

WETLANDS FLAGGING  
NOT TO SCALE

**UTILITY NOTE**

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— UNDERGROUND UTILITIES SHOWN ARE A COMPILED FIELD AND RECORD INFORMATION. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES ARE SHOWN.

— SITE ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES INACCURATELY SHOWN OR OMITTED.

— BEFORE PLANNING FUTURE CONNECTIONS, THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES AND UTILITIES SHALL BE VERIFIED IN THE FIELD.

**CERTIFICATION (PERIMETER OF PLAT 90 LOT 11 ONLY)**  
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE 11/25/2015 AS FOLLOWS:

TYPE OF SURVEY: MEASUREMENT SPECIFICATION  
COMPREHENSIVE BOUNDARY SURVEY CLASS I STANDARD

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
TO SHOW THE EXISTING CONDITIONS OF THE PROPERTY WITHIN THE SURVEYED PERIMETER LINES.

PLANNING BOARD OFFICIAL

UTILITIES, WETLANDS & ELEVATIONS WERE FIELD LOCATED BY SEI.

JOHN J. BARKER, JR.  
No. 1885  
PROFESSIONAL LAND SURVEYOR

RON T. BLANCHARD  
No. 6016  
REGISTERED PROFESSIONAL ENGINEER

**PLAT REFERENCES:**

STATE HIGHWAY PLAT #308 JULY 30, 1930 FIELD BOOK 833

STATE HIGHWAY PLAT #955 FEBRUARY 16, 1956 FIELD BOOK 2079 PAGE 15

PLAN ENTITLED "CEDARCREST SHORES PLAT SECTION "D" F. FRANCA OWNER SURVEYED BY: J.A. RICCIO C.E. SCALE 1"=50' OCT. 1949

PLAN ENTITLED "COMPREHENSIVE PERMIT ALLOCATION KANE'S WAY PROPOSED SUBDIVISION PLAN A.P. NO. 90 / LOT NOS 1,24 & 25 PREPARED FOR: EAST BAY COMMUNITY DEVELOPMENT CORP. BY: FUSS & ONEIL CURTIS A. NUNES PLS #1901 8/27/07

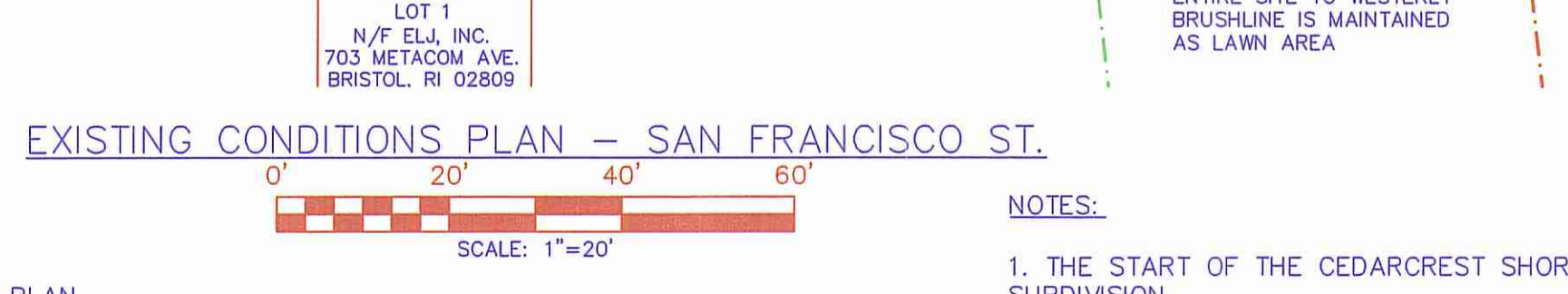
PLAN ENTITLED "PERIMETER SURVEY OF LAND FOR TAVARES FARM (EAST) FOR THE TOWN OF BRISTOL OPEN SPACE ACQUISITION PLAT 92 LOT 89 METACOM AVE. BY: BARKER LAND SURVEYING INC. 12/29/15

ZONE: R-10  
MIN. AREA - 10,000 SF  
MIN. WIDTH/FRONTAGE - 80'  
MAX. LOT COVERAGE BY STRUCTURES: 25%

SETBACKS:  
FRONT - 30'  
SIDE - 15'  
REAR - 30'  
BUILDING HEIGHT - 35'

F.I.R.M. # 4400100011H  
EFFECTIVE DATE: JULY 7, 2014 ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.

STREET INDEX: SAN FRANCISCO ST



**NOTES:**

- THE START OF THE CEDARCREST SHORES SECTION "D" SUBDIVISION WAS CALCULATED FROM THE S.H.P. 308 YR. 1930
- THIS PROPERTY IS NOT IN A COASTAL FLOOD ZONE.

REFERENCE PLANS:  
- PLAN ENTITLED "PERIMETER SURVEY FOR SAN FRAN DEV. GROUP LLC, 10 SAN FRANCISCO STREET, PLAT 90, LOT 11, BRISTOL, RI 02809 DATED: 1/28/18 BY: JOHN BARKER PLS

- PLAN ENTITLED "SITE SKETCH FOR APPROXIMATE WETLAND DELINEATION, 10 SAN FRANCISCO ST., AP 90, LOT 11 DATE: 11/2/17 & 10/17/18 BY: NATURAL RESOURCE SERVICE, INC.

- TOWN OF BRISTOL, RI TAX ASSESSOR'S PLAT MAP

BARKER LAND SURVEYING INC DOES NOT CERTIFY TO THE LOCATION OR ACCURACY OF FOLLOWING DONE BY OTHER:  
1. UTILITIES (SAN FRANCISCO ST. & METACOM AVE.)  
2. TOPOGRAPHICAL SURVEY  
3. TREE LOCATION  
4. WETLANDS LOCATION  
5. EXISTING HOUSE LOCATIONS (SAN FRANCISCO ST.)

**SITE ADDRESS:**  
10 SAN FRANCISCO ST.  
BRISTOL, RI 02809

**OWNER:**  
SAN FRAN DEV. GROUP, LLC  
34 BROADCOMMON RD.  
BRISTOL, RI 02809

DATE: 10/3/17

SEI  
SITE ENGINEERING INC.  
CIVIL • COASTAL • STRUCTURAL

PROPOSED SUBDIVISION  
EXISTING CONDITIONS PLAN  
10 SAN FRANCISCO ST. SUBDIVISION  
PLAT 90, LOT 11

SCALE: AS NOTED  
(SHEET 1 OF 5)

