

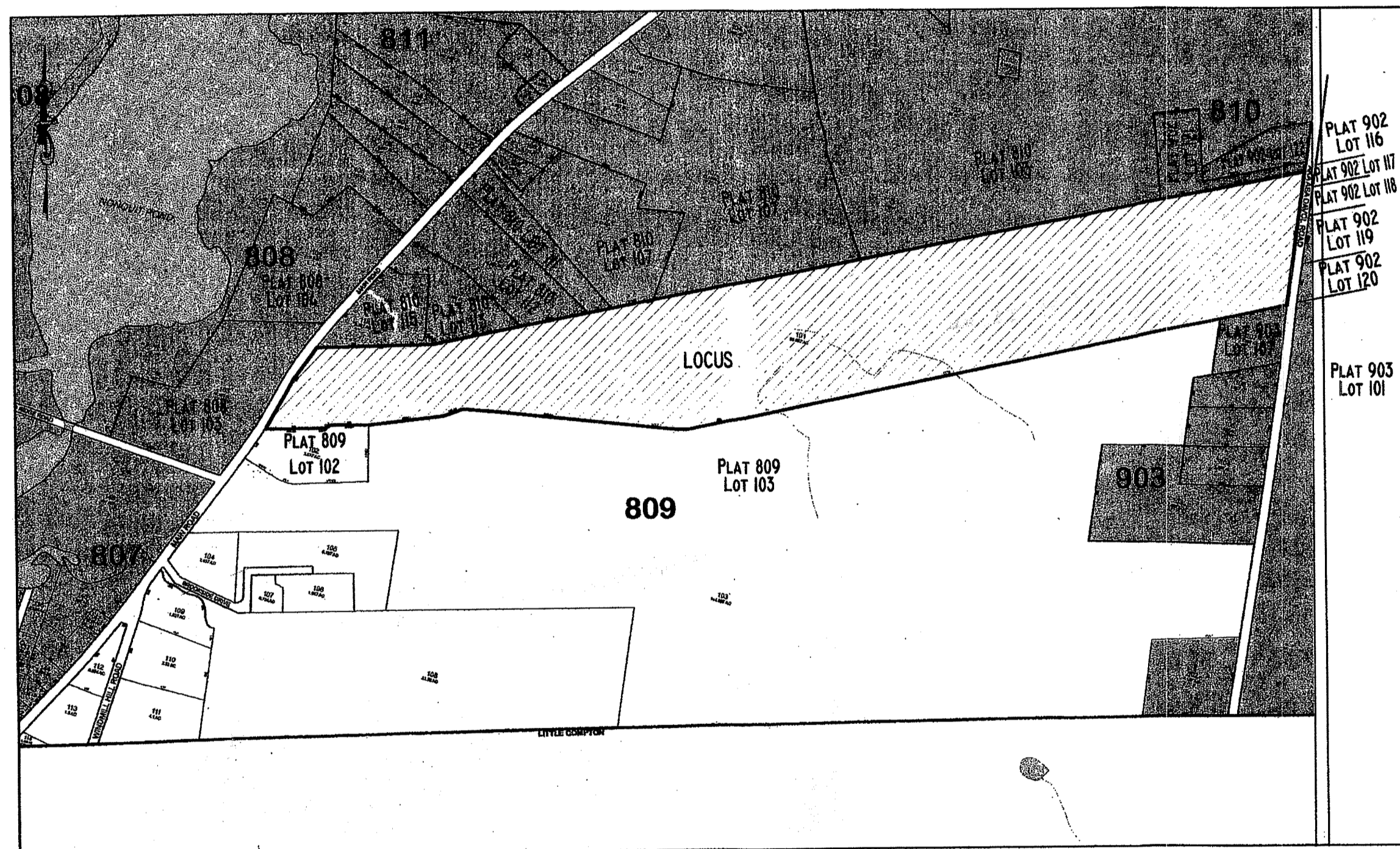
MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN COOK FARM

PLAT 809 LOT 101
MAIN ROAD & EIGHT ROD WAY (AKA ASA DAVOL ROAD)
TIVERTON, RHODE ISLAND

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 18-0329
DATED JUL 10 2019
SEE LETTER OF SAME DATE
Jonathan D. Johnson

SHEET INDEX

- SHEET I COVER SHEET
- SHEET 2 THRU 5 EXISTING CONDITIONS PLAN
- SHEET 6 THRU 9 PROPOSED SITE PLAN
- SHEET 10 COMMON DRIVEWAY PLAN & PROFILE AND P.A.P. DETAILS
- SHEET II DETAIL SHEET



ASSESSORS PLAT 809
NOT TO SCALE

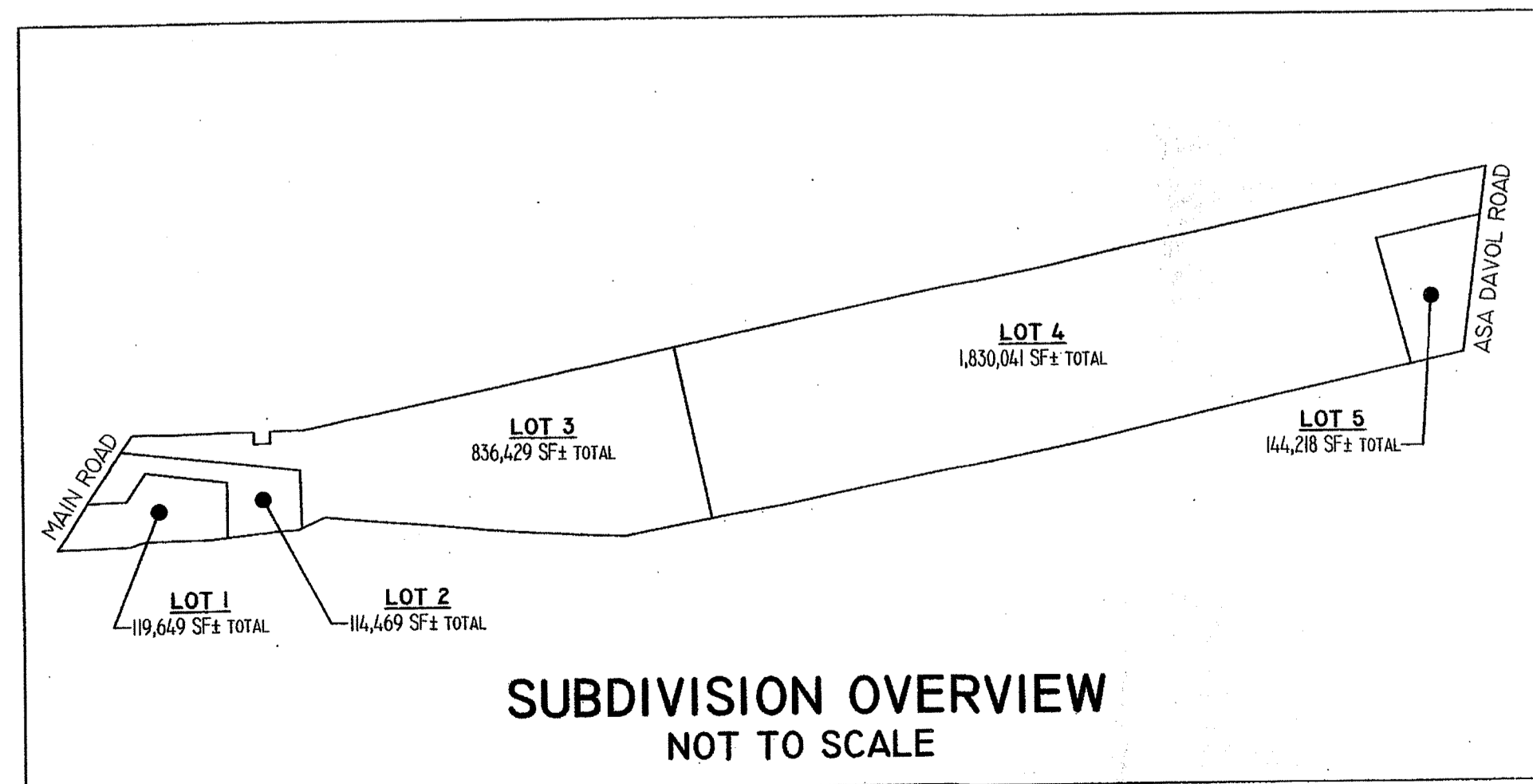


GEODETIC MAP
1" = 2080'±

LIST OF ABUTTERS* WITHIN 200'

PLAT	LOT	OWNER	PLAT	LOT	OWNER
809	102	EDWARD L. & MICHELLE E. FISHER 4398 MAIN ROAD TIVERTON, RI 02878	902	117	PAUL M. TRUPPI & DONNA M. GOULET-TRUPPI 408 ASA DAVOL ROAD TIVERTON, RI 02878
809	103	STATE OF RI & PROV. PLANTATIONS 235 PROMENADE STREET PROVIDENCE, RI 02908-5767	902	118	LOUIS R. III & LEIGH L. LYMAN, TRUSTEES 420 ASA DAVOL ROAD TIVERTON, RI 02878
903	101		902	119	WILLIAM J. & MARY L. WALKER 440 ASA DAVOL ROAD TIVERTON, RI 02878
808	103	MARK & SHARON MOORE 3119 MAIN ROAD TIVERTON, RI 02878	902	120	JON DANIEL & LINDSAY K. SMITH 466 ASA DAVOL ROAD TIVERTON, RI 02878
808	104	CAROL LEES WILLIAMS, ET ALS C/O CAROL L. WILLIAMS P.O. BOX 69 NEW LEBANON, NY 12125	902	121	BRUCE J. & SUSAN M. BETTENCOURT 403 ASA DAVOL ROAD TIVERTON, RI 02878
810	115		902	122	JOANNE BETTENCOURT, TRUSTEE 391 ASA DAVOL ROAD TIVERTON, RI 02878
810	103	RONALD G. POTTER, TRUSTEE ELAINE M. POTTER, TRUSTEE 70 LAKE ROAD TIVERTON, RI 02878	903	107	JAMES F. DIOTTE & ROBIN P. TOSTE 495 ASA DAVOL ROAD TIVERTON, RI 02878
810	107	JEREMY & PAULA SAGER 4202 MAIN ROAD TIVERTON, RI 02878	808	102	CITY OF NEWPORT 70 HALSEY STREET NEWPORT, RI 02840
810	110	BRADFORD E. DOWDY 4226 MAIN ROAD TIVERTON, RI 02878			TOWN OF LITTLE COMPTON, RI ADMINISTRATIVE OFFICE PLANNING BOARD P.O. BOX 226 LITTLE COMPTON, RI 02857
810	111	BRIAN D. & SHIRLEY A. DUPERE 4250 MAIN DRIVE TIVERTON, RI 02878			
810	112	MARCO DIRKS 4240 MAIN ROAD TIVERTON, RI 02878			
810	113	WILLIAM P. & AMY R. DEVEREAUX 30 LINCOLN DRIVE N. SMITHFIELD, RI 02896			
902	116	ROBERT R. QUINTIN 330 EIGHT ROD WAY TIVERTON, RI 02878			

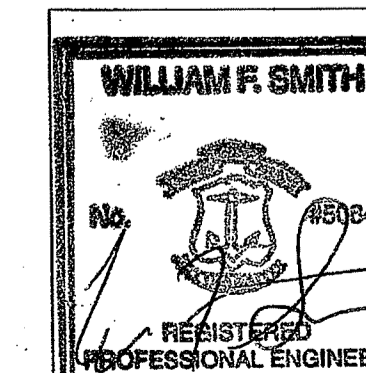
* SOURCE: TIVERTON ASSESSOR'S OFFICE



SUBDIVISION OVERVIEW
NOT TO SCALE

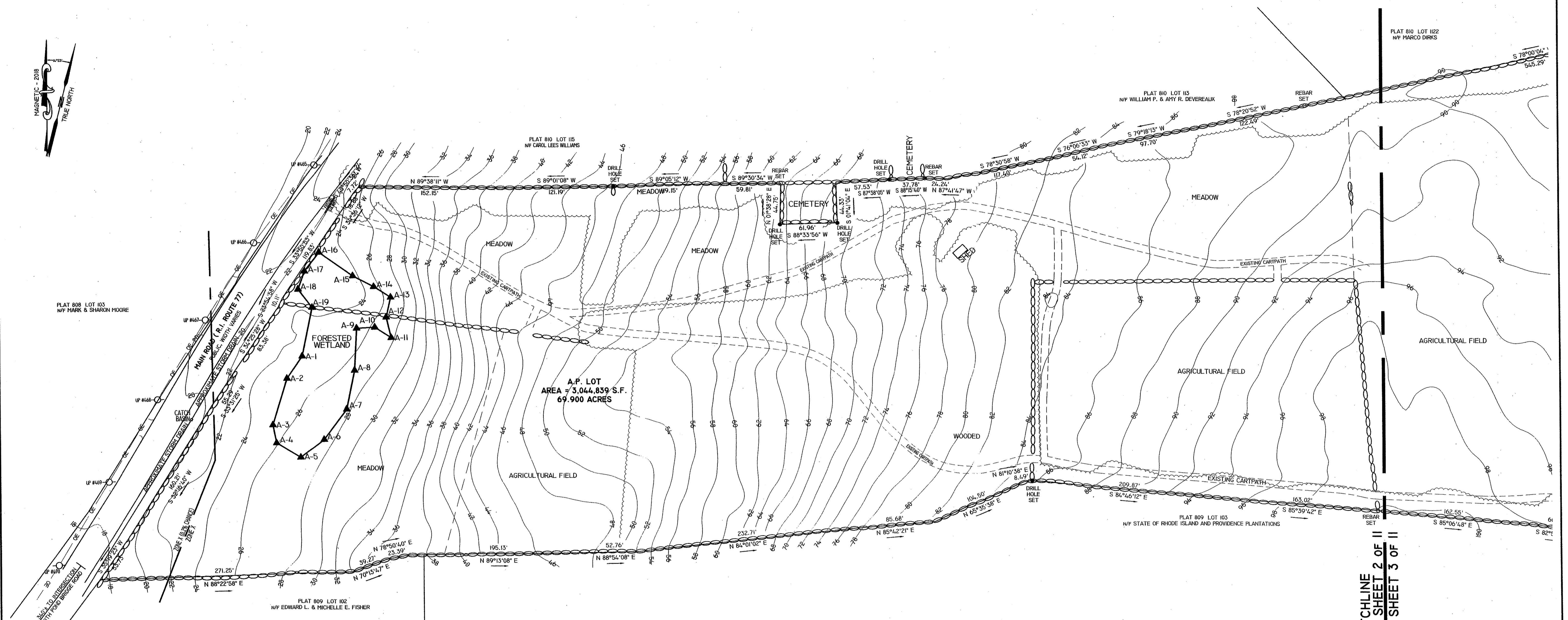
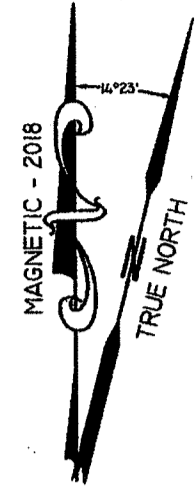
PURPOSE STATEMENT:

THE PURPOSE OF THIS PLAN IS TO GAIN PRELIMINARY PLAN APPROVAL FOR 5 LOT MINOR RURAL FRONTAGE SUBDIVISION IN ACCORDANCE WITH TIVERTON ZONING ORDINANCES. FRONTAGE FOR LOTS 1, 2, & 3 SHALL UTILIZE MAIN ROAD, AND LOTS 4 & 5 SHALL UTILIZE FRONTAGE ON EIGHT ROAD WAY (AKA ASA DAVOL ROAD) AND WILL HAVE INDIVIDUAL DRIVEWAYS. NO DESIGNATED OPEN SPACE IS PROPOSED.



