

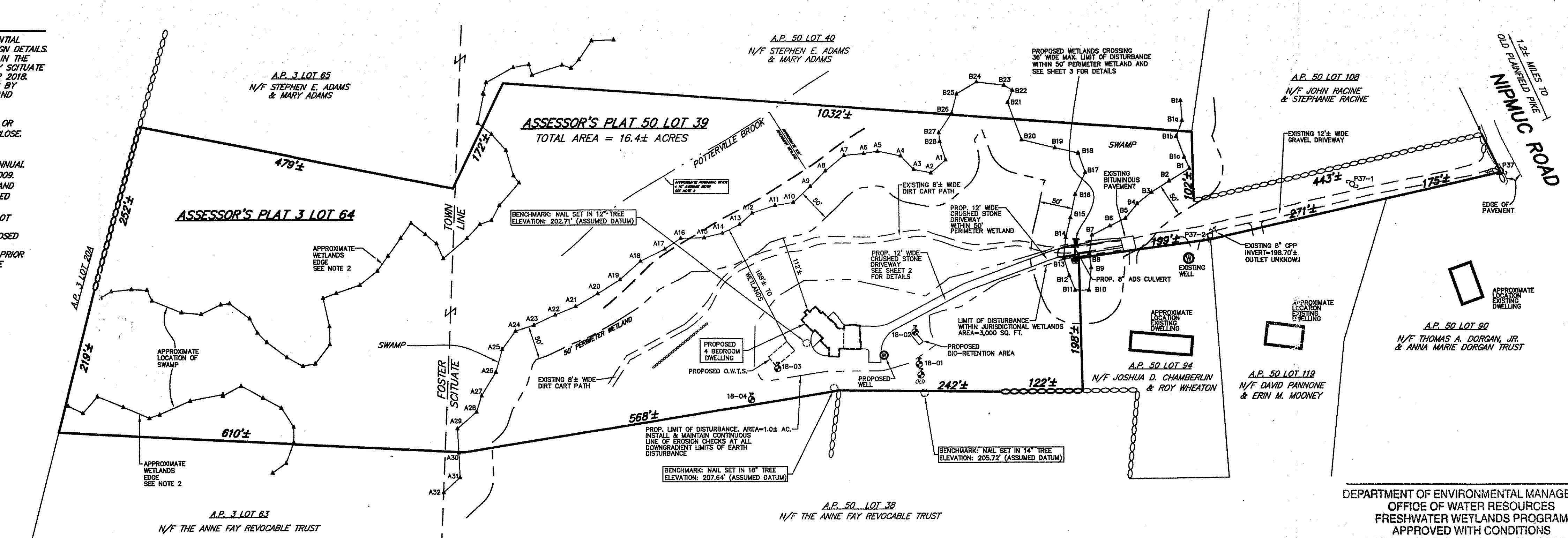
LOCATION PLAN SCALE 1" = 2000'

PLAN REFERENCE

"SURVEY PLAN SHOWING PROPOSED MINOR SUB-DIVISION NIPMUC ROAD, SCITUATE, R.I. ASSESSOR'S MAP 50 LOT 39 PREPARED FOR: THOMAS & ANN DORGAN JOB NO. 255 DRAWING NO. 255 SCALE: 1"=100' DATE: MAY 19, 2020" BY FLYNN SURVEYS COMPANY.