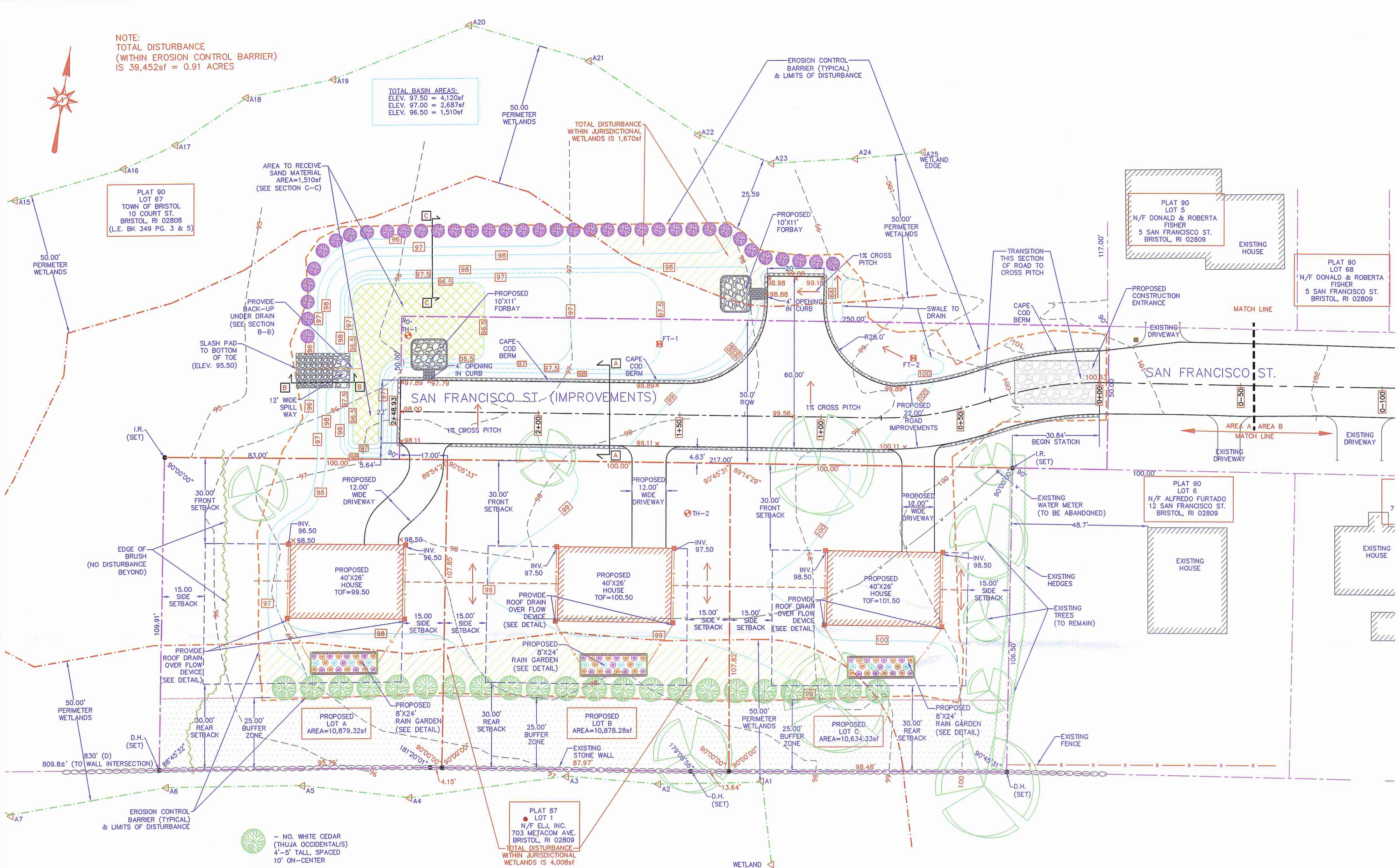
SB-1

DSGN: RB	DATE: 10/3/17
DR: VS	
CHK: RB	

75 WOOD ST. 02809  
PHONE: (401) 263-8287

BRISTOL, RHODE ISLAND

NOTE:  
TOTAL DISTURBANCE  
(WITHIN EROSION CONTROL BARRIER)  
IS 39,452sf = 0.91 ACRES

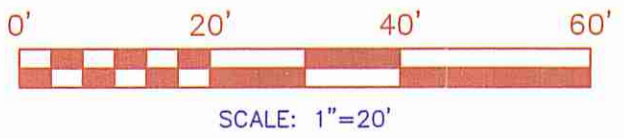


TOTAL BASIN AREAS:  
ELEV. 97.50 = 4,120sf  
ELEV. 97.00 = 2,687sf  
ELEV. 96.50 = 1,510sf

TOTAL DISTURBANCE  
WITHIN JURISDICTIONAL  
WETLANDS IS 1,670sf

NOTE THAT THIS AREA IS ALREADY  
MAINTAINED AS A LAWN AREA.  
HENCE THE PROPOSED DISTURBANCE IS  
NOT NEW.  
BUFFER SHALL BE ESTABLISHED FOR  
THIS PROJECT.  
BUFFER ZONE SHALL BE ALLOWED TO  
REGROW WITH NATURAL VEGETATION.

PROPOSED GRADING & DRAINAGE PLAN



ZONE: R-10  
MIN. AREA - 10,000 SF  
MIN. WIDTH/FRONTAGE - 80'  
MAX. LOT COVERAGE BY STRUCTURES: 25%

SETBACKS:  
FRONT - 30'  
SIDE - 15'  
REAR - 30'  
BUILDING HEIGHT - 35'

F.I.R.M. # 44001C0011H  
EFFECTIVE DATE:  
JULY 7, 2014, ZONE X  
AREAS DETERMINED TO BE OUTSIDE THE  
0.2% ANNUAL CHANCE FLOOD PLAN.

SOILS TESTING  
CONDUCTED 2/6/18  
TH #1 @ 30" (12" BELOW 18" FILL)  
TH #2 @ 46" (10" BELOW 36" FILL)  
FT #1 @ 24" FILL  
FT #2 @ 0" FILL

SOILS INFO:  
S1 - STISSING  
(HYDROLOGIC GROUP C)

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GROUP LLC, 10 SAN FRANCISCO STREET, PLAT 90, LOT 11,  
BRISTOL, RI 02809  
DATED: 1/28/18 BY: JOHN BARKER PLS

-PLAN ENTITLED "SITE SKETCH FOR APPROXIMATE  
WETLAND DELINEATION, 10 SAN FRANCISCO ST., AP 90,  
LOT 11 DATE: 11/2/17  
BY: NATURAL RESOURCE SERVICE, INC.

-TAX ASSESSOR'S PLAT MAP

SEQUENCE OF WORK/EROSION CONTROL MEASURES

ROAD BASE SHALL BE PUT IN PLACE TO PROVIDE ACCESS  
TO THE SITE.

EROSION CONTROL BARRIER SHALL BE PLACED AT LIMITS  
OF DISTURBANCE.

EMBANKMENT AND GRADING FOR DRAINAGE AREA, SHOULD  
BE DONE JUST PRIOR TO PAVING.

DRAINAGE AREA MUST BE STABILIZED WITH 80% GROWTH  
OF GRASS PRIOR TO RECEIVING STORM WATER RUNOFF.  
NOTE THAT ENTIRE BASIN AND EMBANKMENT AREA SHALL  
RECEIVE EROSION CONTROL MAT (SEE DETAIL).

IN ORDER TO PROTECT DRAINAGE AREA, A SEPARATE  
EROSION BARRIER IS TO REMAIN IN PLACE, BETWEEN THE  
ROADWAY AND THE DRAINAGE AREA UNTIL SUCH TIME AS  
THE DRAINAGE AREA IS READY FOR USE.

ALSO, DURING CONSTRUCTION, IF MORE THAN 1" OF RAIN  
IS PREDICTED, A DIVERSION BARRIER SHALL BE PLACED  
ACROSS THE ROADWAY AT THE SITE TO DIRECT WATER TO  
THE NORTH AND AWAY FROM THE DRAINAGE AREA.