#4: 6/10/19: NO CHANGE THIS SHEET
#3: 04/09/19: REVISE INDEX
#2: 02/21/19: ADD SUBDIVISION OVERVIEW
#1: 01/09/19: NO REVISIONS THIS SHEET
REVISIONS:

MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN
COVER SHEET
COOK FARM
ASSESSORS PLAT 809 LOT 101
MAIN ROAD & EIGHT ROD WAY (A.K.A. ASA DAVOL ROAD)
TIVERTON, RHODE ISLAND
PREPARED FOR:
OWNER/APPLICANT:
FOGLAND, LLC. (C/O DEBORAH SANFORD)
75 SEARS ROAD
SOUTHBOROUGH, MA 01772
SCALE: AS NOTED DATE: NOVEMBER 15, 2018
Civil Engineering Concepts, Inc.
34A MAIN STREET P.O. BOX 5323
LITTLE COMPTON, RI 02857 NEW BEDFORD, MA. 02742
PH: (401) 592-0177 (508) 990-4900
FAX: (401) 592-0178 EMAIL: wsmithccc@aol.com
SHEET 1 OF 11 JOB#: 03-043



PLAT 808 LOT 103
W/F MARK & SHARON MOORE

PLAT 809 LOT 102
W/F EDWARD L. & MICHELLE E. FISHER

PLAT 810 LOT 115
W/F CAROL LEES WILLIAMS

PLAT 810 LOT 115
W/F WILLIAM P. & AMY R. DEVEREAUX

PLAT 810 LOT 1122
W/F MARCO DIRKS

PLAT 809 LOT 103
W/F STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

A.P. LOT
AREA = 3,044,839 S.F.
69.900 ACRES

SURVEY REFERENCES
PLAN ENTITLED: "SURVEY PLAN OF PARCEL 'B' PLAT 2-1 BLOCK 25 LOT 29 TOWN OF TIVERTON, RI", PREPARED BY SEIGHUND AND ASSOCIATES AND FILED IN PLAN BOOK 20 ON PAGES 45-51.
PLAN ENTITLED: "PLAN OF LAND FRANCIS E. & DELIA S. COTTA BLOCK 125 CARD 28 ASA DAVOL ROAD & MAIN ROAD TIVERTON, RHODE ISLAND", DATED APRIL 10, 2000 AND PREPARED BY CIVIL ENGINEERING CONCEPTS, INC. (DONALD J. MEDEIROS, PLS)

- LEGEND**
- 104- EXISTING 2' CONTOUR (RIGIS)
 - STONE WALL
 - DELINEATED WETLAND EDGE
 - 50' PERIMETER WETLAND
 - UTILITY POLE
 - EXISTING OVERHEAD UTILITIES

NOTES:

- 1) **PURPOSE STATEMENT:**
THE PURPOSE OF THIS PLAN IS TO GAIN PRELIMINARY PLAN APPROVAL FOR 5 LOT MINOR RURAL FRONTAGE SUBVISION IN ACCORDANCE WITH TIVERTON ZONING ORDINANCES. FRONTAGE FOR LOTS 1, 2, & 3 SHALL UTILIZE MAIN ROAD, AND LOTS 4 & 5 SHALL UTILIZE FRONTAGE ON EIGHT ROAD WAY (AKA ASA DAVOL ROAD) AND WILL HAVE INDIVIDUAL DRIVEWAYS. NO DESIGNATED OPEN SPACE IS PROPOSED.
- 2) **OWNER:** FOGLEND, LLC.
C/O DEBORAH SANFORD
75 SEARS ROAD
SOUTHBORO, MA 01772
- 3) **ASSESSORS REFERENCE:** PLAT 809 LOT 101
- 4) **ZONE:** R-80
- 5) THE SUBJECT PARCEL IS LOCATED WITHIN THE NONQUIT POND WATERSHED OVERLAY PROTECTION DISTRICT AND IS SUBJECT TO THE PROVISIONS THEREOF.
- 6) **WETLANDS DELINEATION** PERFORMED BY NATURAL RESOURCE SERVICES, INC. RIDEM WETLAND EDGE VERIFICATION IS PENDING.
- 7) A PORTION OF THE SITE IS LOCATED WITHIN A ZONE X, AREA OF 0.2% CHANCE OF FLOOD HAZARD. THE REMAINING MAJORITY OF THE SITE IS LOCATED IN A ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS INDICATED ON FEMA FIRM MAP 44005C0112J, EFFECTIVE DATE 9/14/2013.
- 8) THIS PLAN IS A CONCEPTUAL SKETCH OF A POTENTIAL RURAL FRONTAGE SUBDIVISION OF PLAT 809 LOT 101.
- 9) **DEVELOPMENT/SUBDIVISION OF LOTS WILL BE SUBJECT TO RIDEM APPROVALS OF SUBDIVISION SITE SUITABILITY, ON-SITE WASTEWATER TREATMENT SYSTEMS (OWTS), RIDEM WETLAND EDGE VERIFICATION & PERMITS, RIDOT PHYSICAL ALTERATION PERMIT, & TIVERTON PLANNING BOARD APPROVAL.** INDIVIDUAL RESIDENTIAL LOTS SHALL BE SERVICE BY OVERHEAD UTILITIES, RIDEM APPROVED ON-SITE WASTEWATER TREATMENT SYSTEMS, RAIN GARDENS AND PERVIOUS DRIVEWAYS DESIGNED IN ACCORDANCE WITH RHODE ISLAND STORMWATER MANAGEMENT DESIGN MANUAL. RIDEM OWTS APPROVAL FOR INDIVIDUAL LOTS IS PENDING. RIDOT CURB CUT FOR THE COMMON DRIVEWAY IS PENDING.
- 9) **DENSITY CALCULATIONS:**
R-80:
 $1,456,052 \text{ SF} \pm$ (TOTAL SUITABLE AREA EXCLUDING ANY PROP. ROADS) = 18.6 or 18 UNITS
80,000 SF (ZONING)
WATERSHED PROTECTION OVERLAY DISTRICT (NONQUIT POND, PRIMARY):
 $3,044,839 \text{ SF} \pm$ (TOTAL PROPERTY AREA) = 23.3 or 23 UNITS
130,680 SF (DENSITY PER UNIT)
- 10) **ZONING REQUIREMENTS:**
R-80
MINIMUM LOT AREA = 80,000 SF
FRONT YARD = 50 FEET
SIDE YARD = 35 FEET
REAR YARD = 80 FEET
MINIMUM LOT WIDTH = 200 FEET
LOT COVERAGE = 10%
R-80 RURAL RESIDENTIAL
MINIMUM LOT AREA = 30,000 SF (80,000 SF REQUIRED)**
FRONT YARD = 40 FEET
SIDE YARD = 20 FEET
REAR YARD = 40 FEET
MINIMUM LOT WIDTH = 120 FEET
LOT COVERAGE = 4,750 (10% REQUIRED)**
(**50% OF SUITABLE LAND NOT PROVIDED AS OPEN SPACE)

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE	COMPREHENSIVE BOUNDARY SURVEY
CLASS	CLASS 1 (UNLESS NOTED OTHERWISE)
VERTICAL CONTROL STANDARD	V-4
TOPOGRAPHIC SURVEY ACCURACY	T-3*

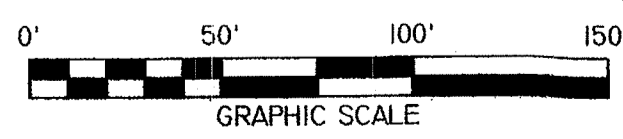
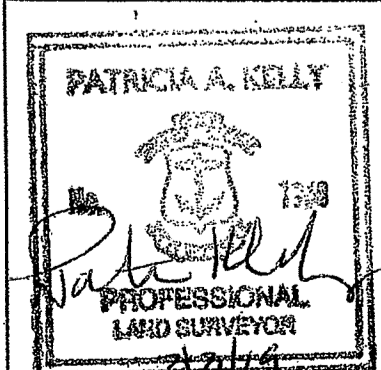
PURPOSE:
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Patricia A. Kelly
PATRICIA A. KELLY, PLS #1968 COA #A402

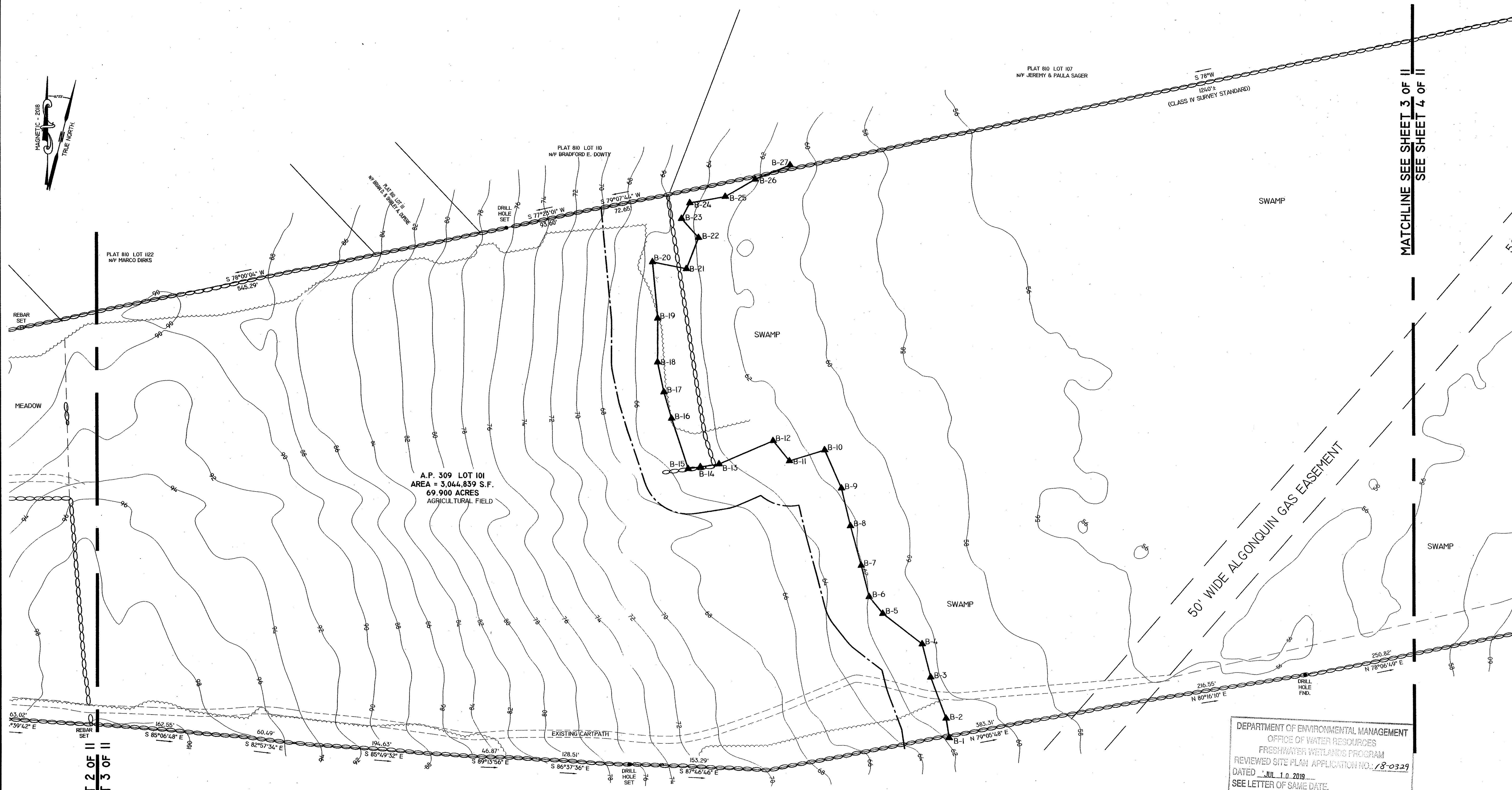
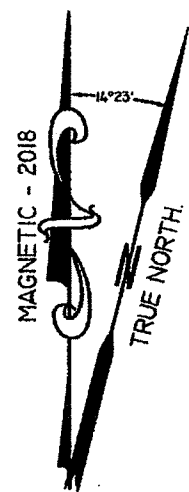
MATCHLINE
SEE SHEET 2 OF 11
SEE SHEET 3 OF 11

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 18-0329
DATED JUL 10, 2018
SEE LETTER OF SAME DATE.

MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN
EXISTING CONDITIONS PLAN
COOK FARM
ASSESSORS PLAT 809 LOT 101
MAIN ROAD & EIGHT ROD WAY (AKA ASA DAVOL ROAD)
TIVERTON, RHODE ISLAND
PREPARED FOR
OWNER/APPLICANT:
FOGLEND, LLC. (C/O DEBORAH SANFORD)
75 SEARS ROAD
SOUTHBOROUGH, MA 01772
SCALE: 1" = 50' DATE: NOVEMBER 15, 2018
Civil Engineering Concepts, Inc.
34A MAIN STREET
LITTLE COMPTON, RI 02857
PH: (401) 592-0177
FAX: (401) 592-0178
P.O. BOX 5523
NEW BEDFORD, MA 02742
(508) 990-4900
EMAIL: wsmithccc@aol.com
JOB#: 03-043



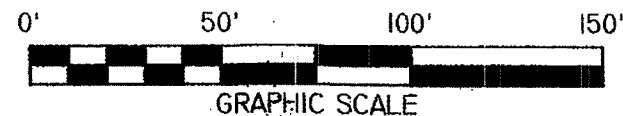
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#3: 04/09/19: NO CHANGE THIS SHEET
#2: 02/21/19: NO REVISIONS THIS SHEET
#1: 01/09/19: NO REVISIONS THIS SHEET
REVISIONS:



MATCHLINE SEE SHEET 2 OF 11
SEE SHEET 3 OF 11

MATCHLINE SEE SHEET 3 OF 11
SEE SHEET 4 OF 11

- LEGEND**
- EXISTING 2' CONTOUR (RIGIS)
 - STONE WALL
 - DELINEATED WETLAND EDGE
 - 50' PERIMETER WETLAND
 - UTILITY POLE
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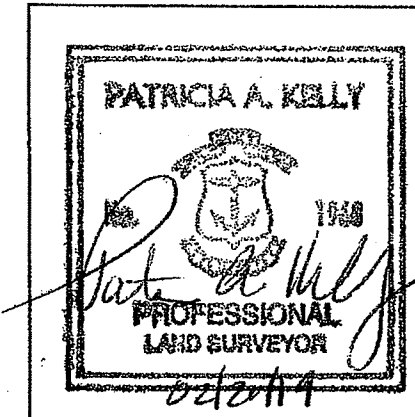


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TOPOGRAPHIC SURVEY ACCURACY	T-3*

PURPOSE
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Patricia A. Kelly
 PATRICIA A. KELLY, PLS #0668 COA #A4-02



SEE SHEET 2 FOR PLAN NOTES & SURVEY REFERENCES

#4: 6/10/19: NO CHANGE THIS SHEET
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#1: 01/09/19: NO REVISIONS THIS SHEET
REVISIONS:

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 OFFICE OF WATER RESOURCES
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 DATED JUL 10, 2019
 SEE LETTER OF SAME DATE.

MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN
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COOK FARM
 ASSESSORS PLAT 809 LOT 101
 MAIN ROAD & EIGHT ROD WAY (AKA ASA DAVOL ROAD)
 TIVERTON, RHODE ISLAND

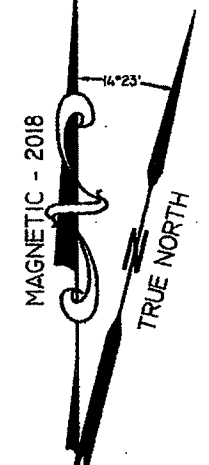
PREPARED FOR
 OWNER/APPLICANT:
 FOGLAND, LLC. (c/o DEBORAH SANFORD)
 75 SEARS ROAD
 SOUTHBOROUGH, MA 01772

SCALE: 1" = 50' DATE: NOVEMBER 15, 2018

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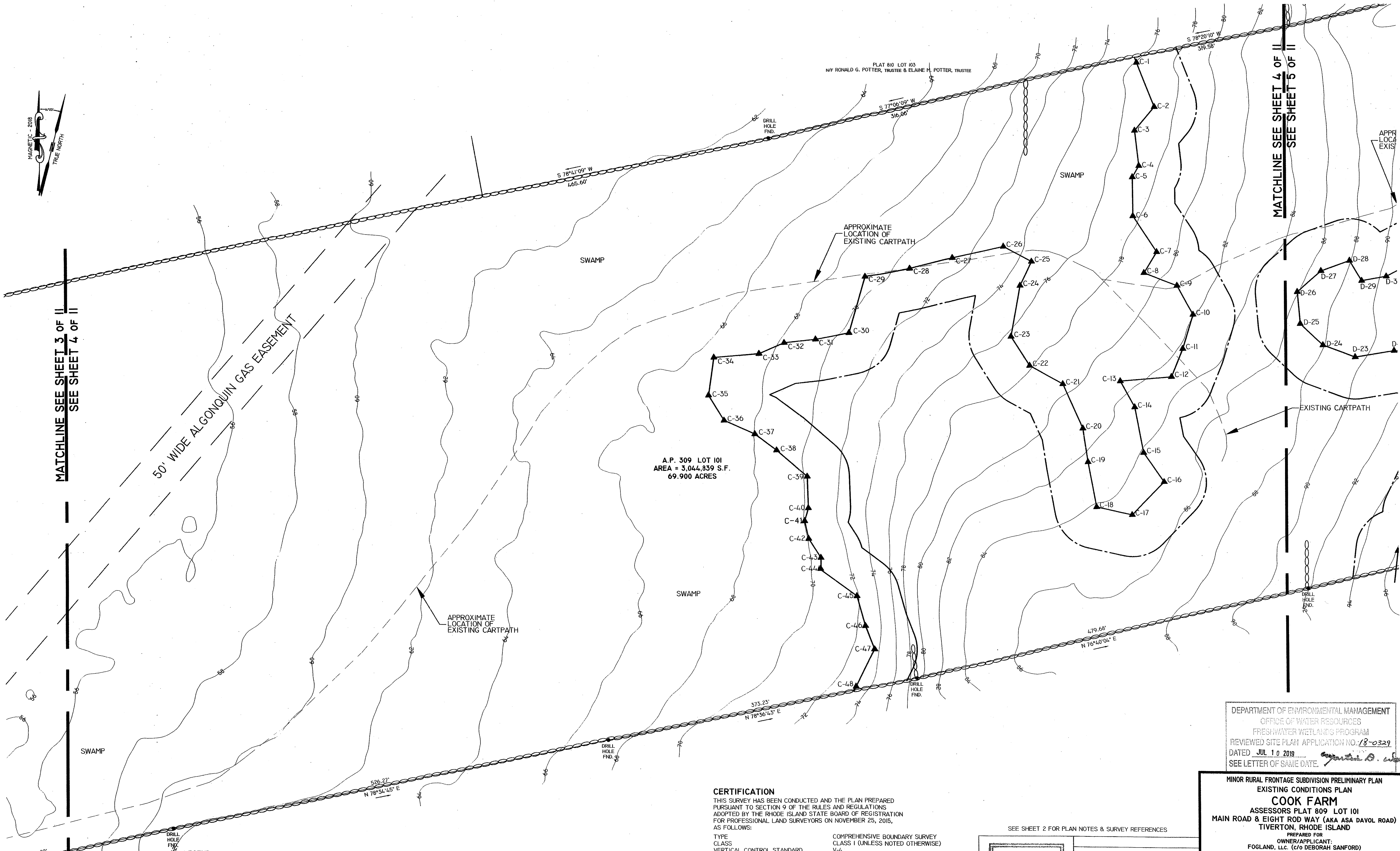
P.O. BOX 5325
 NEW BEDFORD, MA. 02742
 (508) 990-4900

SHEET 3 OF 11 JOB#: 03-043



MATCHLINE SEE SHEET 3 OF 11
SEE SHEET 4 OF 11

50' WIDE ALGONQUIN GAS EASEMENT



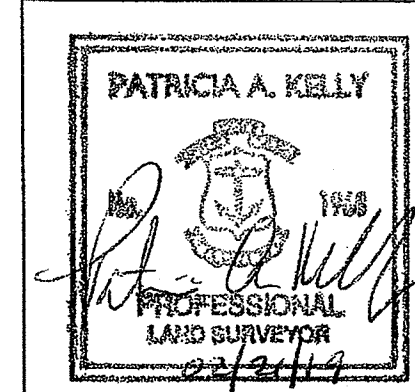
MATCHLINE SEE SHEET 4 OF 11
SEE SHEET 5 OF 11

APPR
LOCA
EXIS

EXISTING CARTPATH

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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CLASS: CLASS I (UNLESS NOTED OTHERWISE)
VERTICAL CONTROL STANDARD: V-4
TOPOGRAPHIC SURVEY ACCURACY: T-3*
PURPOSE: THIS PLAN AND SURVEY WERE PREPARED TO ACCOMPANY AN APPLICATION FOR A MINOR RURAL FRONTAGE SUBDIVISION. *THE TOPOGRAPHY WAS TAKEN FROM THE RIGIS DATABASE AND FIELD VERIFIED.
PATRICIA A. KELLY, PLS #1968 DA #A4.02

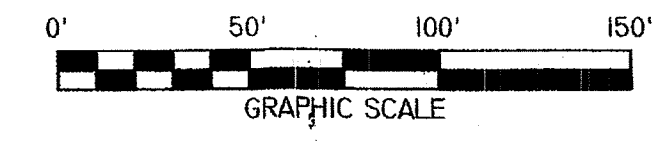


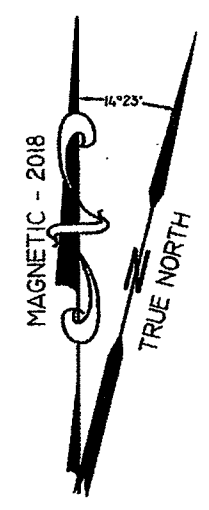
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#4: 6/10/19: NO CHANGE THIS SHEET
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#1: 01/09/19: NO REVISIONS THIS SHEET
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MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN
EXISTING CONDITIONS PLAN
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SHEET 4 OF 11

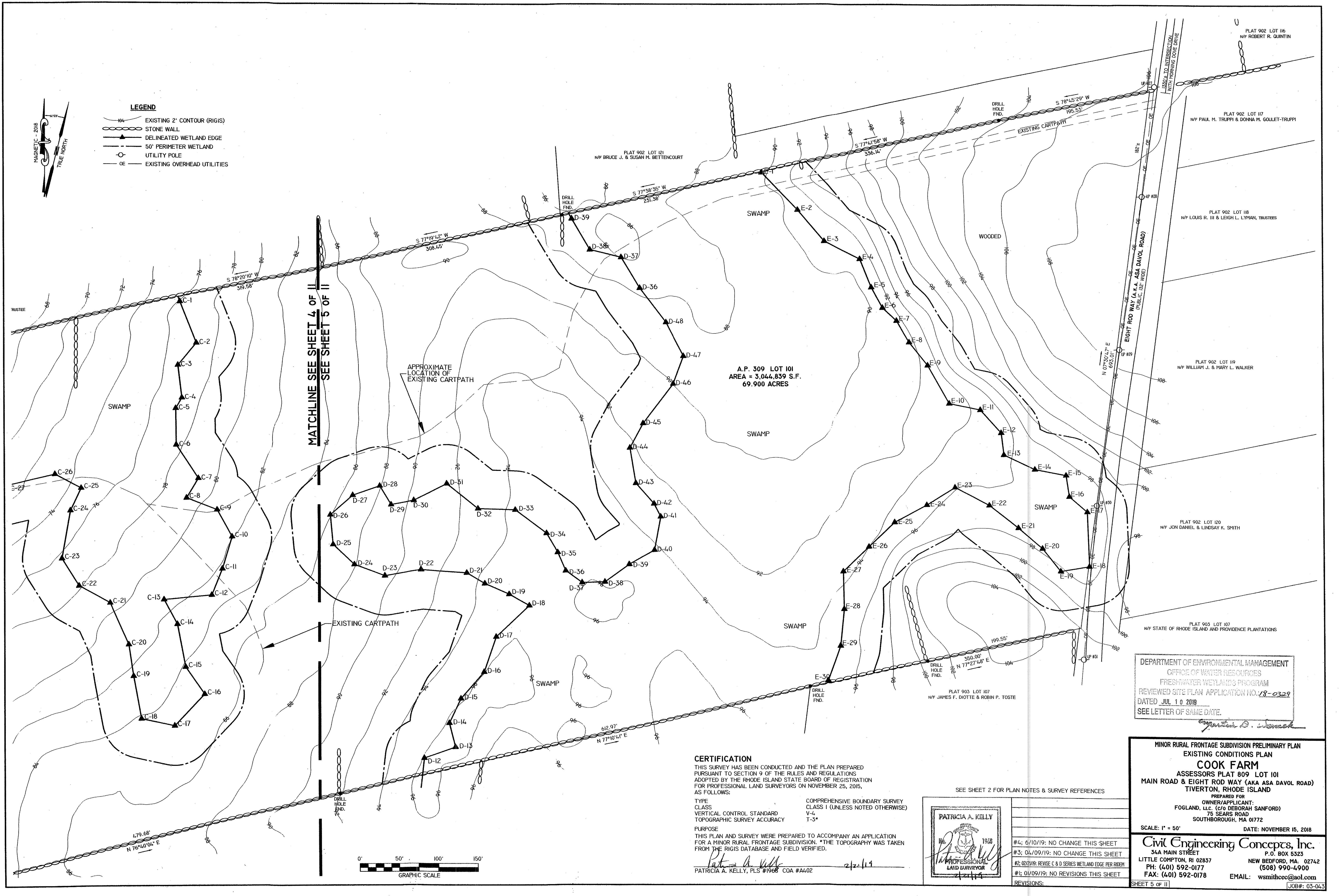
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- 104- EXISTING 2' CONTOUR (RIGIS)
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 - UTILITY POLE
 - OE EXISTING OVERHEAD UTILITIES





LEGEND

- 2' CONTOUR (RIGIS)
- STONE WALL
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MATCHLINE SEE SHEET 4 OF 11
SEE SHEET 5 OF 11

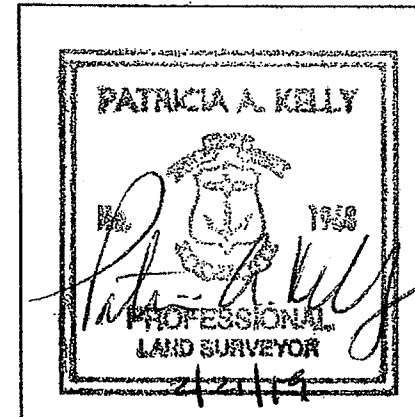
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Patricia A. Kelly
PATRICIA A. KELLY, PLS #1968 COA #A602 2/2/19

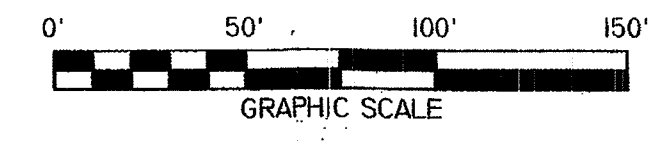


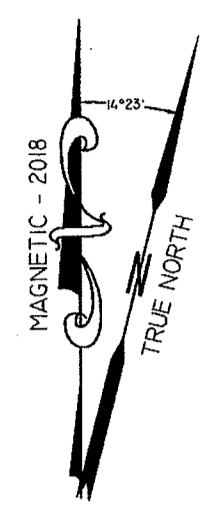
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P.O. BOX 5323
NEW BEDFORD, MA 02742
(508) 990-4900
EMAIL: wsmithcec@aol.com
SHEET 5 OF 11





