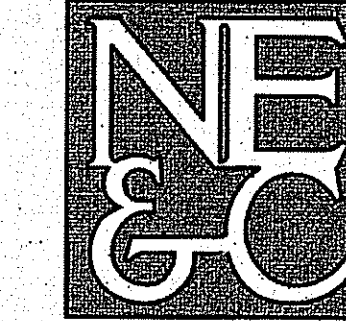


PROPOSED FACILITY

ASSESSOR'S PLAT 325 LOT 23
WARWICK INDUSTRIAL DRIVE
WARWICK, RHODE ISLAND

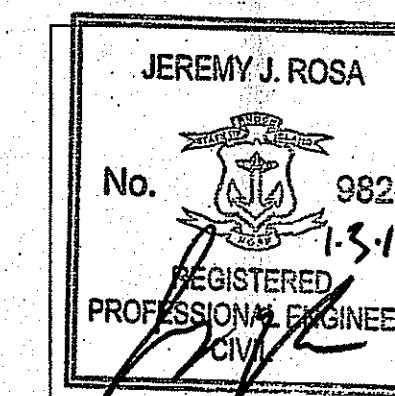
CIVIL ENGINEER:

NORTHEAST ENGINEERS
& CONSULTANTS, INC.



A KNOWLEDGE CORPORATION
55 JOHN CLARKE ROAD MIDDLETOWN RI 02842
PHONE (401) 846-0510 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM

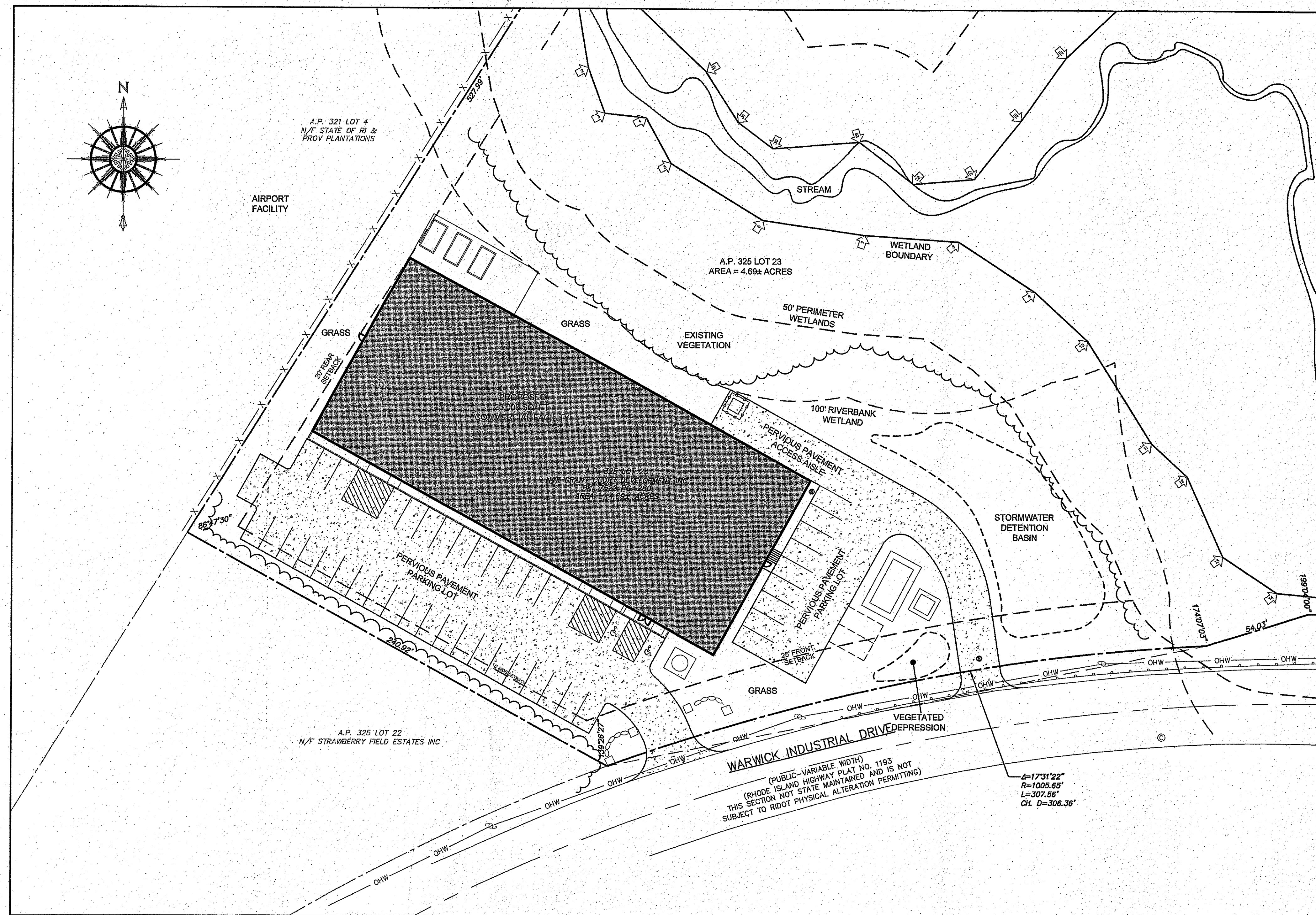
SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL
MATERIALS TESTING



ENGINEER CERTIFICATION

OWNER:

OCSB HOLDINGS, LLC
C/O SCALI & ASSOCIATES, P.C.
190 LIBERTY ROAD, UNIT 1
CRYSTAL LAKE, ILLINOIS 60014



SITE PLAN

SCALE = 1"=15'