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE AN OVERALL DEPICTION OF THE PROPOSED RESIDENTIAL SITE DEVELOPMENT OF ASSESSOR'S PLAT 50 LOT 39. PLEASE SEE SHEETS 2 AND 3 FOR DESIGN DETAILS.
2. THE TOPOGRAPHY, WETLANDS DELINEATION FLAGS B1-B28 AND A1-A32 AND OTHER FEATURES IN THE VICINITY OF THE ENTRANCE, PROPOSED CROSSING AND O.W.I.S. WERE LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS IN JULY AND OCTOBER 2018. REMOTE WETLANDS WERE COMPILED FROM MAPPING GRADE GLOBAL POSITIONING DATA PROVIDED BY NATURAL RESOURCE SERVICES, INC. THE LOCATION OF POTTERVILLE BROOK IS APPROXIMATE AND WAS DERIVED DIGITALLY FROM THE R.I.D.E.M. ENVIRONMENTAL RESOURCE MAP.
3. THE VERTICAL AND HORIZONTAL DATUMS WERE ASSUMED.
4. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. UTILITY INFORMATION IS NOT ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH REVISIONS AND CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ANY PLANNED EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR ACCURATE LAYOUT OF EXISTING UTILITIES.
5. THE SITE LIES WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN). SEE FLOOD INSURANCE RATE MAP #44007003896 DATED MARCH 2, 2008.
6. THE WETLANDS DELINEATION WAS CONDUCTED IN AUGUST 2018 WITH REVISIONS IN SEPTEMBER AND OCTOBER 2018 BY NATURAL RESOURCE SERVICES, INC. A COPY OF THESE REPORTS IS INCLUDED WITH THIS APPLICATION.
7. THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF THE LOT OTHER THAN THOSE SHOWN ON PLAN.
8. THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
9. STRAW BALE EROSION CHECK (R.I. STANDARD 9.1.0) AND/OR SILT FENCE SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTILL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
10. ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD, PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
11. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF ALL STATE AND LOCAL PERMITS.
12. ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. EACH STAGE OF CONSTRUCTION OF THE ON-SITE WASTEWATER TREATMENT SYSTEM MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
14. THE SITE IS WITHIN THE SCITUATE RESERVOIR WATER SHED CRITICAL RESOURCE AREA.
15. EXCEPT WHERE SHOWN THE ENTIRETY OF THE SITE IS WOODED, THERE ARE NO KNOWN HISTORIC AREAS OR FEATURES ON THE SITE.



LEGEND

N/F	NOW OR FORMERLY
A.P.	ASSESSOR'S PLAT
SQ. FT.	SQUARE FEET
EG	EXISTING GROUND
R.O.W.	RIGHT OF WAY
FND	FOUND
▲ 25	WETLAND FLAGS
▬	STONE WALL
⊕	HEAP OF STONES

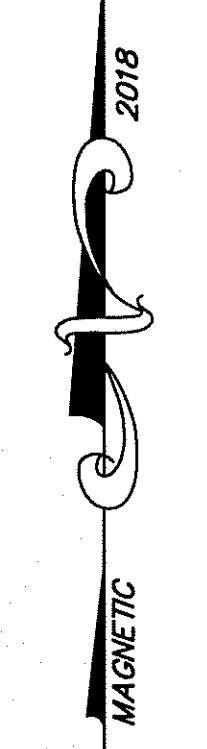
WETLANDS CROSSING & DRAINAGE SYSTEM DESIGNER
 S.F.M. ENGINEERING ASSOCIATES
 410 TIOGUE AVENUE
 COVENTRY, R.I. 02816
 (401)826-3736

DATE	REVISION

CHK. BY: SFM JOB. NO. SFM859

OWNERS/APPLICANTS

SCITUATE A.P. 50 LOT 39 FOSTER A.P. 3 LOT 64 REGINA M. BHAROOCHA 1870 EL FARO SANTA BARBARA, CA. 95166	SCITUATE A.P. 50 LOT 39 FOSTER A.P. 3 LOT 64 ANNE MARIE DORGAN OMWEG 53 GREAT ROAD NORTH SMITHFIELD, R.I. 02886
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SCITUATE SURVEYS, INC.
 110 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401-821-8101
 LAND SURVEYING / MAPPING / SITE PLANNING

SCALE IN FEET: 100 50 0 100 200 300

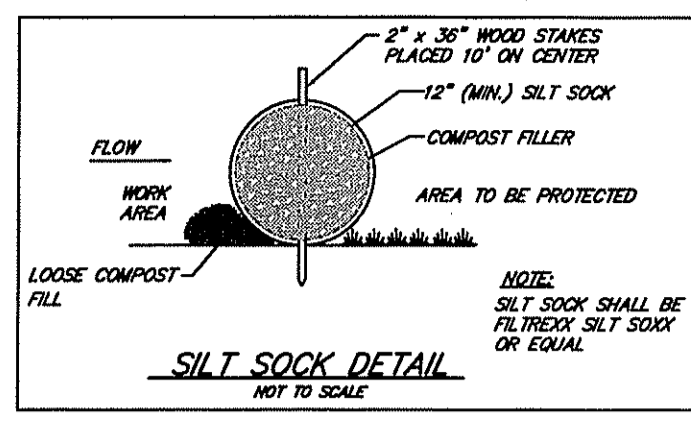
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 26 2019 FILE # 19-0005
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

