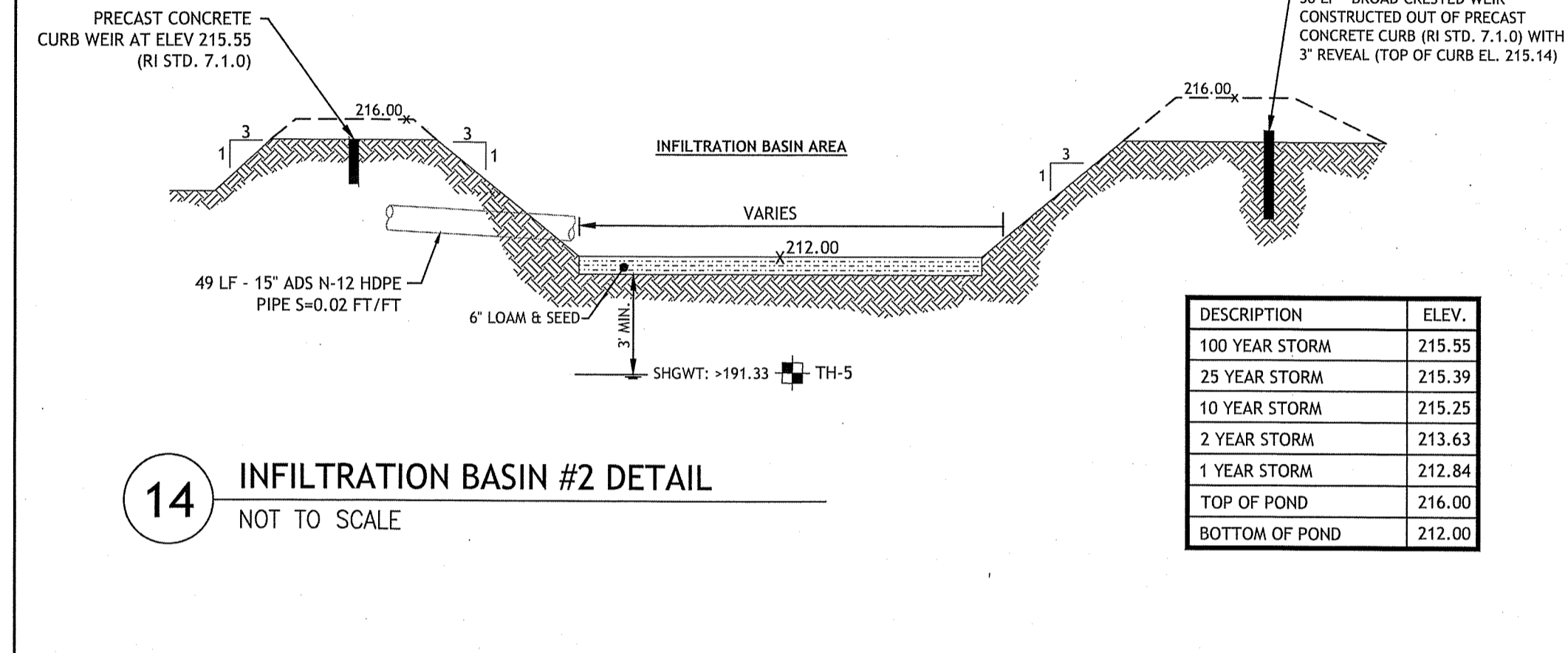


**12** EMERGENCY SPILLWAY (TYP.)  
NOT TO SCALE



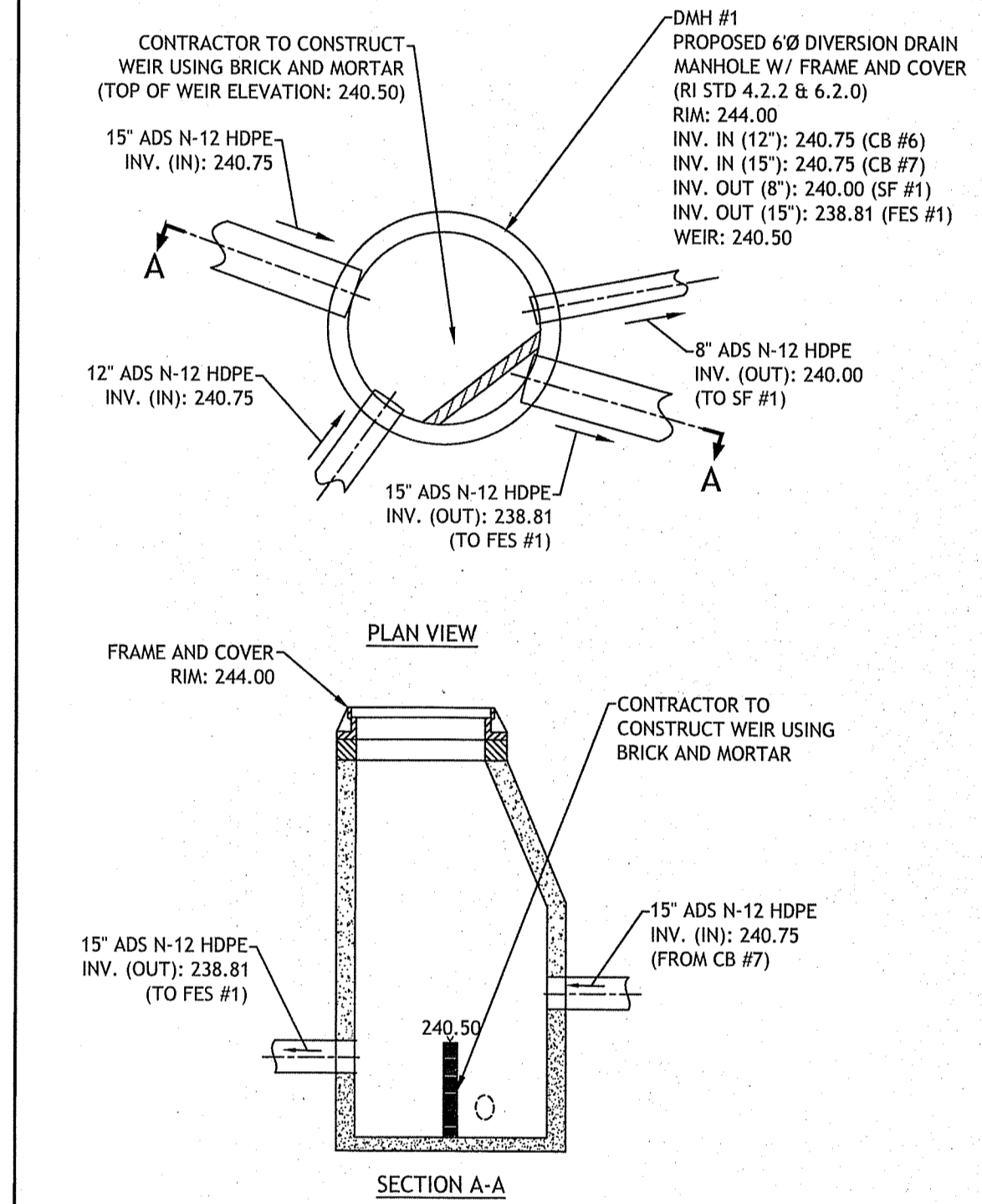
DESCRIPTION	ELEV.
100 YEAR STORM	215.66
25 YEAR STORM	215.62
10 YEAR STORM	215.60
2 YEAR STORM	214.87
1 YEAR STORM	213.81
TOP OF POND	216.00
BOTTOM OF POND	212.00
BOTTOM OF SAND FILTER	210.00

**13** SEDIMENT FOREBAYS #2A-2B & SAND FILTER #2 DETAIL  
NOT TO SCALE

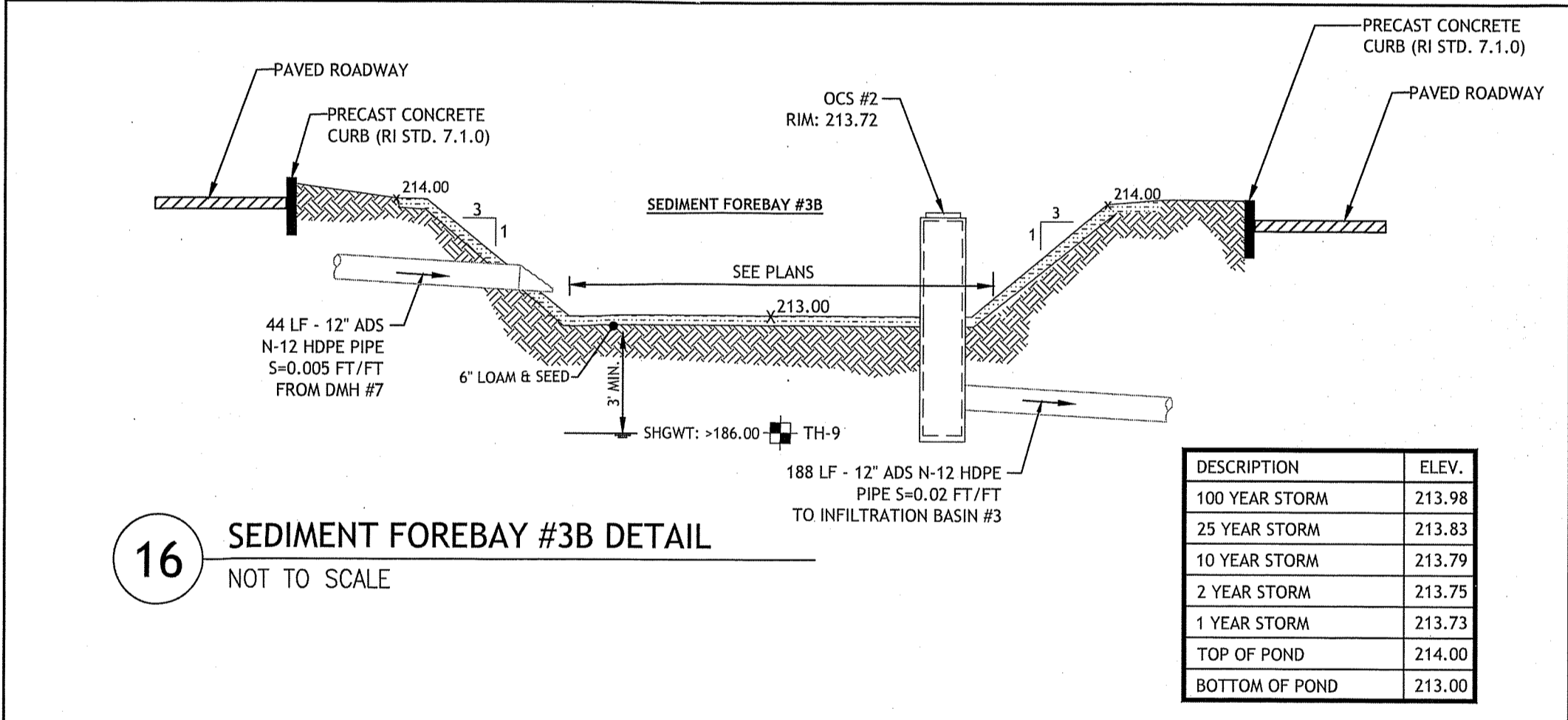


DESCRIPTION	ELEV.
100 YEAR STORM	215.55
25 YEAR STORM	215.39
10 YEAR STORM	215.25
2 YEAR STORM	213.63
1 YEAR STORM	212.84
TOP OF POND	216.00
BOTTOM OF POND	212.00

