

12.5 MW SOLAR DEVELOPMENT

89 TEN ROD ROAD
PLAT 26 LOT 1-1
EXETER, RHODE ISLAND

ISSUED FOR PERMITTING

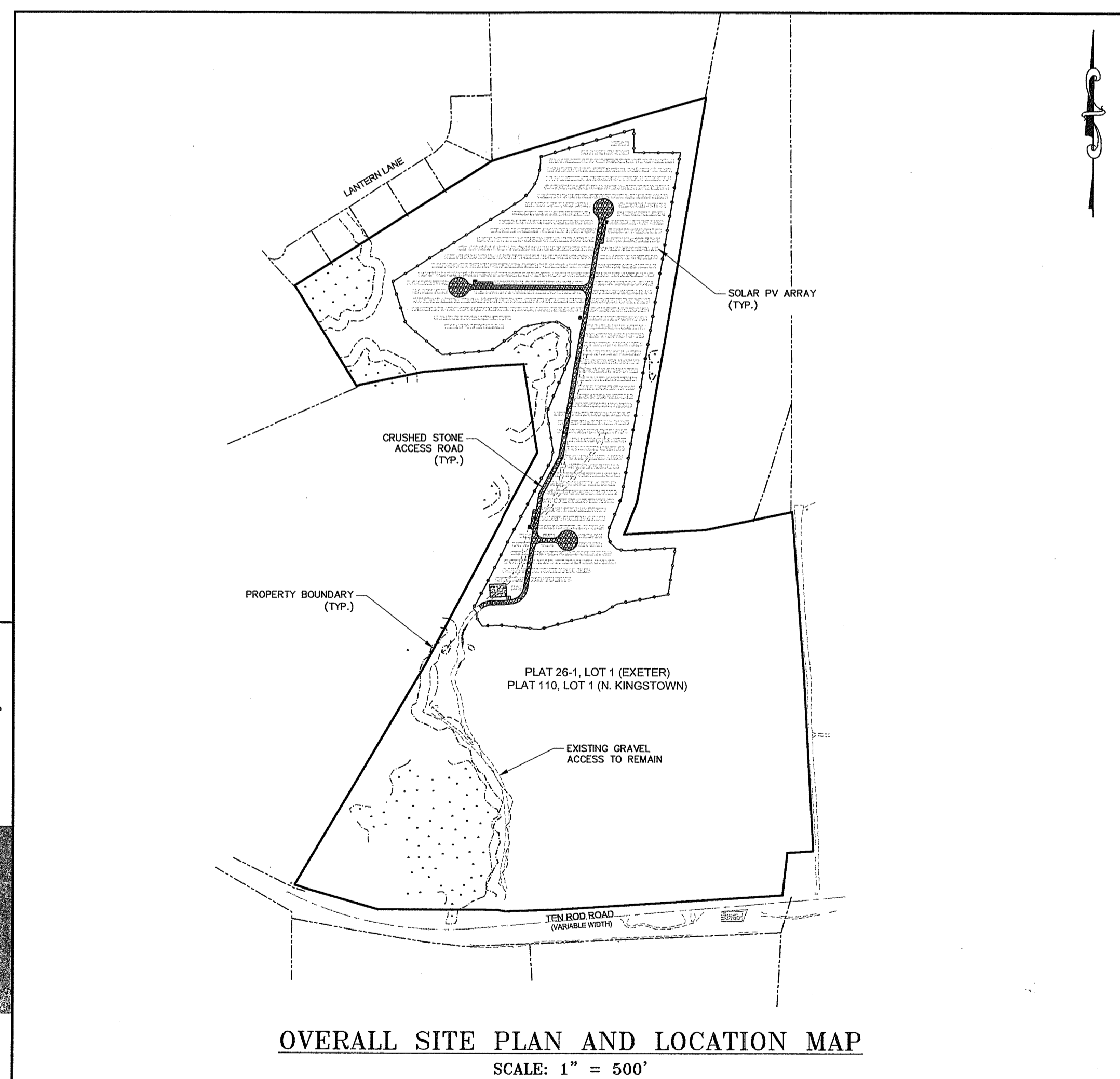
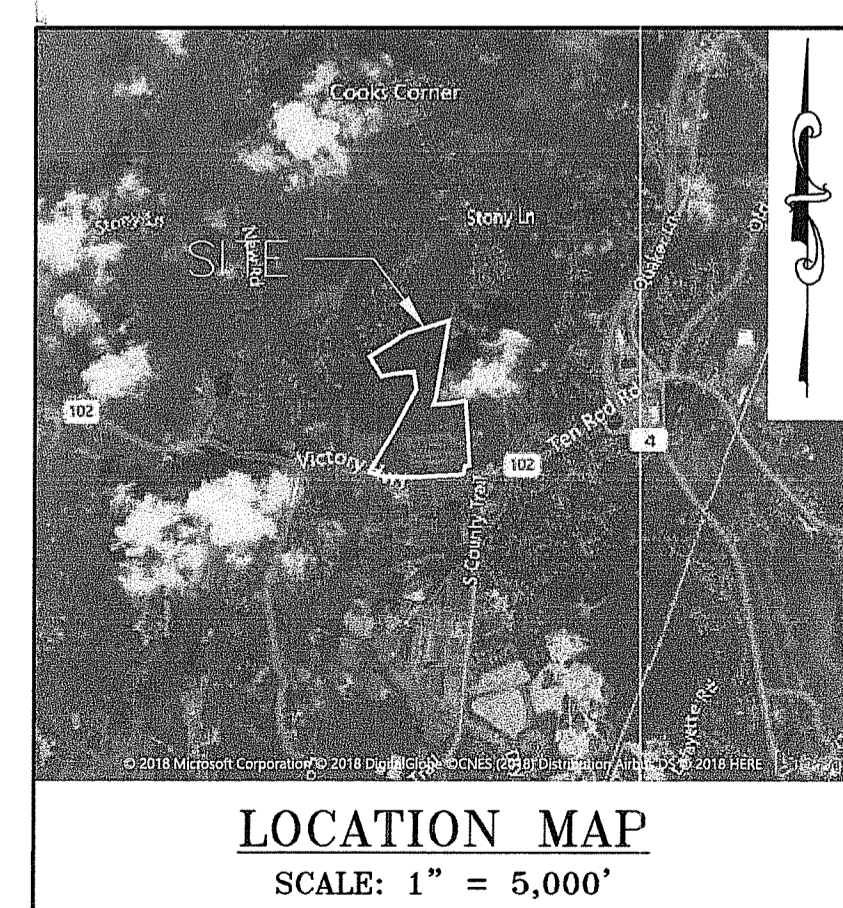
APPLICANT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET, SUITE 102A
PROVIDENCE, RI 02903

LATEST ISSUED: APRIL 8, 2021

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 10 2021 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Sencer

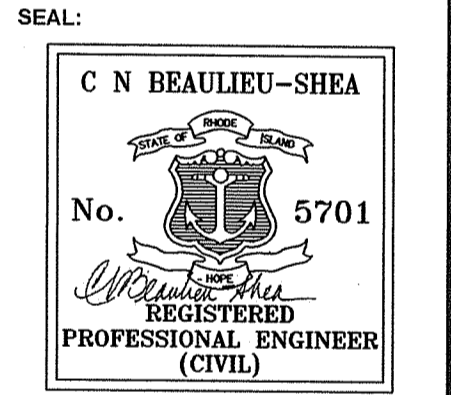


PROPERTY OWNER(S)			
PLAT - LOT	PROPERTY ADDRESS	PROPERTY OWNER NAME	MAILING ADDRESS
26-1-1	89 TEN ROD ROAD	JOHN MORRIS III TRUST	65 MILL COVE ROAD WARWICK, RI 02889

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C-5	SITE PLAN/SESC PANEL 1	4/8/21
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L-5	LANDSCAPE PLAN - PANEL 5	4/7/21
L-6	LANDSCAPE DETAILS & NOTES	4/7/21

NOT FOR CONSTRUCTION



REVISION	DATE	DESCRIPTION
8	4/8/21	RIDEM COMMENTS
7	2/12/21	RIDEM RESUBMIT / TOWN COMMENTS
6	1/15/21	TOWN & PEER REVIEW COMMENTS
5	9/3/20	TOWN & PEER REVIEW COMMENTS
4	3/17/20	TOWN COMMENTS

CLIENT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02882
APR - 9 2021

TITLE: *Office at Mill Pond*

COVER	
ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	N/A
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO:	3653180038

C-1
SHEET 1 OF 21

LEGEND

	EXIST	PROP		EXIST	PROP
TOP/BOTTOM CURB ELEVATION	27.65 TC 27.15 BC	27.65 TC 27.15 BC	SURVEYED PROPERTY LINE (PL)	---	---
SPOT GRADE w/LEADER	21.25 X	21.25 X	ASSESSOR'S MAP PROP. LINE	---	---
SPOT GRADE	21.25 X	21.25 X	RIGHT-OF-WAY/PL EASEMENT	---	---
BORING LOCATION	B-1	B-1	BUILDING SETBACK	---	---
TEST PIT LOCATION	TP-1	TP-1	50' PERIMETER WETLAND	---	---
MONITORING WELL	MW-1	MW-1	100' RIVERBANK WETLAND	---	---
BENCH MARK	BM	BM	200' RIVERBANK WETLAND	---	---
DRAIN MANHOLE	DMH	DMH	ZONING LINE	10+00	10+00
CATCH BASIN	CB	CB	TOWN LINE	---	---
DOUBLE CATCH BASIN	DCB	DCB	STATE LINE	---	---
GUTTER INLET	G	G	GRAVEL ROAD	---	---
TRENCH DRAIN	TD	TD	EDGE OF PAVEMENT	EOP	EOP
HEADWALL	H	H	BITUMINOUS CURB	BC	BC
FLARED END SECTION	FES	FES	CAPE COD BERM	CCB	CCB
DRAINAGE LINE	D	D	PRECAST CONC. CURB	PCC	PCC
OVERFLOW DRAIN	OD	OD	VERT. GRAN. CURB	VGC	VGC
ROOF DRAIN	RD	RD	SLOPED GRAN. EDGING	SGE	SGE
OVERHEAD WIRE	OW	OW	LIMIT OF CURB TYPE	---	---
WATER LINE	W	W	TREE LINE	---	---
FIRE PROTECTION LINE	FL	FL	MEADOW GRASS LINE	---	---
GAS LINE	G	G	MEADOW SHRUB LINE	---	---
UNDERGROUND ELECTRIC	UE	UE	CRUSHED STONE	---	---
UNDERGROUND TELEPHONE	TEL	TEL	EROSION CONTROL FABRIC	---	---
FIRE ALARM	FA	FA	SAWCUT	---	---
FIRE & POLICE CABLE	FAP	FAP	MATCHLINE	-----	-----
CABLE TV	CATV	CATV	SOLID WHITE LINE	SWL	SWL
PLUG/STUB	I	I	SOLID YELLOW LINE	SYL	SYL
GREASE TRAP	GT	GT	BROKEN WHITE LINE	BWL	BWL
CONTROL STRUCTURE	CS	CS	BROKEN YELLOW LINE	BYL	BYL
SEWER MANHOLE	SMH	SMH	SOLID WHITE CHANNELIZING LINE	SWCHL	SWCHL
SEWER LINE	S	S	SOLID YELLOW CHANNELIZING LINE	SYCHL	SYCHL
WATER GATE	WG	WG	DOUBLE YELLOW LINE	DYL	DYL
TAPPING SLEEVE, VALVE, & BOX	TSV	TSV	STOP LINE	SL	SL
RISER	R	R	STEEL GUARD RAIL	---	---
PRESSURE REDUCER	PR	PR	WOOD GUARD RAIL	---	---
SIAMSESE CONNECTION	SC	SC	PATH	---	---
FIRE HYDRANT	FD	FD	CHAIN LINK FENCE	---	---
WATER METER	WM	WM	STONE WALL	---	---
POST INDICATOR VALVE	PV	PV	RETAINING WALL	---	---
WELL	W	W	HAY BALES	---	---
GAS GATE	GG	GG	SILT FENCE	---	---
GAS METER	GM	GM	STRAW WATTLE	---	---
ELECTRIC MANHOLE	EMH	EMH	LIMIT OF DISTURBANCE	---	---
ELECTRIC BOX	EB	EB	MINOR CONTOUR	---	---
ELECTRIC METER	EM	EM	MAJOR CONTOUR	---	---
LIGHT POLE	LP	LP	TOP OF SLOPE	---	---
FLOOD LIGHT	FL	FL	TOE OF SLOPE	---	---
SINGLE LUMINAIRE	L1	L1	BUILDING	---	---
DOUBLE LUMINAIRE	L2	L2	BUILDING ENTRANCE	---	---
TRIPLE LUMINAIRE	L3	L3	LOADING DOCK	---	---
QUAD LUMINAIRE	L4	L4	BOLLARD	---	---
WALL PACK	WP	WP	DUMPSTER PAD	---	---
TELEPHONE MANHOLE	TMH	TMH	SIGN	---	---
TRAFFIC SIGNAL	TS	TS	DOUBLE SIGN	---	---
SIGNAL BOX	SB	SB	PARKING METER	---	---
FIRE ALARM CONTROL PANEL	FACP	FACP	PARKING COUNT	---	---
FIRE ALARM BOX	FAB	FAB	COMPACT PARKING STALLS	---	---
TRANSFORMER PAD	TP	TP	CROSSWALK	---	---
MANHOLE	M	M	CEMENT CONC. PAVEMENT	---	---
UTILITY POLE	U	U	RIPRAP STONE	---	---
GUY POLE	G	G	TRAIL REINFORCEMENT	---	---
HAND HOLE	H	H	ADA RAMP	---	---
PULL BOX	PB	PB	ADA PARKING	---	---
			VAN-ACCESSIBLE ADA PARKING	---	---

ABBREVIATIONS

	ABAN	MAXIMUM	MAX
ABANDON	ABAN	MAXIMUM	MAX
ADJUST	ADJ	MINIMUM	MIN
AMERICAN SOCIETY FOR TESTING & MATERIALS	ASTM	NOT IN CONTRACT	NIC
AMERICANS WITH DISABILITIES ACT	ADA	NOT TO SCALE	NTS
APPROXIMATE	APPROX	ON CENTER	OC
ASPHALT COATED CORRUGATED METAL PIPE	ACOMP	ONSITE WASTEWATER TREATMENT SYSTEM	OWTS
BITUMINOUS CURB	BC	PAVED WATER WAY	PWW
BOTTOM OF SLOPE	BOS	POLYVINYLCHLORIDE PIPE	PVC
CAPE COD BERM	CCV	PRECAST CONCRETE CURB	PCC
CAST IRON PIPE	CIP	PROPOSED	PROP
CHANGE IN TYPE	CIT	RADIUS	R
COLUMN	COL	REINFORCED CONCRETE PIPE	RCP
CONDUIT	COND	REMODEL	REMOD
CORRUGATED ALUMINUM PIPE	CAP	REMOVE	REM
CORRUGATED POLYETHYLENE PIPE	CPP	REMOVE AND DISPOSE	R&D
DUCTILE IRON PIPE	DIP	REMOVE AND RESET	R&R
ELEVATION	ELEV	REMOVE AND STORE	R&S
EXISTING	EXIST	RETAIN	RET
FOUNDATION	FDN	SLOPED GRANITE EDGING	SGE
FRAME AND COVER	F&C	TAPPING SLEEVE, VALVE AND BOX	TSV&B
FRAME AND GRATE	F&G	TOP OF SLOPE	TOS
GALVANIZED	GALV	TRANSITION	TRANS
GRANITE CURB	GC	TYPICAL	TYP
HIGH DENSITY POLYETHYLENE	HDPE	UTILITY POLE	UP
HYDRANT	HYD	VERTICAL GRANITE CURB	VGC
INVERT ELEVATION	INV	VITRIFIED CLAY PIPE	VCP
LANDSCAPE AREA	LA	WATER GATE	WG

GENERAL NOTES

- THESE PLANS AND THEIR CORRESPONDING ELECTRONIC DOCUMENTS, INCLUDING CAD FILES FOR THE PROJECT, ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN THE DEVELOPMENT OF THIS PROJECT WITHOUT THE EXPRESSED, WRITTEN CONSENT OF WOOD, ANY UNAUTHORIZED USE, RE-USE, ALTERATION, OR MODIFICATION OF THIS DATA SHALL BE AT THE USER'S RISK WITH NO LIABILITY ON THE PART OF WOOD.
- UPON AWARD OF THE CONTRACT AND PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND BONDS AND PAYING ALL STATE AND LOCAL FEES RELATING TO THE WORK SHOWN ON THESE DRAWINGS, THE CONSTRUCTION SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 BUSINESS HOURS PRIOR TO INITIATING ANY EXCAVATION WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. WHERE SITE SPECIFICATIONS ARE NOT PROVIDED, THE CONTRACTOR SHALL ADHERE TO TOWN OF EXETER STANDARDS OR THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AS APPLICABLE. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- REFERENCE MADE TO "STATE HIGHWAY STANDARDS," "STATE STANDARD SPECIFICATIONS," "STANDARD SPECIFICATIONS," OR "RIDOT STANDARDS" SHALL MEAN AND BE DEFINED AS THE "RHODE ISLAND DEPARTMENT OF TRANSPORTATION - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION."
- ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE REMOVED IMMEDIATELY AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SECURITY AND JOB SAFETY AND SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING ANY REQUIRED POLICE PROTECTION. ANY REQUIRED TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- THE CONTRACTOR SHALL NOT OBSTRUCT PUBLIC ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT FIRST OBTAINING THE NECESSARY PERMITS TO DO SO.
- ACCESSIBLE ROUTES, PARKING SPACES, SIDEWALKS, AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FEDERAL "AMERICANS WITH DISABILITIES ACT (ADA)" AND LOCAL AND STATE STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- THE LIMITS-OF-WORK (A.K.A. "LIMIT OF DISTURBANCE") SHALL BE AS SHOWN ON THESE PLANS. AREAS DISTURBED BEYOND THESE DEFINED LIMITS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LANDSCAPE AREAS SHALL BE RESTORED WITH 4 INCHES OF LOAM AND SEED.
- SHOULD THE CONTRACTOR ENCOUNTER SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MATERIAL DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE SUSPECTED AREA AND NOTIFY THE OWNER SO THAT APPROPRIATE ACTIONS AND TESTING CAN TAKE PLACE.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL UNPAVED/LANDSCAPE AREAS SHALL RECEIVE 4 INCHES OF LOAM AND SEED WITHIN THE LIMITS OF WORK SHOWN ON THESE PLANS. LOAM SHALL BE EVENLY SPREAD, SMOOTHED, AND COMPACTED PRIOR TO SEEDING.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT THEIR PROPOSED INTERFACE WITH PROPOSED PAVEMENTS TO ENSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- EXISTING CONDITIONS, INCLUDING HORIZONTAL AND VERTICAL DATUMS, ARE FROM SURVEY CONDUCTED BY WATERMAN ENGINEERING COMPANY. VERTICAL DATUM FOR THE PROJECT IS REFERENCED TO NAVD 1988 AND HORIZONTAL DATUM IS REFERENCED TO NAD83.

UTILITIES:

- EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, SIZE, MATERIAL(S), AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO ORDERING OR INSTALLING THESE MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, OR WHERE EXISTING CONDITIONS DIFFER FROM THE INFORMATION SHOWN ON THESE PLANS, SUCH THAT THE WORK CAN NOT BE COMPLETED AS INTENDED, THE CONTRACTOR SHALL IMMEDIATELY IDENTIFY AND PROVIDE THE ENGINEER WITH THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY IN CONFLICT. THE CONTRACTOR SHALL NOT CONTINUE WORK IN THIS AREA UNTIL THE APPROPRIATE REMEDIAL ACTION IS AGREED UPON BY THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO OVERHEAD AND/OR UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THESE PLANS THROUGHOUT WORK ON THIS PROJECT.

LAYOUT AND MATERIALS NOTES

- THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- DIMENSIONS ARE TO/FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED ON THESE PLANS.
- PROPOSED BOUNDS AND ANY OTHER EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BITUMINOUS PATCH FOR ANY TRENCH WORK WITHIN PAVEMENT OR SIDEWALK AREAS IN PUBLIC RIGHTS-OF-WAY UNTIL PERMANENT PATCHING IS INSTALLED.
- LAWN & LANDSCAPE MANAGEMENT: THE OWNER SHALL EMPLOY THE STANDARDS FOR GROUND MANAGEMENT SPECIFIED IN APPENDIX G (G.7) OF THE 2010 RIDISDM TO THE EXTENT PRACTICABLE. MOWING SHALL OCCUR TWICE PER YEAR TO A HEIGHT NO LESS THAN 2 INCHES DURING THE GROWING SEASON. USE OF FERTILIZERS, PESTICIDES, AND IRRIGATION SHALL BE MINIMIZED. ALL LANDSCAPING AND LANDSCAPING MAINTENANCE SHALL BE PERFORMED BY A LICENSED SUBCONTRACTOR AND ALL MATERIALS REMOVED FROM THE PREMISES SHALL BE IN CONFORMANCE WITH ALL APPLICABLE REGULATORY STANDARDS.

DEMOLITION

- WITHIN THE LIMIT OF WORK/DISTURBANCE, THE CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBS, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC., EXCEPT AS OTHERWISE NOTED ON THESE PLANS.
- THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND IS NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
- EXISTING UTILITIES SHALL BE TERMINATED IN CONFORMANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, AND SERVICE PROVIDER REQUIREMENTS.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS FOUND DURING CONSTRUCTION.

SITE SPECIFIC DATA

- TOTAL SITE AREA = 141.47± ACRES
- TOTAL AREA OF DISTURBANCE = 40.0± ACRES
- NATURAL HERITAGE AREA (NHA) IMPACT - NO
- THREATENED SPECIES OR HABITAT IMPACT - NO
- WATERSHED = THROUGH WETLANDS TO QUEENS FORT BROOK; WBD: R10008039R-31A (COLD WATER FISHERY, IMPAIRMENT: ENTEROCOCCUS)

EROSION CONTROLS/CONSTRUCTION SEQUENCING

- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- EROSION CONTROL DEVICES
 - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
 - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
 - TEMPORARY SEDIMENT BASINS MAY BE EXCAVATED OR BERMED/HAYBALED AND SHALL BE SIZED IN ACCORDANCE WITH THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK." THE DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
 - SILT SACKS OR EQUIVALENT SHALL BE INSTALLED AT ALL DOWN-GRADIENT CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT OFF-SITE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE "GRADING, DRAINAGE, AND EROSION CONTROL" PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED/REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS.
 - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES. STOCKPILES SHALL BE STABILIZED WITH TEMPORARY SEED ACCORDING TO NOTE 11 BELOW. IF TEMPORARY SEED IS NOT FEASIBLE OR NOT PRACTICAL, STOCKPILES SHALL BE COVERED WITH POLYETHYLENE SHEETING OR SIMILAR PRODUCT AT THE END OF EACH DAY TO MINIMIZE DUST.
 - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK."
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADIENT PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE RIPPER PERMIT, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
- EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
- THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
- THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

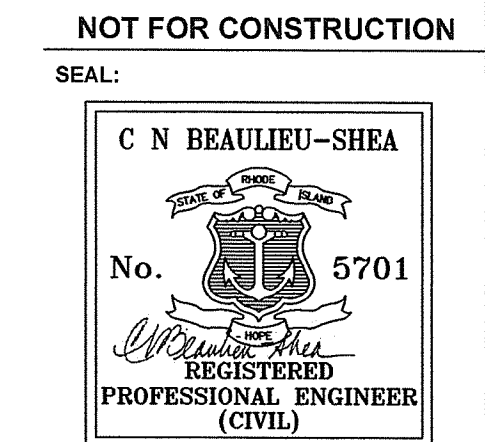
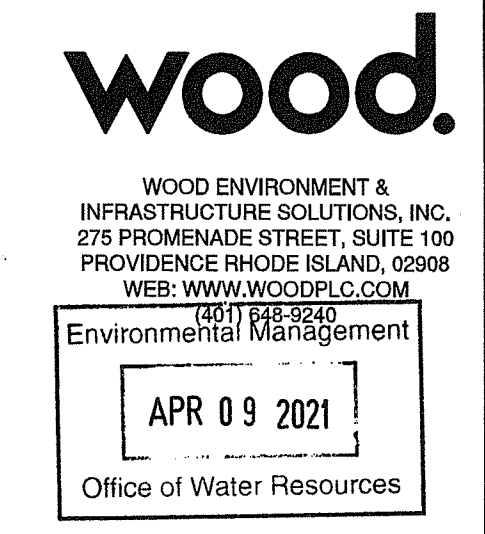
100-YEAR FLOOD PLAIN IMPACT AVOIDANCE

- THE QUEENS FORT BROOK (ID NUMBER R10008039R-31A) IS LOCATED IN THE SOUTHWEST CORNER OF THE SITE. AS DEFINED BY THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) THE QUEENS FORT BROOK IS INCLUDED IN THE AREAS SUBJECT TO INUNDATION BY THE 1-PERCENT-ANNUAL-CHANCE FLOOD EVENT, FLOOD ZONE A.
- THE SOUTHWEST CORNER OF THE SITE IS LOCATED WITHIN FLOOD ZONE A. ALL PROPOSED DEVELOPMENT ACTIVITIES ARE LOCATED WITHIN ZONE X. FLOOD INFORMATION WAS BASED ON FEMA FLOOD INSURANCE MAPS 44009C0085H, DATED 10/19/2010, FOR WASHINGTON COUNTY, RHODE ISLAND. THE BASE FLOOD ELEVATION (BFEs) OR FLOOD DEPTHS DATA ARE NOT AVAILABLE IN THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
- THERE IS NO WORK PROPOSED WITHIN THE EXISTING STREAM, AND NO IMPACT ON THE 100-YR FLOOD PLAIN LINE AND ELEVATION FOR THE QUEENS FORT BROOK LOCATED ALONG THE WESTERN SIDE OF THE EXISTING ACCESS ROAD.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 10 2021 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Senack



REVISION	DATE	DESCRIPTION
8	4/8/2021	RIDEM COMMENTS
7	2/1/2021	RIDEM RESUBMITT / TOWN COMMENTS
6	1/15/21	TOWN & FEED REVIEW COMMENTS
5	9/3/20	TOWN & FEED REVIEW COMMENTS
4	3/17/20	TOWN COMMENTS

CLIENT:
EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET, SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

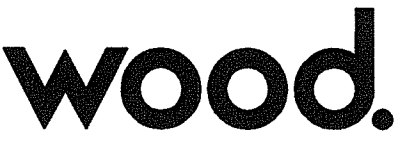
TITLE:
LEGEND AND NOTES

ISSUED FOR: PERMITTING
DATE: MARCH 17, 2020
SCALE: N/A
DRAWN BY: NRM
CHECKED BY: GAA
PROJECT NO: 3653180038

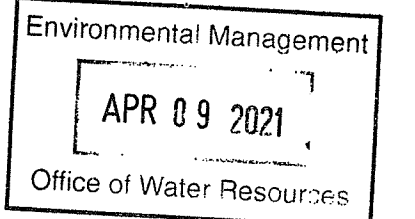
UNLESS OTHERWISE AGREED IN A WRITTEN CONTRACT BETWEEN WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. AND ITS CLIENT: (I) THIS DOCUMENT CONTAINS INFORMATION, DATA AND DESIGN THAT IS CONFIDENTIAL AND MAY NOT BE COPIED OR DISCLOSED; AND (II) THIS DOCUMENT MAY ONLY BE USED BY THE CLIENT IN THE CONTEXT AND FOR THE EXPRESS PURPOSE FOR WHICH IT HAS BEEN DELIVERED. ANY OTHER USE OR RELIANCE ON THIS DOCUMENT BY ANY THIRD PARTY IS AT THAT PARTY'S SOLE RISK AND RESPONSIBILITY.

ZONING CHART
ZONE: RURAL DISTRICT (RU-4)

	REQUIRED	PROVIDED
LOT AREA (AC)	4	141.47
LOT FRONTAGE (FT)	300	2,473.6
MAX. LOT COVERAGE (%)	15	N/A
MAX. BUILDING HEIGHT (FT)	40	N/A
BUILDING SETBACKS: (MEASURED FROM PANELS)		
FRONT SETBACK (FT)	100	1,598
EAST SIDE SETBACK (FT)	80	106
WEST SIDE SETBACK (FT)	80	103
REAR SETBACK (FT)	50	75



WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC.
275 PROMENADE STREET, SUITE 100
PROVIDENCE RHODE ISLAND, 02908
WEB: WWW.WOODCPLC.COM
(401) 848-9240

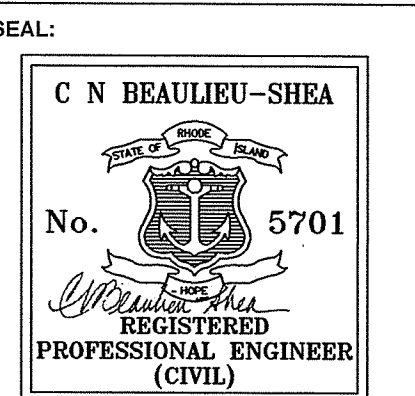


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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED **JUN 10 2021** FILE # **18-0330**
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Senack

NOT FOR CONSTRUCTION



4/8/2021

REVISION	DATE	DESCRIPTION
8	4/8/21	RIDEM COMMENTS
7	2/12/21	RIDEM RESUBMIT / TOWN COMMENTS
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4	3/17/20	TOWN COMMENTS

CLIENT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

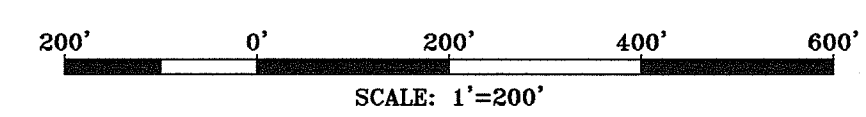
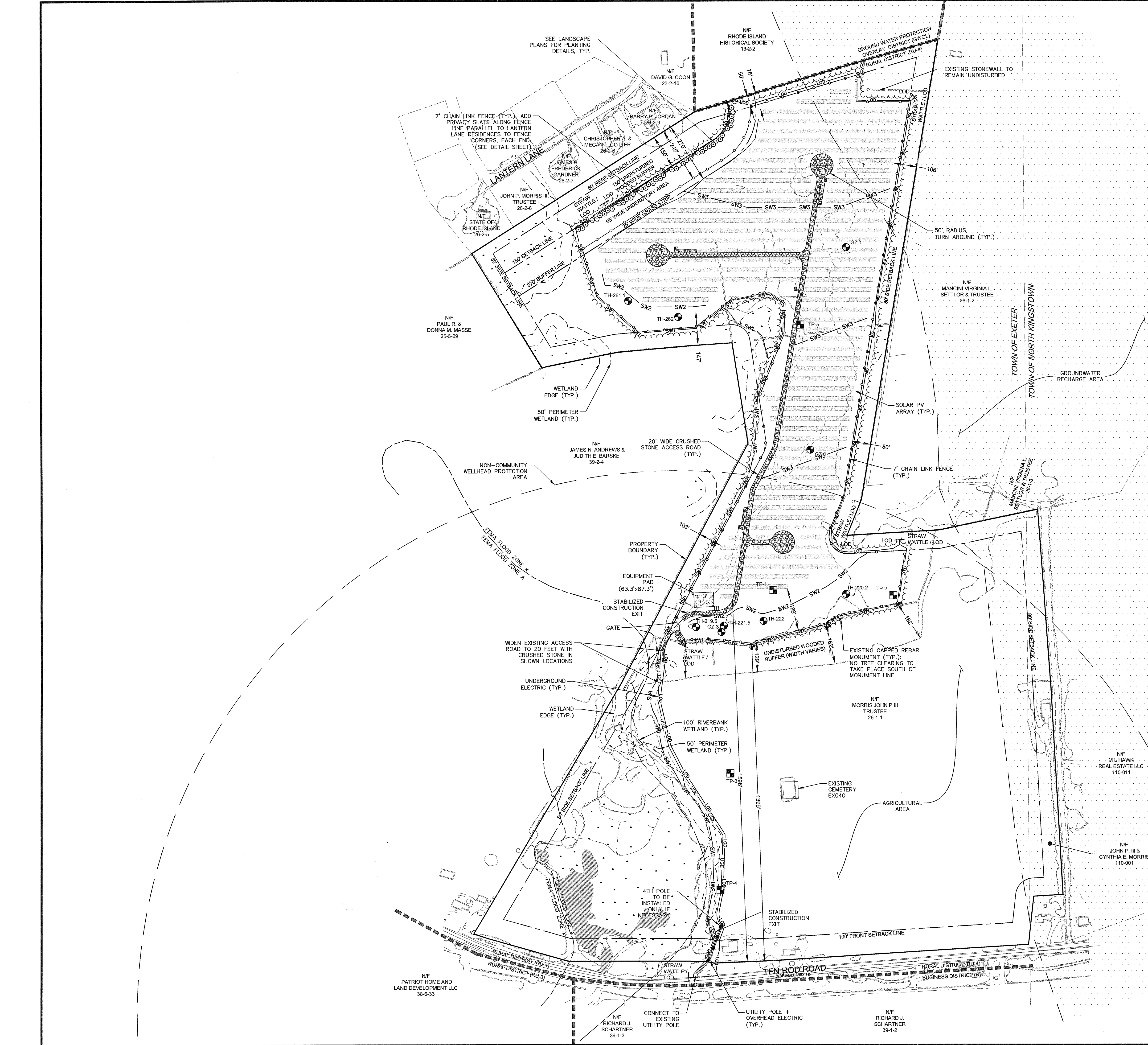
PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:
OVERALL SITE PLAN

ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	1" = 200'
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO.:	3653180038

C-3

SHEET 3 OF 21



UNLESS OTHERWISE AGREED IN A WRITTEN CONTRACT BETWEEN WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. AND ITS CLIENT: (I) THIS DOCUMENT CONTAINS INFORMATION, DATA AND DESIGN THAT IS CONFIDENTIAL AND MAY NOT BE COPIED OR DISCLOSED; AND (II) THIS DOCUMENT MAY ONLY BE USED BY THE CLIENT IN THE CONTEXT AND FOR THE EXPRESS PURPOSE FOR WHICH IT HAS BEEN DELIVERED. ANY OTHER USE OR RELIANCE ON THIS DOCUMENT BY ANY THIRD PARTY IS AT THAT PARTY'S SOLE RISK AND RESPONSIBILITY.

- NOTES:
1. SEE SHEET C-5 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES.
 2. ALL EXISTING TOPSOIL SHALL BE RETAINED ON-SITE.
 3. SEE LANDSCAPE PLANS FOR ALL PLANTING WITHIN PROJECT LIMITS, UNLESS OTHERWISE NOTED.

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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DATED **JUN 10 2021** FILE # **R-0330**
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Matthew D. Wemer

NOT FOR CONSTRUCTION

SEAL:

C N BRAULIEU-SHEA

No. **5701**

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

REVISION	DATE	DESCRIPTION
8	4/8/21	RIDEM COMMENTS
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4	3/17/20	TOWN COMMENTS

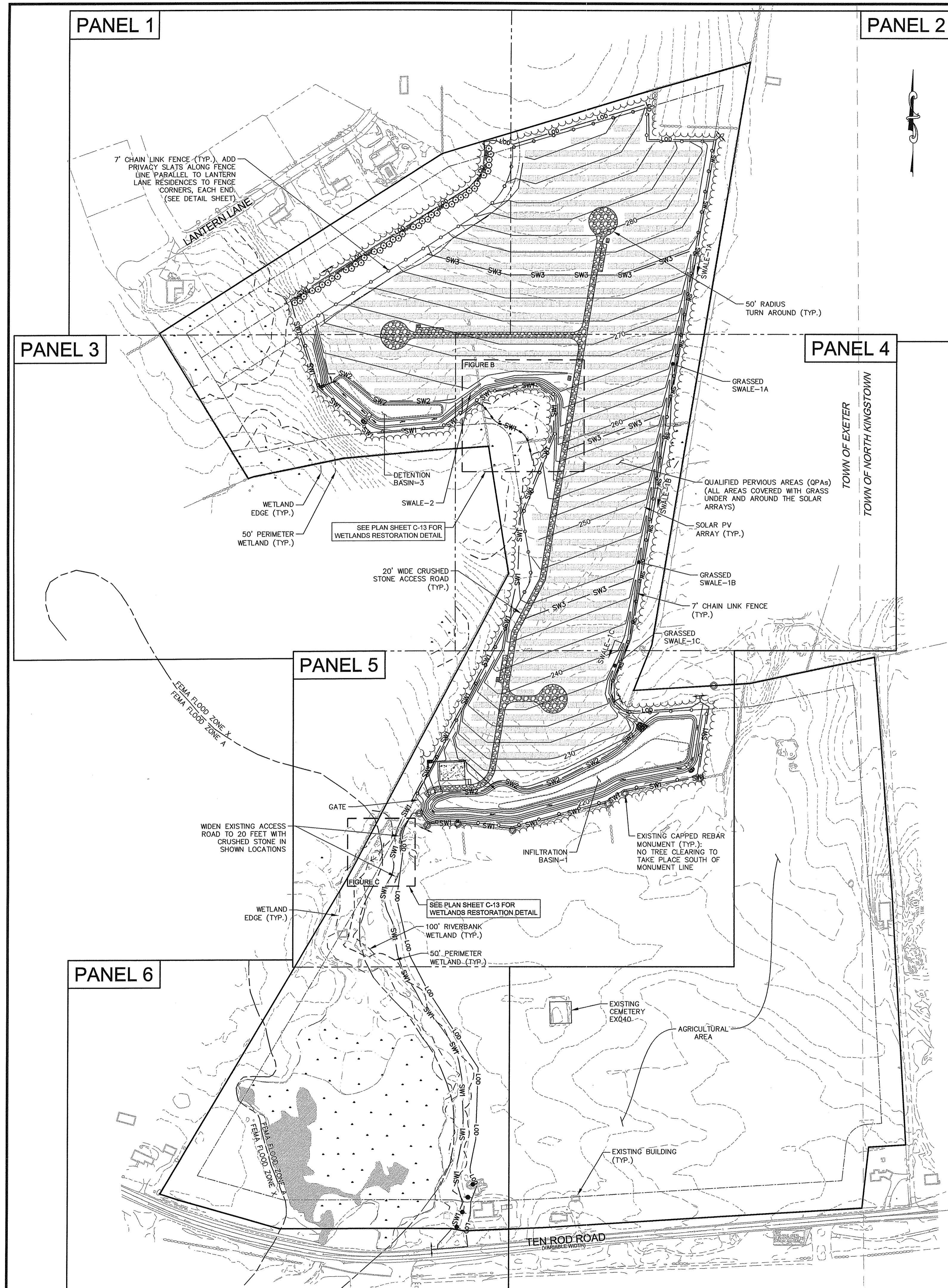
PROJECT:

EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02908

12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

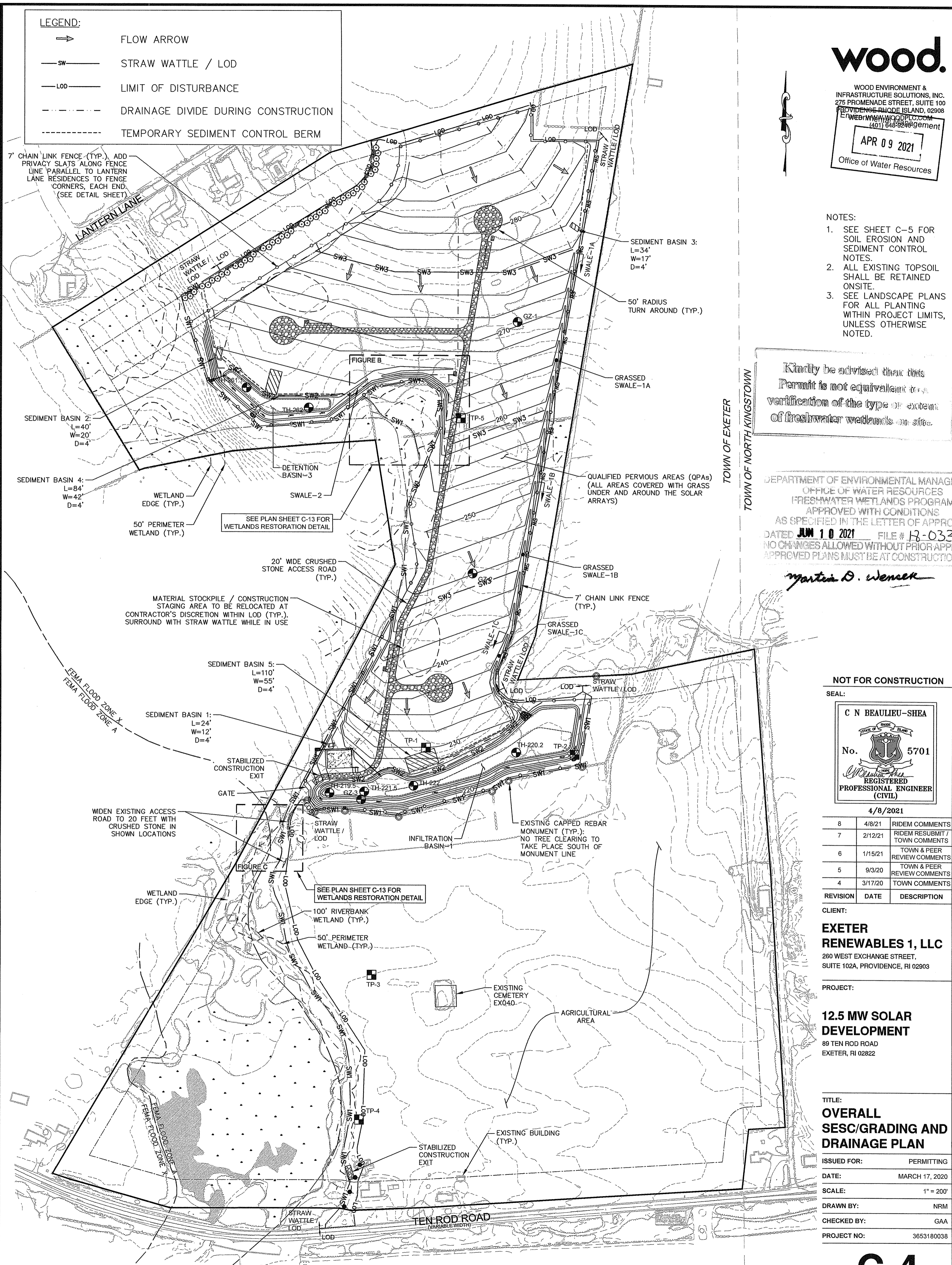
TITLE:
OVERALL SESC/GRADING AND DRAINAGE PLAN

ISSUED FOR: PERMITTING
DATE: MARCH 17, 2020
SCALE: 1" = 200'
DRAWN BY: NRM
CHECKED BY: GAA
PROJECT NO: 3653180038



OVERALL GRADING & DRAINAGE PLAN

SCALE: 1" = 200'



OVERALL SESC PLAN

MATCHLINE PANEL 2

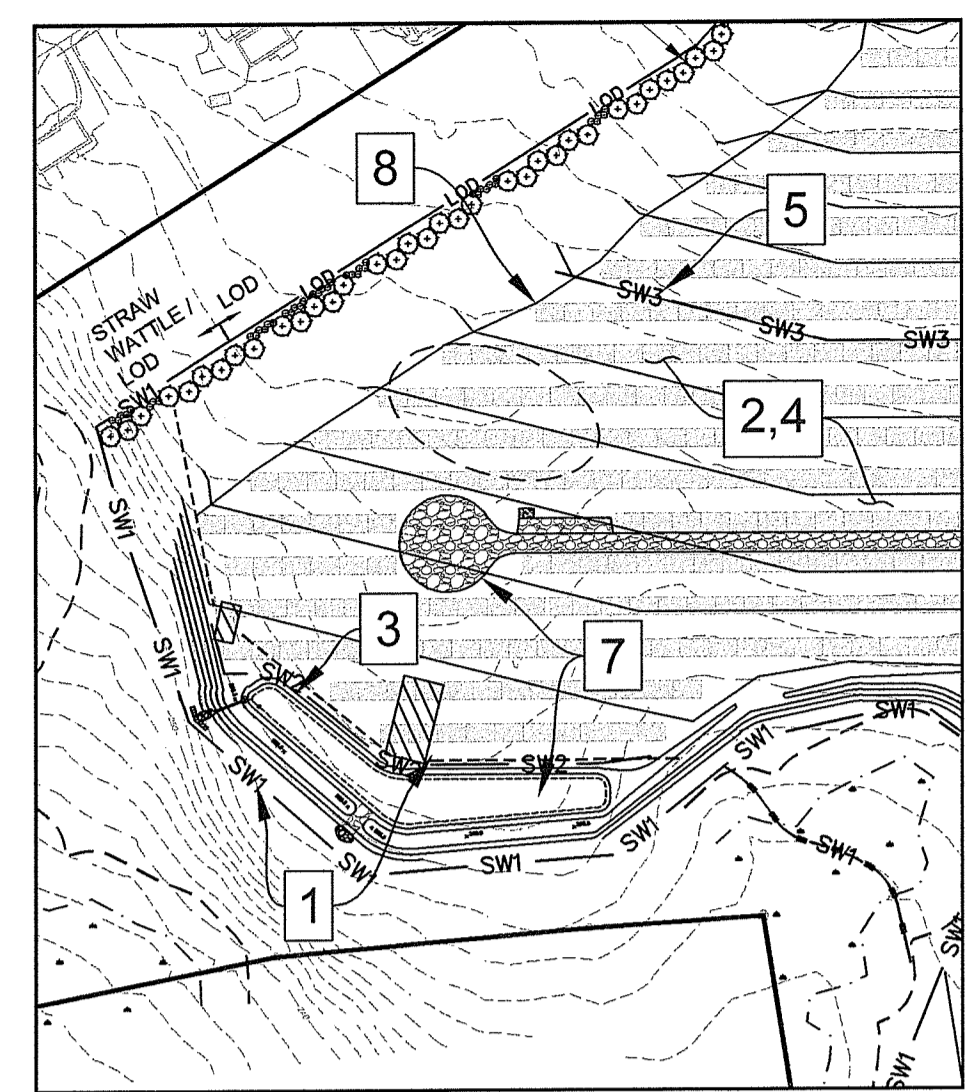


FIGURE A
SCALE 1" = 200'

SESC CONSTRUCTION SEQUENCING

1. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL DEVICES PER THE SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING PERIMETER EROSION CONTROLS AND CONSTRUCTION ENTRANCE. (SEE SHEET C-4 & C-13, AND STRAW WATTLE GROUP 1).
2. GRADE SITE TO SUBGRADE ELEVATIONS.
3. PROTECT PROPOSED DETENTION BASINS BY INSTALLING STRAW WATTLE ALONG UP-GRADIENT EDGE OF BASINS. (SEE STRAW WATTLE GROUP 2).
4. LOAM & SEED REMAINING DISTURBED AREA PER LANDSCAPE PLANS.
5. AFTER INSTALLATION OF LOAM & SEED AND BEFORE ESTABLISHMENT OF VEGETATION, INSTALL STRAW WATTLE AT 500-FOOT SPACING ACROSS THE SITE AS SHOWN ON THE PLANS. (SEE STRAW WATTLE GROUP 3).
6. ONCE VEGETATION IS ESTABLISHED, CONTACT ENGINEER OF RECORD TO INSPECT BASIN BEDS AND REPAIR AS NECESSARY.
7. UPON ENGINEER APPROVAL, INSTALL DETENTION BASINS AND GRAVEL ROADWAY.
8. INSTALL SOLAR PANELS AND EQUIPMENT.
9. REPAIR ANY ERODED AREAS TO FINISH GRADE WITH LOAM AND SEED.
10. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED WITH VEGETATION AND NO OBVIOUS EVIDENCE OF EROSION WITHIN THE PROJECT LIMITS IS OBSERVED.

LOAM AND SEED OPERATIONS SHALL BE LIMITED TO 5 ACRE INCREMENTS AT A TIME. AFTER EACH 5 ACRES OF LOAM IS SPREAD, THE AREA MUST BE SEEDED PRIOR TO PROCEEDING WITH ADDITIONAL LOAM INSTALLATION. THE CONTRACTOR SHALL INSTALL LOAM & SEED IN A NORTH TO SOUTH MANNER, INSTALLING LOAM AT THE HIGHEST PORTIONS OF THE SITE FIRST AND STABILIZING WITH VEGETATION BEFORE PROCEEDING TO LOWER PORTIONS OF THE SITE CLOSEST TO WETLAND RESOURCES.

STRAW WATTLE GROUPS/SEQUENCING

- SW1 — SW1 — GROUP 1
- SW2 — SW2 — GROUP 2
- SW3 — SW3 — GROUP 3

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Martin D. Weneck

NOTE:

1. ALL EXISTING TOPSOIL SHALL BE RETAINED ONSITE.
2. SEE LANDSCAPE PLANS FOR ALL PLANTING WITHIN PROJECT LIMITS, UNLESS OTHERWISE NOTED.

NOT FOR CONSTRUCTION

SEAL:

C N BEAULIEU-SHEA

No. 5701

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

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4	3/17/20	TOWN COMMENTS

CLIENT:

EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

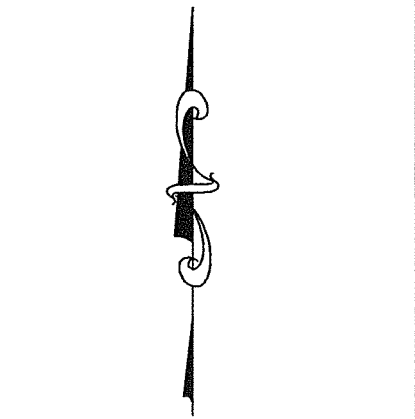
PROJECT:

12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:

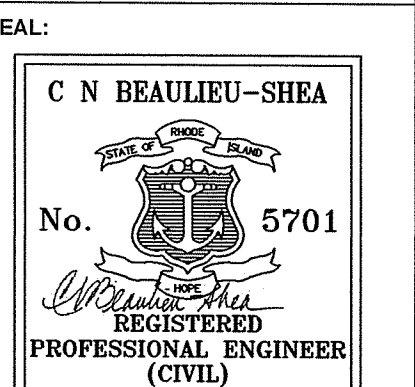
SITE PLAN/SESC PANEL 1

ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	1" = 50'
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO.:	3653180038



- NOTE:
1. ALL EXISTING TOPSOIL SHALL BE RETAINED ONSITE.
 2. SEE LANDSCAPE PLANS FOR ALL PLANTING WITHIN PROJECT LIMITS, UNLESS OTHERWISE NOTED.

NOT FOR CONSTRUCTION



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CLIENT:
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SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

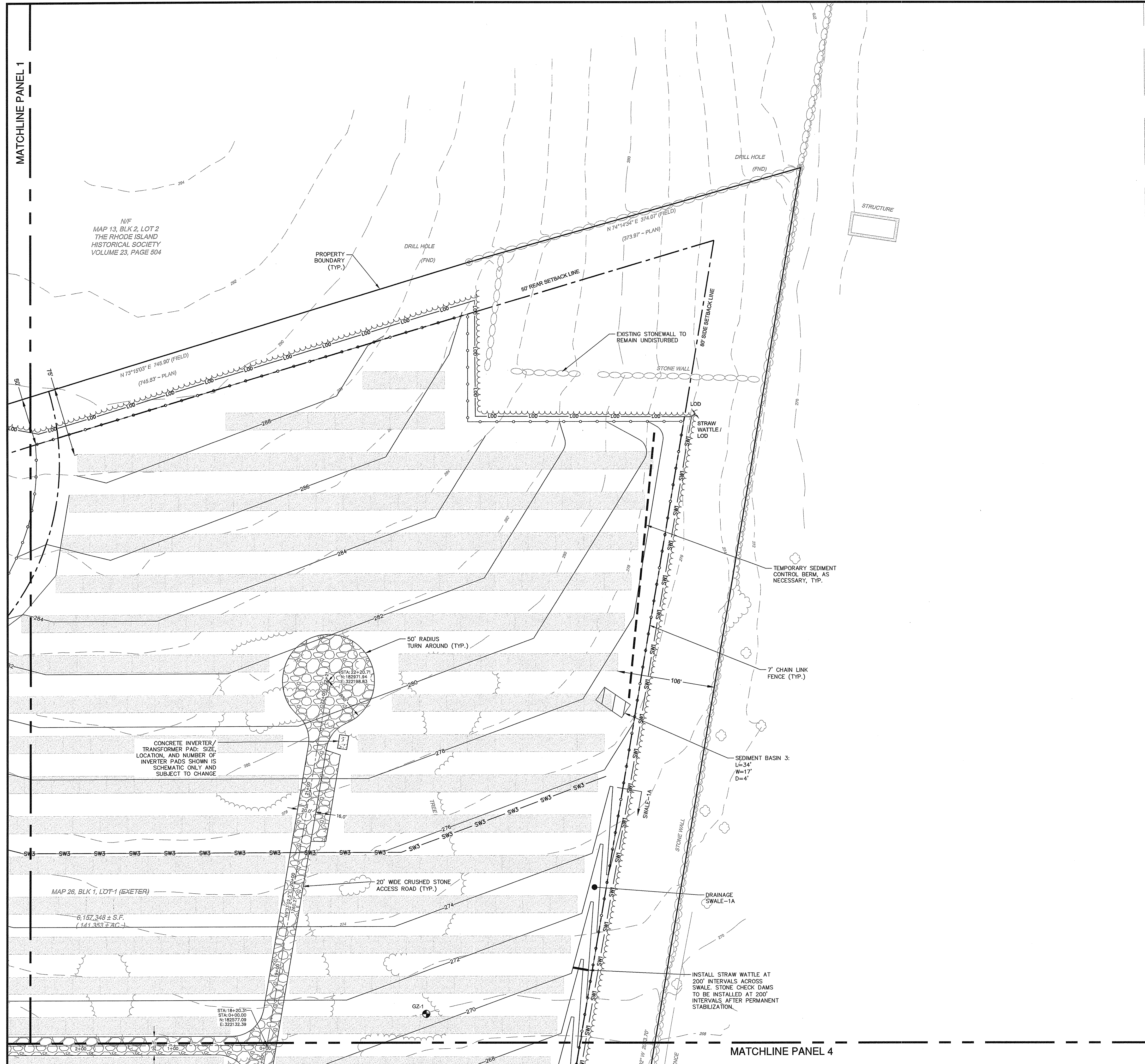
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OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED **JUN 10 2021** FILE # **17-0330**
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Signature: D. Wenczek

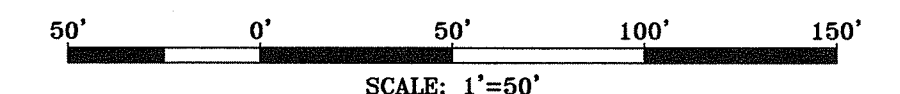
TITLE:
SITE PLANS/SEC PANEL 2

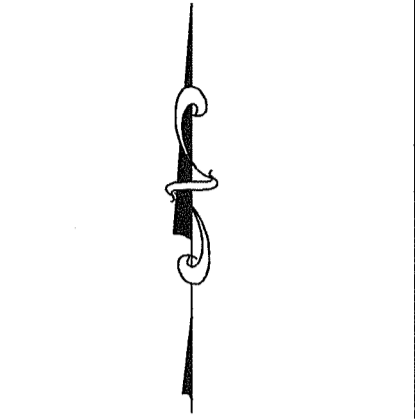
ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	1" = 50'
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO:	3653180038



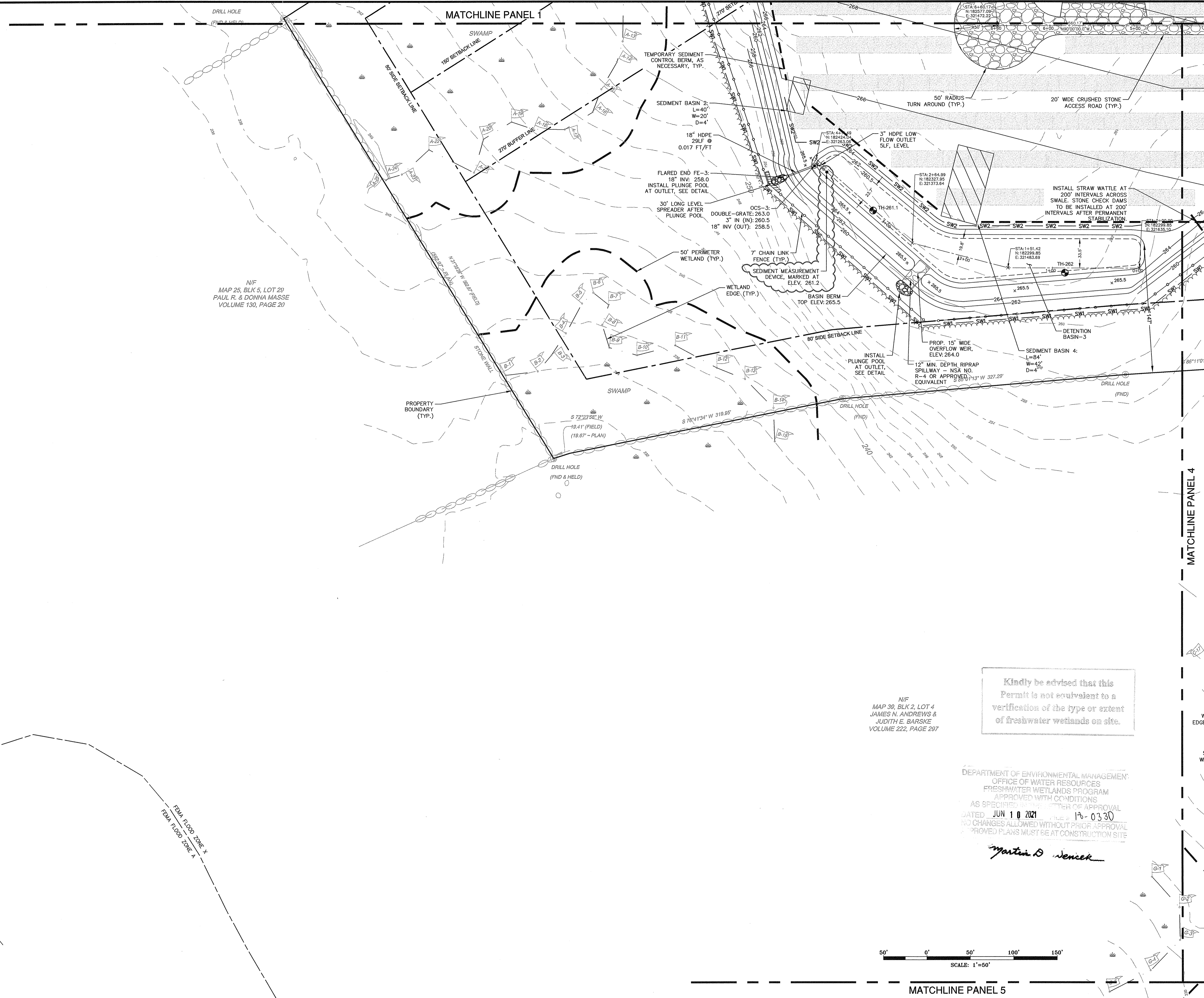
MATCHLINE PANEL 1

MATCHLINE PANEL 4





- NOTE:
1. ALL EXISTING TOPSOIL SHALL BE RETAINED ON-SITE.
 2. SEE LANDSCAPE PLANS FOR ALL PLANTING WITHIN PROJECT LIMITS, UNLESS OTHERWISE NOTED.



NOT FOR CONSTRUCTION

SEAL:

C N BEAULIEU-SHEA
No. 5701
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

4/8/2021

REVISION	DATE	DESCRIPTION
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CLIENT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:
SITE PLAN/SECC PANEL 3

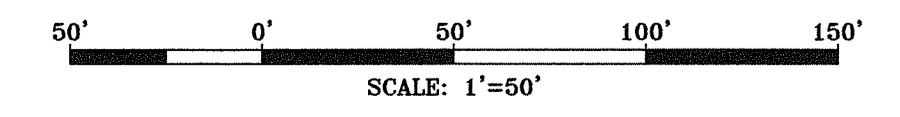
ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	1" = 50'
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO.:	3653180038

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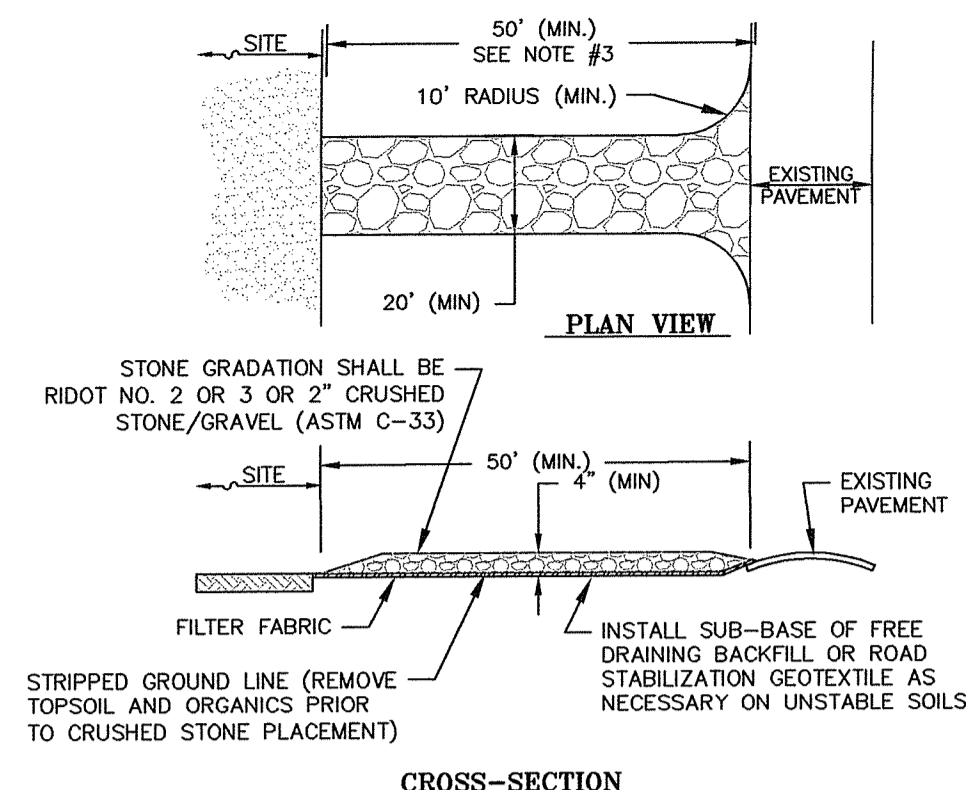
N/F MAP 39, BLK 2, LOT 4
JAMES N. ANDREWS &
JUDITH E. BARSKE
VOLUME 222, PAGE 297

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED JUN 10 2021 FILE # 19-0330
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Martin D. Sencik

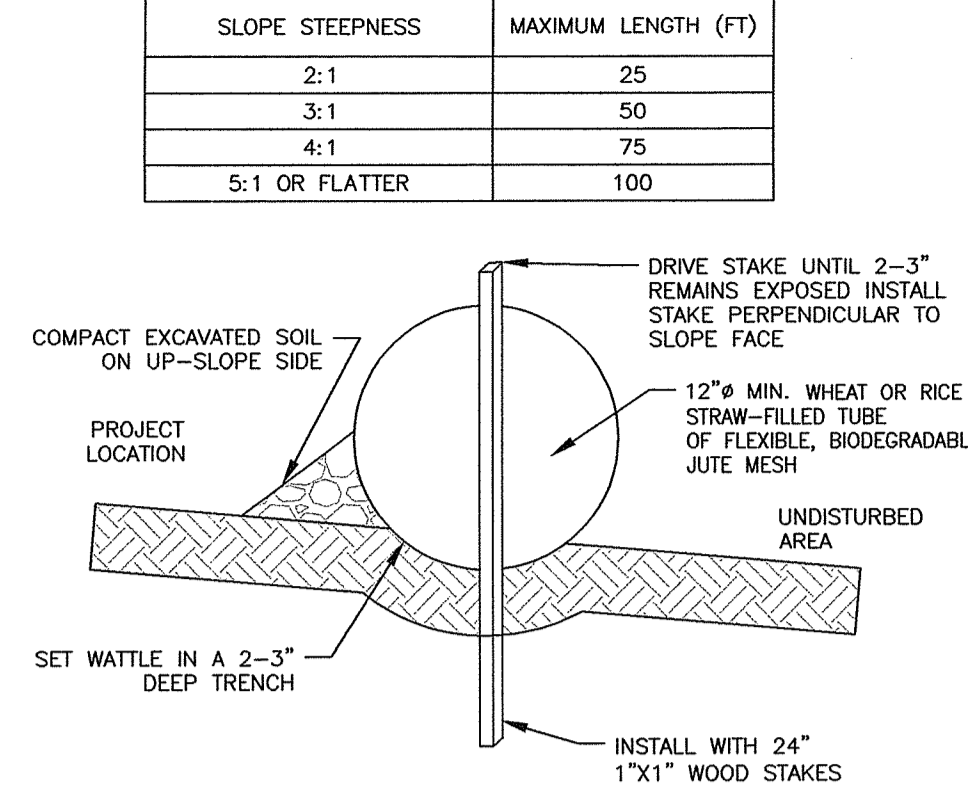


MATCHLINE PANEL 5



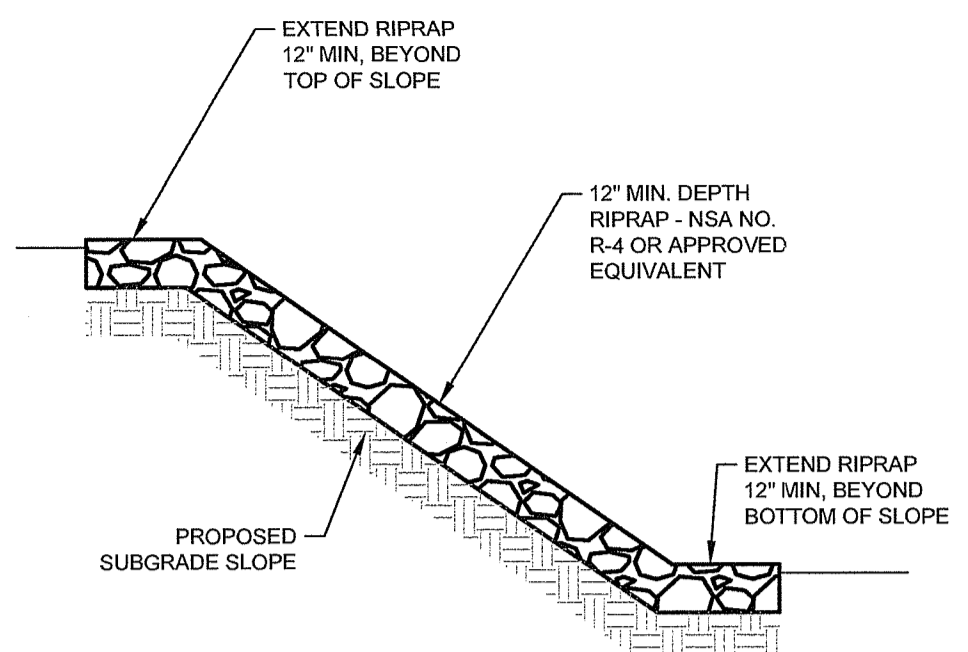
- NOTES:**
- ENTRANCE WIDTH SHALL BE TWENTY (20) FEET WIDE MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND. REPAIR ANY MEASURES USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.
 - 50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS OR 100 FEET MINIMUM WHERE SOILS ARE CLAYS OR SILTS, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY.

TEMPORARY CONSTRUCTION EXIT
CA-BC-002
NTS

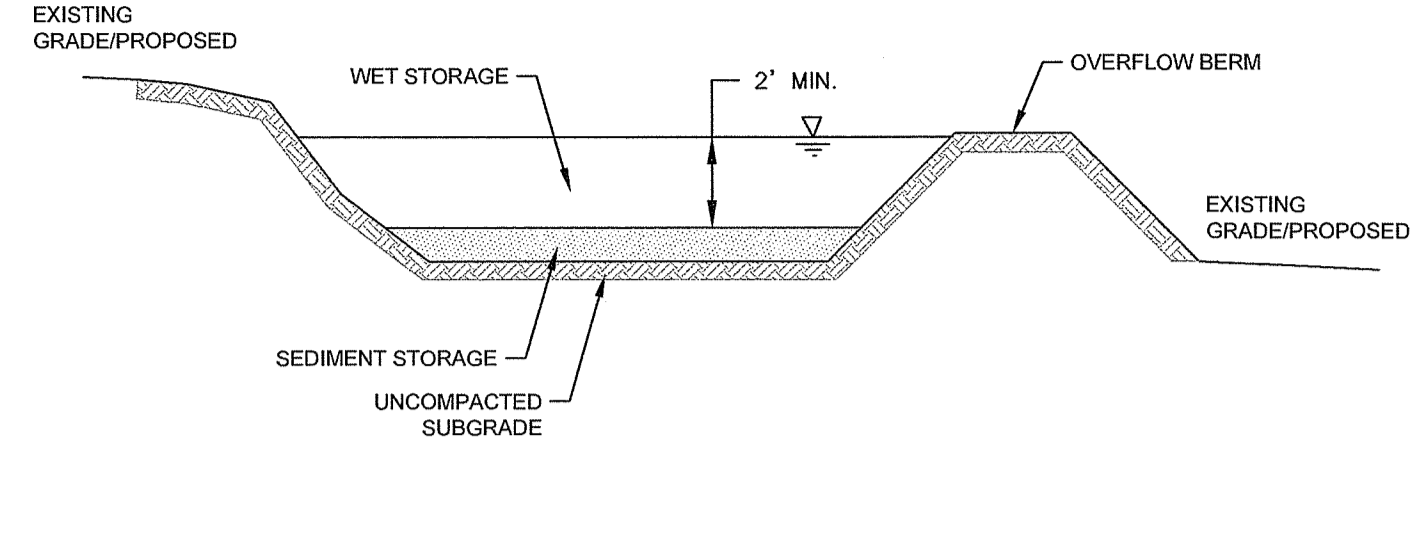


- NOTES:**
- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3\"/>

STRAW WATTLE
CA-BC-002
NTS

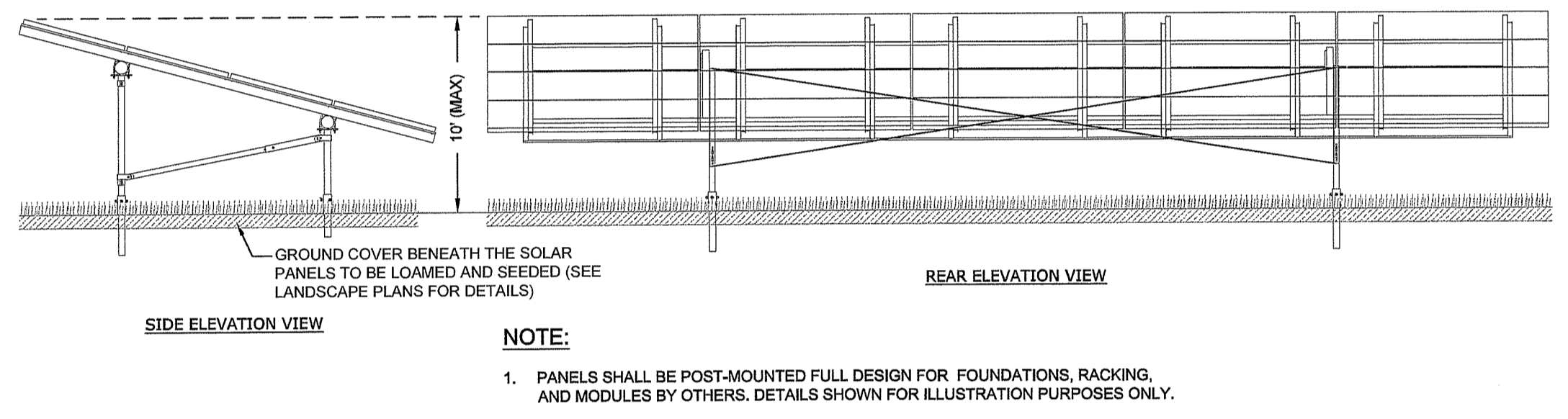


SLOPE PROTECTION TREATMENT
REV
CA-BC-013B
NTS

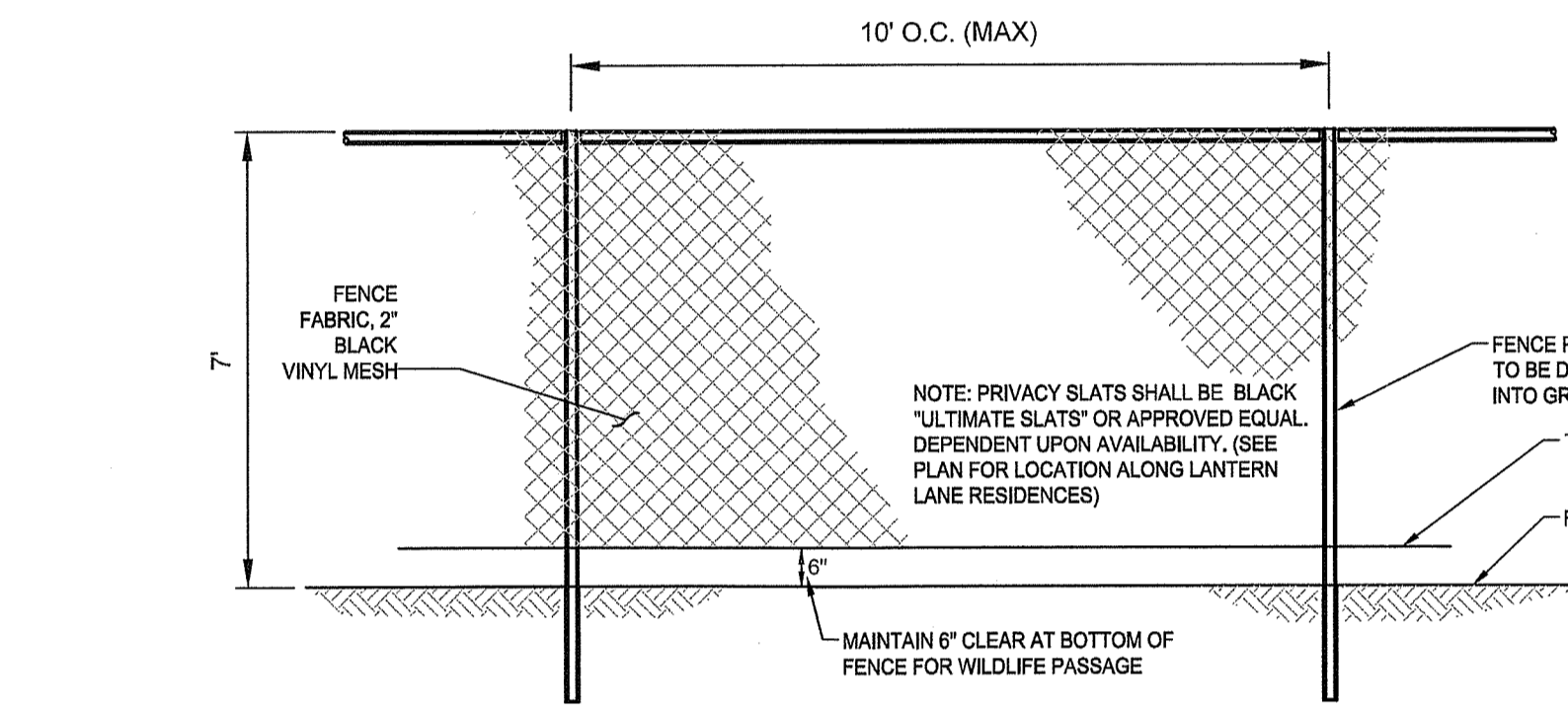


- NOTES:**
- WET STORAGE VOLUME: SHALL BE AT LEAST TWICE THE VOLUME OF THE SEDIMENT STORAGE AND (2) TWO FEET MINIMUM DEPTH.
 - SEDIMENT STORAGE VOLUME: MUST ACCOMMODATE AT LEAST ONE (1) YEAR OF THE PREDICTED SEDIMENT LOAD.
 - SEDIMENT SHALL BE REMOVED WHEN THE BASIN IS 1/2 FULL AT A MINIMUM.
 - THE BASIN SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED WITH BUILDINGS, PAVEMENT, OR ESTABLISHED VEGETATION, AS APPLICABLE.

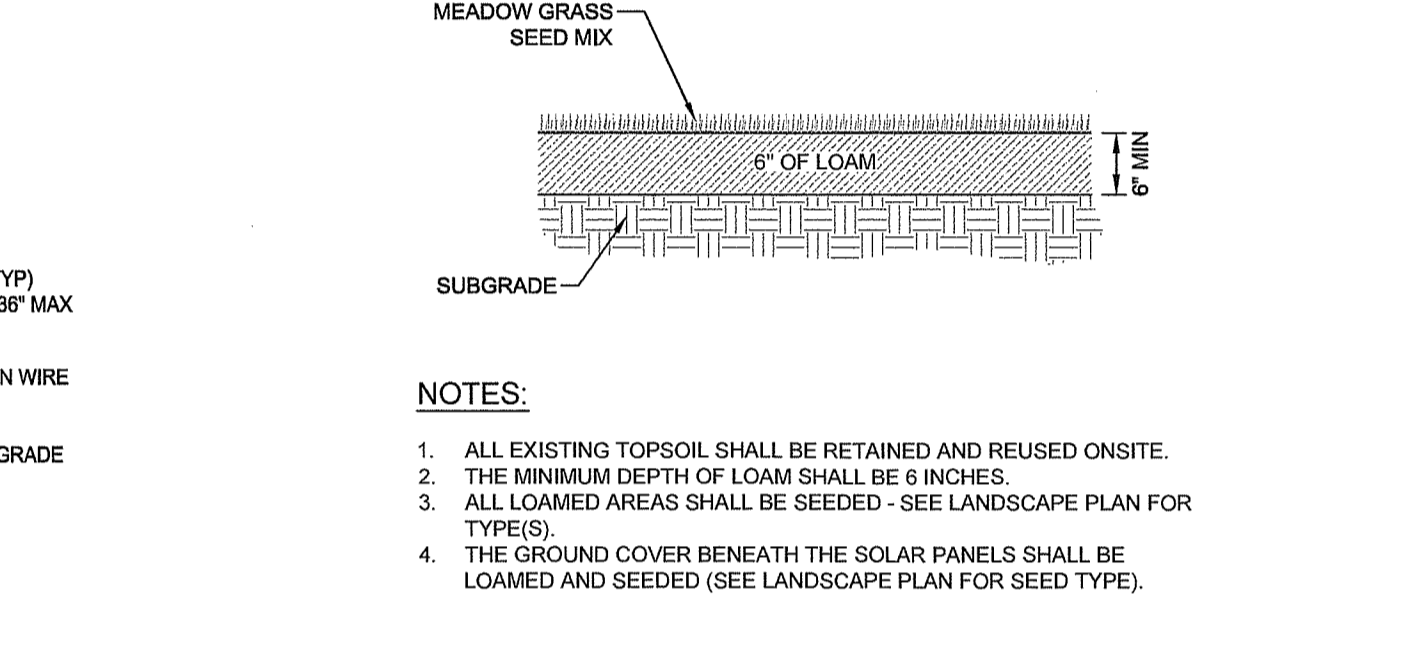
TEMPORARY SEDIMENT BASIN
CA-BC-003
NTS



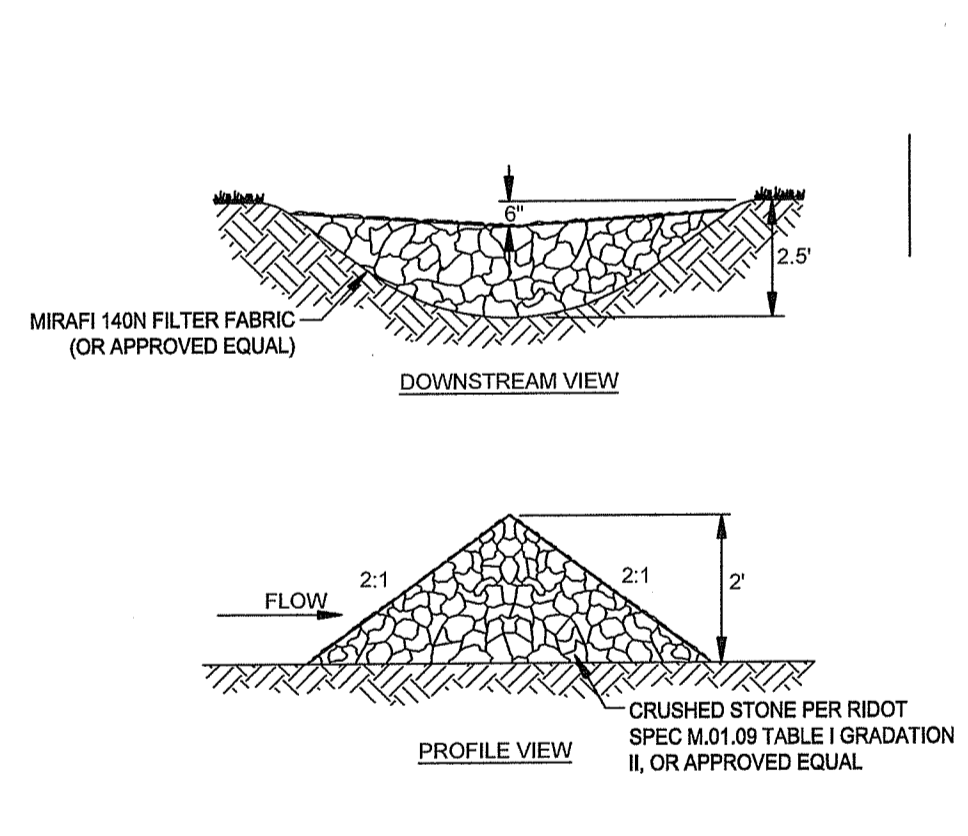
SOLAR PV ARRAY
NTS



TYPICAL CHAIN LINK FENCE / PRIVACY FENCE
NTS

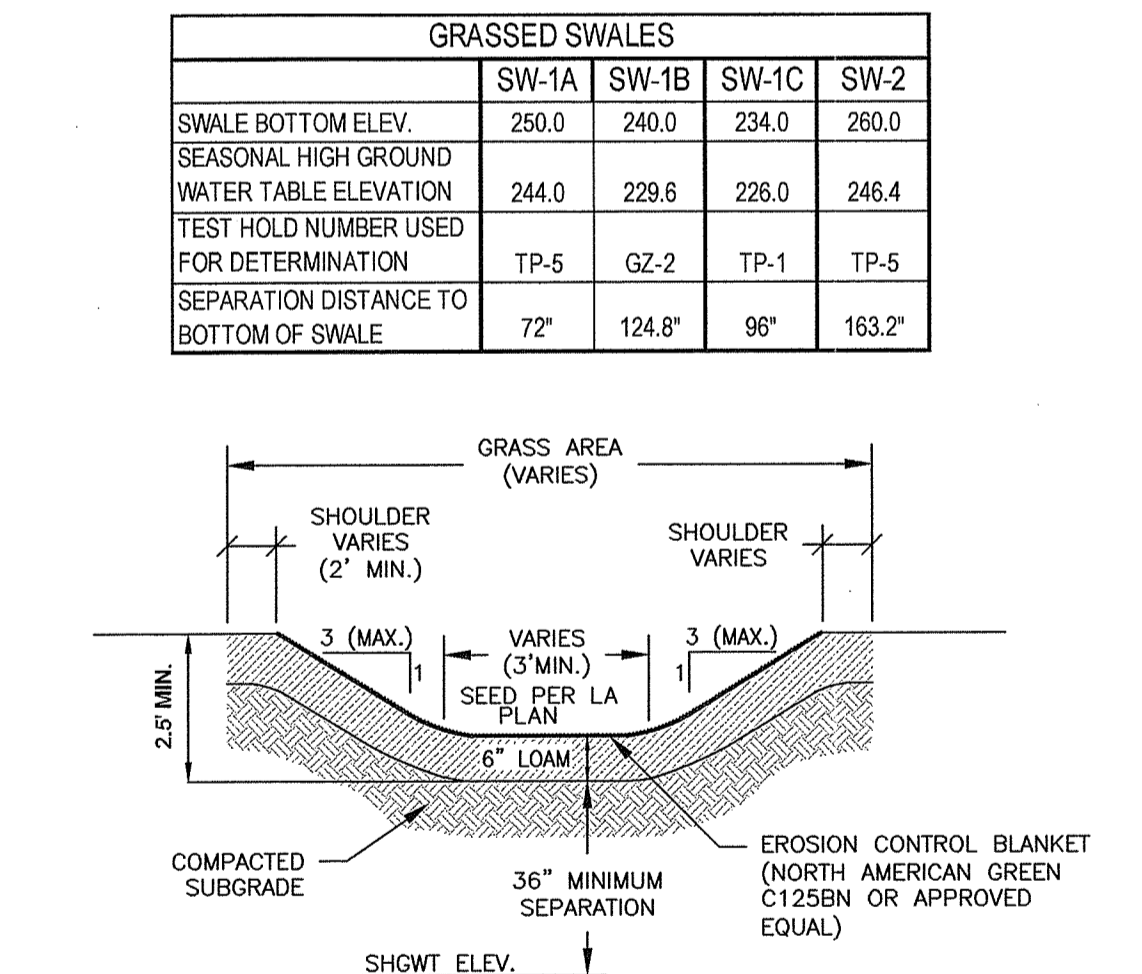


PROPOSED GROUND COVER
wood_3.1



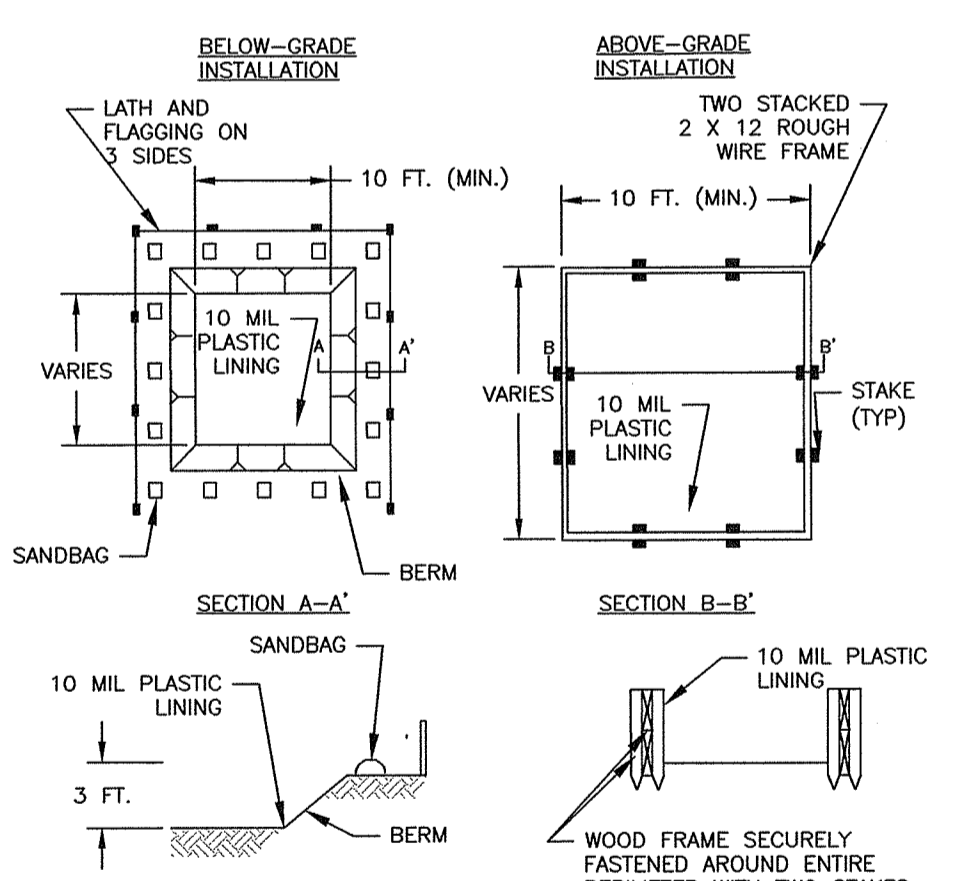
NOTE:
INSTALL STONE CHECK DAM EVERY 200 FT WITHIN GRASSED SWALE

STONE CHECK DAM
wood_3.1



GRASSED SWALE
wood_3.1

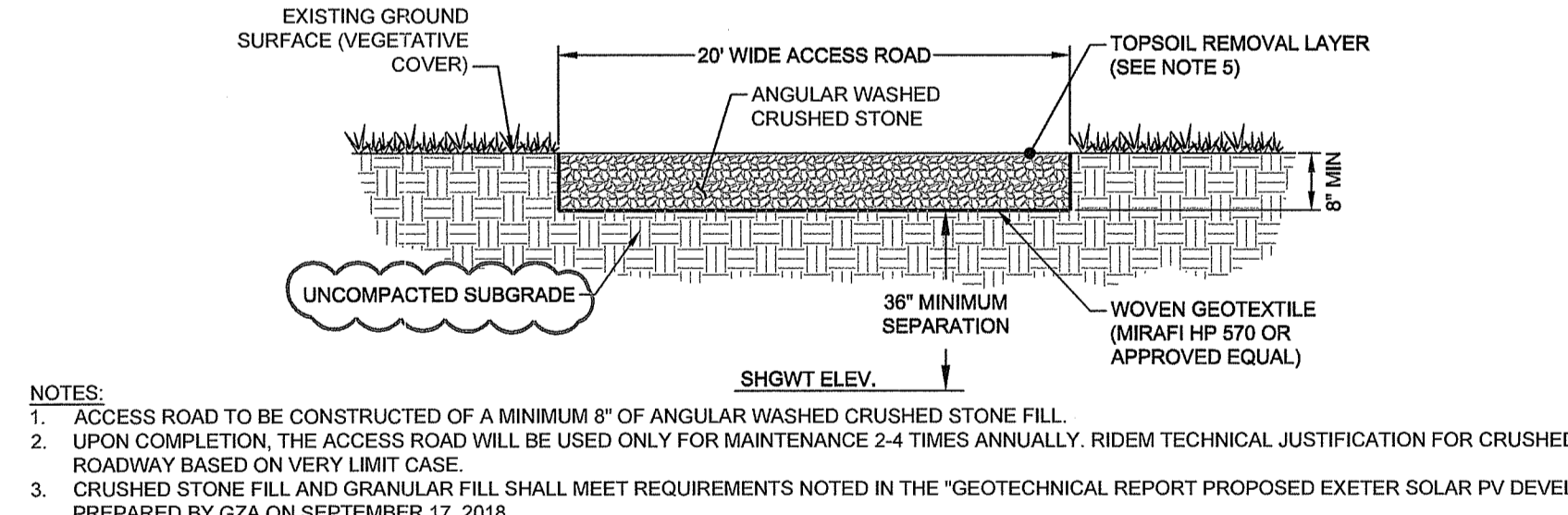
GRASSED SWALES				
	SW-1A	SW-1B	SW-1C	SW-2
SWALE BOTTOM ELEV.	250.0	240.0	234.0	260.0
SEASONAL HIGH GROUND				
WATER TABLE ELEVATION	244.0	229.6	226.0	246.4
TEST HOLD NUMBER USED FOR DETERMINATION	TP-5	GZ-2	TP-1	TP-5
SEPARATION DISTANCE TO BOTTOM OF SWALE	72"	124.8"	96"	163.2"



- NOTES:**
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
 - LOCATE A MIN. OF 50 FEET FROM STORM DRAINS, OPEN CHANNELS, WATER BODIES, AND JURISDICTIONAL WETLANDS.
 - SOIL BASE SHALL BE PREPARED FREE OF ROCKS OR OTHER DEBRIS THAT COULD CAUSE A TEAR IN THE LINER.
 - LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE AREAS SUCH AS STORM DRAINS, OPEN DITCHES, OR WATER BODIES, INCLUDING ALL JURISDICTIONAL WETLANDS.

TEMPORARY CONCRETE WASHOUT FACILITY
CA-BC-009
NTS

	MAIN ACCESS ROAD						
	STA: 0+00.0	STA: 4+00.0	STA: 8+00.0	STA: 12+00.0	STA: 16+00.0	STA: 19+00.0	STA: 22+00.0
CRUSHED STONE BOTTOM ELEV.	219.0	234.3	244.1	251.6	263.4	271.7	279.4
SEASONAL HIGH GROUND							
WATER TABLE ELEVATION	204.7	223.3	227.8	237.6	247.7	263.1	270.7
TEST HOLE NUMBER USED FOR DETERMINATION	GZ-3	TP-1	GZ-2	GZ-2	TP-5	GZ-1	GZ-1
SEPARATION DISTANCE TO BOTTOM OF CRUSHED STONE	171.6"	132"	196.6"	168"	188.4"	103.2"	104.4"



- NOTES:**
- ACCESS ROAD TO BE CONSTRUCTED OF A MINIMUM 8\"/>

ACCESS ROAD
NTS

NOT FOR CONSTRUCTION
SEAL:
C N BEAULIEU-SHEA
No. 5701
REGISTERED PROFESSIONAL ENGINEER (CIVIL)
4/8/2021

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EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
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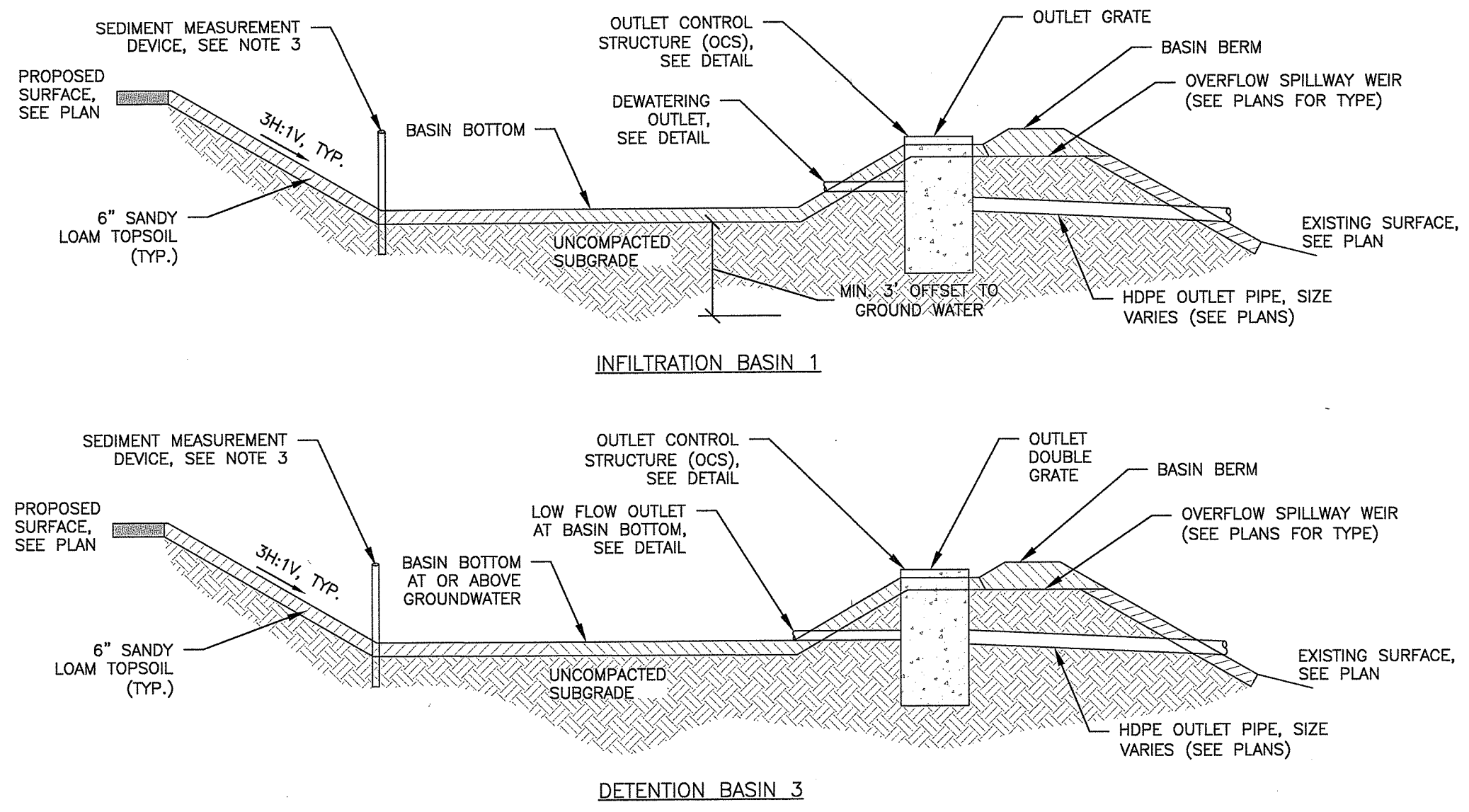
PROJECT:
12.5 MW SOLAR DEVELOPMENT
88 TEN ROD ROAD
EXETER, RI 02822

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 10 2021 FILE # 13-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY: [Signature]

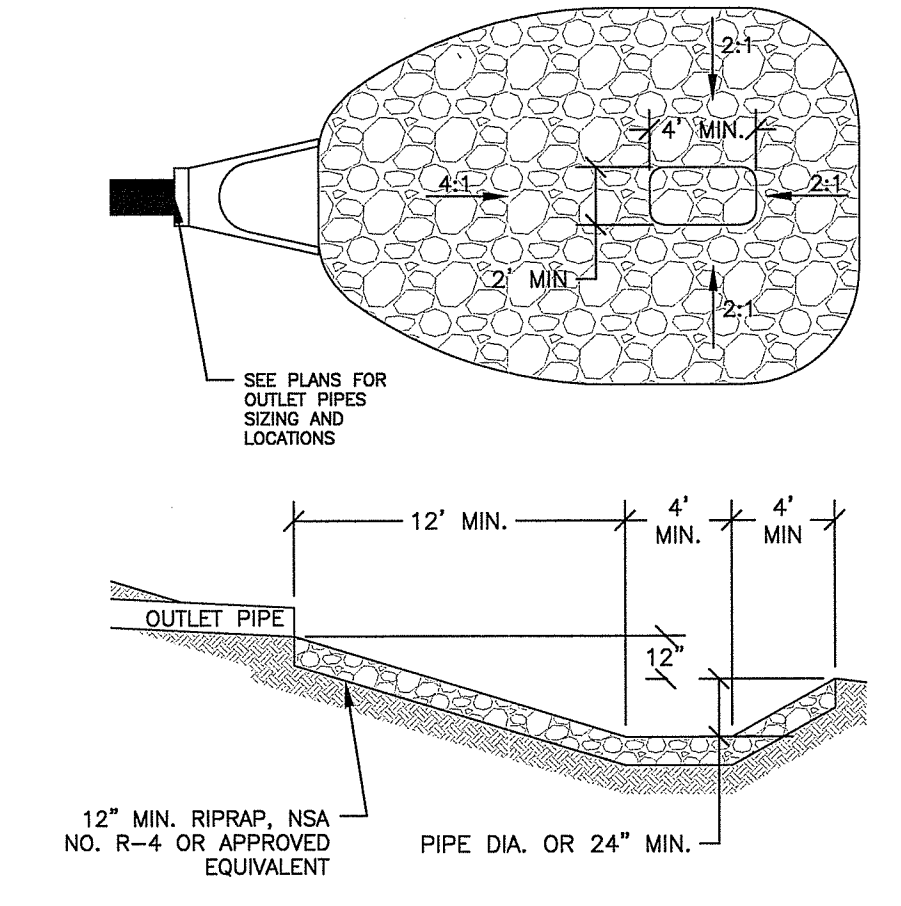
DETAILS 1

ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	N/A
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO:	3653180038

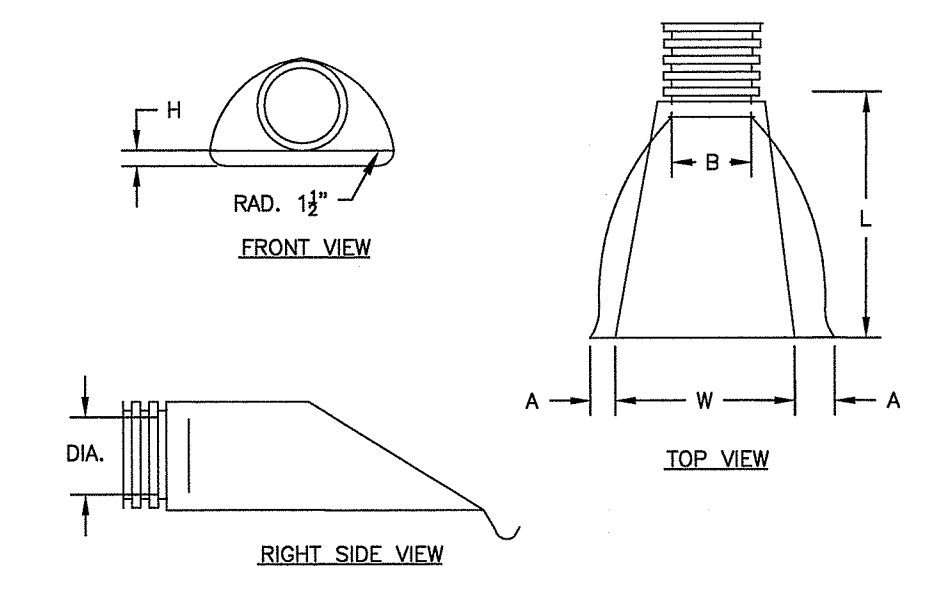


	STORMWATER BASIN	
	INFILTRATION	DETENTION
BASIN BOTTOM ELEV.	221.0	260.5
MINIMUM BERM ELEV.	226.5	265.5
OVERFLOW WEIR ELEV.	225.0	264.0
OCS GRATE ELEV.	224.8	263.0
LOW FLOW OUTLET ELEV.	221.8	260.5
SEASONAL HIGH GROUND WATER TABLE ELEVATION	218.0	260.0
TEST HOLD NUMBER USED FOR DETERMINATION	TH-222	TH-262
SEPARATION DISTANCE TO BOTTOM OF BASIN	36"	6"
STORM EVENT ELEVATIONS		
1-YEAR	221.0	260.6
10-YEAR	221.7	261.9
100-YEAR	223.1	263.1
	225.3	264.4

- NOTES:**
- UNSATURABLE UNDERLYING SOILS MUST BE REMOVED DURING CONSTRUCTION BASED ON THE OBSERVATION AND DIRECTION OF A SOIL EVALUATOR.
 - THE TOPSOIL REMOVED SHALL BE RETAINED AND REUSED ONSITE.
 - THE SEDIMENT MEASUREMENT DEVICE SHALL BE MARKED AS FOLLOWS: INFILTRATION BASIN 1 - 221.9, DETENTION BASIN 3 - 261.2. SEDIMENT ACCUMULATION SHALL NOT EXCEED THESE ELEVATIONS FOR EACH RESPECTIVE BASIN.



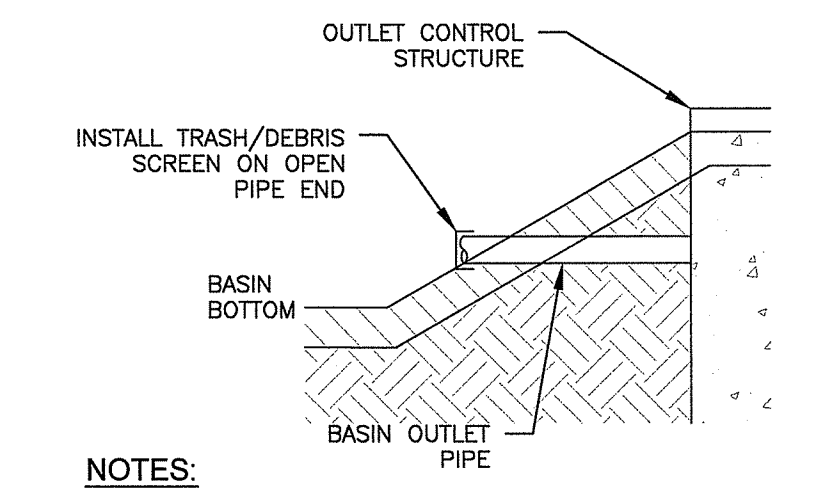
PLUNGE POOL-OUTLET CONTROL
CA-D-031A



- NOTES:**
- JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE INSTALLED.
 - WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS.

PIPE DIAMETER, IN	PIPE DIAMETER, IN					
	12	15	18	24	30	36
A IN	6.5	6.5	7.5	7.5	7.5	7.5
B (MAX) IN	10	10	15.0	18.0	22.0	25.0
H IN	6.5	6.5	6.5	6.5	8.6	8.6
L IN	25.0	25.0	32.0	36.0	58.0	58.0
W IN	29.0	29.0	35.0	45.0	63.0	63.0

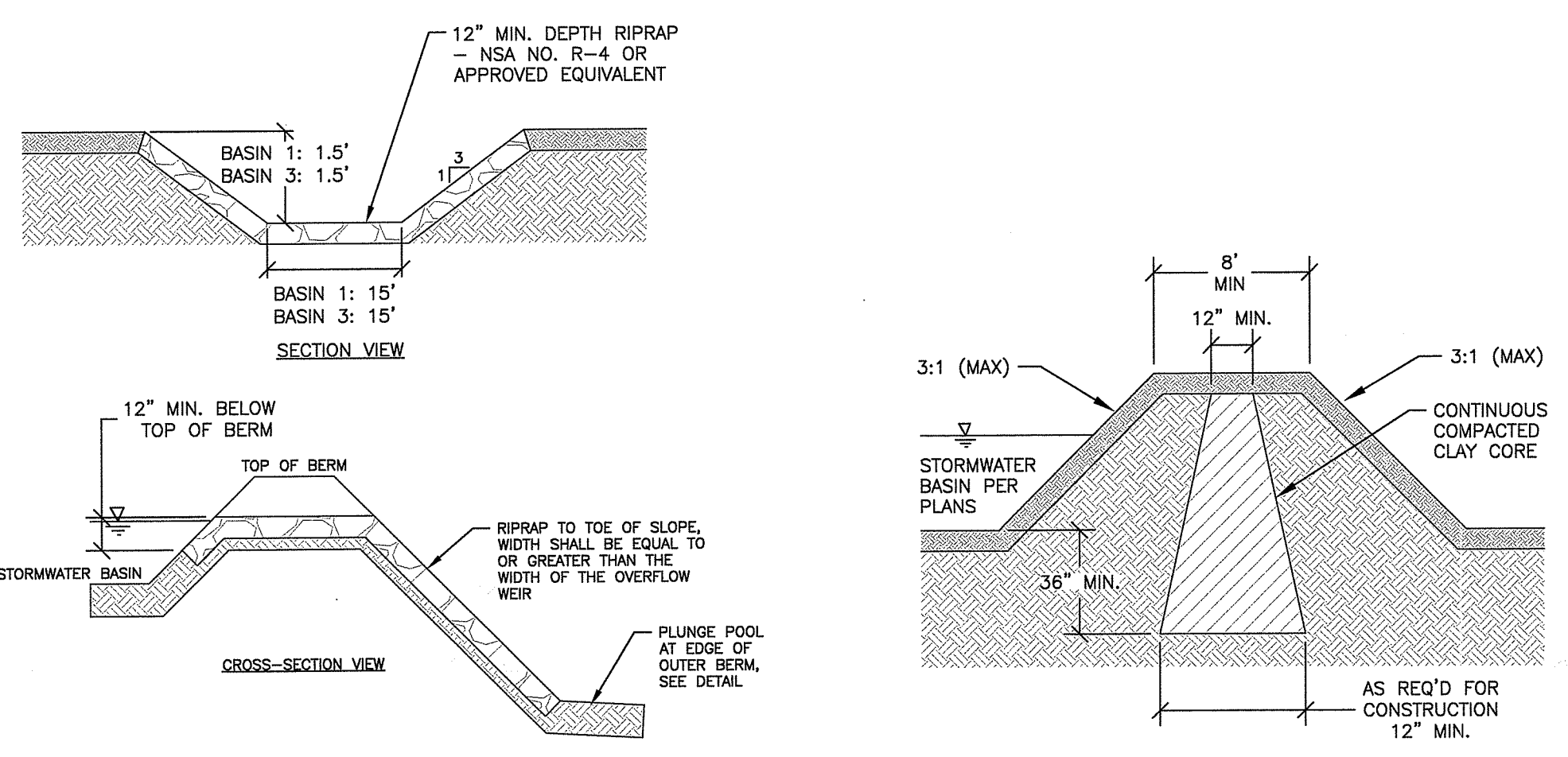
HDPE FLARED END SECTION
CA-D-004



- NOTES:**
- FOR INFILTRATION BASIN 1, THE OUTLET PIPE SHALL BE INSTALLED LEVEL AND ABOVE THE BASIN BOTTOM AT ELEVATION 221.75.
 - FOR DETENTION BASIN 3, THE OUTLET PIPE SHALL BE INSTALLED LEVEL AND AT THE BASIN BOTTOM ELEVATION OF 260.50.
 - A TRASH/DEBRIS SCREEN SHALL BE INSTALLED ON THE OPEN PIPE ENDS TO PREVENT CLOGGING.

LOW FLOW/DEWATERING OUTLET
NTS

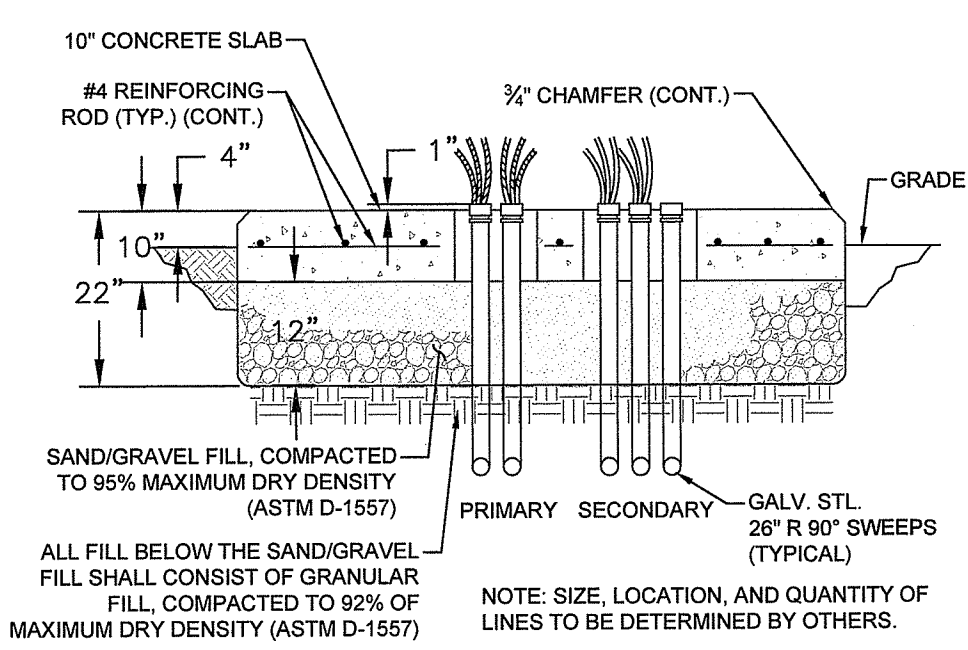
STORMWATER BASINS
NTS



- NOTES:**
1. RIPRAP TO BE INSTALLED WITHIN THE FULL WIDTH OF THE SPILLWAY AND THE FULL LENGTH OF THE BASIN BERM - FROM THE BASIN BOTTOM TO WHERE MATCHING EXISTING GRADE.
 2. SEE BASIN DETAIL FOR ELEVATIONS.
- NOTES:**
1. THE FILL DESIGNATED FOR THE CORE OF THE BASIN BERM SHALL BE LOW PERMEABILITY FILL. IT SHALL BE PLACED AND COMPACTED IN A MANNER TO PROVIDE AN IN-SITU PERMEABILITY RATE OF NOT MORE THAN 1.0×10^{-5} CM/SEC.
 2. A SUBMITTAL OF THE CLAY CORE SHALL BE SUBMITTED TO THE GEOTECHNICAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

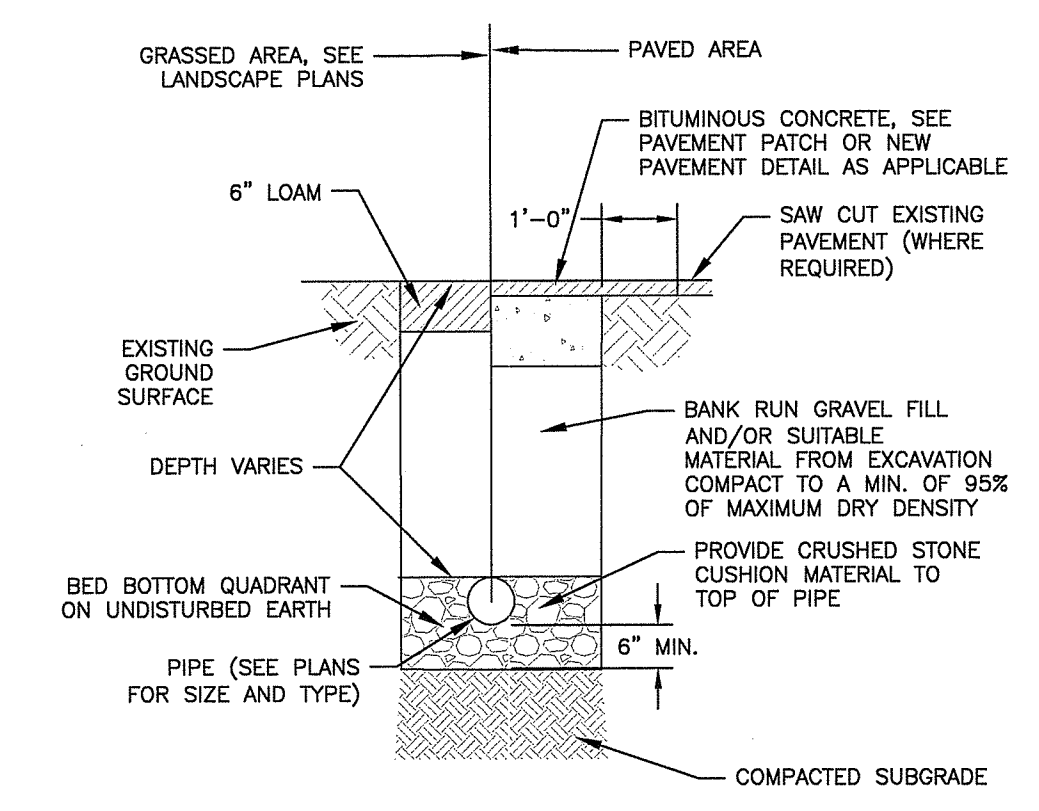
RIPRAP EMERGENCY SPILLWAY
NTS wood_3.55

STORMWATER BASIN BERM
NTS CA-D-025



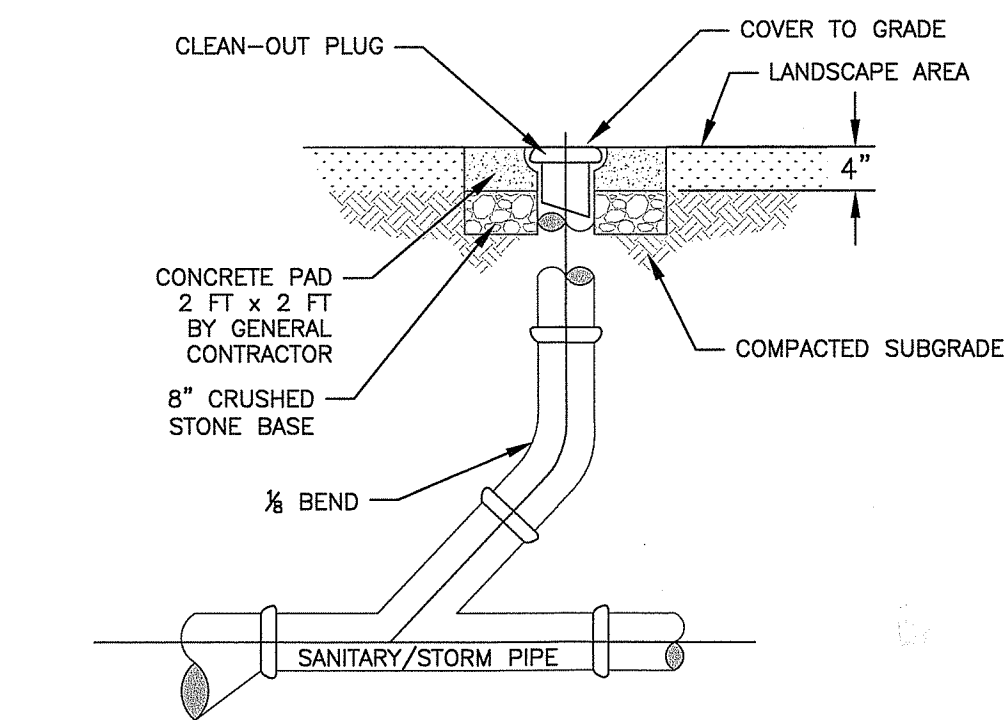
- NOTES:**
- MATS/SLABS TO BE SUPPORTED ON A MINIMUM 12" OF COMPACTED SAND/GRAVEL BASE COURSE.
 - SAND/GRAVEL FILL AND GRANULAR FILL SHALL MEET REQUIREMENTS NOTED IN THE "GEOTECHNICAL REPORT PROPOSED EXETER SOLAR PV DEVELOPMENT," PREPARED BY GZA ON SEPTEMBER 17, 2018.
 - REMOVED ALL ORGANIC SOIL BELOW PROPOSED MATS/SLABS AREAS.

CONCRETE PAD
NTS CA-U-009



- NOTES:**
- WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12".
 - SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR.
 - CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE GRADE, THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
 - CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPES.

UTILITY TRENCH
NTS CA-U-004



- NOTES:**
- CLEANOUT PIPE SHALL BE 6" SMOOTH PVC.

CLEANOUT
NTS CA-D-008

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

17-0330
11/10/2021
B. Wenzel

NOT FOR CONSTRUCTION
SEAL:
C N BEAULIEU-SHEA
No. 5701
REGISTERED PROFESSIONAL ENGINEER (CIVIL)
5/11/2021

REVISION	DATE	DESCRIPTION
9	5/11/21	RIDEM COMMENTS
8	4/8/21	RIDEM COMMENTS
7	2/12/21	RIDEM RESUBMIT / TOWN COMMENTS
6	1/15/21	TOWN & PEER REVIEW COMMENTS
5	9/3/20	TOWN & PEER REVIEW COMMENTS

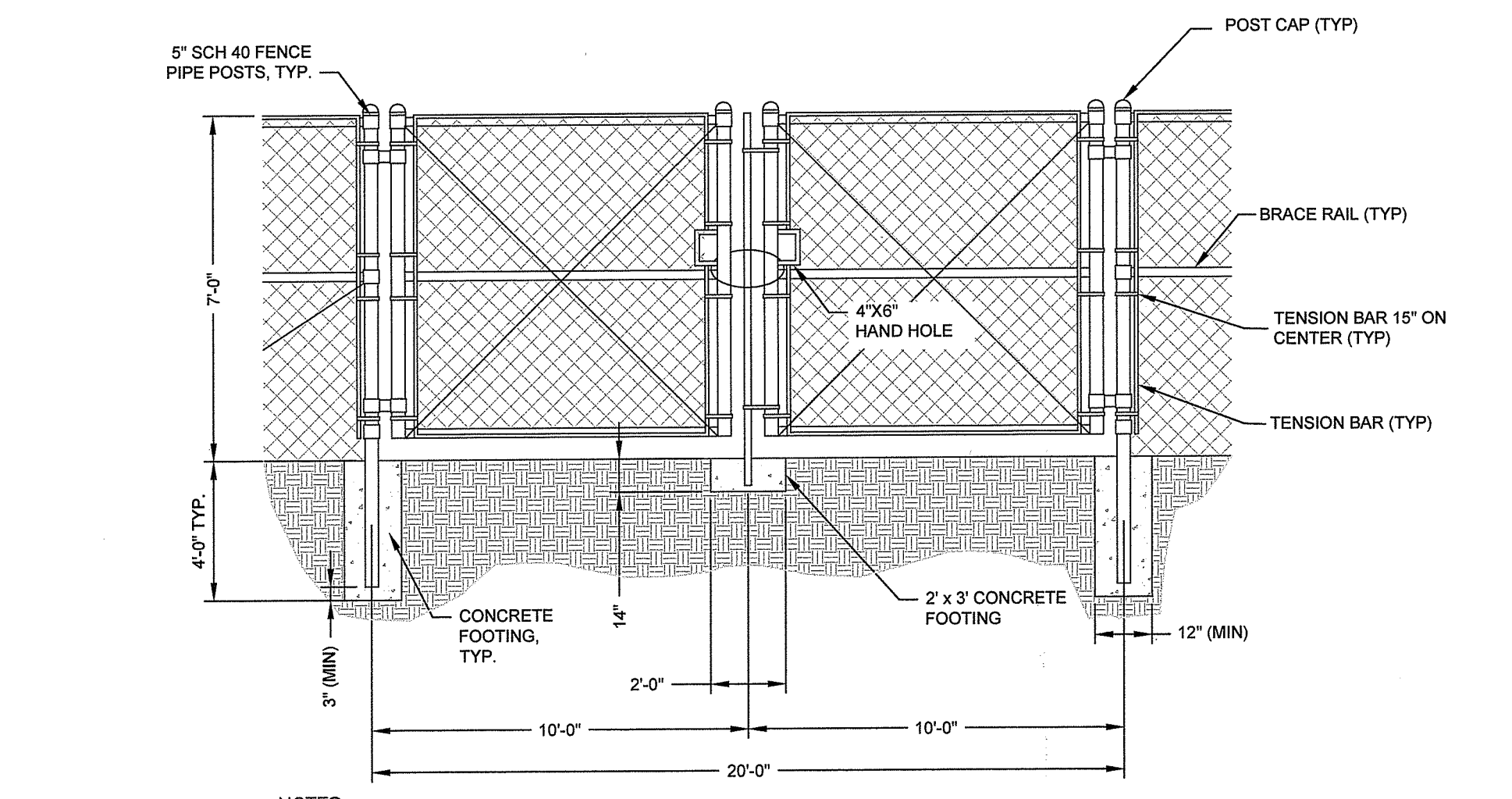
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET, SUITE 102A, PROVIDENCE, RI 02903

12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

DETAILS 2

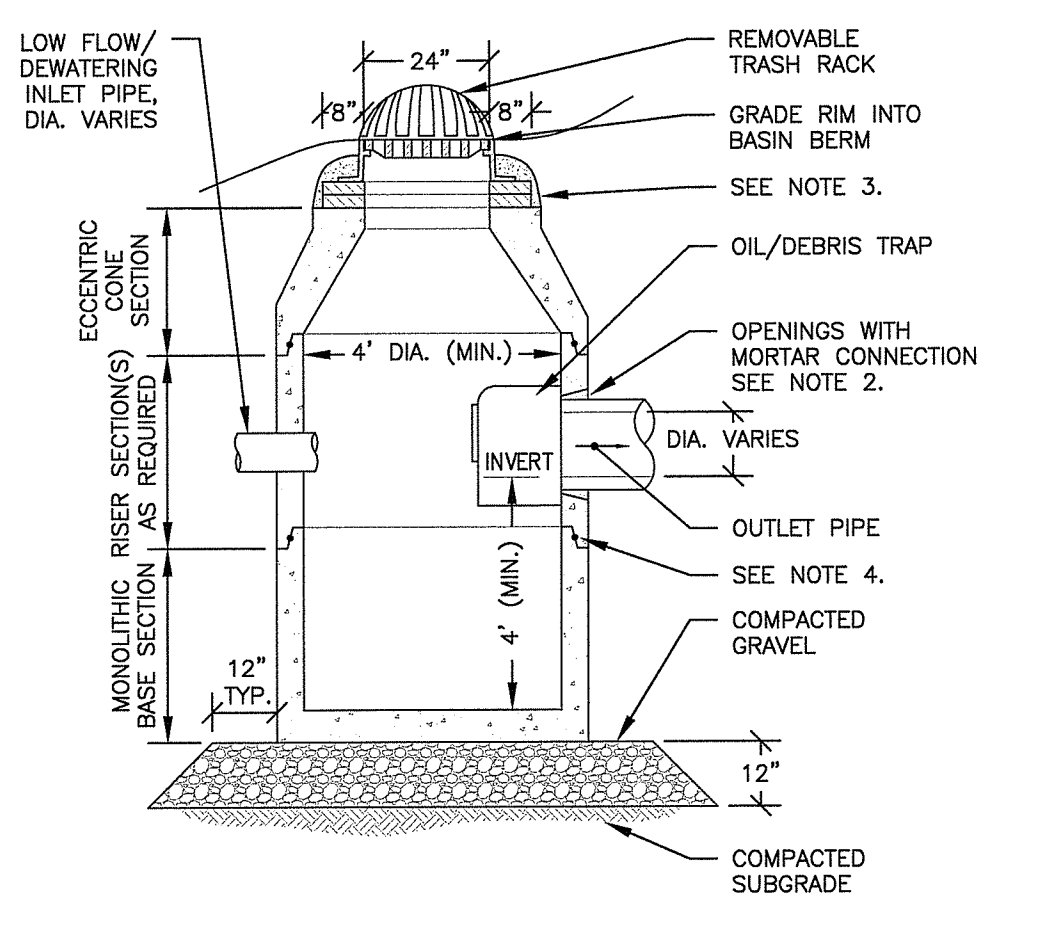
ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	N/A
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO:	3653180038

MAY 11 2021



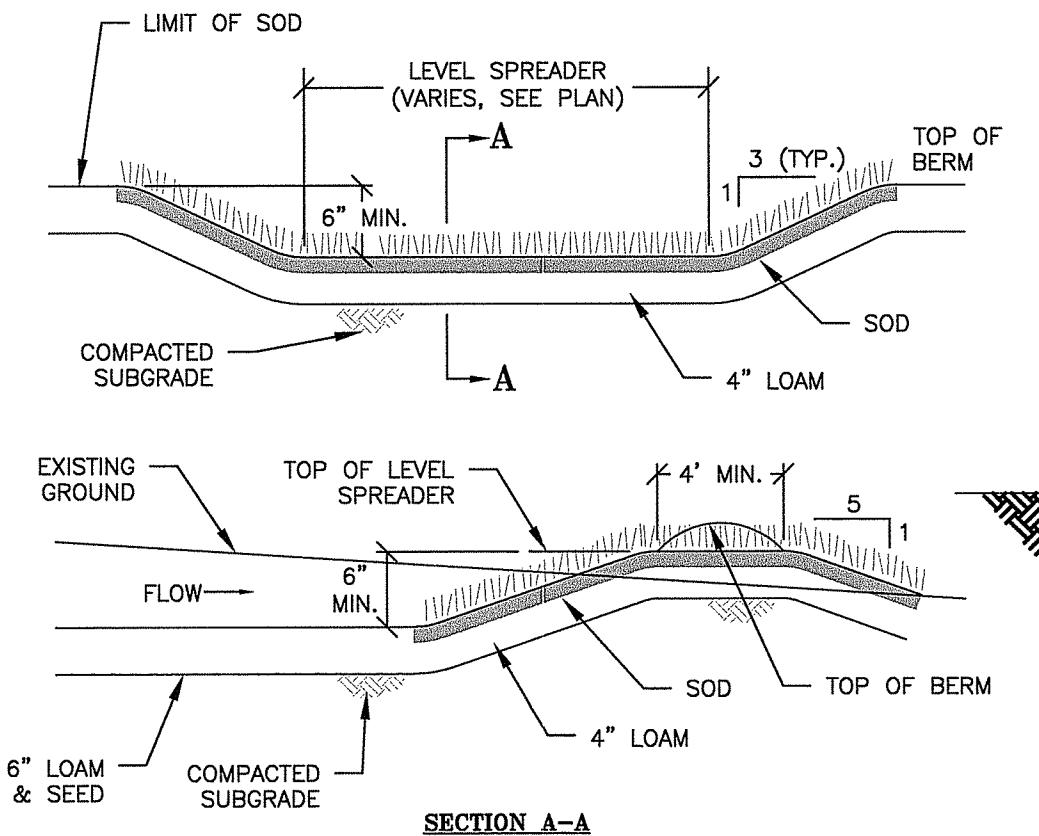
- NOTES:**
- CONCRETE FOOTING TO BE PLACED AROUND POST AT ALL LOCATIONS.
 - A KNOX-BOX 3200 SERIES TO BE PLACED AT GATE FOR EMERGENCY ACCESS.
 - THE FENCE SHALL MEET OR EXCEED THE CHAIN LINK FENCE MANUFACTURER INSTITUTE GUIDELINES AND COMPLY WITH THE AMERICAN STANDARDS AND TESTING MATERIALS (ASTM INTERNATIONAL), AND RELATED FEDERAL SPECIFICATIONS FOR ALL SECURITY CHAIN LINK FENCE MATERIALS AND INSTALLATION.
 - ALL FENCE GATES MUST BE GROUNDED WITH A BONDING JUMPER PER NEC REQUIREMENTS REGARDLESS OF PROXIMITY TO ANY ELECTRICAL EQUIPMENT.

DOUBLE GATE
NTS

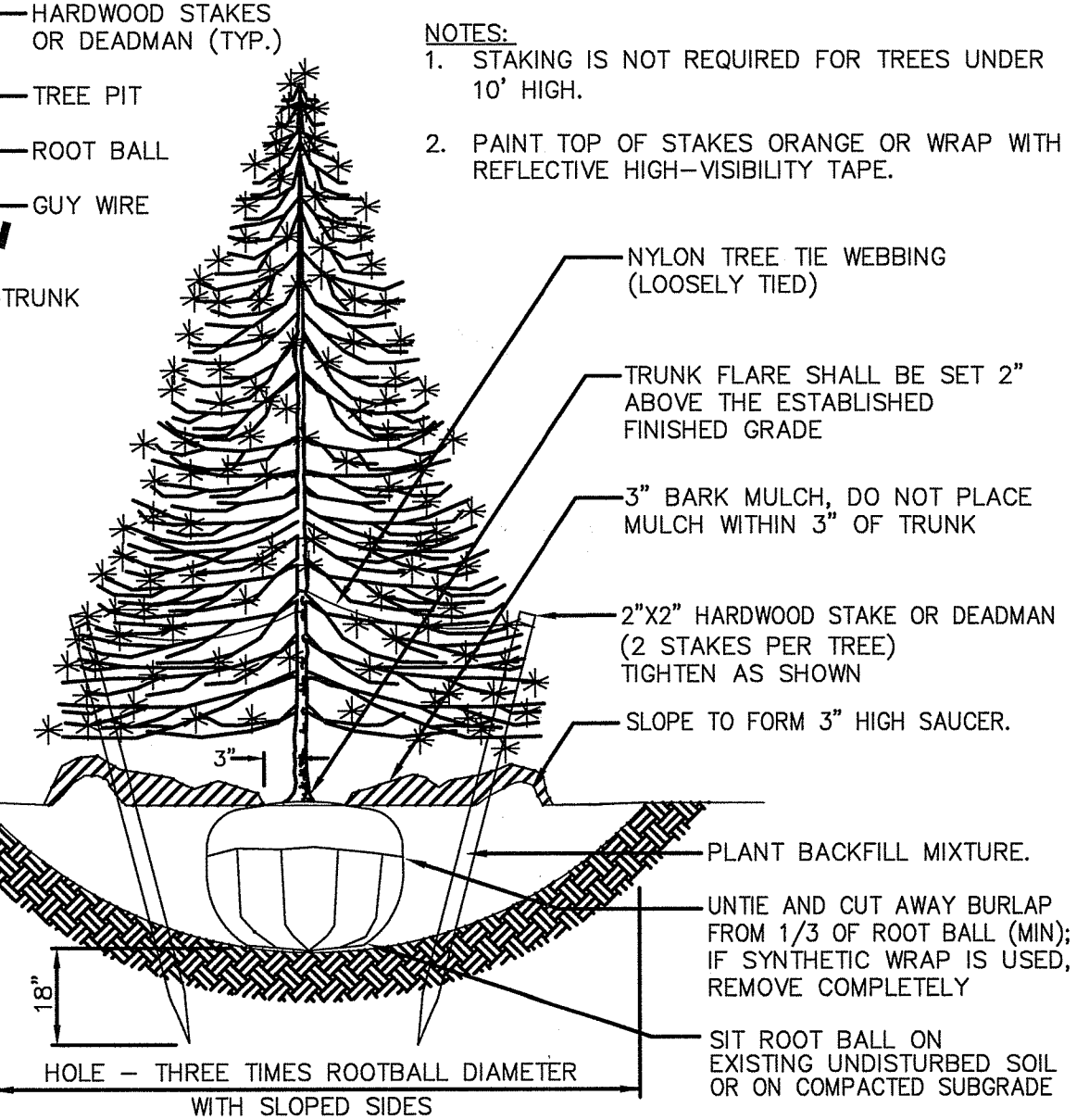


- NOTES:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (TYP. 2 BRICK COURSES, 5 MAX.).
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.

OUTLET CONTROL STRUCTURE
NTS wood_3.41



LEVEL SPREADER
NTS wood_3.19



EVERGREEN PLANTING
NTS wood_3.1

APR 09 2021
Office of Water Resources

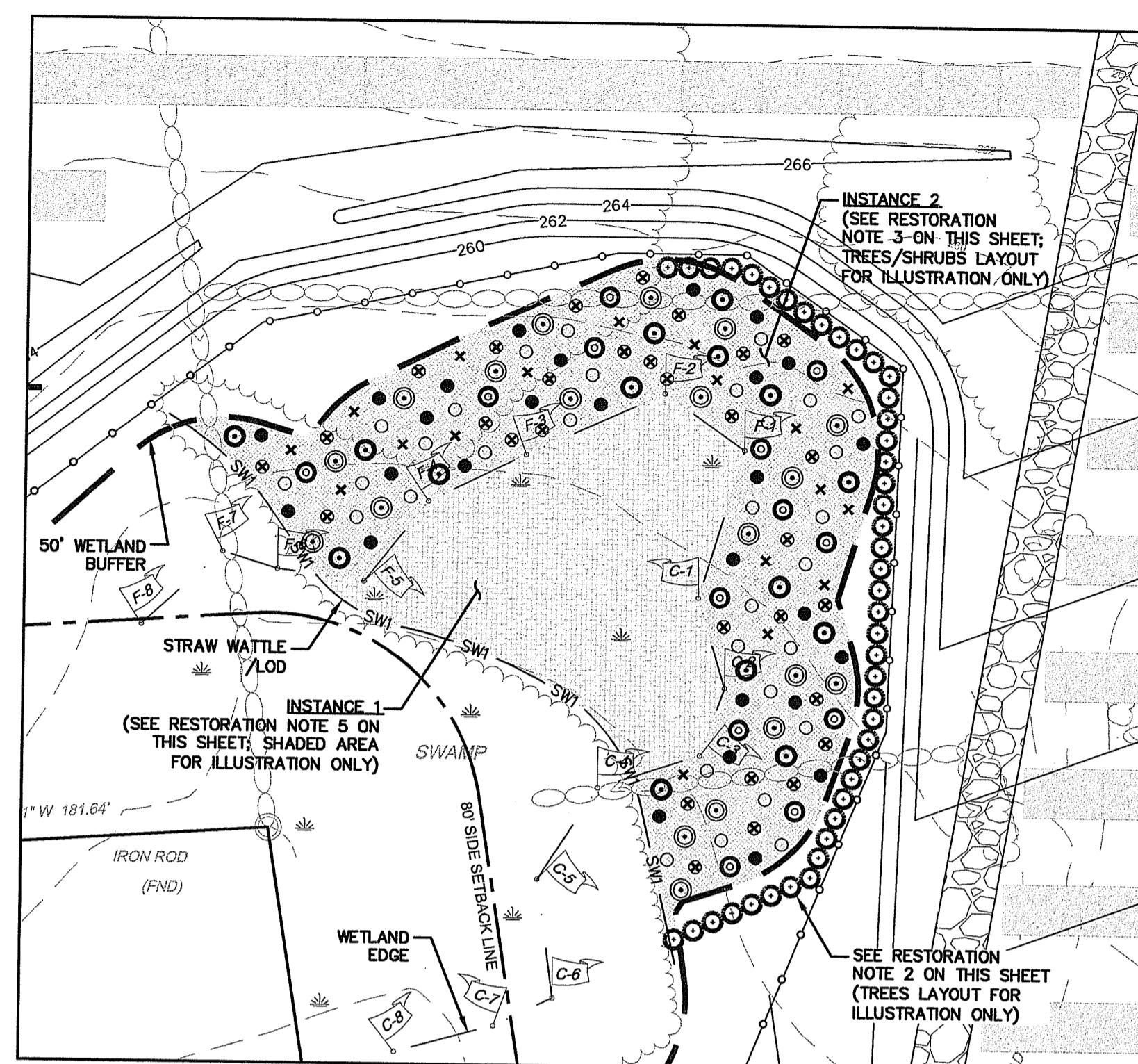


FIGURE B

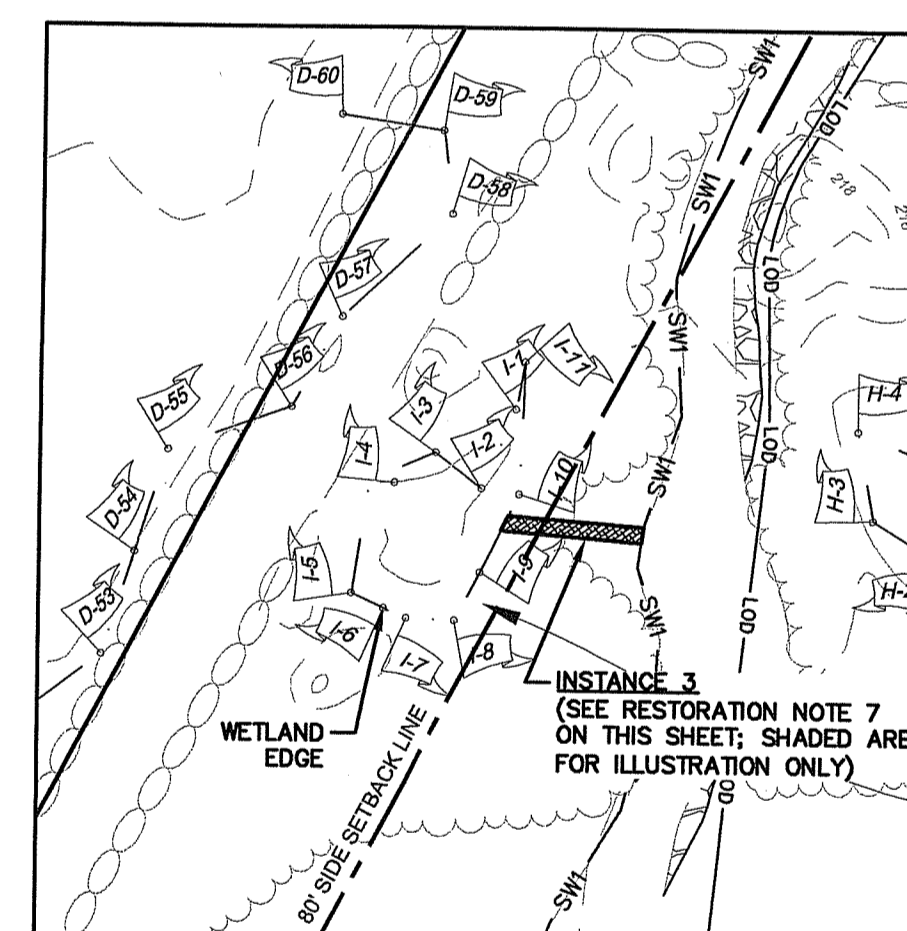


FIGURE C

RESTORATION NOTES

INSTANCE 1: SWAMP WETLAND RESTORATION.
INSTANCE 2: 50-FOOT PERIMETER WETLAND RESTORATION
INSTANCE 3: UNAUTHORIZED DITCH (ALREADY RESTORED AS NOTED)

1. BIODEGRADABLE SOIL EROSION/SEDIMENT CONTROLS WILL BE INSTALLED BETWEEN DISTURBED SURFACE AREAS AND ADJACENT UNDISTURBED WETLANDS AS DEPICTED. EROSION CONTROLS WILL BE REGULARLY INSPECTED AND PROPERLY AND CONTINUALLY MAINTAINED UNTIL THE AREAS HAVE BEEN THOROUGHLY STABILIZED.

2. SCREENING VEGETATION WILL BE PLANTED IN A STRAIGHT LINE ALONG THE OUTWARD EDGE OF THE ALTERED 50-FOOT PERIMETER WETLAND (INSTANCE 2). TREES WILL BE EIGHT FEET ON CENTER AND BE SIX FEET TALL AFTER PLANTING. TREES WILL INCLUDE AN EQUAL DISTRIBUTION OF AT LEAST TWO OF THE FOLLOWING:

- WHITE PINE (PINUS STROBUS)
- NORTHERN WHITE CEDAR (THUJA OCCIDENTALIS)
- EASTERN HEMLOCK (TSUGA CANADENSIS) AND/OR
- WHITE SPRUCE (PICEA GLAUCA)

3. THE REMAINDER OF THE 50-FOOT PERIMETER WETLAND WILL BE PLANTED WITH TREES AND SHRUBS. TREES WILL BE PLANTED IN AN INTERSPERSED FASHION TEN FEET ON CENTER AND BE AT LEAST FOUR FEET TALL AFTER PLANTING. SPECIES WILL INCLUDE AN EQUAL DISTRIBUTION OF AT LEAST THREE OF THE FOLLOWING:

- WHITE PINE (PINUS STROBUS)
- NORTHERN WHITE CEDAR (THUJA OCCIDENTALIS)
- RED MAPLE (ACER RUBRUM)
- WHITE OAK (QUERCUS ALBA)
- RED OAK (QUERCUS RUBRA)
- GRAY BIRCH (BETULA POPULIFOLIA)
- BLACK BIRCH (BETULA LENTA)
- AMERICAN BEECH (FAGUS GRANDIFOLIA)

SHRUBS WILL BE PLANTED IN AN INTERSPERSED FASHION FIVE FEET ON CENTER AND BE AT LEAST THREE FEET TALL AFTER PLANTING. THESE WILL INCLUDE AN EQUAL DISTRIBUTION OF AT LEAST FOUR OF THE FOLLOWING:

- MOUNTAIN LAUREL (KALMIA LATIFOLIA)
- ARROWWOOD (VIBURNUM DENTATUM)
- SILKY DOGWOOD (CORNUS AMOMUM)
- HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)
- SWEET PEPPERBUSH (CLETHRA ALNIFOLIA) AND/OR
- WITCHHAZEL (HAMAMELIS VIRGINIANA)

4. PLANTINGS WILL BE CONTINUOUSLY INSPECTED TO ENSURE SURVIVAL. ANY SPECIES THAT FAIL TO PERSIST FOR AT LEAST ONE YEAR WILL BE REPLACED.

5. ALL REMAINING CLEARED AREAS WILL BE SEEDED WITH A WILDLIFE CONSERVATION MIX AND MULCHED WITH LOOSE STRAW FREE OF ANY CONTAMINANTS OR INVASIVE SPECIES.

6. ALL RESTORED AREAS WILL BE ALLOWED TO REVERT TO A NATURAL WILD CONDITION.

7. UNAUTHORIZED DITCH (INSTANCE 3) BACKFILLED AND SEEDED APRIL 25, 2019.

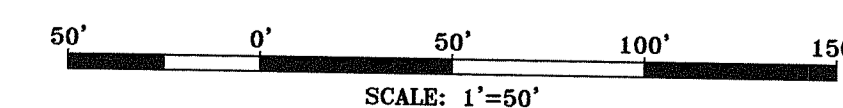
THIS WETLAND RESTORATION PLAN AND ASSOCIATED NATIVE PLANTINGS WERE CHOSEN AND DESIGNED BY EDWARD J AVIZINIS, CPSS, PWS OF NATURAL RESOURCE SERVICES, INC., CONSISTENT WITH RIDEM - OFFICE OF COMPLIANCE AND INSPECTION REQUIREMENTS SPECIFIC TO THIS RESTORATION.

Edward J Avizinis
EDWARD J AVIZINIS, CPSS, PWS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUN 18 2021 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

Martin D. Wensen

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



NOT FOR CONSTRUCTION

SEAL:
C N BEAULIEU-SHEA
No. 5701
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

REVISION	DATE	DESCRIPTION
8	4/8/21	RIDEM COMMENTS
7	2/12/21	RIDEM RESUBMIT / TOWN COMMENTS
6	1/15/21	TOWN & PEER REVIEW COMMENTS
5	9/3/20	TOWN & PEER REVIEW COMMENTS
4	3/17/20	TOWN COMMENTS

CLIENT:

EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

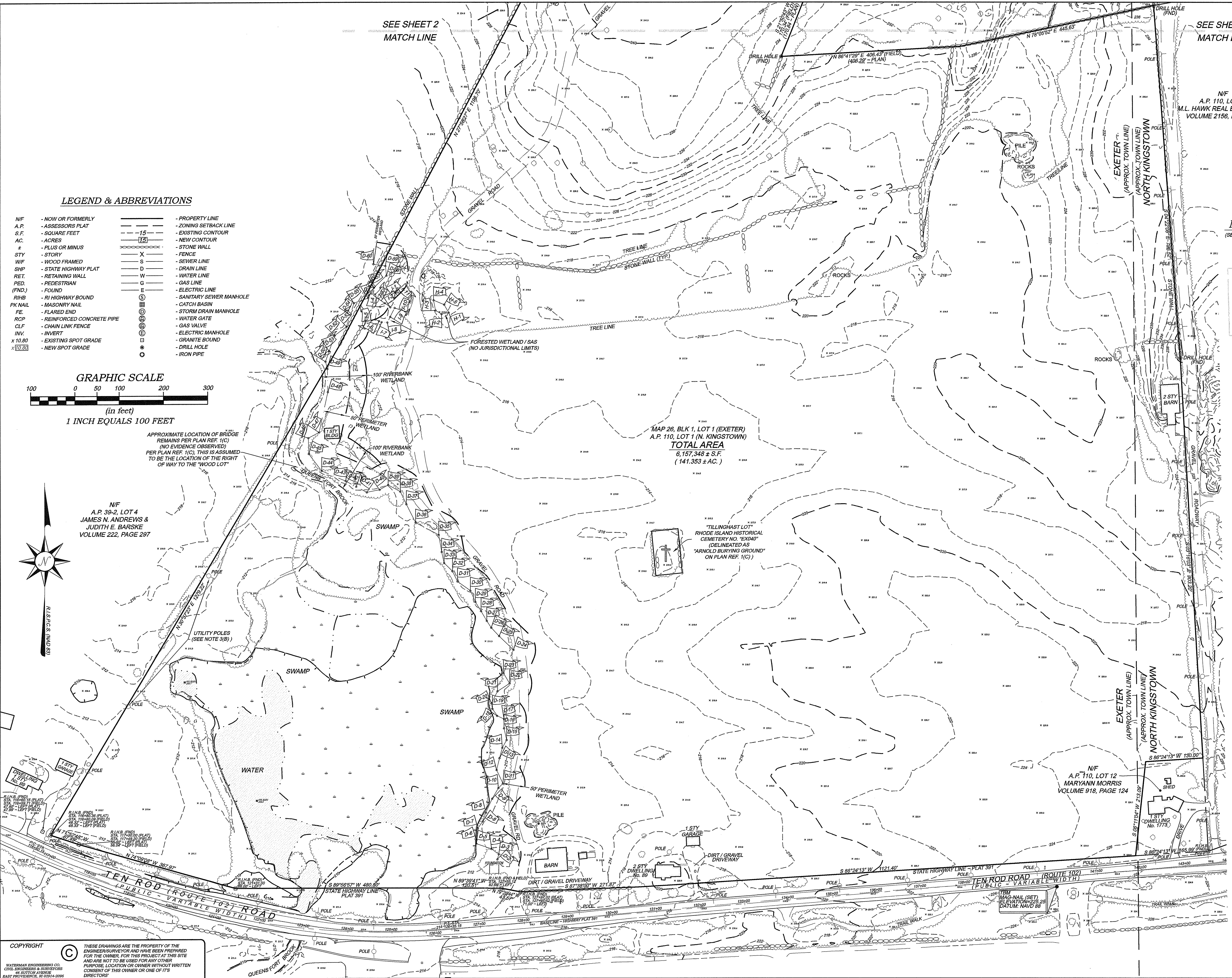
PROJECT:

12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE: WETLANDS RESTORATION DETAIL

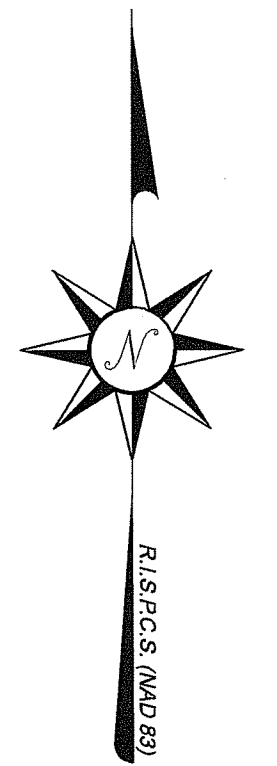
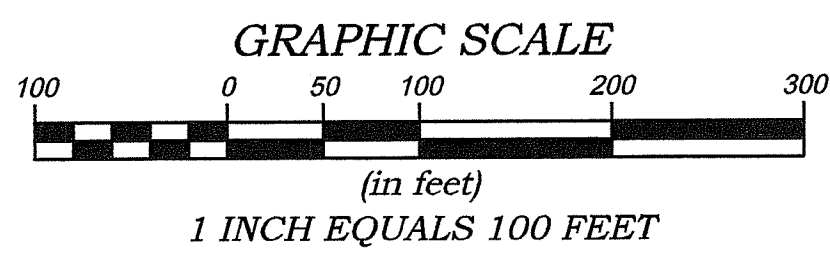
ISSUED FOR:	PERMITTING
DATE:	MARCH 17, 2020
SCALE:	1" = 50'
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO.:	3653180038

C-13
SHEET 13 OF 21



LEGEND & ABBREVIATIONS

- | | | | |
|---------|----------------------------|------|--------------------------|
| N/F | - NOW OR FORMERLY | --- | - PROPERTY LINE |
| A.P. | - ASSESSORS PLAT | -15- | - EXISTING CONTOUR |
| S.F. | - SQUARE FEET | -15- | - NEW CONTOUR |
| AC. | - ACRES | - | - STONE WALL |
| ± | - PLUS OR MINUS | X | - FENCE |
| STY | - STORY | S | - SEWER LINE |
| WF | - WOOD FRAMED | D | - DRAIN LINE |
| SHP | - STATE HIGHWAY PLAT | W | - WATER LINE |
| RET. | - RETAINING WALL | G | - GAS LINE |
| PEB. | - PEDESTRIAN | E | - ELECTRIC LINE |
| (FND.) | - FOUND | ⊙ | - SANITARY SEWER MANHOLE |
| R/HB | - RI HIGHWAY BOUND | ⊙ | - CATCH BASIN |
| PK NAIL | - MASONRY NAIL | ⊙ | - STORM DRAIN MANHOLE |
| FE | - FLARED END | ⊙ | - WATER GATE |
| RCP | - REINFORCED CONCRETE PIPE | ⊙ | - GAS VALVE |
| CLF | - CHAIN LINK FENCE | ⊙ | - ELECTRIC MANHOLE |
| INV. | - INVERT | ⊙ | - GRANITE BOUND |
| x 10.80 | - EXISTING SPOT GRADE | ⊙ | - DRILL HOLE |
| x 10.80 | - NEW SPOT GRADE | ⊙ | - IRON PIPE |

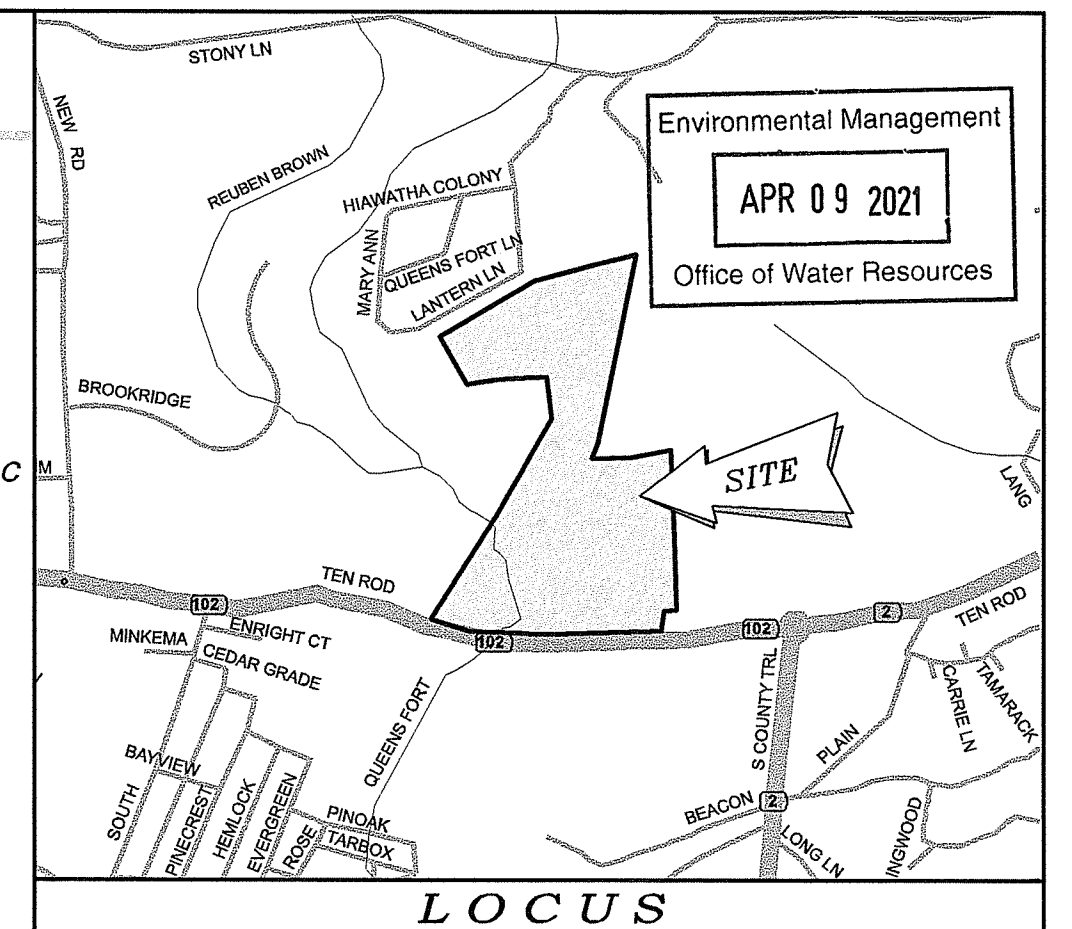


N/F
A.P. 39-2, LOT 4
JAMES N. ANDREWS &
JUDITH E. BARSKE
VOLUME 222, PAGE 297

APPROXIMATE LOCATION OF BRIDGE
REMAINS PER PLAN REF. 1(C)
(NO EVIDENCE OBSERVED)
PER PLAN REF. 1(C), THIS IS ASSUMED
TO BE THE LOCATION OF THE RIGHT
OF WAY TO THE "WOOD LOT"

MAP 26, BLK 1, LOT 1 (EXETER)
A.P. 110, LOT 1 (N. KINGSTOWN)
TOTAL AREA
6,157,348 ± S.F.
(141,353 ± AC.)

"TILLINGHAST LOT"
RHODE ISLAND HISTORICAL
CEMETERY NO. "EX040"
(DELINEATED AS
"ARNOLD BURYING GROUND"
ON PLAN REF. 1(C))



NOTES / REFERENCES
(SEE SHEET 2 OF 2 FOR ALL NOTES / REFERENCES)

Kindly be advised that this
Permit is not equivalent to a
verification of the type or extent
of freshwater wetlands on site.

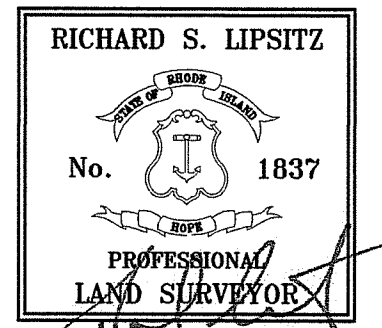
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 10 2021 FILE # 18-042-0330
NO CHANGES ALLOWED WITHOUT PER OR APPROVA
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

TITLE INSURANCE CERTIFICATION

TO: CATIC, PILGRIM TITLE INSURANCE COMPANY, EXETER RENEWABLES 1, LLC,
& JOHN P. MORRIS, III

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH
IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD
DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY
ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS
1-8, 7(a), 7(b), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 & 20 OF TABLE THEREOF. THE
FIELDWORK WAS COMPLETED ON NOVEMBER 7, 2018.

RICHARD S. LIPSITZ, PLS #1837
WATERMAN ENGINEERING COMPANY
11/29/18 DATE



** SIGNATURES MUST BE IN BLUE INK
TO CONSTITUTE AN ORIGINAL PLAN

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9
OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF
REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT / ACCURACY SPECIFICATION:
COMPREHENSIVE BOUNDARY SURVEY	1
OTHER TYPE OF SURVEY:	
DATA ACCUMULATION SURVEY	III
TOPOGRAPHIC SURVEY	7-3

THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE
PLAN IS AS FOLLOWS:
ALTA/NSPS LAND TITLE SURVEY AS REQUIRED FOR TITLE INSURANCE PURPOSES.

BY: *[Signature]* 1837 11/29/18
RICHARD S. LIPSITZ, PLS REG. NO. DATE
WATERMAN ENGINEERING COMPANY (COA No. LS.0004483)

NO.	DATE	REVISION	CHECKED BY

ALTA / NSPS LAND TITLE SURVEY PLAN
MAP 26, BLOCK 1, LOT 1
TEN ROD ROAD (ROUTE 102)
EXETER, RHODE ISLAND 02817

PROJECT NO: 18-042
SCALE: 1" = 100'
DATE: 11/15/18
DRAWN BY: EBP/BJT
CHECKED BY: RSL
FILENAME: 18-042_SU1_2018
SHTS: 2 of 2
DRAWING #: SU1

WOOD ENVIRONMENT &
INFRASTRUCTURE SOLUTIONS, INC.
275 PROMENADE STREET, SUITE 100
PROVIDENCE, RHODE ISLAND 02908

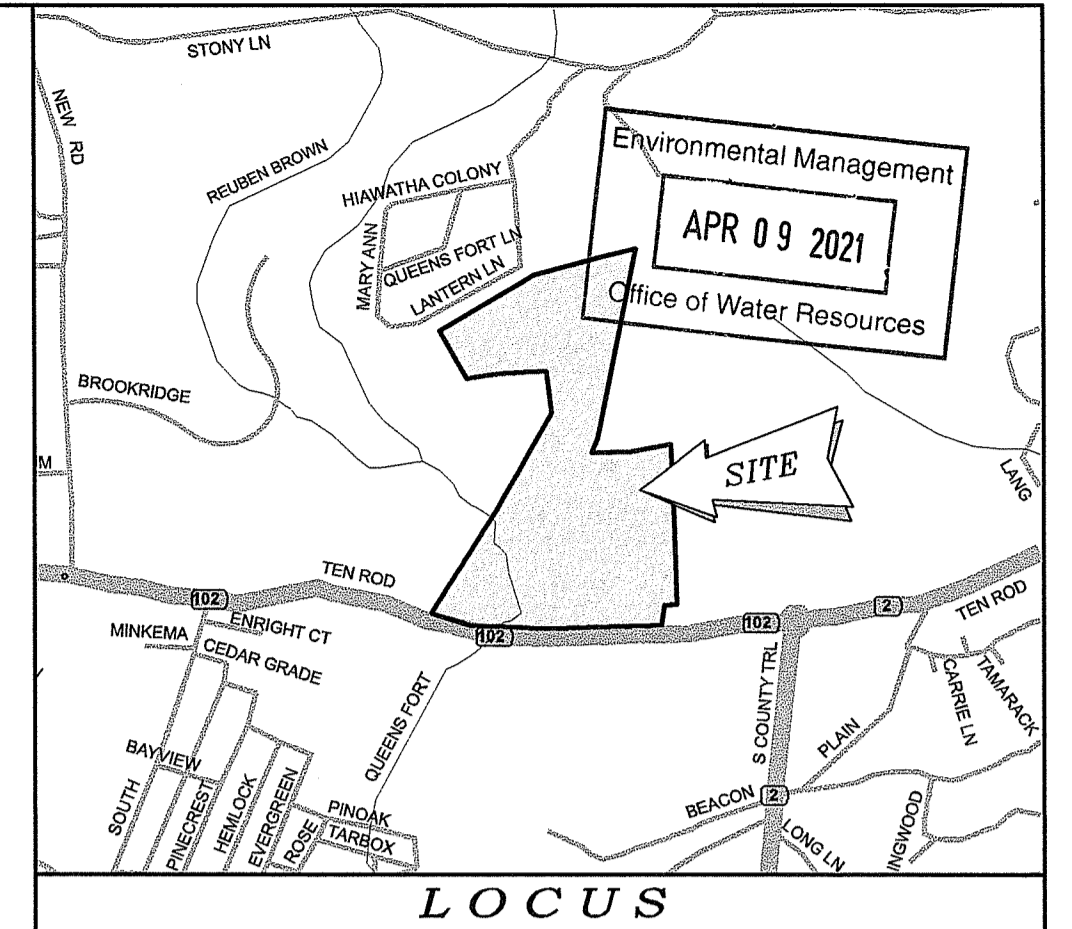
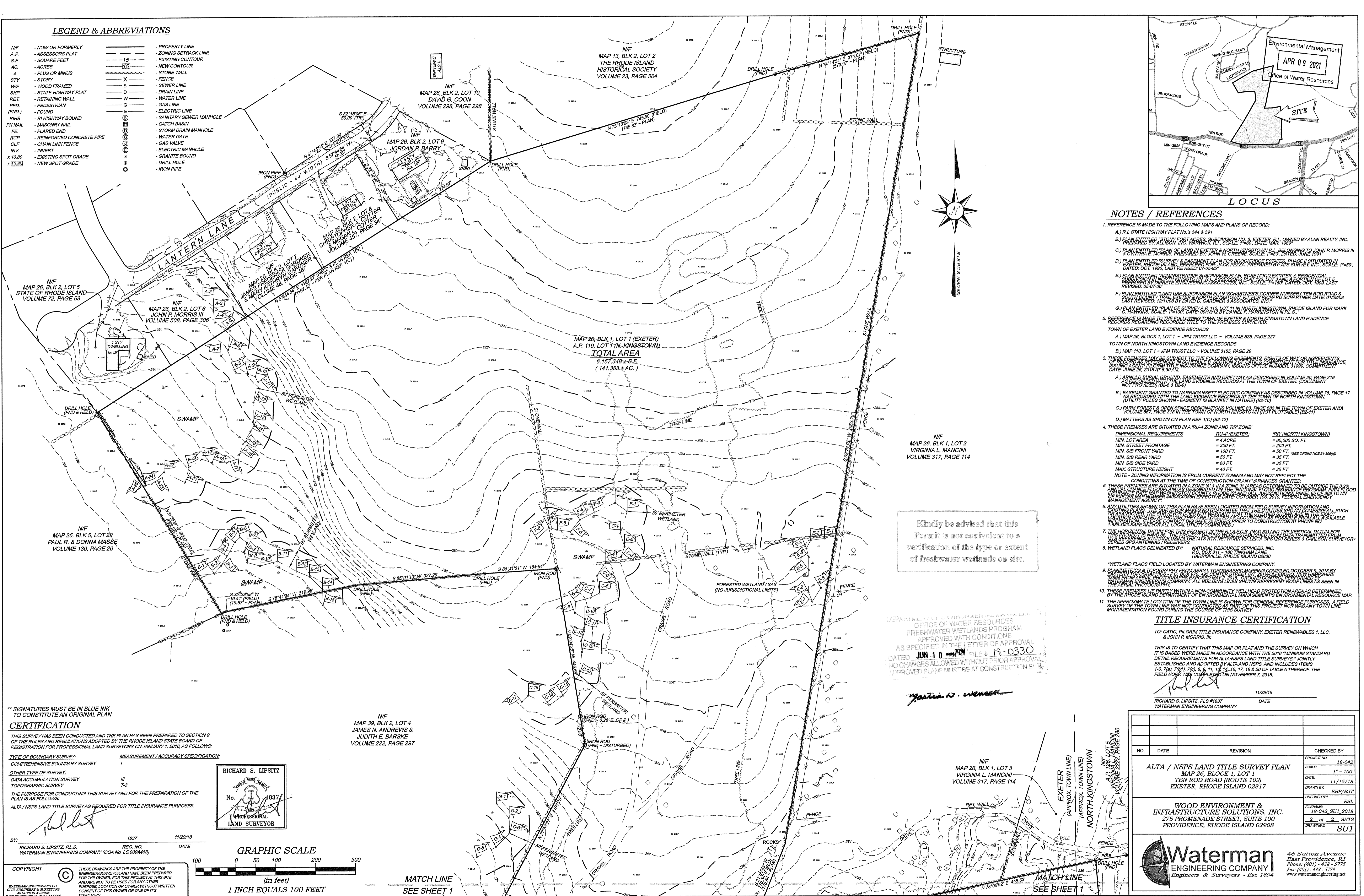
Waterman
ENGINEERING COMPANY
Engineers & Surveyors - Est. 1894

46 Sutton Avenue
East Providence, RI
Phone: (401) 438-5775
Fax: (401) 438-5773
www.watermanengineering.net

COPYRIGHT © THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER, FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.
WATERMAN ENGINEERING CO.
CITY ENGINEERS & SURVEYORS
46 SUTTON AVENUE
EAST PROVIDENCE, RI 02914-0096

LEGEND & ABBREVIATIONS

- N/F - NOW OR FORMERLY
- A.P. - ASSESSORS PLAT
- S.F. - SQUARE FEET
- AC. - ACRES
- + - PLUS OR MINUS
- STY - STORY
- W/F - WOOD FRAMED
- SHP - STATE HIGHWAY PLAT
- RET. - RETAINING WALL
- PED. - PEDESTRIAN
- (FND) - FOUND
- R/HB - RI HIGHWAY BOUND
- PK NAIL - MASONRY NAIL
- FE - FLARED END
- RCP - REINFORCED CONCRETE PIPE
- CLF - CHAIN LINK FENCE
- INV. - INVERT
- x 10.00 - EXISTING SPOT GRADE
- x 10.25 - NEW SPOT GRADE
- PROPERTY LINE
- ZONING SETBACK LINE
- EXISTING CONTOUR
- NEW CONTOUR
- STONE WALL
- FENCE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- SANITARY SEWER MANHOLE
- CATCH BASIN
- STORM DRAIN MANHOLE
- WATER GATE
- GAS VALVE
- ELECTRIC MANHOLE
- GRANITE BOUND
- DRILL HOLE
- IRON PIPE



NOTES / REFERENCES

1. REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
 - A.) R.I. STATE HIGHWAY PLAT No. 3, 344 & 391
 - B.) PLAN ENTITLED "STONY FORT ACRES, SUBDIVISION No. 3, EXETER, R.I. OWNED BY ALAN REALTY, INC. PREPARED BY ALLISON, INC. (WARWICK, R.I. SCALE: 1"=80', DATE: MAR. 1989)
 - C.) PLAN ENTITLED "PLAN OF LAND IN EXETER & NORTH KINGSTOWN R.I. BELONGING TO JOHN P. MORRIS III & COMPANY, PREPARED BY JOHN W. GREENE, SCALE: 1"=80' DATED: JUNE 1991
 - D.) PLAN ENTITLED "SURVEY & EASEMENT PLAN FOR BROOKRIDGE ESTATES, PHASE II SITUATED IN EXETER, RHODE ISLAND, PREPARED FOR JACK PEZZA, PREPARED BY AT'S SURVEY, INC., SCALE: 1"=50', DATED: OCT. 1987, LAST REVISION: 07/88
 - E.) PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION PLAN, ROSEWOOD ESTATES A RESIDENTIAL SUBDIVISION IN NORTH KINGSTOWN & EXETER, R.I. SCALE: 1"=40' DATED: OCT. 1988, LAST REVISION: 08-07-00
 - F.) PLAN ENTITLED "LAND USE SUBDIVISION PLAN, SCHWARTZ'S CORNER, WASHINGTON TER. ROAD & WASHINGTON TER. ROAD, EXETER, R.I. SCALE: 1"=40' DATED: 08/19/01 BY DAVID D. GARDNER & ASSOCIATES, INC. (LAST REVISION: 12/17/01 BY DAVID D. GARDNER & ASSOCIATES, INC.)
 - G.) PLAN ENTITLED "PLAN OF SURVEY IN NORTH KINGSTOWN, RHODE ISLAND FOR MARK C. WARRINGTON, SCALE: 1"=100', DATE: 08/18/02 BY DANIEL M. WARRINGTON III, R.I.
2. REFERENCE IS MADE TO THE FOLLOWING TOWNSHIP OF EXETER & NORTH KINGSTOWN LAND EVIDENCE RECORDS:
 - A.) MAP 26, BLOCK 1, LOT 1 - JPM TRUST LLC - VOLUME 525, PAGE 227
 - TOWN OF NORTH KINGSTOWN LAND EVIDENCE RECORDS
 - B.) MAP 110, LOT 1 - JPM TRUST LLC - VOLUME 3155, PAGE 29
3. THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD AS REFERENCED IN SCHEDULE B, SECTION 2 OF THE PLAT'S COMMITMENT FOR TITLE INSURANCE, ISSUING AGENT: TITLING RECORDS:
 - A.) ARNOLD BURIAL GROUND, EASEMENTS AND DRIFTWAYS AS DESCRIBED IN VOLUME 20, PAGE 219 AS REFERENCED WITH THE LAND EVIDENCE RECORDS AT THE TOWN OF EXETER. (DOCUMENT NOT PROVIDED) (B2-8 & B2-9)
 - B.) EASEMENT GRANTED TO NARRAGANSETT ELECTRIC COMPANY AS DESCRIBED IN VOLUME 78, PAGE 17 AS REFERENCED WITH THE LAND EVIDENCE RECORDS AT THE TOWN OF NORTH KINGSTOWN. (UTILITY POLES SHOWN - EASEMENT IS BLANKET IN NATURE) (B2-10)
 - C.) FARM FOREST & OPEN SPACE DESIGNATIONS VOLUME 83, PAGE 683 IN THE TOWN OF EXETER AND VOLUME 83, PAGE 312 IN THE TOWN OF NORTH KINGSTOWN (NOT PLOTTABLE) (B2-11)
 - D.) MATTERS AS SHOWN ON PLAN REF. 1(C) (B2-12)
4. THESE PREMISES ARE SITUATED IN A "RU-4 ZONE" AND "RR' ZONE"

DIMENSIONAL REQUIREMENTS	"RU-4" (EXETER)	"RR" (NORTH KINGSTOWN)
MIN. LOT AREA	= 4 ACRE	= 80,000 SQ. FT.
MIN. STREET FRONTAGE	= 300 FT.	= 200 FT.
MIN. S/B FRONT YARD	= 100 FT.	= 50 FT.
MIN. S/B REAR YARD	= 50 FT.	= 35 FT. (SEE ORDINANCE 21-3086A)
MIN. S/B SIDE YARD	= 80 FT.	= 35 FT.
MAX. STRUCTURE HEIGHT	= 40 FT.	= 35 FT.

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
5. THESE PREMISES ARE SITUATED IN A ZONE "A" & "A-1" ZONE (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD FLOOD HAZARD DESIGNATED ON THE NATIONAL FLOOD INSURANCE PROGRAM FIRM (FLOOD INSURANCE RATE MAP) FOR THE TOWN OF NORTH KINGSTOWN, RHODE ISLAND, ALL JURISDICTIONS PAID BY THE TOWN MANAGEMENT AGENCIES 4400300088 EFFECTIVE DATE: OCTOBER 198, 2010, FEDERAL EMERGENCY MANAGEMENT AGENCY).
6. ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND OR HANDING. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE AVAILABLE INFORMATION AND ARE ACCURATE TO WITHIN 24 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 401-886-1111.
7. THE HORIZONTAL DATUM FOR THIS PROJECT IS THE R.I.S.P.C.S. (NAD 83) AND THE VERTICAL DATUM FOR THIS PROJECT IS NAVD 83. THE PROJECT DATUMS WERE OBTAINED FROM DATA TRANSMITTED FROM A SERIES GPS ANTENNAS / RECEIVERS.
8. WETLAND FLAGS DELINEATED BY: NATURAL RESOURCE SERVICES, INC. P.O. BOX 311 - 180 TINKHAM LANE, HARRISVILLE, RHODE ISLAND 02830
9. "WETLAND FLAGS FIELD LOCATED BY WATERMAN ENGINEERING COMPANY. EXETER TOWNSHIP & EXETER R.I. PROPOSED 275 PROMENADE STREET, SUITE 100, NORTH KINGSTOWN, RHODE ISLAND 02881. THIS SURVEY WAS COMPLETED ON OCTOBER 9, 2018 BY WATERMAN ENGINEERING COMPANY. ALL BUILDING LINES SHOWN REPRESENT ROOF LINES AS SEEN IN WATERMAN ENGINEERING COMPANY. ALL BUILDING LINES SHOWN REPRESENT ROOF LINES AS SEEN IN WATERMAN ENGINEERING COMPANY. ALL BUILDING LINES SHOWN REPRESENT ROOF LINES AS SEEN IN WATERMAN ENGINEERING COMPANY. ALL BUILDING LINES SHOWN REPRESENT ROOF LINES AS SEEN IN WATERMAN ENGINEERING COMPANY.
10. THESE PREMISES LIE PARTLY WITHIN A NON-COMMUNITY WELLHEAD PROTECTION AREA AS DETERMINED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S ENVIRONMENTAL RESOURCE MAP.
11. THE APPROXIMATE LOCATION OF THE TOWN LINE IS SHOWN FOR GENERAL REFERENCE PURPOSES. A FIELD SURVEY OF THE TOWN LINE WAS CONDUCTED AS PART OF THIS PROJECT. NO TOWN LINE WAS ANY TOWN LINE MONUMENTATION FOUND DURING THE COURSE OF THIS SURVEY.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 10 2018 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

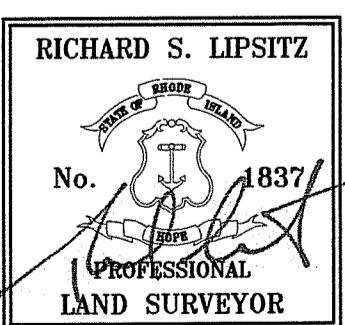
Richard S. Lipsitz

** SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN

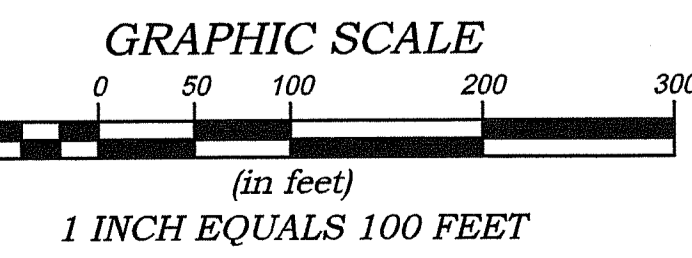
CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
- MEASUREMENT / ACCURACY SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY
- TOPOGRAPHIC SURVEY: III
- THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA / NSPS LAND TITLE SURVEY AS REQUIRED FOR TITLE INSURANCE PURPOSES.



BY: *Richard S. Lipsitz* 1837 11/29/18
RICHARD S. LIPSITZ, P.L.S. REG. NO. DATE
WATERMAN ENGINEERING COMPANY (COA No. LS.0004483)



COPYRIGHT © THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER. FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.
WATERMAN ENGINEERING CO., CIVIL ENGINEERS & SURVEYORS 44 SUTTON AVENUE EAST PROVIDENCE, RI 02914-2006




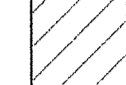
N/F MAP 39, BLK 2, LOT 4 JAMES N. ANDREWS & JUDITH E. BARSKE VOLUME 222, PAGE 297

MATCH LINE SEE SHEET 1

NO.	DATE	REVISION	CHECKED BY
ALTA / NSPS LAND TITLE SURVEY PLAN MAP 26, BLOCK 1, LOT 1 TEN ROD ROAD (ROUTE 102) EXETER, RHODE ISLAND 02817			PROJECT NO: 18-042 SCALE: 1" = 100' DATE: 11/15/18 DRAWN BY: EBP/BJT CHECKED BY: RSL FILENAME: 18-042_SUL_2018 SHEET: 18 of 23 SHTS DRAWING #: SU1
WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. 275 PROMENADE STREET, SUITE 100 PROVIDENCE, RHODE ISLAND 02908			
Waterman ENGINEERING COMPANY Engineers & Surveyors - Est. 1894			46 Sutton Avenue East Providence, RI Phone: (401) - 438 - 5775 Fax: (401) - 438 - 5773 www.watermanengineering.net

PLANT SCHEDULE JULY 2020					
TREES					
Key	Qty	Botanical Name	Common Name	Size	Notes
PG	3	PICEA GLAUCA	WHITE SPRUCE	6-7' B&B	
PPG	6	PICEA PUNGENS 'GLAUCA'	BLUE SPRUCE	6-7' B&B	
PS	11	PINUS STROBUS	EASTERN WHITE PINE	6-7' B&B	
TPG	21	THUJA PLICATA 'GREEN GIANT'	WESTERN RED CEDAR	6-7' B&B	
SHRUBS					
Key	Qty	Botanical Name	Common Name	Size	Notes
IG	14	ILEX GLABRA	INKBERRY	#5	
PJ	27	PIERIS JAPONICA	JAPANESE PIERIS	#5	
RM	16	RHODODENDRON MAXIMUM	ROSEBAY RHODODENDRON	3-4' B&B	

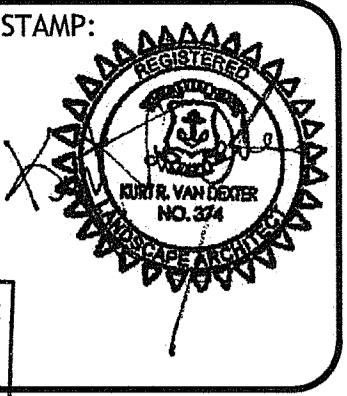
SEED MIX HATCH KEY

-  SEED MIX A - MOW MIX (NO HATCH)
-  SEED MIX B - CONSERVATION MIX
-  SEED MIX C - LOW-GROWING SLOPE/SWALE MIX
-  SEED MIX D - LOW-GROWING BASIN FLOOR MIX

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wemack

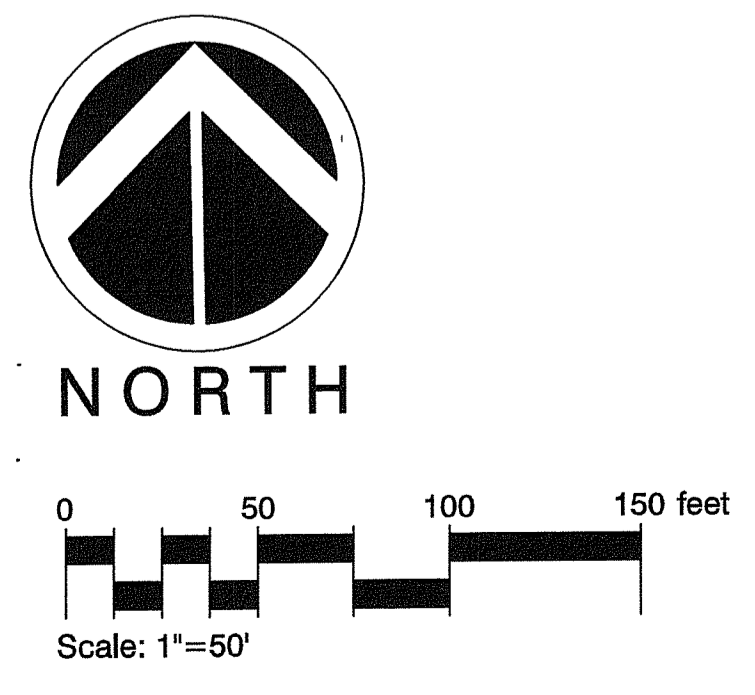
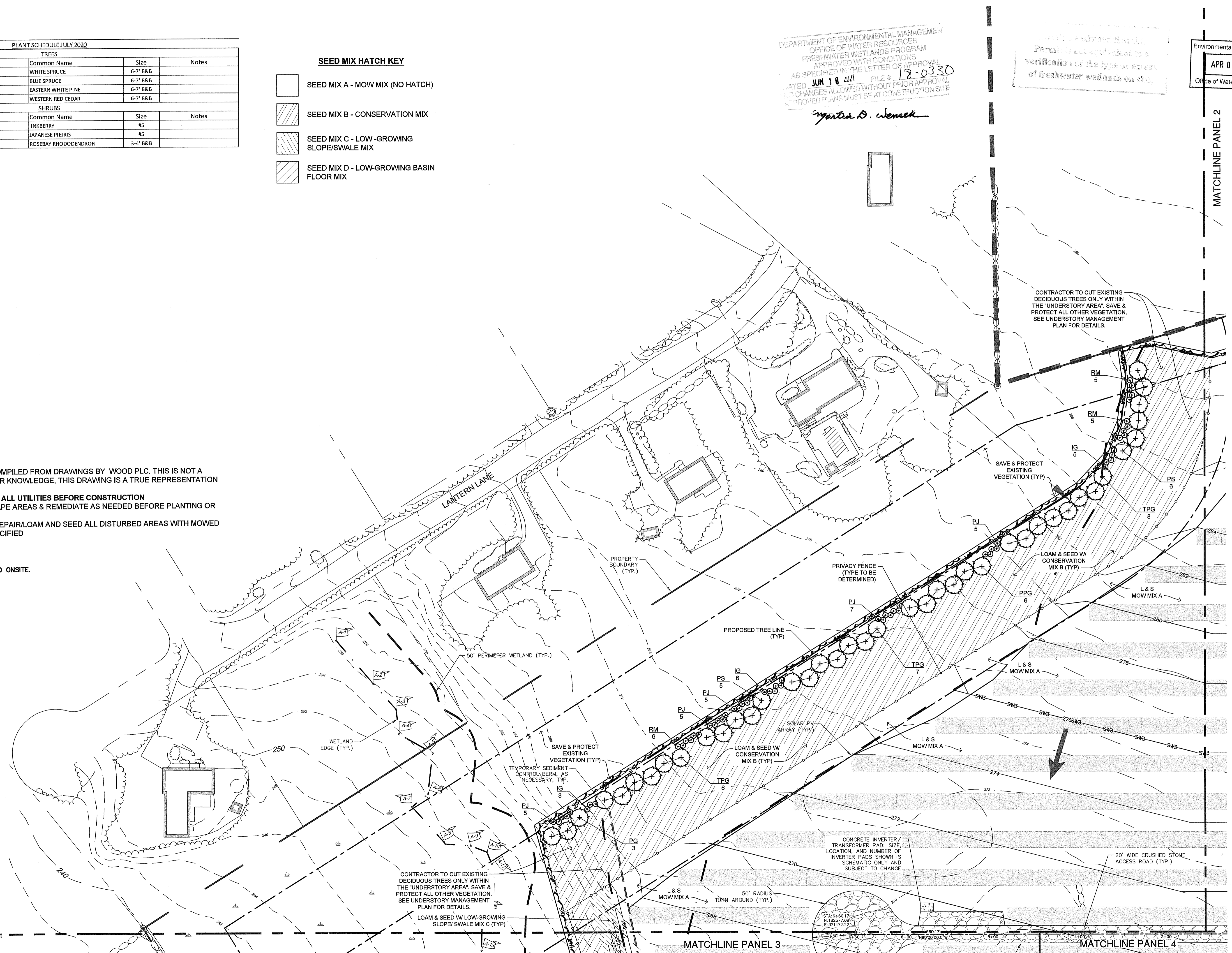
It is advised that the
 Permit is not considered as a
 verification of the type or extent
 of freshwater wetlands on site.

Environmental Management
 APR 09 2021
 Office of Water Resources



- GENERAL NOTES:**
1. THE INFORMATION ON THIS PLAN WAS COMPILED FROM DRAWINGS BY WOOD PLC. THIS IS NOT A REGISTERED SURVEY. TO THE BEST OF OUR KNOWLEDGE, THIS DRAWING IS A TRUE REPRESENTATION OF THE ACTUAL FIELD CONDITIONS
 2. CALL 1-800-DIGSAFE & LOCATE ANY AND ALL UTILITIES BEFORE CONSTRUCTION
 3. TEST EXISTING SOIL IN LAWN & LANDSCAPE AREAS & REMEDIATE AS NEEDED BEFORE PLANTING OR SEEDING.
 4. CLEAN SITE, REMOVE ALL DEBRIS AND REPAIR/LOAM AND SEED ALL DISTURBED AREAS WITH MOWED AREAS SEED MIX UNLESS OTHERWISE SPECIFIED

- NOTE:**
1. ALL EXISTING TOPSOIL SHALL BE RETAINED ONSITE.



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 Tel: 401.294.1884 - www.halibeckman.com
 Estate Planning - Landscape Architecture

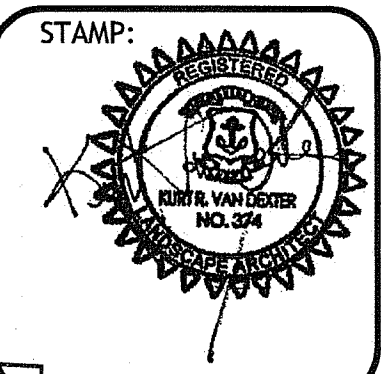
LANDSCAPE PLAN - PANEL 1
12.5MW SOLAR DEVELOPMENT
EXETER RENEWABLES 1 LLC
89 TEN ROD RD - AP 26, LOT1-1
EXETER, RHODE ISLAND

DATE	REVISION DESCRIPTION
8/20/20	ADDED VEGETATIVE SCREENING TO EASTERN P.L., ADJUSTED SEED MIXES
4/7/21	ADD SEEDING @ DETENTION BASIN, SEEDED SWALE 1, ADD SEED MIX/NOTES, ADDED PANEL 3

DATE: JULY 9, 2020
 DRAWN BY: SGG
 SCALE: AS SHOWN
 JOB NO: 487
 SHEET NO. 16 OF 21
 SHEET

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L-1



Environmental Management
APR 09 2021
Office of Water Resources

PLANT SCHEDULE AUGUST 2020					
TREES					
Key	Qty	Botanical Name	Common Name	Size	Notes
PG	8	PICEA GLAUCA	WHITE SPRUCE	6-7' B&B	
PPG	10	PICEA PUNGENS 'GLAUCA'	BLUE SPRUCE	6-7' B&B	
TPG	7	THUJA PLICATA 'GREEN GIANT'	WESTERN RED CEDAR	6-7' B&B	
SHRUBS					
Key	Qty	Botanical Name	Common Name	Size	Notes
PJ	14	PIERIS JAPONICA	JAPANESE PIERIS	#5	
RM	12	RHODODENDRON MAXIMUM	ROSEBAY RHODODENDRON	3-4' B&B	

SEED MIX HATCH KEY

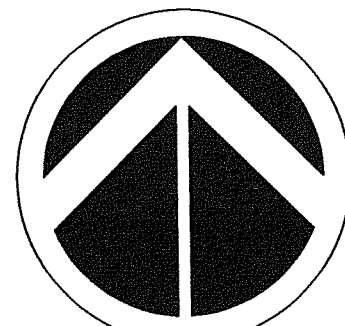
	SEED MIX A - MOW MIX (NO HATCH)
	SEED MIX B - CONSERVATION MIX
	SEED MIX C - LOW-GROWING SLOPE/SWALE MIX
	SEED MIX D - LOW-GROWING BASIN FLOOR MIX

NOTE:
1. ALL EXISTING TOPSOIL SHALL BE RETAINED ONSITE.

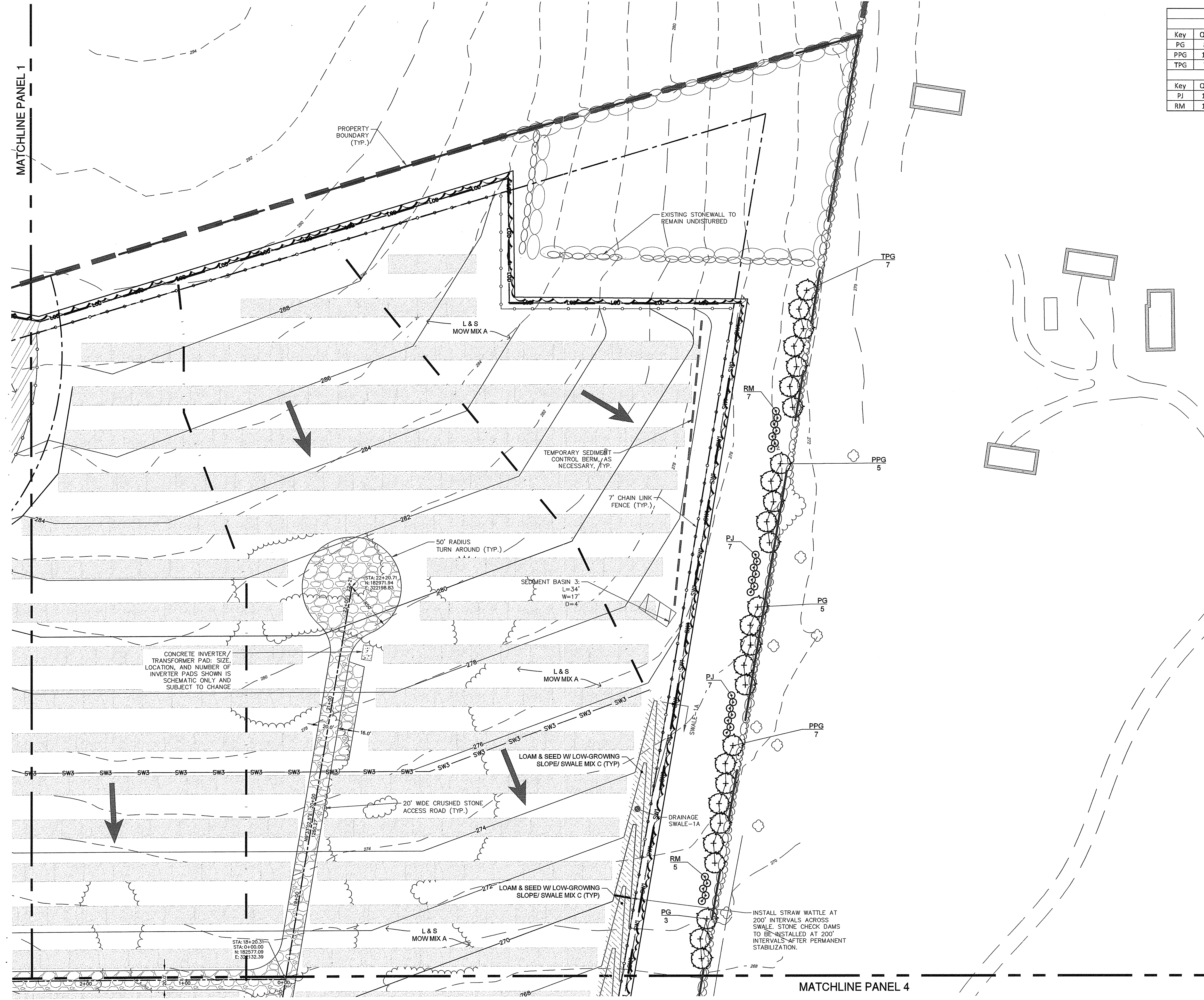
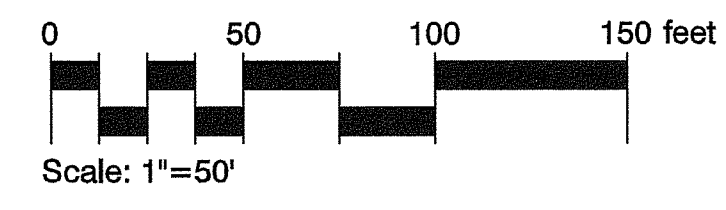
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 10/10/2021 FILE # 17-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wensck

- GENERAL NOTES:**
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 2. CALL 1-800-DIGSAFE & LOCATE ANY AND ALL UTILITIES BEFORE CONSTRUCTION
 3. TEST EXISTING SOIL IN LAWN & LANDSCAPE AREAS & REMEDIATE AS NEEDED BEFORE PLANTING OR SEEDING.
 4. CLEAN SITE, REMOVE ALL DEBRIS AND REPAIR/LOAM AND SEED ALL DISTURBED AREAS WITH MOWED AREAS SEED MIX UNLESS OTHERWISE SPECIFIED



NORTH



MATCHLINE PANEL 1

MATCHLINE PANEL 4

LANDSCAPE PLAN - PANEL 2
12.5MW SOLAR DEVELOPMENT
EXETER RENEWABLES 1 LLC
89 TEN ROD RD - AP 26, LOT1-1
EXETER, RHODE ISLAND

DATE	REVISION DESCRIPTION
08/20/20	ADDED VEGETATIVE SCREENING TO EASTERN P.L., ADJUSTED SEED MIXES
07/21	ADJ SEEDING @ DETENTION BASIN, SEEDED SWALE 1, ADJ SEED MINNOTES, ADDED PANEL 3
DATE:	JULY 9, 2020
DRAWN BY:	SGG
SCALE:	AS SHOWN
JOB NO.:	487
SHEET NO.:	17 OF 21
SHEET	L-2

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PLANT SCHEDULE AUGUST 2020

TREES					
Key	Qty	Botanical Name	Common Name	Size	Notes
PG	4	PICEA GLAUCA	WHITE SPRUCE	6-7' B&B	
PPG	10	PICEA PUNGENS 'GLAUCA'	BLUE SPRUCE	6-7' B&B	
SHRUBS					
Key	Qty	Botanical Name	Common Name	Size	Notes
IG	10	ILEX GLABRA	HICKBERRY	#5	
RM	7	RHODODENDRON MAXIMUM	ROSEBAY RHODODENDRON	3-4' B&B	

GENERAL NOTES:
 1. THE INFORMATION ON THIS PLAN WAS COMPILED FROM DRAWINGS BY WOOD PLC. THIS IS NOT A REGISTERED SURVEY. TO THE BEST OF OUR KNOWLEDGE, THIS DRAWING IS A TRUE REPRESENTATION OF THE ACTUAL FIELD CONDITIONS
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NOTE:
 1. ALL EXISTING TOPSOIL SHALL BE RETAINED ONSITE.

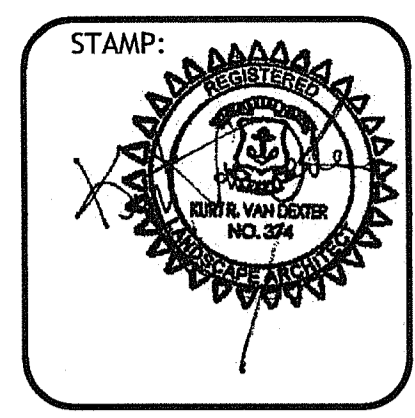
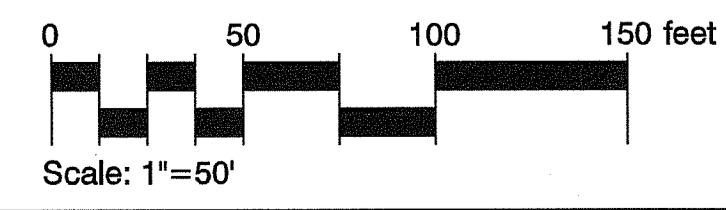
SEED MIX HATCH KEY

	SEED MIX A - MOW MIX (NO HATCH)
	SEED MIX B - CONSERVATION MIX
	SEED MIX C - LOW-GROWING SLOPE/SWALE MIX
	SEED MIX D - LOW-GROWING BASIN FLOOR MIX

Kindly be advised that this Permit is not subject to a verification of the type or extent of freshwater wetlands on this site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL DATED JUN-10-2021 FILE # 17-0330
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Martin D. Wenczek



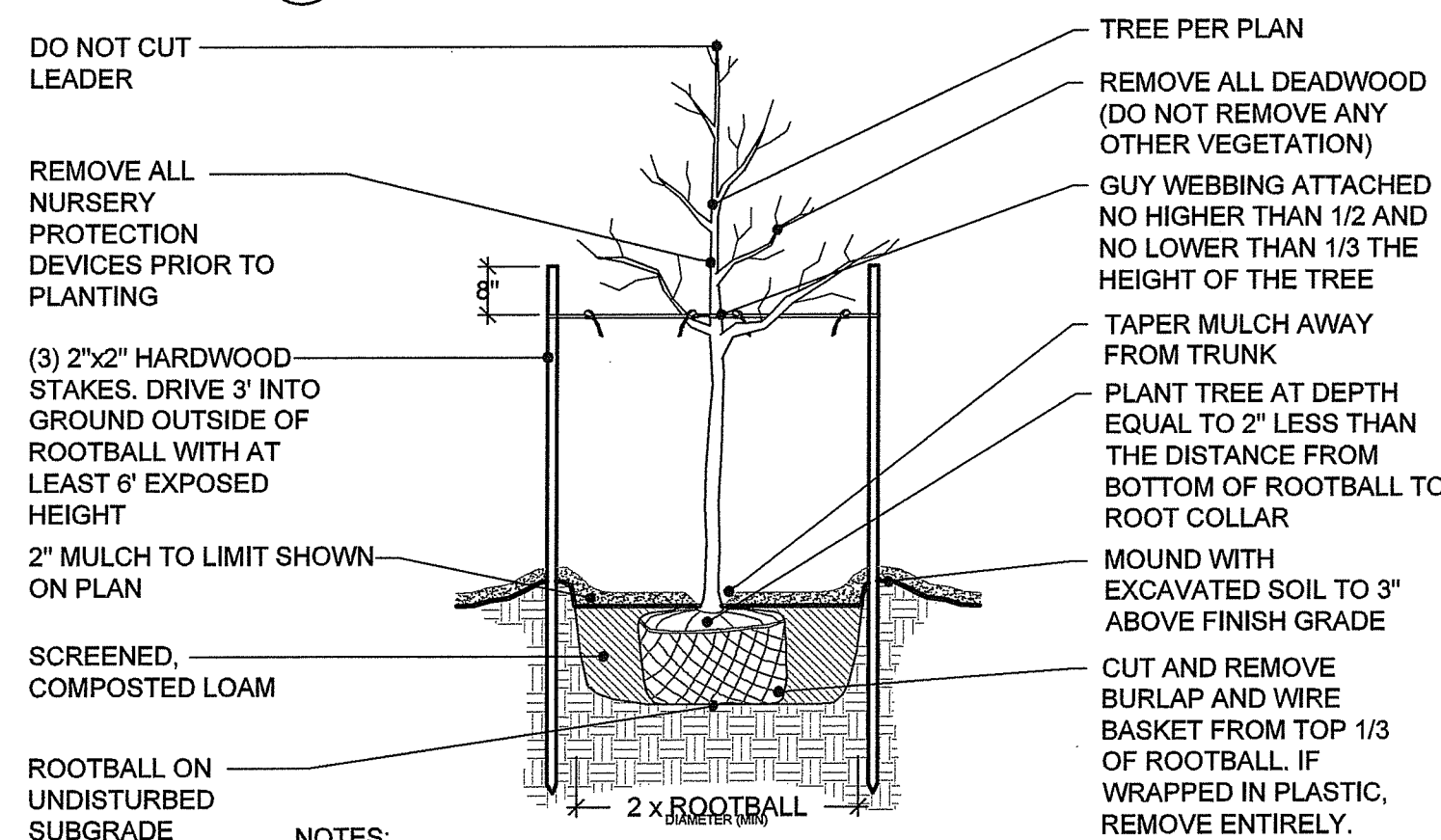
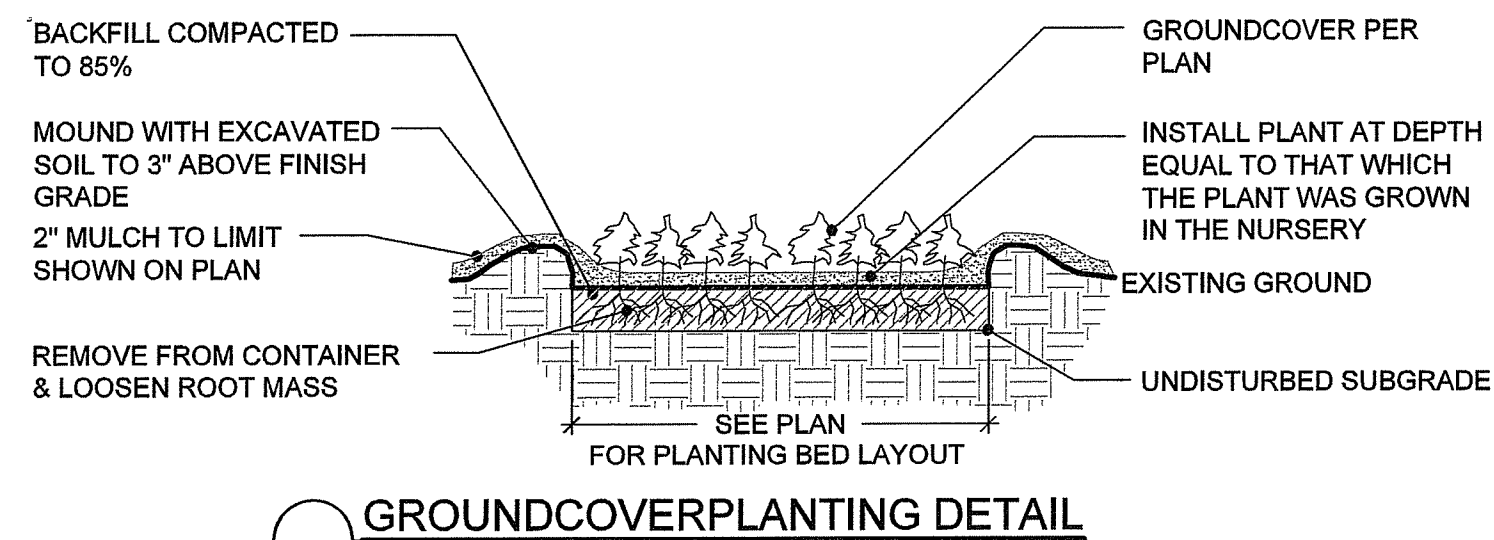
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LANDSCAPE PLAN - PANEL 4
12.5MW SOLAR DEVELOPMENT
EXETER RENEWABLES 1 LLC
89 TEN ROD RD - AP 26, LOT1-1
EXETER, RHODE ISLAND

REVISION DESCRIPTION	DATE
ADJUSTED SEED MIXES	8/20/20
ADDED VEGETATIVE SCREENING TO EASTERN P.L.	4/7/21
ADJ SEEDING @ DETENTION BASIN, SEEDED SWALE 1, ADJ SEED MIX/NOTES, ADDED PANEL 3	
DATE: JULY 9, 2020	
DRAWN BY: SGG	
SCALE: AS SHOWN	
JOB NO: 487	
SHEET NO. 19 OF 21	
SHEET	L-4

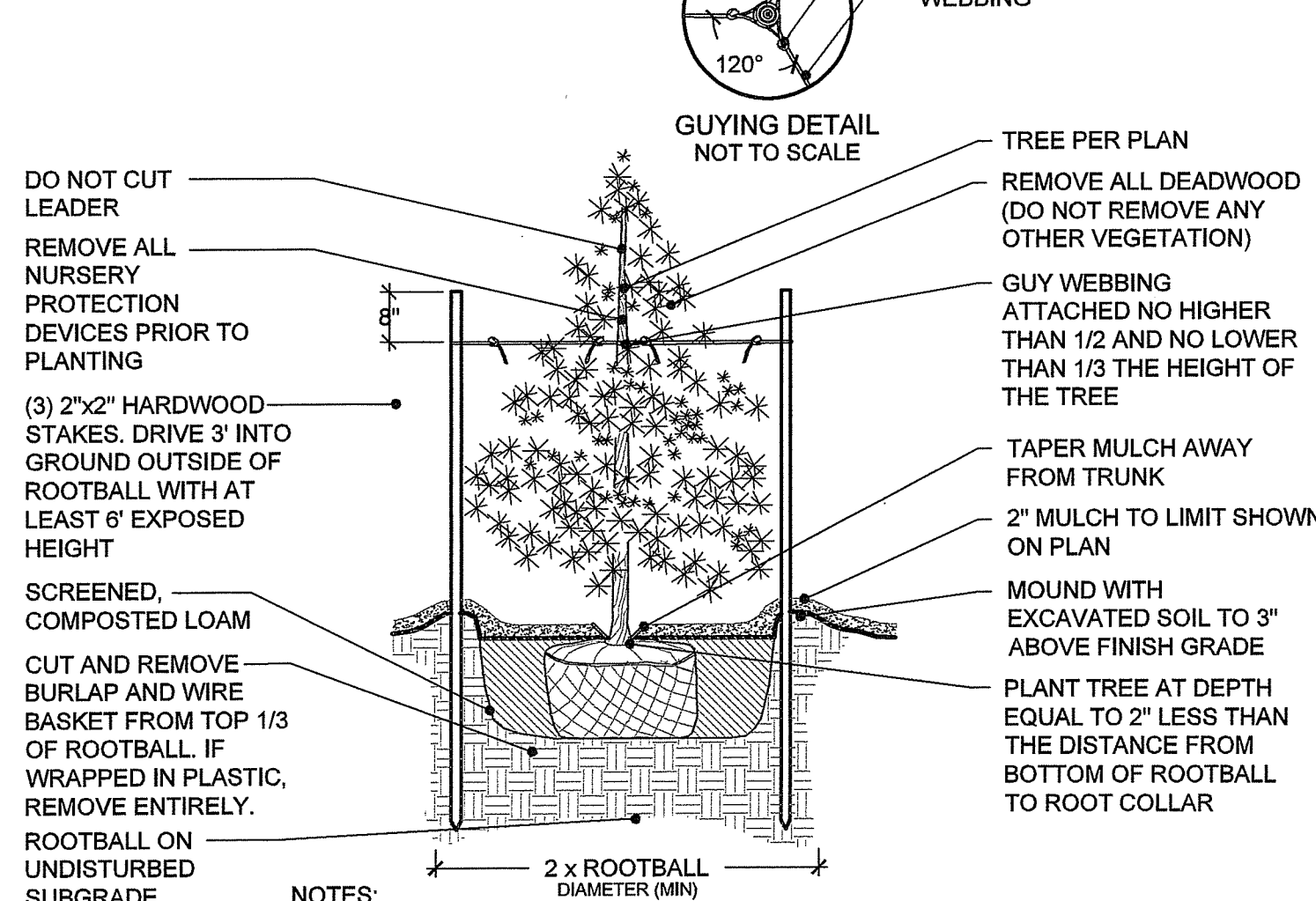
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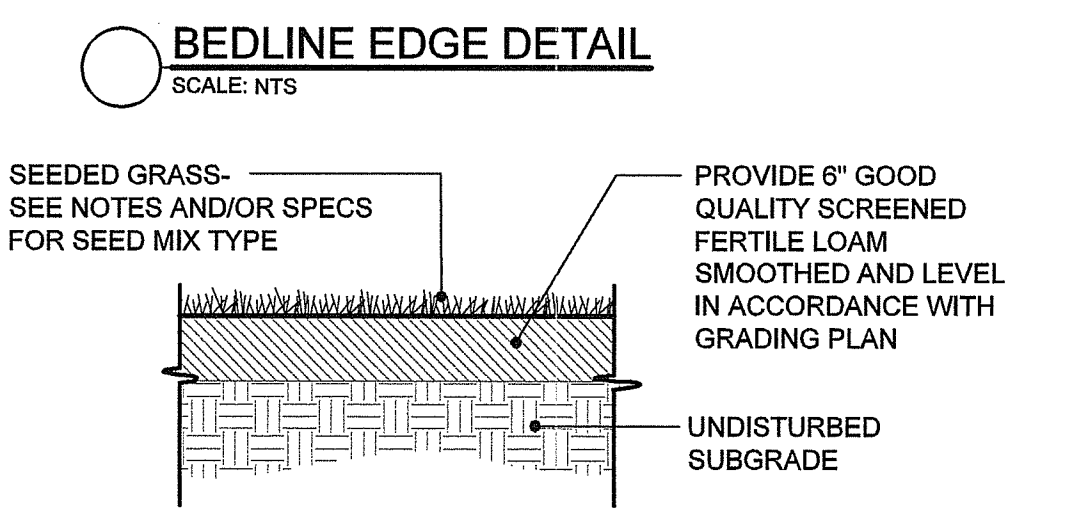
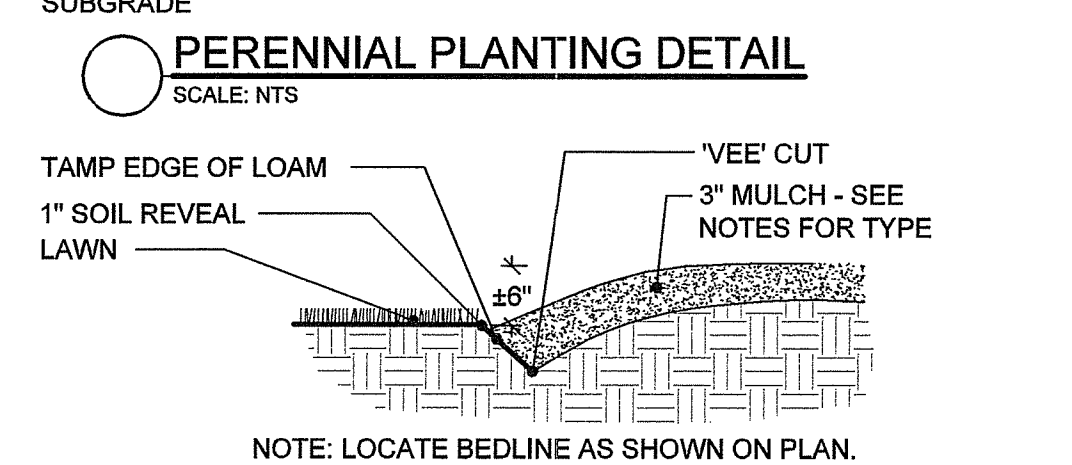
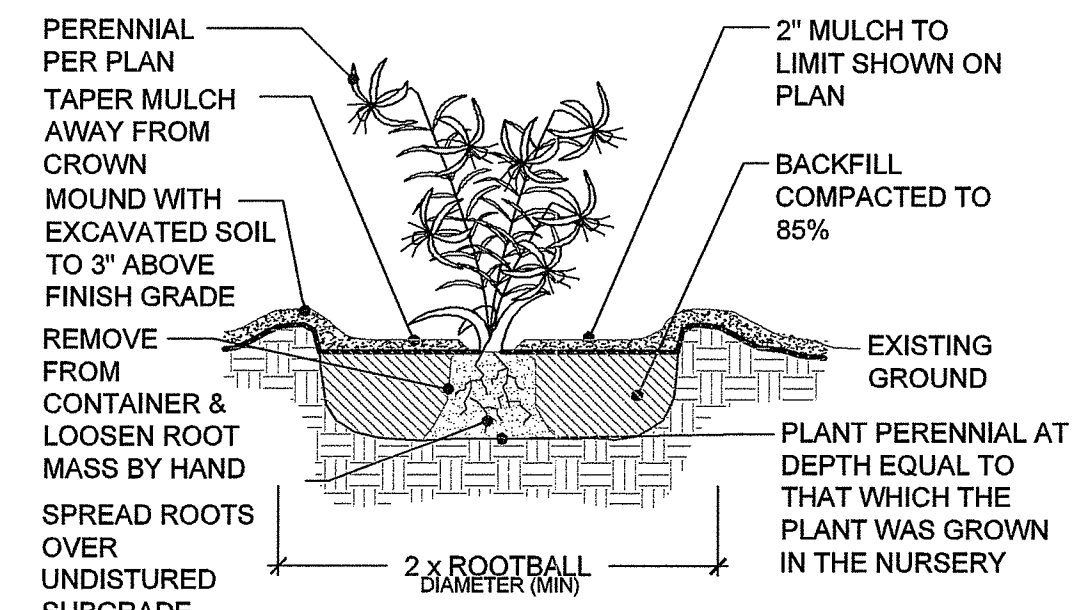
NOTES:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.
2. USE THIS DETAIL FOR 'POCKET PLANTING' OF DECIDUOUS TREES



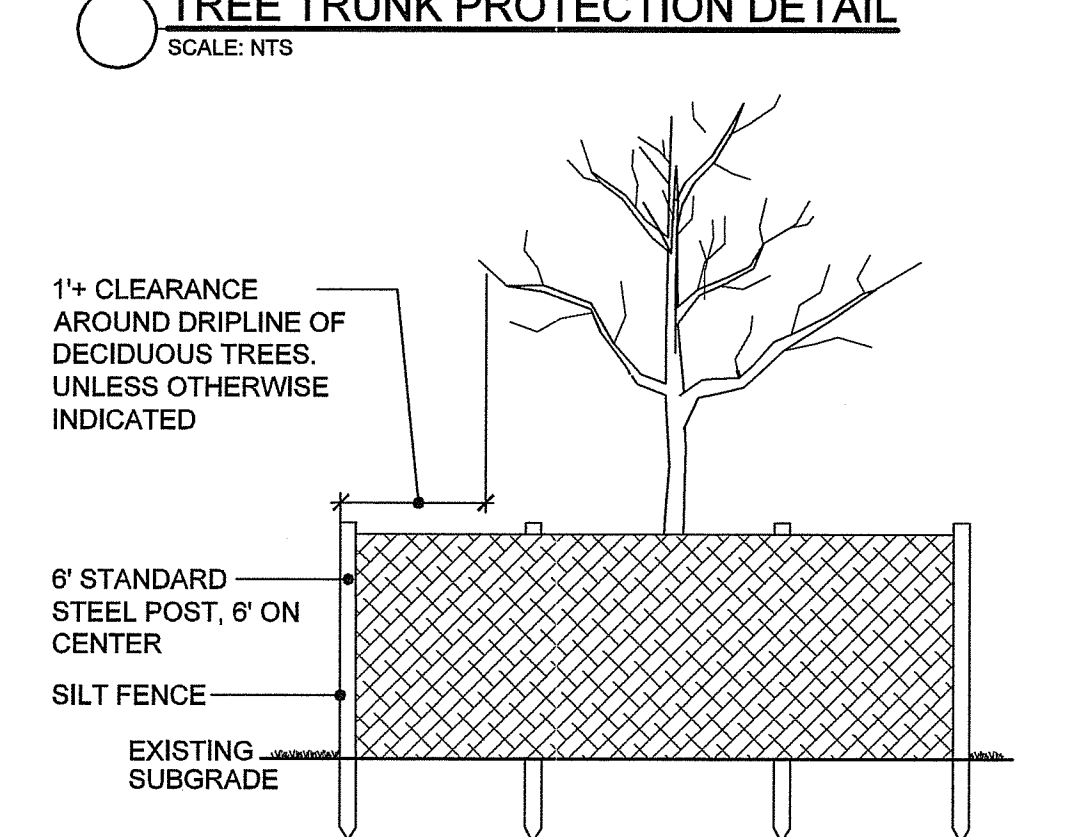
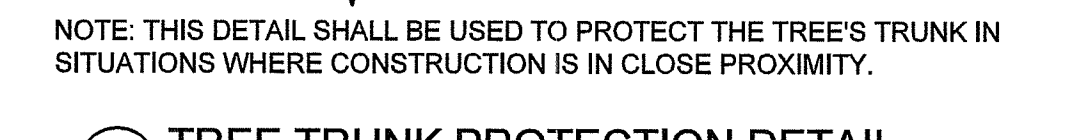
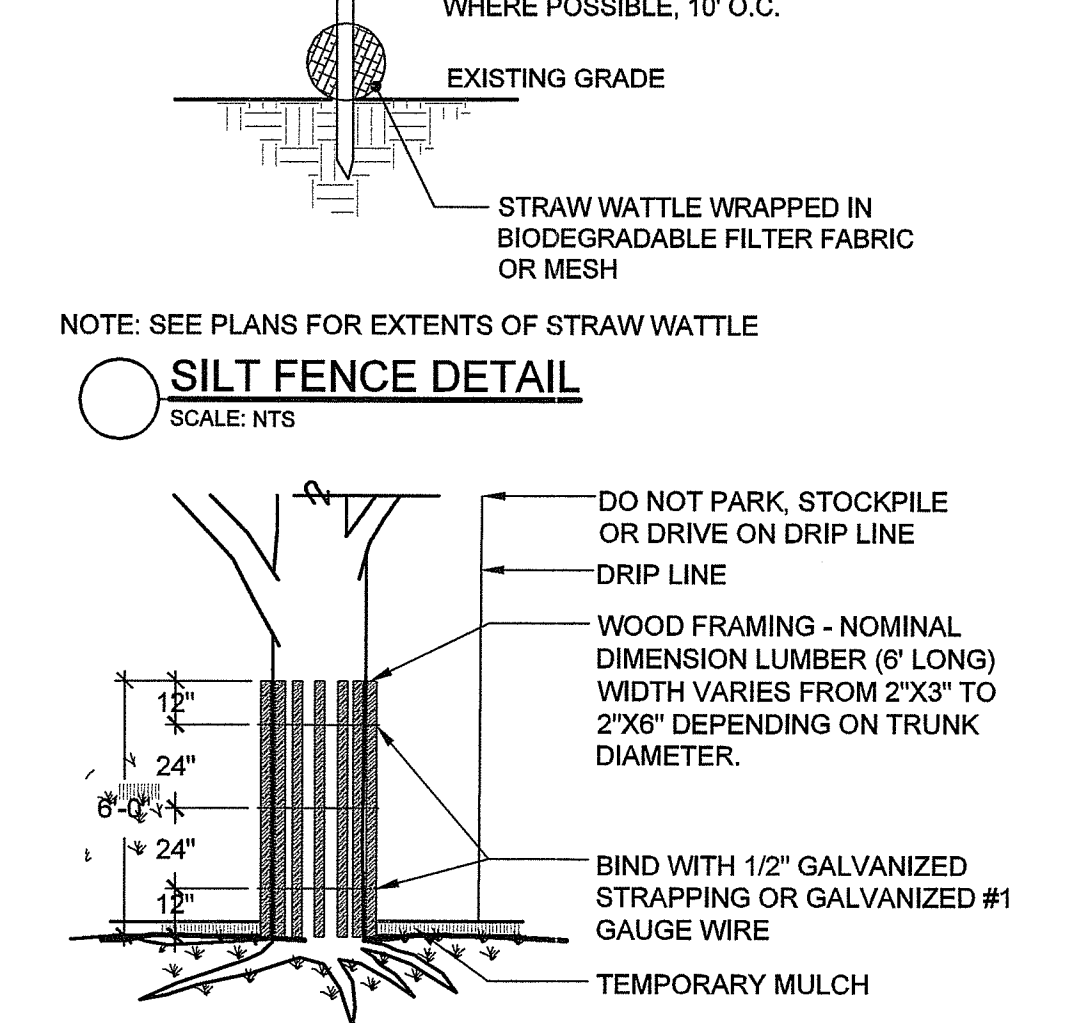
NOTES:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.
2. USE THIS DETAIL FOR 'POCKET PLANTING' OF EVERGREENS



NOTE: USE THIS DETAIL FOR 'POCKET PLANTING' OF SHRUBS



NOTE: THIS DETAIL SHALL BE USED TO PROTECT THE TREE'S TRUNK IN SITUATIONS WHERE CONSTRUCTION IS IN CLOSE PROXIMITY.



SEEDING NOTES

- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 6" OVER ALL AREA DESIGNATED ON PLANS. ON-SITE LOAM TO BE TESTED BY A CERTIFIED PROFESSIONAL SOIL SCIENTIST FOR ORGANIC MATTER, PH AND NUTRIENTS. AMEND AS NEEDED TO MEET RECOMMENDED STANDARDS FOR SEEDING.
- TEST COMPACTION OF SOIL BEFORE SEEDING. IN AREAS WHERE COMPACTION HAS OCCURRED, TILL TO A DEPTH OF 12" AND ADD ORGANIC COMPOST TO RELIEVE COMPACTION.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQ. FT. AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DIGGING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DIGGING OR ROTOTILLING.
- ANY LOAM EXPOSED FOR ONE WEEK SHALL BE PLANTED WITH ANNUAL RYE GRASS SEED & SEED MIX #1. ALL LOAM STOCKPILES TO BE SEED IMMEDIATELY.
- APPLICATION OF SEED:
- A. RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQ. FT. OR AS INDICATED ON PLANS.
- B. SEEDING SHALL BE DONE IN ACCORDANCE WITH SECTION L.02.03 OF THE RI STANDARD SPECIFICATIONS AND ONLY DURING THE FOLLOWING DATES:
SPRING SEEDING: APRIL 1 TO MAY 31
FALL SEEDING: AUGUST 15 TO OCTOBER 15
- C. THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8-WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL LEAVE THESE AREAS IN GOOD CONDITION, ALSO MAINTAIN THESE AREAS IN GOOD CONDITION UNTIL PROVISIONAL ACCEPTANCE.
- D. DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE. THE EQUIVALENT OF ONE INCH OF ABSORBED WATER PER INCH THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERINGS IS REQUIRED.
- E. OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
- F. REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- G. SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:

SEED MIX A
MOWED AREAS SEED MIX

TYPE	% BY WEIGHT	LOW-GROWING SLOPE/SWALE MIX	% BY WEIGHT
IMPROVED PER. RYE	30	MARCO POLO SHEEP FESCUE	47
TURF TYPE TALL FESCUE	30	VIKING H20 HARD FESCUE	45
JAMESTOWN CHEWINGS FESCUE	30	MUSKET COLONIAL BENTGRASS	5
KY BLUEGRASS 98/85	7	DUTCH WHITE CLOVER	3
WHITE CLOVER	3		

APPLICATION RATE = 260 LBS./ACRE

APPLICATION RATE = 4 LBS./1,000 SF

SEED MIX B
CONSERVATION/POLLINATOR MIX*

TYPE	% BY WEIGHT	LOW-GROWING BASIN FLOOR MIX	% BY WEIGHT
MARCO POLO SHEEP FESCUE	45	RELIANT IV HARD FESCUE	35
VIKING H20 HARD FESCUE	45	CREeping RED FESCUE	33
BLACK-EYED SUSAN	3	FOX SEDGE	12
PURPLE CONEFLOWER	2	CREeping BENTGRASS	7
BUTTERFLY MILKWEED	2	BROOMSEDGE	5
PARTRIDGE PEA	2	BLACK-EYED SUSAN	3
WILD COLUMBINE	5	BLUE FLAG	2
LANCE-LEAVED COREOPSIS	25	NODDING BUR MARGOLD	1
WHITE BEARDTONGUE	25	MUD PLANTAIN	1
		CREeping SPIKE RUSH	1

APPLICATION RATE = 30 LBS./ACRE
MOW TWICE YEARLY

SEEDING RATE: 35LBS/ACRE; 3/4LB/1000 SQ. FT

*NRCS APPROVAL TO BE OBTAINED PRIOR TO CONSTRUCTION FOR SEED MIX B

ALL SEED MIXES AVAILABLE FROM ALLEN'S SEED STORE: 800-527-3898
693 SOUTH COUNTY TRAIL EXETER, RI 02832

NOTE:
1. ALL EXISTING TOPSOIL SHALL BE RETAINED ONSITE.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ALSO REPORT ANY CONDITIONS UNCOVERED IN THE WORK THAT ARE NOT REFLECTED WITHIN THE PLANS.
- THE CONTRACTOR SHALL, UNDER THE DIRECTION OF THE OWNER, ESTABLISH CONSTRUCTION LIMITS TO THE SITE BY ACCEPTABLE VISIBLE MARKERS PLACED AT EYE LEVEL. ALL WORK AND EQUIPMENT SHALL BE CONFINED TO WITHIN THESE LIMITS. THE CONTRACTOR SHALL REMOVE ALL MARKERS WHEN DIRECTED BY OWNER.
- THE SITE SHALL BE "ROUGH GRADED" TO THE ELEVATIONS AND CONTOURS SET FORTH ON THE PLANS, ALLOWING FOR GRAVEL, LOAMING AND FINAL GRADING.
- THE CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING LOAM FROM THOSE AREAS THAT ARE TO BE EXCAVATED OR FILLED AND TO WITHIN THE PROJECT LIMITS. STOCKPILES SHALL NOT BE MIXED WITH ANY SUBSOIL OR OTHER UNSUITABLE MATERIAL UNLESS DIRECTED BY OWNER. ALL EXCESS SOIL REMAINS THE PROPERTY OF THE OWNER. EARTH EXCAVATION SHALL BE LIMITED TO THE DIMENSIONS AND REQUIREMENTS SHOWN ON THE DRAWINGS.
- THE INTENTION OF THE OWNER IS TO MAINTAIN THE BOUNDARIES OF THE SITE IN ITS EXISTING CONDITION AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFINING THE WORK TO WITHIN THE CONSTRUCTION LIMITS.
- ALL EXISTING VEGETATION (TREES, SHRUBS, GRASSES, ETC.) TO REMAIN SHALL BE PROTECTED BY INJURY. INDIVIDUAL TREES AND SHRUBS TO BE SAVED WITHIN THE DESIGNATED WORK AREA SHALL BE ADEQUATELY PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE ALL PROTECTIVE BARRIERS AS DIRECTED BY THE OWNER.
- ALL EXISTING GRASSED AREAS NOT ADEQUATELY PROTECTED AND THEREFORE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL WETLANDS, COASTAL, CITY/TOWN, AND STATE REGULATIONS.
- ALL PLANTINGS SHALL BE MAINTAINED IN A MANNER SO AS TO PROMOTE OPTIMUM GROWTH OF PLANT MATERIALS.
- ALL TREES, SHRUBS, GROUND COVERS, AND OTHER PLANT MATERIALS MUST BE REPLACED IF THEY DIE OR BECOME UNHEALTHY BECAUSE OF ACCIDENTS, DRAINAGE PROBLEMS, DISEASE, OR OTHER CAUSES. ALL SUCH REPLACEMENTS SHALL CONFORM TO ALL STANDARDS THAT GOVERNED THE ORIGINAL INSTALLATION. WHERE NO SUCH STANDARDS EXIST, NEW PLANTINGS SHALL MATCH THE REPLACED MATERIALS IN TYPE, SPECIES, AND QUANTITY.
- SOIL OR LOAM THAT IS STORED OR STOCKPILED DURING CONSTRUCTION SHOULD ALSO BE MULCHED OR COVERED WITH A MAT OF LOOSE HAY AND CAN BE SEEDING WITH A TEMPORARY SEED MIX. STOCKPILES SHOULD ALSO BE ENCLOSED WITH SILT OR HAY BALES.
- ENTRANCE TO CONSTRUCTION SITE SHOULD BE COVERED WITH GRAVEL TO TRAP SEDIMENT FROM THE TIRES OF VEHICLES EXISTING IN THE SITE.

PLANTING NOTES:

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT AND PROJECT ARCHITECT.
- LOAM TO BE GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS AND 12" IN ALL AREAS DESIGNATED. ON-SITE LOAM TO BE TESTED BY A CERTIFIED PROFESSIONAL SOIL SCIENTIST FOR ORGANIC MATTER, PH AND NUTRIENTS. AMEND AS NEEDED TO MEET RECOMMENDED STANDARDS FOR PLANTING.
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BECAME TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATTER FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING FORM SAUCERS CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS. BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STREET TREES SHALL BE SECURELY TRIPLE-STAKED WITH STAKES OF A MINIMUM SIZE OF TWO INCHES BY TWO INCHES BY SIX FEET.
- TREES IN OPEN AREAS TO HAVE A NATURALIZED BRANCHING HABIT.
- ALL STREET TREES ADJACENT TO SIDEWALKS AND ROADS MUST HAVE A MINIMUM CLEARANCE HEIGHT OF 7' (7 FEET) TO THE FIRST BRANCH.
- WATERING/WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING, WHICH EVER IS REQUIRED BY SITE CONDITIONS.
- PRUNING/PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES FLUSH WITH THE TRUNK OR THE LINE. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA. BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT THE RATE OF ONE AGRIFORM PELLETT PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- MULCHING: COVER ALL PLANTED AREAS WITH 3" DARK BROWN PINE BARK MULCH WITHIN A SEVENTY - TWO HOUR PERIOD AFTER PLANTING. NO RED MULCH ACCEPTED.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.
- ALL TREES ARE TO HAVE ONE MAIN LEADER.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING THE IRRIGATION AND WATER AMOUNTS FOR THE FIRST YEAR.
- POCKET PLANTING REFERS TO PLANTING MATERIAL AMONG INDIVIDUAL PLANTINGS IN INDIVIDUAL HOLES AND NOT A PREPARED BED. THE STANDARD PLANTING DETAILS STILL APPLY.

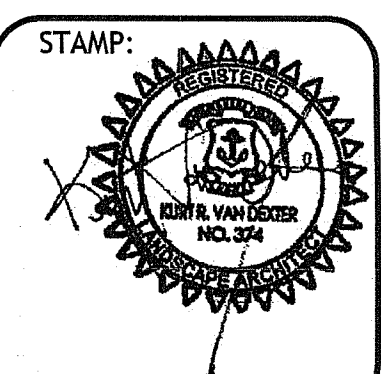
DIG SAFE

- RHODE ISLAND LAW REQUIRES THAT DIG SAFE AND ALL UTILITY COMPANIES BE NOTIFIED BY THE CONTRACTOR A MINIMUM OF 48 HOURS - 2 BUSINESS DAYS - PRIOR TO ANTICIPATED EXCAVATION. THIS DOES NOT INCLUDE WEEKENDS OR LEGAL HOLIDAYS. DIG SAFE MAY BE CONTACTED BY CALLING 1-888-344-7233 MONDAY THRU FRIDAY FROM 6 A.M. TO 6 P.M.
- STATE LAW REQUIRES ALL EXCAVATORS TO PRE-MARK THE AREA OF EXCAVATION BEFORE NOTIFYING DIG SAFE. PRE-MARKING IS DEFINED AS MARKING OUT THE SCOPE OF THE PROPOSED EXCAVATION ARE, USING STAKES, PAINT OR FLAGS.
- LOCATE AND RECORD ALL BURIED UTILITIES AND CONFORM TO REQUIREMENTS GOVERNING EXCAVATION AND CHANGES IN THIS AREA.
- THE DEPTH OF UNDERGROUND FACILITIES IS VARIABLE. THEREFORE STATE LAW REQUIRES EXCAVATORS TO USE NON-MECHANICAL MEANS WHEN DIGGING WITHIN 18" OF A MARKED UNDERGROUND FACILITY. THE CURRENT DEPTH OF A FACILITY MIGHT NOT BE THE SAME AS WHEN IT WAS ORIGINALLY INSTALLED, DUE TO SOIL EROSION, GRADING AND MANY OTHER FACTORS. TO ENSURE THE SAFETY OF EXCAVATORS AND TO AVOID DISRUPTION, IT MAKES SENSE TO HAND DIG WHEN NEAR AND UNDERGROUND FACILITY.
- IF DAMAGE OCCURS TO A UTILITY LINE, AND THERE IS A POSSIBILITY THAT THE DAMAGE MAY POSE A THREAT TO THE HEALTH AND SAFETY OF THE PUBLIC, CALL 911 IN ORDER TO DISPATCH LOCAL OFFICIALS WHO WILL DETERMINE WHETHER THE COMMUNITY IS IN IMMEDIATE DANGER. NEXT, ACCORDING TO STATE LAW, IT IS THE RESPONSIBILITY OF THE EXCAVATOR TO NOTIFY THE AFFECTED UTILITY COMPANY DIRECTLY AFTER DAMAGE OCCURS. STATE LAW PROHIBITS THE CONTRACTOR FROM ATTEMPTING TO REPAIR THE LINE OR BACKFILLING BEFORE THE LINE HAS BEEN REPAIRED BY THE UTILITY COMPANY. FAMILIARIZE YOURSELF WITH YOUR LOCAL UTILITY COMPANIES' SAFETY PROCEDURES AND PROTOCOL IN THE EVENT OF UTILITY LINE DISRUPTION.
- A DIG SAFE PERMIT SHOULD BE PROCESSED ONLY IF YOU INTEND TO EXCAVATE WITHIN 30 DAYS.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 10 2021 FILE # 19-6330
CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

James D. Womack



Environmental Management
APR 09 2021
Office of Water Resources

HALI BECKMAN, LTD.
28 Brown Street, Suite 206, Wickford, RI 02892
Tel. 401.294.1684 - www.halibeckman.com
Estate Planning - Landscape Architecture

LANDSCAPE DETAILS & NOTES
12.5MW SOLAR DEVELOPMENT
EXETER RENEWABLES 1 LLC
89 TEN ROD RD - AP 26, LOT 1-1
EXETER, RHODE ISLAND

REVISION DESCRIPTION	DATE	DATE	DATE
ADDED VEGETATIVE SCREENING TO EASTERN P.L. ADJUSTED SEED MIXES	5/20/20		
ADD SEEDING @ DETENTION BASIN, SEEDED SWALE 1, ADD SEED MIX NOTES, ADDED PANEL 3	4/17/21		

DATE: 7/9/2020
DRAWN BY: SGG
SCALE: AS SHOWN
JOB NO: 487
SHEET NO. 21 OF 21
SHEET L-6

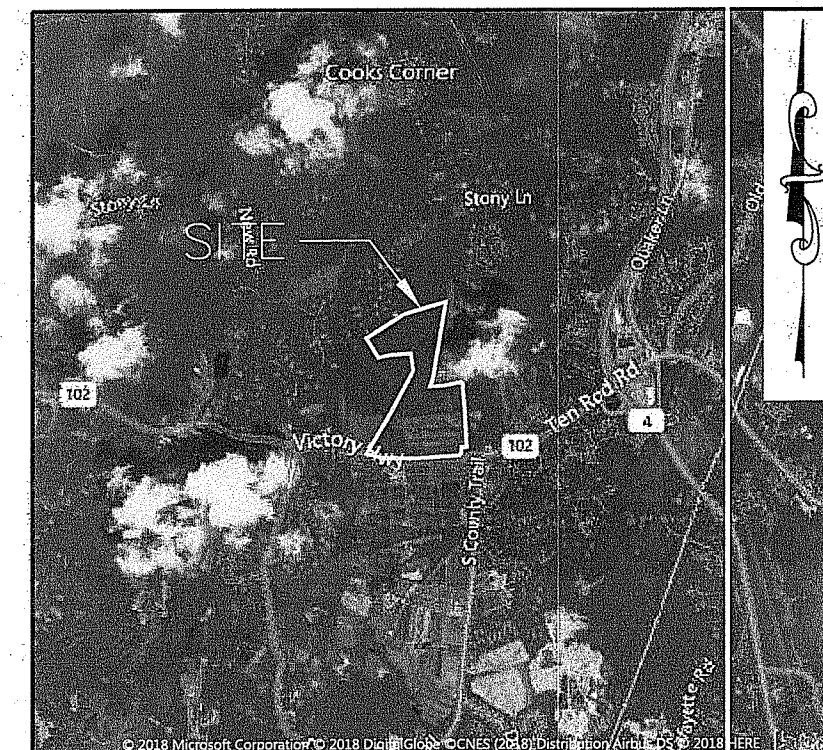
12.5 MW SOLAR DEVELOPMENT

89 TEN ROD ROAD
PLAT 26 LOT 1-1
EXETER, RHODE ISLAND

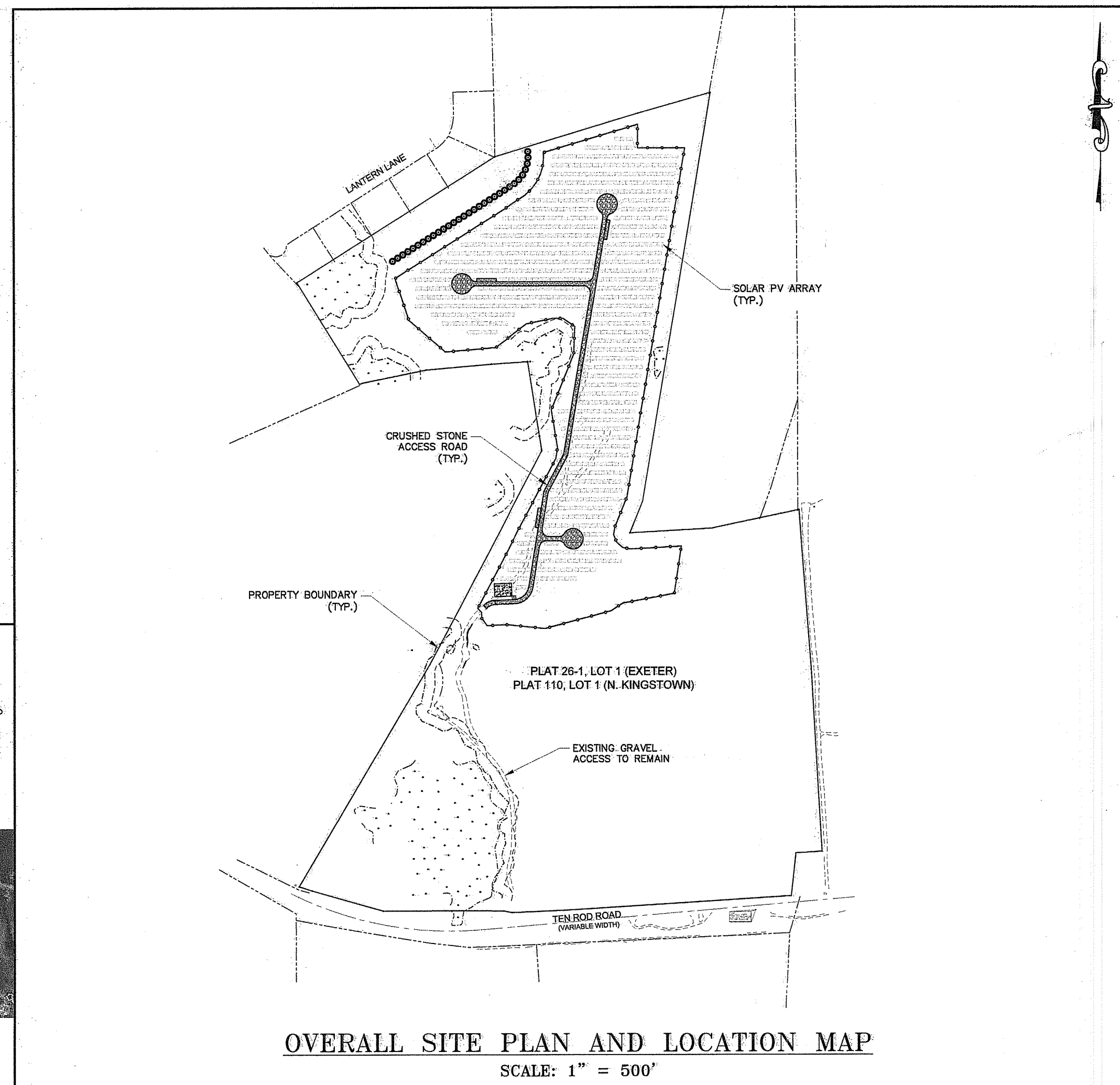
ISSUED FOR PERMITTING

APPLICANT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET, SUITE 102A
PROVIDENCE, RI 02903

LATEST ISSUED: NOVEMBER 25, 2019



LOCATION MAP
SCALE: 1" = 5,000'



OVERALL SITE PLAN AND LOCATION MAP
SCALE: 1" = 500'

PROPERTY OWNER(S)			
PLAT - LOT	PROPERTY ADDRESS	PROPERTY OWNER NAME	MAILING ADDRESS
26-1-1	89 TEN ROD ROAD	JOHN MORRIS III TRUST	65 MILL COVE ROAD WARWICK, RI 02889

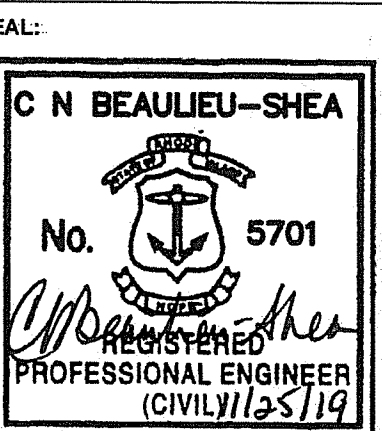
INDEX TO SHEETS		LATEST ISSUE
C-1	COVER	11/25/19
C-2	LEGEND & NOTES	11/25/19
C-3	OVERALL SITE PLAN	11/25/19
C-4	OVERALL SESC/GRADING AND DRAINAGE PLAN	11/25/19
C-5	SITE PLAN/SESC PANEL 1	11/25/19
C-6	SITE PLAN/SESC PANEL 2	11/25/19
C-7	SITE PLAN/SESC PANEL 3	11/25/19
C-8	SITE PLAN/SESC PANEL 4	11/25/19
C-9	SITE PLAN/SESC PANEL 5	11/25/19
C-10	SITE PLAN/SESC PANEL 6	11/25/19
C-11	DETAILS 1	11/25/19
C-12	DETAILS 2	11/25/19
C-13	WETLANDS RESTORATION DETAIL	11/25/19

INDEX TO SUPPLEMENTAL SHEETS (BY OTHERS)		LATEST ISSUE
SU1-1	SURVEY PLAN 1	11/15/18
SU1-2	SURVEY PLAN 2	11/15/18

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 26 2020 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Gregory D. Sanchez

NOT FOR CONSTRUCTION



REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENTS

CLIENT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:	
COVER	
ISSUED FOR:	PERMITTING
DATE:	DECEMBER 12, 2018
SCALE:	N/A
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO:	3653180038

C-1

SHEET 1 OF 15

LEGEND

	EXIST	PROP		EXIST	PROP
TOP/BOTTOM CURB ELEVATION	27.85	27.85	SURVEYED PROPERTY LINE (PL)	---	---
	21.25	21.25	ASSESSOR'S MAP PROP. LINE	---	---
			RIGHT-OF-WAY/PL EASEMENT	---	---
SPOT GRADE w/LEADER	21.25	21.25	BUILDING SETBACK	---	---
SPOT GRADE	21.25	21.25	50' PERIMETER WETLAND	---	---
BORING LOCATION	⊕B-1	⊕B-1	100' RIVERBANK WETLAND	---	---
TEST PIT LOCATION	⊕TP-1	⊕TP-1	200' RIVERBANK WETLAND	---	---
MONITORING WELL	⊕MW-1	⊕MW-1	ZONING LINE	---	---
BENCH MARK	BM	BM	TOWN LINE	---	---
DRAIN MANHOLE	⊕DMH	⊕DMH	STATE LINE	---	---
CATCH BASIN	⊕CB	⊕CB	GRAVEL ROAD	---	---
DOUBLE CATCH BASIN	⊕DCB	⊕DCB	EDGE OF PAVEMENT	---	---
GUTTER INLET	GI	GI	BITUMINOUS CURB	---	---
TRENCH DRAIN	TD	TD	CAPE COD BERM	---	---
HEADWALL	HW	HW	PRECAST CONC. CURB	---	---
FLARED END SECTION	FES	FES	VERT. GRAN. CURB	---	---
DRAINAGE LINE	D	D	SLOPED GRAN. EDGING	---	---
OVERFLOW DRAIN	OD	OD	LIMIT OF CURB TYPE	---	---
ROOF DRAIN	RD	RD	TREE LINE	---	---
OVERHEAD WIRE	OW	OW	MEADOW GRASS LINE	---	---
WATER LINE	W	W	MEADOW SHRUB LINE	---	---
FIRE PROTECTION LINE	FP	FP	CRUSHED STONE	---	---
GAS LINE	G	G	EROSION CONTROL FABRIC	---	---
UNDERGROUND ELECTRIC	UE	UE	SAWCUT	---	---
UNDERGROUND TELEPHONE	TEL	TEL	MATCHLINE	---	---
FIRE ALARM	FA	FA	SOLID WHITE LINE	---	---
FIRE & POLICE CABLE	F&P	F&P	SOLID YELLOW LINE	---	---
CABLE TV	CATV	CATV	BROKEN WHITE LINE	---	---
PLUG/STUB	P	P	BROKEN YELLOW LINE	---	---
GREASE TRAP	GT	GT	SOLID WHITE CHANNELIZING LINE	---	---
CONTROL STRUCTURE	CS	CS	SOLID YELLOW CHANNELIZING LINE	---	---
SEWER MANHOLE	SMH	SMH	DOUBLE YELLOW LINE	---	---
SEWER LINE	S	S	STOP LINE	---	---
WATER GATE	WG	WG	STEEL GUARD RAIL	---	---
TAPPING SLEEVE, VALVE, & BOX	TSV	TSV	WOOD GUARD RAIL	---	---
RISER	R	R	PATH	---	---
PRESSURE REDUCER	PR	PR	CHAIN LINK FENCE	---	---
SIAMASE CONNECTION	SC	SC	STONE WALL	---	---
FIRE HYDRANT	FH	FH	RETAINING WALL	---	---
WATER METER	WM	WM	HAY BALES	---	---
POST INDICATOR VALVE	PV	PV	SILT FENCE	---	---
WELL	W	W	STRAW WATTLE	---	---
GAS GATE	GG	GG	LIMIT OF DISTURBANCE	---	---
GAS METER	GM	GM	MINOR CONTOUR	---	---
ELECTRIC MANHOLE	EMH	EMH	MAJOR CONTOUR	---	---
ELECTRIC BOX	EB	EB	TOP OF SLOPE	---	---
ELECTRIC METER	EM	EM	TOE OF SLOPE	---	---
LIGHT POLE	LP	LP	BUILDING	---	---
FLOOD LIGHT	FL	FL	BUILDING ENTRANCE	---	---
SINGLE LUMINAIRE	SL	SL	LOADING DOCK	---	---
DOUBLE LUMINAIRE	DL	DL	BOLLARD	---	---
TRIPLE LUMINAIRE	TL	TL	DUMPSTER PAD	---	---
QUAD LUMINAIRE	QL	QL	SIGN	---	---
WALL PACK	WP	WP	DOUBLE SIGN	---	---
TELEPHONE MANHOLE	TMH	TMH	PARKING METER	---	---
TRAFFIC SIGNAL	TS	TS	PARKING COUNT	---	---
SIGNAL BOX	SB	SB	COMPACT PARKING STALLS	---	---
FIRE ALARM CONTROL PANEL	FACP	FACP	CROSSWALK	---	---
FIRE ALARM BOX	FAB	FAB	CEMENT CONC. PAVEMENT	---	---
TRANSFORMER PAD	TP	TP	RIPRAP STONE	---	---
MANHOLE	MH	MH	TRAIL REINFORCEMENT	---	---
UTILITY POLE	UP	UP	ADA RAMP	---	---
GUY POLE	GP	GP	ADA PARKING	---	---
HAND HOLE	HH	HH	VAN-ACCESSIBLE ADA PARKING	---	---
PULL BOX	PB	PB			

ABBREVIATIONS

ABANDON	ADJUST	AMERICAN SOCIETY FOR TESTING & MATERIALS	AMERICANS WITH DISABILITIES ACT	APPROXIMATE	ASPHALT BITUMED CORRUGATED METAL PIPE	BITUMINOUS CURB	BOTTOM OF SLOPE	CAPE COD BERM	CAST IRON PIPE	CHANGE IN TYPE	COLUMN	CONDUIT	CORRUGATED ALUMINUM PIPE	CORRUGATED POLYETHYLENE PIPE	DUCTILE IRON PIPE	ELEVATION	EXISTING	FOUNDATION	FRAME AND COVER	FRAME AND GRATE	GALVANIZED	GRANITE CURB	HIGH DENSITY POLYETHYLENE	HYDRANT	INVERT ELEVATION	LANDSCAPE AREA
ABAN	ADJ	ASTM	ADA	APPROX	ACCOMP	BC	BOS	CCV	CIP	CIT	COL	COND	CAP	CPP	DIP	ELEV	EXIST	FDN	F&C	F&G	GALV	GC	HDPE	HYD	INV	LA
MAXIMUM	MINIMUM	NOT IN CONTRACT	NOT TO SCALE	ON CENTER	ONSITE WASTEWATER TREATMENT SYSTEM	PAVED WATER WAY	POLYVINYLCHLORIDE PIPE	PRECAST CONCRETE CURB	PROPOSED	RADIUS	REINFORCED CONCRETE PIPE	REMODEL	REMOVE	REMOVE AND DISPOSE	REMOVE AND RESET	REMOVE AND STORE	RETAIN	SLOPED GRANITE EDGING	TAPPING SLEEVE, VALVE AND BOX	TOP OF SLOPE	TRANSITION	TYPICAL	UTILITY POLE	VERTICAL GRANITE CURB	VITRIFIED CLAY PIPE	WATER GATE
MAX	MIN	NIC	NTS	OC	DWTS	PWW	PVC	PCC	PROP	R	RCP	REMOD	REM	R&D	R&R	R&S	RET	SGE	TSV&B	TOS	TRANS	TYP	UP	VGC	VCP	WG

GENERAL NOTES

- THESE PLANS AND THEIR CORRESPONDING ELECTRONIC DOCUMENTS, INCLUDING CAD FILES FOR THE PROJECT, ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN THE DEVELOPMENT OF THIS PROJECT WITHOUT THE EXPRESS, WRITTEN CONSENT OF WOOD, ANY UNAUTHORIZED USE, RE-USE, ALTERATION, OR MODIFICATION OF THIS DATA SHALL BE AT THE USER'S RISK WITH NO LIABILITY ON THE PART OF WOOD.
- UPON AWARD OF THE CONTRACT AND PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND BONDS AND PAYING ALL STATE AND LOCAL FEES RELATING TO THE WORK SHOWN ON THESE DRAWINGS, THE CONSTRUCTION SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 BUSINESS HOURS PRIOR TO INITIATING ANY EXCAVATION WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. WHERE SITE SPECIFICATIONS ARE NOT PROVIDED, THE CONTRACTOR SHALL ADHERE TO TOWN OF NORTH KINGSTOWN STANDARDS OR THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AS APPLICABLE. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- REFERENCE MADE TO "STATE HIGHWAY STANDARDS," "STATE STANDARD SPECIFICATIONS," "STANDARD SPECIFICATIONS," OR "RIDOT STANDARDS" SHALL MEAN AND BE DEFINED AS THE "RHODE ISLAND DEPARTMENT OF TRANSPORTATION - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION."
- ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE REMOVED IMMEDIATELY AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SECURITY AND JOB SAFETY AND SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING ANY REQUIRED POLICE PROTECTION. ANY REQUIRED TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- THE CONTRACTOR SHALL NOT OBSTRUCT PUBLIC ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT FIRST OBTAINING THE NECESSARY PERMITS TO DO SO.
- ACCESSIBLE ROUTES, PARKING SPACES, SIDEWALKS, AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FEDERAL "AMERICANS WITH DISABILITIES ACT (ADA)" AND LOCAL AND STATE STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- THE LIMITS-OF-WORK (A.K.A. "LIMIT OF DISTURBANCE") SHALL BE AS SHOWN ON THESE PLANS. AREAS DISTURBED BEYOND THESE DEFINED LIMITS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LANDSCAPE AREAS SHALL BE RESTORED WITH 4 INCHES OF LOAM AND SEED.
- SHOULD THE CONTRACTOR ENCOUNTER SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MATERIAL DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE SUSPECTED AREA AND NOTIFY THE OWNER SO THAT APPROPRIATE ACTIONS AND TESTING CAN TAKE PLACE.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL UNPAVED/LANDSCAPE AREAS SHALL RECEIVE 4 INCHES OF LOAM AND SEED WITHIN THE LIMITS OF WORK SHOWN ON THESE PLANS. LOAM SHALL BE EVENLY SPREAD, SMOOTHED, AND COMPACTED PRIOR TO SEEDING.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT THEIR PROPOSED INTERFACE WITH PROPOSED PAVEMENTS TO ENSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- EXISTING CONDITIONS, INCLUDING HORIZONTAL AND VERTICAL DATUMS, ARE FROM SURVEY CONDUCTED BY WATERMAN ENGINEERING COMPANY. VERTICAL DATUM FOR THE PROJECT IS REFERENCED TO NAVD 1988 AND HORIZONTAL DATUM IS REFERENCED TO NAD83.

UTILITIES:

- EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, SIZE, MATERIAL(S), AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO ORDERING OR INSTALLING THESE MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, OR WHERE EXISTING CONDITIONS DIFFER FROM THE INFORMATION SHOWN ON THESE PLANS, SUCH THAT THE WORK CAN NOT BE COMPLETED AS INTENDED, THE CONTRACTOR SHALL IMMEDIATELY IDENTIFY AND PROVIDE THE ENGINEER WITH THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY IN CONFLICT. THE CONTRACTOR SHALL NOT CONTINUE WORK IN THIS AREA UNTIL THE APPROPRIATE REMEDIAL ACTION IS AGREED UPON BY THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO OVERHEAD AND/OR UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THESE PLANS THROUGHOUT WORK ON THIS PROJECT.

LAYOUT AND MATERIALS NOTES

- THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- DIMENSIONS ARE TO/FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED ON THESE PLANS.
- PROPOSED BOUNDS AND ANY OTHER EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BITUMINOUS PATCH FOR ANY TRENCH WORK WITHIN PAVEMENT OR SIDEWALK AREAS IN PUBLIC RIGHTS-OF-WAY UNTIL PERMANENT PATCHING IS INSTALLED.

DEMOLITION

- WITHIN THE LIMIT OF WORK/DISTURBANCE, THE CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC., EXCEPT AS OTHERWISE NOTED ON THESE PLANS.
- THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND IS NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
- EXISTING UTILITIES SHALL BE TERMINATED IN CONFORMANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, AND SERVICE PROVIDER REQUIREMENTS.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS FOUND DURING CONSTRUCTION.

SITE SPECIFIC DATA

- TOTAL SITE AREA = 141.47± ACRES
- TOTAL AREA OF DISTURBANCE = 40.0± ACRES
- NATURAL HERITAGE AREA (NHA) IMPACT - NO
- THREATENED SPECIES OR HABITAT IMPACT - NO
- WATERSHED = THROUGH WETLANDS TO QUEENS FORT BROOK; WBD: R0008039R-31A (COLD WATER FISHERY, IMPAIRMENT: ENTEROCOCCUS)

EROSION CONTROLS/CONSTRUCTION SEQUENCING

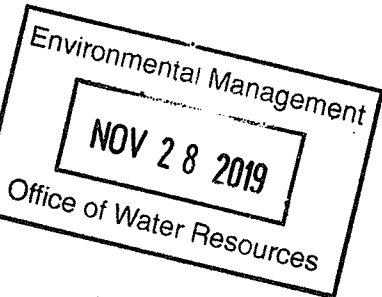
- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- EROSION CONTROL DEVICES
 - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
 - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
 - TEMPORARY SEDIMENT BASINS MAY BE EXCAVATED OR BERMED/HAYBALED AND SHALL BE SIZED IN ACCORDANCE WITH THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK." THE DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
 - SILT SACKS OR EQUIVALENT SHALL BE INSTALLED AT ALL DOWN-GRADE CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT OFF-SITE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE "GRADING, DRAINAGE, AND EROSION CONTROL" PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED/REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS.
 - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES. STOCKPILES SHALL BE STABILIZED WITH TEMPORARY SEED ACCORDING TO NOTE 11 BELOW. IF TEMPORARY SEED IS NOT FEASIBLE OR NOT PRACTICAL, STOCKPILES SHALL BE COVERED WITH POLYETHYLENE SHEETING OR SIMILAR PRODUCT AT THE END OF EACH DAY TO MINIMIZE DUST.
 - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK."
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADE PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE RIDES PERMIT, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
- EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
- THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
- THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

100-YEAR FLOOD PLAIN IMPACT AVOIDANCE

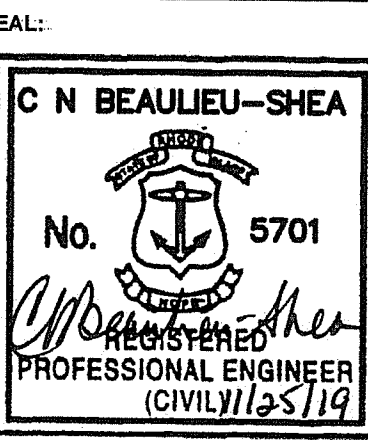
- THE QUEENS FORT BROOK (ID NUMBER R0008039R-31A) IS LOCATED IN THE SOUTHWEST CORNER OF THE SITE. AS DEFINED BY THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) THE QUEENS FORT BROOK IS INCLUDED IN THE AREAS SUBJECT TO INUNDATION BY THE 1-PERCENT-ANNUAL-CHANCE FLOOD EVENT, FLOOD ZONE A.
- THE SOUTHWEST CORNER OF THE SITE IS LOCATED WITHIN FLOOD ZONE A. ALL PROPOSED DEVELOPMENT ACTIVITIES ARE LOCATED WITHIN ZONE X. FLOOD INFORMATION WAS BASED ON FEMA FLOOD INSURANCE MAPS 44009C0085H, DATED 10/19/2010, FOR WASHINGTON COUNTY, RHODE ISLAND. THE BASE FLOOD ELEVATION (BFEs) OR FLOOD DEPTHS DATA ARE NOT AVAILABLE IN THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
- THERE IS NO WORK PROPOSED WITHIN THE EXISTING STREAM, AND NO IMPACT ON THE 100-YR FLOOD PLAIN LINE AND ELEVATION FOR THE QUEENS FORT BROOK LOCATED ALONG THE WESTERN SIDE OF THE EXISTING ACCESS ROAD.



WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC.
275 PROMENADE STREET, SUITE 100
PROVIDENCE RHODE ISLAND, 02908
WEB: WWW.WOODPLC.COM
(401) 648-9240



NOT FOR CONSTRUCTION



REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENTS

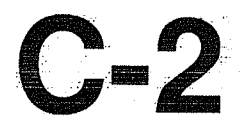
CLIENT:
EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN FORD ROAD
EXETER, RI 02822

TITLE:
LEGEND AND NOTES

ISSUED FOR:	PERMITTING
DATE:	DECEMBER 12, 2018
SCALE:	NA
DRAWN BY:	NRH
CHECKED BY:	GAA
PROJECT NO.:	3653180038

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 26 2020 FILE # 18-030
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



ZONING CHART
ZONE: RURAL DISTRICT (RU-4)

LOT AREA (AC)	REQUIRED	PROVIDED
LOT FRONTAGE (FT)	4	141.47
MAX LOT COVERAGE (%)	300	2,473.6
MAX BUILDING HEIGHT (FT)	15	N/A
BUILDING SETBACKS: (MEASURED FROM PANELS)	40	N/A
FRONT SETBACK (FT)	100	1,598
EAST SIDE SETBACK (FT)	80	106
WEST SIDE SETBACK (FT)	80	103
REAR SETBACK (FT)	50	75

WOO

WOOD ENVIRONMENT
INFRASTRUCTURE SOLUTIONS
275 PROMENADE STREET, 5
PROVIDENCE RHODE ISLAND
WEB: WWW.WOODP.LC
(401) 948-9240

Kindly be advised that this
Permit is not equivalent to a
construction of the type or extent
of freshwater wetlands on site.

Environmental Management
NOV 28 2019
Office of Water Resources

NOT FOR CONSTRUCTION

SEAL:
C N BEAULIEU-SHEPHERD
No. 5701
REGISTERED PROFESSIONAL ENGINEER
(CIVIL) 11251

REVISION DATE DESCRIP
1 11/25/19 RIDEM COM
CLIENT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

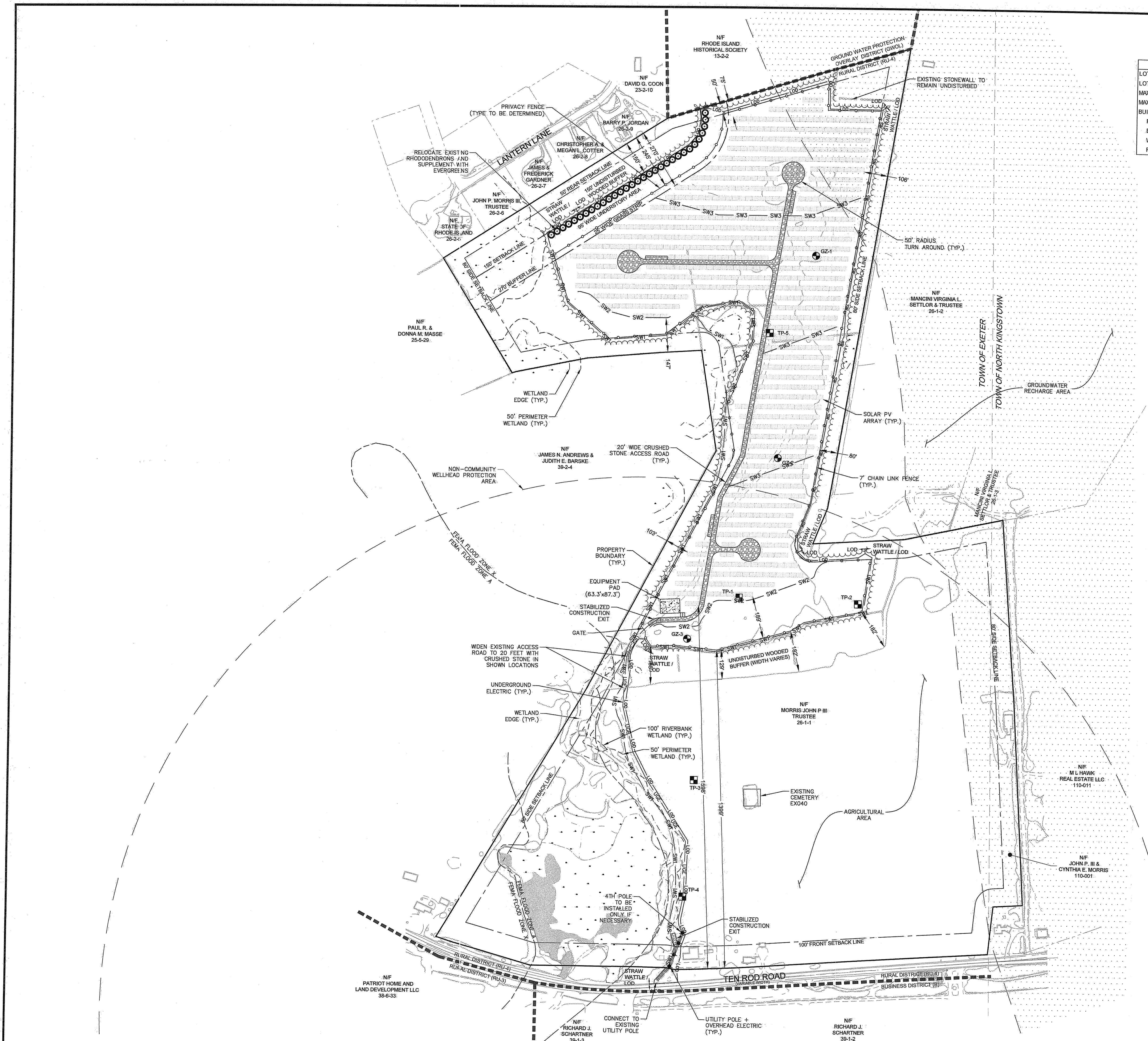
TITLE:
OVERALL SITE PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 26 2020 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

ISSUED FOR: PERMIT
DATE: DECEMBER 12, 2019
SCALE: 1" = 200'
DRAWN BY:
CHECKED BY:
PROJECT NO: 365318

C-3

SHEET 3 OF 15
WOOD



UNLESS OTHERWISE AGREED IN A WRITTEN CONTRACT BETWEEN WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. AND ITS CLIENT: (I) THIS DOCUMENT CONTAINS INFORMATION, DATA AND DESIGN THAT IS CONFIDENTIAL AND MAY NOT BE COPIED OR DISCLOSED; AND (II) THIS DOCUMENT MAY ONLY BE USED BY THE CLIENT IN THE CONTEXT AND FOR THE EXPRESS PURPOSE FOR WHICH IT HAS BEEN DELIVERED. ANY OTHER USE OR RELIANCE ON THIS DOCUMENT BY ANY THIRD PARTY IS AT THAT PARTY'S SOLE RISK AND RESPONSIBILITY.

MATCHLINE PANEL 2

NOTE:

- ALL EXISTING TOPSOIL SHALL BE RETAINED ~~ON SITE~~. (DEM correction)

Justin D. Shea
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 26 2020 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NOT FOR CONSTRUCTION

SEAL:

C N BEAULIEU-SHEA

No. 5701

C N Beaulieu-Shea
PROFESSIONAL ENGINEER
(CIVIL) 125119

REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENTS

CLIENT:
EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:
SITE PLAN/SESC PANEL 1

ISSUED FOR: PERMITTING:
DATE: DECEMBER 12, 2018
SCALE: 1"=50'
DRAWN BY: NRM
CHECKED BY: GAA
PROJECT NO: 3653180038

C-5
SHEET 5 OF 15

SESC CONSTRUCTION SEQUENCING

- INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL DEVICES PER THE SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING PERIMETER EROSION CONTROLS AND CONSTRUCTION ENTRANCE. (SEE SHEET C-4 & C-13, AND STRAW WATTLE GROUP 1).
- GRADE SITE TO SUBGRADE ELEVATIONS.
- PROTECT PROPOSED INFILTRATING DETENTION BASINS BY INSTALLING STRAW WATTLE ALONG UP-GRADIENT EDGE OF BASINS. (SEE STRAW WATTLE GROUP 2).
- LOAM & SEED REMAINING DISTURBED AREA.
- AFTER INSTALLATION OF LOAM & SEED AND BEFORE ESTABLISHMENT OF VEGETATION, INSTALL STRAW WATTLE AT 500-FOOT SPACING ACROSS THE SITE AS SHOWN ON THE PLANS. (SEE STRAW WATTLE GROUP 3).
- ONCE VEGETATION IS ESTABLISHED, CONTACT ENGINEER OF RECORD TO INSPECT INFILTRATION BEDS AND REPAIR AS NECESSARY.
- UPON ENGINEER APPROVAL, INSTALL DETENTION BASINS AND GRAVEL ROADWAY.
- INSTALL SOLAR PANELS AND EQUIPMENT.
- REPAIR ANY ERODED AREAS TO FINISH GRADE WITH LOAM AND SEED.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED WITH VEGETATION AND NO OBVIOUS EVIDENCE OF EROSION WITHIN THE PROJECT LIMITS IS OBSERVED.

LOAM AND SEED OPERATIONS SHALL BE LIMITED TO 5 ACRE INCREMENTS AT A TIME. AFTER EACH 5 ACRES OF LOAM IS SPREAD, THE AREA MUST BE SEEDED PRIOR TO PROCEEDING WITH ADDITIONAL LOAM INSTALLATION. THE CONTRACTOR SHALL INSTALL LOAM & SEED IN A NORTH TO SOUTH MANNER, INSTALLING LOAM AT THE HIGHEST PORTIONS OF THE SITE FIRST AND STABILIZING WITH VEGETATION BEFORE PROCEEDING TO LOWER PORTIONS OF THE SITE CLOSEST TO WETLAND RESOURCES.

STRAW WATTLE GROUPS/SEQUENCING

- SW1 — SW1 — GROUP 1
- SW2 — SW2 — GROUP 2
- SW3 — SW3 — GROUP 3

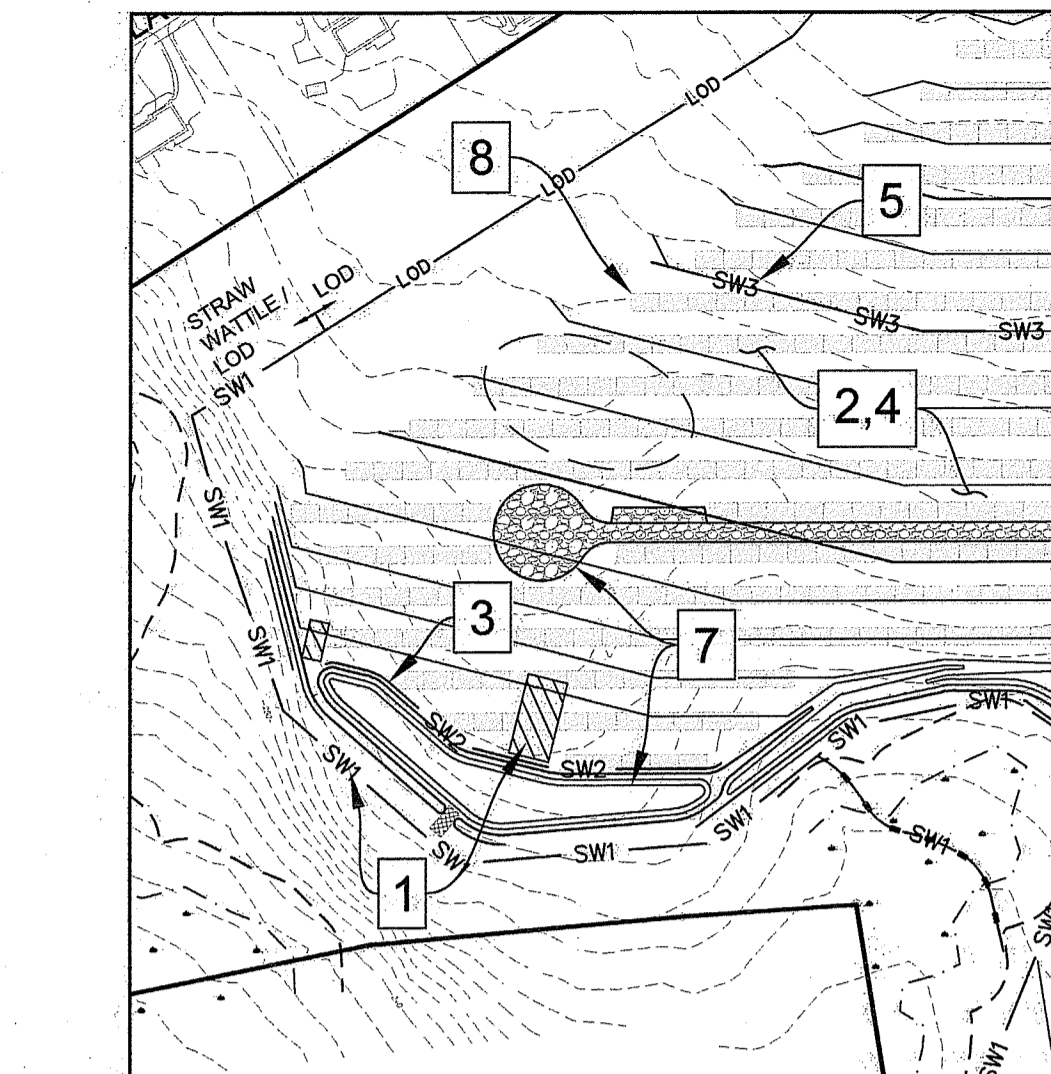


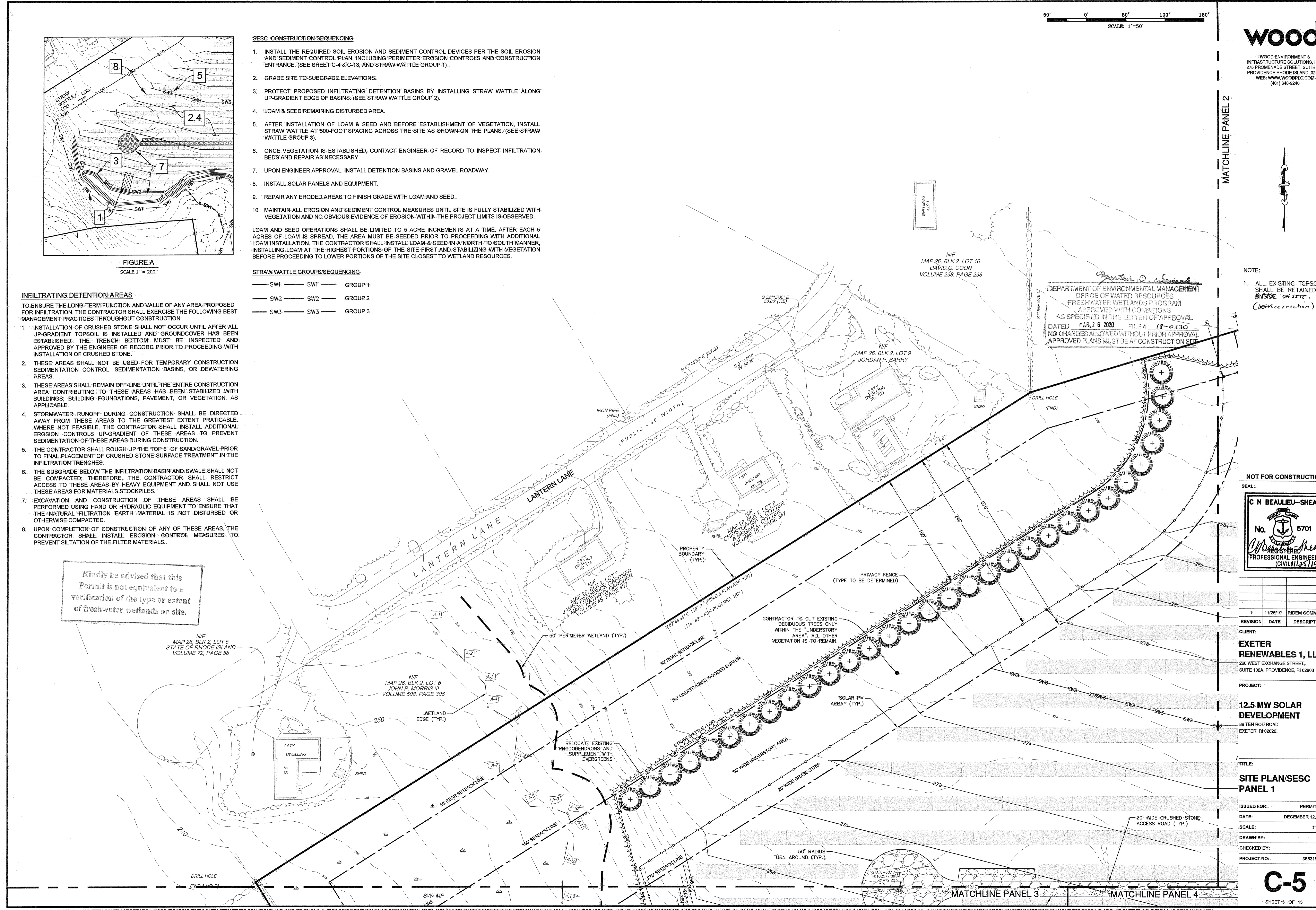
FIGURE A
SCALE 1" = 200'

INFILTRATING DETENTION AREAS

TO ENSURE THE LONG-TERM FUNCTION AND VALUE OF ANY AREA PROPOSED FOR INFILTRATION, THE CONTRACTOR SHALL EXERCISE THE FOLLOWING BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION:

- INSTALLATION OF CRUSHED STONE SHALL NOT OCCUR UNTIL AFTER ALL UP-GRADIENT TOPSOIL IS INSTALLED AND GROUND COVER HAS BEEN ESTABLISHED. THE TRENCH BOTTOM MUST BE INSPECTED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO PROCEEDING WITH INSTALLATION OF CRUSHED STONE.
- THESE AREAS SHALL NOT BE USED FOR TEMPORARY CONSTRUCTION SEDIMENTATION CONTROL, SEDIMENTATION BASINS, OR DEWATERING AREAS.
- THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, OR VEGETATION, AS APPLICABLE.
- STORMWATER RUNOFF DURING CONSTRUCTION SHALL BE DIRECTED AWAY FROM THESE AREAS TO THE GREATEST EXTENT PRACTICABLE. WHERE NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROLS UP-GRADIENT OF THESE AREAS TO PREVENT SEDIMENTATION OF THESE AREAS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ROUGH UP THE TOP 6" OF SAND/GRAVEL PRIOR TO FINAL PLACEMENT OF CRUSHED STONE SURFACE TREATMENT IN THE INFILTRATION TRENCHES.
- THE SUBGRADE BELOW THE INFILTRATION BASIN AND SWALE SHALL NOT BE COMPACTED; THEREFORE, THE CONTRACTOR SHALL RESTRICT ACCESS TO THESE AREAS BY HEAVY EQUIPMENT AND SHALL NOT USE THESE AREAS FOR MATERIALS STOCKPILES.
- EXCAVATION AND CONSTRUCTION OF THESE AREAS SHALL BE PERFORMED USING HAND OR HYDRAULIC EQUIPMENT TO ENSURE THAT THE NATURAL FILTRATION EARTH MATERIAL IS NOT DISTURBED OR OTHERWISE COMPACTED.
- UPON COMPLETION OF CONSTRUCTION OF ANY OF THESE AREAS, THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT SILTATION OF THE FILTER MATERIALS.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



Kindly be advised that this Permit is an instrument to a verification of the type or extent of freshwater wetlands on site.

NOTE:
1. ALL EXISTING TOPSOIL SHALL BE RETAINED **ON SITE** (DEM correction)

Environmental Management
NOV 28 2019
Office of Water Resources

NOT FOR CONSTRUCTION

SEAL:
C N BEAULIEU-SHEA
No. 5701
Professional Engineer
CIVIL 11/25/19

REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENT

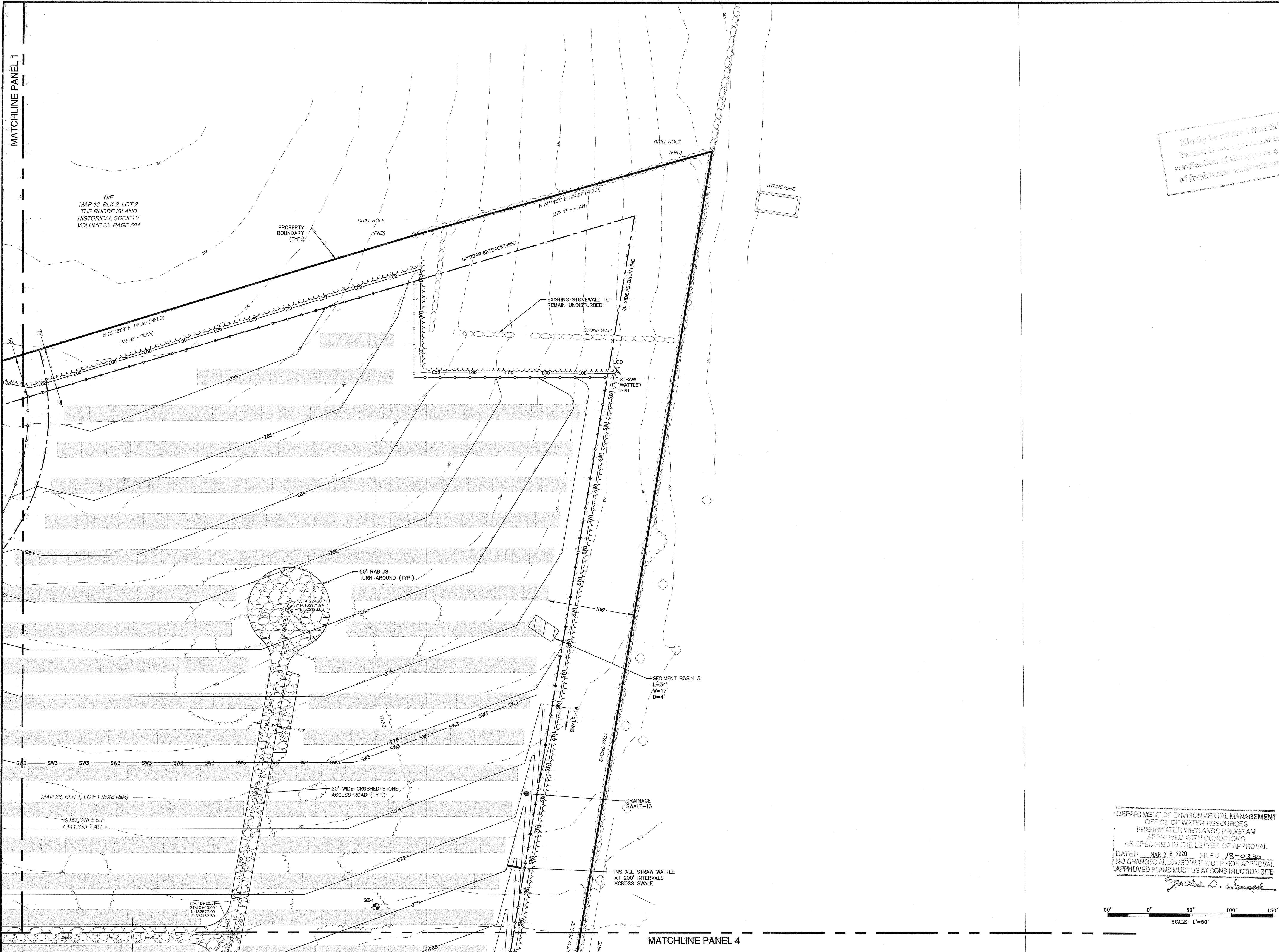
CLIENT:
EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

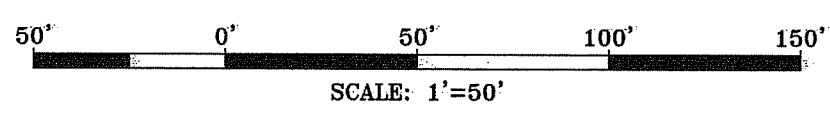
TITLE:
SITE PLAN/SECC PANEL 2

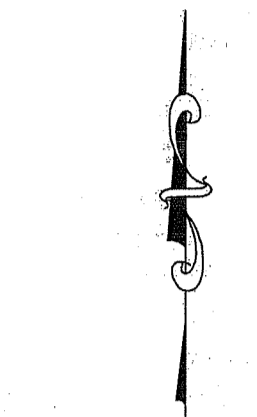
ISSUED FOR: PERMIT
DATE: DECEMBER 12, 20
SCALE: 1" = 50'
DRAWN BY: NF
CHECKED BY: G
PROJECT NO: 36531800

C-6
SHEET 6 OF 15
WOOD



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 25 2020 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Christopher D. Sheehan





NOTE:
1. ALL EXISTING TOPSOIL SHALL BE RETAINED ON-SITE.

NOT FOR CONSTRUCTION

SEAL:

C N BEAULIEU-SHEA

No. 5701

C N Beaulieu-Shea

REGISTERED PROFESSIONAL ENGINEER (CIVIL) 1125119

REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENTS

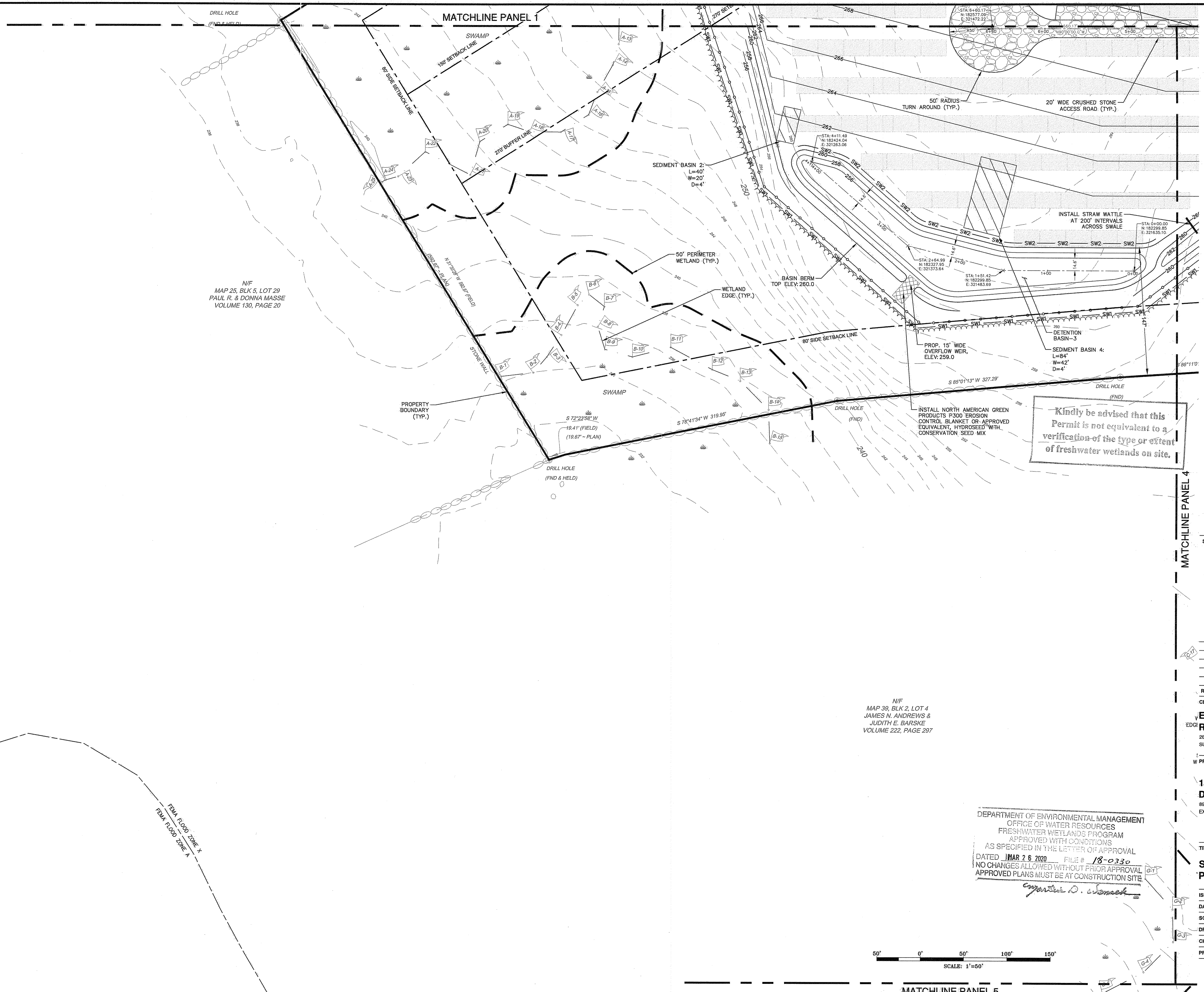
CLIENT:
EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:
SITE PLAN/SECC PANEL 3

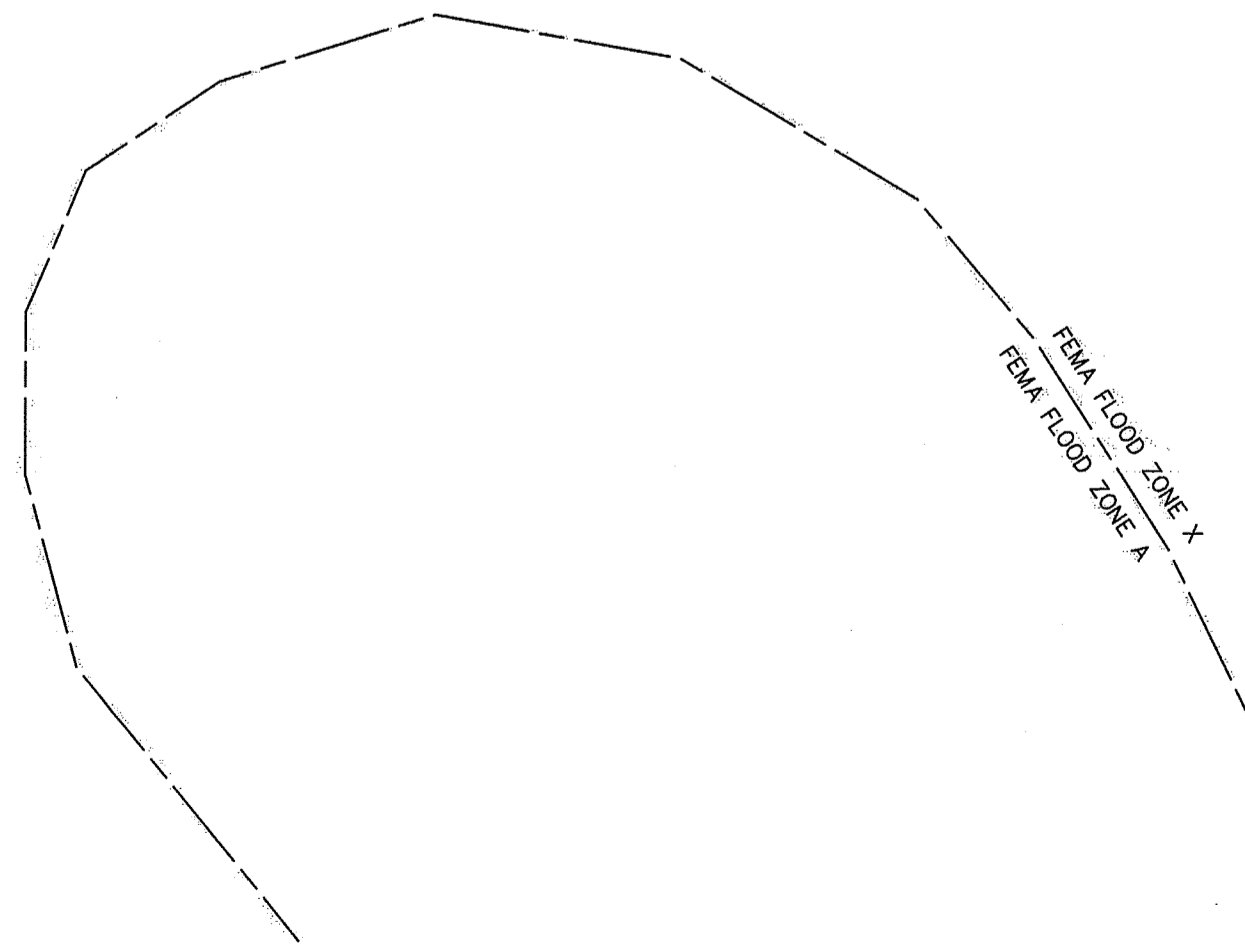
ISSUED FOR:	PERMITTING
DATE:	DECEMBER 12, 2018
SCALE:	1" = 50'
DRAWN BY:	NRM
CHECKED BY:	GAA
PROJECT NO.:	3653180038

C-7



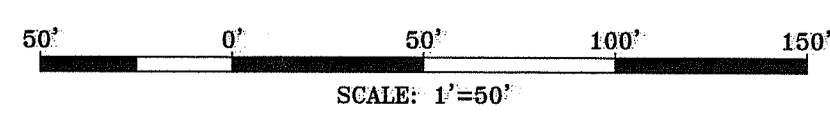
N/F
MAP 25, BLK 5, LOT 29
PAUL R. & DONNA MASSE
VOLUME 130, PAGE 20

N/F
MAP 39, BLK 2, LOT 4
JAMES N. ANDREWS &
JUDITH E. BARSKE
VOLUME 222, PAGE 297

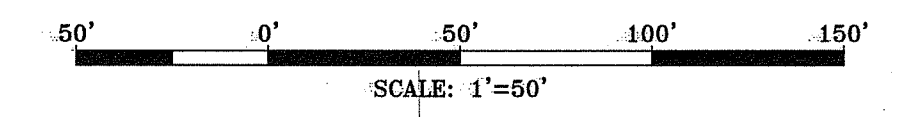


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 26 2020 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Christopher D. Sanchez



MATCHLINE PANEL 5



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

N/F
MAP 26, BLK 1, LOT 2
VIRGINIA L. MANCINI
VOLUME 317, PAGE 114

NOTE:

1. ALL EXISTING TOPSOIL SHALL BE RETAINED. **SHOW ON SITE.** (Dem correction)

Environmental Management
NOV 28 2019
Office of Water Resources
NOT FOR CONSTRUCTION

SEAL:
C N BEAULIEU-SHEA
No. 5701
Professional Engineer
(CIVIL) 1125119

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENT

CLIENT:
EXETER RENEWABLES 1, LLC
280 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:
SITE PLAN/SECC PANEL 4

ISSUED FOR: PERMITTING
DATE: DECEMBER 12, 2019
SCALE: 1"=50'
DRAWN BY: NR
CHECKED BY: GA
PROJECT NO: 365318003

C-8
SHEET 8 OF 15
WOOD



UNLESS OTHERWISE AGREED IN A WRITTEN CONTRACT BETWEEN WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. AND ITS CLIENT: (I) THIS DOCUMENT CONTAINS INFORMATION, DATA AND DESIGN THAT IS CONFIDENTIAL AND MAY NOT BE COPIED OR DISCLOSED; AND (II) THIS DOCUMENT MAY ONLY BE USED BY THE CLIENT IN THE CONTEXT AND FOR THE EXPRESS PURPOSE FOR WHICH IT HAS BEEN DELIVERED. ANY OTHER USE OR RELIANCE ON THIS DOCUMENT BY ANY THIRD PARTY IS AT THAT PARTY'S SOLE RISK AND RESPONSIBILITY.

MATCHLINE PANEL 3

MATCHLINE PANEL 4

wood.

WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. 275 PROMENADE STREET, SUITE 100 PROVIDENCE RHODE ISLAND, 02908 WEB: WWW.WOODPLC.COM (401) 648-9246

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

- NOTE:
1. ALL EXISTING TOPSOIL SHALL BE RETAINED **ON-SITE**. (DEM correction)

Environmental Management NOV 28 2019 Office of Water Resources

NOT FOR CONSTRUCTION SEAL:

C N BEAULIEU-SHEA No. 5701 PROFESSIONAL ENGINEER (CIVIL) 1/25/19

REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENTS

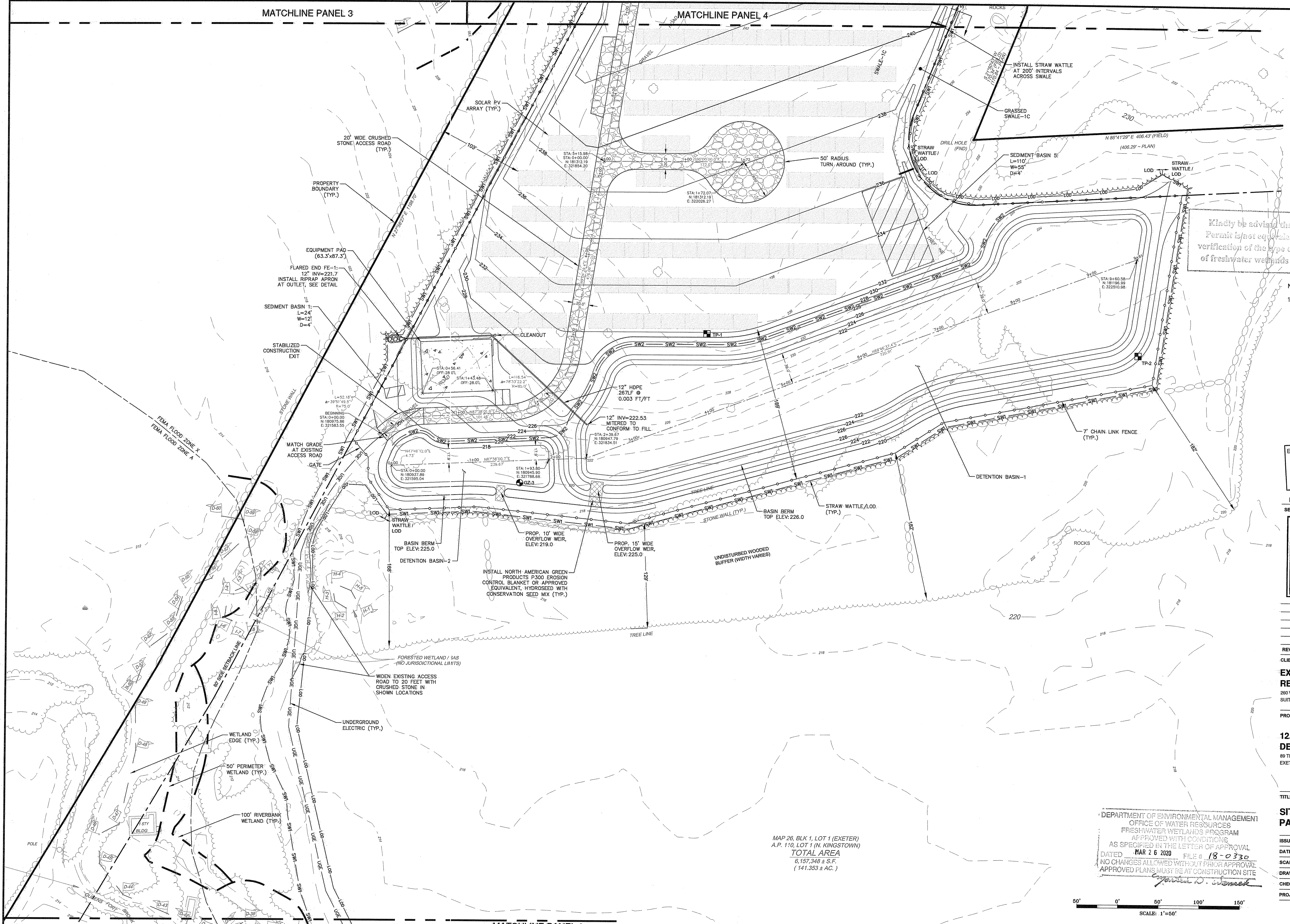
CLIENT: EXETER RENEWABLES 1, LLC 280 WEST EXCHANGE STREET, SUITE 102A, PROVIDENCE, RI 02903

PROJECT: 12.5 MW SOLAR DEVELOPMENT 85 TEN ROD ROAD EXETER, RI 02822

TITLE: SITE PLAN/SECC PANEL 5

ISSUED FOR: PERMITTING DATE: DECEMBER 12, 2018 SCALE: 1"=50' DRAWN BY: NRM CHECKED BY: GAA PROJECT NO: 3653180038

C-9 SHEET 9 OF 15



MAP 26, BLK 1, LOT 1 (EXETER) A.P. 110, LOT 1 (N. KINGSTOWN) TOTAL AREA 6,157,348 ± S.F. (141.353 ± AC.)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED MAR 26 2020 FILE # 18-0330 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Scale bar showing 0, 50, 100, 150 feet. SCALE: 1"=50'

N/F A.P. 39-2, LOT 4 JAMES N. ANDREWS & JUDITH E. BARSKE VOLUME 222, PAGE 297

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

- NOTE: 1. ALL EXISTING TOPSOIL SHALL BE RETAINED ON SITE. (DEM correction)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED MAR 26 2020 FILE # 18-0330 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Environmental Management NOV 28 2019 Office of Water Resources

NOT FOR CONSTRUCTION

SEAL:

C N BEAULIEU-SHEA No. 5701 Professional Engineer (Civil) 1125/19

Table with 3 columns: REVISION, DATE, DESCRIPTION

CLIENT: EXETER RENEWABLES 1, LLC

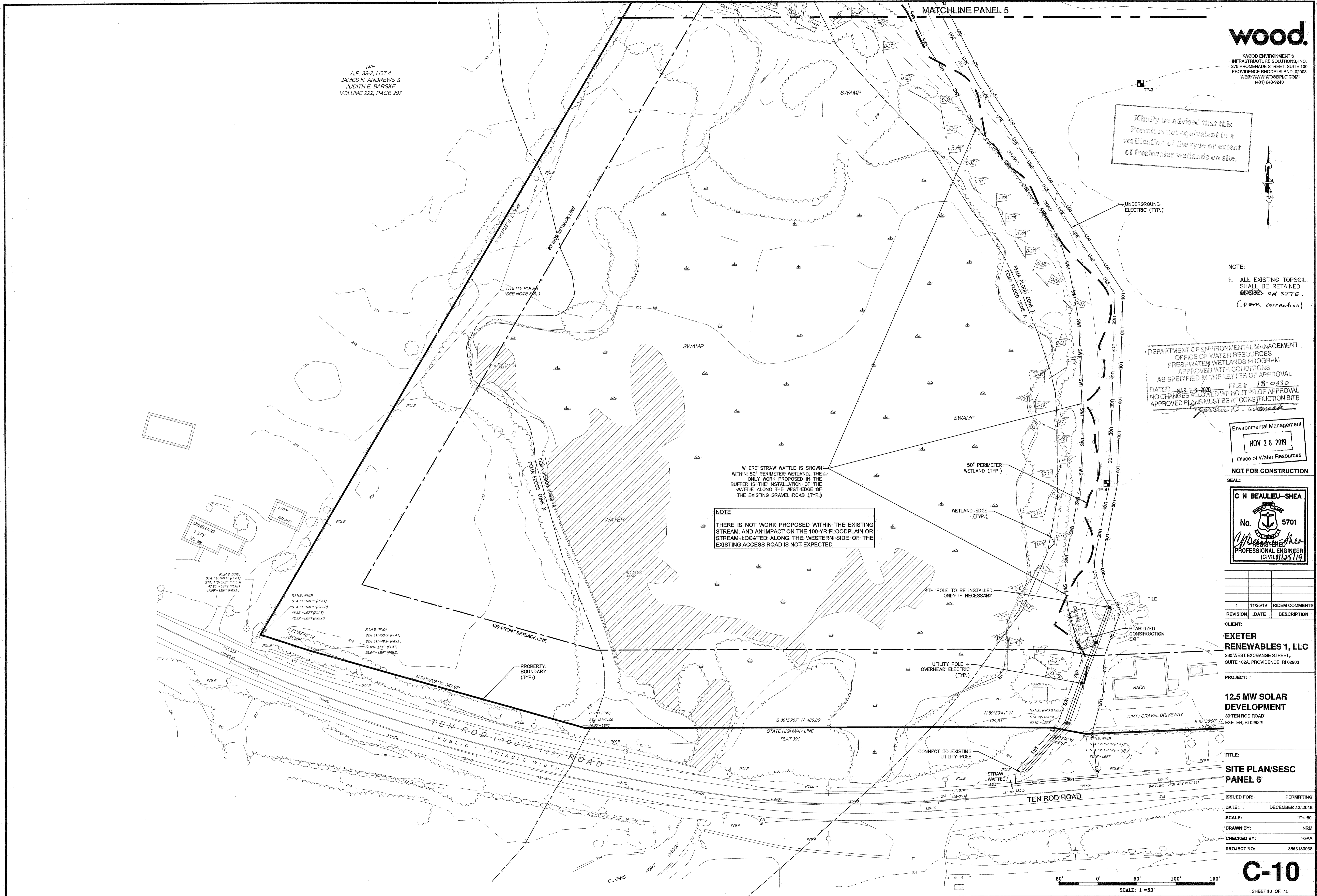
280 WEST EXCHANGE STREET, SUITE 102A, PROVIDENCE, RI 02903

PROJECT: 12.5 MW SOLAR DEVELOPMENT

89 TEN ROD ROAD EXETER, RI 02822

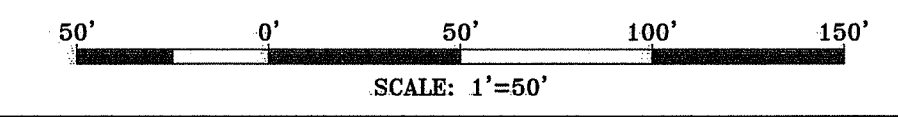
TITLE: SITE PLAN/SESC PANEL 6

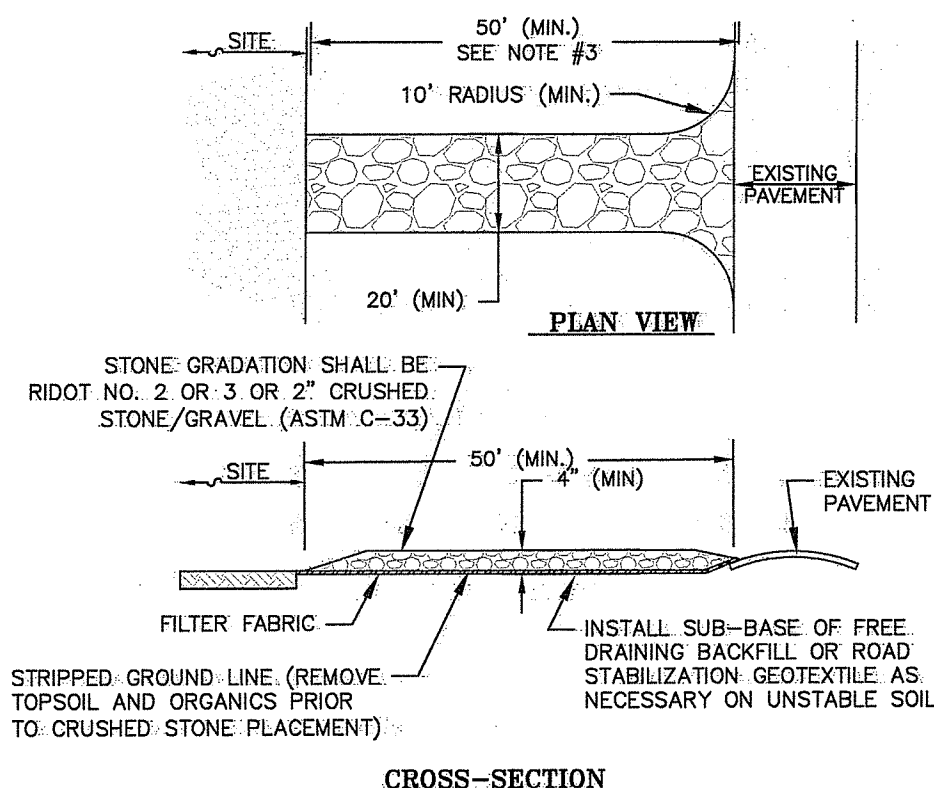
ISSUED FOR: PERMITTING DATE: DECEMBER 12, 2018 SCALE: 1" = 50' DRAWN BY: NRM CHECKED BY: GAA PROJECT NO: 3653180038



NOTE: WHERE STRAW WATTLE IS SHOWN WITHIN 50' PERIMETER WETLAND, THE ONLY WORK PROPOSED IN THE BUFFER IS THE INSTALLATION OF THE WATTLE ALONG THE WEST EDGE OF THE EXISTING GRAVEL ROAD (TYP.)

NOTE: THERE IS NOT WORK PROPOSED WITHIN THE EXISTING STREAM, AND AN IMPACT ON THE 100-YR FLOODPLAIN OR STREAM LOCATED ALONG THE WESTERN SIDE OF THE EXISTING ACCESS ROAD IS NOT EXPECTED

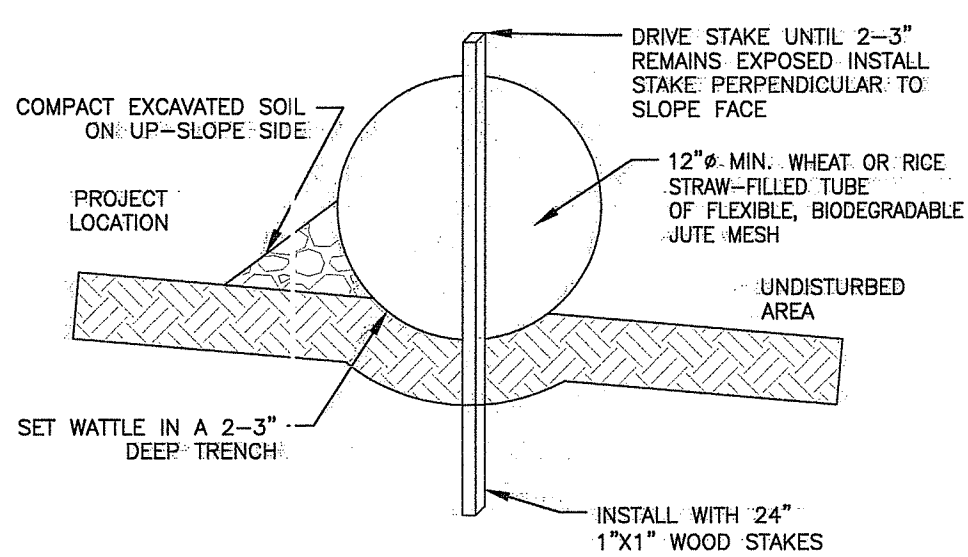




- NOTES:**
- ENTRANCE WIDTH SHALL BE TWENTY (20) FEET WIDE MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND. REPAIR ANY MEASURES USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.
 - 50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS OR 100 FEET MINIMUM WHERE SOILS ARE CLAYS OR SILTS, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY.

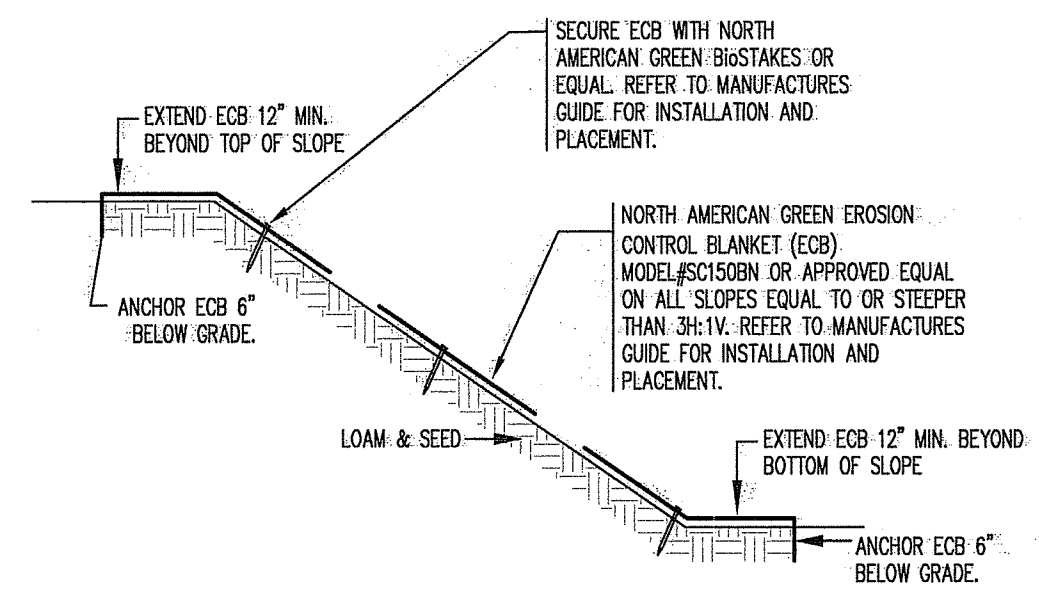
TEMPORARY CONSTRUCTION EXIT
CA-EC-002

SLOPE STEEPNESS	MAXIMUM LENGTH (FT)
3:1	25
4:1	50
5:1	75
5:1 OR FLATTER	100



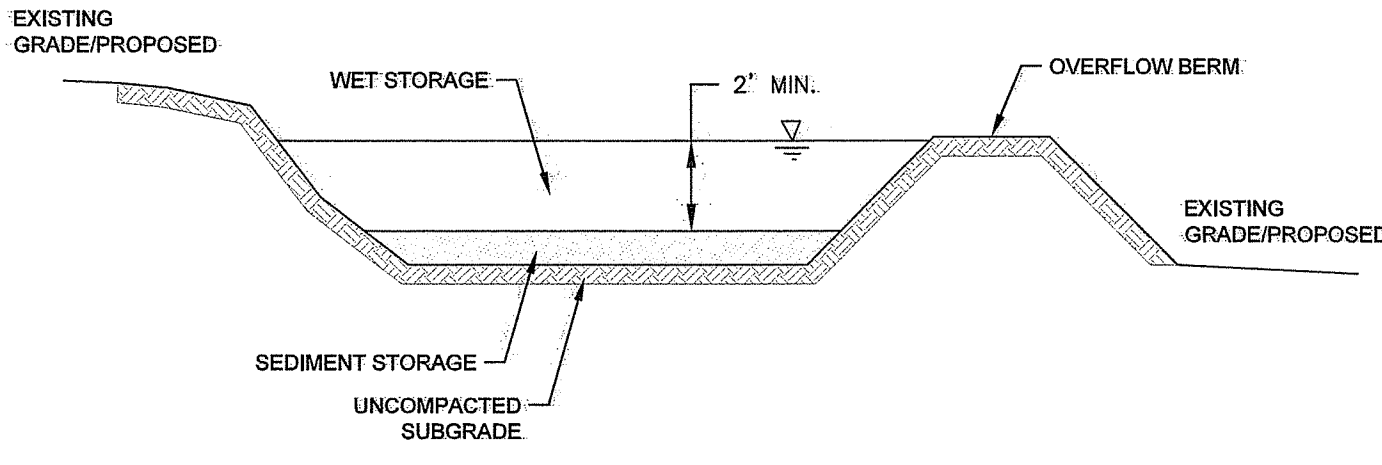
- NOTES:**
- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" DEEP X 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHALL BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 - PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT THE SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-HILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ADJUT.
 - SECURE THE WATTLE WITH 24" STAKES EVERY 3-4' WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF THE WATTLES LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE. THE WATTLE STAKES SHALL BE DRIVEN PERPENDICULAR TO SLOPE FACE.
 - MAX. DRAINAGE AREA < 0.25 ACRES/100 LINEAR FEET.

STRAW WATTLE
CA-EC-002



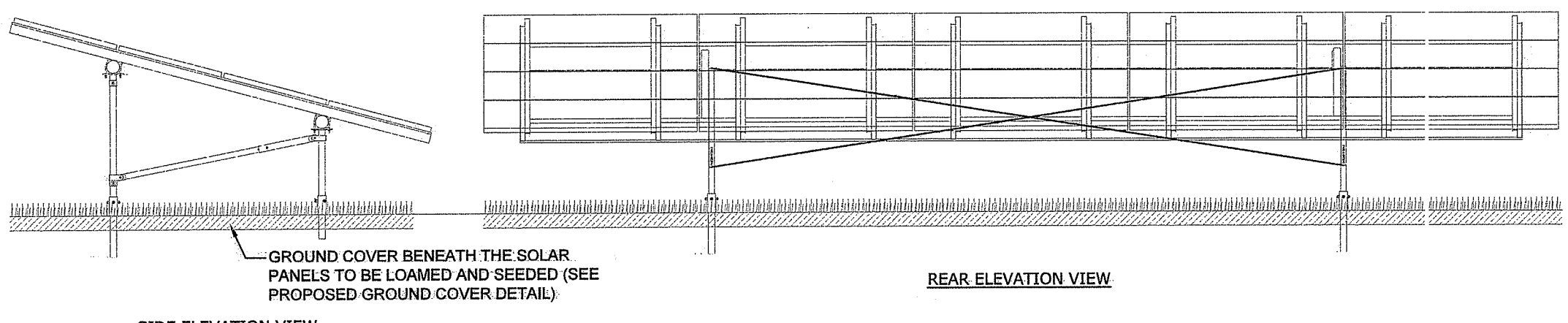
- NOTE:** INSTALL SLOPE PROTECTION ON ALL PROPOSED SLOPES 3H:1V OR STEEPER.

SLOPE PROTECTION TREATMENT
CA-EC-013B



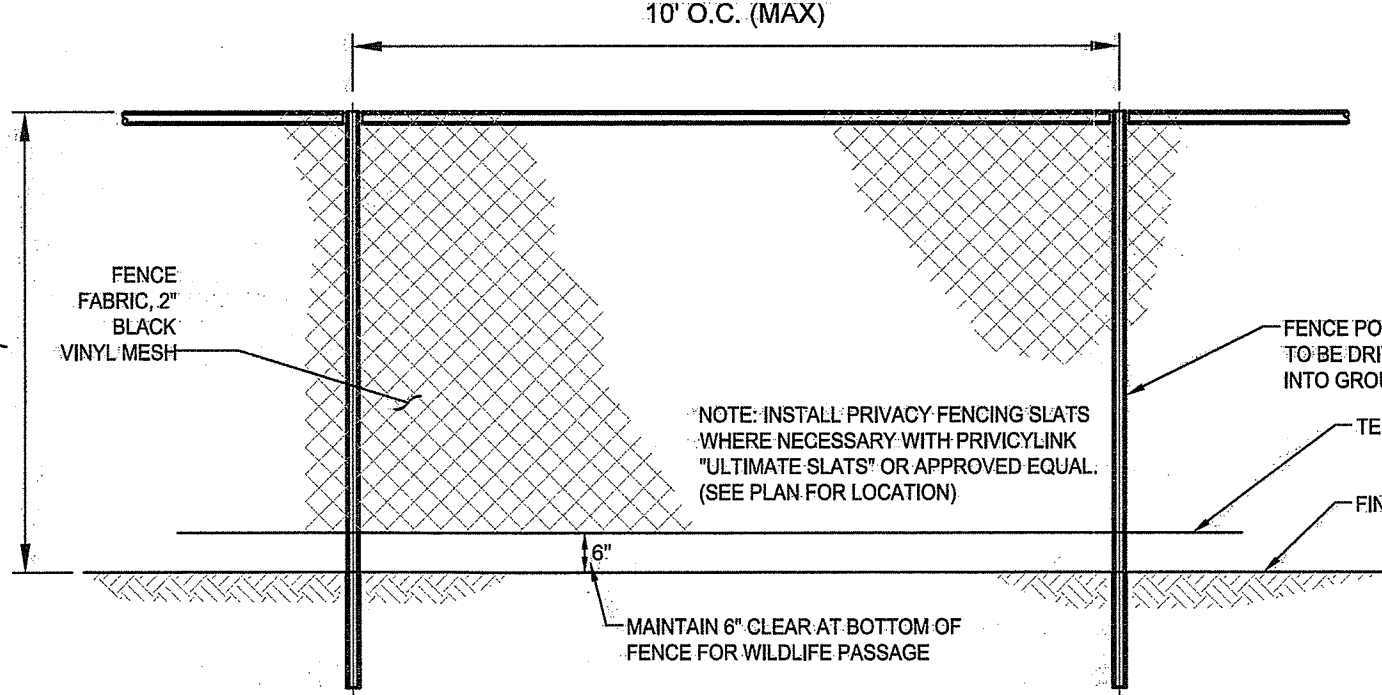
- NOTES:**
- WET STORAGE VOLUME SHALL BE AT LEAST TWICE THE VOLUME OF THE SEDIMENT STORAGE AND (2) TWO FEET MINIMUM DEPTH.
 - SEDIMENT STORAGE VOLUME: MUST ACCOMMODATE AT LEAST ONE (1) YEAR OF THE PREDICTED SEDIMENT LOAD.
 - SEDIMENT SHALL BE REMOVED WHEN THE BASIN IS 1/2 FULL AT A MINIMUM.
 - THE BASIN SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED WITH BUILDINGS, PAVEMENT, OR ESTABLISHED VEGETATION, AS APPLICABLE.

TEMPORARY SEDIMENT BASIN
CA-EC-003

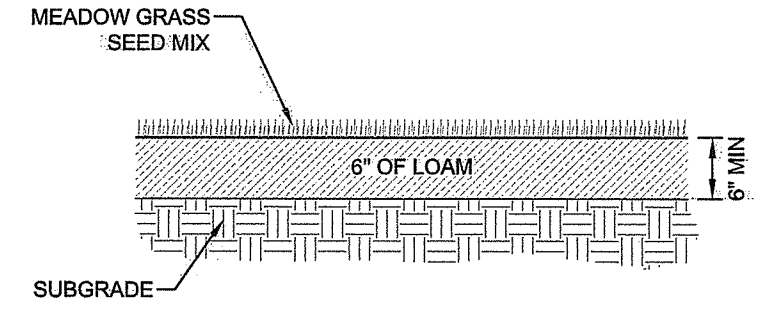


- NOTE:**
- PANELS SHALL BE POST-MOUNTED FULL DESIGN FOR FOUNDATIONS, RACKING, AND MODULES BY OTHERS. DETAILS SHOWN FOR ILLUSTRATION PURPOSES ONLY.

SOLAR PV ARRAY
NTS



TYPICAL CHAIN LINK FENCE / PRIVACY FENCE
NTS



- NOTES:**
- ALL EXISTING TOPSOIL SHALL BE RETAINED AND REUSED ONSITE.
 - THE MINIMUM DEPTH OF LOAM SHALL BE 6 INCHES.
 - ALL LOAMED AREAS SHALL BE SEEDED WITH MEADOW GRASS MIX.
 - THE GROUND COVER BENEATH THE SOLAR PANELS SHALL BE LOAMED AND SEEDED.

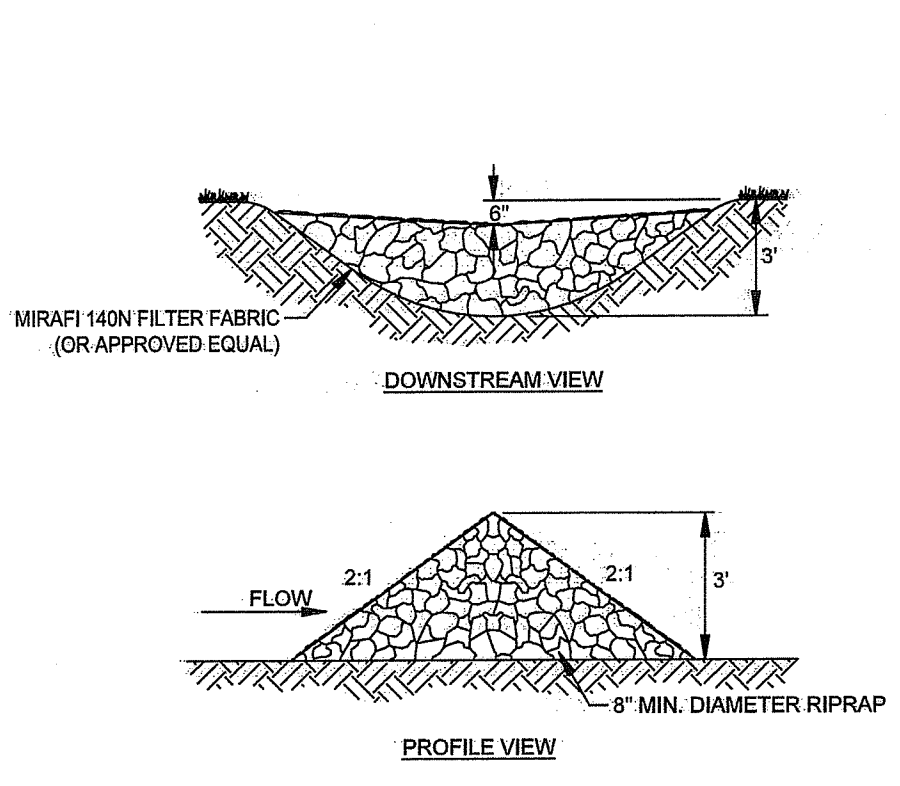
PROPOSED GROUND COVER
wood_3.1

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Environmental Management
NOV 28 2019
Office of Water Resources

NOT FOR CONSTRUCTION

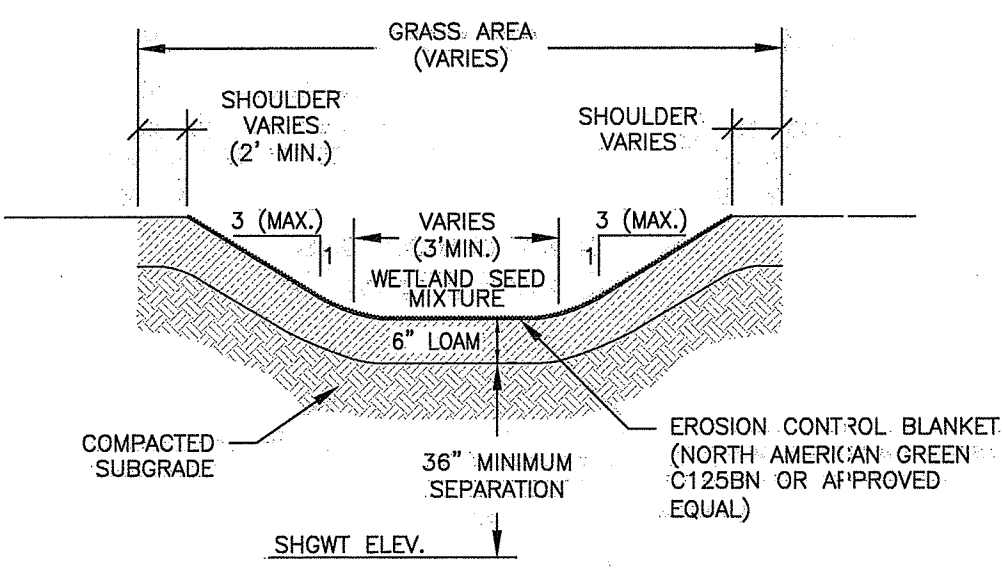
SEAL:
C N BEAULIEU-SHEA
No. 5701
Professional Engineer
(CIVIL) 12519



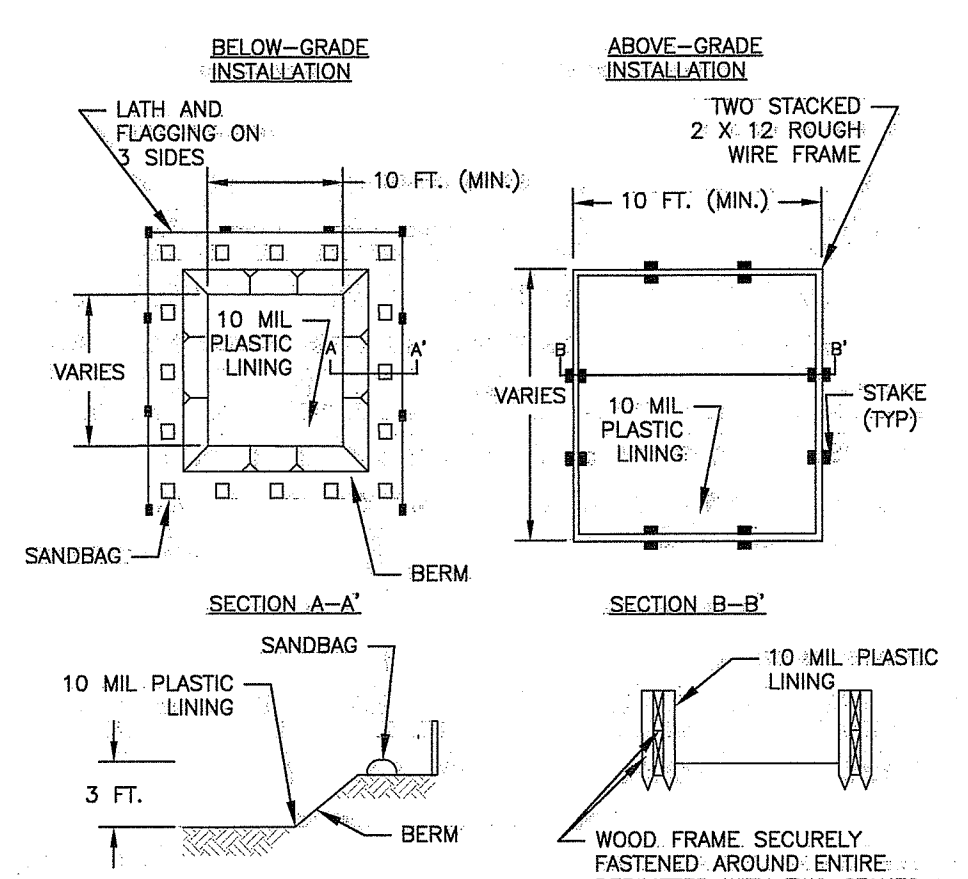
- NOTE:** INSTALL STONE CHECK DAM EVERY 200 FT WITHIN GRASSED SWALE

STONE CHECK DAM
wood_3.1

GRASSED SWALES	SW-1A	SW-1B	SW-1C	SW-2
	SWALE BOTTOM ELEV.	250.0	240.0	234.0
SEASONAL HIGH GROUND				
WATER TABLE ELEVATION	244.0	229.6	226.0	246.4
TEST HOLD NUMBER USED FOR DETERMINATION	TP-5	GZ-2	TP-1	TP-5
SEPARATION DISTANCE TO BOTTOM OF SWALE	72'	124.8'	96'	163.2'



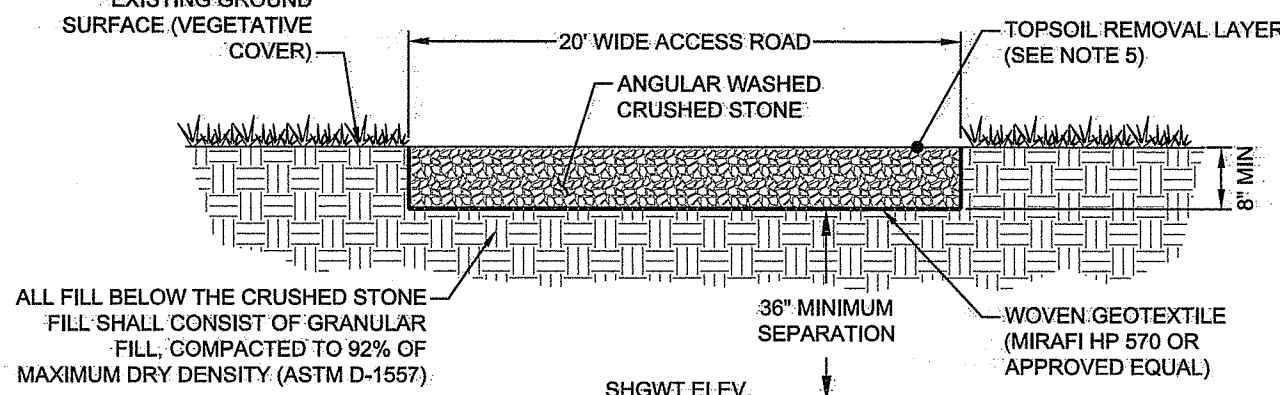
GRASSED SWALE
wood_3.1



- NOTES:**
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
 - LOCATE A MIN. OF 50 FEET FROM STORM DRAINS, OPEN CHANNELS, WATER BODIES, AND JURISDICTIONAL WETLANDS.
 - SOIL BASE SHALL BE PREPARED FREE OF ROCKS OR OTHER DEBRIS THAT COULD CAUSE A TEAR IN THE LINER.
 - LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE AREAS SUCH AS STORM DRAINS, OPEN DITCHES, OR WATER BODIES, INCLUDING ALL JURISDICTIONAL WETLANDS.

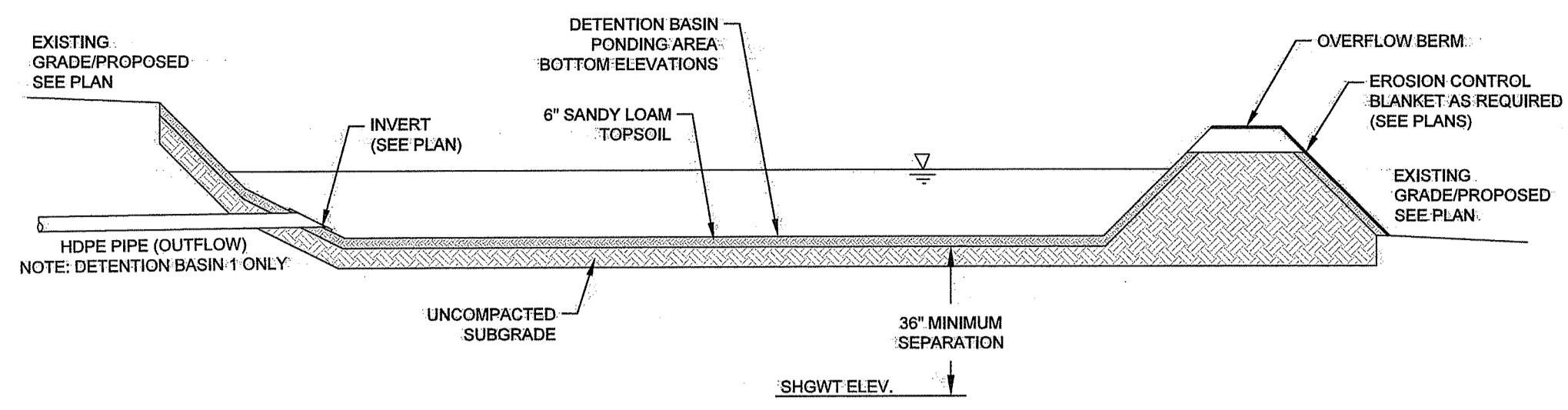
TEMPORARY CONCRETE WASHOUT FACILITY
CA-EC-009

MAIN ACCESS ROAD	STA: 0+00.0	STA: 4+00.0	STA: 8+00.0	STA: 12+00.0	STA: 16+00.0	STA: 19+00.0	STA: 22+00.0
	CRUSHED STONE BOTTOM ELEV.	219.0	234.3	244.1	251.6	263.4	271.7
SEASONAL HIGH GROUND							
WATER TABLE ELEVATION	204.7	223.3	227.8	237.6	247.7	263.1	270.7
TEST HOLD NUMBER USED FOR DETERMINATION	GZ-3	TP-1	GZ-2	GZ-2	TP-5	GZ-1	GZ-1
SEPARATION DISTANCE TO BOTTOM OF CRUSHED STONE	171.6"	132"	195.6"	168"	188.4"	103.2"	104.4"

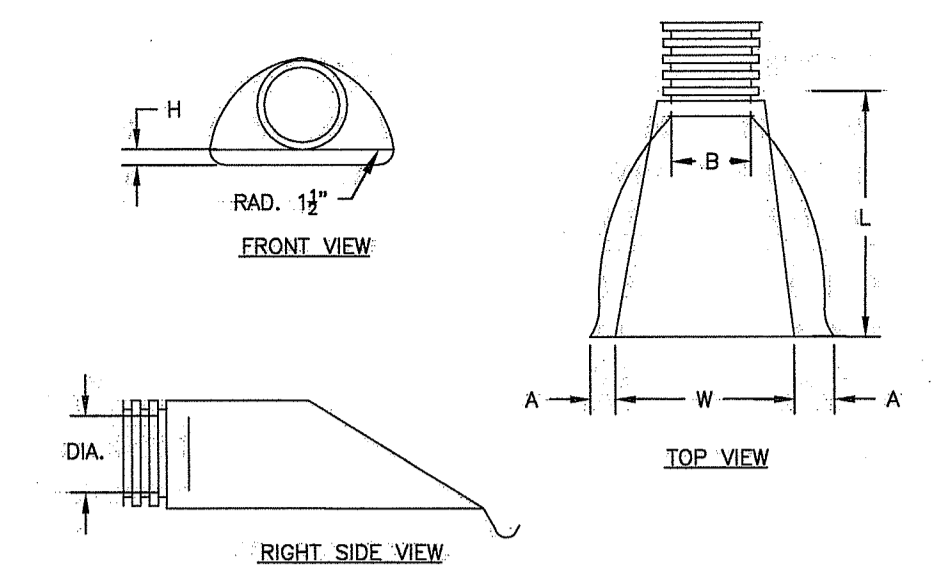
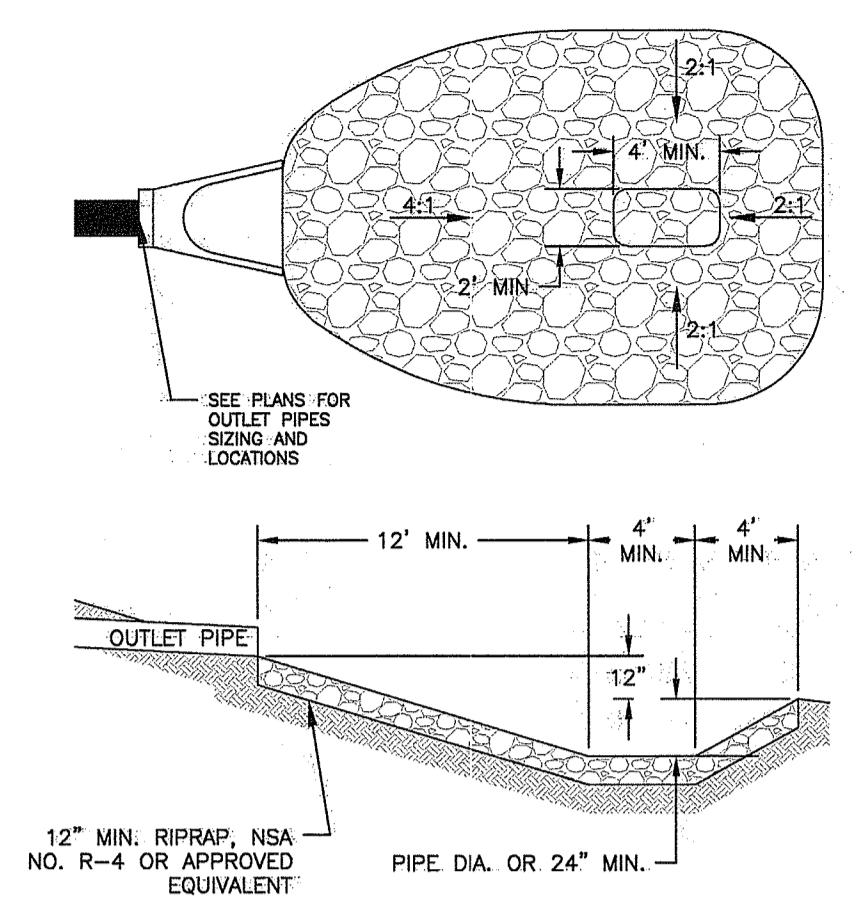


- NOTES:**
- ACCESS ROAD TO BE CONSTRUCTED OF A MINIMUM 8" OF ANGULAR WASHED CRUSHED STONE FILL.
 - UPON COMPLETION, THE ACCESS ROAD WILL BE USED ONLY FOR MAINTENANCE 2-4 TIMES ANNUALLY.
 - RIDEM TECHNICAL JUSTIFICATION FOR CRUSHED STONE ROADWAY BASED ON VERY LIMIT CASE. CRUSHED STONE FILL AND GRANULAR FILL SHALL MEET REQUIREMENTS NOTED IN THE "GEO-TECHNICAL REPORT PROPOSED EXETER SOLAR PV DEVELOPMENT", PREPARED BY GZA ON SEPTEMBER 17, 2018.
 - REMOVED ALL ORGANIC SOIL BELOW PROPOSED GRAVEL ROAD AREAS.
 - THE TOPSOIL REMOVED SHALL BE RETAINED AND REUSED ONSITE.
 - THE SEPARATION DISTANCE BETWEEN THE PROPOSED ACCESS ROAD AND THE SEASONAL HIGH GROUND/WATER TABLE (SHGT) IS IN ACCORDANCE WITH THE DETAIL PROVIDED ON THESE PLANS AND THE RHODE ISLAND MANAGEMENT DESIGN AND INSTALLATION RULES; 250-RICR-150-10-3.

ACCESS ROAD
NTS



DETENTION BASIN			
	DETENTION BASIN 1	DETENTION BASIN 2	DETENTION BASIN 3
DET. BASIN BOTTOM ELEV.	222.0	218.0	256.0
MINIMUM BERM ELEV.	226.0	220.0	260.0
OVERFLOW WEIR ELEV.	225.0	219.0	259.0
SEASONAL HIGH GROUND WATER TABLE ELEVATION	219.0	208.0	251.0
TEST HOLD NUMBER USED FOR DETERMINATION	TP-2	GZ-3	TP-5
SEPARATION DISTANCE TO BOTTOM OF BASIN	36"	120"	60"
STORM EVENT ELEVATIONS			
1-YEAR	222.5	218.2	257.1
2-YEAR	222.8	218.3	257.8
10-YEAR	223.6	218.7	259.1
25-YEAR	224.3	219.0	259.4
100-YEAR	225.4	219.1	259.8



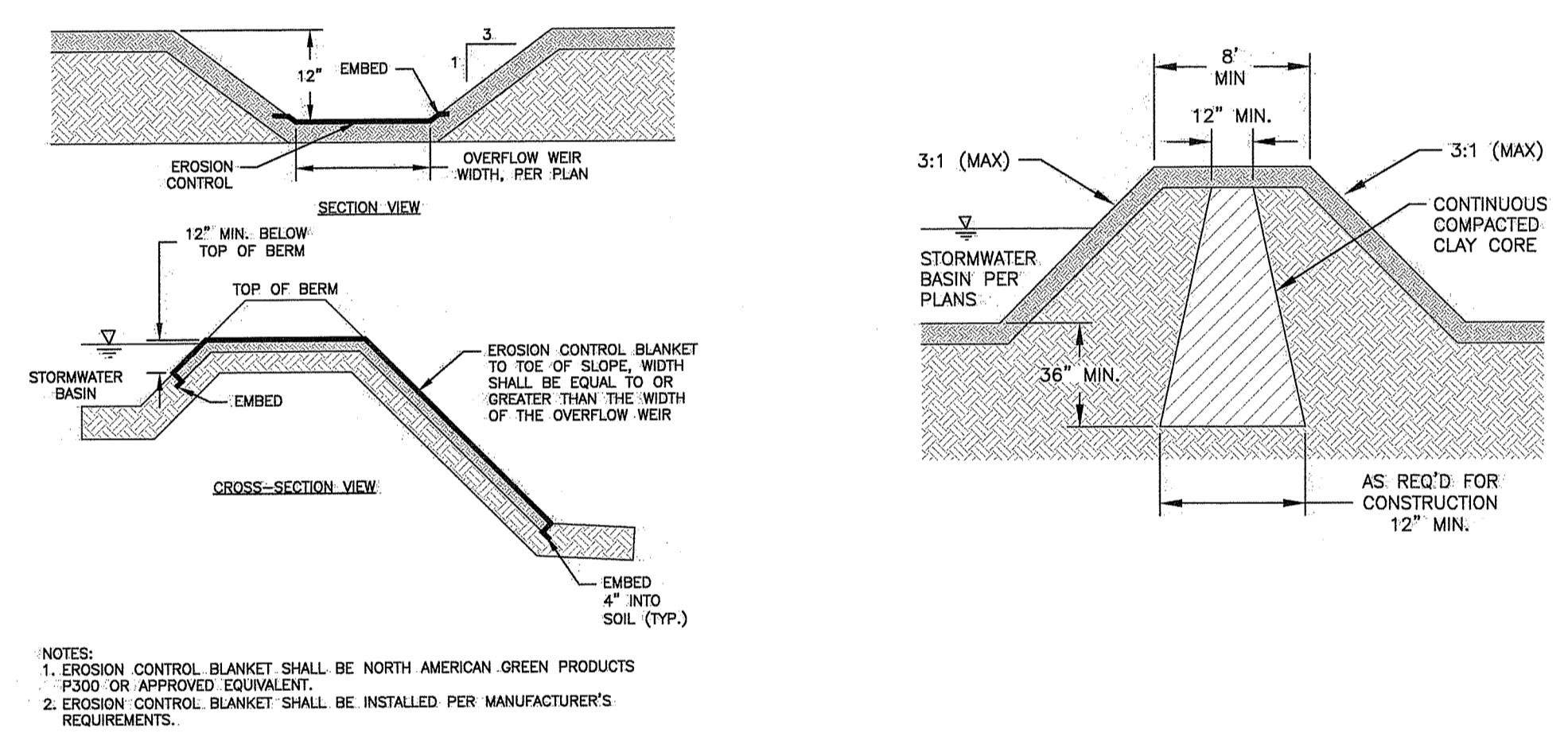
NOTES:
1. JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE INSTALLED.
2. WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS.