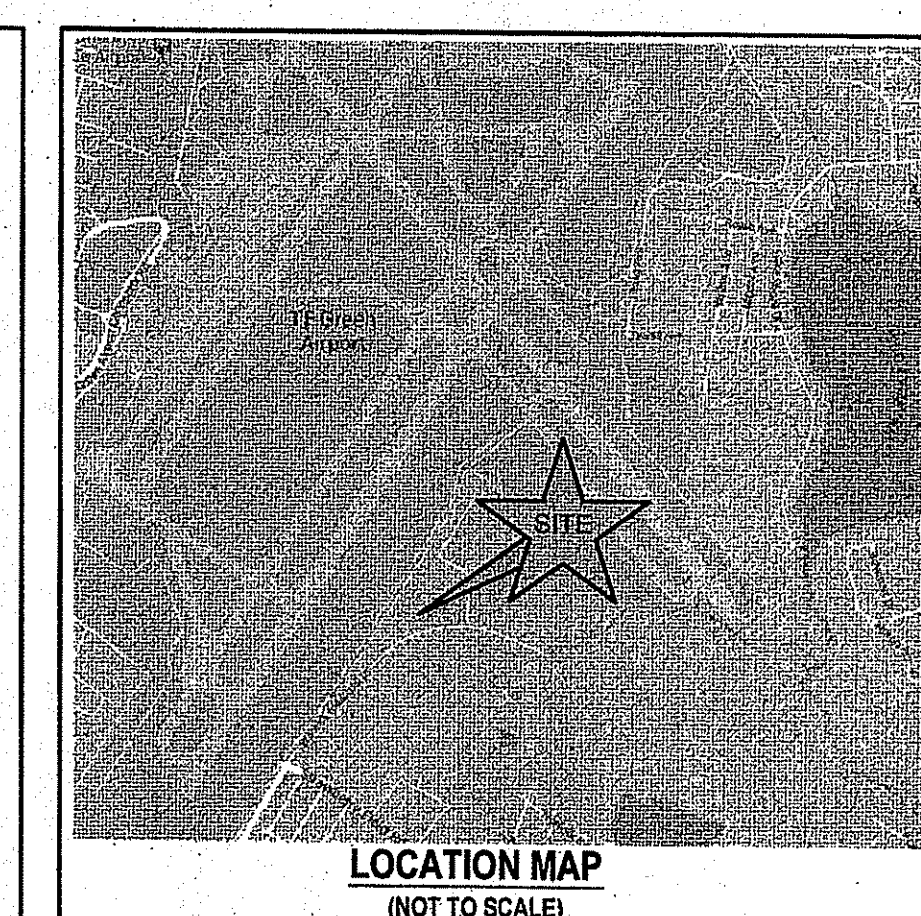
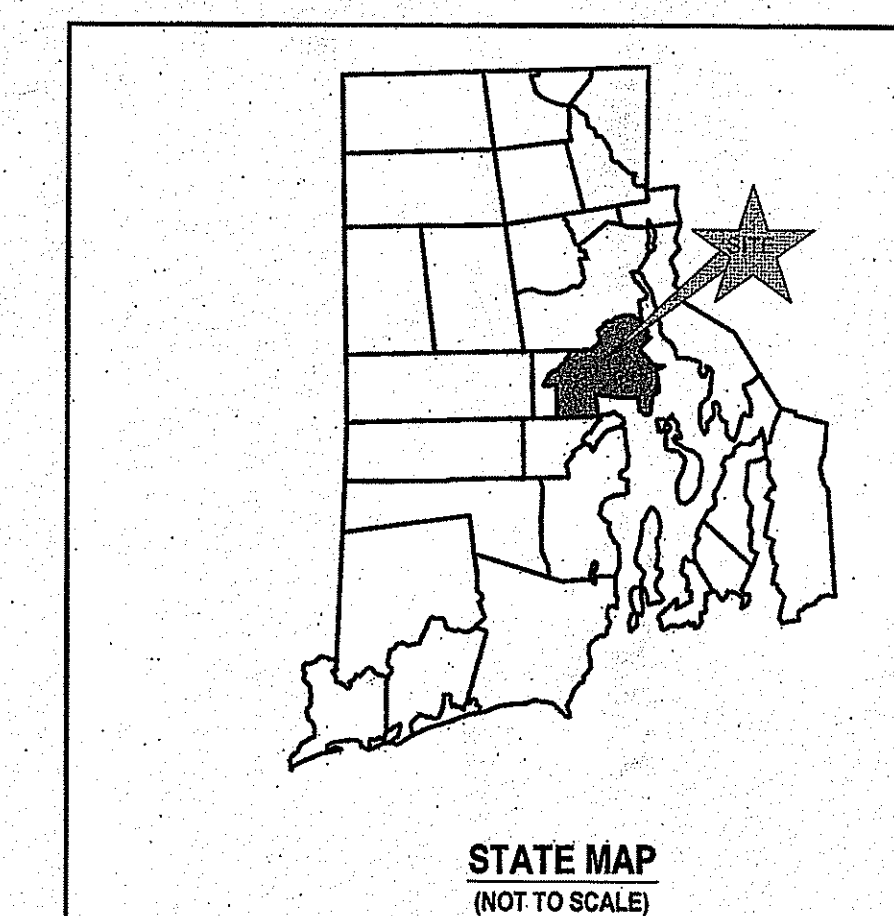
DECEMBER 26, 2018 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

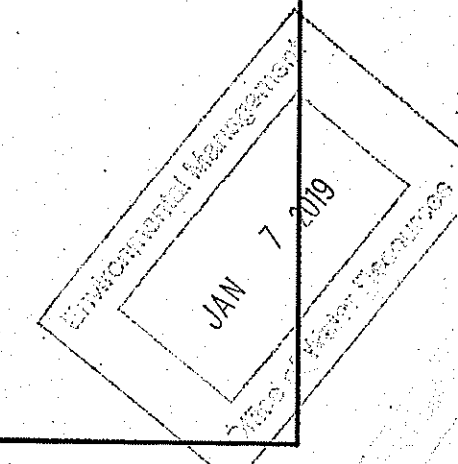
TITLE SHEET
NOTES
EXISTING CONDITIONS
PROPOSED LAYOUT PLAN AND UTILITY PLAN
PROPOSED GRADING, DRAINAGE AND SESC
PROPOSED DETAILS

SHEET 1
SHEET 2
SHEET 3
SHEET 4
SHEET 5
SHEETS 6-7



SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE	COMMENTS
CITY OF WARWICK	SEPT 2018	MASTER PLAN APPROVAL
RIDEM	OCT 2018	RIPDES AND WETLANDS
CITY OF WARWICK	NOV 2018	PRELIMINARY SUBMISSION
FAA	NOV 2018	NOTICE OF PROPOSED CONSTRUCTION
RIDEM	JAN 2019	RESPONSE TO COMMENTS
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED JAN 25 2019 FILE # 18-0291 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE		



Charles A. Harte

GENERAL NOTES

1. EXISTING CONDITIONS ALONG WARWICK INDUSTRIAL DRIVE ARE THE RESULTS OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN FEBRUARY 2018.
2. PROPERTY LINE BASED ON WETLAND & BUILDING ENVELOPE SURVEY OF LAND PREPARED FOR WARWICK INDUSTRIAL DRIVE, WARWICK, RI BY JOHN A. ANDREWS.
3. ELEVATION BASE NAVD 1988 OBTAINED FROM GPS OBSERVATION.
4. PROPERTY AND ABUTTING PROPERTIES ARE ZONED LI (LIGHT INDUSTRIAL).
- MINIMUM LOT AREA: 6,000 SF
MINIMUM FRONTAGE: 60 FT
MINIMUM LOT WIDTH: 25 FT
MINIMUM FRONT YARD: 25 FT
MINIMUM SIDE YARD: 15 FT
MINIMUM REAR YARD: 20 FT
MAXIMUM HEIGHT: 40 FT
5. NORTH ARROW REFERENCES GRID NORTH.
6. WETLAND EDGE DELINEATED BY GEORGE GIFFORD AND LOCATED BY N&C. EDGE VERIFICATION BY RIDEM FILE NO. 17-0213.
7. T.F. GREEN AIRPORT SIGHT LINE SCALED FROM PLAN TITLED, "ATCT LINE OF SIGHT OBSTRUCTION ANALYSIS" PREPARED BY STANTEC, DATED NOVEMBER 22, 2016.
8. SOIL EVALUATION PERFORMED BY NATURAL RESOURCE SERVICES, A LICENSED CLASS IV EVALUATOR, ON JANUARY 11, 2018. SOIL TYPE IN THE VICINITY OF DISTURBANCE IS "HKA" (HINCKLEY), THE USDA NATURAL RESOURCES CONSERVATION SERVICE SOIL SURVEY. THIS IS A HYDROLOGIC TYPE A SOIL (VERY WELL DRAINING).
9. PROPERTY IS LOCATED WITHIN A FEMA ZONE "X" PER FEMA FIRM 44003C0133H, MAP EFFECTIVE SEPTEMBER 18, 2013.
10. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
11. THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES).
12. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
13. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
14. CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
15. STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE TOWN OF MIDDLETOWN OR THE CITY OF NEWPORT AS APPROPRIATE.
16. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
17. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
18. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
19. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER.
20. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
21. THE PROPOSED DEVELOPMENT DOES NOT LIE IN ANY OF THE FOLLOWING AREAS:
- NATURAL HERITAGE AREAS (RIDEM)
 - SPECIAL AREA MANAGEMENT PLAN (CRMC)
 - GROUNDWATER AQUIFERS, STATE DESIGNATED "GROUNDWATER RESERVOIRS", RECHARGE AREAS, OR WELLHEAD PROTECTION AREAS
 - STATE, REGIONAL OR LOCAL GREENWAYS, OR GREENSPACE PRIORITIES

GRADING NOTES

1. ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
2. ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
3. THE CITY SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
4. NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITY, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH ALL COMMUNITY NOISE CONTROL STANDARDS.
5. THE LIMITS OF DISTURBANCE SHALL BE DELINEATED BEFORE THE COMMENCEMENT OF THE GRADING WORKS.
6. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITY.
7. WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
8. TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.
9. IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
10. NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