**14** INFILTRATION BASIN #2 DETAIL  
NOT TO SCALE

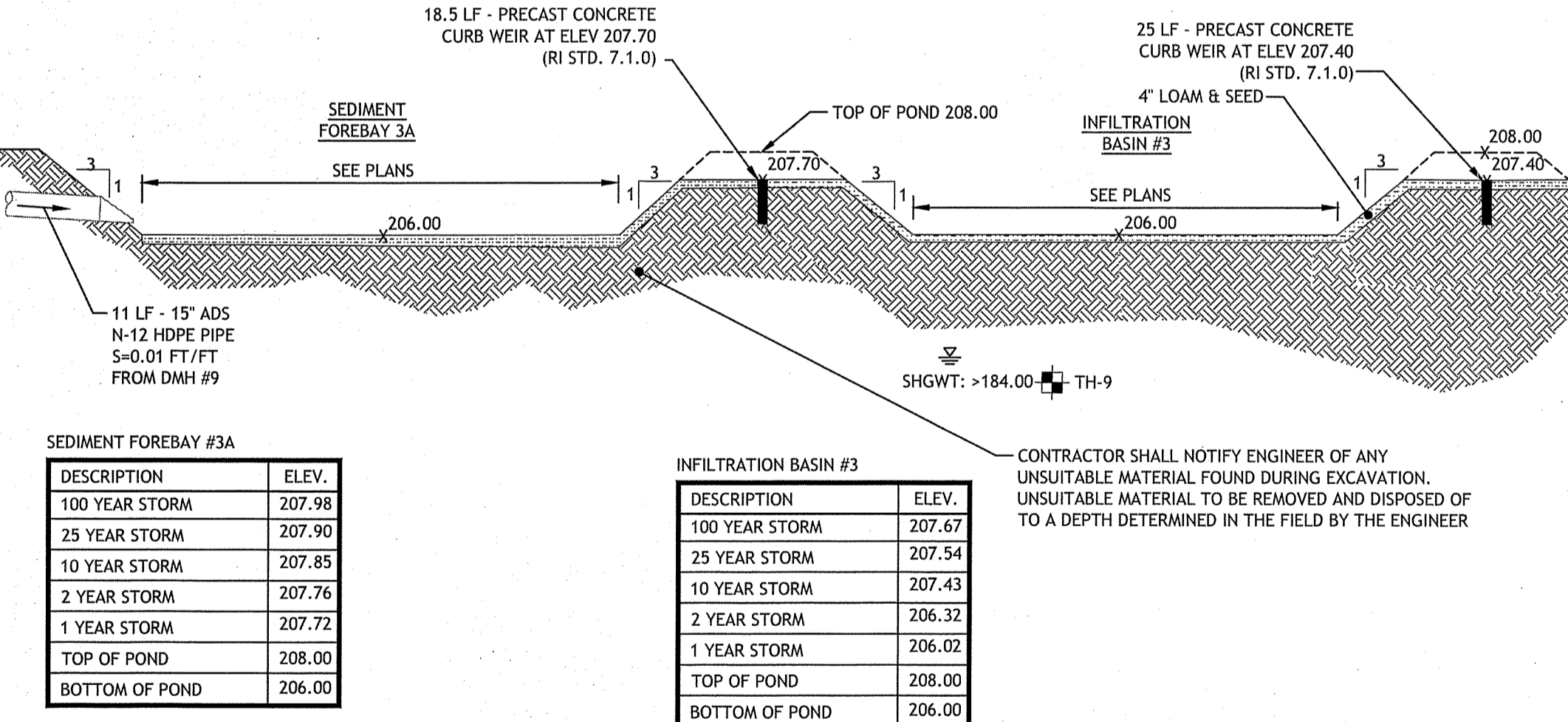


**17** DMH #1 - DIVERSION MANHOLE  
NOT TO SCALE



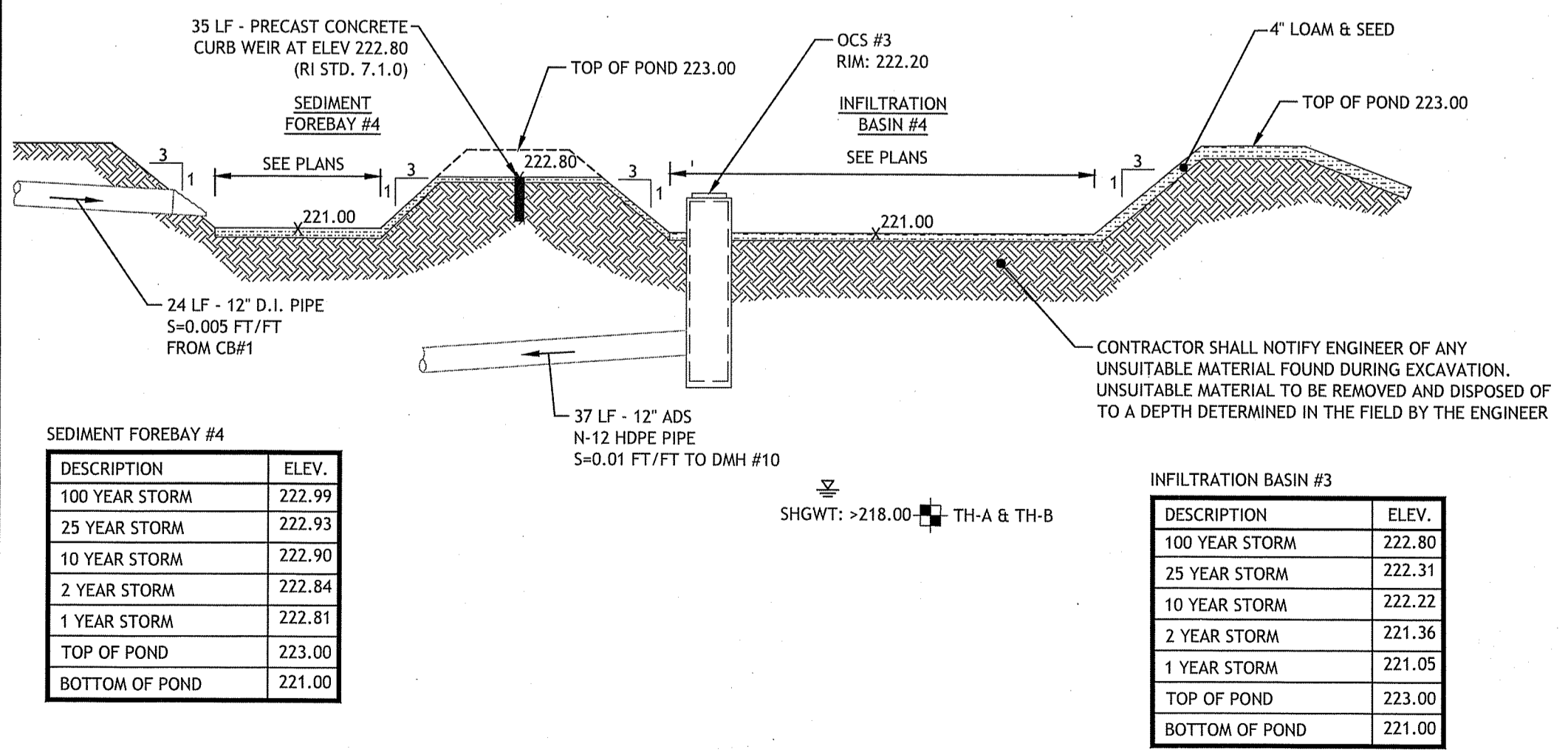
DESCRIPTION	ELEV.
100 YEAR STORM	213.98
25 YEAR STORM	213.83
10 YEAR STORM	213.79
2 YEAR STORM	213.75
1 YEAR STORM	213.73
TOP OF POND	214.00
BOTTOM OF POND	213.00

**16** SEDIMENT FOREBAY #3B DETAIL  
NOT TO SCALE



DESCRIPTION	ELEV.
100 YEAR STORM	207.98
25 YEAR STORM	207.90
10 YEAR STORM	207.85
2 YEAR STORM	207.76
1 YEAR STORM	207.72
TOP OF POND	208.00
BOTTOM OF POND	206.00

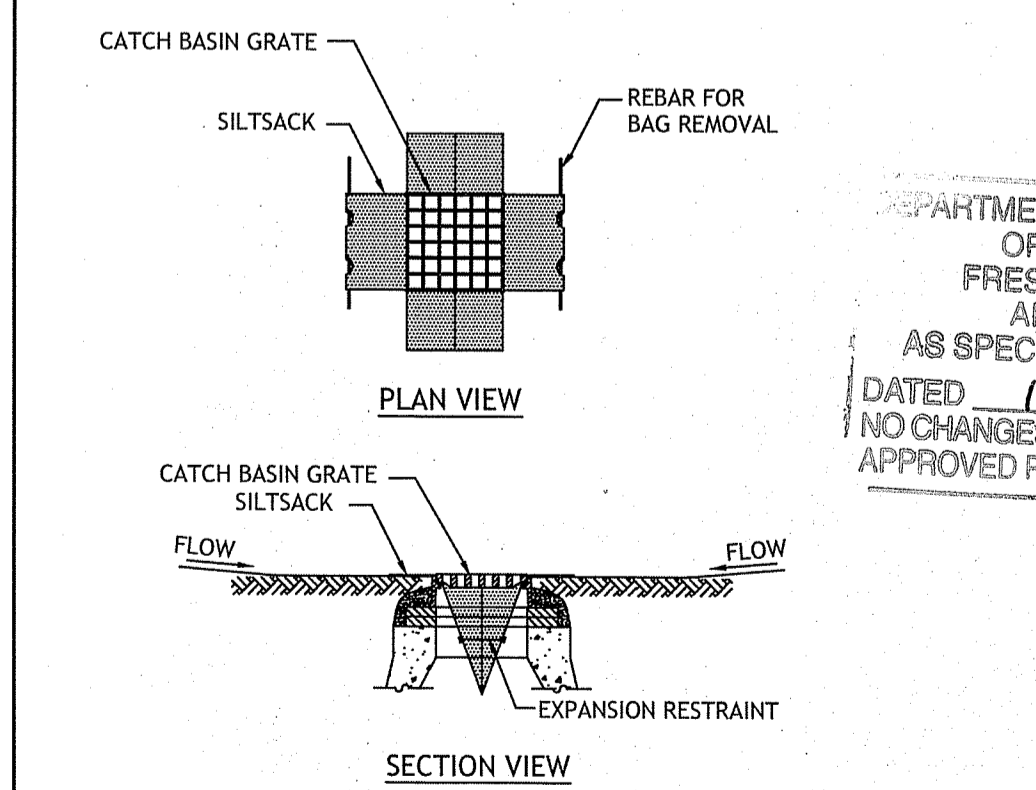
**15** SEDIMENT FOREBAY #3A & INFILTRATION BASIN #3 DETAIL  
NOT TO SCALE



DESCRIPTION	ELEV.
100 YEAR STORM	222.99
25 YEAR STORM	222.93
10 YEAR STORM	222.90
2 YEAR STORM	222.84
1 YEAR STORM	222.81
TOP OF POND	223.00
BOTTOM OF POND	221.00

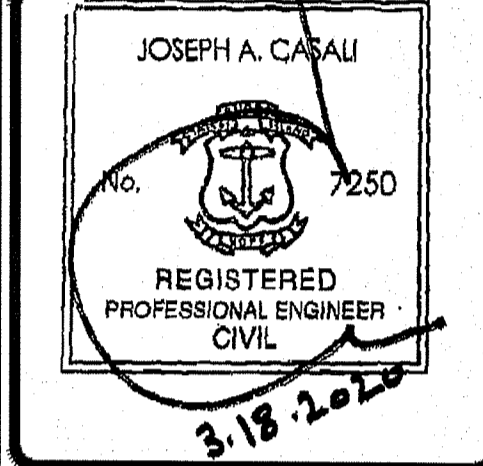
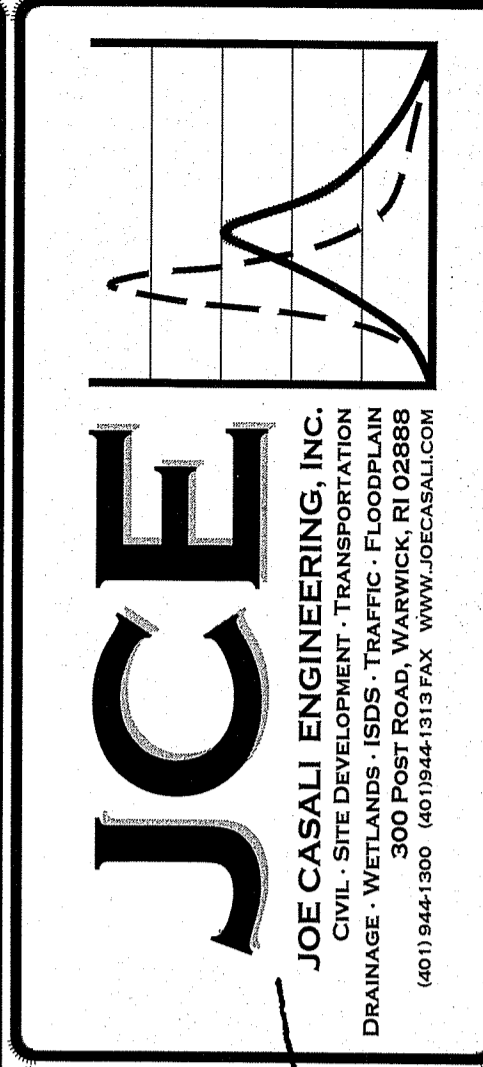
DESCRIPTION	ELEV.
100 YEAR STORM	222.80
25 YEAR STORM	222.31
10 YEAR STORM	222.22
2 YEAR STORM	221.36
1 YEAR STORM	221.05
TOP OF POND	223.00
BOTTOM OF POND	221.00