ANGELO M. RAIMONDI
 No. 1762
 PROFESSIONAL LAND SURVEYOR

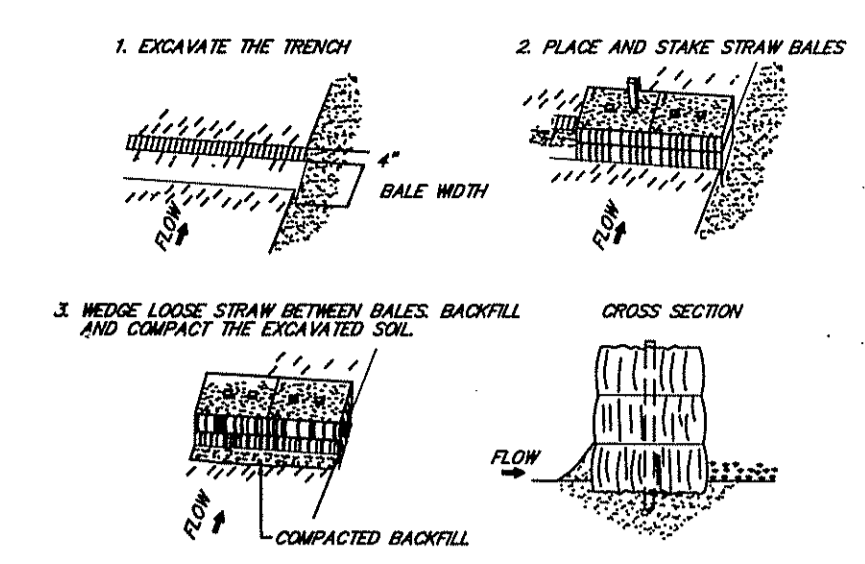
PLAN SHOWING PROPOSED IMPROVEMENTS TO & SOIL EROSION SEDIMENT CONTROL ON LAND OF REGINA M. BHAROOCHA & ANNE MARIE DORGAN OMWEG SCITUATE ASSESSOR'S PLAT 50 LOT 39 FOSTER ASSESSOR'S PLAT 3 LOT 64 NIPMUC ROAD SCITUATE & FOSTER, RHODE ISLAND

DATE: NOVEMBER 28, 2018 REVISION:

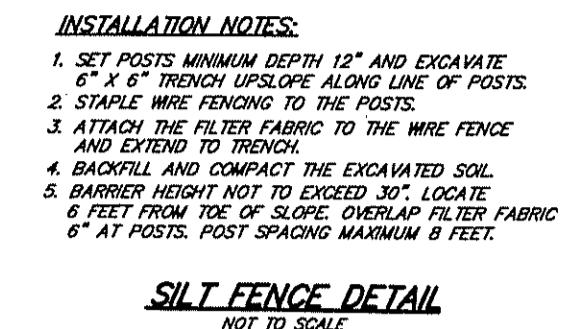
PROJECT NO.: SS2886 SHEET 1 OF 3
 DRAWING NO.: SS4555



DESIGN CRITERIA
 SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER BEDROOM UNIT
 COMPLETION RATE - SOIL CATEGORY 6m - .70 GALLONS/SQ. FT./DAY
 TOTAL DAILY FLOW: 115 GALLONS/DAY/BEDROOM - 115 X 4 = 460 GALLONS PER DAY
 MINIMUM REQUIRED LEACH FIELD AREA:
 460 GALLONS PER DAY (MAX.) ÷ .70 GALS./SQ. FT./DAY = 657.1 SQ. FT.
 LEACH FIELD AREA PROVIDED: 24 ELJEN IN-DRAIN TYPE B 3' WIDE X 4' LONG
 LEACH FIELD DESIGN POINT: ELEVATION 198.0'
 PER RULE 6.34 (F) 2 A PROPERLY COMPACTED GRAVEL BASE MEETING THE REQUIREMENTS OF RULE 6.33 (M) SHALL BE PLACED THROUGHOUT THE EXCAVATION TO AN ELEVATION 2" ABOVE THE TOP OF THE DISTRIBUTION LINES.
 DISPERSAL TRENCHES SHALL BE EXCAVATED OUT OF THE COMPACTED GRAVEL. THERE SHALL BE A MINIMUM 6" GRAVEL BASE LAYER MEETING THE REQUIREMENTS OF RULE 6.33 (M) BELOW THE SPECIFIED SAND.