PIPE DIAMETER, IN						
DIAMETER IN	12	15	18	24	30	36
A IN	6.5	6.5	7.5	7.5	7.5	7.5
B (MAX) IN	10	10	15.0	18.0	22.0	25.0
H IN	6.5	6.5	6.5	6.5	8.6	8.6
L IN	25.0	25.0	32.0	36.0	58.0	58.0
W IN	29.0	29.0	35.0	45.0	63.0	63.0

DETENTION BASIN 1, 2 & 3
NTS

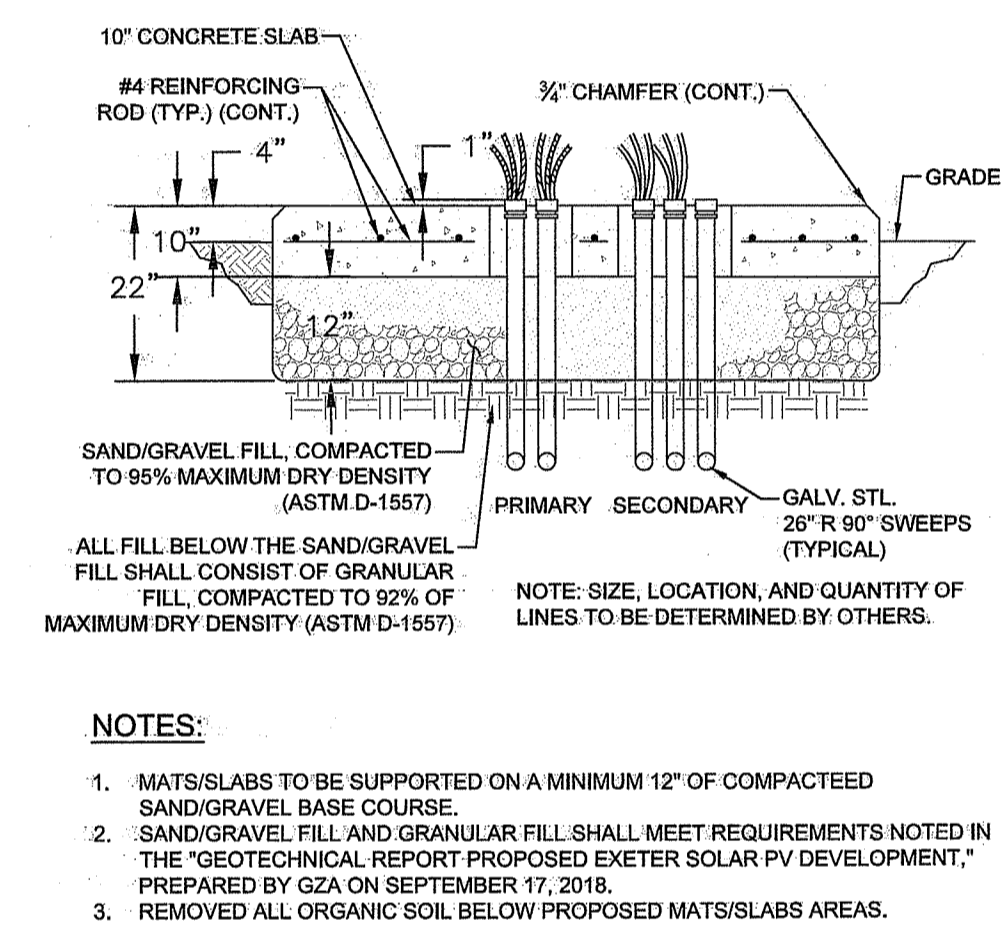
STILLING BASIN-OUTLET CONTROL
NTS

HDPE FLARED END SECTION
NTS

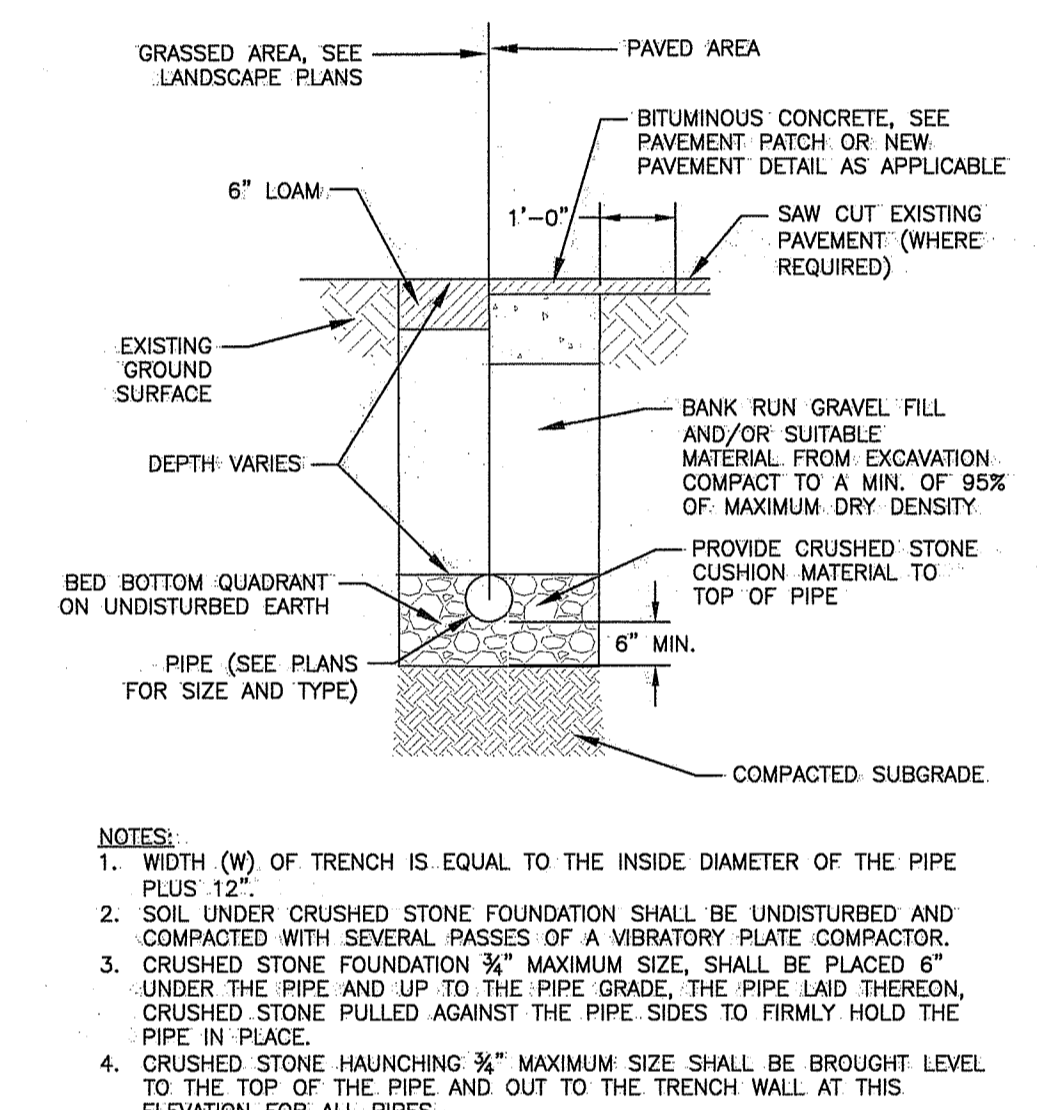


EARTHEN EMERGENCY SPILLWAY
NTS

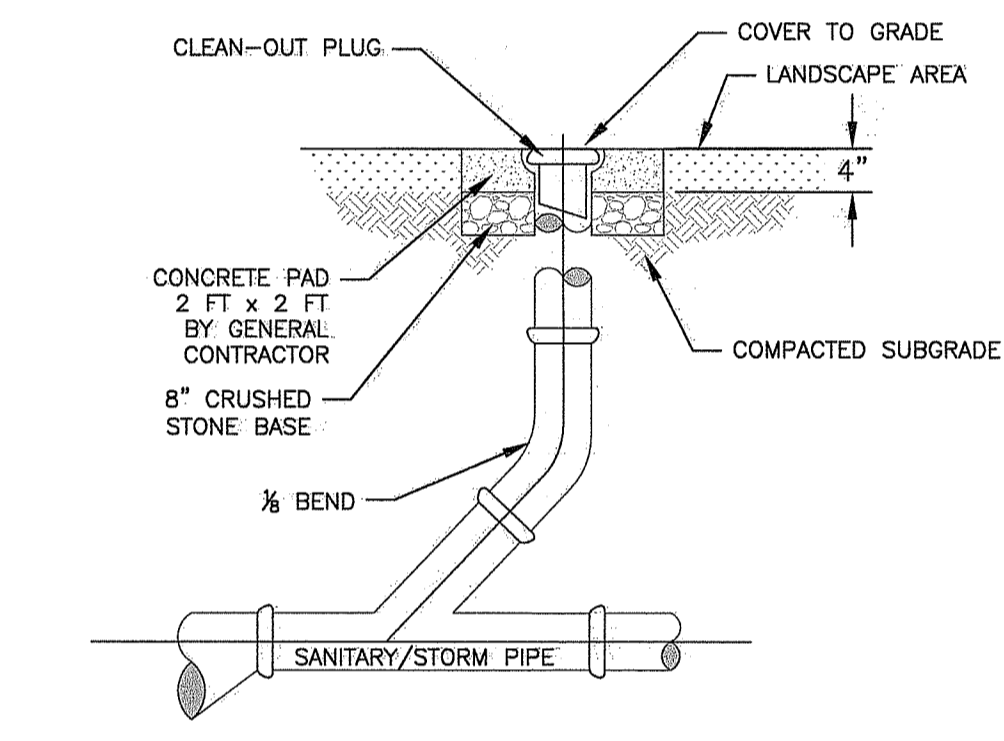
STORMWATER BASIN BERM
NTS



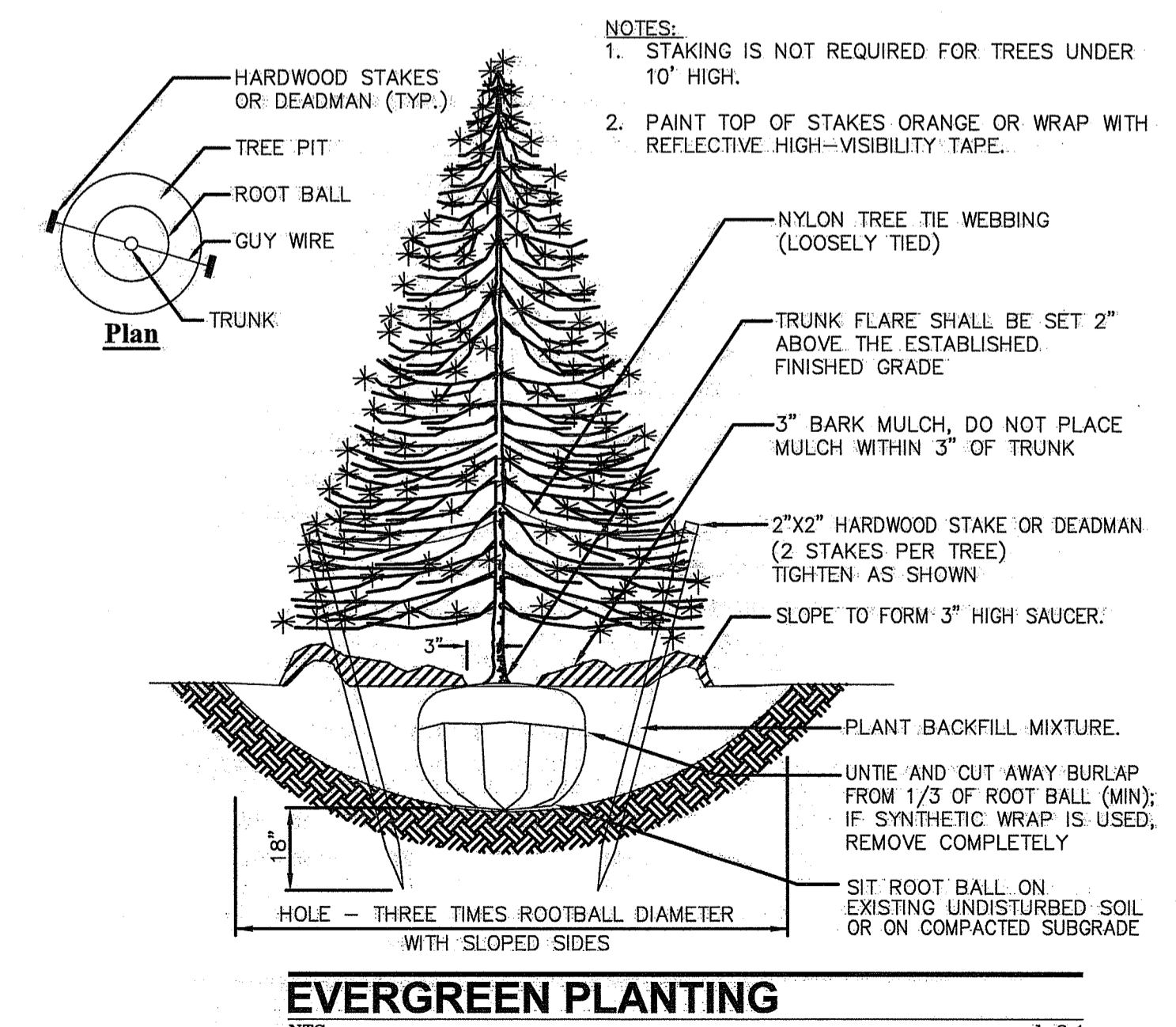
CONCRETE PAD
NTS



UTILITY TRENCH
NTS



CLEANOUT
NTS



EVERGREEN PLANTING
NTS

Department of Environmental Management
Office of Water Resources
Freshwater Wetlands Program
APPROVED WITH CONDITIONS
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DATED **MAR 26 2020** FILE # **18-0330**
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Environmental Management
NOV 28 2019
Office of Water Resources
NOT FOR CONSTRUCTION
SEAL:
C N BEAULIEU-SHEA
No. 5701
REGISTERED PROFESSIONAL ENGINEER
(CIVIL) 125119

REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENTS

CLIENT:
EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

PROJECT:
12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:
DETAILS 2

ISSUED FOR: PERMITTING
DATE: DECEMBER 12, 2018
SCALE: N/A
DRAWN BY: NRM
CHECKED BY: GAA
PROJECT NO: 3653180038



FIGURE B

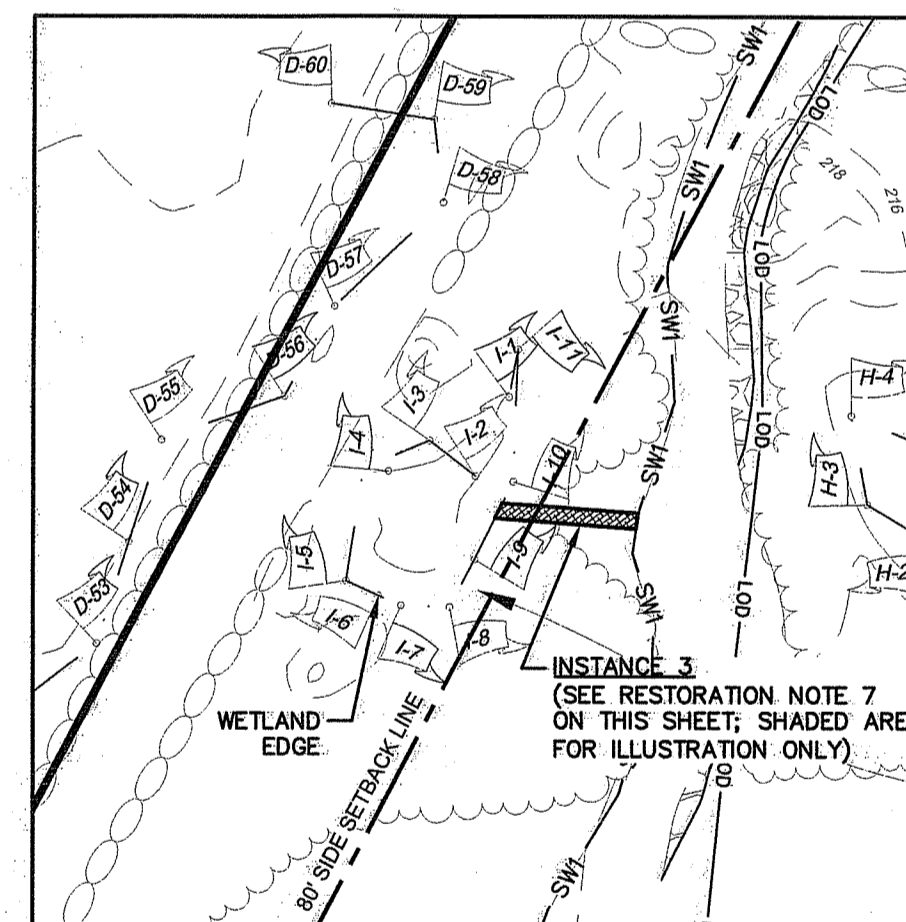


FIGURE C

RESTORATION NOTES

INSTANCE 1: SWAMP WETLAND RESTORATION.
INSTANCE 2: 50-FOOT PERIMETER WETLAND RESTORATION
INSTANCE 3: UNAUTHORIZED DITCH (ALREADY RESTORED AS NOTED).

1. BIODEGRADABLE SOIL EROSION/SEDIMENT CONTROLS WILL BE INSTALLED BETWEEN DISTURBED SURFACE AREAS AND ADJACENT UNDISTURBED WETLANDS AS DEPICTED. EROSION CONTROLS WILL BE REGULARLY INSPECTED AND PROPERLY AND CONTINUALLY MAINTAINED UNTIL THE AREAS HAVE BEEN THOROUGHLY STABILIZED.

2. SCREENING VEGETATION WILL BE PLANTED IN A STRAIGHT LINE ALONG THE OUTWARD EDGE OF THE ALTERED 50-FOOT PERIMETER WETLAND (INSTANCE 2). TREES WILL BE EIGHT FEET ON CENTER AND BE SIX FEET TALL AFTER PLANTING. TREES WILL INCLUDE AN EQUAL DISTRIBUTION OF AT LEAST TWO OF THE FOLLOWING:

- WHITE PINE (PINUS STROBUS)
- NORTHERN WHITE CEDAR (THUJA OCCIDENTALIS)
- EASTERN HEMLOCK (TSUGA CANADENSIS) AND/OR
- WHITE SPRUCE (PICEA GLAUCA)

3. THE REMAINDER OF THE 50-FOOT PERIMETER WETLAND WILL BE PLANTED WITH TREES AND SHRUBS. TREES WILL BE PLANTED IN AN INTERSPERSED FASHION TEN FEET ON CENTER AND BE AT LEAST FOUR FEET TALL AFTER PLANTING. SPECIES WILL INCLUDE AN EQUAL DISTRIBUTION OF AT LEAST THREE OF THE FOLLOWING:

- WHITE PINE (PINUS STROBUS)
- NORTHERN WHITE CEDAR (THUJA OCCIDENTALIS)
- RED MAPLE (ACER RUBRUM)
- WHITE OAK (QUERCUS ALBA)
- RED OAK (QUERCUS RUBRA)
- GRAY BIRCH (BETULA POPULIFOLIA)
- BLACK BIRCH (BETULA LENTA)
- AMERICAN BEECH (FAGUS GRANDIFOLIA)

SHRUBS WILL BE PLANTED IN AN INTERSPERSED FASHION FIVE FEET ON CENTER AND BE AT LEAST THREE FEET TALL AFTER PLANTING. THESE WILL INCLUDE AN EQUAL DISTRIBUTION OF AT LEAST FOUR OF THE FOLLOWING:

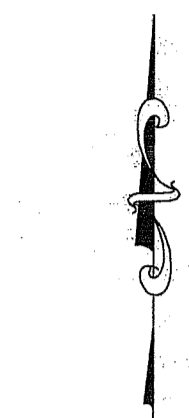
- MOUNTAIN LAUREL (KALMIA LATIFOLIA)
- ARROWWOOD (VIBURNUM DENTATUM)
- SILKY DOGWOOD (CORNUS AMOMUM)
- HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)
- SWEET PEPPERBUSH (CLETHRA ALNIFOLIA) AND/OR
- WITCHHAZEL (HAMAMELIS VIRGINIANA)

4. PLANTINGS WILL BE CONTINUOUSLY INSPECTED TO ENSURE SURVIVAL. ANY SPECIES THAT FAIL TO PERSIST FOR AT LEAST ONE YEAR WILL BE REPLACED.

5. ALL REMAINING CLEARED AREAS WILL BE SEEDED WITH A WILDLIFE CONSERVATION MIX AND MULCHED WITH LOOSE STRAW FREE OF ANY CONTAMINANTS OR INVASIVE SPECIES.

6. ALL RESTORED AREAS WILL BE ALLOWED TO REVERT TO A NATURAL WILD CONDITION.

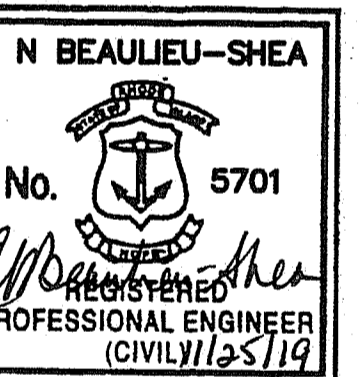
7. UNAUTHORIZED DITCH (INSTANCE 3) BACKFILLED AND SEEDED APRIL 25, 2019.



Environmental Management
NOV 28 2019
Office of Water Resources

NOT FOR CONSTRUCTION

SEAL:



REVISION	DATE	DESCRIPTION
1	11/25/19	RIDEM COMMENTS

CLIENT:

EXETER RENEWABLES 1, LLC
260 WEST EXCHANGE STREET,
SUITE 102A, PROVIDENCE, RI 02903

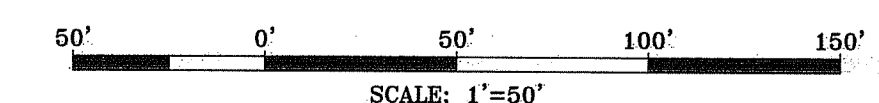
PROJECT:

12.5 MW SOLAR DEVELOPMENT
89 TEN ROD ROAD
EXETER, RI 02822

TITLE:
WETLANDS RESTORATION DETAIL

ISSUED FOR: PERMITTING
DATE: DECEMBER 12, 2018
SCALE: 1" = 50'
DRAWN BY: NRM
CHECKED BY: GAA
PROJECT NO: 3653180038

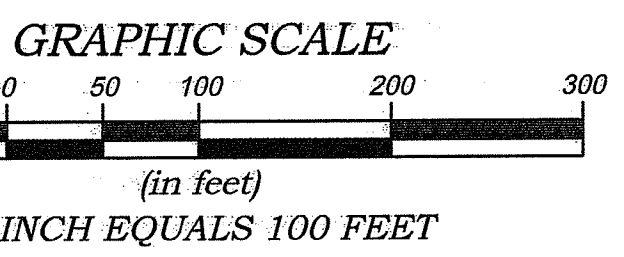
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 26 2020 FILE # 18-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE





LEGEND & ABBREVIATIONS

- | | | | |
|--------------------------------|-----------|-----------|------------------------|
| NF - NOW OR FORMERLY | — — — — — | — — — — — | PROPERTY LINE |
| A.P. - ASSASSORS PLAT | — — — — — | — — — — — | ZONING SETBACK LINE |
| S.F. - SQUARE FEET | — — — — — | — — — — — | EXISTING CONTOUR |
| AC. - ACRES | — — — — — | — — — — — | NEW CONTOUR |
| ± - PLUS OR MINUS | — — — — — | — — — — — | STONE WALL |
| STY - STORY | X | — — — — — | FENCE |
| WF - WOOD FRAMED | S | — — — — — | SEWER LINE |
| SHP - STATE HIGHWAY PLAT | D | — — — — — | DRAIN LINE |
| RET. - RETAINING WALL | W | — — — — — | WATER LINE |
| FED. - PEDESTRIAN | E | — — — — — | GAS LINE |
| (FND) - FOUND | G | — — — — — | ELECTRIC LINE |
| RHB - RI HIGHWAY BOUND | ⊕ | — — — — — | SANITARY SEWER MANHOLE |
| PK NAIL - MASONRY NAIL | ⊙ | — — — — — | CATCH BASIN |
| FE. - FLARED END | ⊗ | — — — — — | STORM DRAIN MANHOLE |
| RCP - REINFORCED CONCRETE PIPE | ⊚ | — — — — — | WATER GATE |
| CLF - CHAIN LINK FENCE | ⊛ | — — — — — | GAS VALVE |
| INV. - INVERT | ⊜ | — — — — — | ELECTRIC MANHOLE |
| x 10.80 - EXISTING SPOT GRADE | ⊝ | — — — — — | ELECTRIC MANHOLE |
| x 10.80 - NEW SPOT GRADE | ⊞ | — — — — — | GRANITE BOUND |
| | ⊟ | — — — — — | DRILL HOLE |
| | ⊠ | — — — — — | IRON PIPE |

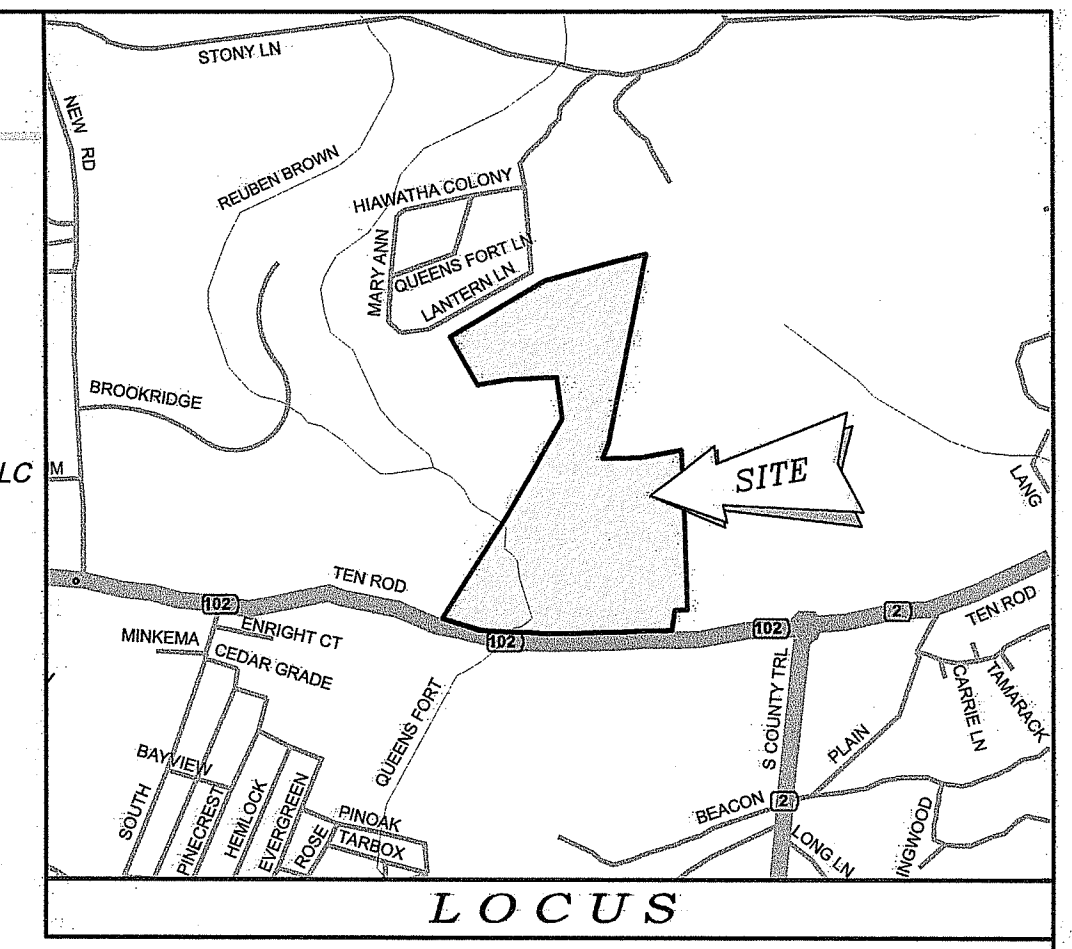


APPROXIMATE LOCATION OF BRIDGE REMAINS PER PLAN REF. 1(C) (NO EVIDENCE OBSERVED) PER PLAN REF. 1(C), THIS IS ASSUMED TO BE THE LOCATION OF THE RIGHT OF WAY TO THE "WOOD LOT"

N/F
A.P. 39-2, LOT 4
JAMES N. ANDREWS &
JUDITH E. BARSKE
VOLUME 222, PAGE 297

MAP 26, BLK 1, LOT 1 (EXETER)
A.P. 110, LOT 1 (N. KINGSTOWN)
TOTAL AREA
6,157,348 ± S.F.
(141,353 ± AC.)

TILLINGHAST LOT
RHODE ISLAND HISTORICAL
CEMETERY NO. "EX040"
(DELINEATED AS
"ARNOLD BURYING GROUND"
ON PLAN REF. 1(C))



NOTES / REFERENCES
(SEE SHEET 2 OF 2 FOR ALL NOTES / REFERENCES)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 26 2020 FILE # 18-030
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

TITLE INSURANCE CERTIFICATION

TO: CATIC, PILGRIM TITLE INSURANCE COMPANY, EXETER RENEWABLES 1, LLC, & JOHN P. MORRIS, III.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-6, 7(a), 7(b), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 7, 2018.

RICHARD S. LIPSTIZ, PLS #1837
WATERMAN ENGINEERING COMPANY
DATE 11/28/18

Environmental Management
NOV 28 2018
Office of Water Resources

RICHARD S. LIPSTIZ
No. 1837
PROFESSIONAL LAND SURVEYOR

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT / ACCURACY SPECIFICATION:

OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY III
TOPOGRAPHIC SURVEY: T-3

THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
ALTA / NSPS LAND TITLE SURVEY AS REQUIRED FOR TITLE INSURANCE PURPOSES.

BY: RICHARD S. LIPSTIZ, PLS #1837
WATERMAN ENGINEERING COMPANY (COA No. LS.0004483)
REG. NO. 1837
DATE 11/28/18

NO.	DATE	REVISION	CHECKED BY

ALTA / NSPS LAND TITLE SURVEY PLAN
MAP 26, BLOCK 1, LOT 1
TEN ROD ROAD (ROUTE 102)
EXETER, RHODE ISLAND 02817

WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC.
275 PROMENADE STREET, SUITE 100
PROVIDENCE, RHODE ISLAND 02908

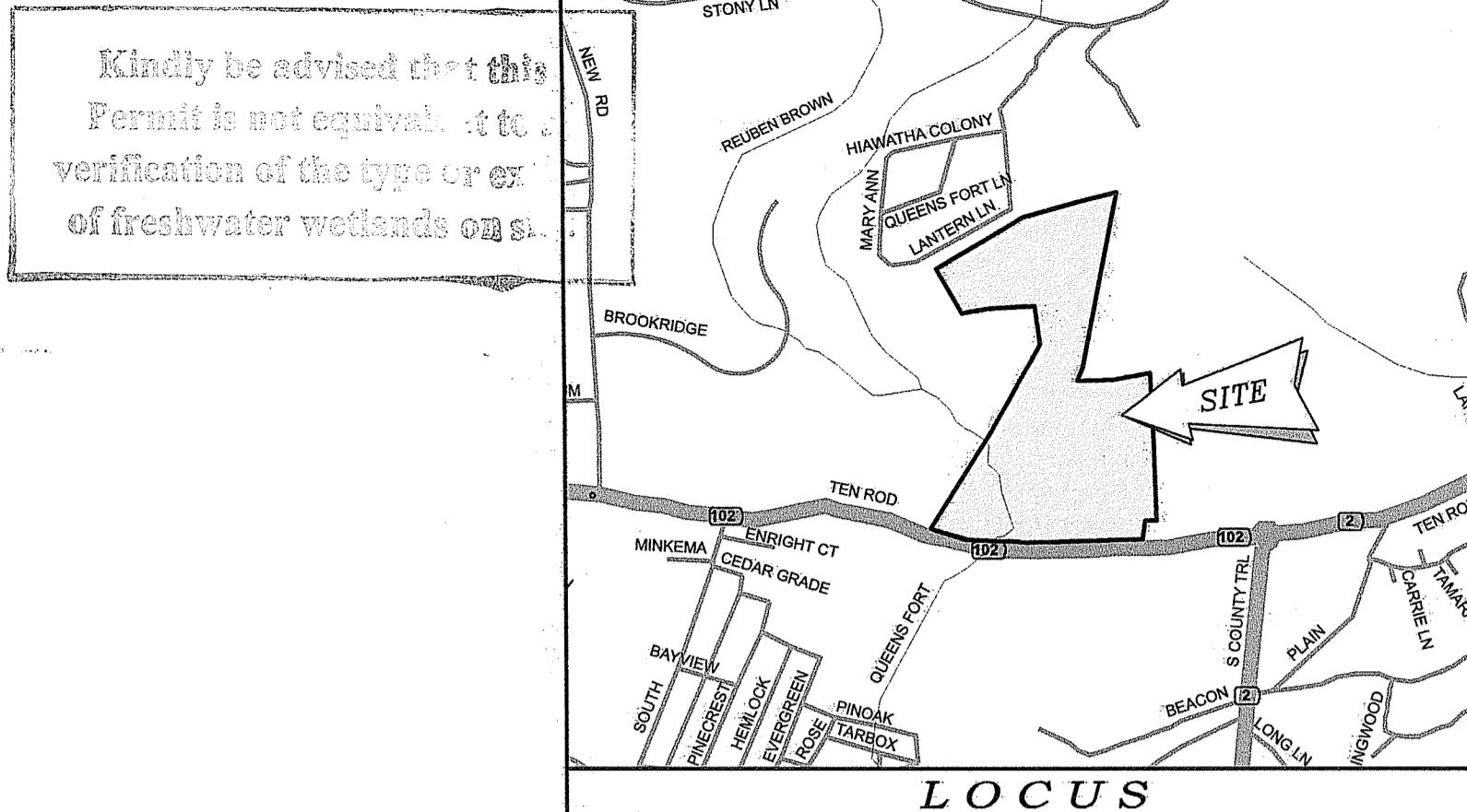
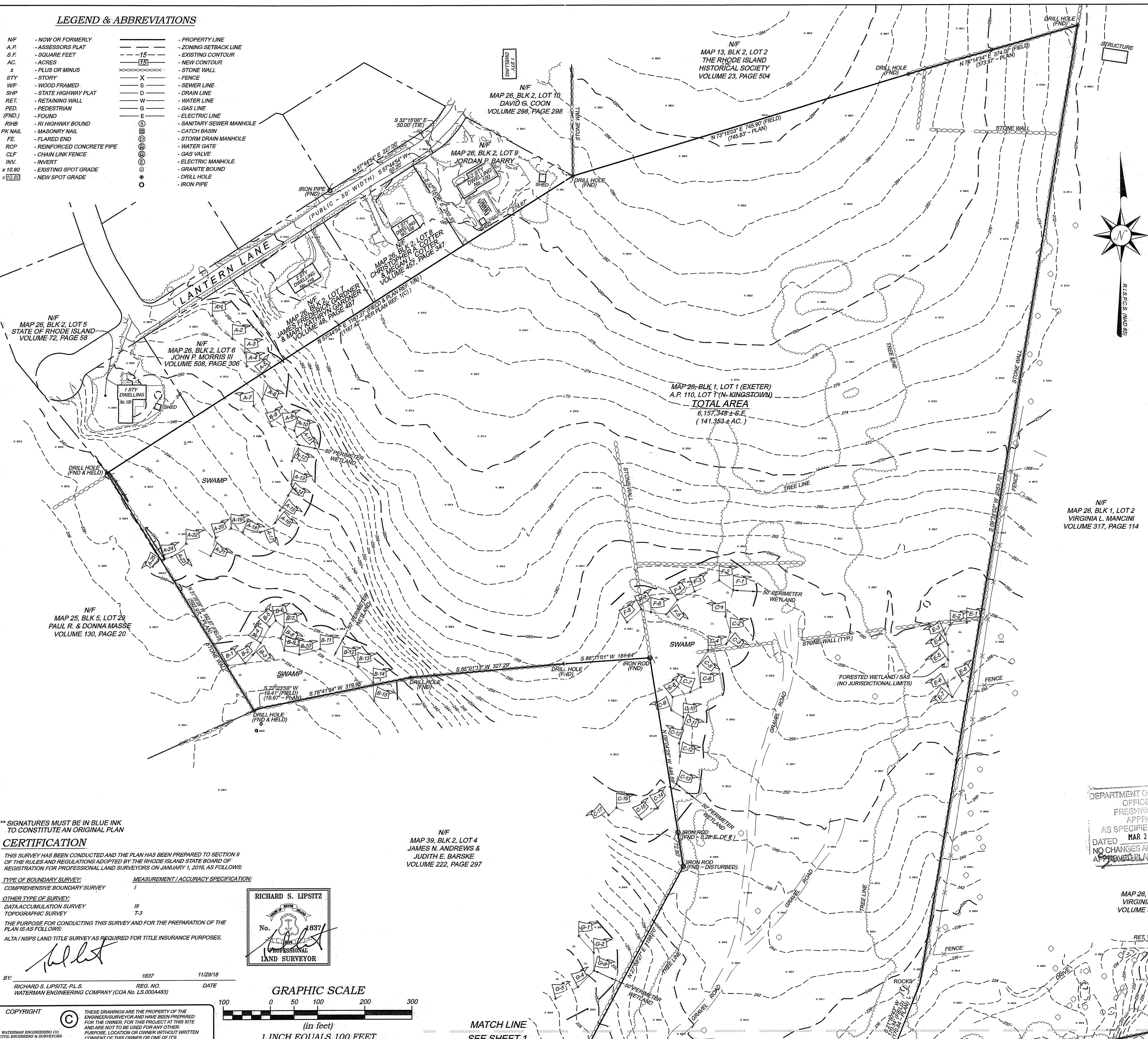
PROJECT NO. 18-042
SCALE: 1" = 100'
DATE: 11/15/18
DRAWN BY: EBP/BJT
CHECKED BY: RSL
FILENAME: 18-042-SUI-2018
1 of 2 SHEETS
DRAWING #: SUI

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Waterman
ENGINEERING COMPANY
Engineers & Surveyors - Est. 1894
46 Sutton Avenue
East Providence, RI
Phone: (401) 438-5775
Fax: (401) 438-5773
www.watermanengineering.net

LEGEND & ABBREVIATIONS

- NF - NOW OR FORMERLY
- A.P. - ASSESSOR'S PLAT
- S.F. - SQUARE FEET
- AC. - ACRES
- + - PLUS OR MINUS
- STY - STORY
- WF - WOOD FRAMED
- SHP - STATE HIGHWAY PLAT
- RET. - RETAINING WALL
- PED. - PEDESTRIAN
- (FND.) - FOUND
- RHB - RI HIGHWAY BOUND
- PK NAIL - MASONRY NAIL
- FE. - FLARED END
- RCP - REINFORCED CONCRETE PIPE
- CLF - CHAIN LINK FENCE
- INV. - INVERT
- x 10.80 - EXISTING SPOT GRADE
- x 10.83 - NEW SPOT GRADE
- - PROPERTY LINE
- - - - ZONING SETBACK LINE
- - - - EXISTING CONTOUR
- - - - NEW CONTOUR
- - STONE WALL
- X - FENCE
- S - SEWER LINE
- D - DRAIN LINE
- W - WATER LINE
- G - GAS LINE
- E - ELECTRIC LINE
- - SANITARY SEWER MANHOLE
- - CATCH BASIN
- - STORM DRAIN MANHOLE
- - WATER GATE
- - GAS VALVE
- - ELECTRIC MANHOLE
- - GRANITE BOUND
- - DRILL HOLE
- - IRON PIPE



NOTES / REFERENCES

1. REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
 - A) R.I. STATE HIGHWAY PLAT No. 344 & 391
 - B) PLAN ENTITLED 'ACTION PLAN FOR SUBDIVISION NO. 3, EXETER, R.I., OWNED BY ALAN REALTY, INC. AS SHOWN ON THE LAND EVIDENCE RECORDS AT THE TOWN OF EXETER, (DOCUMENT NOT PROVIDED) (B2-8)
 - C) PLAN ENTITLED 'PLAN OF LAND IN EXETER & NORTH KINGSTOWN, R.I., BELONGING TO JOHN P. MORRIS III & CYNTHIA E. MORRIS, PREPARED BY JOHN W. GREENE, SCALE: 1"=80', DATED: JUNE 1989
 - D) PLAN ENTITLED 'SURVEY & EASEMENT PLAN FOR BROOKSIDE ESTATES, PHASE II SITUATED IN EXETER, RHODE ISLAND, PREPARED FOR JACK PIZZA, PREPARED BY AT'S SURVEY, INC., SCALE: 1"=50', DATED: OCT. 1987, LAST REVISED: 09-08-89
 - E) PLAN ENTITLED 'ADMINISTRATIVE SUBDIVISION PLAN, ROSEWOOD ESTATES, A RESIDENTIAL SUBDIVISION IN NORTH KINGSTOWN, R.I., ASSESSOR'S PLAT 126, LOT 3 AND A PORTION OF LOT 5, PREPARED BY DISTRICT ENGINEERING ASSOCIATES, INC., SCALE: 1"=100', DATED: OCT. 1988, LAST REVISED: 05-07-00
 - F) PLAN ENTITLED 'LAND USE SUBDIVISION PLAN, SCHARTNER'S CORNER NURSERY TEN ROD ROAD & CANTON ROAD, EXETER, R.I., ASSESSOR'S PLAT 100, DATED: 08/18/12 BY DANIEL F. HARRINGTON III, P.L.S., LAST REVISED: 12/11/08 BY DAVID D. GARDNER & ASSOCIATES, INC.
 - G) PLAN ENTITLED 'PLAN OF SURVEY A.P. 110, LOT 11 IN NORTH KINGSTOWN, RHODE ISLAND FOR MARK C. HARRIS, SCALE: 1"=100, DATE: 08/18/12 BY DANIEL F. HARRINGTON III, P.L.S.
2. REFERENCE IS MADE TO THE FOLLOWING TOWN OF EXETER & NORTH KINGSTOWN LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:
 - TOWN OF EXETER LAND EVIDENCE RECORDS
 - A) MAP 26, BLOCK 1, LOT 1 - JPM TRUST LLC - VOLUME 529, PAGE 227
 - TOWN OF NORTH KINGSTOWN LAND EVIDENCE RECORDS
 - B) MAP 110, LOT 1 - JPM TRUST LLC - VOLUME 3155, PAGE 25
3. THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD AS REFERENCED IN SCHEDULE B, SECTION 3 OF CATIC'S COMMITMENT FOR TITLE INSURANCE, ISSUING AGENT: PILGRIM TITLE INSURANCE COMPANY, ISSUING OFFICE NUMBER: 31999, COMMITMENT DATE: JUNE 26, 2018 AT 8:30 AM.
 - A) ARNOLD BURIAL GROUND, EASEMENTS AND DIRTWAY AS DESCRIBED IN VOLUME 20, PAGE 219 AS RECORDED WITH THE LAND EVIDENCE RECORDS AT THE TOWN OF EXETER, (DOCUMENT NOT PROVIDED) (B2-8 & B2-9)
 - B) EASEMENT GRANTED TO NARRAGANSETT ELECTRIC COMPANY AS DESCRIBED IN VOLUME 78, PAGE 17 AS RECORDED WITH THE LAND EVIDENCE RECORDS AT THE TOWN OF NORTH KINGSTOWN, (UTILITY POLES SHOWN - EASEMENT IS BLANKET IN NATURE) (B2-10)
 - C) FARM FOREST & OPEN SPACE DESIGNATIONS VOLUME 83, PAGE 863 IN THE TOWN OF EXETER AND VOLUME 97, PAGE 316 IN THE TOWN OF NORTH KINGSTOWN (NOT PLOTTABLE) (B2-11)
 - D) MATTERS AS SHOWN ON PLAN REF. 1(C) (B2-12)
4. THESE PREMISES ARE SITUATED IN A 'RU-4 ZONE' AND 'RR' ZONE'

DIMENSIONAL REQUIREMENTS	RR-4 (EXETER)	RR-1 (NORTH KINGSTOWN)
MIN. LOT AREA	= 4 ACRES	= 80,000 SQ. FT.
MIN. STREET FRONTAGE	= 300 FT.	= 200 FT.
MIN. S/B FRONT YARD	= 100 FT.	= 50 FT. (SEE ORDINANCE 21-3066D)
MIN. S/B REAR YARD	= 50 FT.	= 35 FT.
MIN. S/B SIDE YARD	= 50 FT.	= 35 FT.
MAX. STRUCTURE HEIGHT	= 40 FT.	= 35 FT.

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
5. THESE PREMISES ARE SITUATED IN A 'RU-4 ZONE' & 'RR' ZONE' AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AS DESIGNATED ON THE 'NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP' OF EXETER, RHODE ISLAND AND ALL JURISDICTIONS THEREIN. (FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER 4403C0089H EFFECTIVE DATE: OCTOBER 198, 2010, FEDERAL EMERGENCY MANAGEMENT AGENCY)
6. ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND OPERATIONS. THE SURVEY DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE ALL SUCH UTILITIES AS SHOWN ON THIS PLAN. THE CLIENT IS ADVISED THAT UTILITIES SHOWN ARE AVAILABLE INFORMATION SOURCE (SEE ALL LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION AT PHONE NO. 401-885-1111)
7. THE HORIZONTAL DATUM FOR THIS PROJECT IS THE R.I.P.C.S. (NAD 83) AND THE VERTICAL DATUM FOR THIS PROJECT IS NAVD83. THE PROBE POINTS WERE EVALUATED FROM DATA TRANSMITTED FROM A PHOTOGRAMMETRIC SURVEY CONDUCTED BY GPS 1200 SERIES & CARLSON SURVEYOR+ SERIES GPS ANTENNAS/RECEIVERS.
8. WETLAND FLAGS DELINEATED BY: NATURAL RESOURCE SERVICES, INC. P.O. BOX 311 - 180 FINEWOODS AVENUE, HARRISVILLE, RHODE ISLAND 02830
9. "WETLAND FLAGS FIELD LOCATED BY WATERMAN ENGINEERING COMPANY"
 - A) EXETER TOWN & CANTON R.D. ROAD (R.I. STATE HIGHWAY 102) W/ETLAND, NORTH KINGSTOWN, RHODE ISLAND
 - B) WATERMAN ENGINEERING COMPANY, ALL BUILDING LINES SHOWN REPRESENT ROOF LINES AS SEEN IN PHOTOGRAPHS TAKEN ON NOVEMBER 7, 2018.
10. THESE PREMISES LIE PARTLY WITHIN A NON-COMMUNITY WELLHEAD PROTECTION AREA AS DETERMINED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S ENVIRONMENTAL RESOURCE MAP.
11. THE APPROXIMATE LOCATION OF THE TOWN LINE IS SHOWN FOR GENERAL REFERENCE PURPOSES. A FIELD SURVEY OF THE TOWN LINE WAS CONDUCTED AS PART OF THIS PROJECT NOR WAS ANY TOWN LINE MONUMENTATION FOUND DURING THE COURSE OF THIS SURVEY.

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT / ACCURACY SPECIFICATION:
 COMPREHENSIVE BOUNDARY SURVEY 1

OTHER TYPE OF SURVEY:
 DATA ACCUMULATION SURVEY III
 TOPOGRAPHIC SURVEY T-3

THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 ALTA / NSPS LAND TITLE SURVEY AS REQUIRED FOR TITLE INSURANCE PURPOSES.

BY: *[Signature]* 1837 11/29/18
 RICHARD S. LIPSITZ, P.L.S. REG. NO. DATE
 WATERMAN ENGINEERING COMPANY (COA No. L0.0004483)

RICHARD S. LIPSITZ
 No. 1837
 1897
 PROFESSIONAL
 LAND SURVEYOR

GRAPHIC SCALE
 100 0 50 100 200 300
 (in feet)
 1 INCH EQUALS 100 FEET

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 THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER, FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.

NF
 MAP 39, BLK 2, LOT 4
 JAMES N. ANDREWS &
 JUDITH E. BARSKE
 VOLUME 222, PAGE 297

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR 26 2020 FILE # 18-0330
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Environmental Management
 NOV 29 2018
 Office: 401-438-5775
 Fax: 401-438-5772

TO: CATIC, PILGRIM TITLE INSURANCE COMPANY, EXETER RENEWABLES 1, LLC, & JOHN P. MORRIS, III;
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2015 'MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS' JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-6, 7(a), 7(b), 7(c), & 8, 11, 12, 14, 16, 17, 18 & 20 OF TABLE THEREOF THE FIELDWORK WAS COMPLETED ON NOVEMBER 7, 2018.
 11/29/18
 RICHARD S. LIPSITZ, PLS #1837 DATE
 WATERMAN ENGINEERING COMPANY

NO.	DATE	REVISION	CHECKED BY
ALTA / NSPS LAND TITLE SURVEY PLAN			
MAP 26, BLK 1, LOT 1			
TEN ROD ROAD (ROUTE 102)			
EXETER, RHODE ISLAND 02817			
DRAWN BY: EBP/B/T			
CHECKED BY: RSL			
FILENAME: 18-042_SU1_2018			
2 of 2 SHTS			
DRAWING #: SU1			

WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC.
 275 PROMENADE STREET, SUITE 100
 PROVIDENCE, RHODE ISLAND 02905

Waterman ENGINEERING COMPANY
 Engineers & Surveyors - Est. 1894
 46 Sutton Avenue
 East Providence, RI
 Phone: (401)-438-5775
 Fax: (401)-438-5772
 www.watermanengineering.net