1. THE LOCATION OF PROPOSED ELECTRICAL CONNECTION TO THE EXISTING OVERHEAD SERVICE IN WARWICK INDUSTRIAL DRIVE IS PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICE IS SUBJECT TO DESIGN REVIEW AND APPROVAL OF NATIONAL GRID.
2. THE PROPOSED DOMESTIC WATER AND FIRE CONNECTIONS TO THE MAIN IN WARWICK INDUSTRIAL DRIVE ARE PRELIMINARY AND REQUIRE APPROVAL FROM WARWICK WATER DIVISION.
3. NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
4. THE PROPOSED SEWER CONNECTION SHALL BE 6 INCH DIAMETER. CONNECTION TO THE EXISTING SEWER MANHOLE IN THE RIGHT OF WAY SHALL BE PERFORMED IN CONFORMANCE WITH WARWICK DPW REQUIREMENTS.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
6. IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTASTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DRAINAGE NOTES

1. ALL DRAIN PIPES SHALL BE PVC UNLESS OTHERWISE NOTED ON THE DRAINAGE AND GRADING PLAN.
2. ALL STRUCTURE ROOF RUNOFF SHALL BE COLLECTED AND ROUTED TO THE COLLECTION DRAINS AS SHOWN ON THE SITE PLAN. ROOF DOWNSPOUT LOCATIONS SHALL BE COORDINATED WITH THE PROJECT ARCHITECT.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION SEQUENCE:
- A. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- B. ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA A STABILIZED GRAVEL ACCESS POINT.
- C. INSTALL SILT FENCES AND STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- D. REMOVE VEGETATION ONLY WHERE NECESSARY. ANY STUMPS TO BE GROUND OR DISPOSED OF OFF SITE.
- E. ROUGH GRADE SITE AND BUILDING AREA. EXCAVATE FOR PERVIOUS PAVEMENT SYSTEM. AS THERE ARE MINIMAL AREAS OF THE SITE AVAILABLE FOR SOIL STOCKPILING, ALL EXCAVATED MATERIAL MAY BE RELOCATED OFF-SITE.
- F. CONSTRUCT FACILITY FOUNDATION:
- G. EXCAVATE DETENTION BASIN AREA.
- H. BEGIN STRUCTURE CONSTRUCTION AND INSTALL UTILITY CONNECTIONS.
- I. EXCAVATE VEGETATED DEPRESSION.
- J. INSTALL ROOFTOP COLLECTION SYSTEM.
- K. INSTALL PERVIOUS PAVEMENT STONE LAYERS AND PLACE GRAVEL BASE FOR STANDARD PAVEMENT AREAS.
- L. PLACE LOAM AND PLANTING MATERIAL INTO VEGETATED DEPRESSION AND DETENTION BASIN. ESTABLISH A VEGETATIVE GROWTH.
- M. INSTALL PERVIOUS PAVEMENT LAYERS AND CURBING.
- N. ENSURE THAT ROOFTOP DRAINAGE SYSTEMS FUNCTION AS NOTED ON DRAINAGE PLAN.
- O. INSTALL PLANTINGS. PLANT GRASSES IN ALL UNPAVED AREAS.
- P. MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

2. NOTES:

- A. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- B. NO PERVIOUS PAVEMENT OR INFILTRATION AREAS ARE TO BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
- C. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
- D. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
- E. ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
- F. FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
- G. ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
- H. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- I. FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
- J. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
- K. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
- L. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
- M. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.

3. VEGETATIVE PRACTICE:

PERMANENT MEASURES:

- A. SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
- B. LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
- C. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS):

- D. LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10): 600 LBS/ACRE
- E. SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LBS/ACRE
- F. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

4. MAINTENANCE

- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
- A. AT A MINIMUM THE SILT FENCING, STRAW BALES OR FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
- B. EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
- C. IF INSTALLED, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
- F. SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE CITY ENGINEER.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

1. CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
2. THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
3. NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
4. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

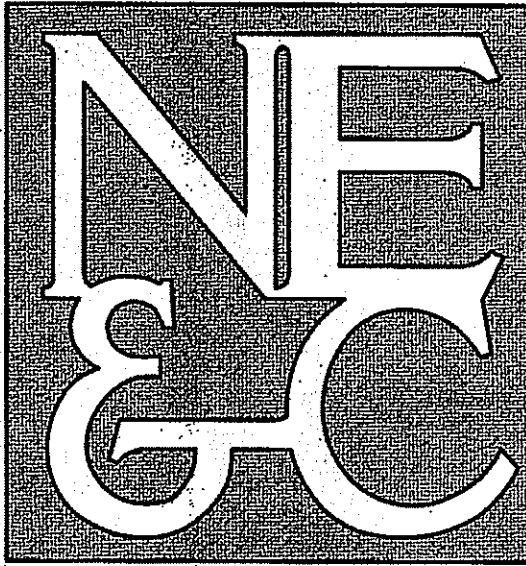
STORMWATER MAINTENANCE NOTES

1. PERVIOUS PAVEMENT MAINTENANCE:
- a. VACUUM POROUS PAVEMENT A MINIMUM OF 2-4 TIMES PER YEAR, ESPECIALLY AFTER WINTER AND FALL SEASONS WHEN DEBRIS ACCUMULATION AND DEPOSITION IS GREATEST. IF PONDING WATER IS OBSERVED DURING PRECIPITATION, CLEANING IS RECOMMENDED.
- b. POROUS PAVEMENT SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. SHOULD PAVEMENT SURFACE FAIL TO DRAIN, THE OWNER SHOULD CONSULT A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE CAUSE OF THE FAILURE AND THE BEST COURSE OF ACTION TO CORRECT THE ISSUE.
- c. SAND APPLICATION SHOULD BE LIMITED SINCE ITS USE WILL INCREASE THE NEED FOR VACUUMING.
- d. APPLY DE-ICING TREATMENTS DURING AND AFTER STORMS AS NECESSARY TO CONTROL COMPACT SNOW AND ICE. PLOWING IS NOT RECOMMENDED. AS THE EXPOSED PAVEMENT SURFACE IS LIMITED, HAND SHOVELING IS PREFERRED. THIS WILL EXTEND THE SERVICE LIFE OF THE PAVEMENT SURFACE.
- e. APPLY ANTI-ICING TREATMENTS PRIOR TO STORMS.
- f. WHERE POSSIBLE, AREAS OF PERVIOUS PAVEMENT SHALL NOT BE SHADED BY LANDSCAPING.
2. DETENTION BASIN MAINTENANCE:
- a. GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE DETENTION BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
- b. THE DETENTION BASIN SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE BASIN SHOULD BE INSPECTED AT LEAST ANNUALLY AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES).
- c. THE FOLLOWING SHALL BE COMPLETED ON AN ANNUAL BASIS:
- i. THE SLOPES OF THE BASIN SHOULD BE INSPECTED FOR EROSION AND GULLYING.
- ii. REINFORCE ANY EXISTING RIPRAP IF IT IS FOUND TO BE DEFICIENT, EROSION IS PRESENT AT THE INLET PIPES, OR ANY EXISTING RIPRAP HAS BEEN COMPROMISED.
- iii. ANY AREAS WITHIN THE EXTENTS OF THE BASIN THAT ARE SUBJECT TO EROSION OR GULLYING SHALL BE REPLENISHED WITH THE ORIGINAL DESIGN MATERIAL AND RE-VEGETATED ACCORDING TO DESIGN DRAWINGS. SLOPE PROTECTION MATERIAL SHALL BE PLACED IN AREAS PRONE TO EROSION. EMBANKMENT STABILITY SHOULD BE INSPECTED FOR SEEPAGE AND BURROWING ANIMALS.
- iv. MOW THE GRASS AROUND THE PERIMETER OF THE BASIN. SEED BARE AREAS, AND REMOVE LITTER AND DEBRIS AT LEAST THREE TIMES PER GROWING SEASON. REMOVE ANY INVASIVE VEGETATION WITHIN THE EXTENTS OF THE BASIN. ANY INVASIVE VEGETATION ENCRORACHING UPON THE PERIMETER OF THE BASIN SHOULD BE PRUNED OR REMOVED IF IT IS PROHIBITING ACCESS TO THE BASIN, COMPROMISING SIGHT VISIBILITY, AND/OR COMPROMISING THE ORIGINAL DESIGN INTENT.
- v. SILT/SEDIMENT SHOULD BE REMOVED FROM THE DETENTION BASIN ANNUALLY, WHEN ACCUMULATION EXCEEDS 1 INCH, OR WHEN INFILTRATION CAPACITY DIMINISHES SUBSTANTIALLY.
- d. THE FOLLOWING SHALL ALSO BE COMPLETED AS NECESSARY:
- i. IF THE SURFACE OF THE DETENTION BASIN BECOMES CLOGGED TO THE POINT THAT THE STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE SURFACE SHALL BE ROTO-TILLED OR CULTIVATED TO BREAK UP ANY HARD-PACKED SEDIMENT AND THEN REVEGETATED.
3. CONVEYANCE STRUCTURE MAINTENANCE:
- a. ALL INLET / OUTFLOW PIPES ARE TO BE INSPECTED AT LEAST THREE TIMES IN THE FIRST SIX MONTHS OF OPERATION. EVIDENCE OF CLOGGING SHALL BE REPORTED TO THE PROJECT ENGINEER AND REMEDIATED IMMEDIATELY.
- b. CONVEYANCE PIPES SHOULD BE INSPECTED BIANNUALLY. ANY STRUCTURAL FAULTS SHOULD BE REPAIRED AS NECESSARY FOR PROPER FUNCTION OF THE STRUCTURE.
- c. ROOF RUNOFF STRUCTURES SUCH AS GUTTERS AND DOWNSPOUTS SHOULD BE CLEAN AND FREE OF OBSTRUCTIONS THAT REDUCE FLOW. A REGISTERED PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF NECESSARY TO DETERMINE WHETHER A STRUCTURE HAS BEEN COMPROMISED.
4. MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNER.

ABBREVIATIONS

AC	ASPHALT PAVEMENT
ADJ	ADJACENT
AP	ASSESSOR'S PLAT
ACCESS	ACCESSIBLE
ARCH	ARCHITECT
BC	BOTTOM OF CURB
BH	BORING HOLE
BIT	BITUMINOUS
CLR	CLEARANCE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECT
COTG	CLEAN OUT TO GRADE
CF	CUBIC FOOT
DEMO	DEMOLISH
DI	DRAIN INLET
DIA	DIAMETER
DMH	DRAIN MANHOLE
dp	DROP PIPE
DS	DRAIN SPOUT
DWG	DRAWING
E	ELECTRIC
ELEV/EL	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FFE	FINISH FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FT	FEET
GAL	GAS
GV	GALLON
INV	GATE VALVE
JT	JOINT
L	LENGTH
LAND	LANDSCAPE
NTS	NOT TO SCALE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
PAVT	PAVEMENT
PVC	POLYVINYLCHLORIDE
R	RADIUS
RC	REINFORCED CONCRETE
RECONN	RECONNECT
RHIB	RHODE ISLAND HIGHWAY BOUND
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROW	RIGHT OF WAY
S	SLOPE, SEWER
SF	SQUARE FEET
SHT	SHEET
SMH	SEWER MANHOLE
STA	STATION
STRUCT	STRUCTURAL
TO	TOP OF CURB
TOP	TOP OF SURFACE
UGT	UNDERGROUND TELEPHONE
TYP	TYPICAL
W	WATER
W/	WITH
WWM	WELDED WIRE MESH

NORTHEAST ENGINEERS & CONSULTANTS, INC.



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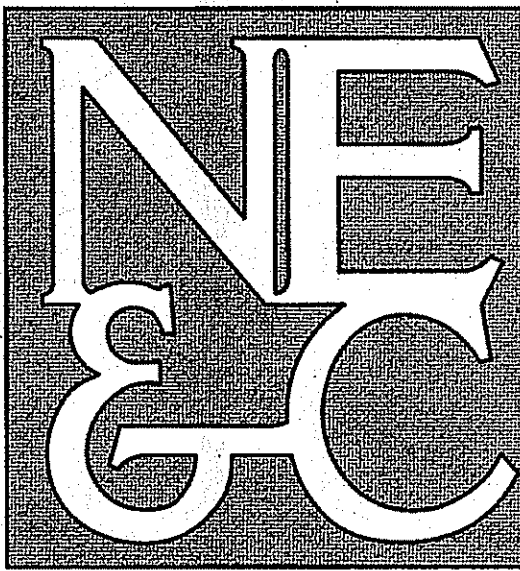
55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL
MATERIALS TESTING

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESH WATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 25 2019 FILE # 18-0291
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James A. Harbert

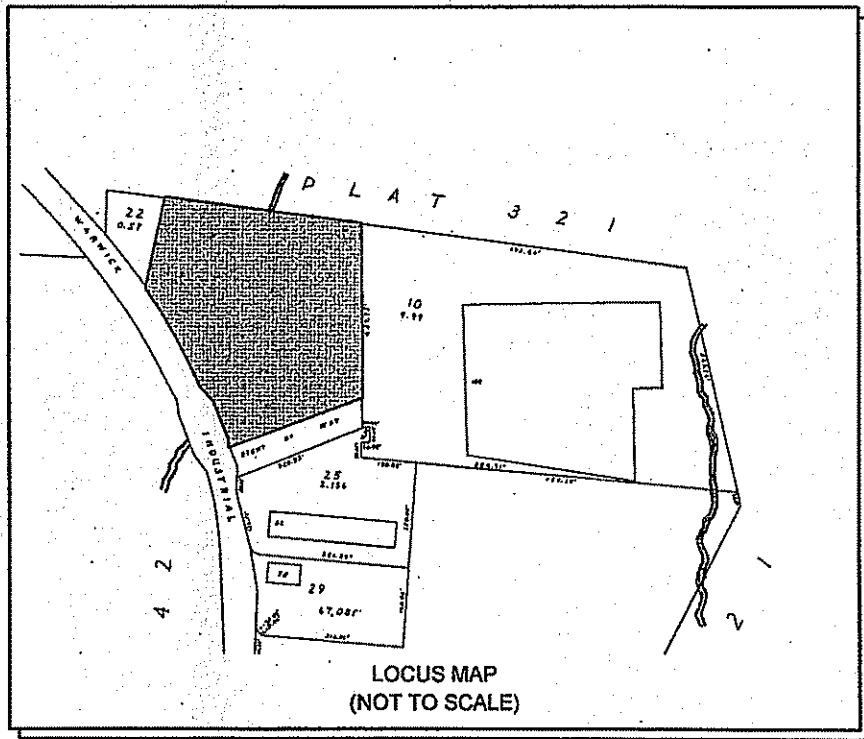
No.		Revision		Date	App.
Designed By:		Drawn by:		JJR	Checked by: GES
Scale:		N/A		Date:	11OCT18
Project Title:					
PROPOSED FACILITY A.P. 325 LOT 23 WARWICK INDUSTRIAL DRIVE WARWICK RHODE ISLAND					
Client/Owner:					
OSCB HOLDINGS, LLC C/O SCALI & ASSOCIATES, P.C. 190 LIBERTY ROAD, UNIT 1 CRYSTAL LAKE, ILLINOIS 60014					
Issued for:					
PERMITTING					
Drawing Title:					
PROJECT NOTES JAN 7 2019					
Drawing Number:				C-2	
Sheet				2 of 7	
Project Number:				17120.1	
Survey Index:					
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.					