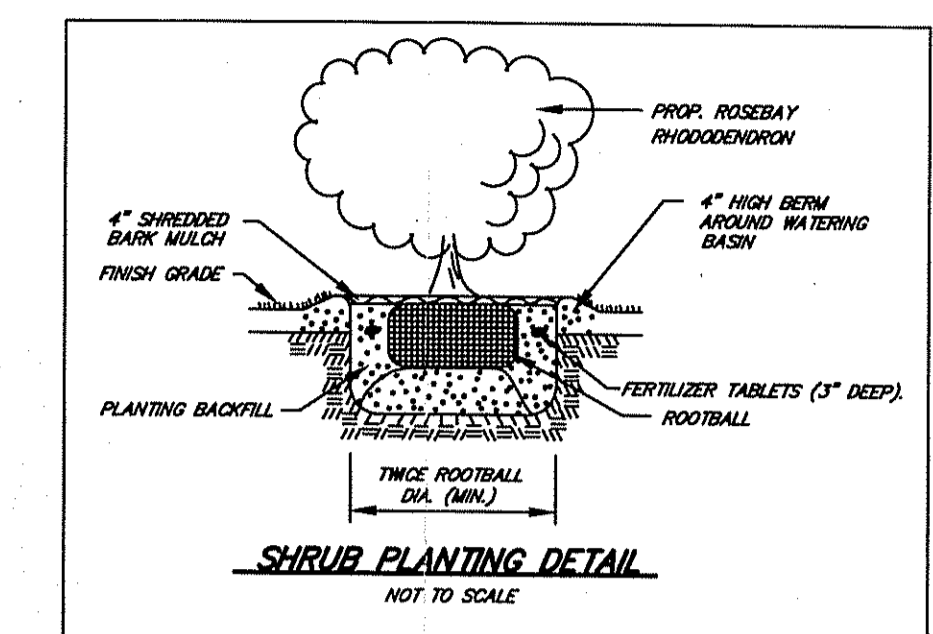
STAKED BALED STRAW EROSION CHECK DETAIL
NOT TO SCALE