REFER TO SHEET 10 FOR DETAILS AND NOTES RELATED TO P.A.P. WORK AND RESETTING OF CULVERT AT THE COMMON DRIVEWAY ENTRANCE

PROPOSED 30' LONG, 2' WIDE SAWCUT AT INTERSECTION OF 16' WIDE COMMON DRIVEWAY AND MAIN ROAD (SEE DETAILS ON SHEET 10)

BENCHMARK = NAIL SET IN ASPHALT = ELEV. 23.19 (TO BE TRANSFERRED BY DESIGNER WITHIN 100' OF PROPOSED OWTS PRIOR TO START OF CONSTRUCTION)

EXISTING SWALE RECENTLY MAINTAINED BY RIDOT

PLAT 808 LOT 103 N/F MARK & SHARON MOORE

EXISTING 12" DIA. CMP CULVERT INVERT IN = 19.3

MAIN ROAD (R.I. ROUTE 77)

PROPOSED LOT 1
TOTAL AREA = 119,649 SF±
SUITABLE AREA = 117,633 SF±

PROPOSED LOT 2
TOTAL AREA = 114,469 SF±
SUITABLE AREA = 75,473 SF±

PROPOSED LOT 3
TOTAL AREA = 836,429 SF±
SUITABLE AREA = 664,271 SF±

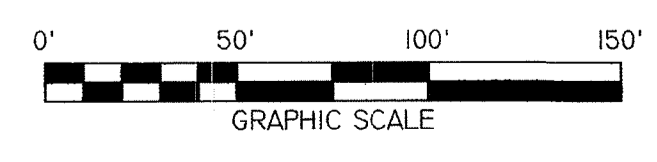
LOT #	TOTAL AREA	SUITABLE AREA	UNSUITABLE AREA
1	119,649 SF±	117,633 SF±	WETLANDS
2	114,469 SF±	75,473 SF±	EASEMENTS & WETLANDS
3	836,429 SF±	664,271 SF±	EASEMENT & WETLANDS
4	1,830,041 SF±	561,872 SF±	WETLANDS
5	144,218 SF±	99,666 SF±	WETLANDS

LEGEND

- 104' EXISTING 2" CONTOUR (RIGIS)
- STONE WALL
- DELINEATED WETLAND EDGE
- 50' PERIMETER WETLAND
- UTILITY POLE
- EXISTING OVERHEAD UTILITIES
- BUILDING ENVELOPE
- APPROXIMATE EDGE OF VEGETATION
- SOIL EVALUATION TEST PIT
- PROPOSED OVERHEAD UTILITIES
- PROPOSED UNDERGROUND ELECTRIC UTILITIES
- PROPOSED UNDERGROUND TELCOM & CATV UTILITIES
- PROPOSED UTILITY POLE
- PROPOSED CONTOUR
- PROPOSED COMPOST FILTER SOCK OR SILT FENCE EROSION CONTROL (R1 STANDARD 9.2.0 OR COMPOST FILTER SOCK SPEC.) = LIMITS OF DISTURBANCE
- PROPOSED CONCRETE BOUND
- PROPOSED DRILL HOLE OR REBAR (UNLESS NOTED OTHERWISE)
- PROPOSED CONSTRUCTION ENTRANCE (R1 STANDARD 9.9.0)
- 125' TOWN OWTS SETBACK TO CERTAIN WATER BODIES, ARTICLE VI, SECTION 7
- 30' WIDE NO DISTURBANCE ZONE AROUND CEMETERIES
- COMMON DRIVEWAY, UTILITY AND STORM DRAINAGE EASEMENT
- PROPOSED TURF REINFORCEMENT MAT
- 100' TOWN RURAL SUBDIVISION SETBACK TO WETLANDS

NOTES:

- 1) PURPOSE STATEMENT:
THE PURPOSE OF THIS PLAN IS TO GAIN PRELIMINARY PLAN APPROVAL FOR 5 LOT MINOR RURAL FRONTAGE SUBDIVISION IN ACCORDANCE WITH TIVERTON ZONING ORDINANCES. FRONTAGE FOR LOTS 1, 2, & 3 SHALL UTILIZE MAIN ROAD, AND LOTS 4 & 5 SHALL UTILIZE FRONTAGE ON EIGHT ROD WAY (AKA ASA DAVOL ROAD) AND WILL HAVE INDIVIDUAL DRIVEWAYS. NO DESIGNATED OPEN SPACE IS PROPOSED.
- 2) OWNER: FOGLELAND, LLC
C/O DEBORAH SANFORD
75 SEARS ROAD
SOUTHBOROUGH, MA 01772
- 3) ASSESSORS REFERENCE: PLAT 809 LOT 101
- 4) ZONE: R-80
- 5) THE SUBJECT PARCEL IS LOCATED WITHIN THE NONQUIT POND WATERSHED OVERLAY PROTECTION DISTRICT AND IS SUBJECT TO THE PROVISIONS THEREOF.
- 6) WETLANDS DELINEATION PERFORMED BY NATURAL RESOURCE SERVICES, INC. RIDEW WETLAND EDGE VERIFICATION IS PENDING.
- 7) A PORTION OF THE SITE IS LOCATED WITHIN A ZONE X, AREA OF 0.2% CHANCE OF FLOOD HAZARD. THE REMAINING MAJORITY OF THE SITE IS LOCATED IN A ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS INDICATED ON FEMA FIRM MAP 44065C012J, EFFECTIVE DATE 9/14/2015.
- 8) THIS PLAN IS A PROPOSAL FOR A RURAL FRONTAGE SUBDIVISION OF PLAT 809 LOT 101.
- 9) DEVELOPMENT/SUBDIVISION OF LOTS WILL BE SUBJECT TO RIDOT APPROVALS OF SUBDIVISION SITE SUITABILITY, ON-SITE WASTEWATER TREATMENT SYSTEMS (OWTS), RIDOT WETLAND EDGE VERIFICATION & PERMITS, RIDOT PHYSICAL ALTERATION PERMIT, & TIVERTON PLANNING BOARD APPROVAL. INDIVIDUAL RESIDENTIAL LOTS SHALL BE SERVICED BY UNDERGROUND UTILITIES. RIDOT APPROVED ON-SITE WASTEWATER TREATMENT SYSTEMS, RAIN GARDENS AND PERVIOUS DRIVEWAYS DESIGNED IN ACCORDANCE WITH RHODE ISLAND STORMWATER MANAGEMENT DESIGN MANUAL. RIDOT OWTS APPROVAL FOR INDIVIDUAL LOTS IS PENDING. RIDOT CURB CUT FOR THE COMMON DRIVEWAY IS PENDING.
- 10) DENSITY CALCULATIONS:
R-80:
1,456,052 SF± (TOTAL SUITABLE AREA EXCLUDING ANY PROP. ROADS) = 18.6 OR 18 UNITS
80,000 SF (ZONING)
3,044,339 SF± (TOTAL PROPERTY AREA) = 23.3 OR 23 UNITS
150,680 SF (DENSITY PER UNIT)
- 11) ZONING REQUIREMENTS:
R-80
MINIMUM LOT AREA = 80,000 SF
FRONT YARD = 50 FEET
SIDE YARD = 35 FEET
REAR YARD = 80 FEET
MINIMUM LOT WIDTH = 200 FEET
LOT COVERAGE = 10%
- R-80 RURAL RESIDENTIAL
MINIMUM LOT AREA = 30,000 SF (80,000 SF REQUIRED)**
FRONT YARD = 40 FEET
SIDE YARD = 20 FEET
REAR YARD = 40 FEET
MINIMUM LOT WIDTH = 120 FEET
LOT COVERAGE = 4,750 (10% REQUIRED)**
(*50% OF SUITABLE LAND NOT PROVIDED AS OPEN SPACE)
- 12) NO FURTHER SUBDIVISION OF THE LOTS IS ALLOWED.
- 13) ANY STRUCTURES CONSTRUCTED SHALL BE SINGLE FAMILY DWELLINGS OR A PERMITTED USE UNDER TIVERTON ZONING.
- 14) ALL DWELLINGS SHALL BE EQUIPPED WITH RESIDENTIAL SPRINKLER SYSTEMS CONFORMING TO THE TIVERTON FIRE DEPARTMENT REGULATIONS.
- 15) NO DEVELOPMENT IS PERMITTED WITHIN 200 FEET FROM THE POND OR TRIBUTARY WETLANDS WITHOUT A SPECIAL USE PERMIT FROM THE TIVERTON ZONING BOARD. THE SITE IS LOCATED APPROXIMATELY 500 FEET FROM THE EDGE OF THE POND. NO DIRECT TRIBUTARIES ARE PRESENT ON OR ADJACENT TO THE SITE. THE NEAREST PROPOSED POND IS LOCATED APPROXIMATELY 700 FEET FROM THE POND. ALL OWTS HAVE BEEN DESIGNED TO BE IN EXCESS OF 125 FEET SETBACK TO CERTAIN WATERBODIES' REQUIREMENT OF THE ZONING ORDINANCE. THE SOLAR PROJECT SITE WILL BE LOCATED APPROXIMATELY 1100 FEET FROM THE POND OR DIRECT TRIBUTARY AND 70 FEET FROM THE WETLAND EDGE.



- 16) FUEL STORAGE FOR HEATING RESIDENCE ON THE PROPERTY SHALL BE AN ABOVE-GROUND OR BASEMENT LOCATED DUAL-WALL CONTAINMENT SYSTEM. IN-GROUND OR BURIED FUEL STORAGE TANKS ARE STRICTLY PROHIBITED.
- 17) STORAGE OF ANY HAZARDOUS WASTE IS PROHIBITED.
- 18) DISPOSAL OF ANY SOLID WASTE OTHER THAN BRUSH NATIVE TO THE SITE IS PROHIBITED.
- 19) THE DISPOSAL OF ANY LIQUID OR LEACHABLE WASTE OTHER THAN DOMESTIC SEWAGE DISCHARGING TO A RIDOT APPROVED INDIVIDUAL SEWAGE DISPOSAL SYSTEM (OWTS) SYSTEM IS PROHIBITED.
- 20) INDUSTRIAL, COMMERCIAL AND SERVICE USES WHICH DISCHARGE PROCESS WASTEWATER ON-SITE ARE PROHIBITED.
- 21) STORAGE OF ICE MELTING SALT OR DE-ICING CHEMICALS IS PROHIBITED UNLESS STORED IN A WATERTIGHT CONTAINER.
- 22) AUTOMOTIVE SERVICE AND REPAIR SHOPS, JUNK AND SALVAGE YARDS IS PROHIBITED.
- 23) INCINERATORS AND SANITARY LANDFILL SITES ARE PROHIBITED.
- 24) THE USE OF SEPTIC SYSTEM ADDITIVES, CLEANERS, AND / OR ACIDS IS STRICTLY PROHIBITED.
- 25) THE RENDERING IMPROVISED OF MORE THAN 10% OF THE SITE REQUIRES THAT A SPECIAL USE PERMIT BE OBTAINED FROM THE ZONING BOARD. THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE ZONING REGULATIONS.
- 26) THE USE OF CHEMICALS FOR DE-ICING ARE PROHIBITED. SAND SHALL BE UTILIZED IN LIEU OF SALT FOR TRACTION IN ICY CONDITIONS. DUMPING OF SNOW FROM OFF-SITE AREAS IS PROHIBITED.
- 27) THE USE OF PESTICIDES AND FERTILIZERS ARE GENERALLY PROHIBITED. THE USE OF ALL TYPES OF HERBICIDES (E.G., ROUND-UP CONTAINING GLYPHOSPHATES) ARE STRICTLY PROHIBITED WITHIN THE PORTION OF PROPERTY CONVERTED TO RESIDENTIAL OR SOLAR VOLTAIC SYSTEM USE. WEED CONTROL BLOCKING FABRIC/ WITH CRUSHED STONE COVERING SHALL BE UTILIZED WHERE NECESSARY IN THE AREAS OF THE SOLAR VOLTAIC SYSTEM (E.G. AROUND THE PERIMETER OF THE ELECTRICAL TRANSFORMER CEMENT MOUNTING PADS). SMALL "SPOT-APPLICATIONS" OF HERBICIDES MAY BE ALLOWED WITH THE APPROVAL FROM THE CONSERVATION COMMISSION.
- 28) A PROPERTY OWNERS ASSOCIATION SHALL BE ESTABLISHED FOR THE MAINTENANCE OF THE COMMON DRIVEWAY AND STORM DRAINAGE SYSTEM. DEED RESTRICTIONS ON LOTS 1, 2 & 3 SHALL INCLUDE A REQUIREMENTS FOR THE OWNERS TO PARTICIPATE IN THE PROPERTY OWNERS ASSOCIATION.

NOTES FOR WORK WITHIN RIDOT R.O.W.:

- 1) ALL WORK WITHIN THE STATE HIGHWAY R.O.W. SHALL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED ZONE, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
- 2) ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2009, INCLUDING ALL REVISIONS.
- 3) IT IS THE CONTRACTORS RESPONSIBILITY, AS REQUIRED BY LAW, TO NOTIFY DGS SAFE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- 4) CONTRACTOR SHALL MAINTAIN ONE LANE OF TRAFFIC AT ALL TIMES. FLAG PERSONNEL DETAIL SHALL BE ON SITE DURING WORK WITHIN THE MAIN ROAD (R1 ROUTE 77) RIGHT OF WAY. ADEQUATE SIGNAGE WARNING APPROACHING VEHICLES OF WORK ZONE IS REQUIRED PRIOR TO ANY WORK WITHIN MAIN ROAD (R1 ROUTE 77) RIGHT OF WAY. TRAFFIC CONES SHALL BE USED TO ESTABLISH TEMPORARY TRAVEL LANES FOR ALL TRAFFIC DURING CONSTRUCTION ACTIVITY.
- 5) RIDOT AND PUBLIC SAFETY OFFICIALS SHALL RESERVE THE RIGHT TO MODIFY AND REQUIRE ADDITIONAL TRAFFIC CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION.
- 6) POLICE DETAILS OR FLAGGERS SHALL BE REQUIRED FOR ALL WORK OCCURRING IN THE ROAD SHOULDER. CONSTRUCTION SIGNAGE SHALL BE CHANGED AND/OR ADDED TO REFLECT THE USE OF FLAGGERS.