- LEGEND
- EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - ZONING SET-BACKS
  - EXISTING LOT DIMENSION
  - PROPOSED LOT DIMENSION
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING WATERLINE
  - PROPOSED WATERLINE
  - EXISTING SEWER
  - PROPOSED SEWER
  - EXISTING GAS LINE
  - PROPOSED GAS LINE
  - EXISTING UNDERGROUND ELECTRIC
  - EXISTING OVERHEAD ELECTRIC
  - WETLANDS FLAGGING
  - 50' JURISDICTIONAL WETLANDS OFFSET
  - WETLANDS FLAG
  - EDGE OF BRUSH
  - I.R. (IRON ROD)
  - D.H. (DRILL HOLE)
  - RHODE ISLAND HIGHWAY BOUND
  - STATE HIGHWAY PLAT
  - TEST HOLE
  - FILL HOLE
  - CLEAN OUT TO GRADE
  - DOWN SPOUT (TYPICAL)

SITE ADDRESS:  
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BRISTOL, RI 02809

OWNER:  
SAN FRAN DEV. GROUP, LLC  
34 BROADCOMMON RD.  
BRISTOL, RI 02809

PLANNING BOARD OFFICIAL

UTILITIES, WETLANDS &  
ELEVATIONS WERE  
FIELD LOCATED BY SEI.

RON T. BLANCHARD  
REGISTERED PROFESSIONAL ENGINEER

PROPOSED SUBDIVISION  
PROPOSED GRADING & DRAINAGE PLAN  
AND EROSION & SEDIMENT CONTROL PLAN  
10 SAN FRANCISCO ST. SUBDIVISION  
PLAT 90, LOT 11

SCALE: AS NOTED  
(SHEET 2 OF 5)

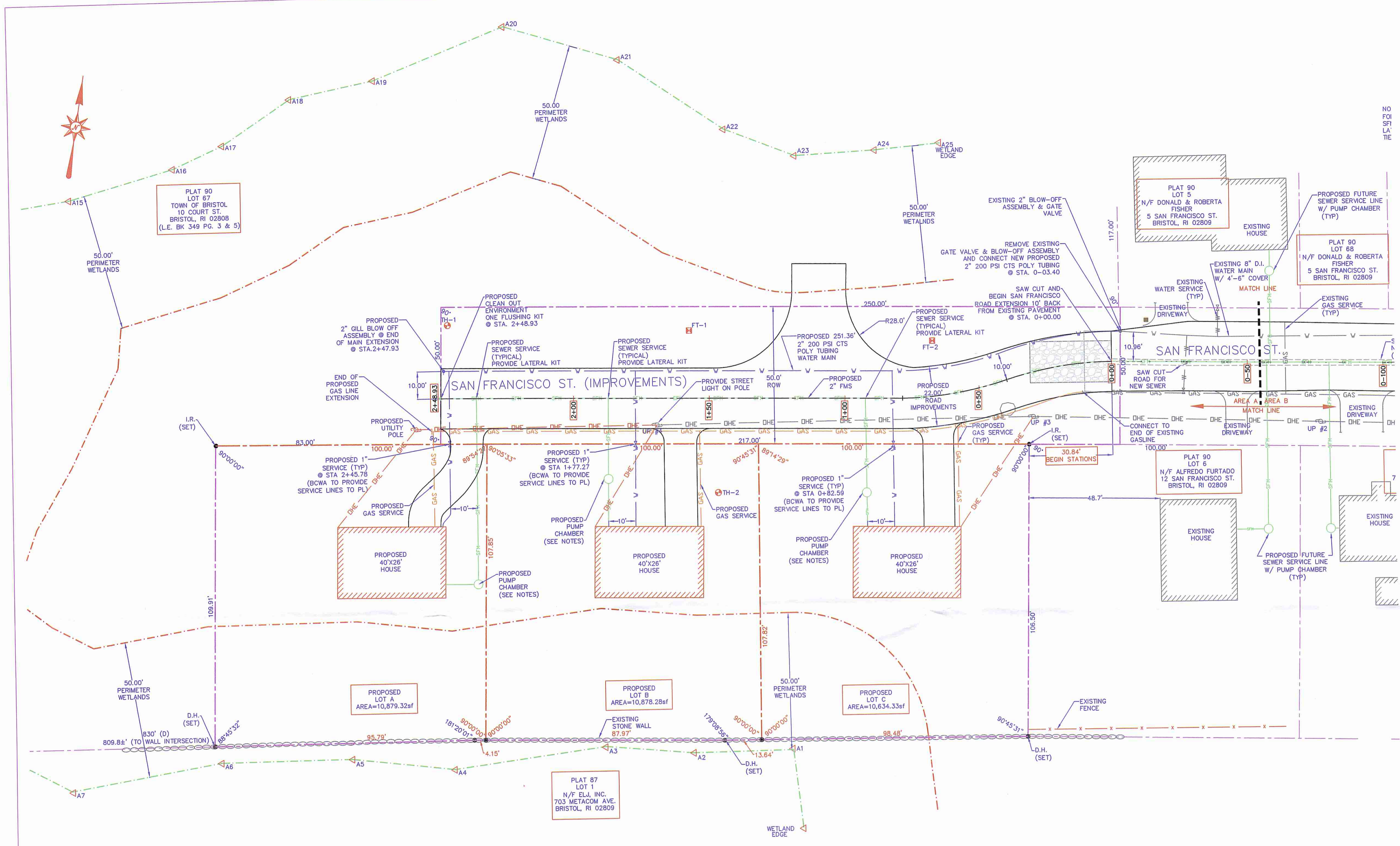
SB-2

SEI  
SITE ENGINEERING INC.  
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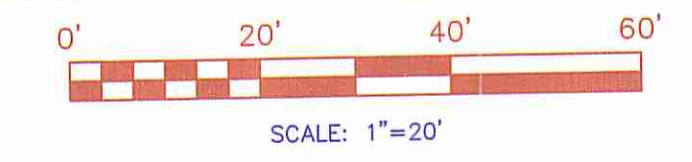
75 WOOD ST.  
BRISTOL, RI 02809  
PHONE: (401) 263-8231

MINOR REVISIONS	10/17/17	10/17/17	10/17/17	10/17/17	10/17/17	10/17/17	10/17/17	10/17/17	10/17/17
001	REVISIONS TO SHOW TOPOGRAPHIC SURVEY	1/18/18	3/21/18	3/21/18	6/13/18	6/13/18	6/13/18	6/13/18	6/13/18
002	REVISIONS PER BIOLOGIST COMMENTS								
003	REVISIONS PER TOWN ENGINEER COMMENTS								
004	REVISIONS PER TOWN ENGINEER COMMENTS								
005	REVISIONS PER TOWN ENGINEER COMMENTS								
006	REVISIONS PER TOWN ENGINEER COMMENTS								
007	REVISIONS PER TOWN ENGINEER COMMENTS								
008	REVISIONS PER TOWN ENGINEER COMMENTS								

DSGN: RB  
DR: VS  
CHK: RB  
DATE: 10/3/17



PROPOSED UTILITIES PLAN - SAN FRANCISCO ST. EXTENSION



- LEGEND**
- EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - ZONING SET-BACKS
  - 204.00' EXISTING LOT DIMENSION
  - 204.00' PROPOSED LOT DIMENSION
  - 100- EXISTING CONTOURS
  - 100- PROPOSED CONTOURS
  - EXISTING WATERLINE
  - PROPOSED WATERLINE
  - EXISTING SEWER
  - PROPOSED SEWER
  - EXISTING GAS LINE
  - PROPOSED GAS LINE
  - EXISTING UNDERGROUND ELECTRIC
  - EXISTING OVERHEAD ELECTRIC
  - WETLANDS FLAGGING
  - 50' JURISDICTIONAL WETLANDS OFFSET
  - △ WETLANDS FLAG
  - △ EDGE OF BRUSH
  - I.R. (IRON ROD)
  - D.H. (DRILL HOLE)
  - RHHB
  - SHP
  - TEST HOLE
  - FILL HOLE
  - CLEAN OUT TO GRADE
  - CTG