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TRANSPORTATION
STRUCTURAL
MATERIALS TESTING



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER MANAGEMENT
FRESHWATER WITH DATA PROGRAM
APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 25 2019 FILE # 18-0891
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Harte

No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	11OCT18
Project Title:			
PROPOSED FACILITY			
A.P. 325 LOT 23			
WARWICK INDUSTRIAL DRIVE			
WARWICK			
RHODE ISLAND			
Client/Owner:			
OSCB HOLDINGS, LLC			
C/O SCALI & ASSOCIATES, P.C.			
190 LIBERTY ROAD, UNIT 1			
CRYSTAL LAKE, ILLINOIS 60014			
Issued for:			
PERMITTING			
Drawing Title:			
EXISTING CONDITIONS			
Drawing Number:			
C-3			
Sheet 3 of 7			
Project Number:			
17120.1			
Survey Index:			
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.			

- GENERAL NOTES:
- PROPERTY LINE BASED ON WETLAND & BUILDING ENVELOPE SURVEY OF LAND PREPARED FOR WARWICK INDUSTRIAL DRIVE, WARWICK, RI BY JOHN A. ANDREWS.
 - VERTICAL DATUM IS NAVD 88.
 - NORTH ARROW REFERENCES GRID NORTH.
 - WETLAND EDGE DELINEATED BY GEORGE GIFFORD AND LOCATED BY N.E.C. EDGE VERIFICATION BY RIDEM FILE NO. 17-0213.
 - T.F. GREEN AIRPORT SIGHT LINE SCALED FROM PLAN TITLED, "ATCT LINE OF SIGHT OBSTRUCTION ANALYSIS" PREPARED BY STANTEC, DATED NOVEMBER 22, 2016.
 - EXISTING CONDITIONS ALONG WARWICK INDUSTRIAL DRIVE ARE THE RESULTS OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN FEBRUARY 2018.

- PLAN REFERENCES:
- PLAN ENTITLED: PROPERTY LINE BASED ON WETLAND & BUILDING ENVELOPE SURVEY OF LAND PREPARED FOR WARWICK INDUSTRIAL DRIVE, WARWICK, RI, A.P. 325 LOT 23 DATE: MAY 13, 2014, SCALE 1"=40' BY JOHN A. ANDREWS.

- LEGEND:
- PROPERTY LINE
 - ABUTTERS PROPERTY LINE
 - EXISTING CONTOUR
 - EDGE OF STREAM <10' WIDE
 - 50' PERIMETER WETLAND
 - 100' RIVERBANK WETLAND
 - EDGE OF PAVEMENT
 - AIRPORT LINE OF SIGHT
 - STONE WALL
 - CHAIN LINK FENCE
 - GUARD RAIL
 - SEWER LINE
 - UTILITY POLE
 - SEWER MANHOLE
 - COMMUNICATION MANHOLE
 - RI HIGHWAY BOUND
 - WETLAND FLAG
 - GAS LINE

ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DISSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)

SURVEYOR'S CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 6 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

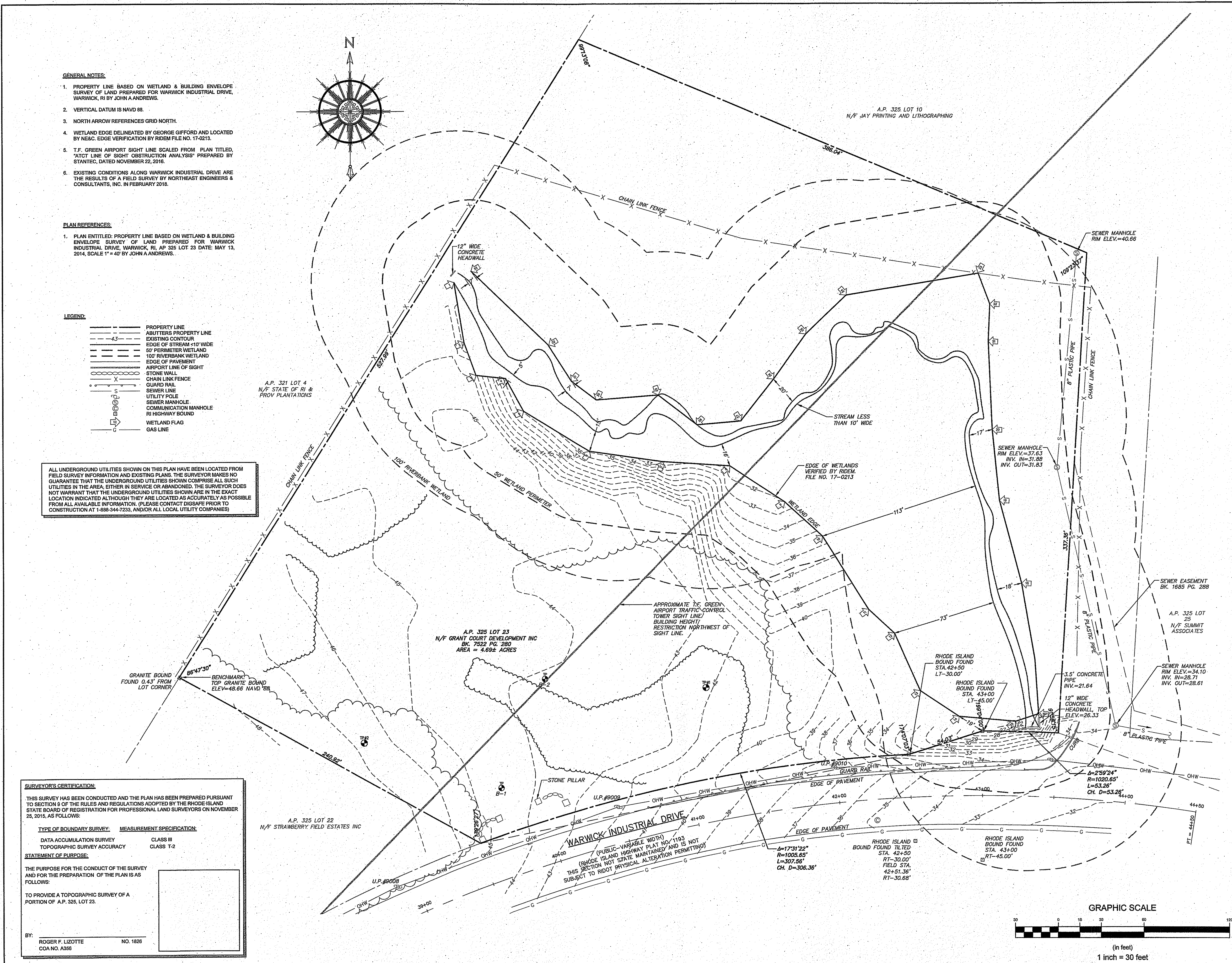
TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY	CLASS III
TOPOGRAPHIC SURVEY ACCURACY	CLASS T-2

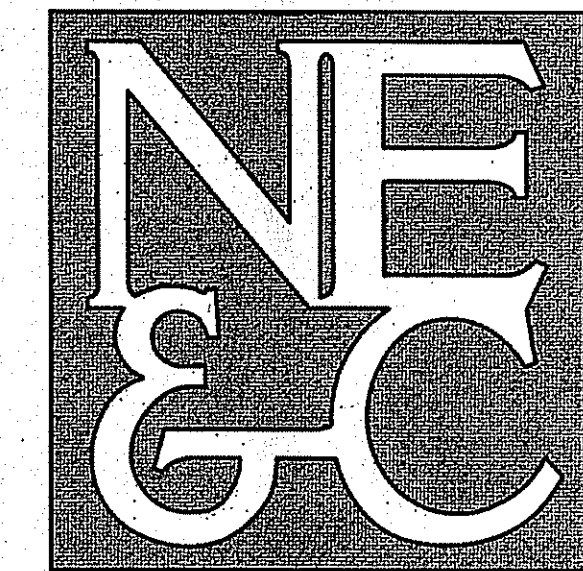
STATEMENT OF PURPOSE:

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO PROVIDE A TOPOGRAPHIC SURVEY OF A PORTION OF A.P. 325, LOT 23.

BY: ROGER F. LIZOTTE NO. 1826 COA NO. A366





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STRUCTURAL

LEGEND:

---	PROPERTY LINE
---	ADJUTERS PROPERTY LINE
---	EXISTING CONTOUR
---	EDGE OF STREAM <10' WIDE
---	50' PERIMETER WETLAND
---	100' RIVERBANK WETLAND
---	EDGE OF PAVEMENT
---	STONE WALL
---	CHAIN LINK FENCE
---	GUARD RAIL
---	SEWER LINE
---	UTILITY POLE
---	SEWER MANHOLE
---	COMMUNICATION MANHOLE
---	RI HIGHWAY BOUND
---	WETLAND FLAG
---	GAS LINE
---	PROPOSED WATER LINE
---	PROPOSED GAS LINE
---	PROPOSED SEWER LINE
---	PROPOSED CURBING
---	PROPOSED ELECTRICAL SERVICE
---	PROPOSED BUILDING SETBACK
---	PROPOSED SEWER MANHOLE
---	PROPOSED GAS VALVE
---	PROPOSED WATER VALVE

AS SPECIFIED IN THE PERMITTING
DATED JAN 25 2019 FILE # 18-0291
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James A. Rosa

3	RIDEM COMMENTS	26DEC18	
2	WARWICK SEWER COMMENTS	13DEC18	
1	REVISED EQUIPMENT PAD	19NOV18	
No.	Revision	Date	App.
Designed By:		Drawn by: JJR	Checked by: GES
Scale:	1"=30'	Date:	11OCT18

Project Title:
PROPOSED FACILITY
A.P. 325 LOT 23
WARWICK INDUSTRIAL DRIVE
WARWICK
RHODE ISLAND

Client/Owner: OSCB HOLDINGS, LLC
C/O SCALI & ASSOCIATES, P.C.
190 LIBERTY ROAD, UNIT 1
CRYSTAL LAKE, ILLINOIS 60014

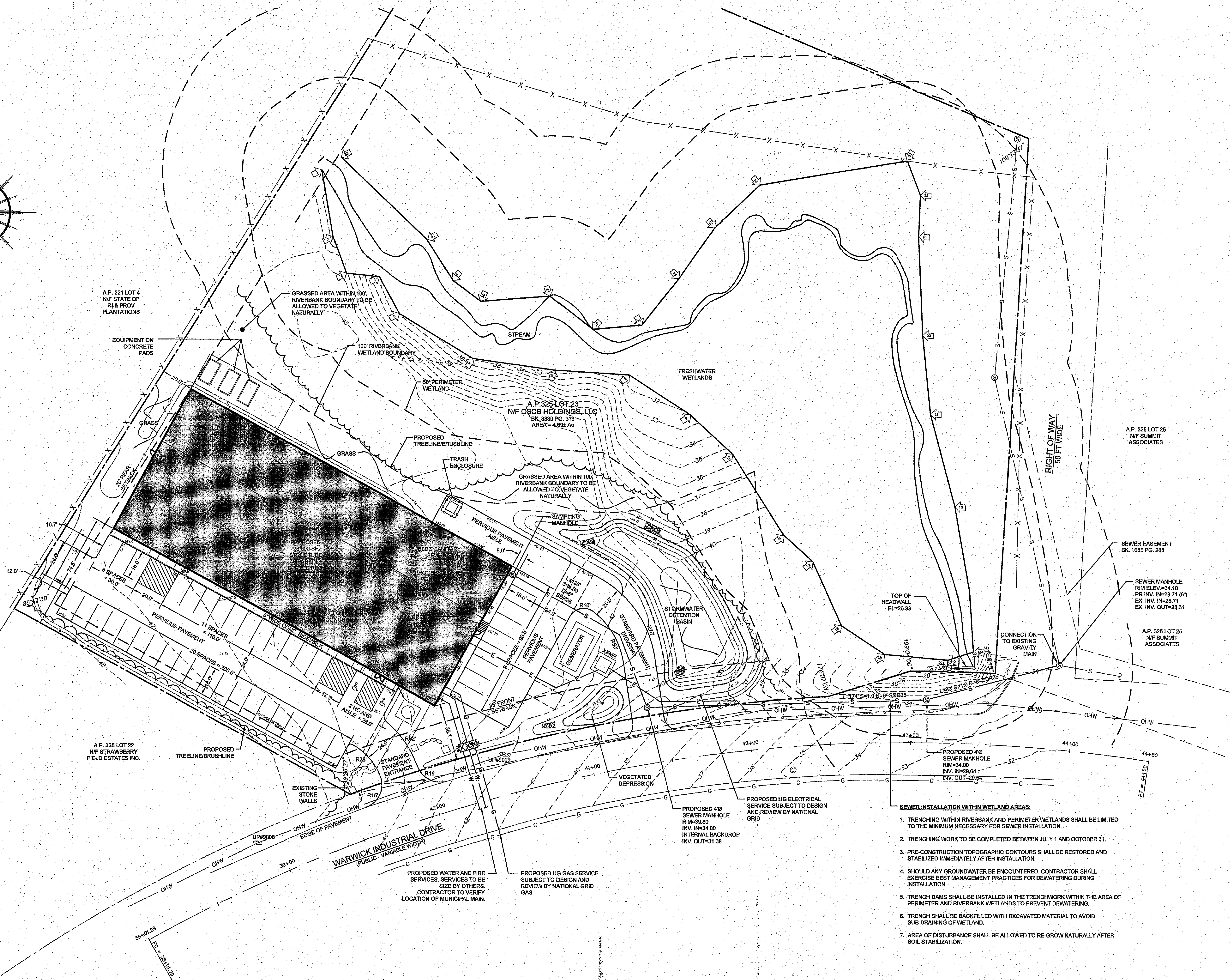
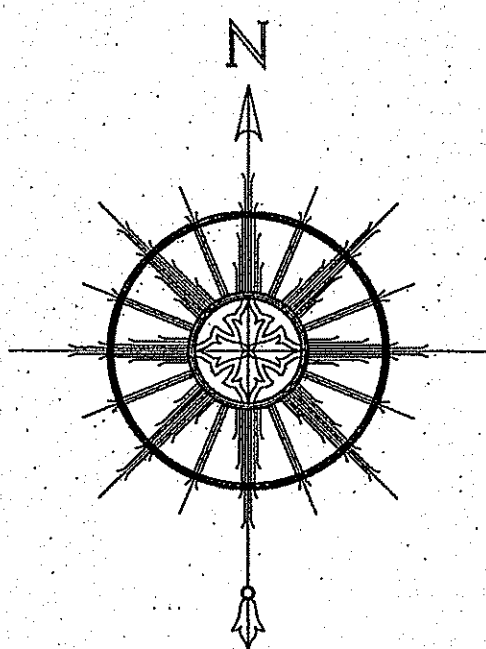
Issued for: PERMITTING

Drawing Title: JAN 7 2019

**PROPOSED LAYOUT
AND UTILITY PLAN**

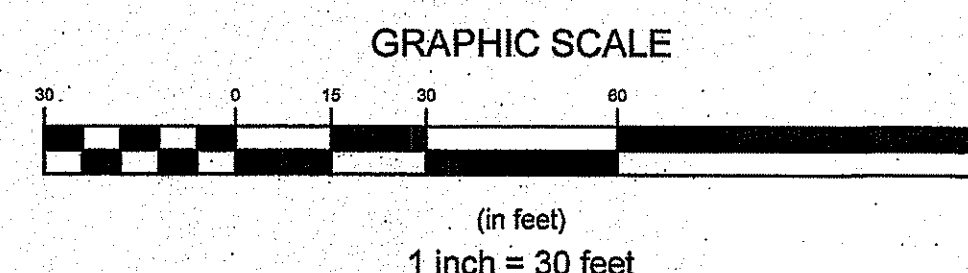
	Drawing Number:	C-4
	Sheet	4 of 7
	Project Number:	17120.1
	Survey Index:	

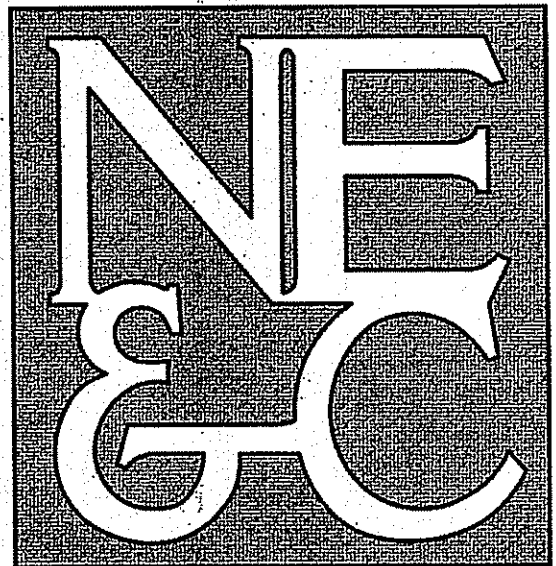
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SEWER INSTALLATION WITHIN WETLAND AREAS:

1. TRENCHING WITHIN RIVERBANK AND PERIMETER WETLANDS SHALL BE LIMITED TO THE MINIMUM NECESSARY FOR SEWER INSTALLATION.
2. TRENCHING WORK TO BE COMPLETED BETWEEN JULY 1 AND OCTOBER 31.
3. PRE-CONSTRUCTION TOPOGRAPHIC CONTOURS SHALL BE RESTORED AND STABILIZED IMMEDIATELY AFTER INSTALLATION.
4. SHOULD ANY GROUNDWATER BE ENCOUNTERED, CONTRACTOR SHALL EXERCISE BEST MANAGEMENT PRACTICES FOR DEWATERING DURING INSTALLATION.
5. TRENCH DAMS SHALL BE INSTALLED IN THE TRENCHWORK WITHIN THE AREA OF PERIMETER AND RIVERBANK WETLANDS TO PREVENT DEWATERING.
6. TRENCH SHALL BE BACKFILLED WITH EXCAVATED MATERIAL TO AVOID SUB-DRAINING OF WETLAND.
7. AREA OF DISTURBANCE SHALL BE ALLOWED TO RE-GROW NATURALLY AFTER SOIL STABILIZATION.

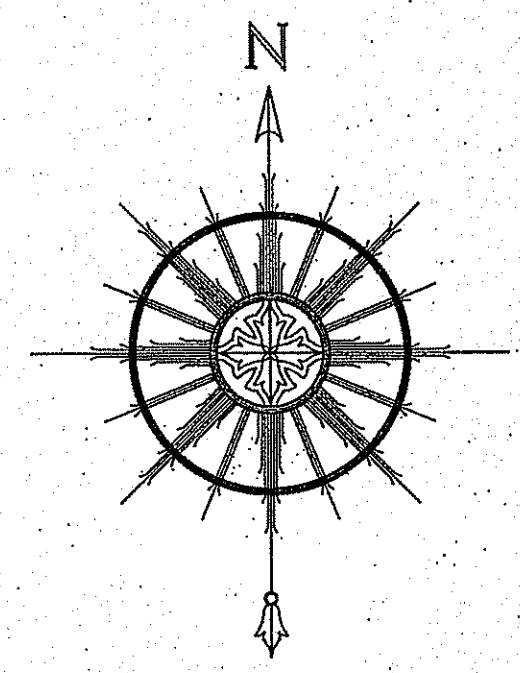




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ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL



Permanent Markers
per R.I.D.E.M.
A.P. 321 LOT 4

BASIN ELEVATION DATA:

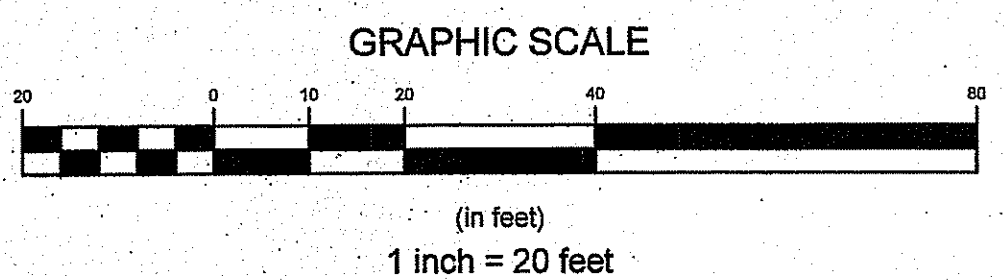
ELEVATION	AREA (SF)
40	5,255
39	4,398
38	3,603
37	2,897
36	1,212

DEPRESSION ELEVATION DATA:

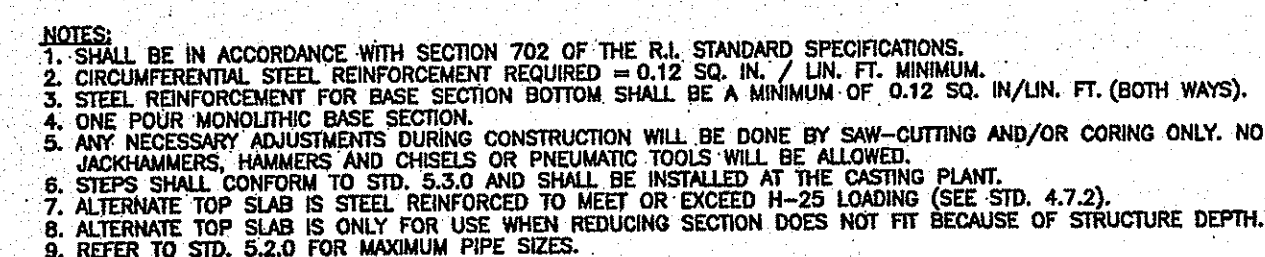
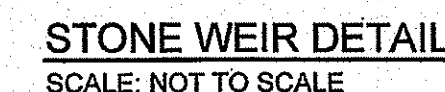
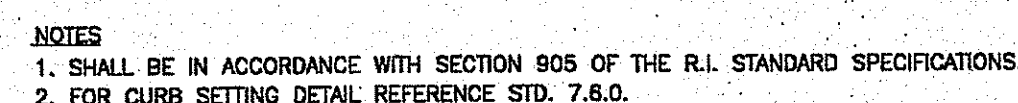
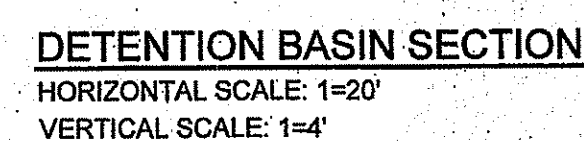
ELEVATION	AREA (SF)
40	516
39	227
38	71

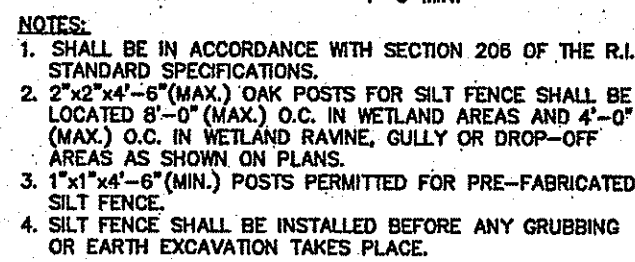
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLAND PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 25 2019 FILE # 18-0291
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1		RIDE COMMENTS		28DEC16
No.	Revision	Date	App.	
Designed By:		Drawn by: JJR	Checked by: GES	
Scale:		1"=30'	Date:	11OCT18
Project Title:				
PROPOSED FACILITY A.P. 325 LOT 23 WARWICK INDUSTRIAL DRIVE WARWICK RHODE ISLAND				
Client/Owner: OSCB HOLDINGS, LLC C/O SCALI & ASSOCIATES, P.C. 190 LIBERTY ROAD, UNIT 1 CRYSTAL LAKE, ILLINOIS 60014				
Issued for: PERMITTING				
Drawing Title:				
PROPOSED GRADING DRAINAGE AND SOIL EROSION AND SEDIMENT CONTROL				
Drawing Number: C-5				
Sheet 5 of 7				
Project Number: 17120.1				
Survey Index:				
<p>JEREMY J. ROSA No. 9826 REGISTERED PROFESSIONAL ENGINEER CIVIL</p>				
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- LEGEND**
- PROPERTY LINE
 - ABUTTERS PROPERTY LINE
 - EXISTING CONTOUR
 - EDGE OF STREAM <10' WIDE
 - 50' PERIMETER WETLAND
 - 100' RIVERSIDE WETLAND
 - EDGE OF PAVEMENT
 - STONE WALL
 - CHAIN LINK FENCE
 - GUARD RAIL
 - SEWER LINE
 - UTILITY POLE
 - SEWER MANHOLE
 - COMMUNICATION MANHOLE
 - RI HIGHWAY BOUND
 - WETLAND FLAG
 - GAS LINE
 - PROPOSED WATER LINE
 - PROPOSED GAS LINE
 - PROPOSED SEWER LINE
 - PROPOSED CURBING
 - PROPOSED ELECTRICAL SERVICE
 - PROPOSED BUILDING SETBACK
 - PROPOSED SEWER MANHOLE
 - PROPOSED GAS VALVE
 - PROPOSED WATER VALVE
 - PROPOSED TOPOGRAPHIC CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED DRAIN LINE
 - PROPOSED SILT FENCE / STRAW WATT
 - PROPOSED LIMIT OF DISTURBANCE





The diagram illustrates a cross-section of a slope stabilization system. A line representing the slope is labeled with a triangle indicating a "MAXIMUM SLOPE 2:1". Below the slope, a hatched area represents the "EROSION CONTROL BLANKET". A vertical line labeled "STAPLES" points to the blanket, indicating its attachment to the slope. The system is shown in a plan view, with a curved line representing the slope's profile and a straight line representing the top of the slope.

NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA.

WHEELCHAIR RAMP TRANSITION CURB
RI STD. 7.1.3
RI STD. 7.1.3.3

STANDARD CURB SECTIONS OR WHEELCHAIR RAMP TRANSITION CURB AS REQUIRED

WHEELCHAIR RAMP TRANSITION CURB
RI STD. 7.1.2
RI STD. 7.1.3
RI STD. 7.3.2

CONSTRUCTION JOINT (TYP.)

DETECTABLE WARNING RI STD. 48.1.0

VARIES

6'-0"

MINIMUM 4'-0"

6'-0"

6"

1:12 MAX.

EDGE OF ROADWAY

HIGH SIDE TRANSITION CURB

RAMP STONE

MINIMUM 6'-0" AT RAMP STONE

LOW SIDE TRANSITION CURB

6'-0"

6"

ISOMETRIC VIEW
NOT TO SCALE

GRANITE STD. 7.3.9
PCC STD. 7.1.9
RAMP STONE

CURB LINE

RAMP VARIES

LANDING VARIES

2'-0" MIN.

4'-0" MIN.

1:12 MAX.

1:50 MAX.

PAVEMENT

LANDING AND TRANSITION CONCRETE 4" STD. 43.1.

RAMP AND FLARES (SEE NOTE 16) CONCRETE 4" AND 8" STD. 43.1.

GRAVEL BORROW

DETECTABLE WARNING RI STD. 48.1.0

SECTION A-A
NOT TO SCALE

ROADWAY PROFILE GRADE	T (FT.)
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE RI STANDARD SPECIFICATIONS.
2. WHEN ANY OBSTRUCTION IS LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP SHALL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
5. SLOPES WHERE WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DOCUMENTS.
6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
7. SLOPES WHERE WHEELCHAIR RAMPS WITH A MINIMUM WHEEL RAMP SLOPE OF 1:12.
8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT BE STEEPER THAN 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
9. IN A ROAD CROSSING, THE WHEELCHAIR RAMP SHALL BE LOCATED IN THE CROSSWALK (IT SHALL BE EIGHTEEN FEET (18'-0") IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
10. IN THE CASE OF A TRANSITION OF A RAMP TO A FLAT SURFACE, THE RAMP SHALL BE PLACED UP-TO THE FLAT SURFACE.
11. THE WHEELCHAIR RAMP SHALL BE CENTERED RADICALLY OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
12. THE WHEELCHAIR RAMP SHALL BE LOCATED IN THE WALKER PAVEMENT (NOT IN THE CURB OR UNPAVED AREAS).
13. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER SECTION OF CURB.
14. DETECTABLE WARNING TO BE PAID FOR UNDER SECTION 942 OF THE RI STANDARD SPECIFICATIONS.
15. CONCRETE DEPTH FOR WALKER PAVEMENT SHALL BE AS SHOWN ON CONTRACT DOCUMENTS FOR TANGENT (MID-SLOPE) LOCATIONS.



NE
& C

1.5" SURFACE COURSE, BITUMINOUS CONC. PAVT CLASS I-1

2" BINDER COURSE, BITUMINOUS CONC. PAVT RIDOT BINDER MATERIAL

2" BASE SURFACE, COMPACTED PROCESSED GRAVEL CONFORMS W/ M.01.09 TABLE I COLUMN II OF THE, RISS-R&B CONSTRUCTION

12" BASE COURSE, BANK RUN GRAVEL, CONFORMS W/ M.01.09 TABLE I COLUMN I OF THE RISS-R&B CONSTRUCTION

COMPACTED SUBBASE

Diagram illustrating the layout and dimensions of a standard accessible parking space, including a van-accessible space and a standard accessible space.

Dimensions:

- Overall width: 10'
- Overall length: 18'
- Van-accessible space width: 8' MIN
- Standard accessible space width: 8'
- Van-accessible space length: 18'
- Standard accessible space length: 18'

Features and Markings:

- HANDICAP PARKING SIGN MOUNTED ON BOLLARD, CENTERED IN SPACE:** Indicated by a callout pointing to a bollard in the van-accessible space.
- 4" HANDICAP GRAPHIC SYMBOL PAINTED WHITE, SYMBOL TO BE PAINTED ON BLUE NON-SKID BACKGROUND:** Indicated by a callout pointing to the wheelchair symbol in the van-accessible space.
- 4" WIDE PAINTED LINES (TYP):** Indicated by a callout pointing to the boundary lines of the van-accessible space.
- CURBING:** Indicated by a callout pointing to the curb on the right side of the parking area.
- VAN STRIPING (SEE SITE PLAN):** Indicated by a callout pointing to the diagonal hatching in the van-accessible space.
- STANDARD STRIPING:** Indicated by a callout pointing to the diagonal hatching in the standard accessible space.

10'

10'

6" CONCRETE FILLED GUARD POST

SLOPE 1/2" PER FOOT

CEDAR FENCE OR SIMILAR APPROVED

SLOPE

SLOPE

DOUBLE GATE 3 1/2' GATE POST

9"

8"

9"

PLAN VIEW

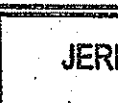
Technical drawing of a gutter installation showing side and end views with dimensions:

- Side View (Left):**
 - Top edge: GUTTER LINE
 - Vertical distance from gutter line to bottom: 1"
 - Bottom edge: 1/2" x 3/4" EPOXY COATED DOWEL
 - Horizontal distance between dowels: 6'-0" NORMAL
 - Vertical distance from gutter line to bottom edge: 3 1/2"
- End View (Right):**
 - Top edge: 5/8" x 2 1/4" DOWEL SOCKET
 - Vertical distance from gutter line to bottom: 1 1/2"
 - Horizontal distance from gutter line to dowel: 7"
 - Horizontal distance from gutter line to edge: 6 1/2"
 - Vertical distance from gutter line to bottom edge: 9"
 - Horizontal distance from gutter line to edge: 3 1/2"
 - Horizontal distance from gutter line to edge: 10"

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 180'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 180'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WASTES PROGRAM
APPROVAL WITH CONDITIONS
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NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

 <p>JEREMY J. ROSA</p> <p>No. 9826</p> <p>REGISTERED PROFESSIONAL ENGINEER STATE OF FLORIDA</p>	Drawing Number:
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