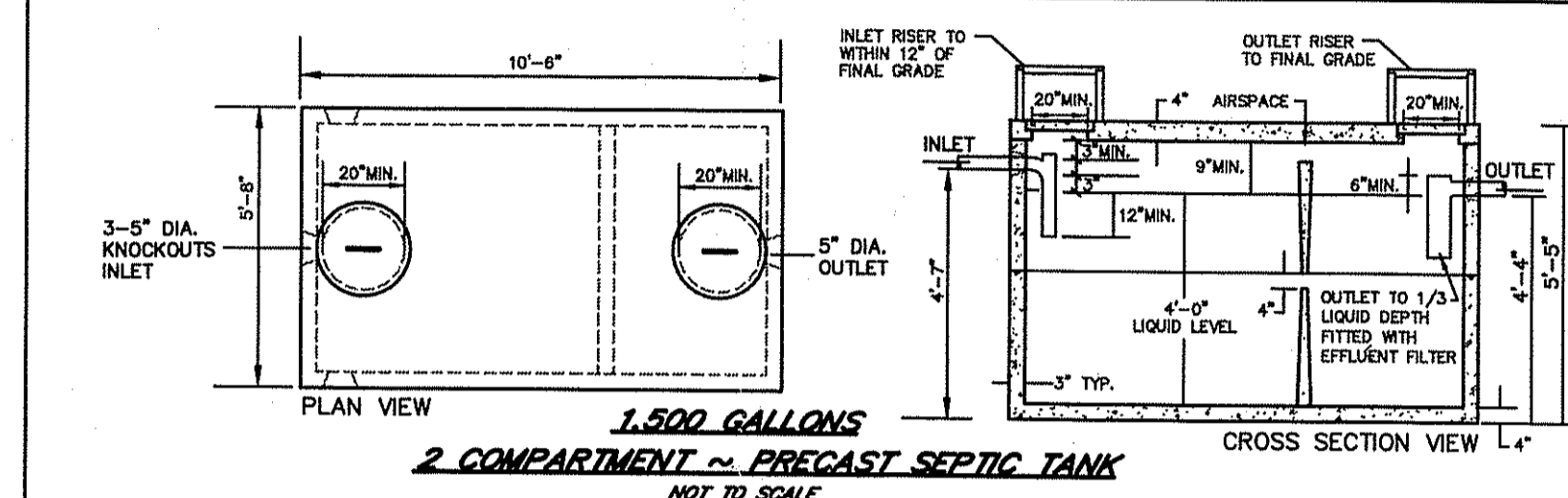
SILT FENCE DETAIL
NOT TO SCALE

GROUNDWATER & LEDGE DEPTH TABLE

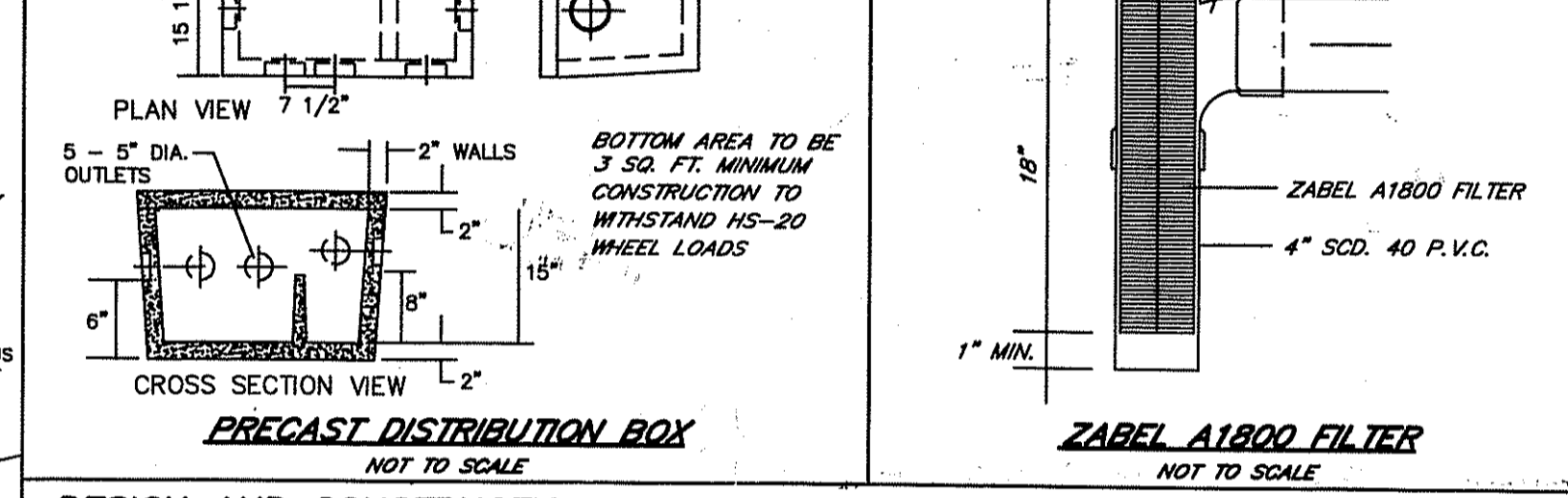
TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
18-01	201.4'	3.0'	198.4'	10.0'	191.4'
18-02	200.0'	3.0'	197.0'	10.0'	192.0'
18-03	200.4'	4.0'	196.4'	10.0'	192.4'
18-04	201.4'	4.0'	197.4'	10.0'	191.4'



SHRUB PLANTING DETAIL
NOT TO SCALE



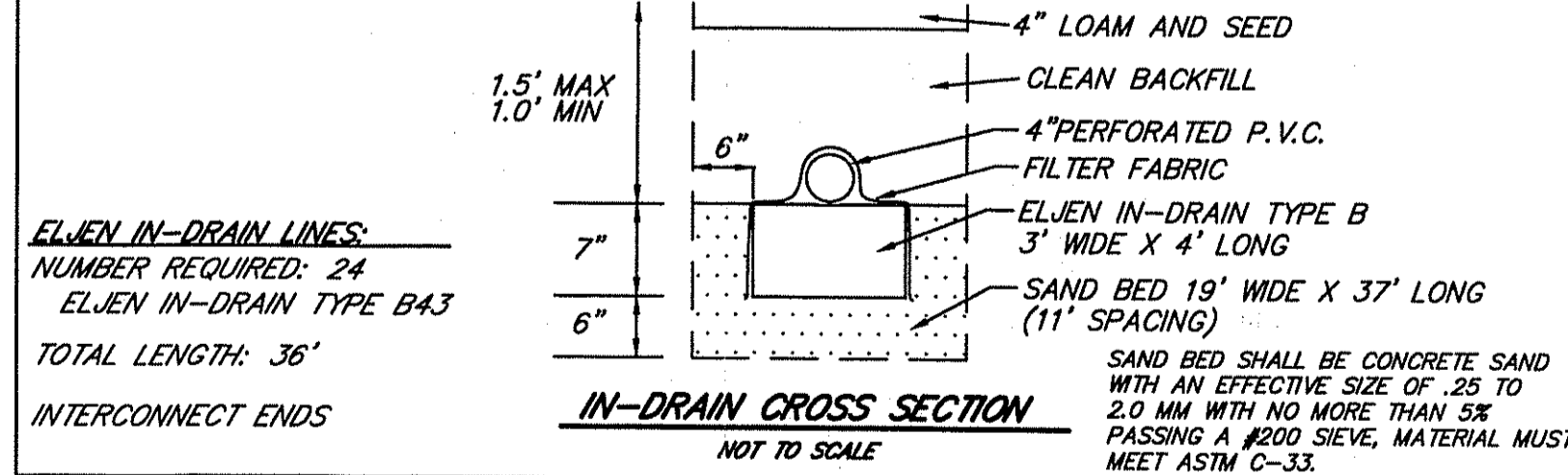
2 COMPARTMENT PRECAST SEPTIC TANK
NOT TO SCALE