MATCHLINE SEE SHEET 6 OF 11 SEE SHEET 7 OF 11

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 178-0329
DATED JUL 10 2019
SEE LETTER OF SAME DATE.

MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN
PROPOSED SITE PLAN
COOK FARM
ASSESSORS PLAT 809 LOT 101
MAIN ROAD & EIGHT ROD WAY (AKA ASA DAVOL ROAD)
TIVERTON, RHODE ISLAND

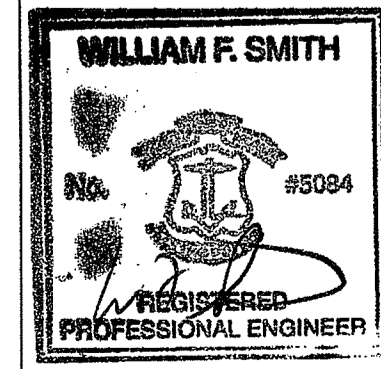
PREPARED FOR:
OWNER/APPLICANT:
FOGLELAND, LLC (C/O DEBORAH SANFORD)
75 SEARS ROAD
SOUTHBOROUGH, MA 01772

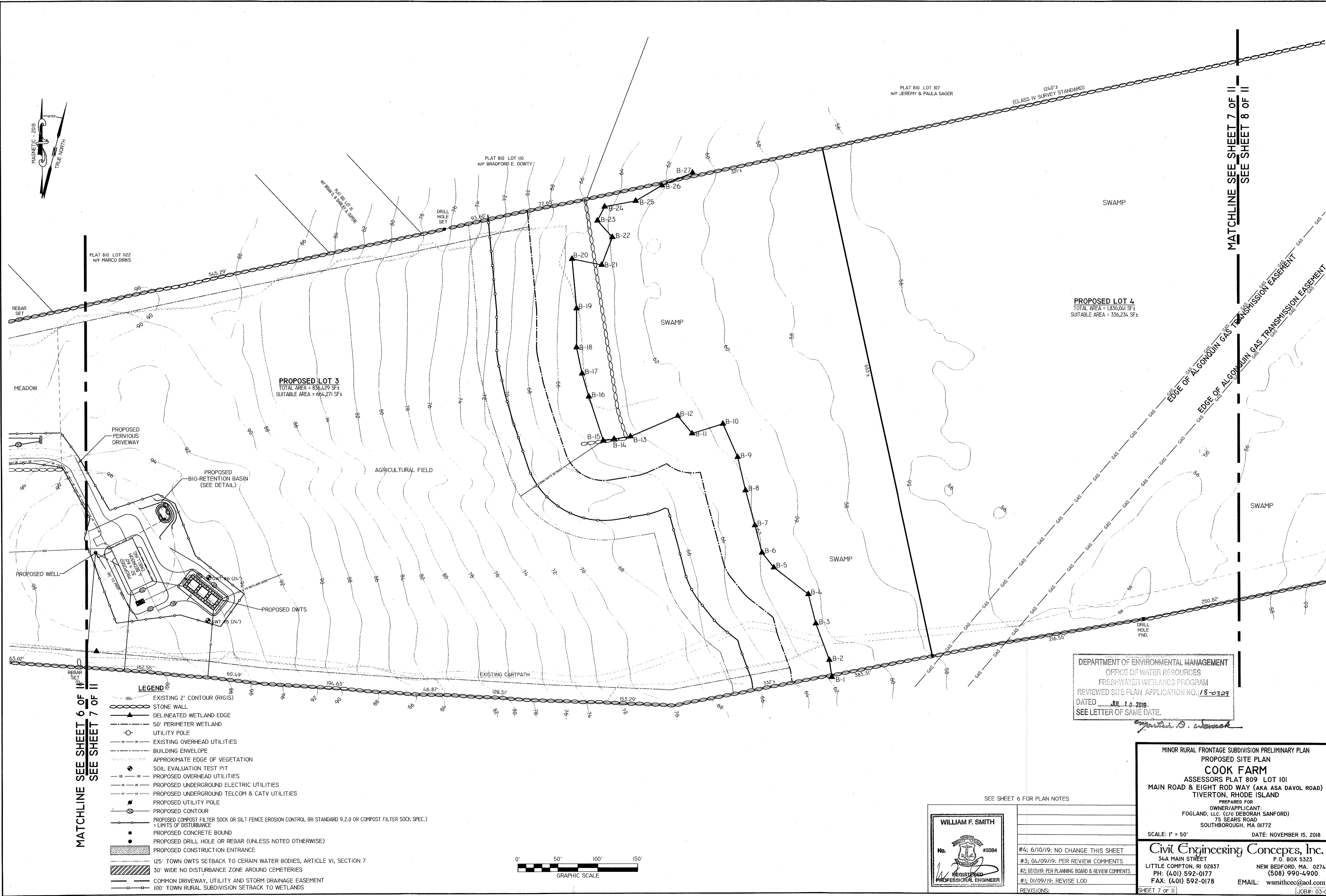
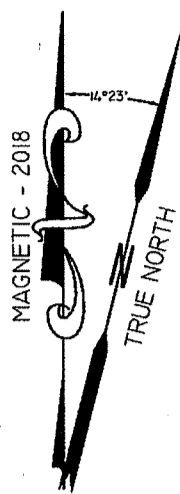
SCALE: 1" = 50' DATE: NOVEMBER 15, 2018

Civil Engineering Concepts, Inc.
36A MAIN STREET P.O. BOX 5325
LITTLE COMPTON, RI 02883 NEW BEDFORD, MA 02742
PH: (401) 592-0177 FAX: (401) 592-0178 EMAIL: wsmthccc@aol.com

REVISIONS:
#4: 6/10/19: NO CHANGE THIS SHEET
#5: 04/09/19: PER REVIEW COMMENTS
#2: 02/21/19: PER PLANNING BOARD & REVIEW COMMENTS
#1: 01/09/19: REVISE COMMON DRIVEWAY, GRADING, ETC.

SHEET 6 OF 11 JOB#: 03-043





MATCHLINE SEE SHEET 6 OF 11
SEE SHEET 7 OF 11

MATCHLINE SEE SHEET 7 OF 11
SEE SHEET 8 OF 11

- LEGEND**
- 104' — EXISTING 2' CONTOUR (RIGIS)
 - — — STONE WALL
 - ▲— DELINEATED WETLAND EDGE
 - — — 50' PERIMETER WETLAND
 - UTILITY POLE
 - — — EXISTING OVERHEAD UTILITIES
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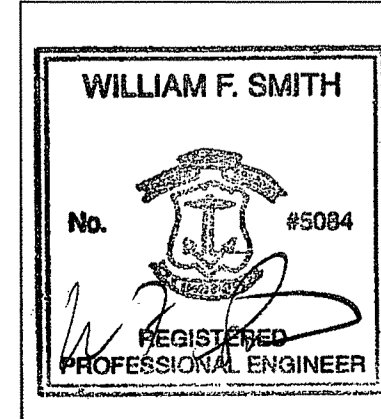
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ASSESSORS PLAT 809 LOT 101
MAIN ROAD & EIGHT ROD WAY (AKA ASA DAVOL ROAD)
TIVERTON, RHODE ISLAND

PREPARED FOR
OWNER/APPLICANT:
FOGLAND, LLC (C/O DEBORAH SANFORD)
75 SEARS ROAD
SOUTHBOROUGH, MA 01772

SCALE: 1" = 50' DATE: NOVEMBER 15, 2018

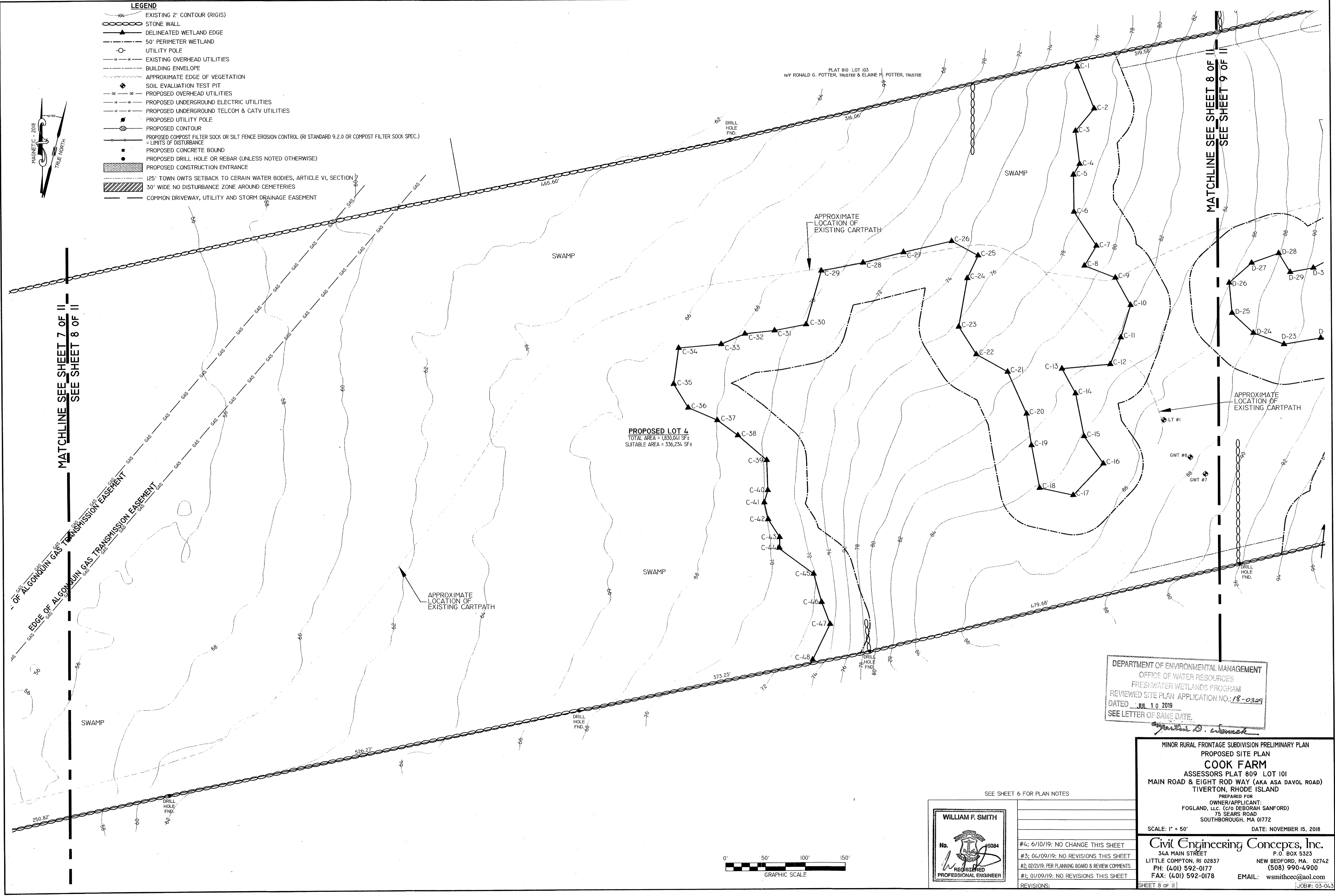
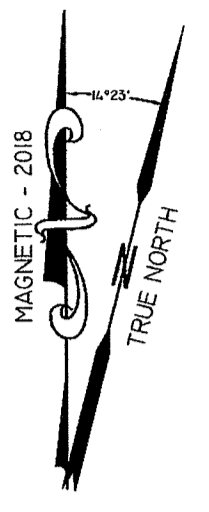
Civil Engineering Concepts, Inc.
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SEE SHEET 6 FOR PLAN NOTES

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REVISIONS:

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MATCHLINE SEE SHEET 7 OF 11
SEE SHEET 8 OF 11

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SEE SHEET 9 OF 11

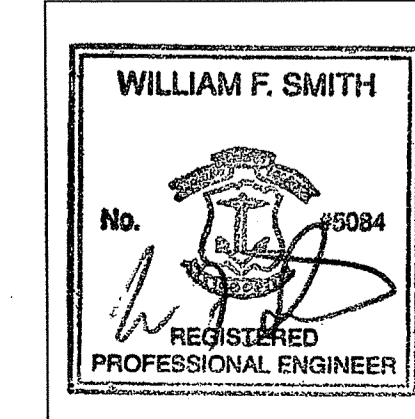
PROPOSED LOT 4
TOTAL AREA = 1,830,041 SF±
SUITABLE AREA = 336,234 SF±

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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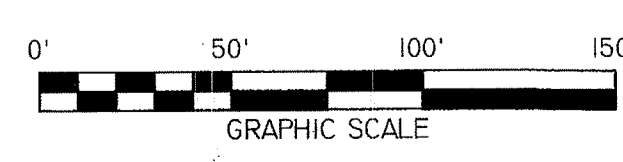
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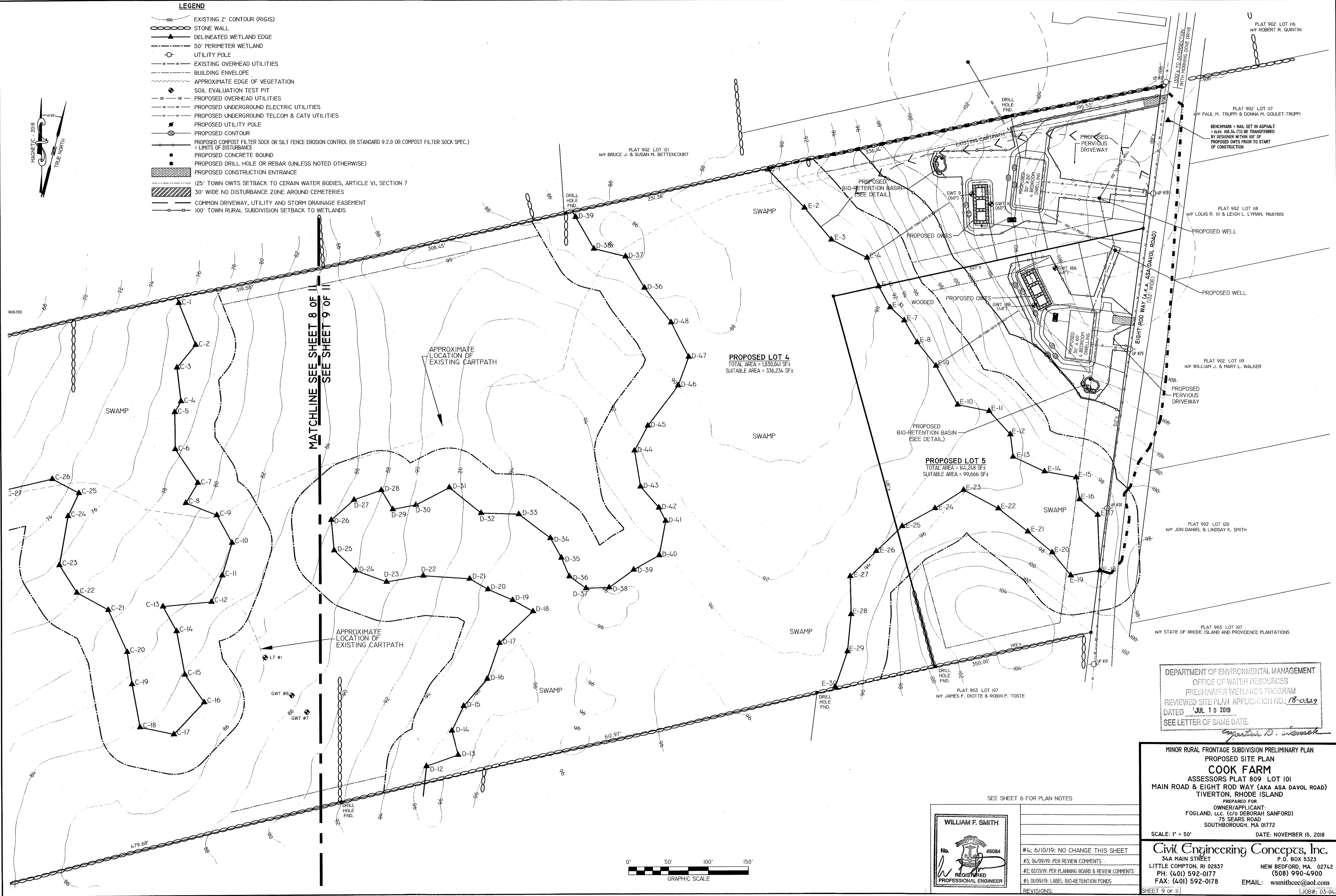
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LEGEND

- 100' EXISTING 2" CONTOUR (RIGIS)
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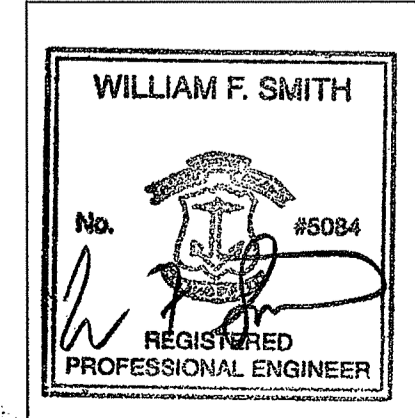
MATCHLINE SEE SHEET 8 OF 11
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PROPOSED LOT 4
TOTAL AREA = 1,830,041 SF±
SUITABLE AREA = 336,234 SF±

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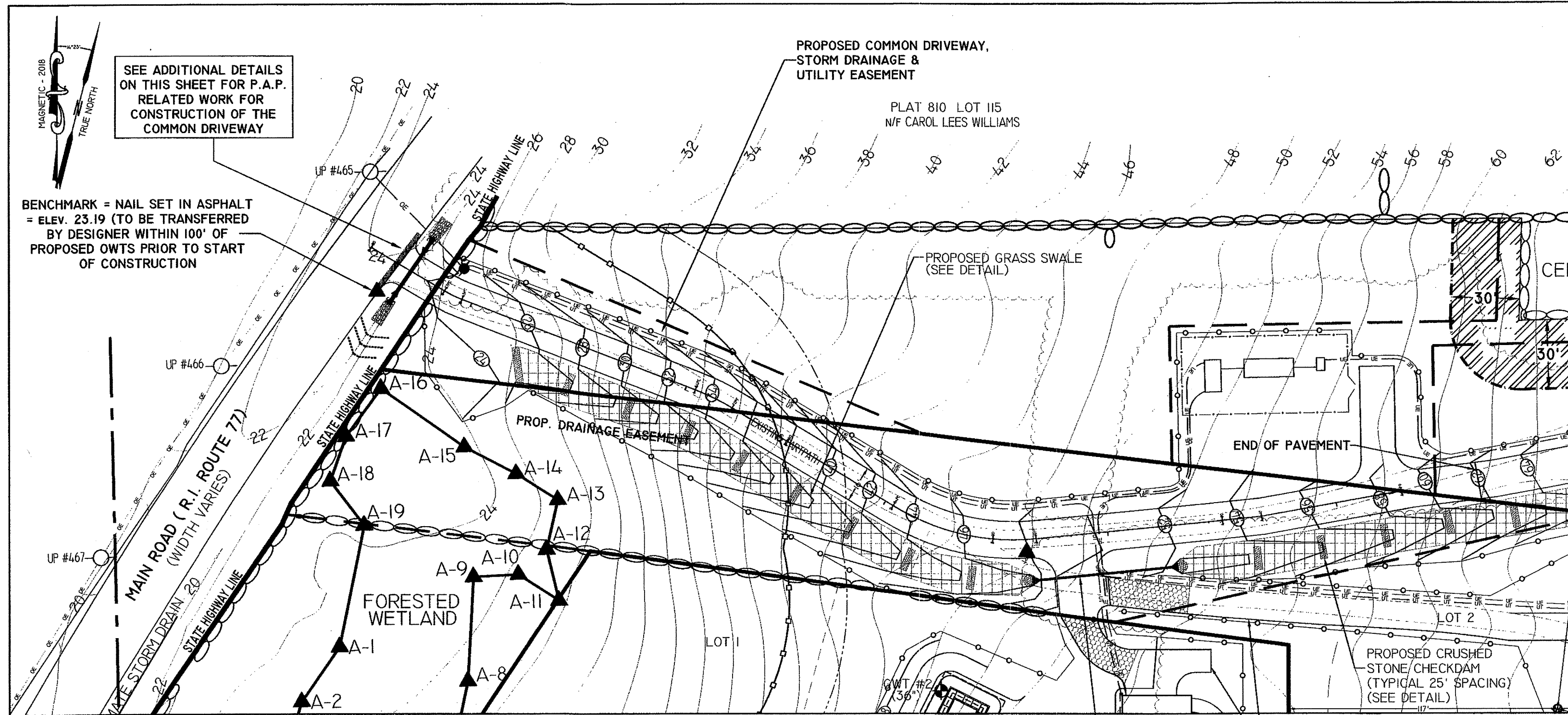


REVISIONS:

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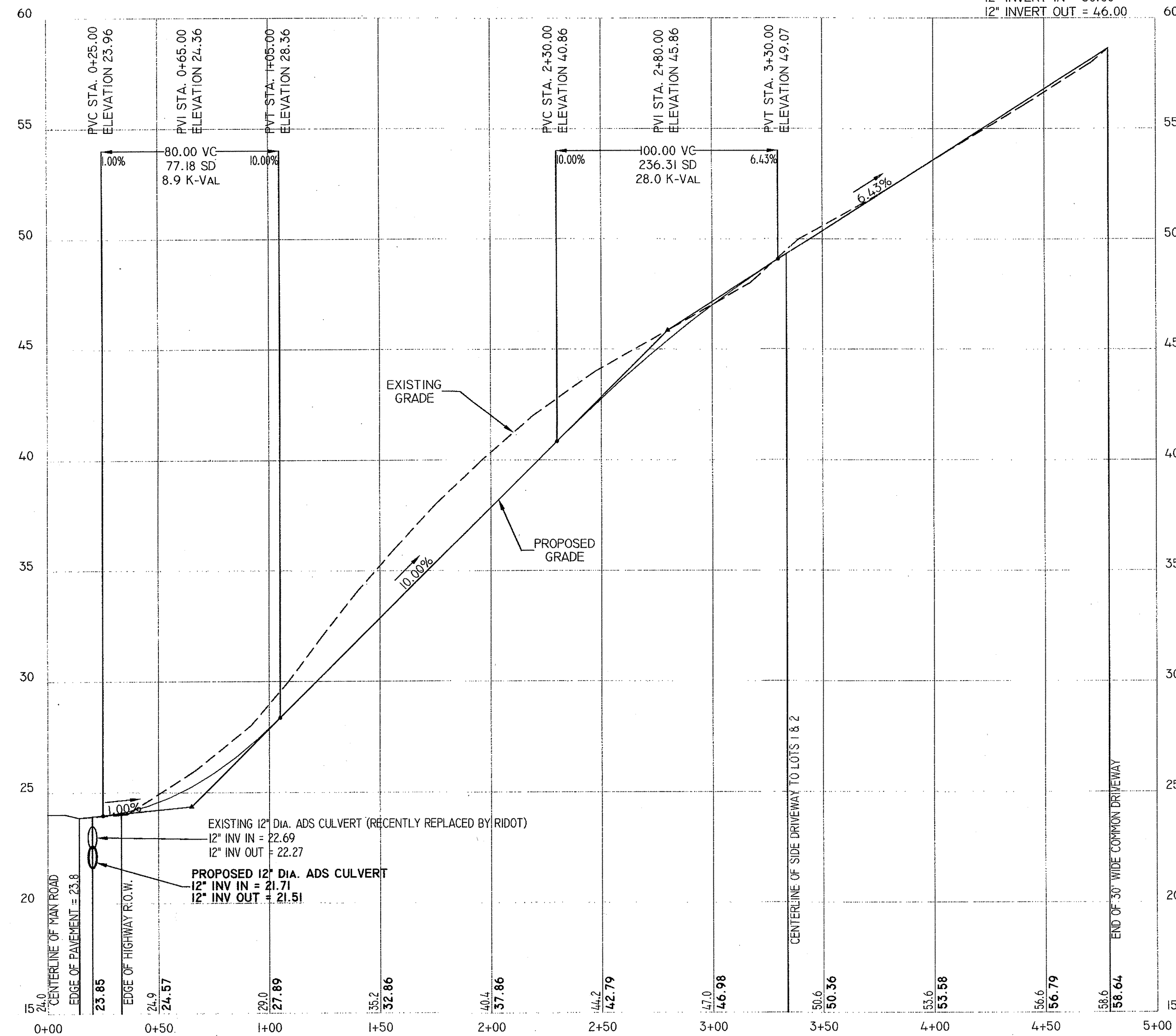


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PROPOSED COMMON DRIVEWAY PLAN VIEW

SCALE: 1" = 40'



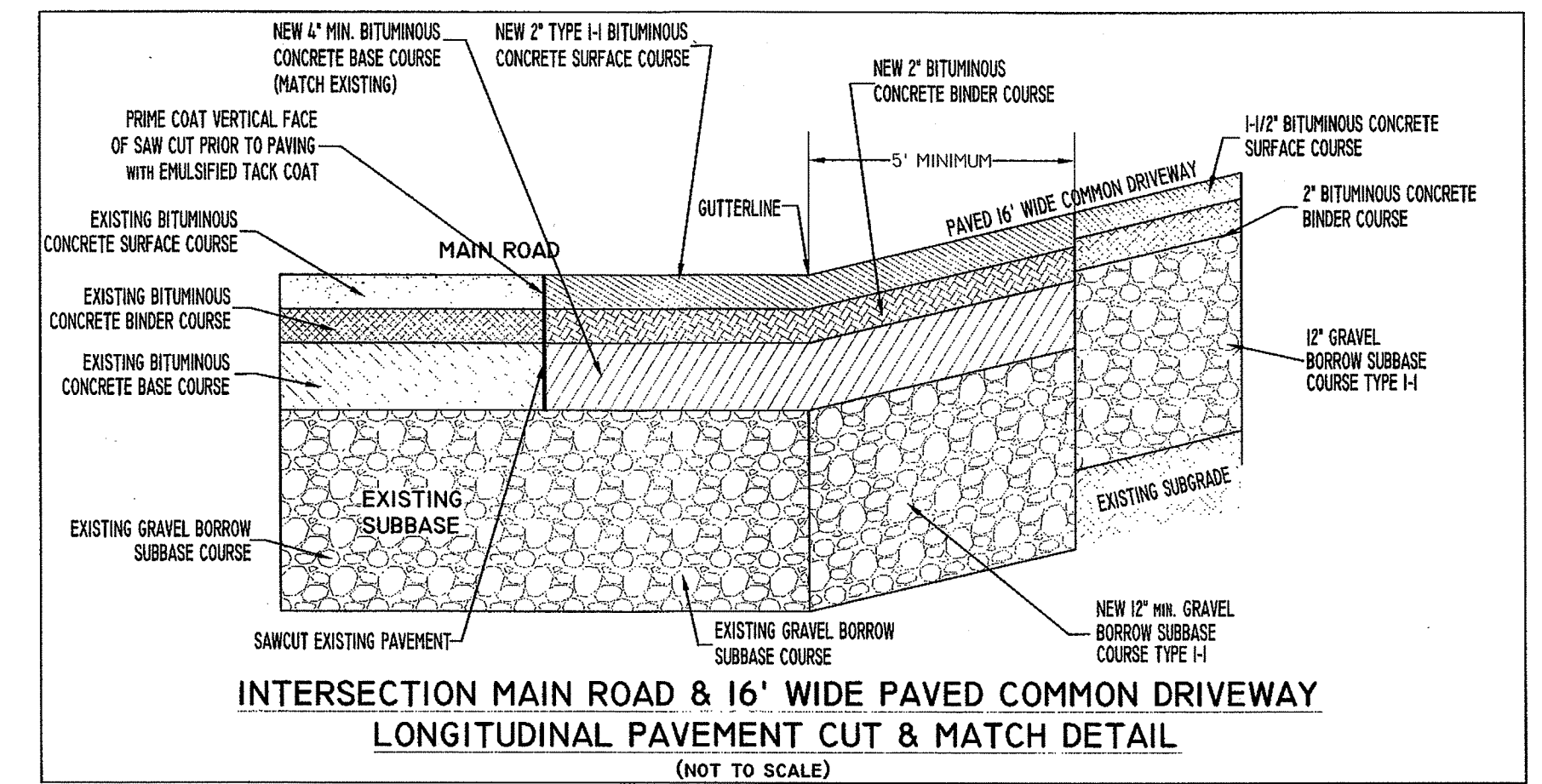
PROPOSED COMMON DRIVEWAY PROFILE - FROM MAIN ROAD

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

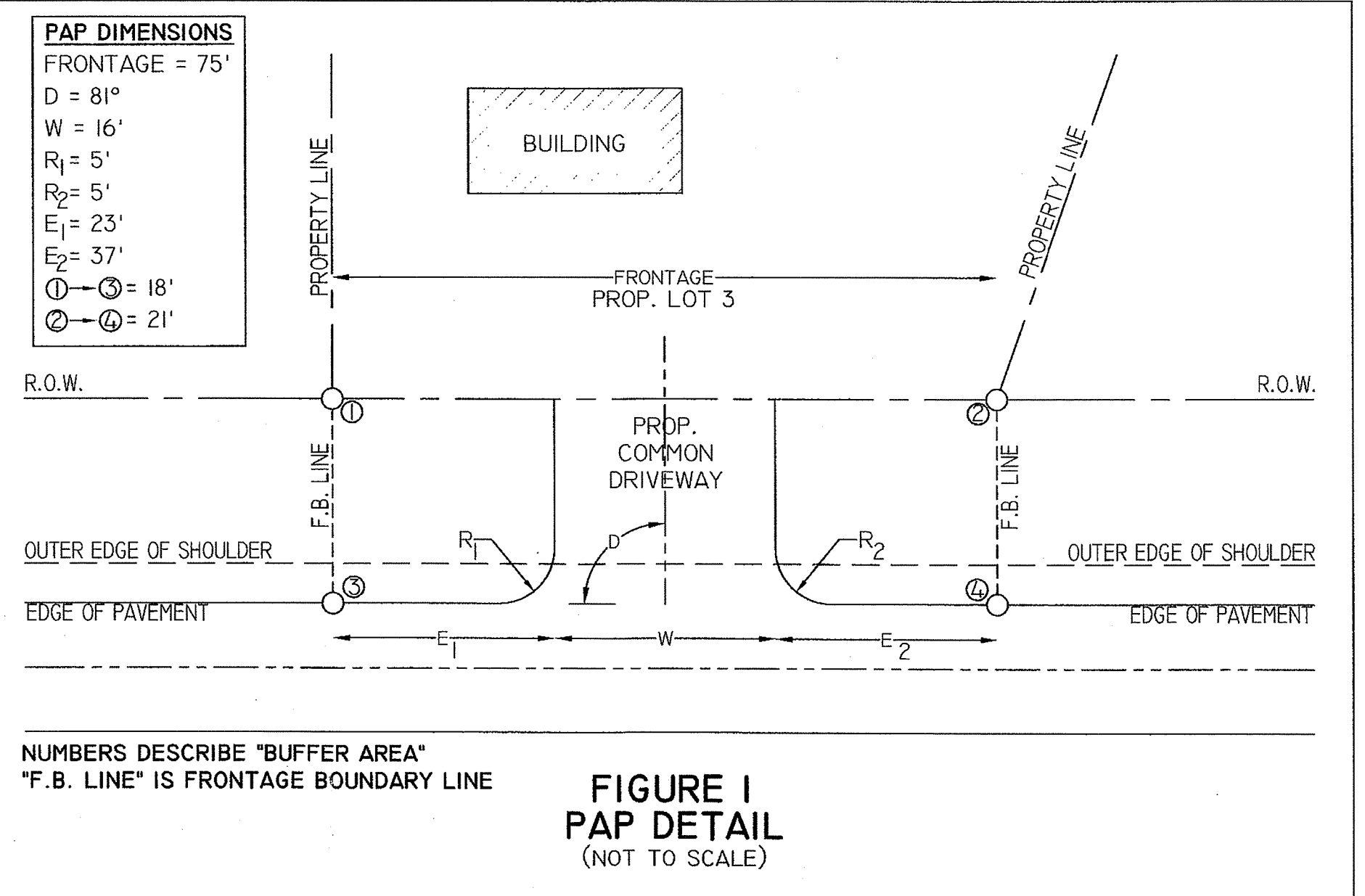
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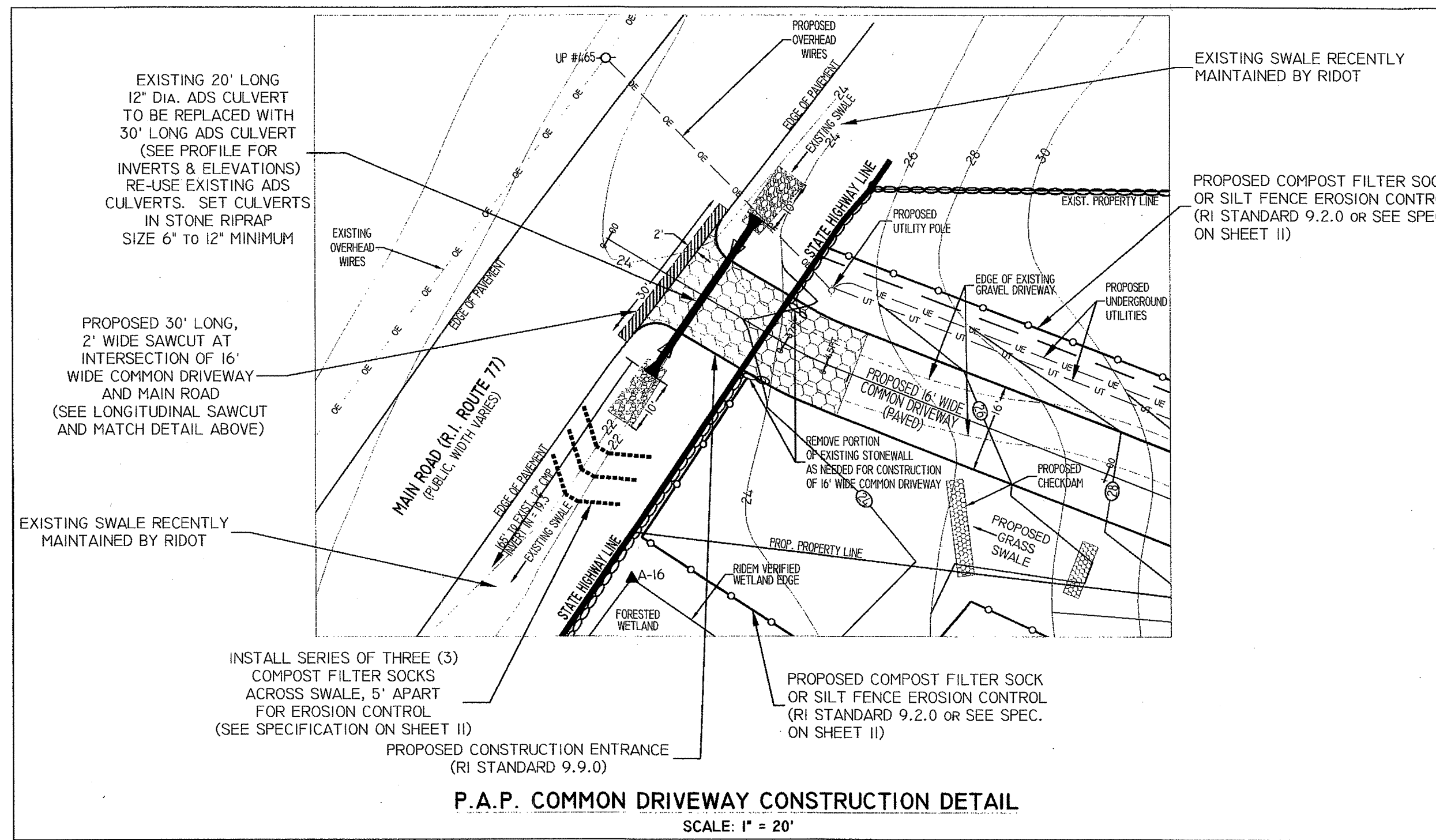


INTERSECTION MAIN ROAD & 16' WIDE PAVED COMMON DRIVEWAY LONGITUDINAL PAVEMENT CUT & MATCH DETAIL
(NOT TO SCALE)



NUMBERS DESCRIBE "BUFFER AREA"
"F.B. LINE" IS FRONTAGE BOUNDARY LINE

FIGURE 1 PAP DETAIL
(NOT TO SCALE)



P.A.P. COMMON DRIVEWAY CONSTRUCTION DETAIL

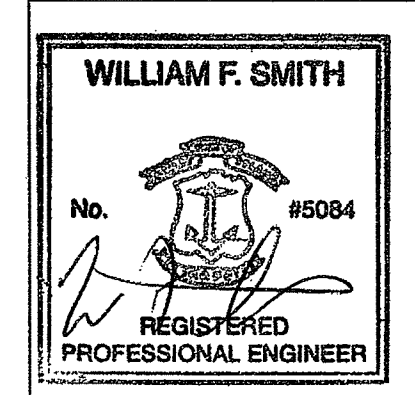
SCALE: 1" = 20'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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DATED JUL 10 2019
SEE LETTER OF SAME DATE.

MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN
COMMON DRIVEWAY PLAN & PROFILE AND P.A.P. DETAILS
COOK FARM
ASSESSORS PLAT 809 LOT 101
MAIN ROAD & EIGHT ROD WAY (AKA ASA DAVOL ROAD)
TIVERTON, RHODE ISLAND

PREPARED FOR
OWNER/APPLICANT:
FOGLAND, LLC (C/O DEBORAH SANFORD)
75 SEARS ROAD
SOUTHBOROUGH, MA 01772

SCALE: AS NOTED DATE: NOVEMBER 15, 2018
Civil Engineering Concepts, Inc.
34A MAIN STREET P.O. BOX 5325
LITTLE COMPTON, RI 02887 NEW BEDFORD, MA 02742
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NO.	REVISIONS:
#4:	6/10/19: NO CHANGE THIS SHEET
#3:	04/09/19: ADD P.A.P. DETAILS
#2:	02/21/19: PER PLANNING BOARD & REVIEW COMMENTS
#1:	01/09/19: REVISE PLAN AND PROFILE



Specification Sheet
VMax® C350® Turf Reinforcement Mat

DESCRIPTION

The composite turf reinforcement mat (CTRM) shall be a machine-produced mat of 100% coconut fiber matrix incorporated into permanent three-dimensional turf reinforcement matting. The matrix shall be evenly distributed across the entire width of the matting and stitch bonded between super heavy duty UV-stabilized nettings with 0.50 x 0.50 in. (1.27 x 1.27 cm) openings, an ultra heavy duty UV-stabilized, dramatically corrugated (crimped) intermediate netting with 0.5 x 0.5 in. (1.27 x 1.27 cm) openings, and covered by a super heavy duty UV-stabilized nettings with 0.50 x 0.50 in. (1.27 x 1.27 cm) openings. The middle corrugated netting shall form prominent closely spaced ridges across the entire width of the mat. The three nettings shall be stitched together on 1.50 in. (3.81 cm) centers with UV-stabilized polypropylene thread to form permanent three-dimensional turf reinforcement matting. All mats shall be manufactured with colored thread stitched along both outer edges as an overlap guide for adjacent mats.

The C350 shall meet Type 5A, B and C specification requirements established by the Erosion Control Technology Council (ECTC) and Federal Highway Administration's (FHWA) FP-03 Section 713.18.

Material Content

Matrix	100% Coconut Fiber	0.5 lb/sy (0.27 kg/sm)
Netting	Top and Bottom, UV-Stabilized Polypropylene	8 lb/1000 sf (3.91 kg/100 sm)
	Middle, Corrugated UV-Stabilized Polypropylene	24 lb/1000 sf (11.7 kg/100 sm)
Thread	Polypropylene, UV Stable	
Standard Roll Sizes		
Width	6.5 ft (2.0 m)	8 ft (2.44 m)
Length	55.5 ft (16.9 m)	90 ft (27.4 m)
Weight ± 10%	37 lbs (16.8 kg)	74 lbs (33.6 kg)
Thread	40 sy (33.4 sm)	80 sy (66.8 sm)

Index Property

Index Property	Test Method	Typical
Thickness	ASTM D6525	0.73 in. (18.54 mm)
Resiliency	ASTM D6524	90%
Density	ASTM D792	0.917 g/cm ³
Mass/Unit Area	ASTM D6566	18.36 oz/sy (524 g/sm)
UV Stability	ASTM D4355/ 1000 HR	86%
Porosity	ECTC Guidelines	99%
Stiffness	ASTM D1388	0.24 in.-lb (275980 mg-cm)
Light Penetration	ASTM D6567	7.2%
Tensile Strength - MD	ASTM D6818	585.8 lbs/ft (8.70 kN/m)
Elongation - MD	ASTM D6818	45.3%
Tensile Strength - TD	ASTM D6818	687.6 lbs/ft (10.20 kN/m)
Elongation - TD	ASTM D6818	19.5%
Biomass Improvement	ASTM D7322	380%

Design Permissible Shear Stress

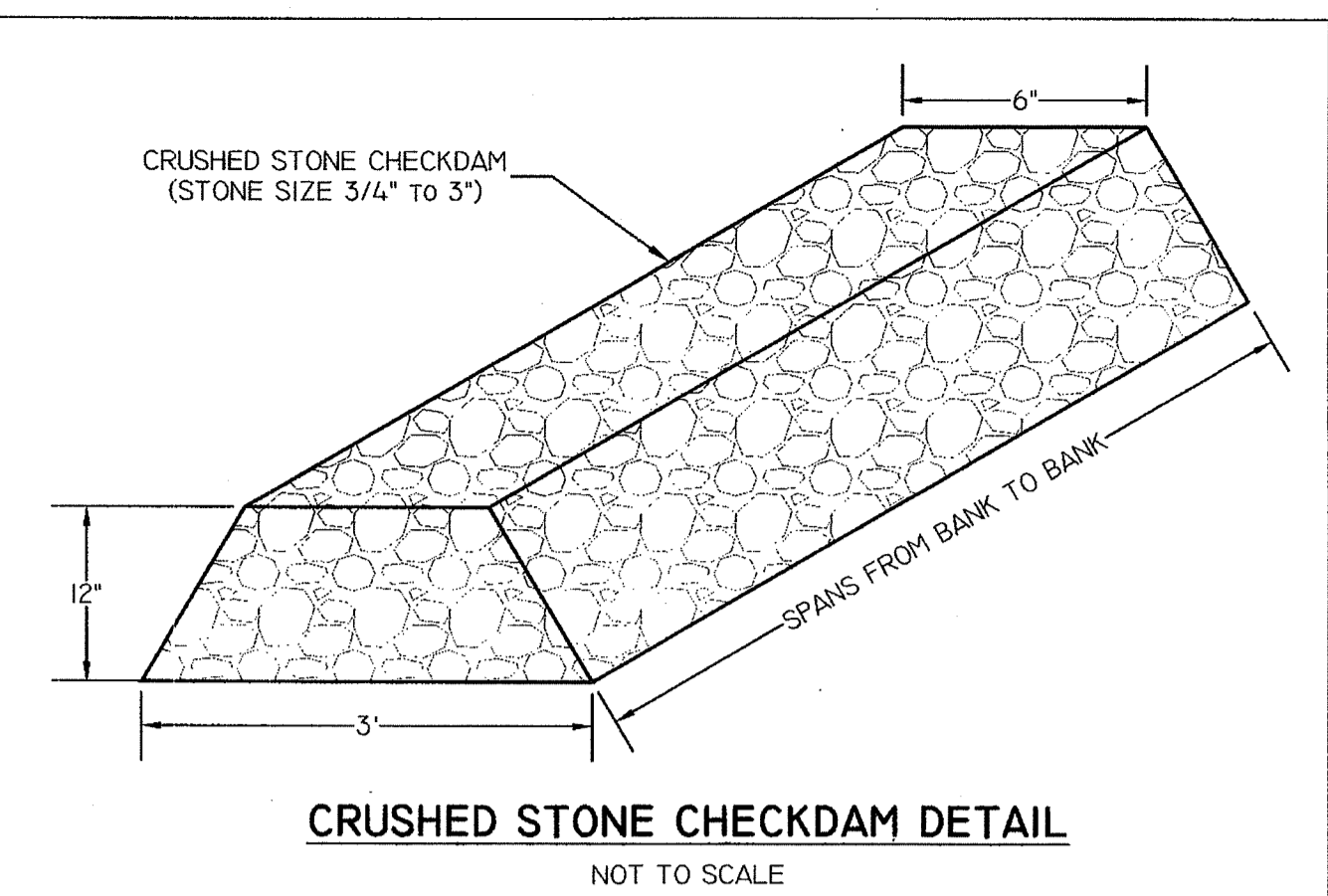
	Short Duration	Long Duration
Phase 1 Unvegetated	3.2 psf (153 Pa)	3.0 psf (144 Pa)
Phase 2 Partially Veg.	10.0 psf (480 Pa)	10.0 psf (480 Pa)
Phase 3 Fully Veg.	12.0 psf (576 Pa)	10.0 psf (480 Pa)
Unvegetated Velocity	10.5 fps (3.2 m/s)	
Vegetated Velocity	20 fps (6.0 m/s)	

Slope Design Data: C Factors

Slope Length (L)	Slope Gradients (S)		
	≤ 3:1	3:1 - 2:1	≥ 2:1
≤ 20 ft (6 m)	0.0005	0.015	0.043
20-50 ft	0.018	0.031	0.050
≥ 50 ft (15.2 m)	0.035	0.047	0.057

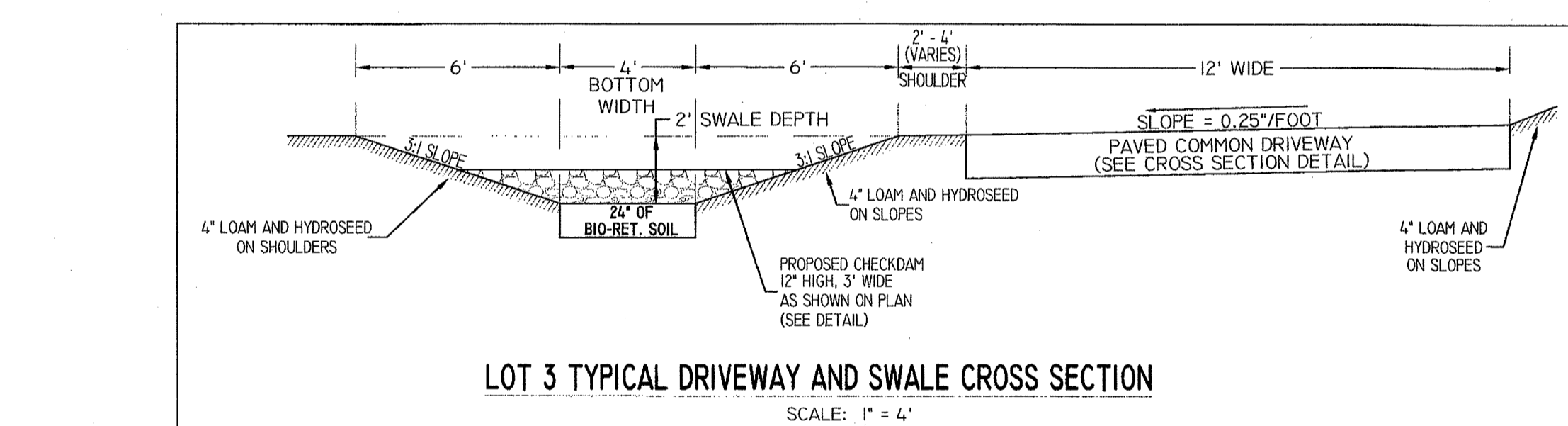
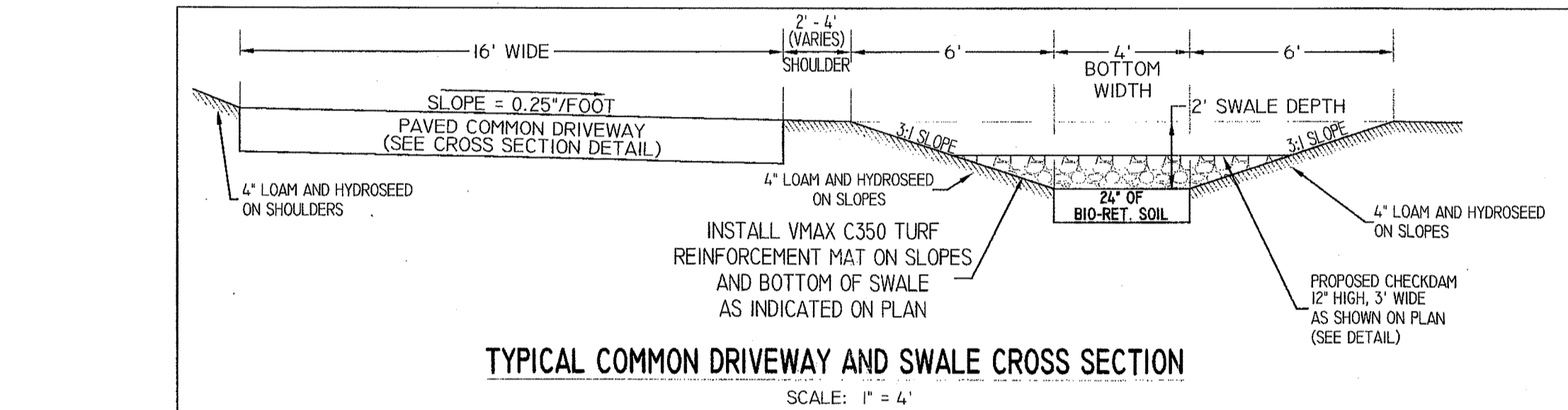
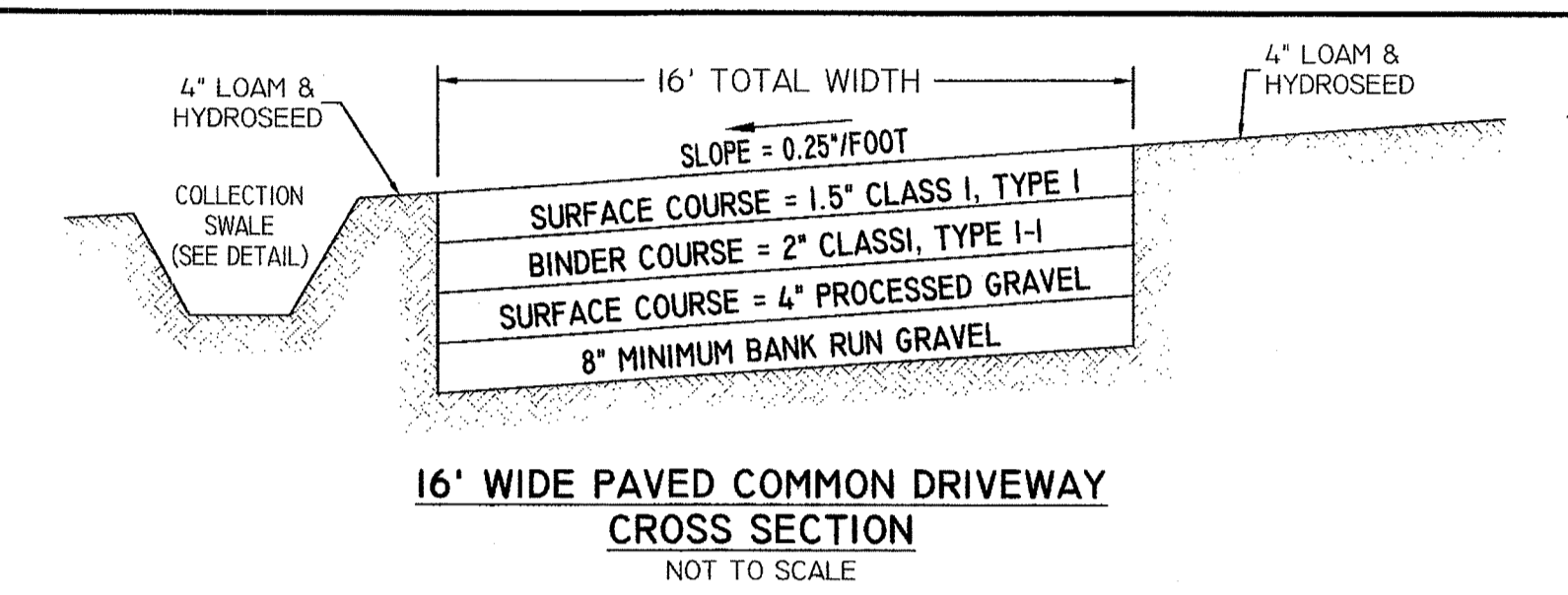
Roughness Coefficients - Unveg.

Flow Depth	Manning's n
≤ 0.50 ft (0.15 m)	0.041
0.50 - 2.0 ft	0.040-0.013
≥ 2.0 ft (0.60 m)	0.012



BIO-RETENTION SOIL SPECIFICATION

SAND	85 - 88%	(≤ 2% CLAY)
SOIL FINES	8 - 12%	
ORGANICS	3 - 5%	(6-12 MONTH AGED LEAF COMPOST)



SYMBOL PLANT SPECIES # OF PLANTS

A	SWEET PEPPER BUSH	(2)
B	JOE PYE WEED	(11)
C	SWEET FERN	(3)
D	HIGHBUSH BLUEBERRY	(6)
E	BUTTERFLY MILKWEED	(4)
F	BLUE FLAG IRIS	(14)
G	BEARBERRY	(15) FILL IN

WATER QUALITY VOLUME CALCULATION:
 $WQV = (1") \times (1/12) \times (1 - 0.04) \times AC = 1,800 \text{ SF}$
 $WQV = 0.0034 \text{ AC-FT}$

FILTER AREA CALCULATION:
 $AF = (WQV \times Df) / [(K) \times (HF) + Df \times (Tf)]$
 $AF = (0.0034 \times 3) / [(1) \times (0.25) + 3 \times (2)] = 0.0016 \text{ AC}$
 $AF = 0.0016 \text{ AC} \times 68.3 \text{ SF/AC} = 0.109 \text{ SF}$

WATER QUALITY VOLUME CALCULATION:
 $WQV = (1") \times (1/12) \times (1 - 0.13) \times AC = 5,690 \text{ SF}$
 $WQV = 0.011 \text{ AC-FT}$

FILTER AREA CALCULATION:
 $AF = (WQV \times Df) / [(K) \times (HF) + Df \times (Tf)]$
 $AF = (0.011 \times 3) / [(1) \times (0.25) + 3 \times (2)] = 0.0051 \text{ AC}$
 $AF = 0.0051 \text{ AC} \times 222 \text{ SF/AC} = 1,132 \text{ SF}$

ELEVATION TABLE

LOT	Avg. GRADE	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "D"	ELEV. "E"	ELEV. "F"
4	107.0	102.0	104.0	105.0	105.25	106.25	106.58
5	108.0	104.0	106.0	107.0	107.25	108.25	108.58

REINFORCEMENT

NO.	BY	DATE
1	JCS	06/15/1988
2	JCS	06/15/1988
3	JCS	06/15/1988
4	JCS	06/15/1988
5	JCS	06/15/1988
6	JCS	06/15/1988
7	JCS	06/15/1988
8	JCS	06/15/1988
9	JCS	06/15/1988
10	JCS	06/15/1988
11	JCS	06/15/1988
12	JCS	06/15/1988
13	JCS	06/15/1988
14	JCS	06/15/1988
15	JCS	06/15/1988
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26	JCS	06/15/1988
27	JCS	06/15/1988
28	JCS	06/15/1988
29	JCS	06/15/1988
30	JCS	06/15/1988

COMPOST FILTER SOCK SPECIFICATION:

COMPOST FILTER SOCK SHALL COMPLY WITH SECTION 206.01.4, 206.02.04, AND 206.03.4 OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2013, WITH ALL REVISIONS, AS FOLLOWS:

COMPOST FILTER SOCK MATERIAL AND COMPOST MATERIAL SHALL BE IN ACCORDANCE WITH AASHTO DESIGNATION MP 9-06 (2007 OR LATEST EDITION). COMPOST SHALL ALSO MEET ALL APPLICABLE FEDERAL AND STATE REGULATIONS. FOR COMPOST FILTER SOCKS 18 INCHES OR LESS IN DIAMETER, WOODEN STAKES SHALL BE 1 INCH BY 1 INCH, AT 10 FOOT INTERVALS ON CENTER, AND OF A LENGTH THAT SHALL PROJECT INTO THE SOIL 1 FOOT LEAVING 3 INCHES TO 4 INCHES PROTRUDING ABOVE THE FILTER SOCK.

WILLIAM F. SMITH

No. 5034

REGISTERED PROFESSIONAL ENGINEER

#4: 6/10/19: NO CHANGE THIS SHEET

#3: 04/09/19: REVISE DETAILS

#2: 02/21/19: PER PLANNING BOARD & REVIEW COMMENTS

#1: 01/09/19: MODIFY DETAILS

REVISIONS:

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 18-0329
DATED JUL 10 2019
SEE LETTER OF SAME DATE

MINOR RURAL FRONTAGE SUBDIVISION PRELIMINARY PLAN
DETAIL SHEET
COOK FARM
ASSESSORS PLAT 809 LOT 101
MAIN ROAD & EIGHTH ROAD (AKA ASA DAVOL ROAD)
TIVERTON, RHODE ISLAND

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SHEET 11 OF 11 JOB#: 03-043