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 -TAX ASSESSOR'S PLAT MAP

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 MIN. AREA - 10,000 SF  
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 MAX. LOT COVERAGE BY STRUCTURES: 25%  
 SETBACKS:  
 FRONT - 30'  
 SIDE - 15'  
 REAR - 30'  
 BUILDING HEIGHT - 35'

**NOTES:**  
 -SEWER PIPE SHALL BE 200 PSI TUBING EITHER SDR11 IPS OR SDR9 CTS.  
 -PUMP CHAMBER AND LATERAL KITS SHALL BE AS MANUFACTURED BY E-OONE PUMP SUPPLIER IS F.R. MAHONEY & ASSOCIATES, INC. 273 WEYMOUTH ST. ROCKLAND, MA 02370  
 -FOR SEWER LINE IN SAN FRANCISCO ST FROM STATION 0+00 TO METACOM AVE., REFER TO NOTES ON SHEET SB-3B. (NOT INCLUDED IN RIDEM SUBMISSION)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 18 2018 FILE # 18-0297  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Charles A. Hubert*



**UTILITY NOTE**

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PLANNING BOARD OFFICIAL

UTILITIES, WETLANDS & ELEVATIONS WERE FIELD LOCATED BY SEI.

RON T. BLANCHARD  
 No. 6018  
 REGISTERED PROFESSIONAL ENGINEER

**SITE ADDRESS:**  
 10 SAN FRANCISCO ST.  
 BRISTOL, RI 02809

**OWNER:**  
 SAN FRAN DEV. GROUP, LLC  
 34 BROADCOMMON RD.  
 BRISTOL, RI 02809

NO.	REVISIONS	DATE
001	MINOR REVISIONS TO SURVEY	1/18/18
002	REVISIONS FOR PRELIMINARY SUBMISSION	3/23/18
003	REVISIONS FOR BCWA SUBMISSION	4/26/18
004	REVISIONS PER BCWA COMMENTS	5/17/18
005	MINOR REVISIONS	6/7/18
006	PREPARED FOR FWP PERMIT	6/7/18
007	FINAL WETLAND DELINEATION	10/19/18
008	PREPARED FOR FWP PERMIT	10/19/18
009	REVISIONS	10/19/18

DSGN: RB  
 DR: VS  
 CHK: RB  
 DATE: 10/3/17

**SEI**

**SITE ENGINEERING INC.**  
 CIVIL • COASTAL • STRUCTURAL  
 75 WOOD ST. 02809  
 BRISTOL, RI  
 PHONE: (401) 253-0237

**PROPOSED SUBDIVISION**  
**PROPOSED UTILITY PLAN**  
 10 SAN FRANCISCO ST. SUBDIVISION  
 PLAT 90, LOT 11

PLANNING BOARD OFFICIAL

UTILITIES, WETLANDS & ELEVATIONS WERE FIELD LOCATED BY SEI.

RON T. BLANCHARD  
 No. 6018  
 REGISTERED PROFESSIONAL ENGINEER

**SCALE: AS NOTED**  
 (SHEET 3 OF 5)

**SB-3**



**STORMWATER MAINTENANCE REQUIREMENTS**

INSPECTION, MAINTENANCE, AND REPAIRS TO THE STORMWATER BASIN SHALL BE THE RESPONSIBILITY OF THE TOWN.

MOWING OF THE BASIN SHALL BE THE RESPONSIBILITY OF THE TOWN

GRASSES IN BASIN SHALL BE MOWED AT LEAST TWICE DURING THE GROWING SEASON. TRASH AND LITTER MUST BE REMOVED DURING MOWING OPERATIONS. ADJACENT HOMEOWNERS MAY MOW THE BASIN AREAS MORE OFTEN.

ANY ACCUMULATED SEDIMENTS IN THE BASIN SHALL BE REMOVED, AS A MINIMUM, EVERY 10 YEARS. LEAVES AND GRASS CLIPPINGS SHALL BE REMOVED ON A YEARLY BASIS.

STRUCTURAL INTEGRITY OF THE BASIN SHALL BE INSPECTED ON AN ANNUAL BASIS. IN ADDITION, THE INLETS AND OUTLETS FOR THE BASIN SHALL ALSO BE INSPECTED ANNUALLY. ANY DEFICIENCIES MUST BE CORRECTED IMMEDIATELY AFTER OBSERVATION. THE BASIN, AND ALL STRUCTURES, SHALL BE INSPECTED MORE OFTEN DURING THE FIRST YEAR OF OPERATION, ESPECIALLY AFTER LARGE STORMS, TO ENSURE PROPER STABILIZATION AND FUNCTION.

SHOULD WATER BE PRESENT IN THE BASINS FOR MORE THAN 72 HOURS AFTER A RAINFALL EVENT, THE BOTTOM SHALL BE SCARIFIED AND SOILS REMOVED FROM THE SITE. THE BOTTOM SHALL BE RELOAMED AND RESEEDED AS REQUIRED.

RESEEDING OF ANY ERODED OR BARE SPOTS IN AND AROUND THE BASIN MUST BE DONE IMMEDIATELY FOLLOWING EXAMINATIONS TO PROTECT SUBSEQUENT SOIL EROSION.

IN NO CASE SHALL ANY PORTION OF THE STORMWATER BASIN BE FILLED.

**EARTHWORK SPECIFICATIONS**

ALL EARTHWORK AND EMBANKMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH RIDOT STANDARD SPECIFICATIONS SECTION 202 "EXCAVATION AND EMBANKMENT" AS APPLICABLE.

FOR ALL AREAS TO SERVE AS EITHER ROADWAY, DRIVEWAY, OR STORMWATER BASIN, INCLUDING ANY BERM AREAS, THESE AREAS SHALL BE STRIPPED OF ALL ORGANIC AND LOAM MATERIAL TO A MINIMUM DEPTH OF 1' BELOW GRADE.

FOR ALL ROADWAY AND DRIVEWAYS, ALL BASE COURSE SHALL MEET REQUIREMENTS OF RIDOT M.01.02 (GRAVEL BORROW), CRUSHED MATERIALS SHALL MEET REQUIREMENTS OF RIDOT M.01.06 (KEYSTONE). ALL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 95% PROCTER IN 6" LIFTS. REFER TO TOWN REQUIREMENTS FOR ADDITIONAL INFORMATION ON ROADWAY BASE PREPARATION.

FOR STORMWATER BASIN COARSE SAND SOIL MATERIAL SHALL BE PLACED IN THE BOTTOM OF THE BASIN UNDER THE LOAM LAYER AS NOTED IN THE DETAILS. BOTTOM OF STORMWATER BASIN SHALL RECEIVE A FINAL 3" LAYER OF LOAMY MATERIAL. MATERIAL SHALL BE LIGHTLY COMPACTED AND STABILIZED WITH PROPER EROSION CONTROL BLANKET MATERIAL (SEE NOTES UNDER EROSION CONTROL). THE BASIN SHALL BE PLANTED WITH A DENSE LAYER OF GRASS.

THE ENTIRE AREA WHERE THE STORMWATER BASIN WILL BE PLACED SHALL BE ROPED OFF TO PREVENT COMPACTION OF THE UNDERLYING SOILS BY HEAVY EQUIPMENT. LIGHT EARTH MOVING EQUIPMENT WILL BE USED FOR BASIN EXCAVATION.

PRIOR TO THE STORMWATER BASIN RECEIVING STORMWATER RUNOFF, THE ENTIRE CONTRIBUTING WATERSHED/SITE SHALL BE STABILIZED WITH VEGETATION, AND ALL OTHER SOIL EROSION AND SEDIMENT CONTROL TECHNIQUES SHALL BE IN PLACE.

PRIOR TO BASIN RECEIVING ANY STORMWATER RUNOFF, STABILIZATION OF STORMWATER BASIN WITH 80% GROWTH OF GRASS OR WITH PROPER EROSION CONTROL FABRIC AND SEEDING SHALL BE IN PLACE.

FOR BERMS/EMBANKMENTS OF STORMWATER BASIN SOIL MATERIAL SHALL MEET RIDOT REQUIREMENTS AND SHALL BE COMPACTED TO 95% PROCTER IN 6" LIFTS SOIL MUST BE FREE FROM ANY ORGANIC OR OTHER DELETERIOUS MATERIAL. COMPACTION SHALL BE ACHIEVED BY ROLLER COMPACTOR EQUIPMENT.

RIP-RAP FOR OUTFALL STRUCTURE, CHECK DAMS AND FOREBAY SHALL BE 6", MEETING REQUIREMENTS OF RIDOT M.10.03 (RIP-RAP) "R-3" SPECIFICATIONS.

GRASSES FOR BASIN SHALL FESCUE TYPE DRAUGHT RESISTANCE.

**EROSION AND SEDIMENT CONTROL NOTES**

AN EROSION CONTROL BARRIER IS TO BE IN PLACE AND PROPERLY MAINTAINED DURING ALL EXCAVATION WORK. LOCATIONS AND EXTENT OF THE BARRIER(S) ARE SHOWN ON THE GRADING AND DRAINAGE PLAN. DETAILS AND INSTALLATION REQUIREMENTS ARE ALSO AS INDICATED ON THE DETAIL.

THE BARRIER SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN FINISHED GRADED AND STABILIZED WITH LOAM AND SEED. ANY AREAS THAT WILL REMAIN DISTURBED FOR A PERIOD LONGER THAN 30 DAYS SHALL BE COVERED WITH A LAYER OF STRAW MULCH.

FOR ALL SWALE AREAS AND ANY SLOPES GREATER THAN 10% (10:1), PROVIDE TEMPORARY STABILIZATION OF LOAM AND SEED AREAS BY INSTALLING JUKE MESH OR OTHER SUITABLE EROSION CONTROL BLANKET.

TEMPORARY STOCKPILE AREAS MAY BE LOCATED ANYWHERE WITHIN THE SITE. NO SEPARATE EROSION CONTROL BARRIER IS REQUIRED AROUND STOCKPILES AS LONG AS THE PERIMETER BARRIER(S) IS PROPERLY MAINTAINED.

**REQUIRED SUBMITTALS**

1. STORMWATER BASIN (FILTER SAND & LOAM)  
-SAMPLES AS APPLICABLE & SIEVE ANALYSIS
2. ROADWAY BASE  
-SIEVE ANALYSIS AND SAMPLE
3. SEWER AND DRAINAGE PIPING AND COMPONENTS  
-CATALOG CUT SHEETS & SPECIFICATION INFORMATION
4. RIP-RAP SAMPLE

NOTE: TESTS, OR AS MAY BE REQUIRED BY TOWN REPRESENTATIVE.

PRIOR TO INSTALLATION, A SAMPLE OF THE FILTER SAND & LOAM FOR BASINS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.

PRIOR TO LAYING ASPHALT IN ROADWAY SUBMIT COMPACTION TEST RESULTS. MINIMUM OF 4 TESTS, OR AS MAY BE REQUIRED BY TOWN REPRESENTATIVE.

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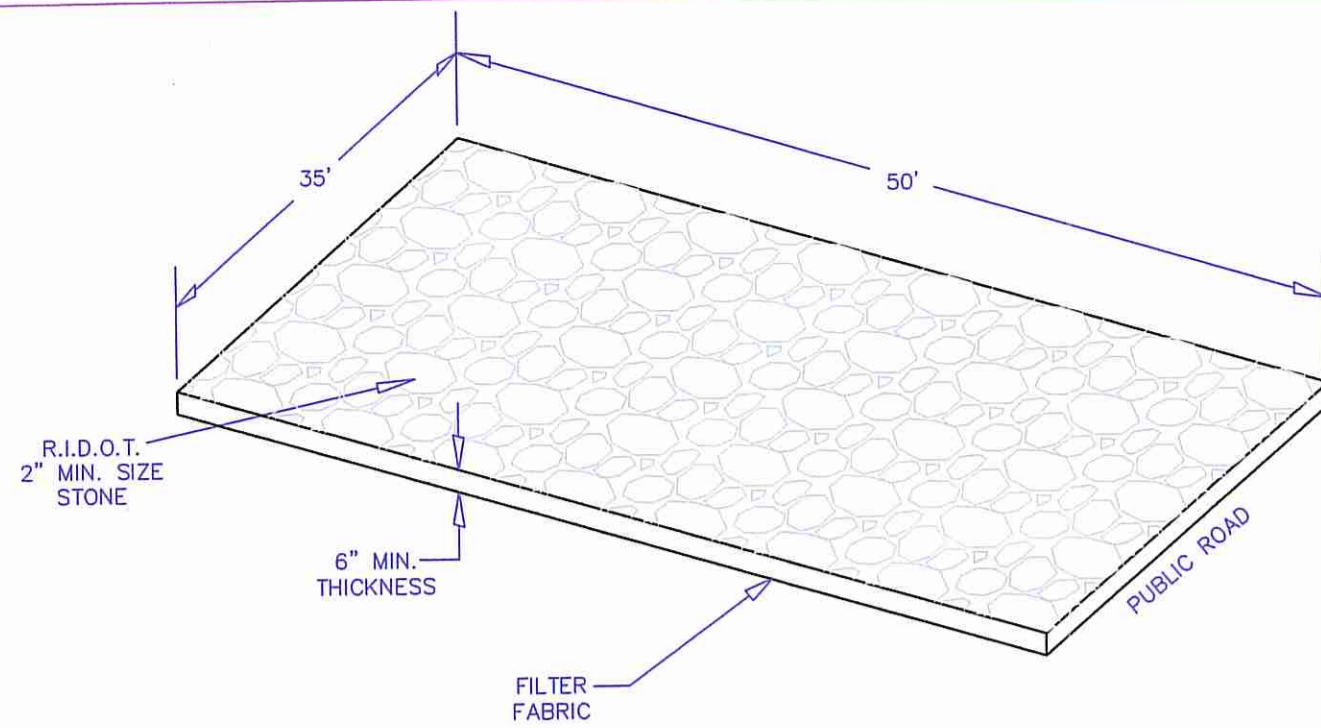
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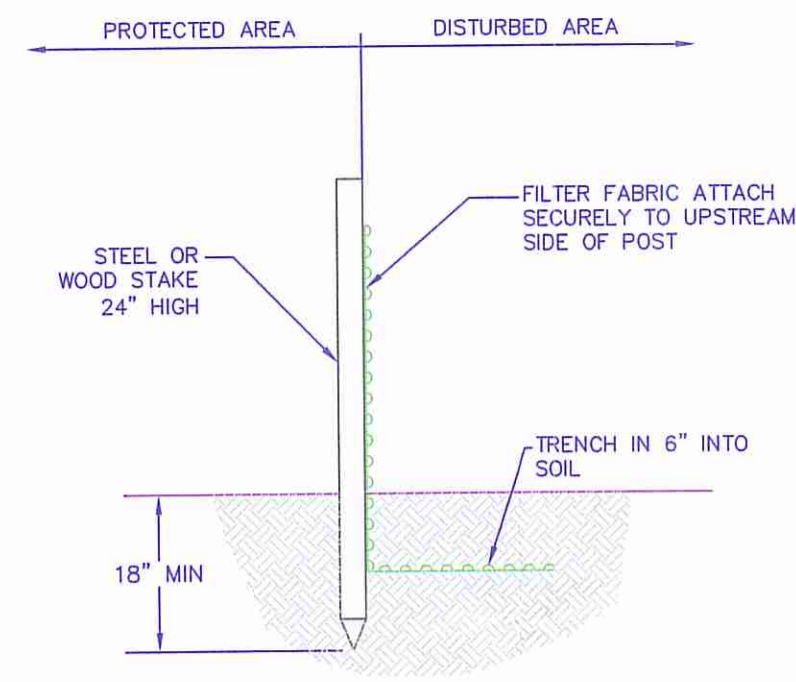
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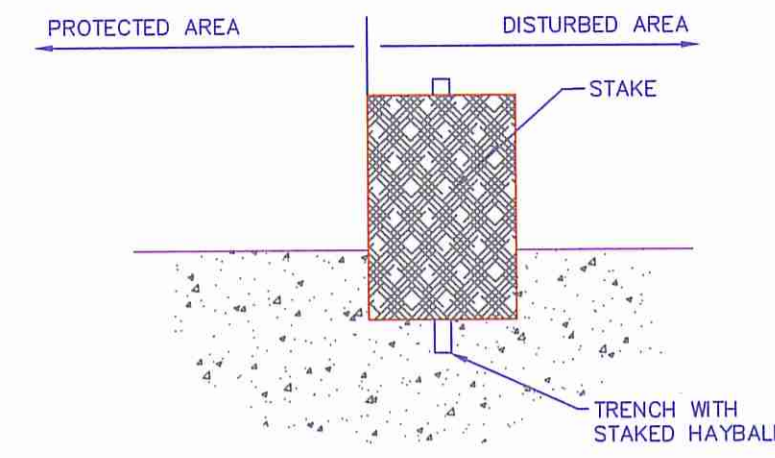
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**CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



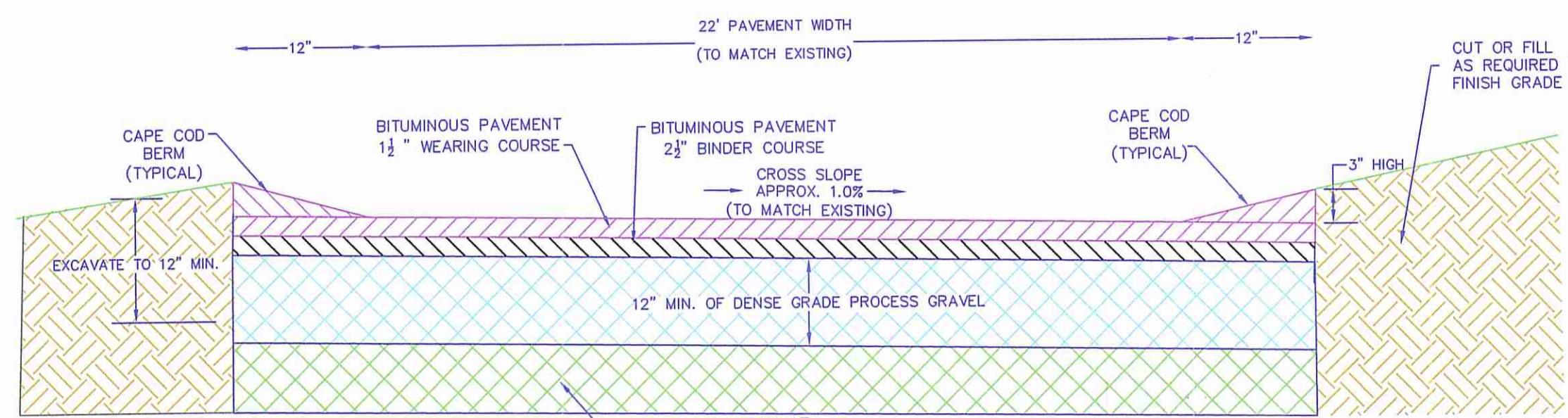
**SEDIMENT CONTROL BARRIER DETAIL**  
NOT TO SCALE



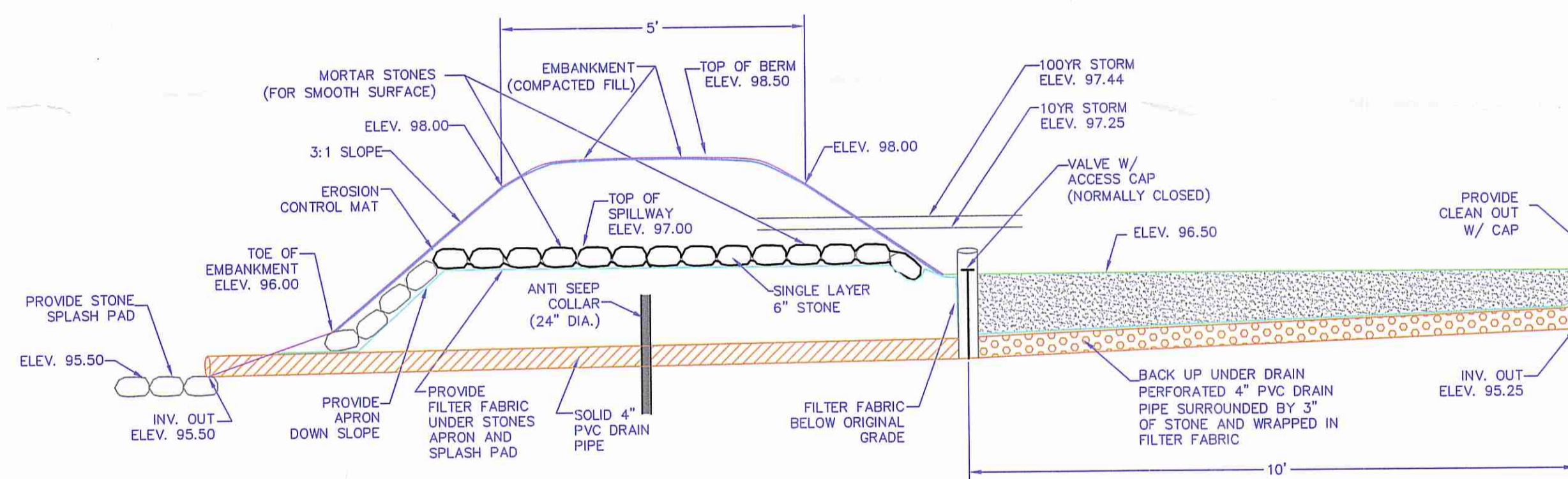
**STAKED HAYBALE EROSION CONTROL BARRIER**  
NOT TO SCALE

OTHER SUITABLE EROSION BARRIER MAY BE SUBSTITUTED FOR THE ABOVE I.E. STAKED HAYBALES OR STRAW WATTLES.

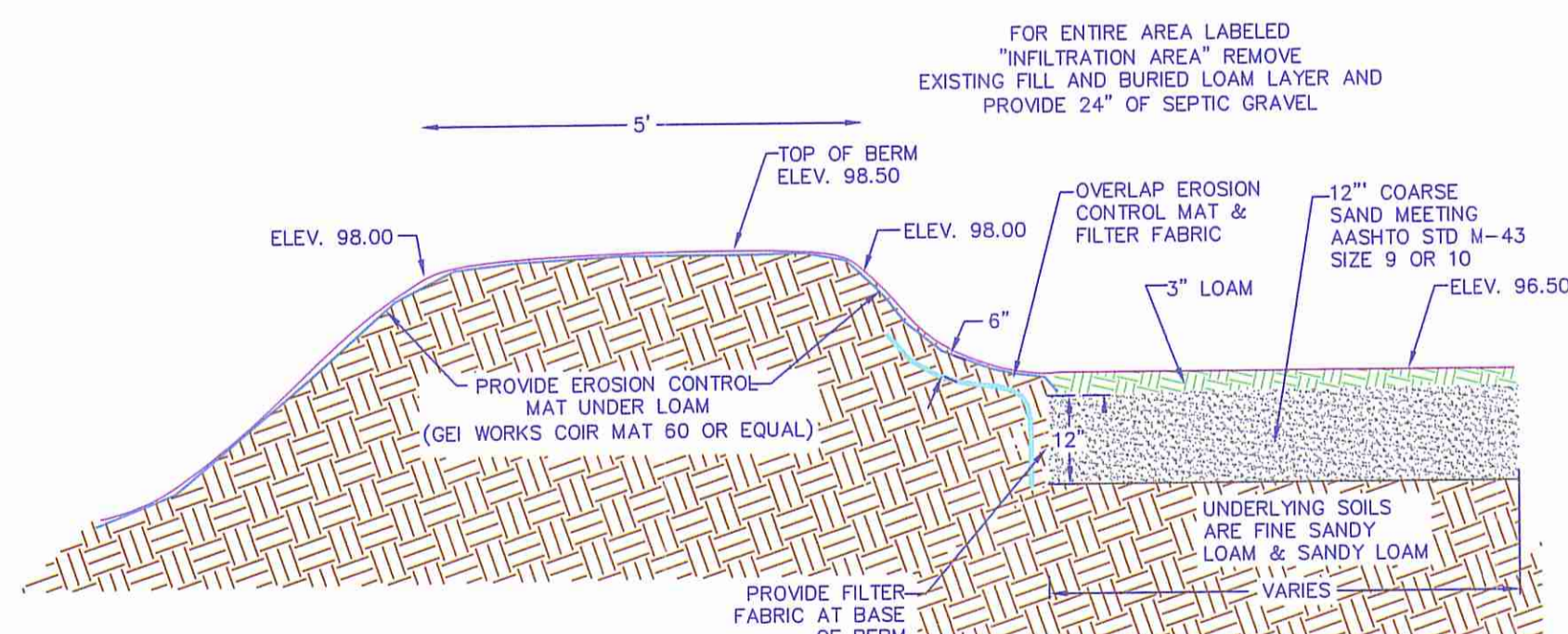
CONTRACTOR MAY ALSO USE COMPOST FILTER SUCH IN LIEU OF SILT FENCE OR HAYBALE



**ROADWAY CROSS SECTION A-A**  
NOT TO SCALE



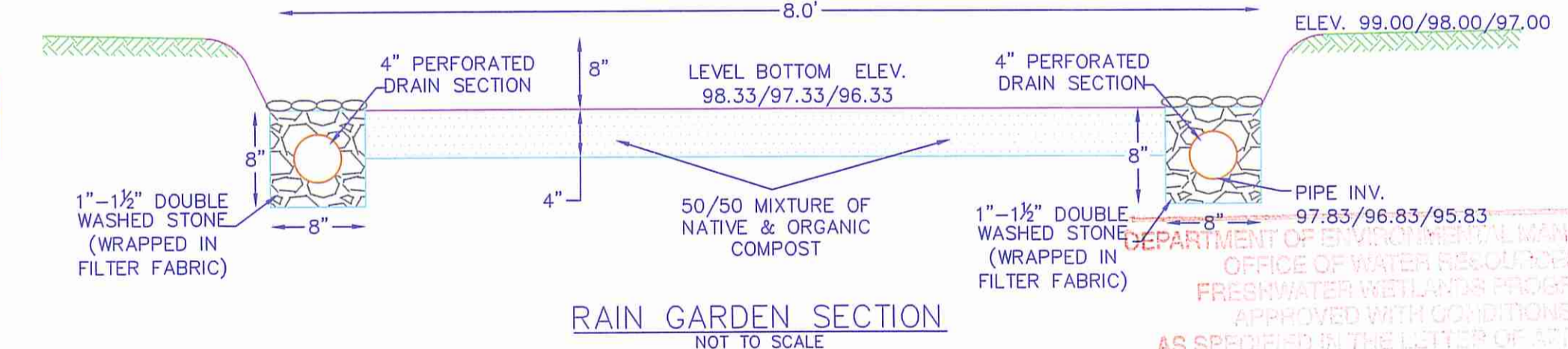
**SECTION B-B**  
SCALE: 1"=2'



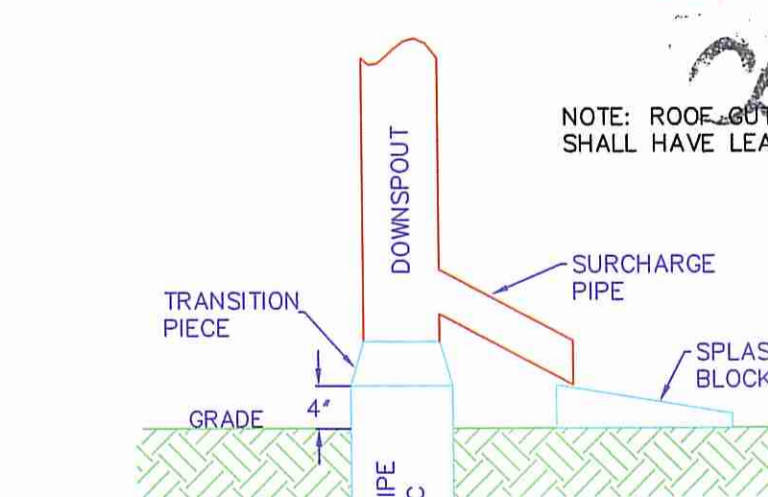
**SECTION C-C**  
SCALE: 1"=2'

NOTES:  
FOR AREA TO RECEIVE SAND FILTER MATERIAL REMOVE EXISTING SOIL MATERIAL AS REQUIRED AND REPLACE WITH SAND MEETING SPECIFICATIONS.

ENTIRE BASIN AND EMBANKMENT AREA SHALL RECEIVE EROSION CONTROL MAT AS SPECIFIED.



**RAIN GARDEN SECTION**  
NOT TO SCALE



**ROOF DRAIN OVERFLOW DETAIL**  
NOT TO SCALE

REFERENCES:  
APPENDIX B OR RI STORM WATER DESIGN MANUAL  
ORCM COASTAL PLANT GUIDE

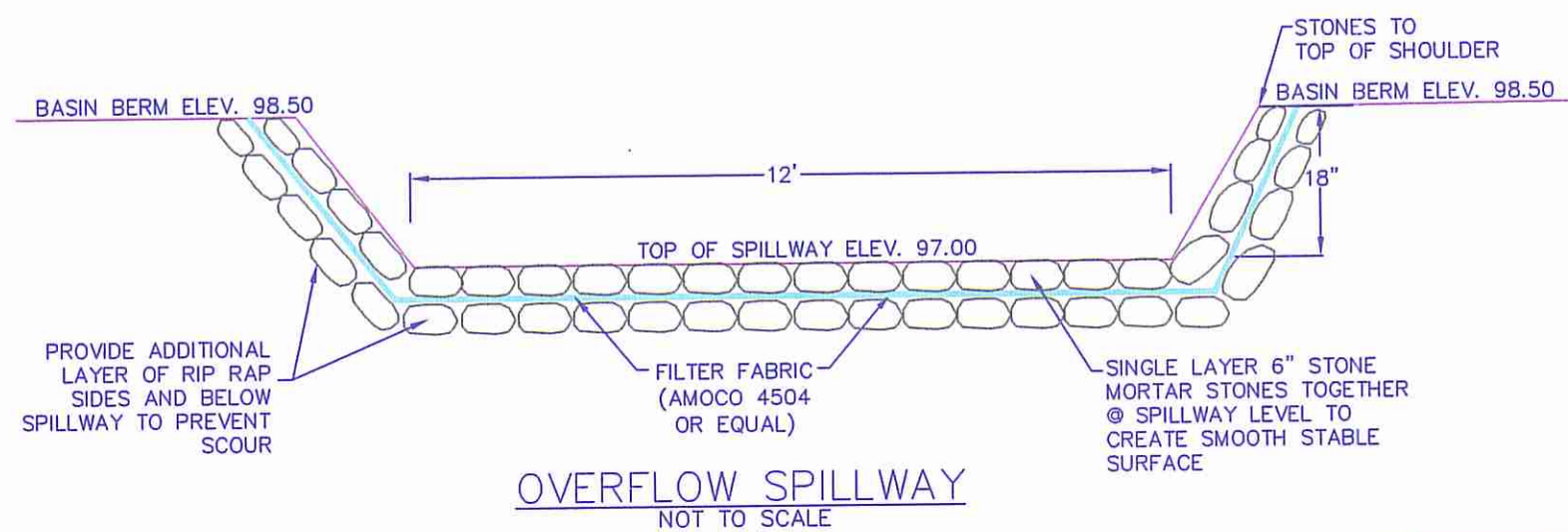
NOTE:  
RAIN GARDENS ARE A FORM OF BIO-RETENTION SYSTEM SUITABLE FOR RESIDENTIAL DEVELOPMENT AND HAVE BEEN DESIGNED IN ACCORDANCE WITH THE STATE OF RHODE ISLAND STORM WATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL DEVELOPMENT.

FOR 8" DEEP RAIN GARDEN:  
160 sf/1,000sf ROOF AREA (SILTY SOILS)  
NEW ROOF 1,040 sf  
REQUIRED AREA 1,040/1,000X160=166 sf  
AREA PROVIDED 8X24=192sf

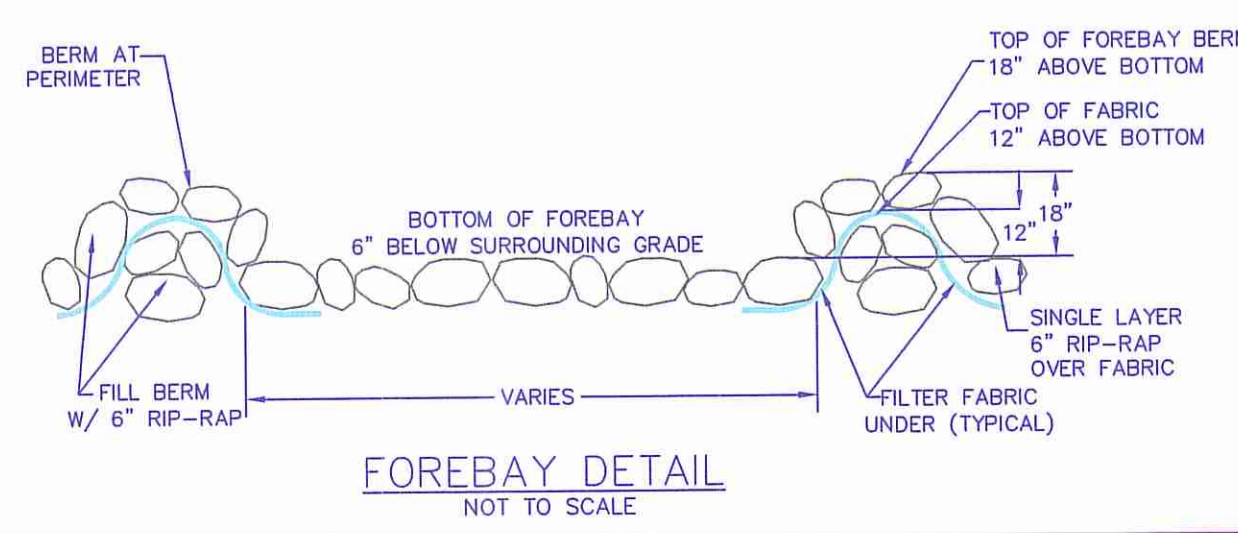
- PLANTINGS
- TUSsock SEDGE
  - BUTTERFLY MILKWEED
  - ORANGE CONEFLOWER
- PLANT EACH SPECIES, STAGGERED AS SHOWN.

ZONE: R-10  
MIN. AREA - 10,000 SF  
MIN. WIDTH/FRONTAGE - 80'  
MAX. LOT COVERAGE BY STRUCTURES: 25%

SETBACKS:  
FRONT - 30'  
SIDE - 15'  
REAR - 30'  
BUILDING HEIGHT - 35'



**OVERFLOW SPILLWAY**  
NOT TO SCALE



**FOREBAY DETAIL**  
NOT TO SCALE

NOTE:  
IN ORDER TO FACILITATE MAINTENANCE (REMOVAL OF SEDIMENT) DO NOT PLACE FILTER FABRIC UNDER STONE IN BOTTOM OF FOREBAY.

SITE ADDRESS:  
10 SAN FRANCISCO ST.  
BRISTOL, RI 02809

OWNER:  
SAN FRAN DEV. GROUP, LLC  
34 BROADCOMMON RD.  
BRISTOL, RI 02809

RON T. BLANCHARD  
REGISTERED PROFESSIONAL ENGINEER

NO.	REVISIONS	DATE
001	REVISIONS PER TOWN ENGINEER COMMENTS	6/7/18
002	PREPARED FOR FWW PERMIT	6/13/18
003	MINOR REVISIONS	10/19/18
004	PREPARED FOR FWW PERMIT	10/19/18

DSGN: RB  
DR: VS  
CHK: RB  
DATE: 3/21/17

**SEI**  
SITE ENGINEERING INC.  
CIVIL • COASTAL • STRUCTURAL

75 WOOD ST.  
BRISTOL, RI 02809  
PHONE: (401) 255-8221

RHODE ISLAND

**PROPOSED SUBDIVISION**  
SPECIFICATIONS & DETAILS  
10 SAN FRANCISCO ST. SUBDIVISION  
PLAT 90, LOT 11

SCALE: AS NOTED  
(SHEET 5 OF 5)  
**SB-5**

DEPARTMENT OF ENVIRONMENT & LAND MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLAND PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LATTER PART OF THIS DECISION  
DATED JAN 10 2018 FILE # 18-097  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

NOTE: ROOF GUTTERS SHALL HAVE LEAF GUARDS

PLANNING BOARD OFFICIAL