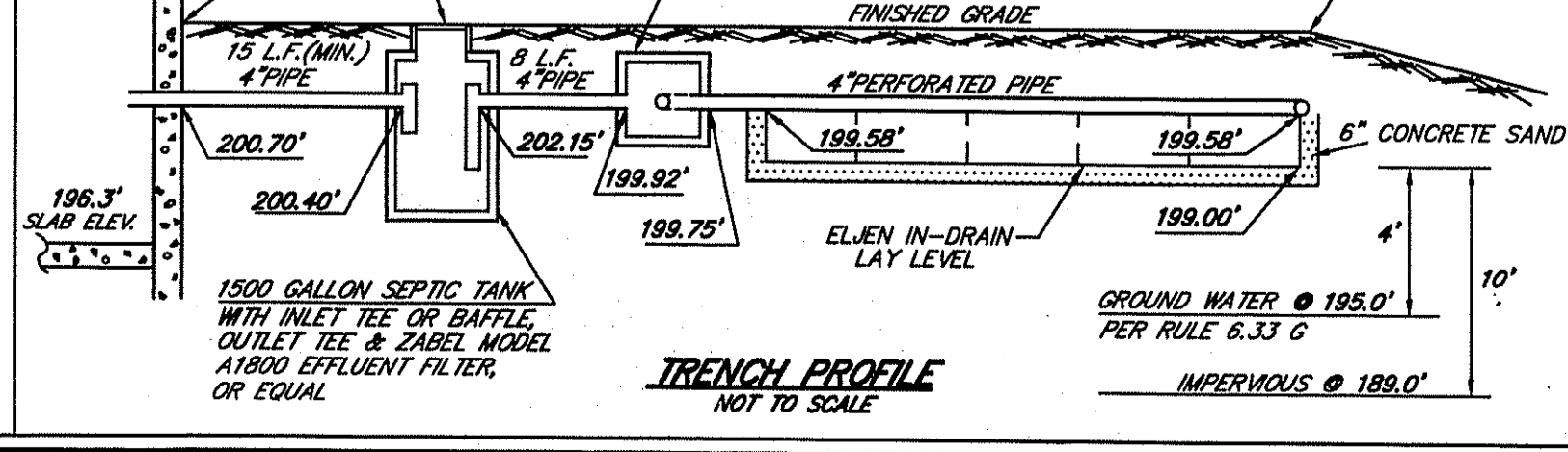
PRECAST DISTRIBUTION BOX
NOT TO SCALE

DESIGN AND CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
- THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND IF SO, RAISE THE FOUNDATION ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
- THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
- ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
- THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
- ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
- MAINTAIN TRENCH INVERT ELEVATION FOR 10' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
- INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
- SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.23 (B).
- ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
- ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
- WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED EASEMENTS, NON-CONFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
- ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD, UNLESS WAIVED BY THE DESIGNER. ALL IMPROVEMENTS MUST BE STAMPED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