**18** SEDIMENT FOREBAY #4 & INFILTRATION BASIN #4 DETAIL  
NOT TO SCALE



**19** SILTSACK SEDIMENT TRAP  
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESH WATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED 18 JUN 18 2020 FILE # 18-0174  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

Environmental Management  
MAR 19 2020  
Office of Water Resources

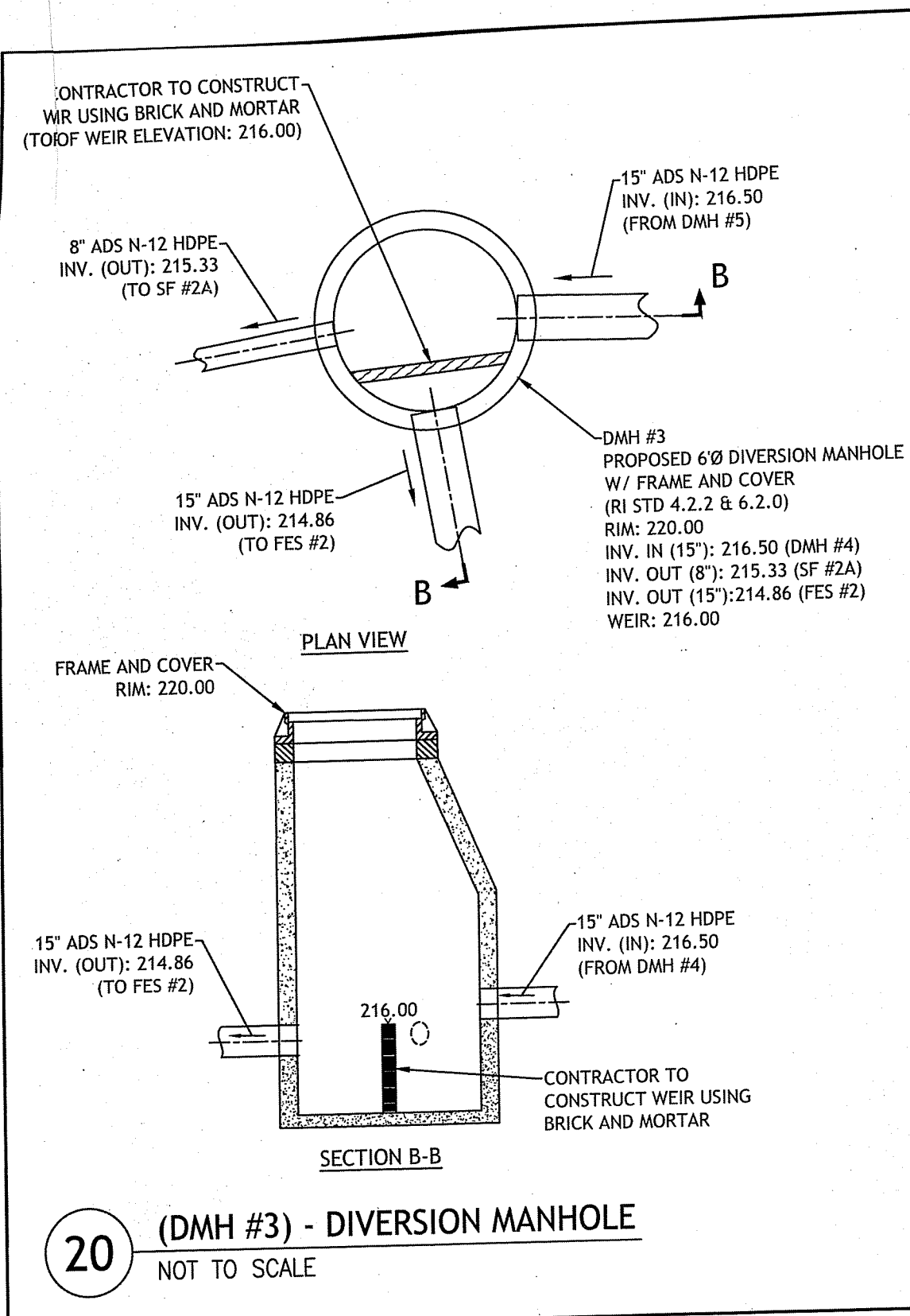
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2	10/1/19	RIDOT COMMENTS	
3	10/15/19	RIDOT COMMENTS	
4	3/18/20	TOWN-RIDEM REV.	

DESIGNED BY: WML/JSD  
DRAWN BY: SD/SEP  
CHECKED BY: JAC  
DATE: JUNE 2018  
PROJECT NO: 15-20a

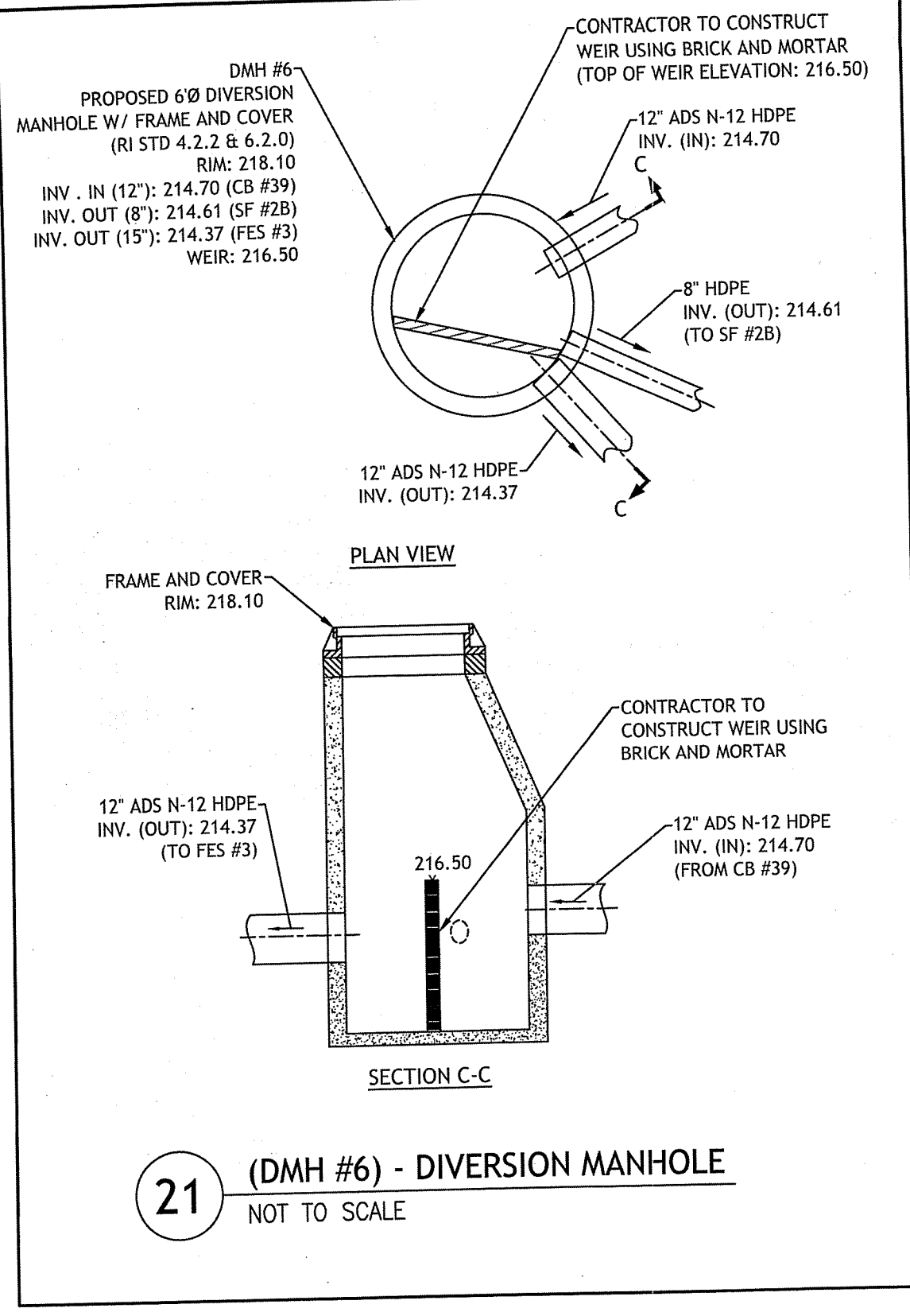
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DETAILS II

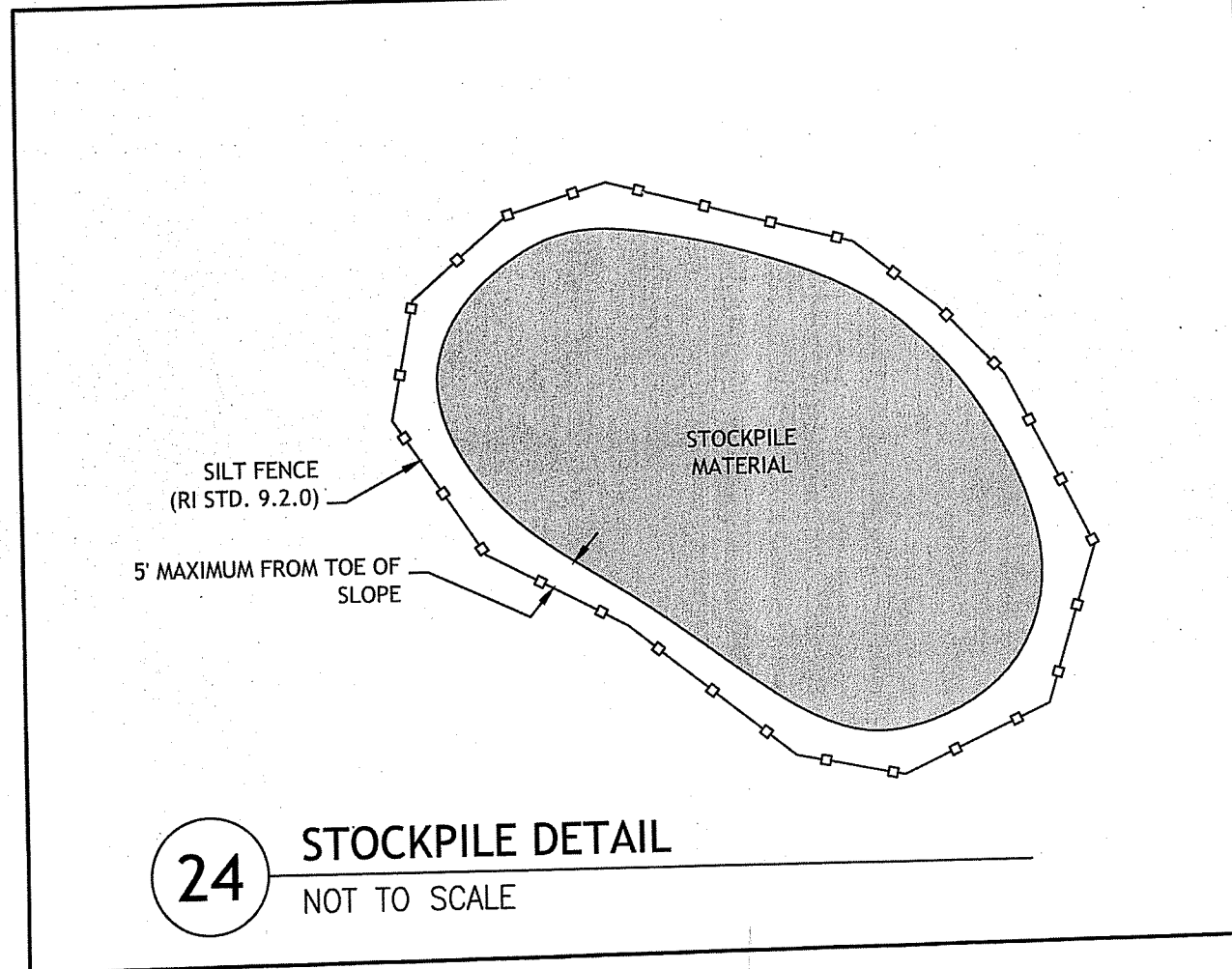
SHEET 17 OF 19



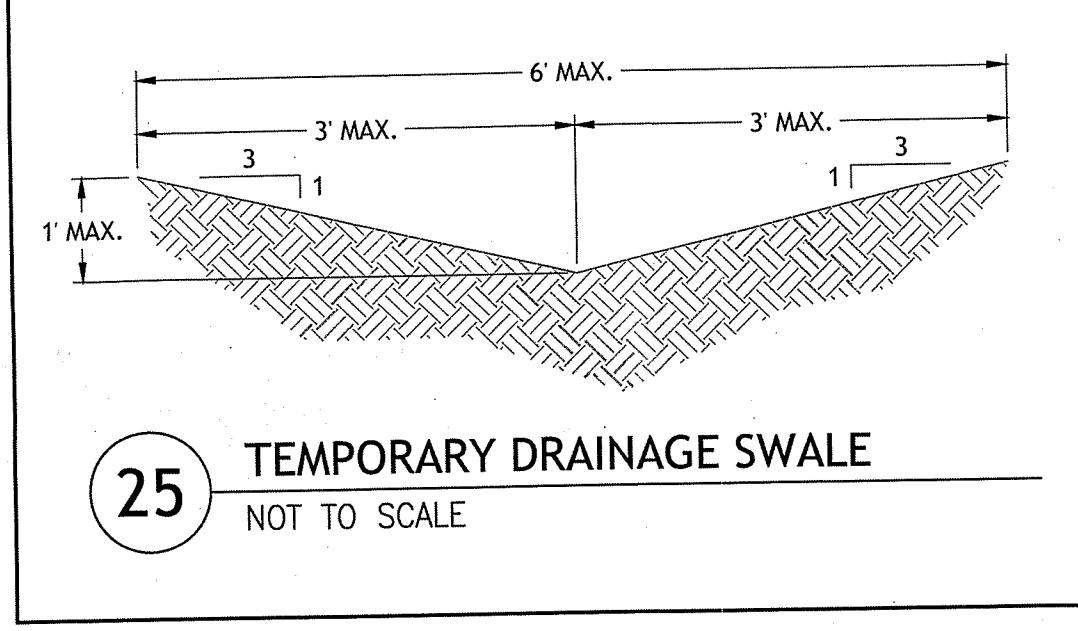
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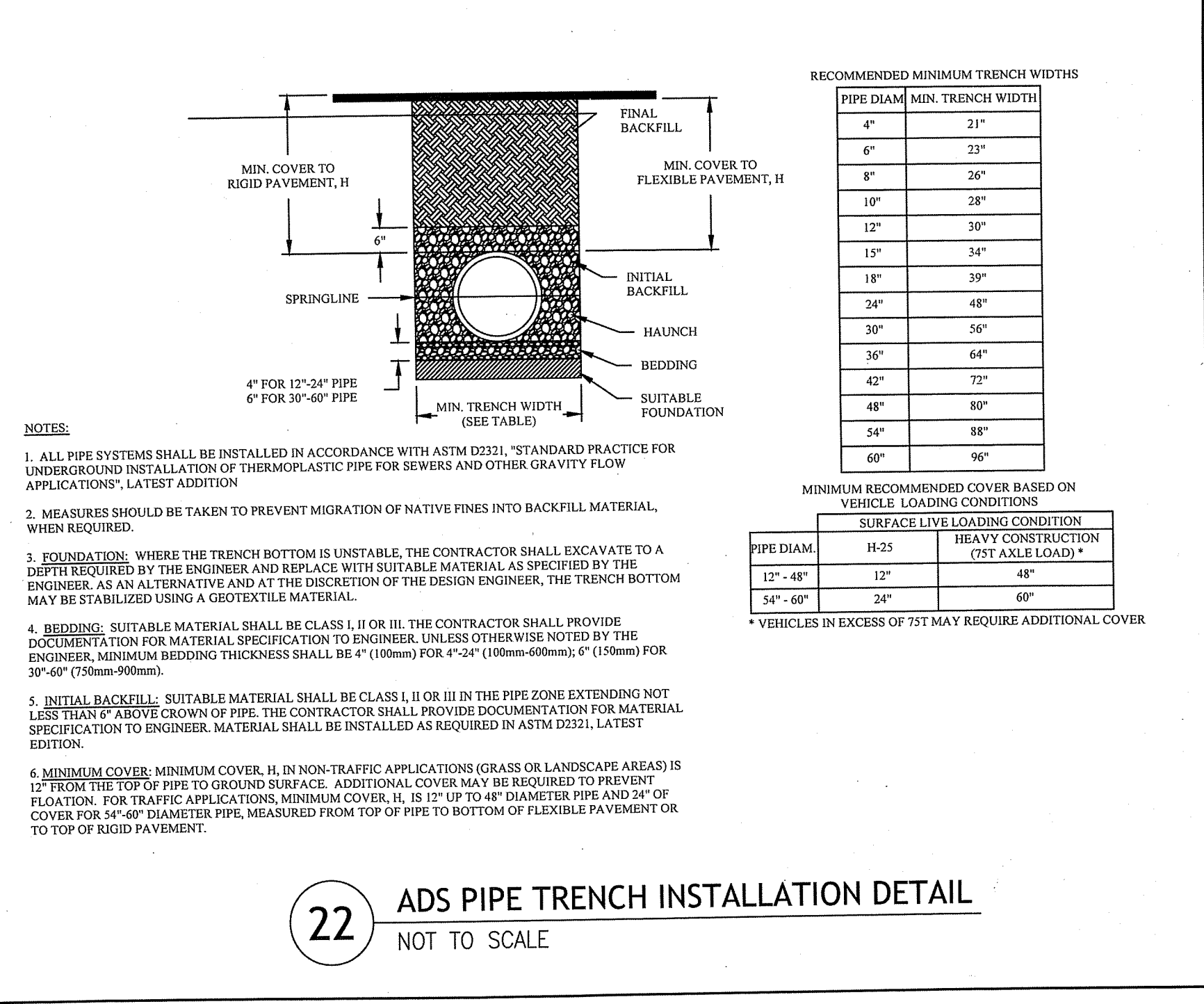
21 (DMH #6) - DIVERSION MANHOLE  
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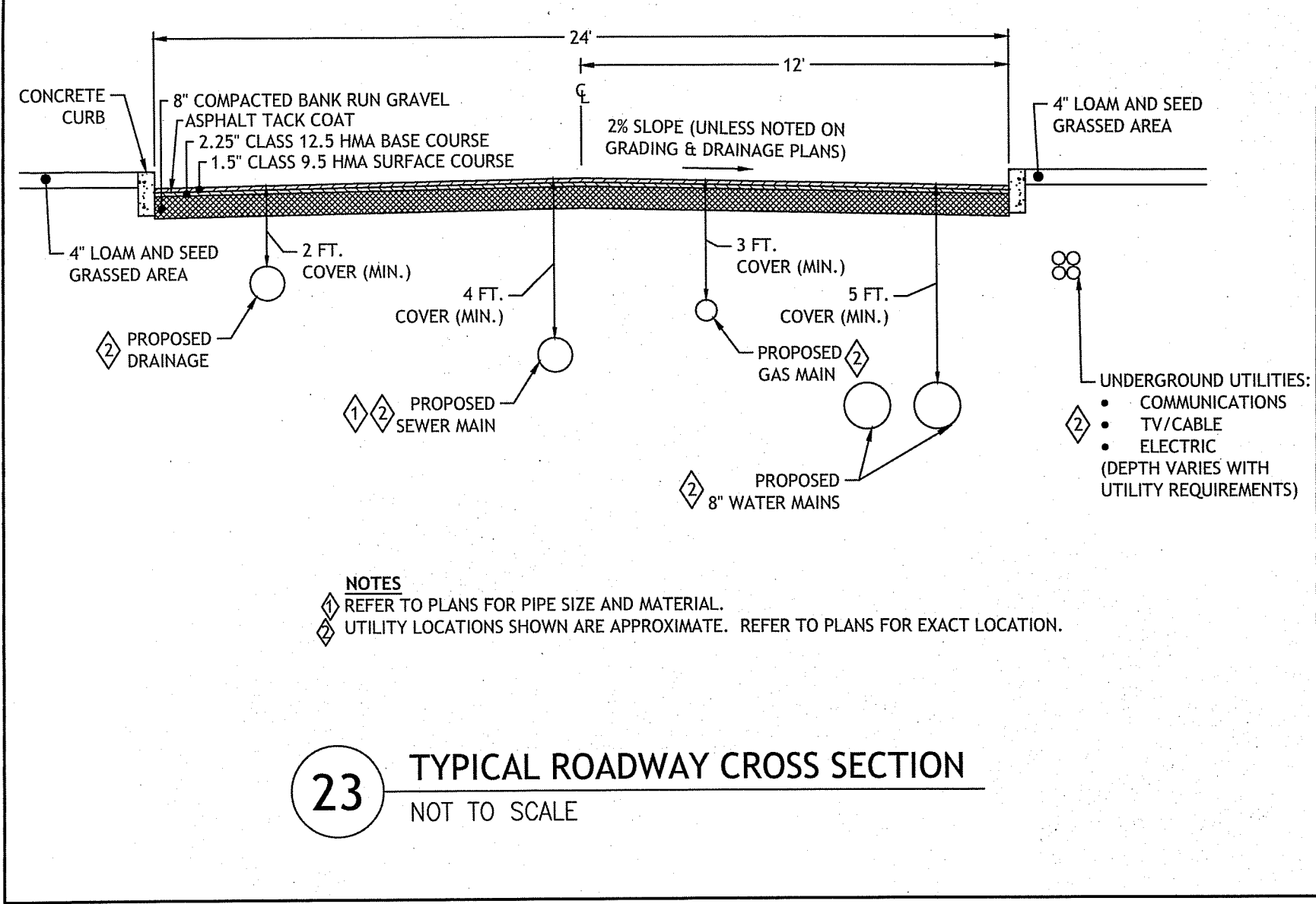
24 STOCKPILE DETAIL  
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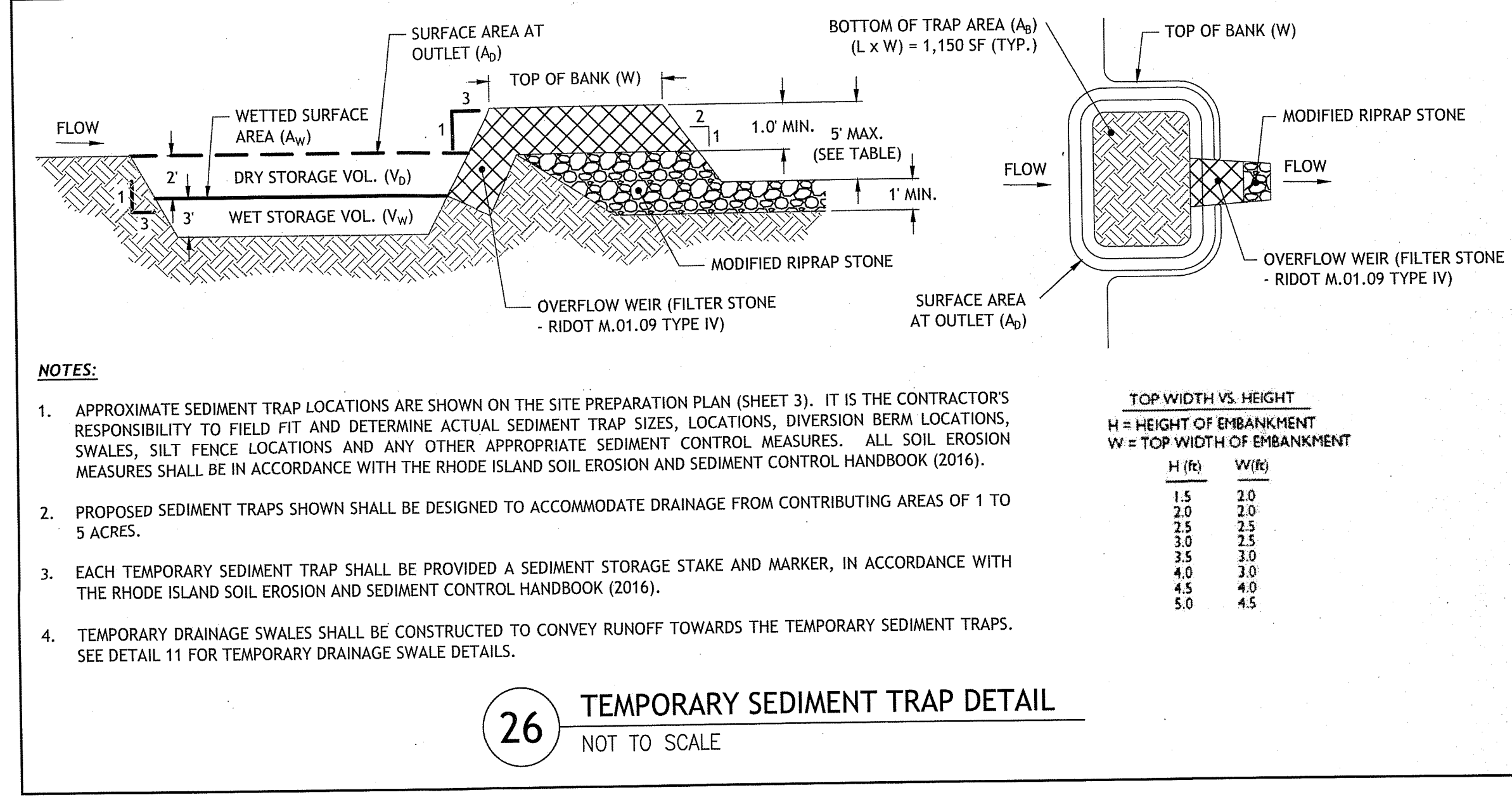
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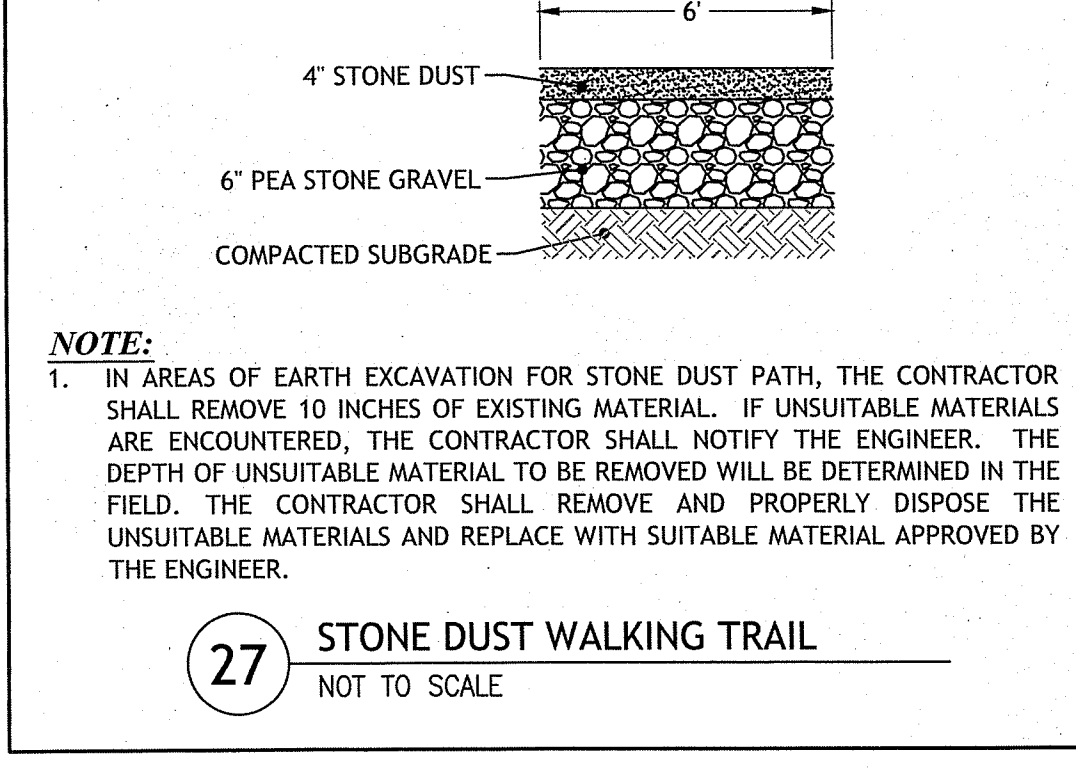
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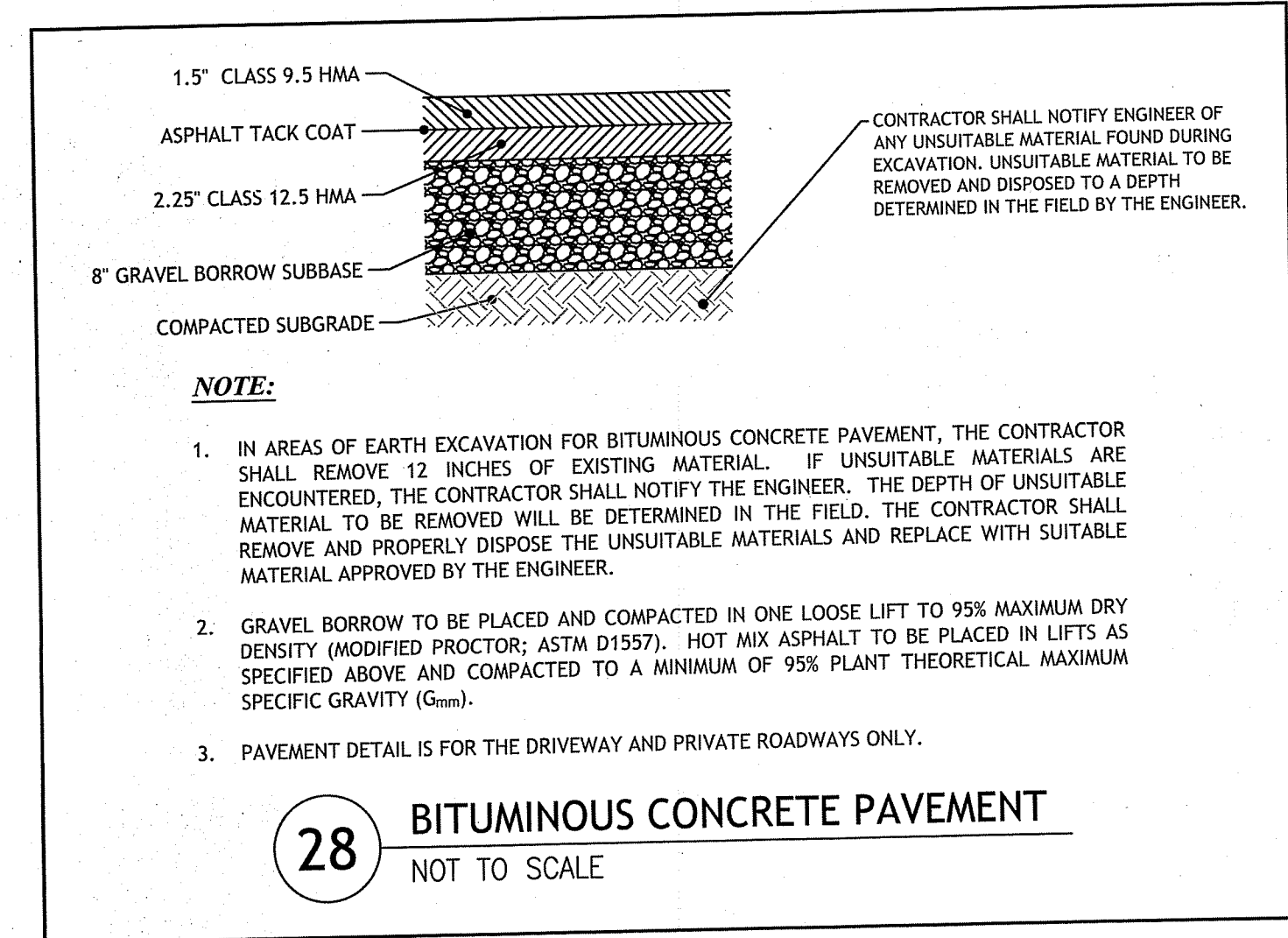
23 TYPICAL ROADWAY CROSS SECTION  
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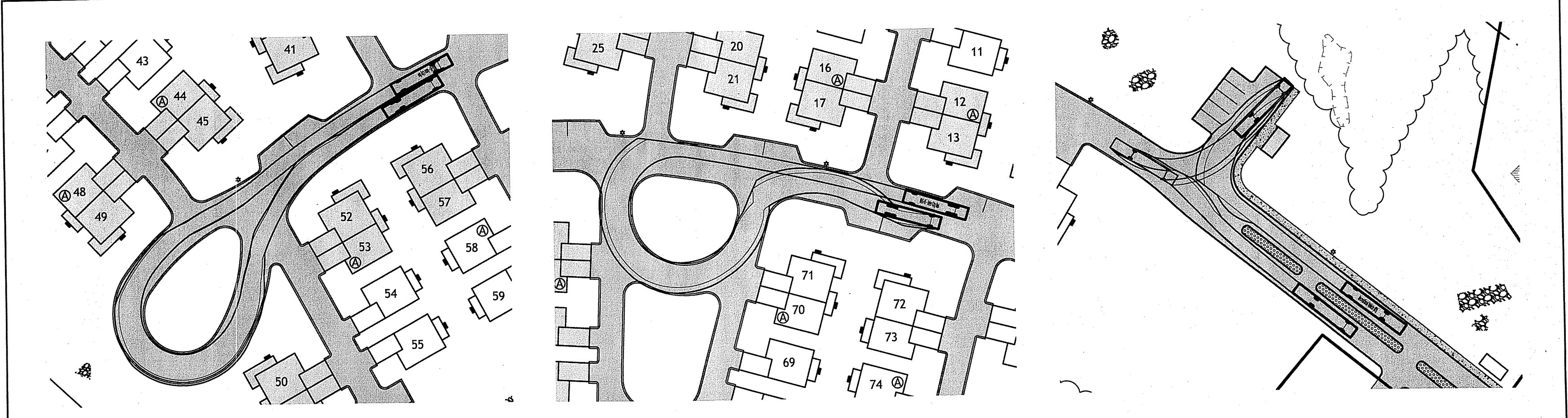
26 TEMPORARY SEDIMENT TRAP DETAIL  
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27 STONE DUST WALKING TRAIL  
NOT TO SCALE



28 BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE



29 FIRE TRUCK TURNING TEMPLATES  
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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**JCE**  
JOE CASALI ENGINEERING, INC.  
CIVIL - SITE DEVELOPMENT - TRANSPORTATION  
DRAINAGE - WETLANDS - TRAFFIC - FLOODING  
1001 9444-1300 001924-1319 FAX WWW.JCEONLINE.COM

JOSEPH A. CASALI  
No. 7250  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
3.13.2020

**PROPOSED 79-UNIT RESIDENTIAL COMMUNITY**  
OLD COUNTY ROAD  
SMITHFIELD, RHODE ISLAND  
AP 32, LOTS 8 & 30

Environmental Management  
MAR 19 2020  
Office of Water Resources

REVISIONS:

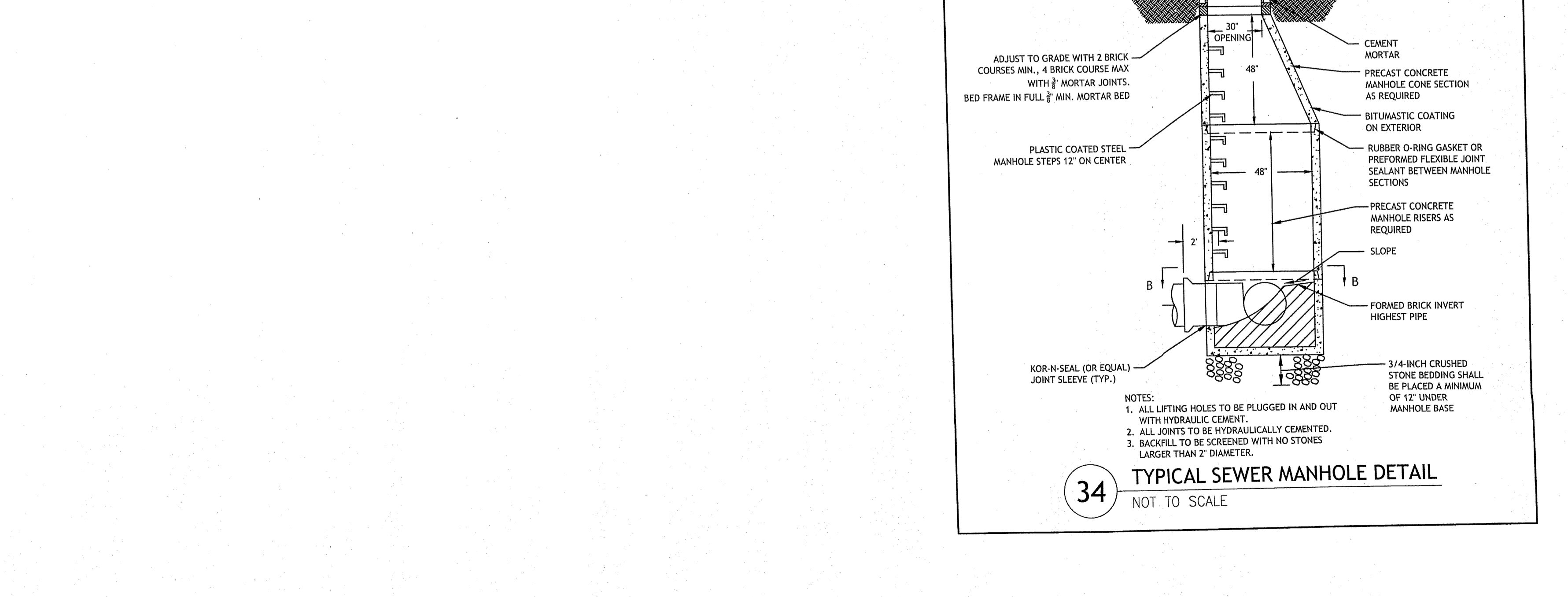
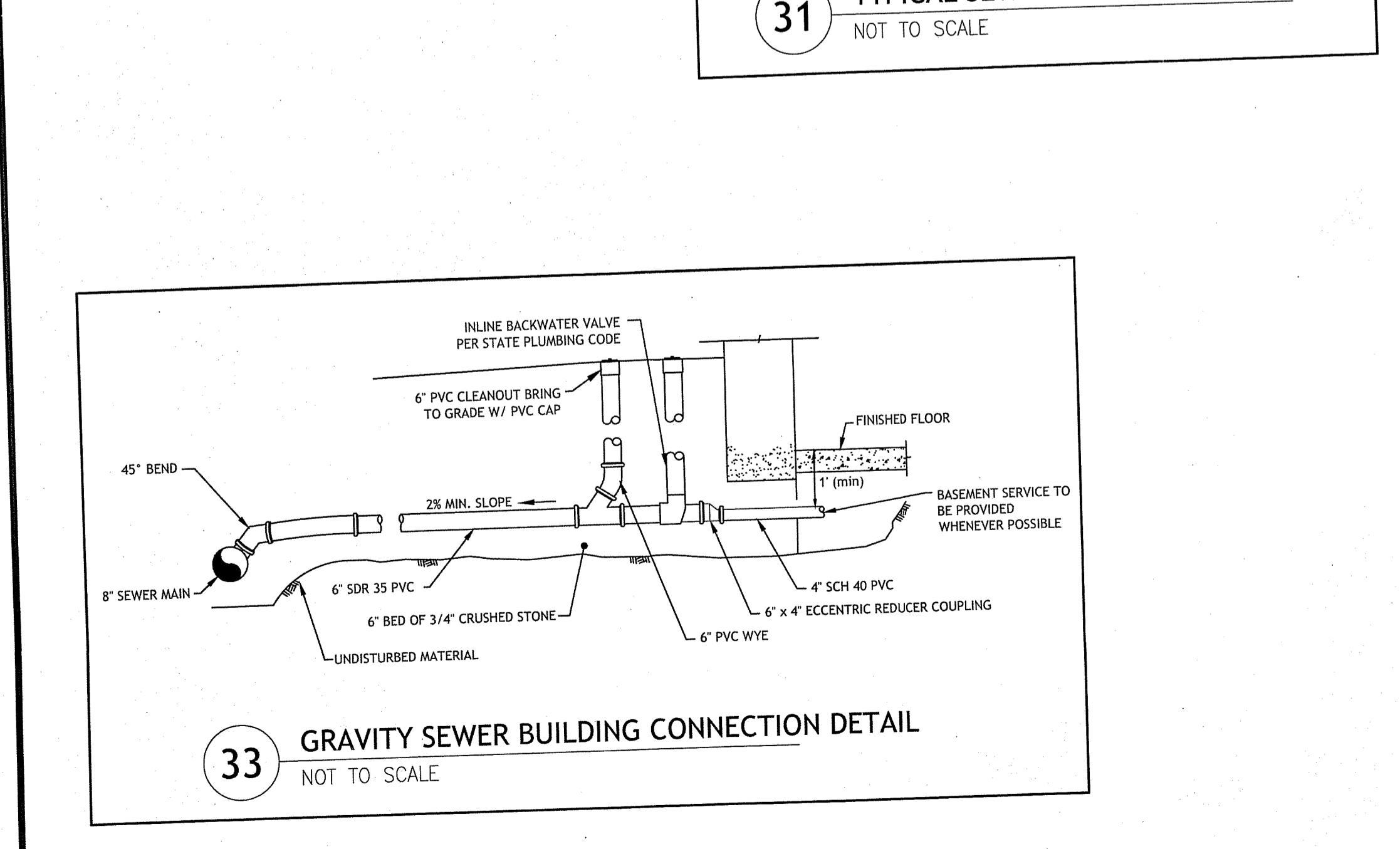
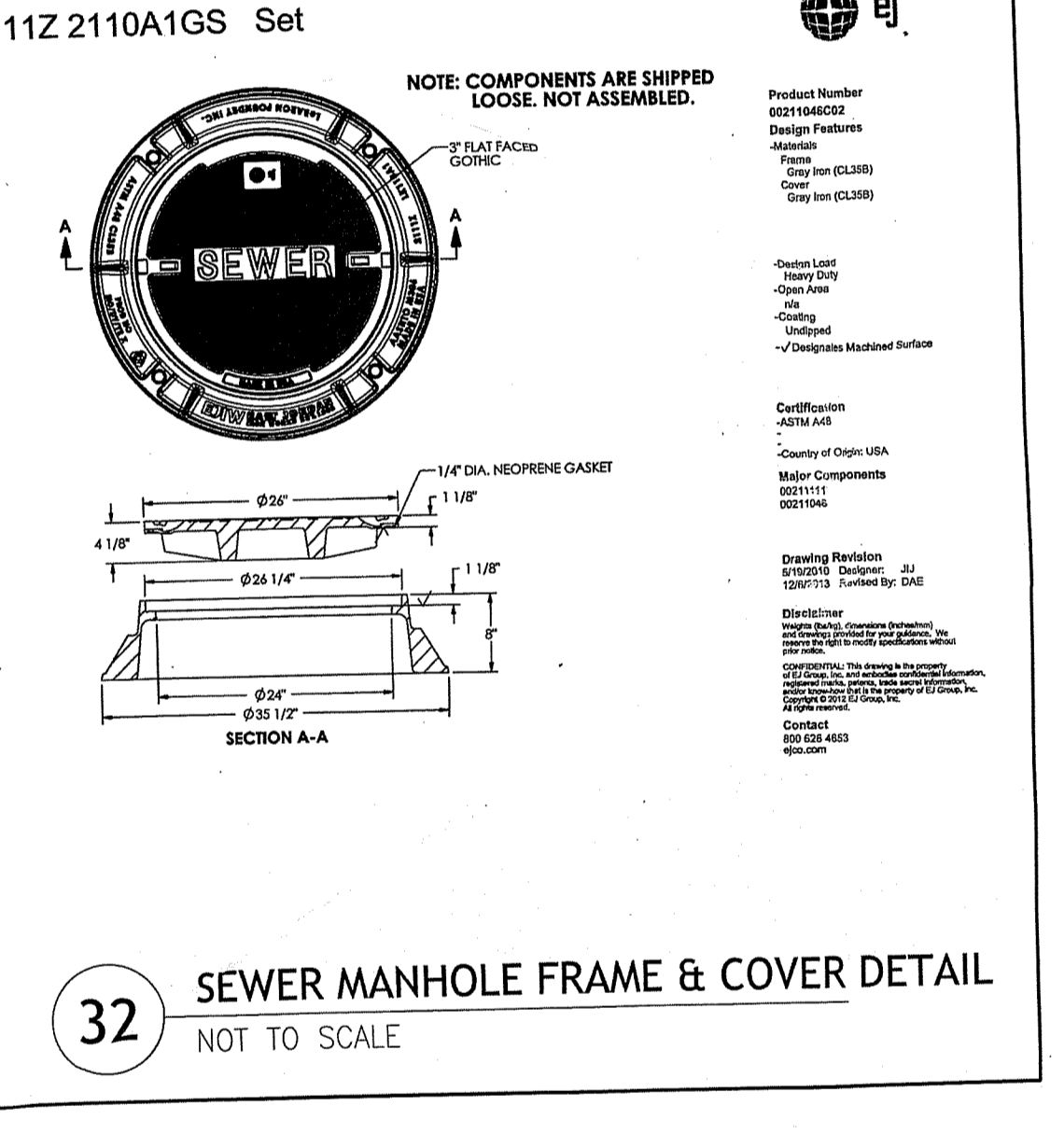
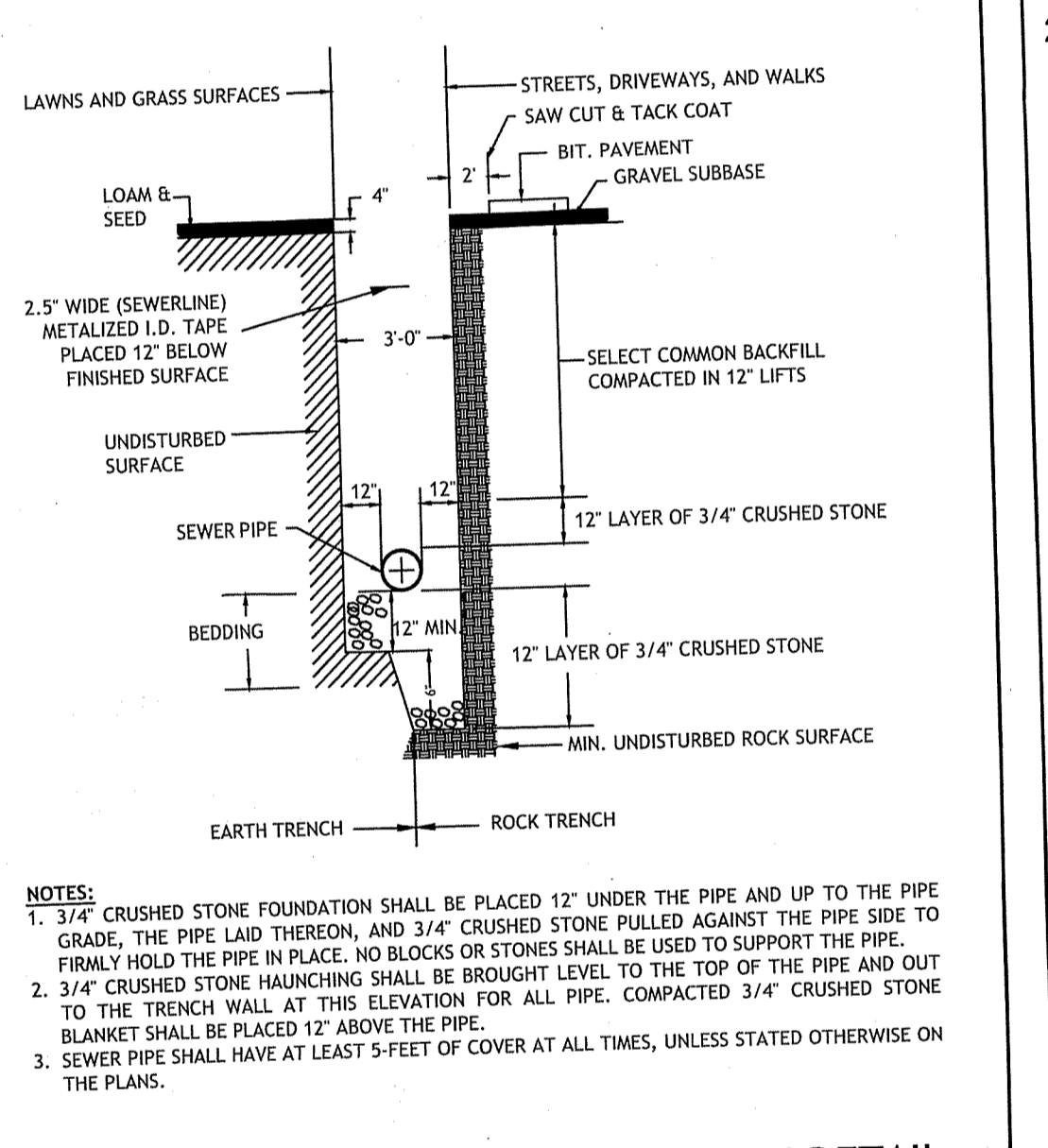
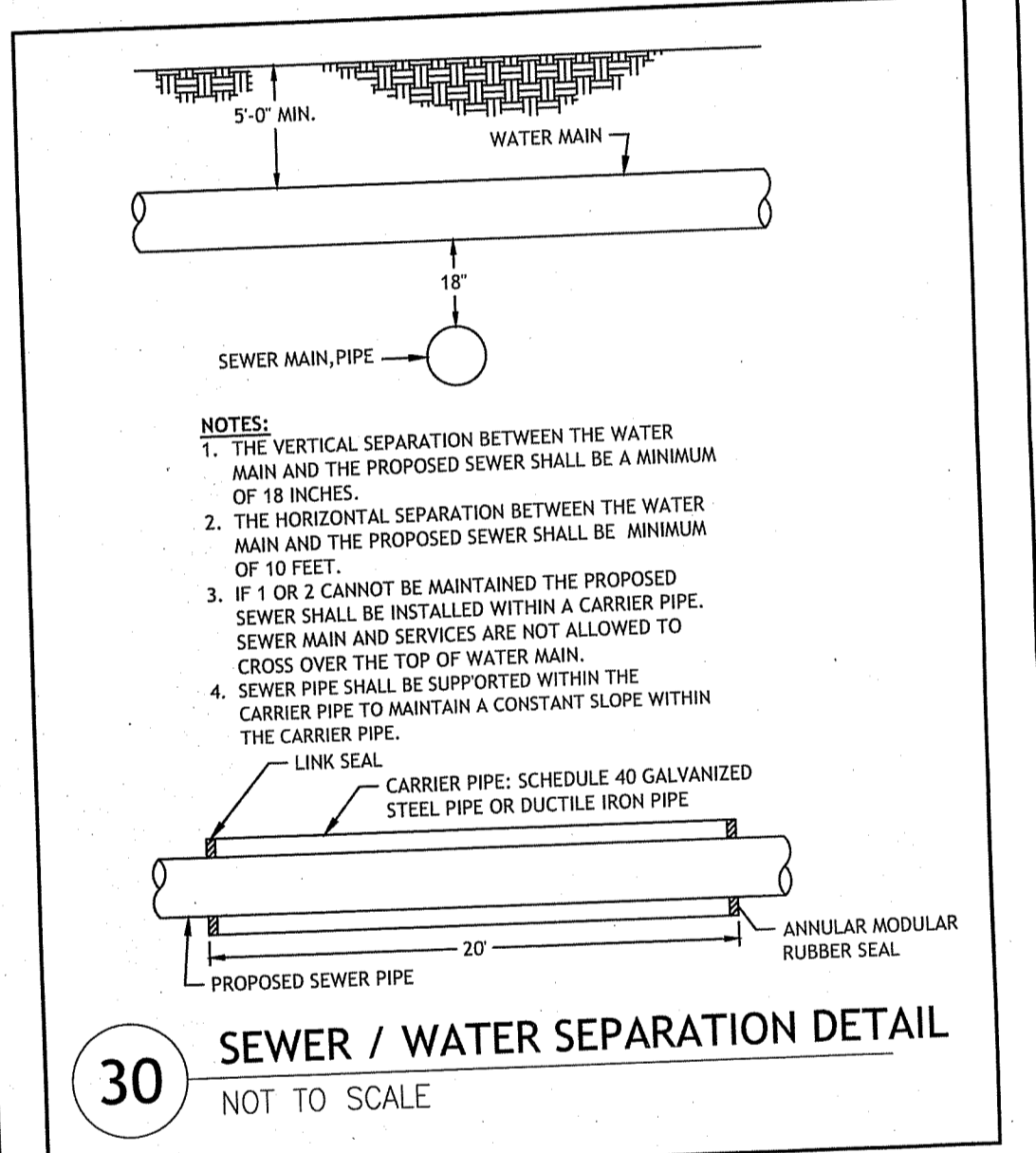
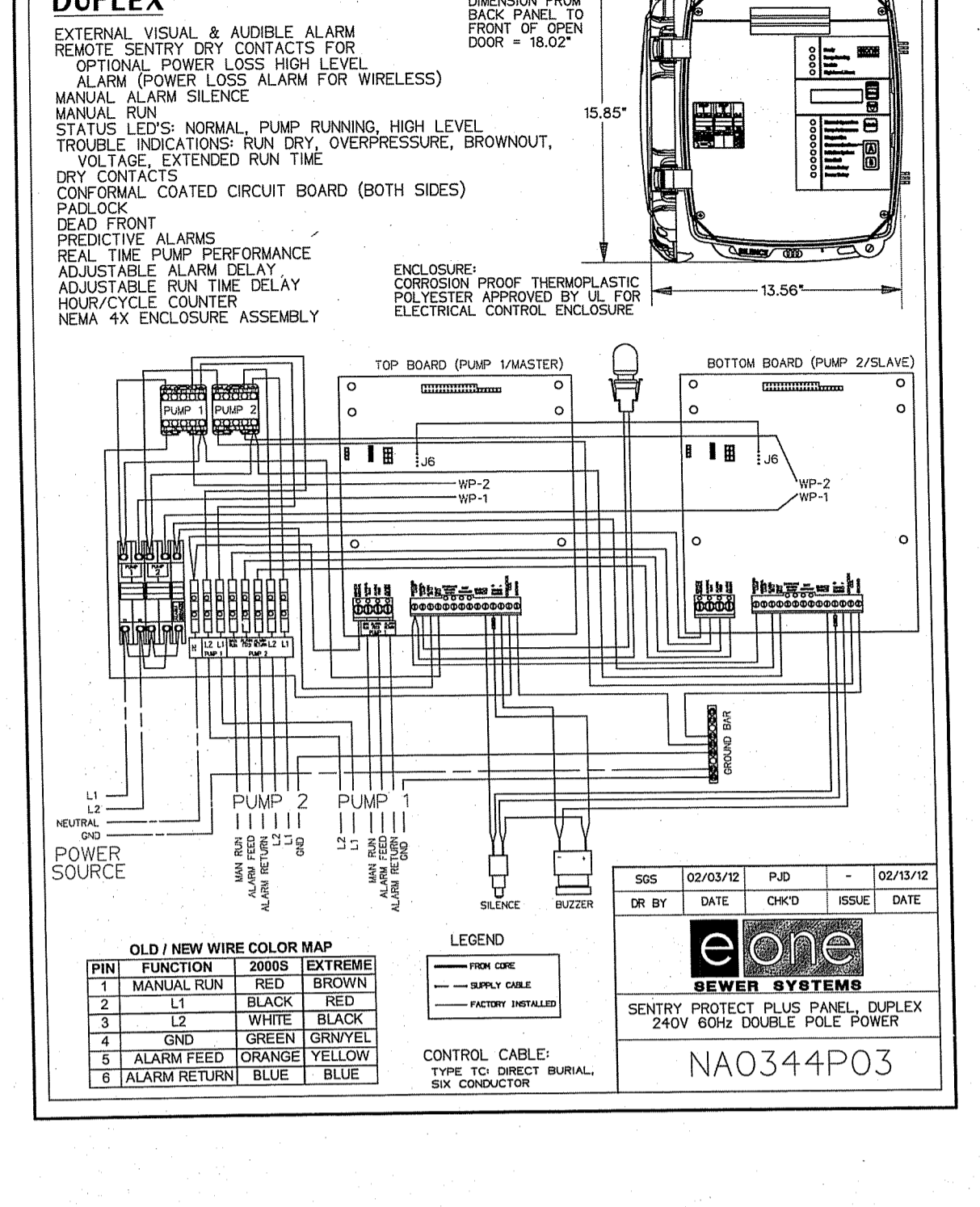
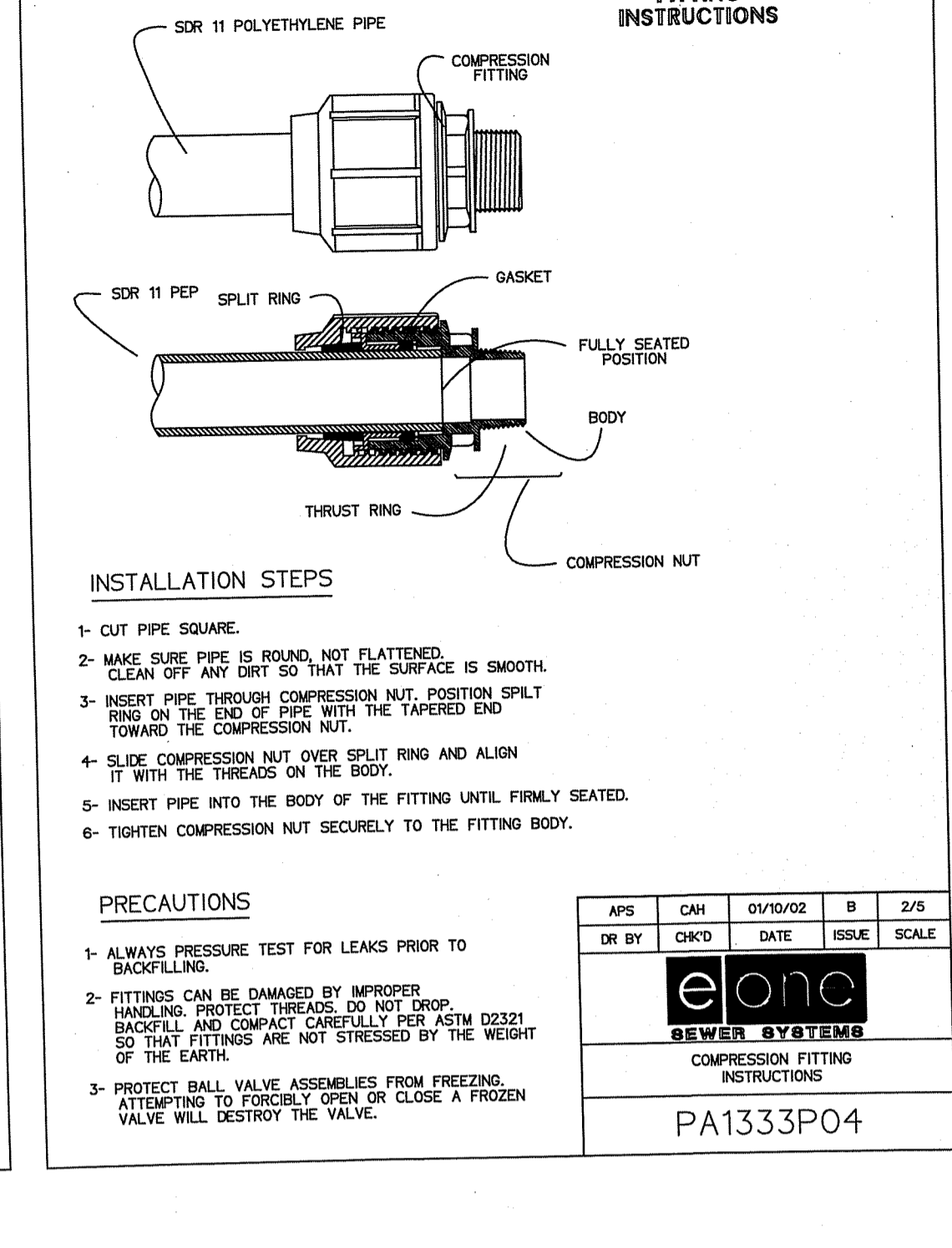
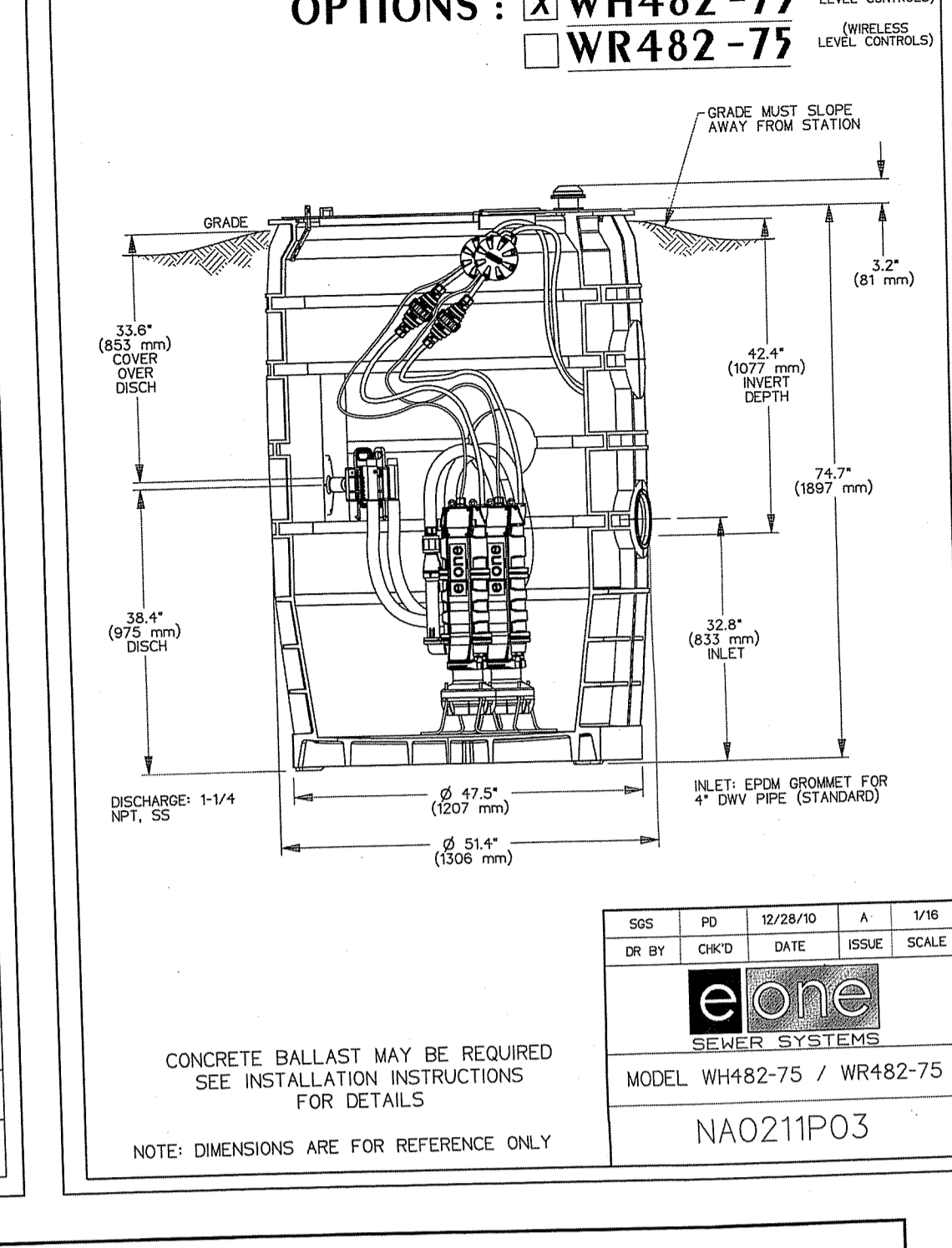
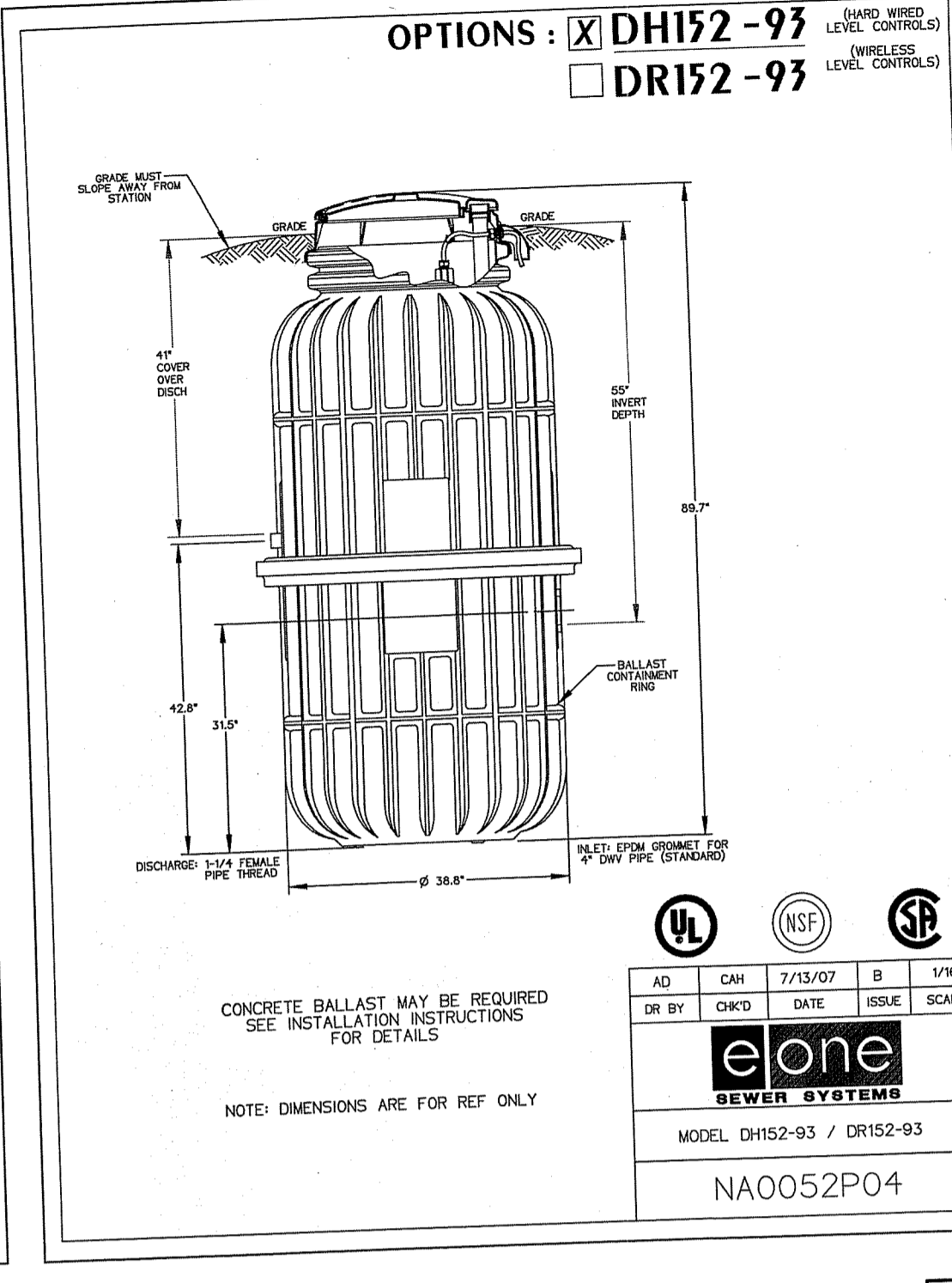
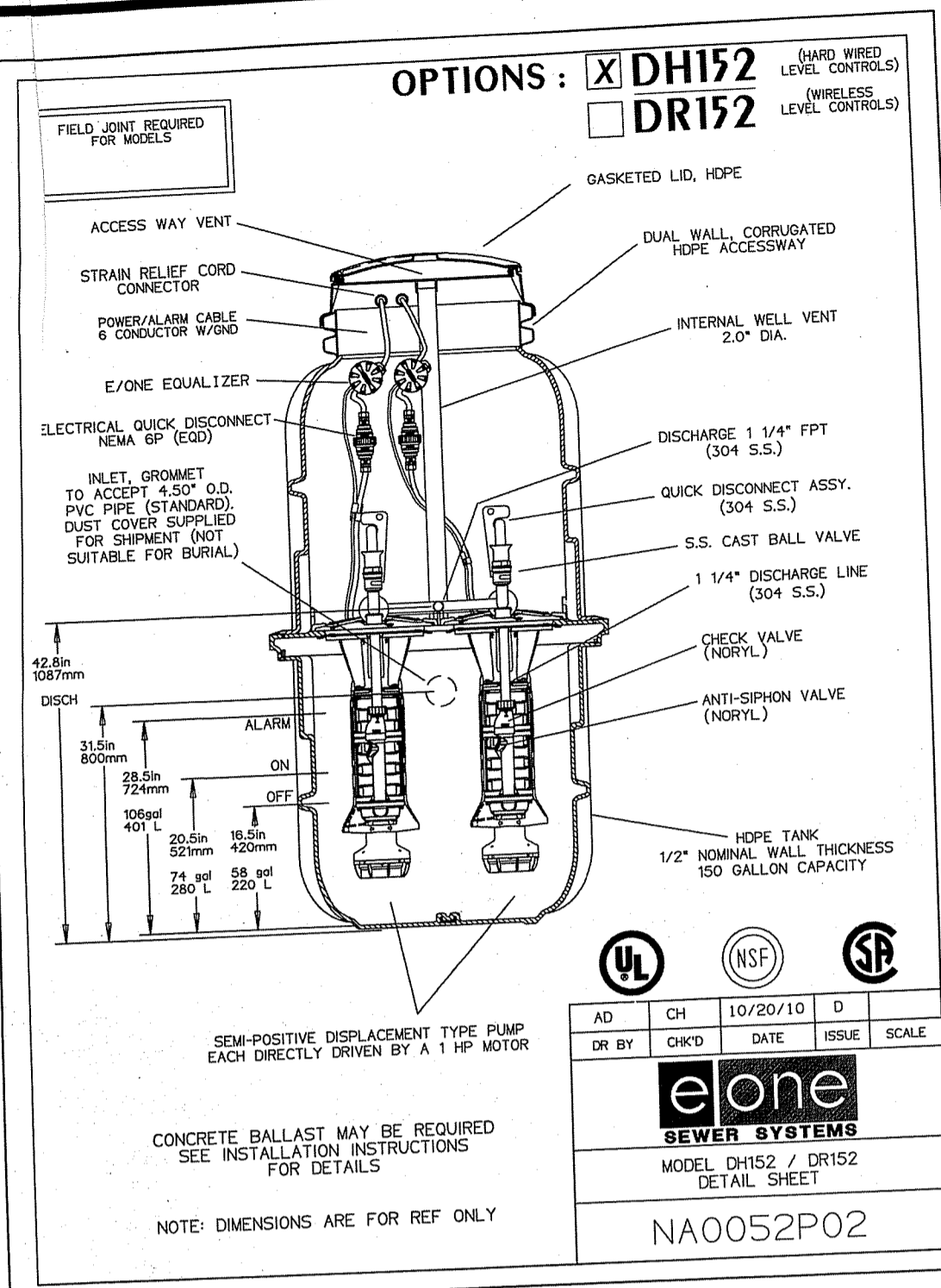
NO.	DATE	DESCRIPTION
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2	10/1/19	RIDOT COMMENTS
3	10/15/19	RIDOT COMMENTS
4	3/18/20	TOWN-RIDEM REV.

DESIGNED BY: WML/RSD  
DRAWN BY: SD/SEP  
CHECKED BY: JAC  
DATE: JUNE 2018  
PROJECT NO: 15-20a

ISSUED FOR PERMIT

**DETAILS III**

**SHEET 18 OF 19**



Q:\15-20 Celtic Funding\15-20a Old County Villages\Ac\AD\Old County Road Preliminary Plan R7.dwg Mar. 19, 2020 10:08am

**JCE**

JOSEPH A. CASALI

REGISTERED PROFESSIONAL ENGINEER CIVIL

3.18.2020

JOE CASALI ENGINEERING, INC.  
CIVIL - SITE DEVELOPMENT, TRANSPORTATION  
DRAINAGE - WETLANDS - IEDS - TRAFFIC - FLOODPLAIN  
300 POST ROAD, WARRINGTON, VA 22090  
(571) 944-1500

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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ISSUED FOR PERMIT

**DETAILS IV**

**SHEET 19 OF 19**