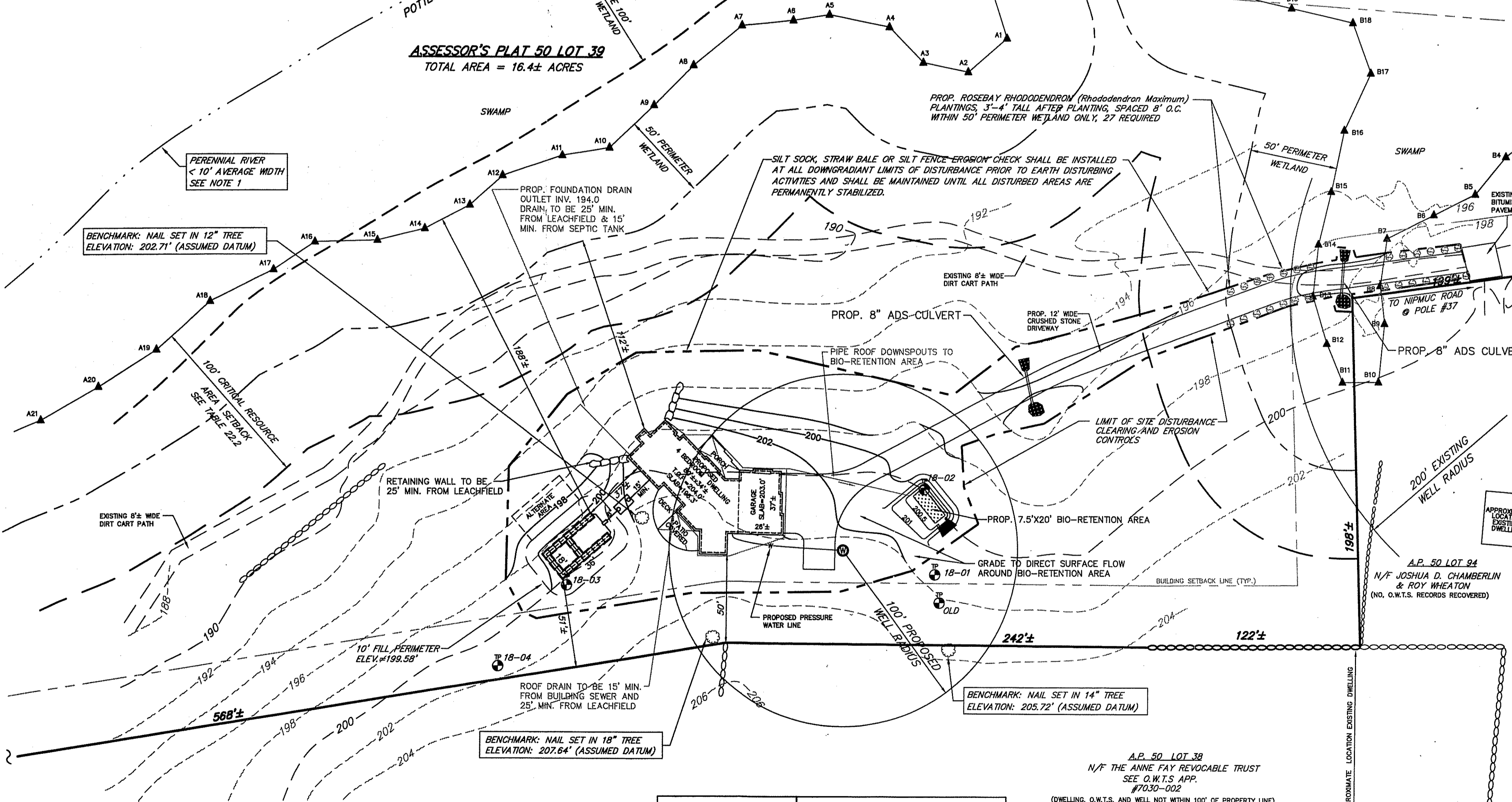
ELJEN IN-DRAIN LINES
NUMBER REQUIRED: 24 ELJEN IN-DRAIN TYPE B43 TOTAL LENGTH: 36' INTERCONNECT ENDS



TRENCH PROFILE
NOT TO SCALE

GENERAL NOTES

- THE DATA ACCUMULATION SURVEY DEPICTED HEREON IS A PRODUCT OF AN ON-THE-GROUND SURVEY CONDUCTED BY SCITUATE SURVEYS, INC. USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS IN JULY AND OCTOBER 2016. THE LOCATION OF POTTERVILLE BROOK IS APPROXIMATE AND WAS DERIVED DIGITALLY FROM THE R.I.D.E.M. ENVIRONMENTAL RESOURCE MAP.
- THE VERTICAL AND HORIZONTAL DATUMS WERE ASSUMED.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. UTILITY INFORMATION IS NOT ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH REVISIONS AND CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ANY PLANNED EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR ACCURATE LAYOUT OF EXISTING UTILITIES.
- THE SITE LIES WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN). SEE FLOOD INSURANCE RATE MAP #400703850 DATED MARCH 2, 2006.
- THE WETLANDS DELINEATION WAS CONDUCTED IN AUGUST 2016 WITH REVISIONS IN SEPTEMBER AND OCTOBER 2016 BY NATURAL RESOURCE SERVICES, INC. A COPY OF THESE REPORTS IS INCLUDED WITH THIS APPLICATION.
- THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF THE LOT OTHER THAN THOSE SHOWN ON PLAN.
- THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
- STRAW BALE EROSION CHECK (R.I. STANDARD 8.10) AND/OR SILT FENCE SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEEDING AND EROSION CONTROLS.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH 1" LOAM AND SEED OR SOD, PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF ALL STATE AND LOCAL PERMITS.
- ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- EACH STAGE OF CONSTRUCTION OF THE ON-SITE WASTEWATER TREATMENT SYSTEM MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
- THE SITE IS WITHIN THE SCITUATE RESERVOIR WATER SHED CRITICAL RESOURCE AREA.



LEGEND

- A.P. ASSASSOR'S PLAT
- N/F. NOW OR FORMERLY
- SQ. FT. SQUARE FEET
- STONE WALL
- BOULDER RETAINING WALL
- WETLAND DELINEATION FLAG
- HEDGE LINE
- TREE/CANOPY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED EROSION CONTROL/L.O.D.
- SOIL EVALUATION TEST HOLE

ZONE DATA

ZONE: RR-120

MINIMUM LOT SIZE: 120,000 SQ. FT.

MINIMUM LOT WIDTH: 300'

MINIMUM FRONT YARD DEPTH: 50'

MINIMUM SIDE YARD DEPTH: 35'

MINIMUM REAR YARD DEPTH: 60'

MAXIMUM BUILDING COVERAGE: 15%

MAXIMUM BUILDING HEIGHT: 36'

SCOTT F. MOOREHEAD
REGISTERED PROFESSIONAL ENGINEER
4298

WETLANDS CROSSING & DRAINAGE SYSTEM DESIGNER
S.F.M. ENGINEERING ASSOCIATES
410 TIOGUE AVENUE
COVENTRY, R.I. 02816
(401)826-3736

DATE	REVISION

CHK. BY: SFM JOB. NO. SFM859

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 26 2019 FILE # 1A-0005
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Chris A. Hest

Environmental Management
 JAN 3 2019
 Office of Water Resources

SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401-821-8101
 LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 0 20 40 60 80 100 120

CONSTRUCTION: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL LAND SURVEYORS OF THE STATE OF RHODE ISLAND. THE SURVEYOR'S NAME AND LICENSE NUMBER SHALL BE PLACED ON THIS PLAN.

CLASS II: VERTICAL CONTROL ESTABLISHED BY THE SURVEYOR. CLASS III: TOPOGRAPHIC SURVEY ACCURACY ± 1/4" AT 100 FEET. CLASS IV: PLANNING SURVEY. CLASS V: PRELIMINARY SURVEY. CLASS VI: PRELIMINARY SURVEY FOR INFORMATION AND DATA PURPOSES. CLASS VII: PRELIMINARY SURVEY FOR INFORMATION AND DATA PURPOSES. CLASS VIII: PRELIMINARY SURVEY FOR INFORMATION AND DATA PURPOSES. CLASS IX: PRELIMINARY SURVEY FOR INFORMATION AND DATA PURPOSES. CLASS X: PRELIMINARY SURVEY FOR INFORMATION AND DATA PURPOSES.

ANGELLO M. BAIAMONDI
 1752
 REGISTERED PROFESSIONAL LAND SURVEYOR

REGINA M. BHAROOCHA & ANNE MARIE DORGAN OMWEG
 SCITUATE ASSESSOR'S PLAT 50 LOT 39
 FOSTER ASSESSOR'S PLAT 3 LOT 64
 NIPMUC ROAD
 SCITUATE & FOSTER, RHODE ISLAND

PLAN SHOWING PROPOSED IMPROVEMENTS TO & SOIL EROSION SEDIMENT CONTROL ON LAND OF REGINA M. BHAROOCHA & ANNE MARIE DORGAN OMWEG SCITUATE ASSESSOR'S PLAT 50 LOT 39 FOSTER ASSESSOR'S PLAT 3 LOT 64 NIPMUC ROAD SCITUATE & FOSTER, RHODE ISLAND

PROJECT NO.: SS2866 SHEET 2 OF 3
 DRAWING NO.: SS4555

DATE: NOVEMBER 28, 2018 REVISION:

