

PRELIMINARY DETERMINATION APPLICATION SITE REDEVELOPMENT PLANS

990 AQUIDNECK AVENUE
Assessors Map 114 , Parcel 89
MIDDLETOWN , RHODE ISLAND

NOVEMBER 28, 2018
LATEST REVISION: JULY, 8 2019



680 Aquidneck Avenue
Middletown, RI 02842
401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

Environmental Management
JUL - 9 2019

NO.	DATE	DESCRIPTION
1.	3/25/19	REVISED PER RI DOT & DEM COMMENTS
2.	5/10/19	CURB RELOCATION PER RI DOT COMMENTS
3.	5/30/19	GENERAL REVISIONS PER RI DOT COMMENTS
4.	7/8/19	GENERAL REVISIONS PER RI DOT COMMENTS

PLAN REVISIONS

DATE: NOVEMBER 28, 2018

DRAWN BY: RT / RLM COMPS. BY: RT / RLM CHECK BY: RLM/MER

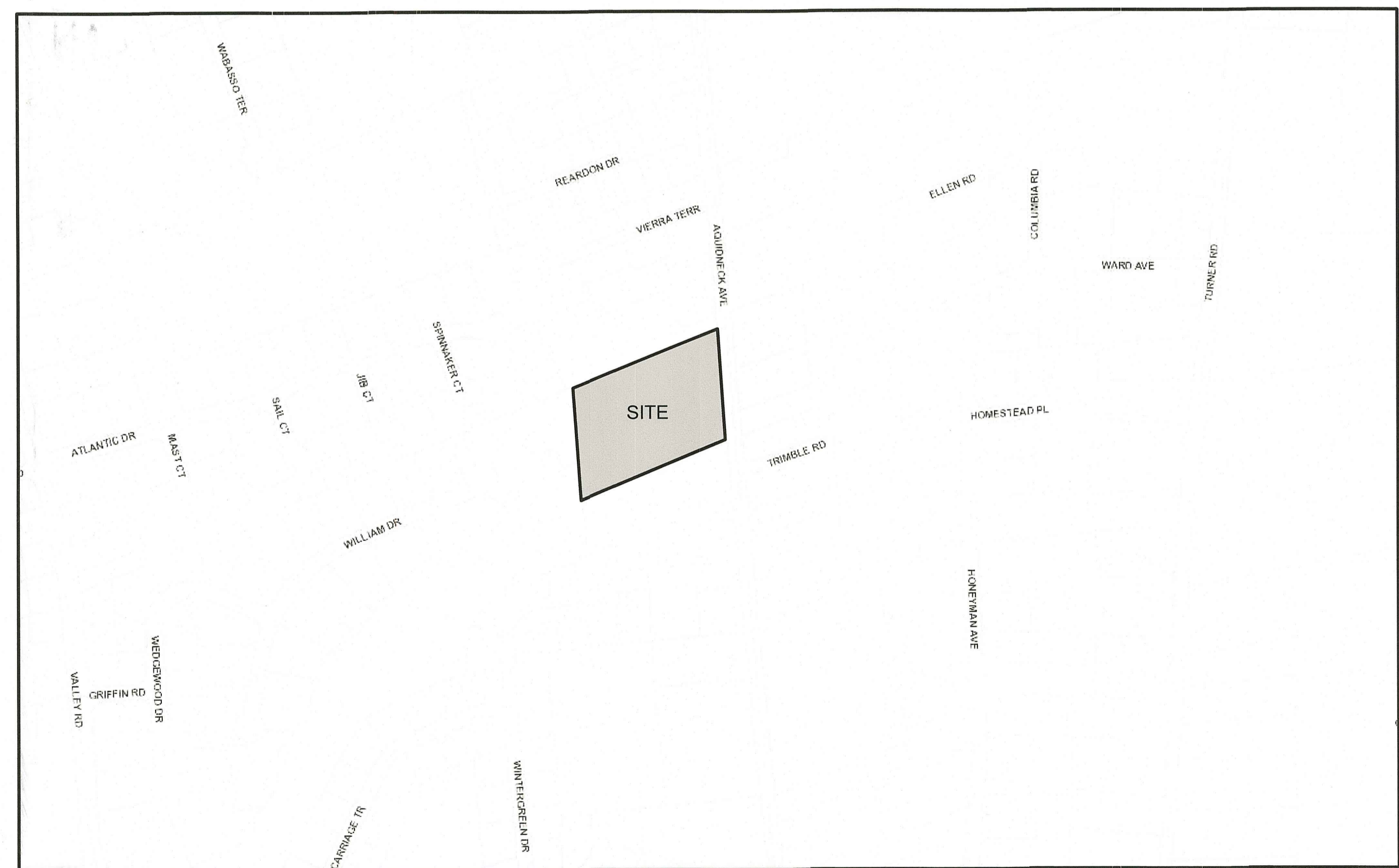
PROJECT NO. 18116

ISSUED FOR: PERMITTING



CIVIL ENGINEER
LAND DEVELOPMENT ENGINEERING
& CONSULTING, LLC.
1700 WEST MAIN ROAD, SUITE 8
MIDDLETOWN, RI 02842
(401) 354-2050

SURVEYOR OF RECORD
LAND DEVELOPMENT ENGINEERING
& CONSULTING, LLC.
1700 WEST MAIN ROAD, SUITE 8
MIDDLETOWN, RI 02842
(401) 354-2050



LOCUS MAP

PLAN INDEX

TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
SITE LAYOUT PLAN	3
GRADING & DRAINAGE PLAN	4
EROSION CONTROL PLAN	5
UTILITY PLAN	6
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 16 2019 FILE # 19-0096
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Signature of Approving Official

ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

DRAWING TITLE:

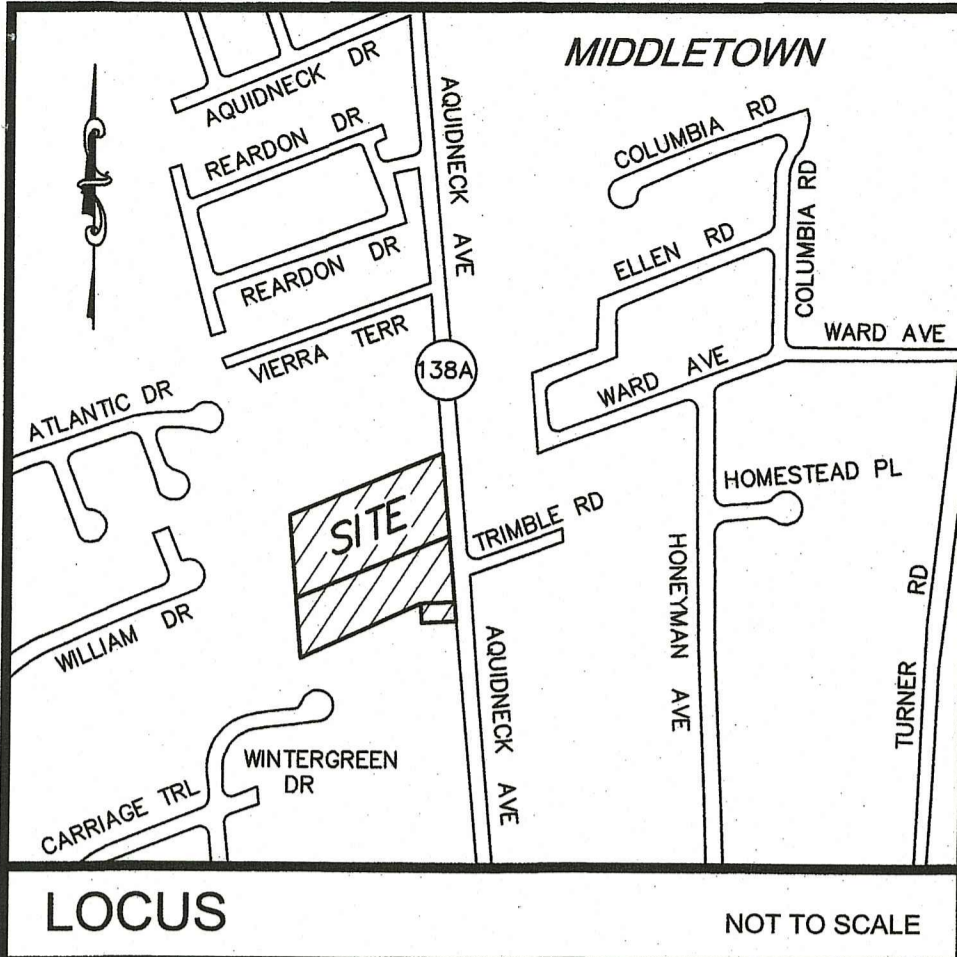
COVER

SCALE: NOT TO SCALE

SHEET NO.

1 OF 8

BUILDING SITE PLAN
990 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND
ASSESSORS MAP 114, PARCELS 87, 89 & 507
PREPARED FOR
A1 ROOFING & CONSTRUCTION COMPANY



LOCUS NOT TO SCALE

NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. BETWEEN AUGUST 25, 2018 AND SEPTEMBER 6, 2018.
- ELEVATIONS ARE REFERENCED TO NAVD83.
- THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE TOWN OF MIDDLETOWN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445401 0093 J (MAP REVISED SEPTEMBER 4, 2013).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.

TRAFFIC SENSITIVE LIMITED BUSINESS (LBA) ZONING DISTRICT	
REGULATION	REQUIREMENT
MIN. LOT AREA	20,000 SQ. FT.
LOT FRONTAGE	300 FT.
FRONT SETBACK	10 FT.
SIDE SETBACK	20 FT.
REAR SETBACK	50 FT.
MAX. BUILDING HEIGHT	35 FT.
MAX. LOT COVERAGE	35%

CURRENT OWNER

A-1 ROOFING & CONSTRUCTION, LLC
29 1/2 BLISS ROAD
NEWPORT, RI 02840

TITLE REFERENCE:
DEED BK.1577/P.6.127

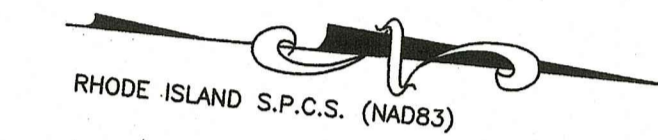
SITE LOCATION:
968 AQUIDNECK AVENUE (MAP 114 PARCEL 87)
990 AQUIDNECK AVENUE (MAP 114 PARCEL 89)
MIDDLETOWN, RHODE ISLAND

ASSESSORS REFERENCE:
MAP 114 PARCEL 87 (968 AQUIDNECK AVENUE)
MAP 114 PARCEL 89 (990 AQUIDNECK AVENUE)
MAP 114 PARCEL 507 (VACANT LOT)

LEGEND

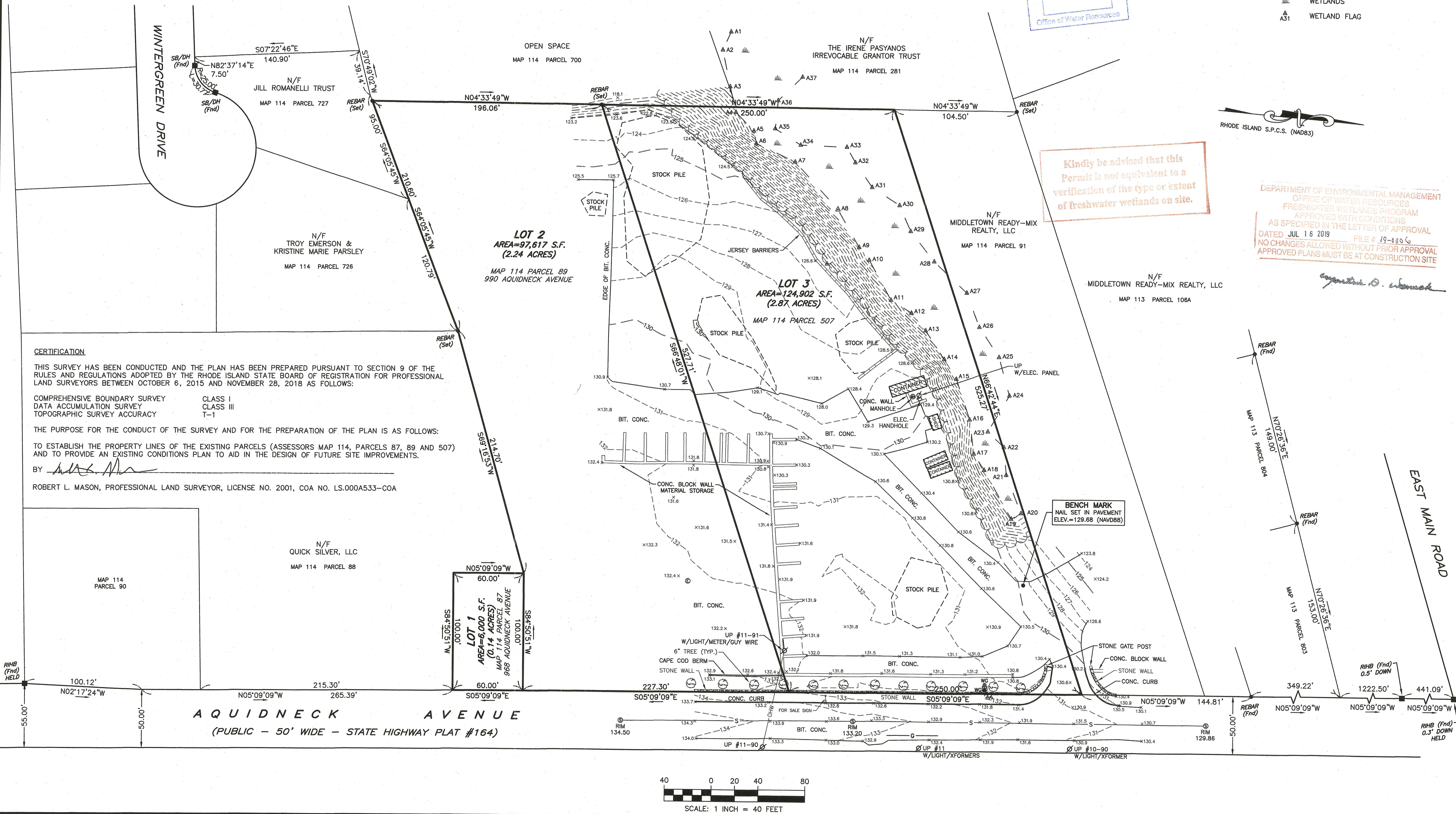
- ⊗ FIRE HYDRANT
- ⊙ SEWER MANHOLE
- 132.5 SPOT ELEVATION
- SB/DH STONE BOUND W/DRILL HOLE
- RIHB RHODE ISLAND HIGHWAY BOUND
- TREE
- TREE LINE
- UTILITY POLE
- G UNDERGROUND GAS
- S UNDERGROUND SEWER
- ⊕ WATER GATE
- ⊕ WATER METER PIT
- ⊕ WETLANDS
- ⊕ WETLAND FLAG

Environmental Management
JUL 9 2019
Office of Water Resources



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 16 2019 FILE # 19-0006
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS BETWEEN OCTOBER 6, 2015 AND NOVEMBER 28, 2018 AS FOLLOWS:

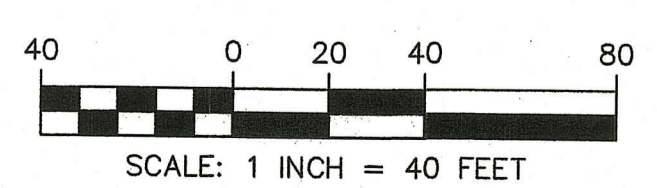
COMPREHENSIVE BOUNDARY SURVEY CLASS I
DATA ACCUMULATION SURVEY CLASS III
TOPOGRAPHIC SURVEY ACCURACY T-1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH THE PROPERTY LINES OF THE EXISTING PARCELS (ASSESSORS MAP 114, PARCELS 87, 89 AND 507) AND TO PROVIDE AN EXISTING CONDITIONS PLAN TO AID IN THE DESIGN OF FUTURE SITE IMPROVEMENTS.

BY *[Signature]*

ROBERT L. MASON, PROFESSIONAL LAND SURVEYOR, LICENSE NO. 2001, COA NO. LS.000A533—COA



IDEALDEC
Land Development Engineering & Consulting, LLC
680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS

DATE: NOVEMBER 28, 2018

DRAWN BY: RLM COMPS. BY: RLM CHECK BY: RLM/MMR

PROJECT NO. 18116

ISSUED FOR:

PERMITTING

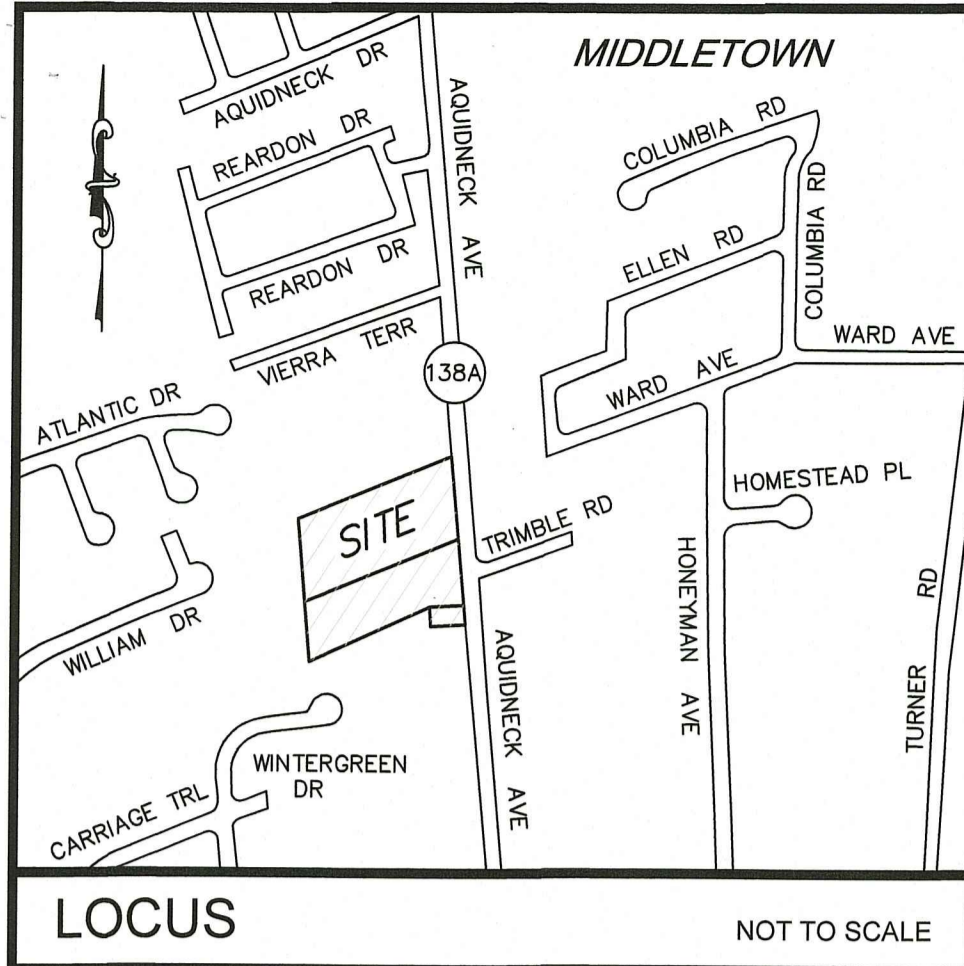
ROBERT L. MASON
No. 2001
PROFESSIONAL LAND SURVEYOR

EXISTING CONDITIONS PLAN
990 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND
ASSESSORS MAP 114, PARCELS 87, 89 & 507

PREPARED FOR
A-1 ROOFING & CONSTRUCTION, LLC

DRAWING TITLE:
EXISTING CONDITIONS

SCALE: 1" = 40'
SHEET NO. **2 OF 8**



LOCUS NOT TO SCALE

CURRENT OWNER
A-1 ROOFING & CONSTRUCTION, LLC
29 1/2 BLISS ROAD
NEWPORT, RI 02840

TITLE REFERENCE:
DEED BK.1577/PG.127

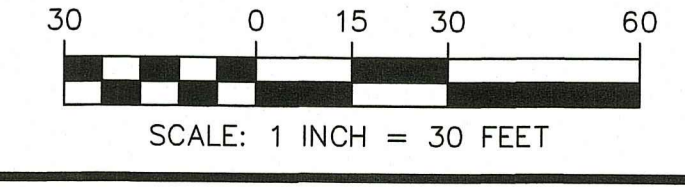
SITE LOCATION:
968 AQUIDNECK AVENUE (MAP 114 PARCEL 87)
990 AQUIDNECK AVENUE (MAP 114 PARCEL 89)
MIDDLETOWN, RHODE ISLAND

ASSESSORS REFERENCE:
MAP 114 PARCEL 87 (968 AQUIDNECK AVENUE)
MAP 114 PARCEL 89 (990 AQUIDNECK AVENUE)
MAP 114 PARCEL 507 (VACANT LOT)

- LEGEND**
- ⊕ FIRE HYDRANT
 - ⊙ SEWER MANHOLE
 - ⊙ SPOT ELEVATION
 - SB/DH STONE BOUND W/DRILL HOLE
 - SB/RIHB STONE BOUND (RHODE ISLAND HIGHWAY BOUND)
 - TH-# TEST HOLE
 - TREE
 - TREE LINE
 - UTILITY POLE
 - UNDERGROUND GAS
 - UNDERGROUND SEWER
 - ⊕ WATER GATE
 - ⊕ WATER METER PIT
 - WETLANDS
 - ▲ WETLAND FLAG

UTILITY & DRAINAGE WORK NOTES:

- UTILITY WORK SUCH AS SEWER, WATER, GAS, ELECTRIC, ETC. CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE R.I.D.O.T. UTILITY PERMIT - CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
- THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.



- NOTES:**
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. BETWEEN AUGUST 25, 2018 AND SEPTEMBER 6, 2018.
 - ELEVATIONS ARE REFERENCED TO NAVD88.
 - THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE TOWN OF MIDDLETOWN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445401 0093 J (MAP REVISED SEPTEMBER 4, 2013).
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 - THERE IS NO 100 YEAR FLOOD PLAIN BOUNDARY OR BASE FLOOD ELEVATION (BFE) LOCATED ON THE SUBJECT PROPERTY OR IMMEDIATELY ADJACENT TO THE SUBJECT PROPERTY. THIS WAS DETERMINED BY A CLASS 1 SURVEY WHICH INCLUDED A TOPOGRAPHICAL SURVEY CORRELATING TO THE STATE PLANE COORDINATE SYSTEM (DATUM: NAVD88) AND SUBJECT FEMA MAPPING.

PARKING REQUIREMENTS:

BUILDING 1: OFFICE
REQUIREMENT: 3 SPACE PER 1,000 SF GFA
1ST FLOOR: 4,760 SF
2ND FLOOR: 4,760 SF
TOTAL: 9,520 SF GFA
SPACES REQUIRED: 29

BUILDING 1: WAREHOUSE (WHOLESALE COMMERCIAL)
1 SPACE PER 2 EMPLOYEES
1 SPACE PER VEHICLE MAINTAINED /USED ON PREMISES
SPACES REQUIRED: 2

BUILDING 2: WAREHOUSE (WHOLESALE COMMERCIAL)
1 SPACE PER 2 EMPLOYEES
1 SPACE PER VEHICLE MAINTAINED /USED ON PREMISES
SPACES REQUIRED: 2

HANDICAP SPACES REQUIRED: 2

TOTAL SPACES REQUIRED: 35
TOTAL SPACES PROVIDED: 36

OFF-STREET LOADING SPACES PROVIDED: 2

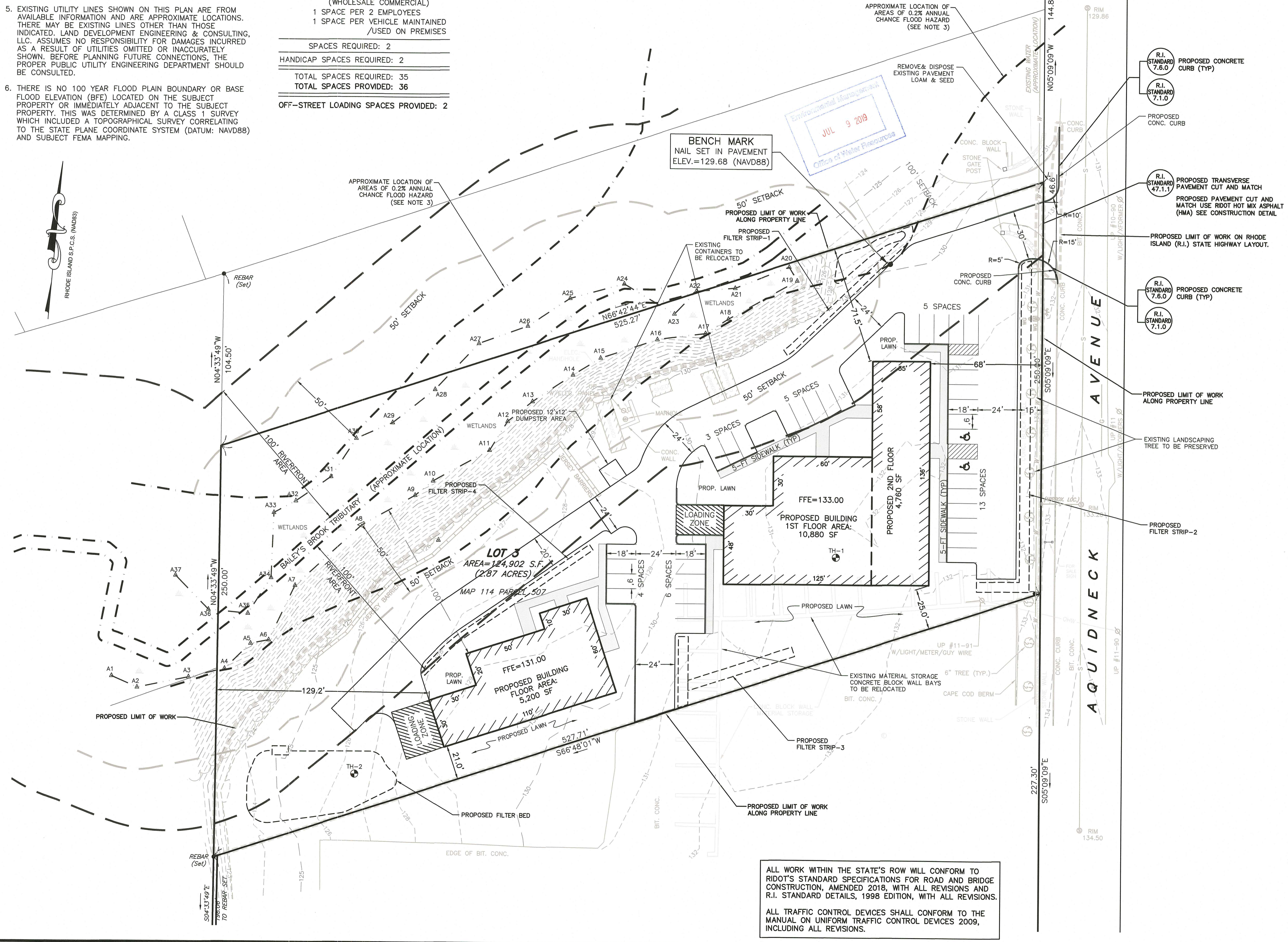
TRAFFIC SENSITIVE LIMITED BUSINESS (LBA) ZONING DISTRICT		
REGULATION	REQUIREMENT	PROPOSED
MIN. LOT AREA	20,000 SQ. FT.	124,067 SQ. FT.
LOT FRONTAGE	300 FT.	*250 FT.
FRONT SETBACK	10 FT.	68 FT.
SIDE SETBACK	20 FT.	20.8 FT.
REAR SETBACK	50 FT.	129.3 FT.
MAX. BUILDING HEIGHT	35 FT.	- FT.
MAX. LOT COVERAGE	35%	13%

*LOT IS PRE-EXISTING NON CONFORMING IN REGARDS TO LOT FRONTAGE.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 16 2019 FILE # 19-006 G
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Signature: D. Winesick



NO.	DATE	DESCRIPTION	APPROVED
4	7/8/19	GENERAL REVISIONS PER RI DEM COMMENTS	MER
3	5/30/19	GENERAL REVISIONS PER RI DOT COMMENTS	MER
2	5/10/19	CURB RELOCATION PER RI DOT COMMENTS	MER
1	3/25/19	REVISED PER RI DOT & DEM COMMENTS	MER

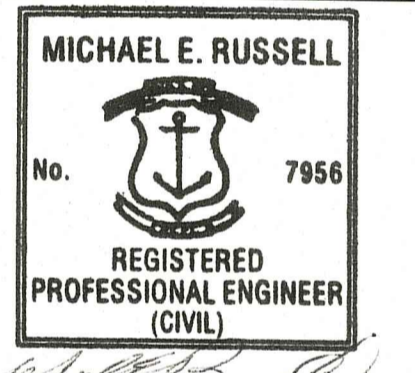
PLAN REVISIONS

DATE: NOVEMBER 28, 2018

DRAWN BY: RT/RLM COMPS. BY: RT/RLM CHECK BY: RLM/MER

PROJECT NO. 18116

ISSUED FOR: PERMITTING



BUILDING SITE PLAN
990 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND
ASSESSORS MAP 114, PARCELS 87, 89 & 507

PREPARED FOR
A1 ROOFING & CONSTRUCTION COMPANY

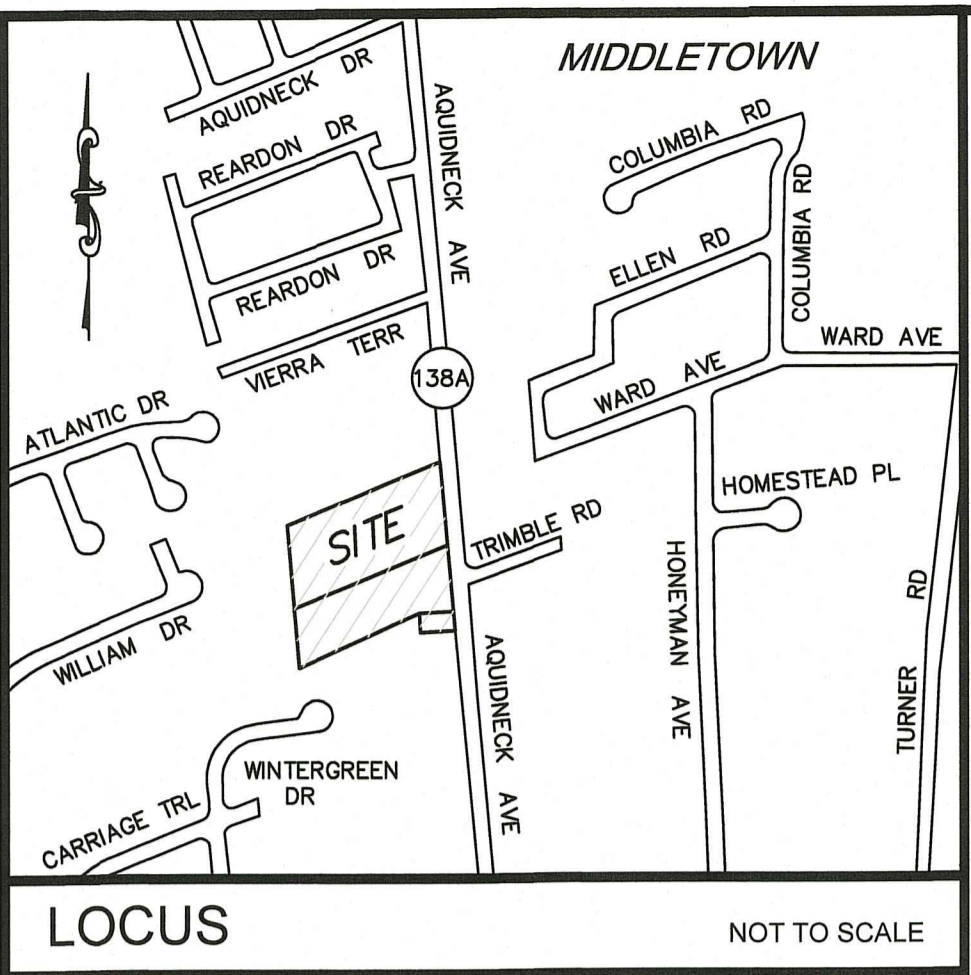
DRAWING TITLE:
SITE LAYOUT PLAN

SCALE: **1" = 30'**

SHEET NO.
3 OF 8

ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.



LOCUS
NOT TO SCALE

CURRENT OWNER
A-1 ROOFING & CONSTRUCTION, LLC
29 1/2 BLISS ROAD
NEWPORT, RI 02840

TITLE REFERENCE:
DEED BK.1577/PG.127

SITE LOCATION:
968 AQUIDNECK AVENUE (MAP 114 PARCEL 87)
990 AQUIDNECK AVENUE (MAP 114 PARCEL 89)
MIDDLETOWN, RHODE ISLAND

ASSESSORS REFERENCE:
MAP 114 PARCEL 87 (968 AQUIDNECK AVENUE)
MAP 114 PARCEL 89 (990 AQUIDNECK AVENUE)
MAP 114 PARCEL 507 (VACANT LOT)

- LEGEND**
- ☼ FIRE HYDRANT
 - ⊙ SEWER MANHOLE
 - SPOT ELEVATION
 - SB/DH STONE BOUND W/DRILL HOLE
 - SB/RH/B STONE BOUND (RHODE ISLAND HIGHWAY BOUND)
 - TH-# TEST HOLE
 - 🌳 TREE
 - TREE LINE
 - UTILITY POLE
 - UNDERGROUND GAS
 - UNDERGROUND SEWER
 - 🚰 WATER GATE
 - 📏 WATER METER PIT
 - 🌿 WETLANDS
 - ⚠️ WETLAND FLAG

Station	Depth	Material	Remarks	Notes	Structure	Consistency	Soil Category
File 12	24	C	loam		SL	lfsbk	Fr 3
B.W.	24	C	loam		SL	lfsbk	Fr 3
File 12	30	C	loam		SL	lfsbk	Fr 3
B.W.	30	C	loam		SL	lfsbk	Fr 3

- NOTES:**
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 - ELEVATIONS ARE REFERENCED TO NAVD88.
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 - THERE IS NO 100 YEAR FLOOD PLAIN BOUNDARY OR BASE FLOOD ELEVATION (BFE) LOCATED ON THE SUBJECT PROPERTY OR IMMEDIATELY ADJACENT TO THE SUBJECT PROPERTY. THIS WAS DETERMINED BY A CLASS 1 SURVEY WHICH INCLUDED A TOPOGRAPHICAL SURVEY CORRELATING TO THE STATE PLANE COORDINATE SYSTEM (DATUM: NAVD88) AND SUBJECT FEMA MAPPING.

TRAFFIC SENSITIVE LIMITED BUSINESS (LBA) ZONING DISTRICT

REGULATION	REQUIREMENT	PROPOSED
MIN. LOT AREA	20,000 SQ. FT.	124,067 SQ. FT.
LOT FRONTAGE	300 FT.	*250 FT.
FRONT SETBACK	10 FT.	68 FT.
SIDE SETBACK	20 FT.	20.8 FT.
REAR SETBACK	50 FT.	129.3 FT.
MAX. BUILDING HEIGHT	35 FT.	- FT.
MAX. LOT COVERAGE	35%	13%

*LOT IS PRE-EXISTING NON CONFORMING IN REGARDS TO LOT FRONTAGE.

100-YEAR FLOOD PLAIN IMPACT AVOIDANCE:

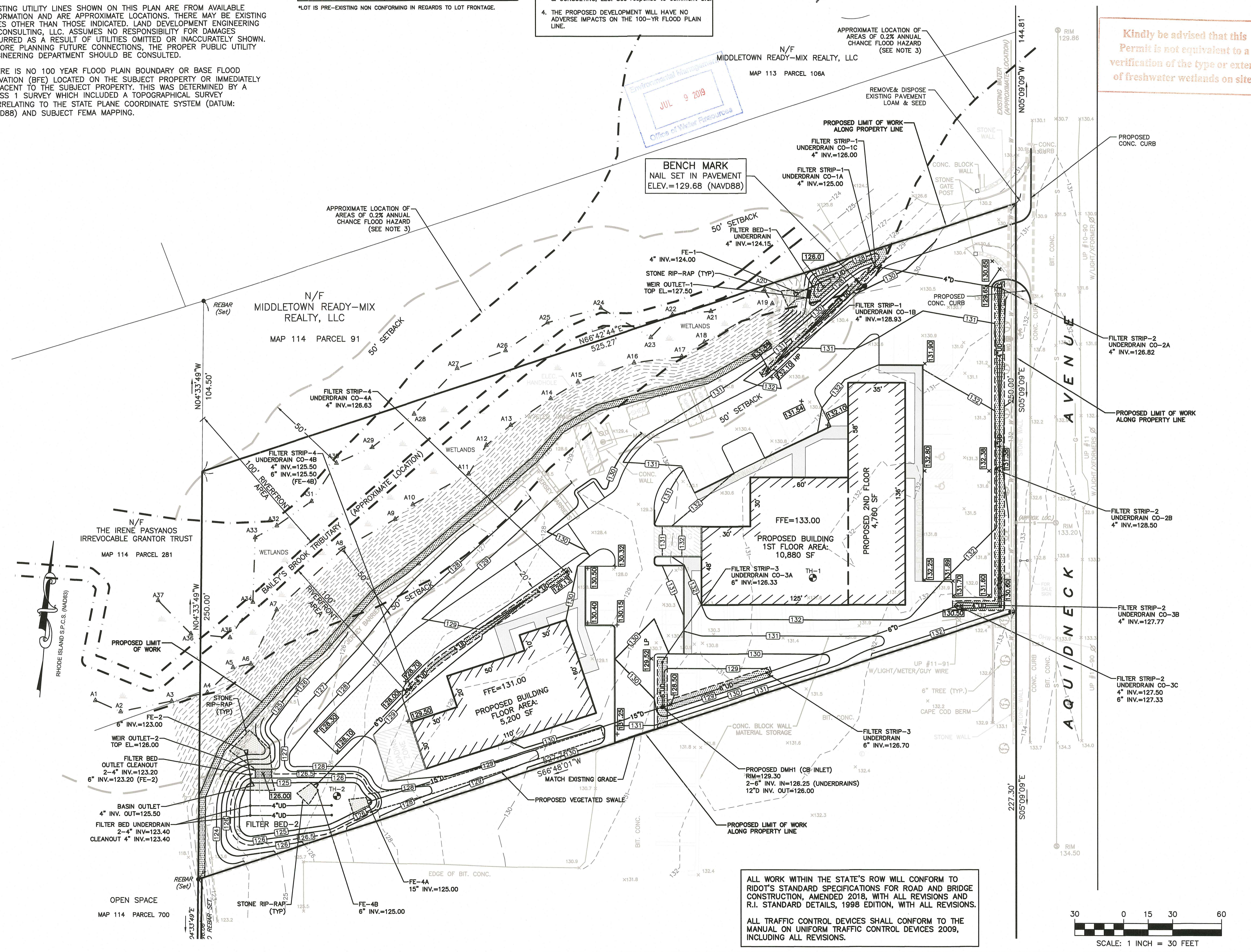
- THERE IS A FLOWING BODY OF WATER WITHIN THE PROPERTY IDENTIFIED AS "BAILEY'S BROOK TRIBUTARY, WATER BODY ID: R10007035R-01. THIS WATER BODY IS WITHIN RIDEM PROGRAM JURISDICTION AND DOES NOT HAVE A 100-YEAR FLOOD PLAIN LINE ASSOCIATED WITH IT.
- THERE IS NO PUBLISHED DATA FOR THE 100-YEAR FLOOD PLAIN LINE AS DETERMINED FROM THE TOWN OF MIDDLETOWN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445401 0093J (MAP REVISED SEPTEMBER 4, 2013).
- SEE RESPONSE LETTER TO RIDEM COMMENTS, DATED 3/26/2019. FROM LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. See response to comment 3.g.
- THE PROPOSED DEVELOPMENT WILL HAVE NO ADVERSE IMPACTS ON THE 100-YR FLOOD PLAIN LINE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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- UTILITY & DRAINAGE WORK NOTES:**
- UTILITY WORK SUCH AS SEWER, WATER, GAS, ELECTRIC, ETC. CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE R.I.D.O.T. UTILITY PERMIT - CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
 - THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.

LDEC
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NO.	DATE	DESCRIPTION
4.	7/8/19	GENERAL REVISIONS PER RI DEM COMMENTS
3.	5/30/19	GENERAL REVISIONS PER RI DOT COMMENTS
2.	5/10/19	CURB RELOCATION PER RI DOT COMMENTS
1.	3/25/19	REVISED PER RI DOT & DEM COMMENTS

DATE: NOVEMBER 28, 2018
DRAWN BY: RT/RLM
PROJECT NO. 18116

ISSUED FOR:
PERMITTING

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

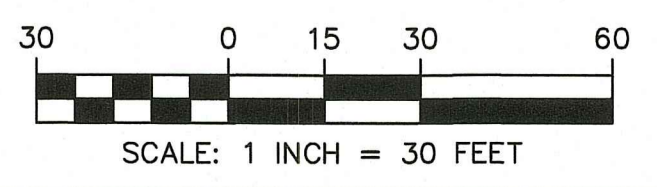
BUILDING SITE PLAN
990 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND
ASSESSORS MAP 114, PARCELS 87, 89 & 507
PREPARED FOR
A1 ROOFING & CONSTRUCTION COMPANY

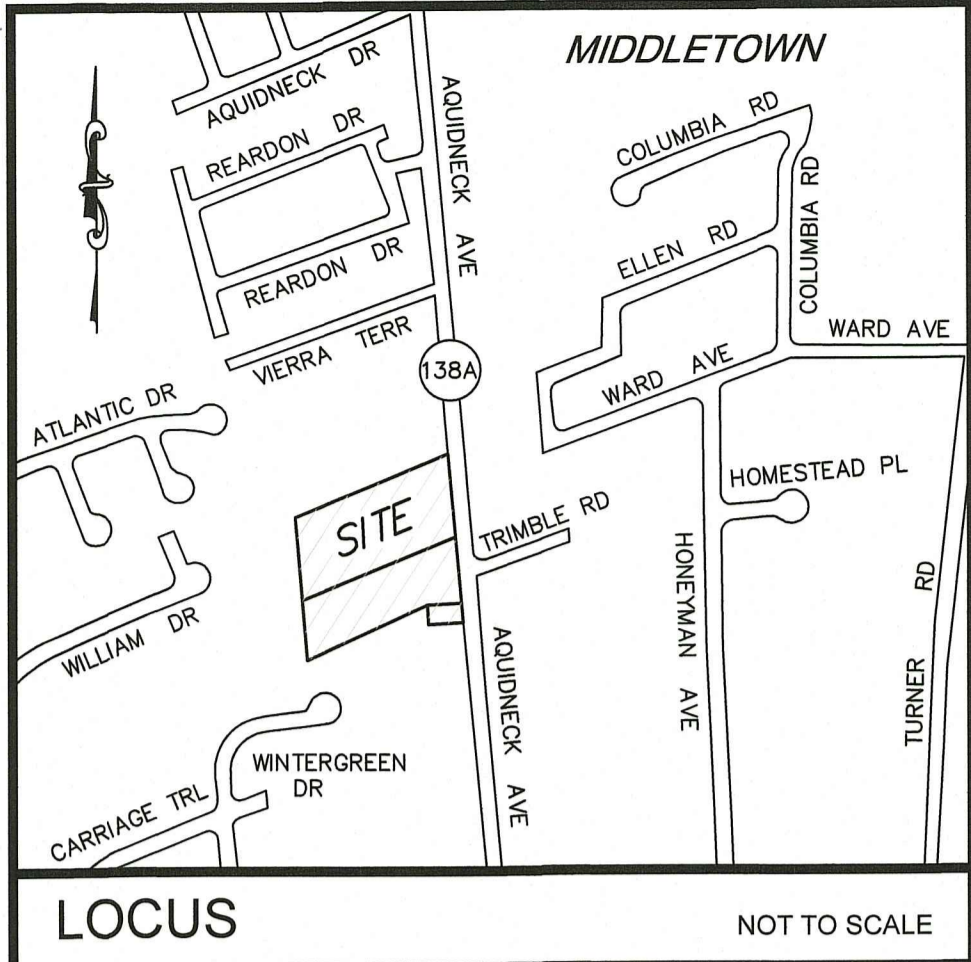
DRAWING TITLE:
DRAINAGE & GRADING PLAN

SCALE: 1" = 30'
SHEET NO. **4 OF 8**

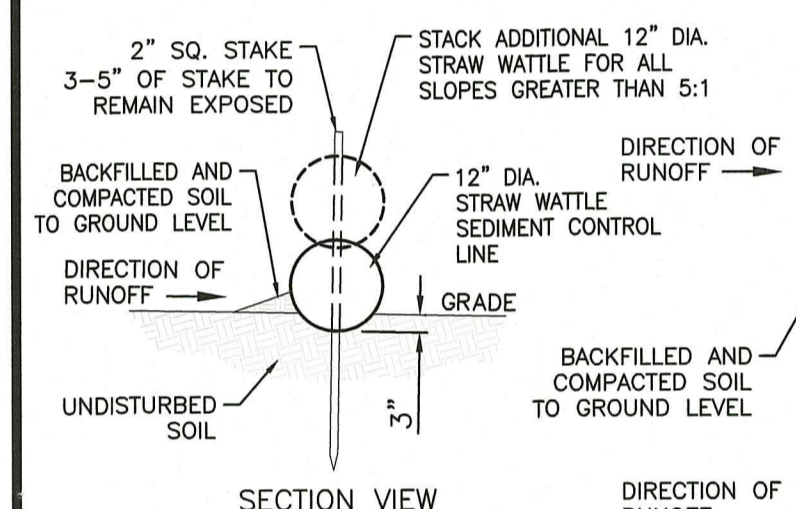
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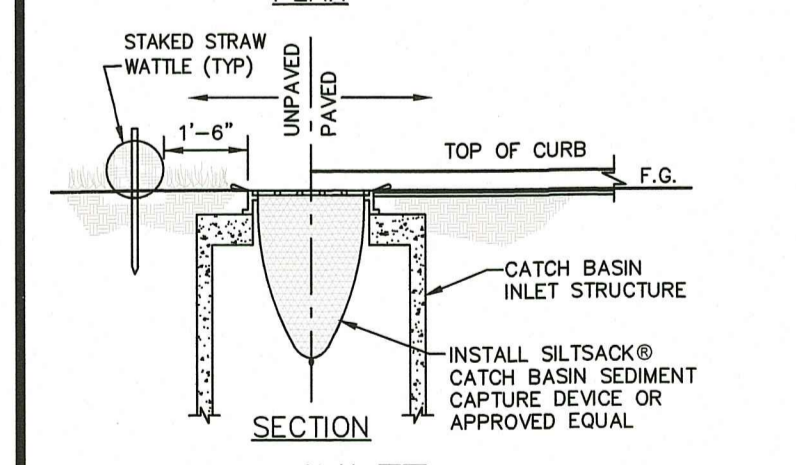
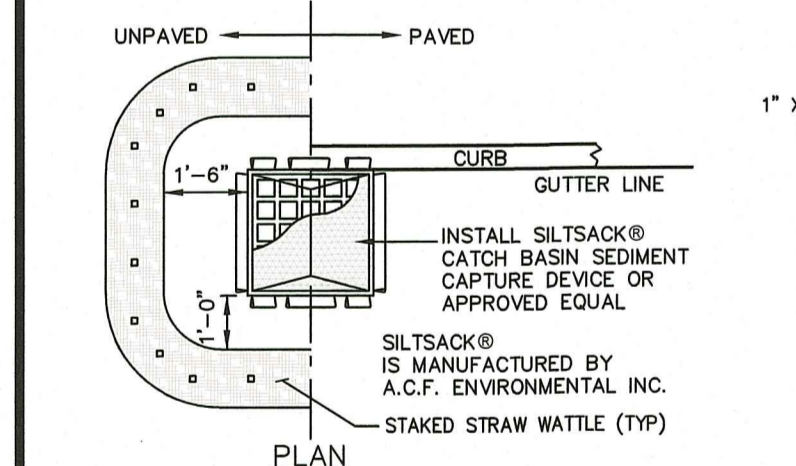


- UTILITY & DRAINAGE WORK NOTES:**
- UTILITY WORK SUCH AS SEWER, WATER, GAS, ELECTRIC, ETC. CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE R.I.D.O.T. UTILITY PERMIT - CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
 - THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.

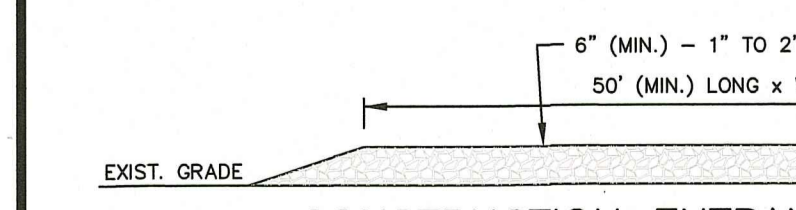


- SEQUENCE OF INSTALLATION:**
- TRENCH 3" BELOW EXISTING GRADE ALONG STRAW WATTLE/SEDIMENT CONTROL LINE ALIGNMENT.
 - PLACE AND STAKE STRAW WATTLE/SEDIMENT CONTROL LINES AS SHOWN.
 - ABUT ADJACENT CHAIR LOGS TIGHTLY.
 - BACKFILL AND COMPACT EXCAVATED MATERIAL.
- SPACING FOR SLOPE INSTALLATION:**
- 1:1 SLOPES = 10 FT. APART
 - 2:1 SLOPES = 20 FT. APART
 - 3:1 SLOPES = 30 FT. APART
 - 4:1 SLOPES = 40 FT. APART
- STACKED WATTLES REQUIRED FOR SLOPES GREATER THAN 5:1

TYPICAL EROSION/SEDIMENT CONTROL STRAW WATTLE DETAIL
NOT TO SCALE



HAYBALE CHECK DAM DETAIL
NOT TO SCALE



INLET SEDIMENTATION CONTROL DETAIL
NOT TO SCALE



CONSTRUCTION ENTRANCE/EXIT PAD DETAIL
NOT TO SCALE

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AS DIRECTED BY THE ENGINEER AND/OR AS NECESSITATED BY FIELD CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.

INSTALLATION SEQUENCE

 - INSTALL SILT FENCE AND HAYBALES AS SHOWN ON PLAN.
 - CLEAR AND GRUB SITE.
 - CONSTRUCT SITE INFRASTRUCTURE AS SHOWN ON PLANS.
 - THE FOLLOWING ACTIVITIES SHALL TAKE PLACE IMMEDIATELY FOLLOWING CONSTRUCTION OF EMBANKMENTS AND FILL SLOPES: PLACEMENT OF LOAM AND GRASS SEED, INSTALLATION OF GEOMER SLOPE STABILIZATION.
 - THE CONTRACTOR SHALL INSPECT ALL FILL SLOPES AND EMBANKMENTS ON A WEEKLY BASIS AND FOLLOWING ALL RAINFALL EVENTS UNTIL A MINIMUM 75% GRASS COVER IS ESTABLISHED SUFFICIENT TO PREVENT EROSION FROM OCCURRING.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.
- AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, HAYBALES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.
- DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOG OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.
- THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH SILTSACK OR FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS TO RETARD SILTATION.
- WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
 - WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
 - INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
 - WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLODGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY DRIVEWAY WIDTH WIDE BY 50' LONG BY 6" DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCE IS TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM EXISTING ACCESS DRIVEWAY.
- DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED. ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.

LEGEND

- ⊗ FIRE HYDRANT
- ⊙ SEWER MANHOLE
- ⊕ SPOT ELEVATION
- ⊠ STONE BOUND W/DRILL HOLE
- ⊡ STONE BOUND (RHODE ISLAND HIGHWAY BOUND)
- ⊙ TEST HOLE
- ⊙ TREE
- TREE LINE
- UTILITY POLE
- UNDERGROUND GAS
- UNDERGROUND SEWER
- WATER GATE
- WATER METER PIT
- WETLANDS
- ▲ WETLAND FLAG

NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. BETWEEN AUGUST 25, 2018 AND SEPTEMBER 6, 2018.
- ELEVATIONS ARE REFERENCED TO NAVD88.
- THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE TOWN OF MIDDLETOWN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445401 0093 J (MAP REVISED SEPTEMBER 4, 2013).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
- THERE IS NO 100 YEAR FLOOD PLAIN BOUNDARY OR BASE FLOOD ELEVATION (BFE) LOCATED ON THE SUBJECT PROPERTY OR IMMEDIATELY ADJACENT TO THE SUBJECT PROPERTY. THIS WAS DETERMINED BY A CLASS 1 SURVEY WHICH INCLUDED A TOPOGRAPHICAL SURVEY CORRELATING TO THE STATE PLANE COORDINATE SYSTEM (DATUM: NAVD88) AND SUBJECT FEMA MAPPING.

CURRENT OWNER

A-1 ROOFING & CONSTRUCTION, LLC
293 BLISS ROAD
NEWPORT, RI 02840

TITLE REFERENCE:
DEED BK.1577/PG.127

SITE LOCATION:
968 AQUIDNECK AVENUE (MAP 114 PARCEL 87)
990 AQUIDNECK AVENUE (MAP 114 PARCEL 89)
MIDDLETOWN, RHODE ISLAND

ASSESSORS REFERENCE:
MAP 114 PARCEL 87 (968 AQUIDNECK AVENUE)
MAP 114 PARCEL 89 (990 AQUIDNECK AVENUE)
MAP 114 PARCEL 507 (VACANT LOT)

TRAFFIC SENSITIVE LIMITED BUSINESS (LBA) ZONING DISTRICT		
REGULATION	REQUIREMENT	PROPOSED
MIN. LOT AREA	20,000 SQ. FT.	124,067 SQ. FT.
LOT FRONTAGE	300 FT.	*250 FT.
FRONT SETBACK	10 FT.	68 FT.
SIDE SETBACK	20 FT.	20.8 FT.
REAR SETBACK	50 FT.	129.3 FT.
MAX. BUILDING HEIGHT	35 FT.	- FT.
MAX. LOT COVERAGE	35%	13%

*LOT IS PRE-EXISTING NON CONFORMING IN REGARDS TO LOT FRONTAGE.

LDEC
Land Development Engineering & Consulting, LLC
680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

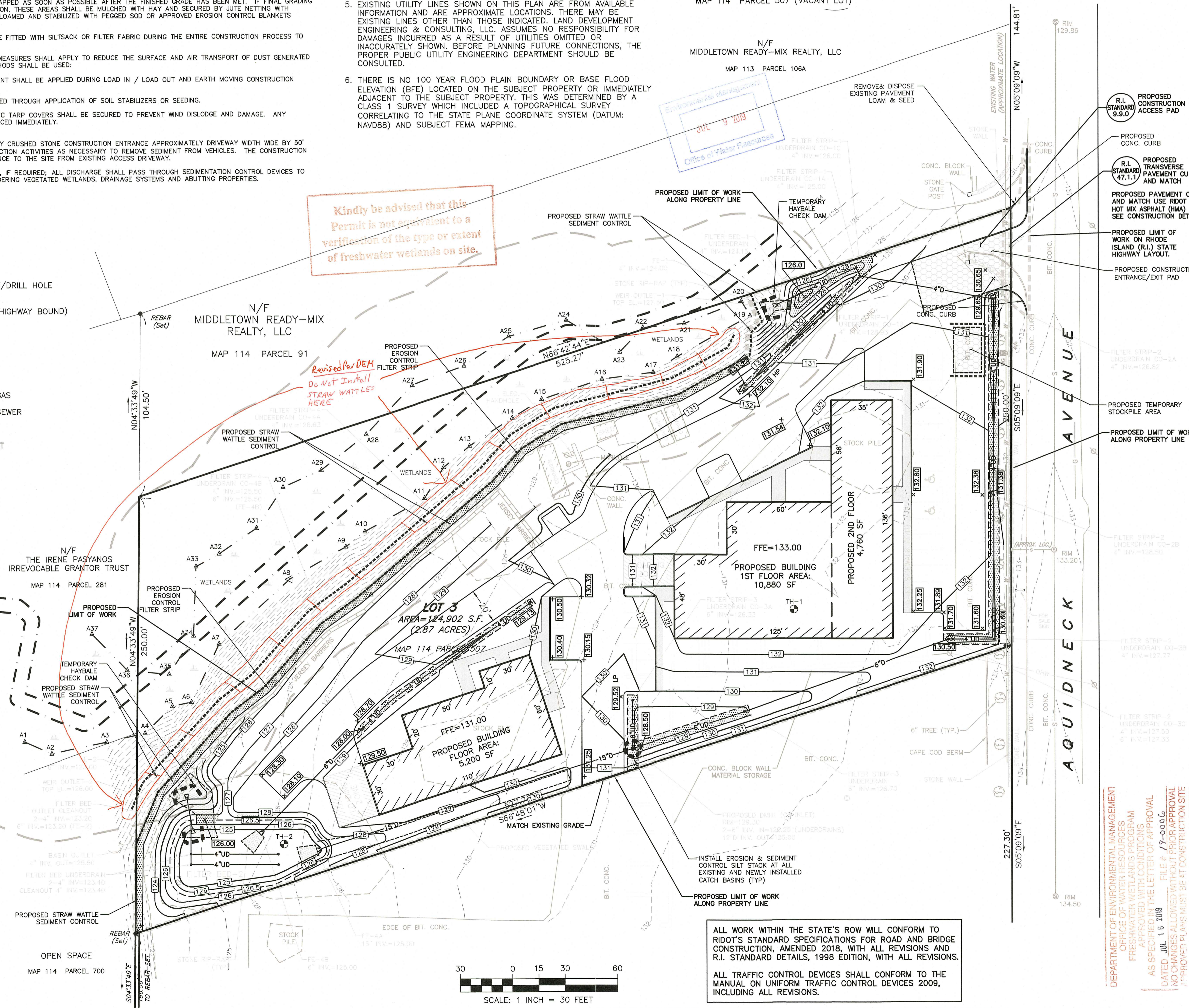
NO.	DATE	DESCRIPTION
1.	3/25/19	REVISED PER RI DOT & DEM COMMENTS
2.	5/10/19	CURB RELOCATION PER RI DOT COMMENTS
3.	5/30/19	GENERAL REVISIONS PER RI DOT COMMENTS
4.	7/8/19	GENERAL REVISIONS PER RI DOT COMMENTS

DATE: NOVEMBER 28, 2018
DRAWN BY: RT / RLM
COMPS BY: RT / RLM
CHECK BY: RLM/MER
PROJECT NO: 181116

ISSUED FOR:
PERMITTING
MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

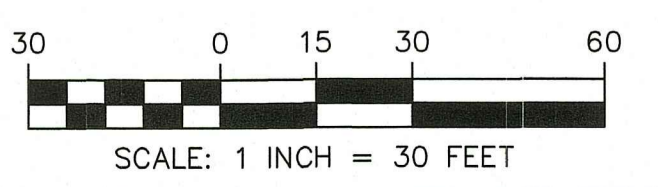
BUILDING SITE PLAN
990 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND
ASSESSORS MAP 114, PARCELS 87, 89 & 507
PREPARED FOR
A1 ROOFING & CONSTRUCTION COMPANY

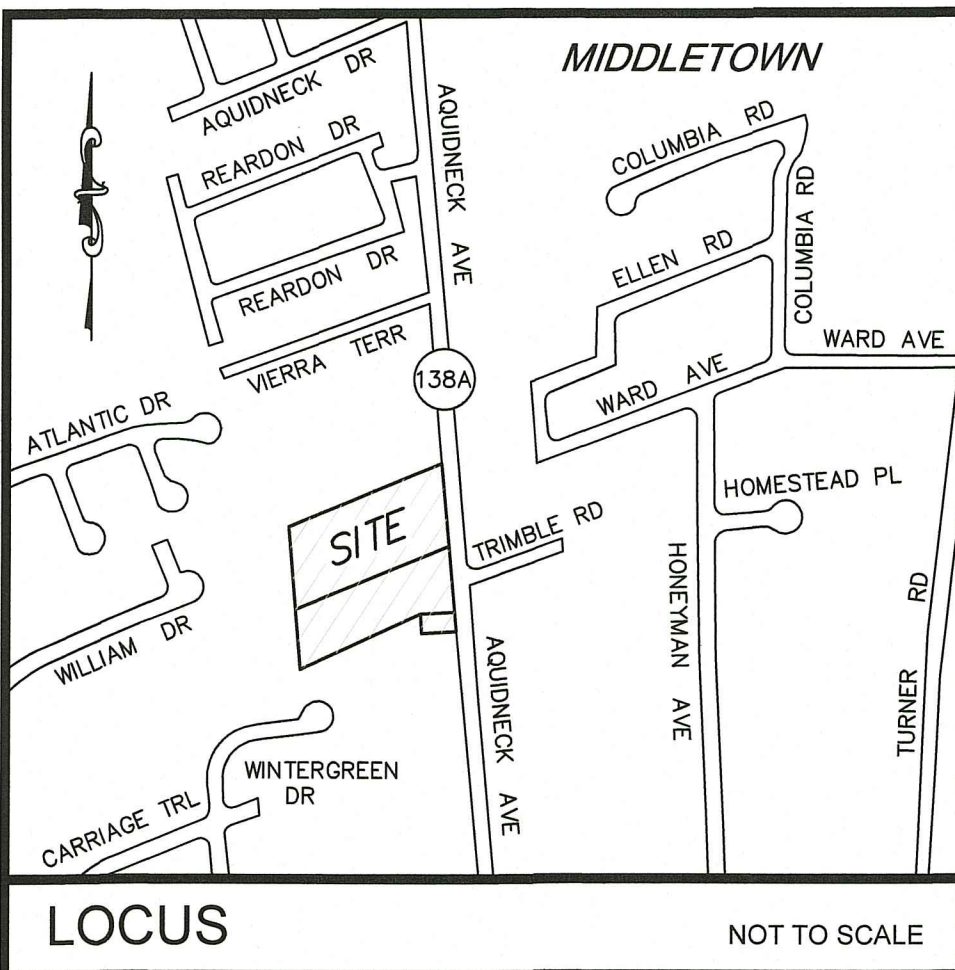
DRAWING TITLE:
EROSION CONTROL PLAN
SCALE: 1" = 30'
SHEET NO.
5 OF 8



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 16 2019 FILE # 19-0006
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
*APPROVED PLANS MUST BE AT CONSTRUCTION SITE

ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.





LEGEND

	FIRE HYDRANT
	SEWER MANHOLE
	SPOT ELEVATION
	STONE BOUND W/DRILL HOLE
	STONE BOUND (RHODE ISLAND HIGHWAY BOUND)
	TEST HOLE
	TREE
	TREE LINE
	UTILITY POLE
	UNDERGROUND GAS
	UNDERGROUND SEWER
	WATER GATE
	WATER METER PIT
	WETLANDS
	WETLAND FLAG

- NOTES:**
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 - ELEVATIONS ARE REFERENCED TO NAVD88.
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CURRENT OWNER
 A-1 ROOFING & CONSTRUCTION, LLC
 293 BLISS ROAD
 NEWPORT, RI 02840

TITLE REFERENCE:
 DEED BK.1577/P.127

SITE LOCATION:
 968 AQUIDNECK AVENUE (MAP 114 PARCEL 87)
 990 AQUIDNECK AVENUE (MAP 114 PARCEL 89)
 MIDDLETOWN, RHODE ISLAND

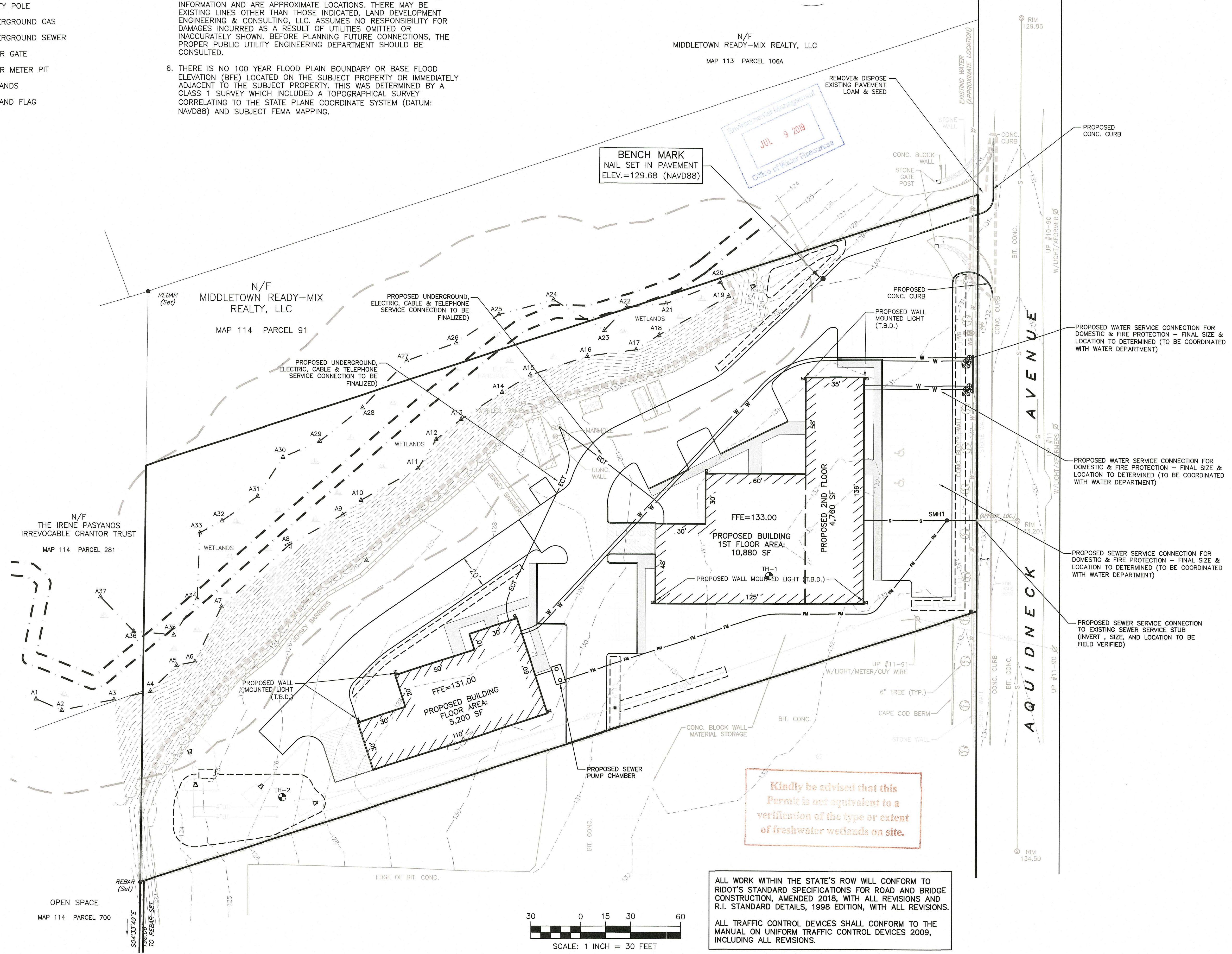
ASSESSORS REFERENCE:
 MAP 114 PARCEL 87 (968 AQUIDNECK AVENUE)
 MAP 114 PARCEL 89 (990 AQUIDNECK AVENUE)
 MAP 114 PARCEL 507 (VACANT LOT)

TRAFFIC SENSITIVE LIMITED BUSINESS (LBA) ZONING DISTRICT		
REGULATION	REQUIREMENT	PROPOSED
MIN. LOT AREA	20,000 SQ. FT.	124,067 SQ. FT.
LOT FRONTAGE	300 FT.	*250 FT.
FRONT SETBACK	10 FT.	68 FT.
SIDE SETBACK	20 FT.	20.8 FT.
REAR SETBACK	50 FT.	129.3 FT.
MAX. BUILDING HEIGHT	35 FT.	- FT.
MAX. LOT COVERAGE	35%	13%

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 16 2019 FILE # 19-0006
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

680 Aquidneck Avenue
 Middletown, RI 02842
 T: 401-354-2050 F: 401-369-9775
 WWW.SDE-LDEC.COM

LOCUS NOT TO SCALE



UTILITY & DRAINAGE WORK NOTES:

- UTILITY WORK SUCH AS SEWER, WATER, GAS, ELECTRIC, ETC. CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE R.I.D.O.T. UTILITY PERMIT - CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
- THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

NO.	DATE	DESCRIPTION	APPROVED
1.	3/25/19	REVISED PER RI DOT & DEM COMMENTS	
2.	5/10/19	CURB RELOCATION PER RI DOT COMMENTS	
3.	5/30/19	GENERAL REVISIONS PER RI DOT COMMENTS	
4.	7/8/19	GENERAL REVISIONS PER RI DOT COMMENTS	

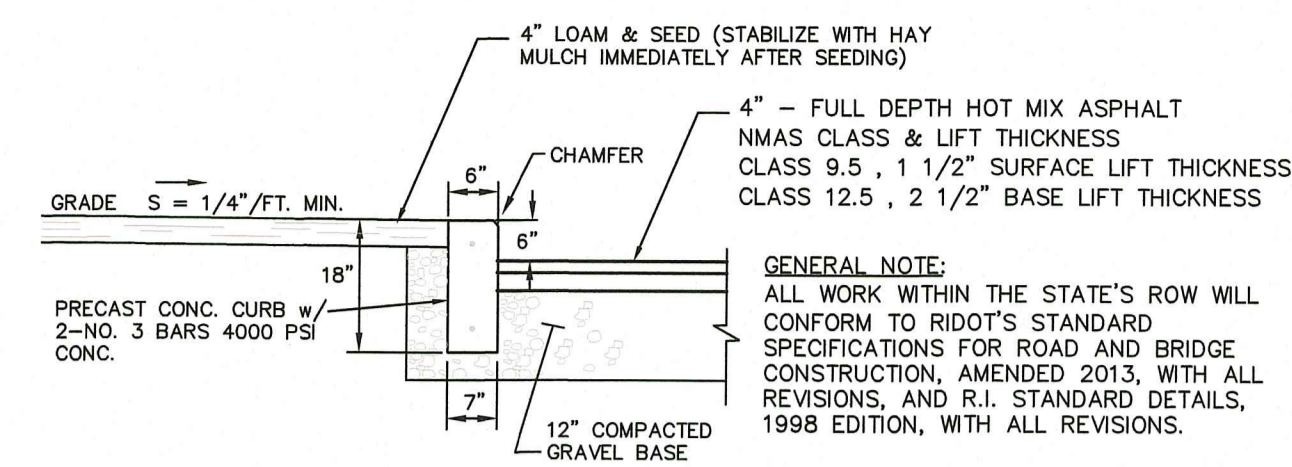
DATE: NOVEMBER 28, 2018
 DRAWN BY: RT / RLM COMPS BY: RT / RLM CHECK BY: RLM/MMR
 PROJECT NO. 18116

ISSUED FOR:
PERMITTING

BUILDING SITE PLAN
 990 AQUIDNECK AVENUE
 MIDDLETOWN, RHODE ISLAND
 ASSESSORS MAP 114, PARCELS 87, 89 & 507
 PREPARED FOR
 A1 ROOFING & CONSTRUCTION COMPANY

DRAWING TITLE:
UTILITY & LIGHTING PLAN

SCALE: **1" = 30'**
 SHEET NO.
6 OF 8

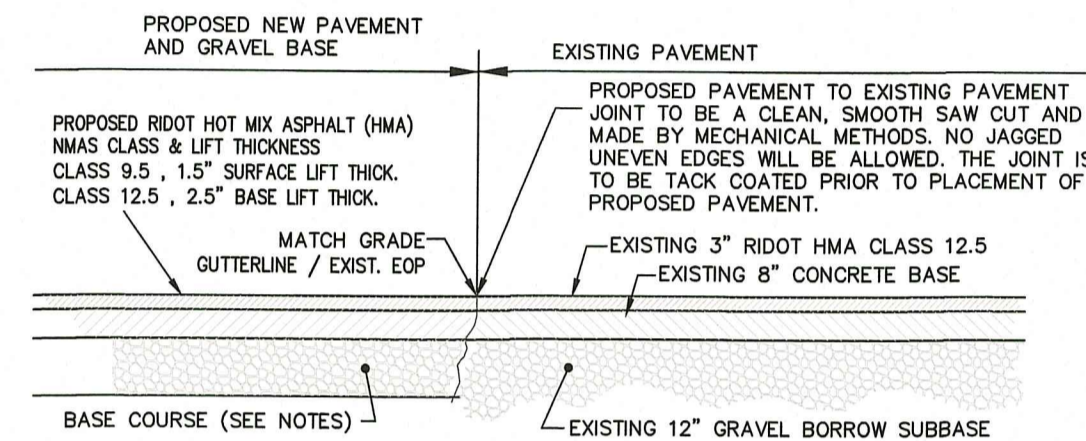


PAVEMENT & PRECAST CONCRETE CURB DETAIL
NOT TO SCALE

NOTES:

- HOT MIX ASPHALT (HMA) SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06, AND RIDOT SECT. 401.03.11 AND AS SPECIFIED IN THE RIDOT-HMA CONSTRUCTION SPECIFICATIONS.
- 6" GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11 AS LISTED BELOW:
GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE, STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:

SIEVE DESIGNATION	PERCENT PASSING	MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION
1/2 IN NO. 4	50-95	
NO. 50	8-28	
NO. 200	0-10	

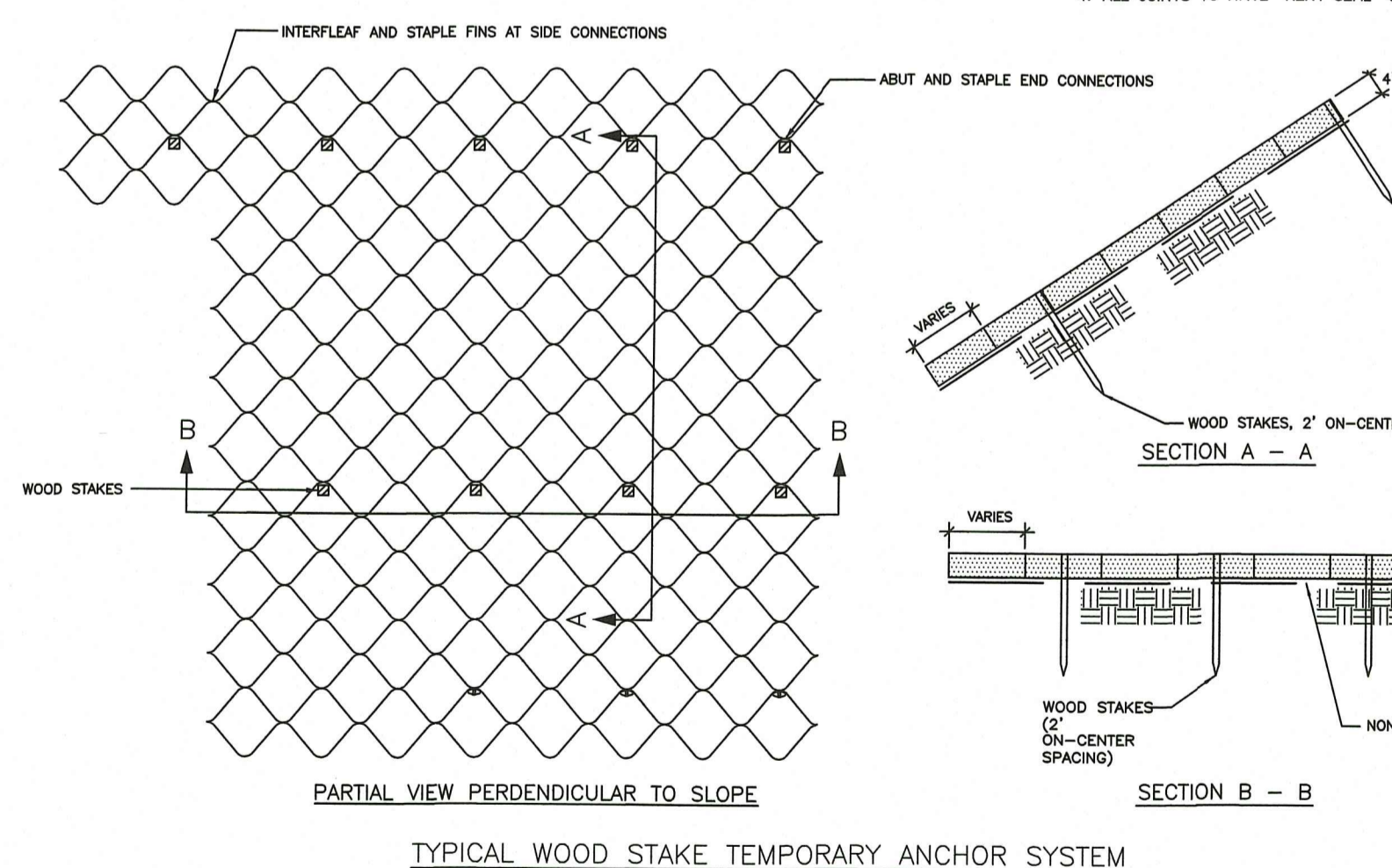


PAVEMENT SAW CUT & MATCH ROADWAY ENTRANCE & UTILITY TRENCH
NOT TO SCALE

NOTES:

- ROADWAY PAVEMENT SAW CUTTING CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 532 AND SECTION 534.03.1 OF THE R.I. STANDARD SPECIFICATIONS.
- AGGREGATES, GRAVEL, BASE AND SUBBASE COURSES MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 300 AND SECTION M.01 OF THE R.I. STANDARD SPECIFICATIONS.
- PAVEMENT MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 400 AND SECTION M.03 OF THE R.I. STANDARD SPECIFICATIONS AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
- CONCRETE MATERIAL AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 600 OF THE R.I. STANDARD SPECIFICATIONS.
- DEPTH(S) OF NEW MATERIALS SHALL AT MINIMUM MATCH EXISTING PAVEMENT CONSTRUCTION DEPTHS FOR GRAVEL BORROW, SUBBASE, BASE, AND HOT MIX ASPHALT (HMA).
- PAVEMENT CONSTRUCTION SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06, AND RIDOT SECT. 401.03.11 AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
- GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11.
- GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE, STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:

SIEVE DESIGNATION	PERCENT PASSING	MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION
1/2 IN NO. 4	50-85	
NO. 50	8-25	
NO. 200	0-10	

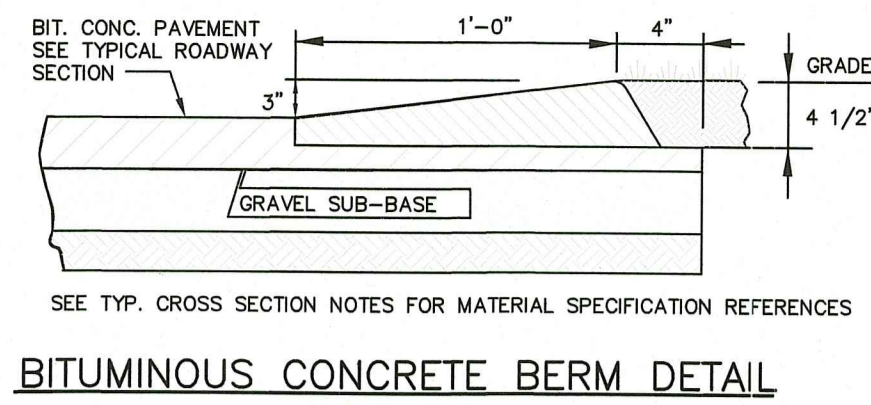


TYPICAL WOOD STAKE TEMPORARY ANCHOR SYSTEM

- NOTES:**
- GEOWEB SECTIONS SHALL BE ANCHORED, AS NECESSARY, TO RESIST SLIDING DUE TO GRAVITATIONAL FORCES AND/OR SHEET PILING ANCHOR MATERIALS INCLUDE STAKES AND/OR TENDONS WITH ATTRA CLIPS OR RESTRAINT PINS.
 - INTERNAL GEOTEXTILE MATERIAL ALONG ALL INTERFACE AREAS WITH GROUND CONTACT. THE ENDS OF GEOTEXTILE STRIPS SHALL BE BURIED IN TRENCHES AT THE CREST OF SLOPES OR TERMINATION POINT OF GEOWEB MATRESS ON SLOPES.
 - REFER TO MANUFACTURER INFORMATION FOR ADDITIONAL INSTALLATION DETAILS.
 - THE GEOWEB SYSTEM SHALL BE INSPECTED AFTER EVERY MAJOR RAINFALL EVENT FOR SLOPE STABILITY AND ANCHOR SYSTEMS UNTIL 75% GRAVEL COVER IS ESTABLISHED. DAMAGED STAKES SHALL BE REPLACED.

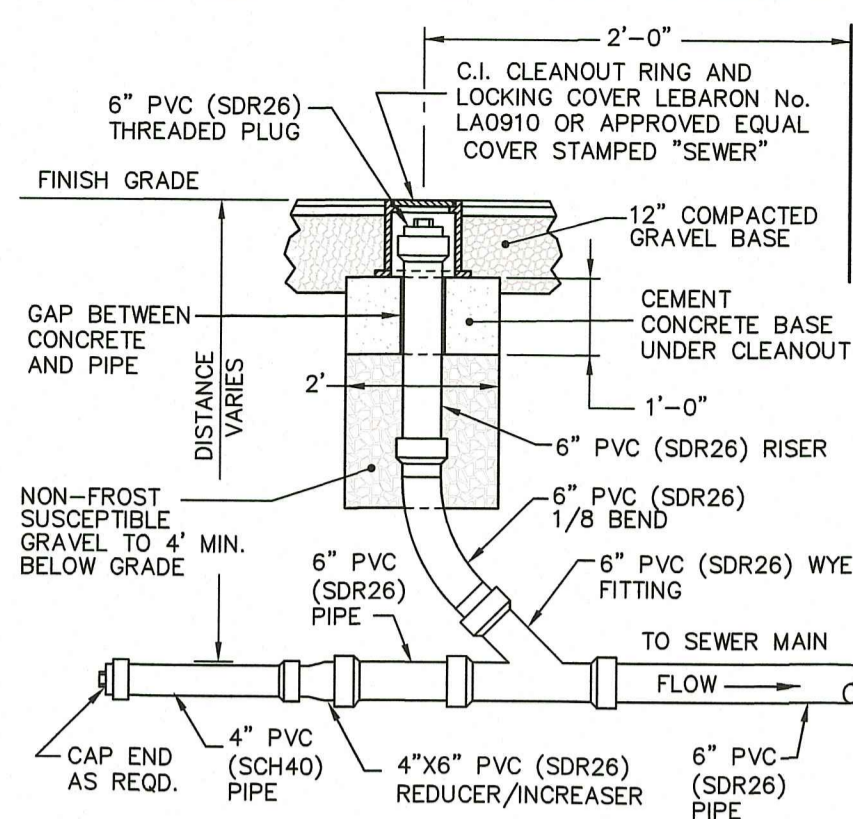
CROSS SECTION OF A TYPICAL GEOWEB® SLOPE PROTECTION SYSTEM

EMBANKMENT STABILIZATION FOR SLOPES GREATER THAN 2/1
NOT TO SCALE

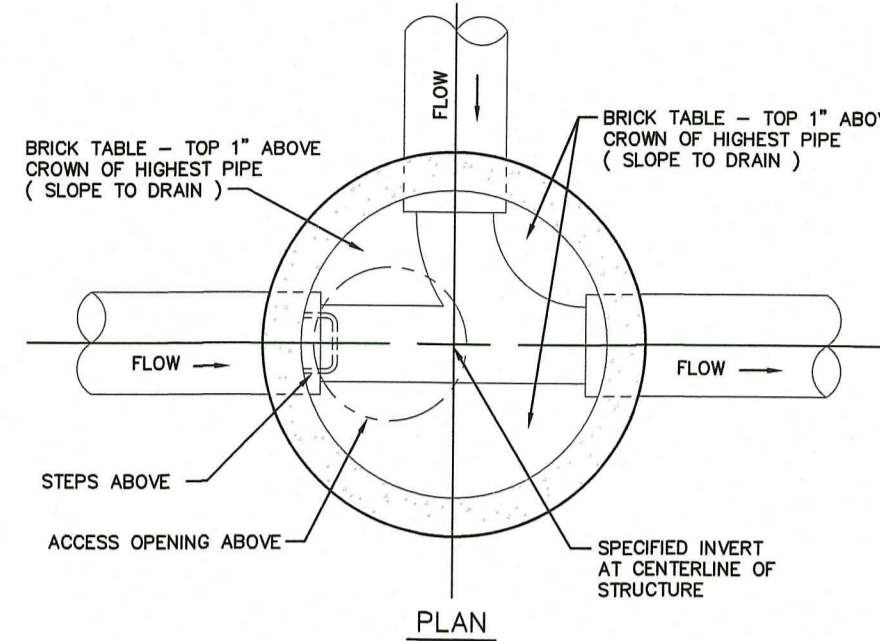


BITUMINOUS CONCRETE BERM DETAIL
NOT TO SCALE

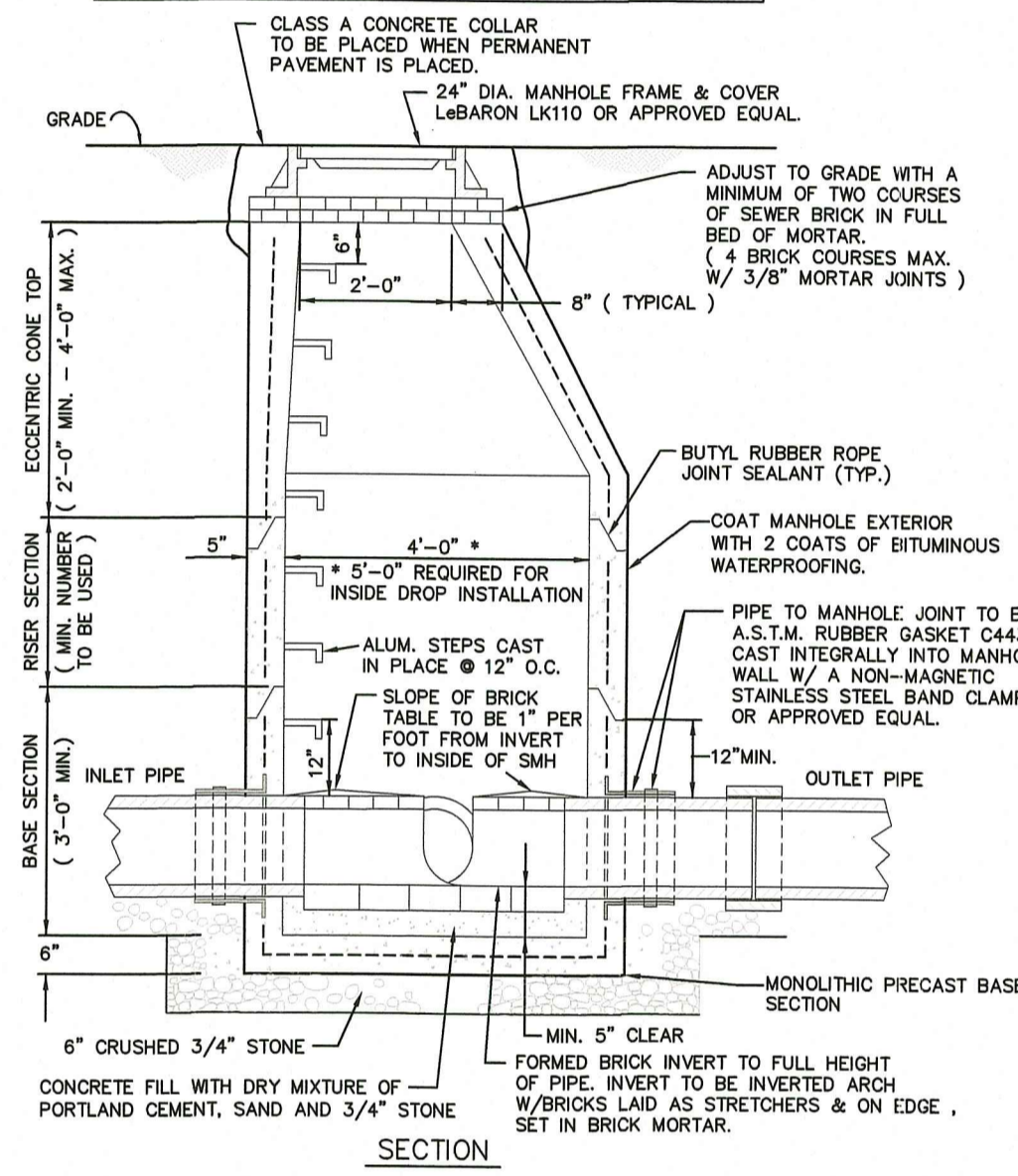
TYPICAL BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



TYPICAL BUILDING SEWER SERVICE STUB & CLEANOUT DETAIL
NOT TO SCALE

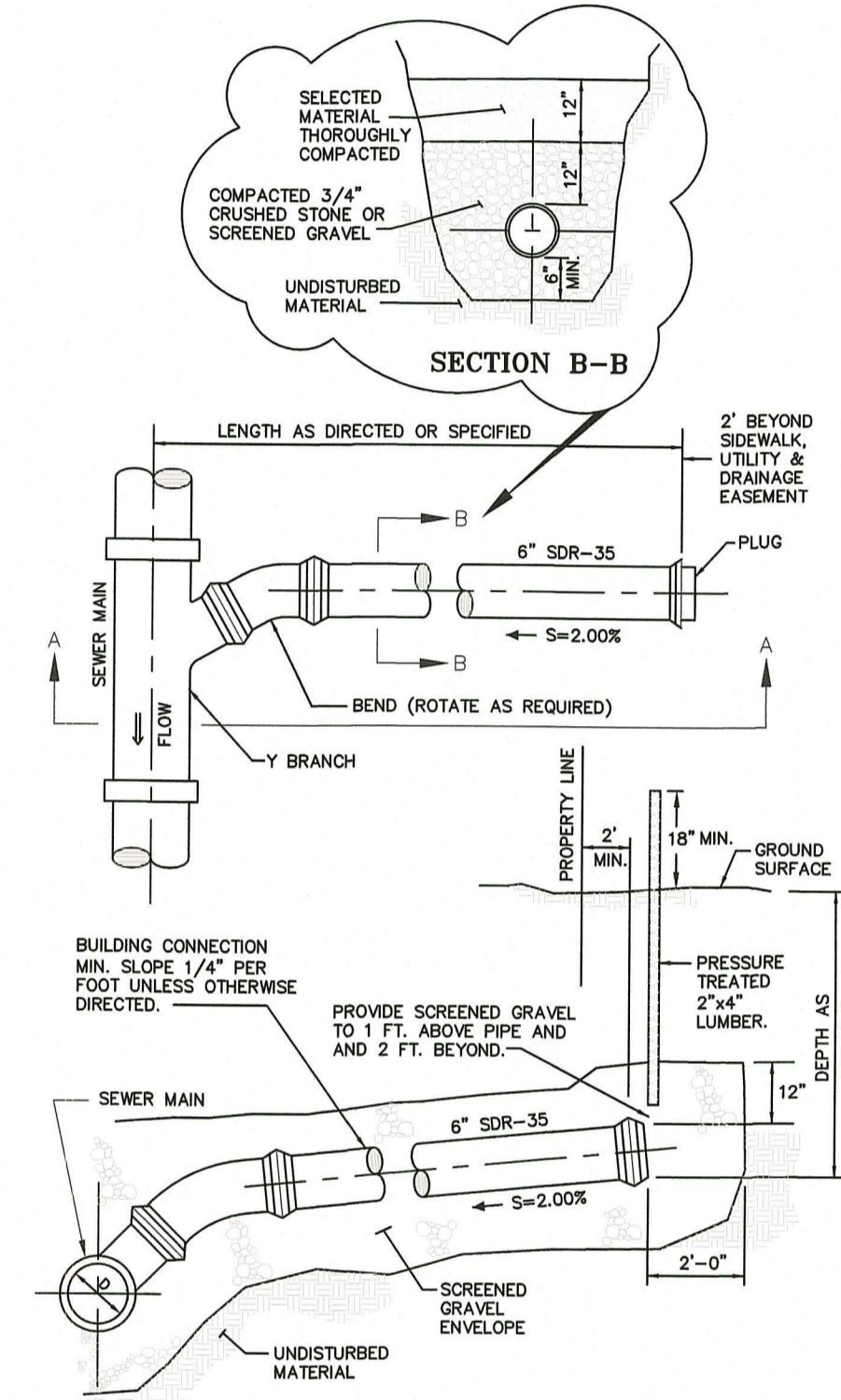


- NOTES:**
- ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.
 - PRECAST REINFORCED CONCRETE MANHOLE BARRELS TO BE PER ASTM A188 W/ 4000 PSI TYPE II CEMENT DESIGN LOADING PER AASHTO H20-44.



PRECAST CONCRETE SMH DETAIL
NOT TO SCALE

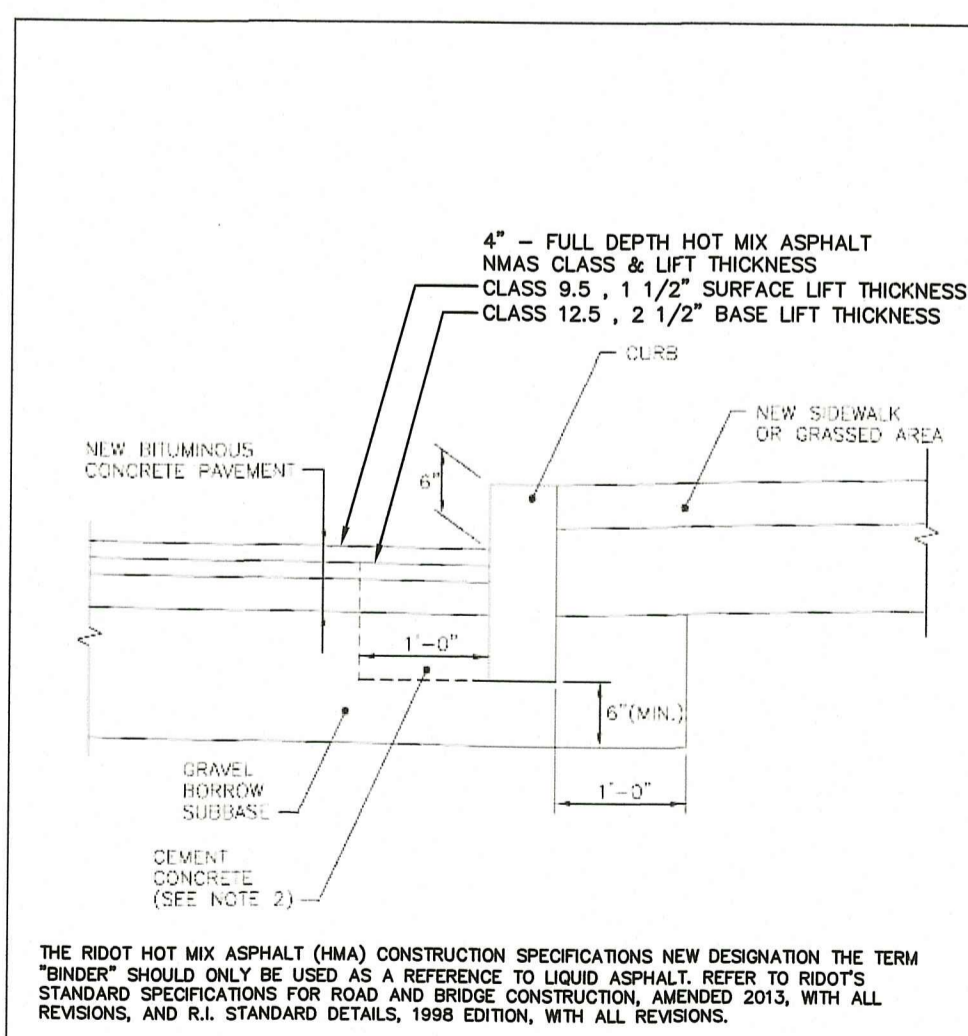
- NOTES:**
- PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
 - USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0".
 - FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 - ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.



SECTION A-A BUILDING SEWER CONNECTIONS FOR PVC PIPE
NOT TO SCALE

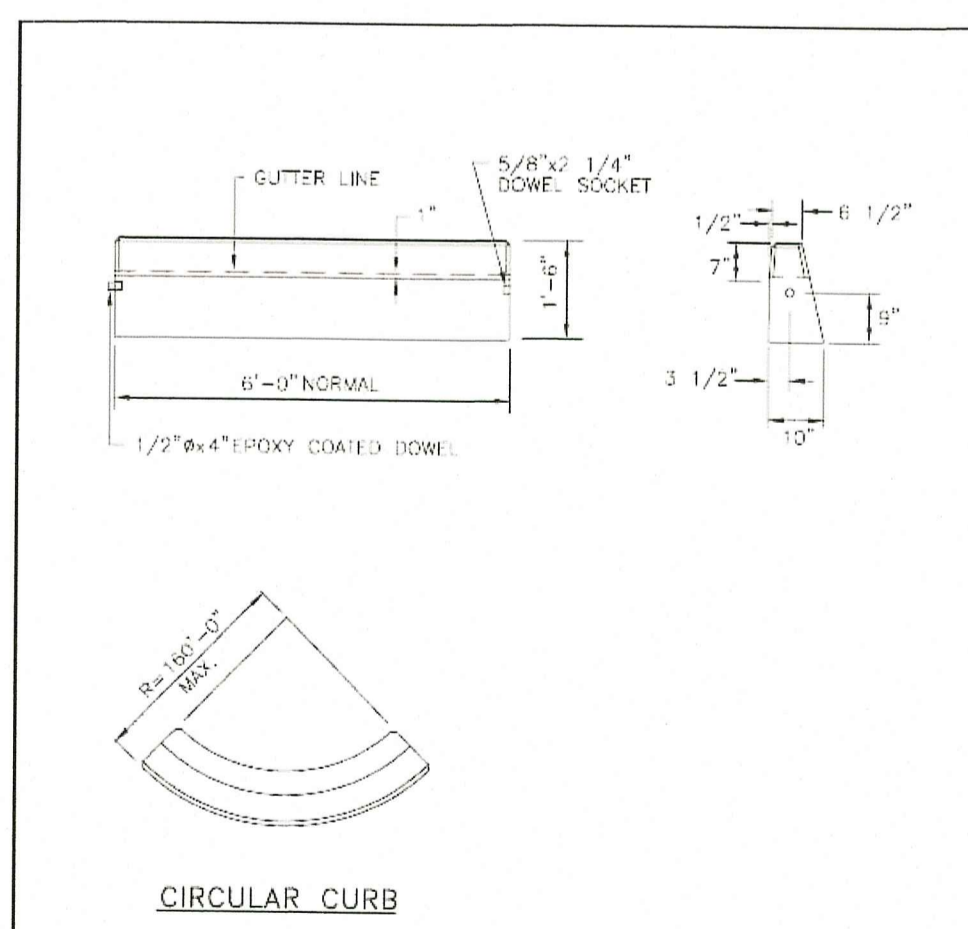
ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.



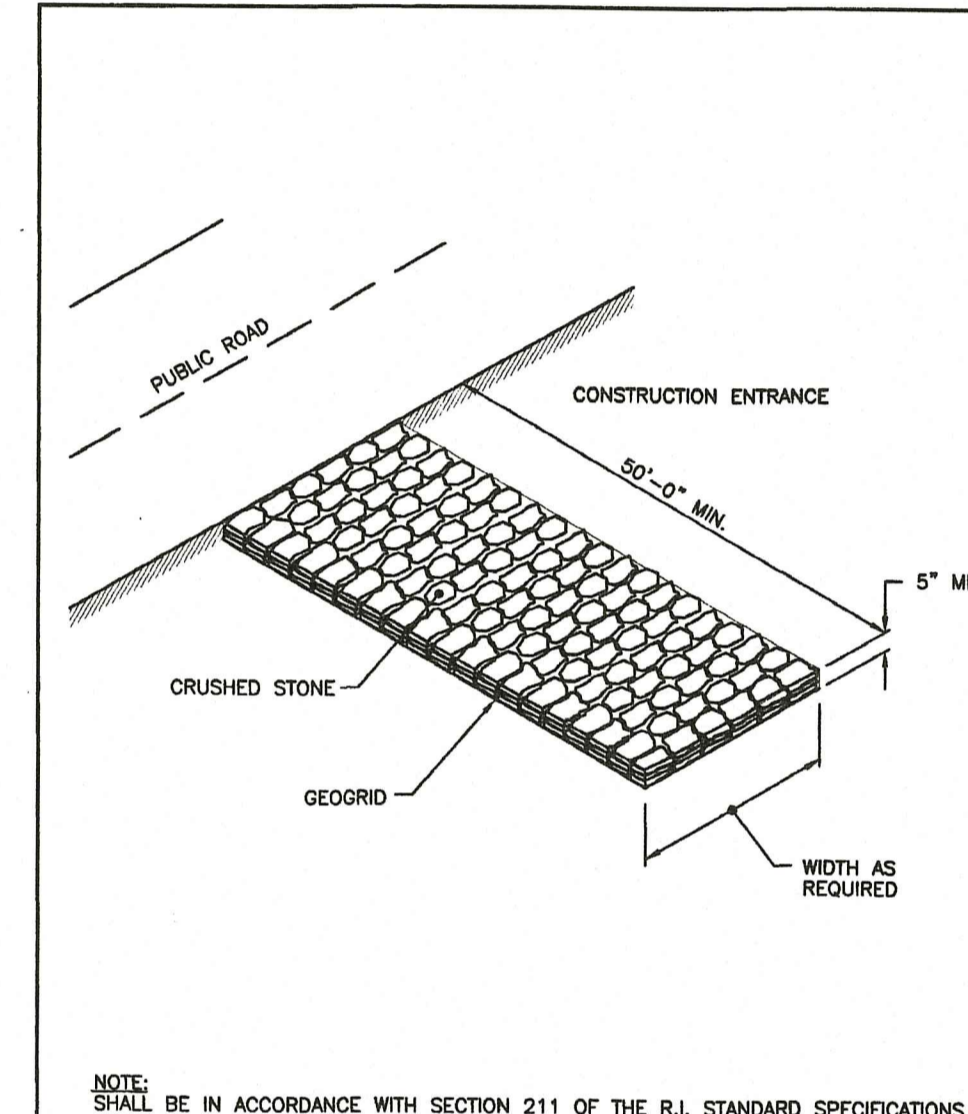
- NOTES:**
- THE RIDOT HOT MIX ASPHALT (HMA) CONSTRUCTION SPECIFICATIONS NEW DESIGNATION THE TERM "BINDER" SHOULD ONLY BE USED AS A REFERENCE TO LIQUID ASPHALT. REFER TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2018, WITH ALL REVISIONS, AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
 - EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
CURB SETTING DETAIL			
NO.	BY	DATE	SCALE
1	W.P.	MAR-20	7.6.0

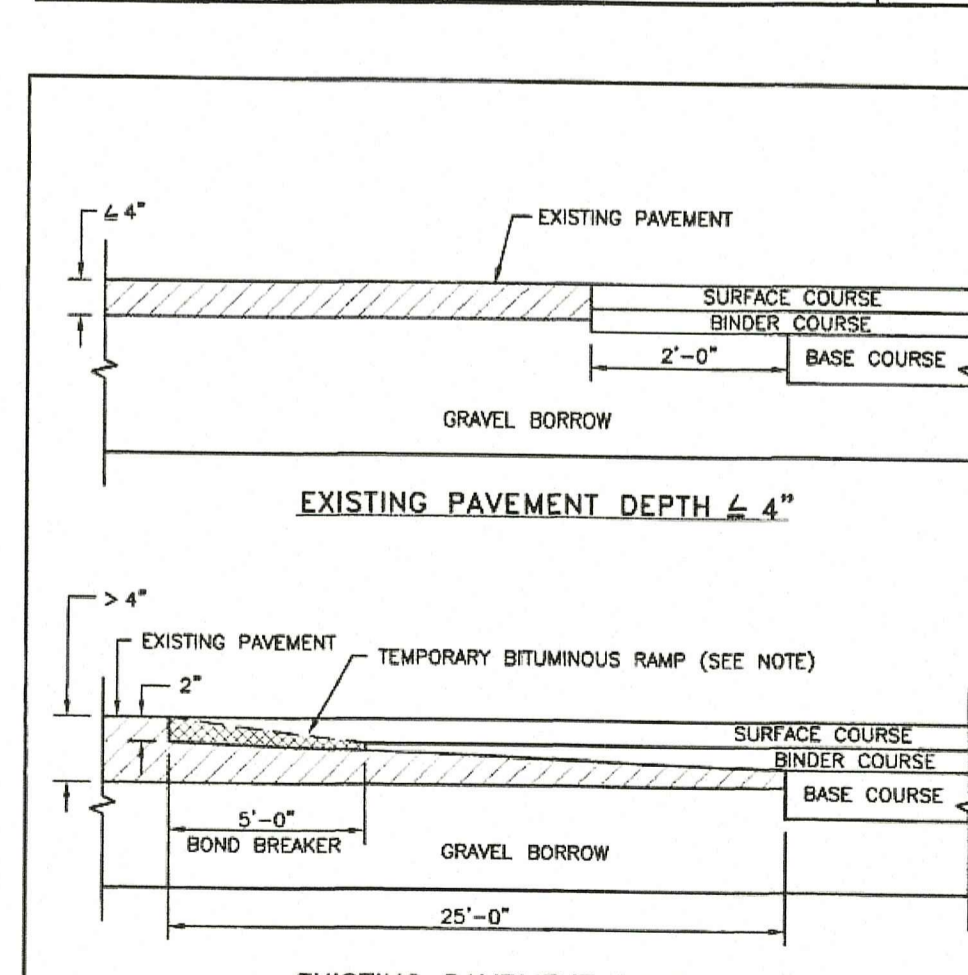


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 - MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FULLER PIECES TO BE 3'-0".
 - EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 - CIRCULAR CURBS IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURBS TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 - EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
PRECAST CONCRETE CURB			
NO.	BY	DATE	SCALE
1	W.P.	MAR-20	7.1.0



TRANSVERSE PAVEMENT CUT AND MATCH
NOT TO SCALE



- NOTE:**
- A BOND BREAKER (TAPERED OR EQUIVALENT) WILL BE PLACED 5'-0" FROM THE JOINT AND COVERED WITH THE BINDER COURSE AS THE TEMPORARY RAMP. PRIOR TO PLACING THE SURFACE COURSE, THE BINDER COURSE AND BOND BREAKER WILL BE REMOVED.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
CONSTRUCTION ACCESS			
NO.	BY	DATE	SCALE
1	W.P.	MAR-20	7.1.0

Environmental Management
JUL 9 2019
Office of Water Resources

Maximum Weight - 28 Lbs.

Ballast Compartment Access Door
Prismatic Glass Optics
Photocontrol Window

Wallpack® IV
GLASS LED

INFRASTRUCTURE OUTDOOR

- NOTE:**
- LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN ZONING BYLAW REGARDING SITE'S ZONING USE RECOMMENDED LIGHTING.
 - REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL AND CONSTRUCTION.
 - FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.

IDE
LDEC
Land Development Engineering & Consulting, LLC

680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION
3	5/30/19	GENERAL REVISIONS PER RI DOT COMMENTS
2	5/10/19	CURB RELOCATION PER RI DOT COMMENTS
1	3/25/19	REVISED PER RI DOT & DEM COMMENTS

PLAN REVISIONS

DATE: NOVEMBER 28, 2018

DRAWN BY: RT COMPS BY: RT CHECK BY: MER

PROJECT NO. 18116

ISSUED FOR: PERMITTING

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

BUILDING SITE PLAN
 990 AQUIDNECK AVENUE
 MIDDLETOWN, RHODE ISLAND
 ASSESSORS MAP 114, PARCELS 87, 89 & 507
 PREPARED FOR
 A1 ROOFING & CONSTRUCTION COMPANY

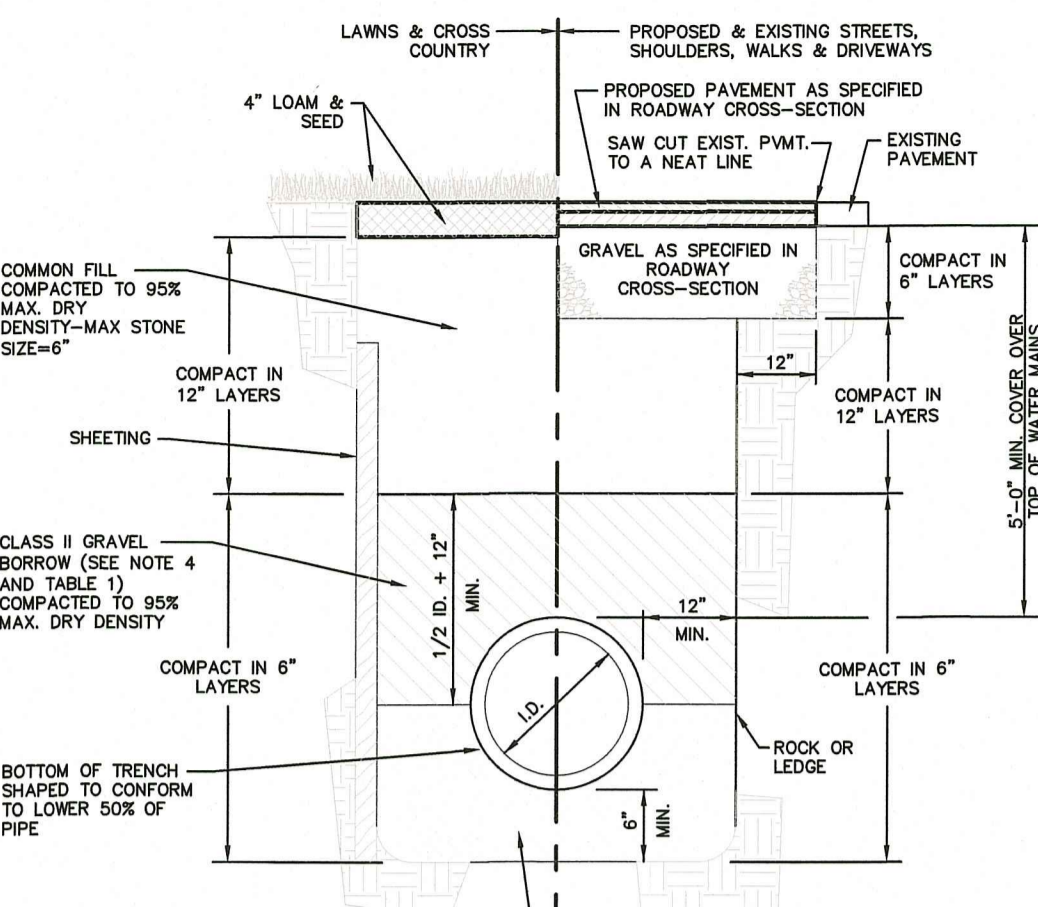
DRAWING TITLE:

CONSTRUCTION DETAILS

SCALE: NOT TO SCALE

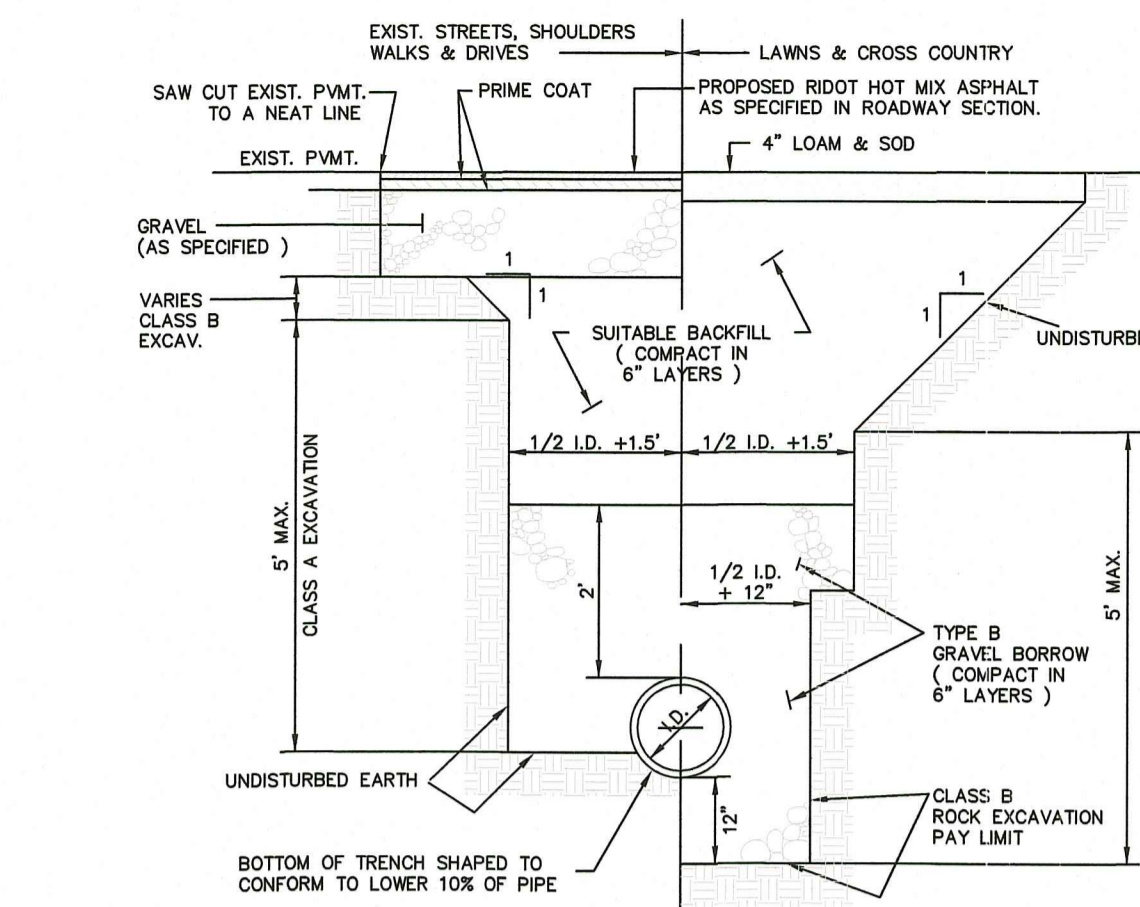
SHEET NO.

7 OF 8

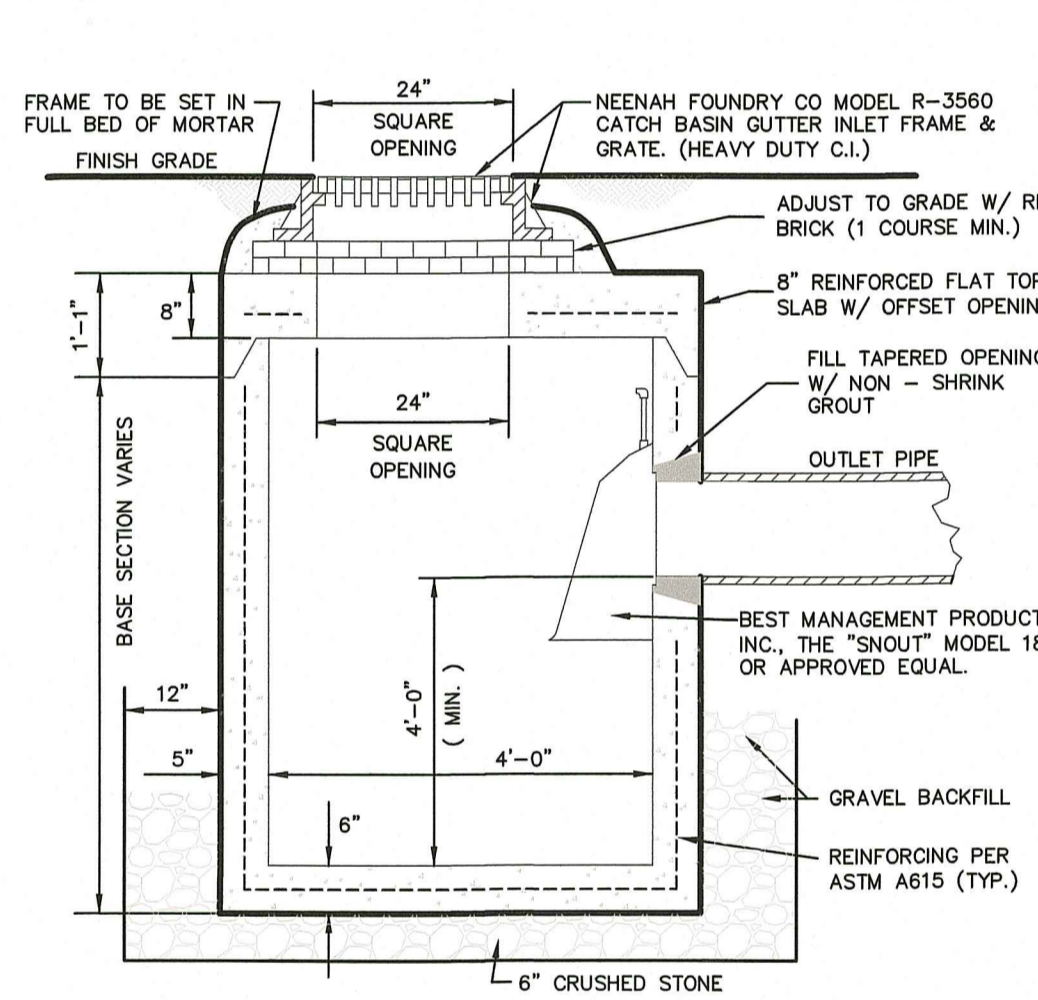
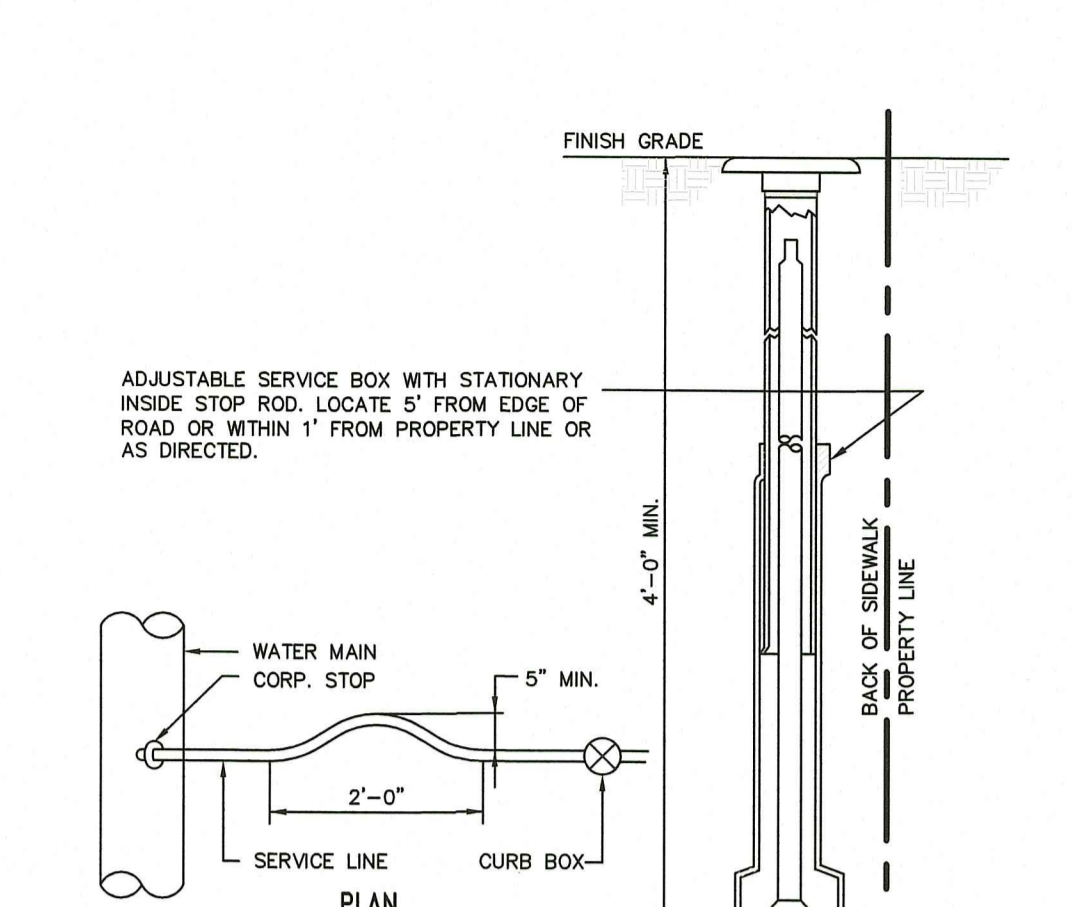
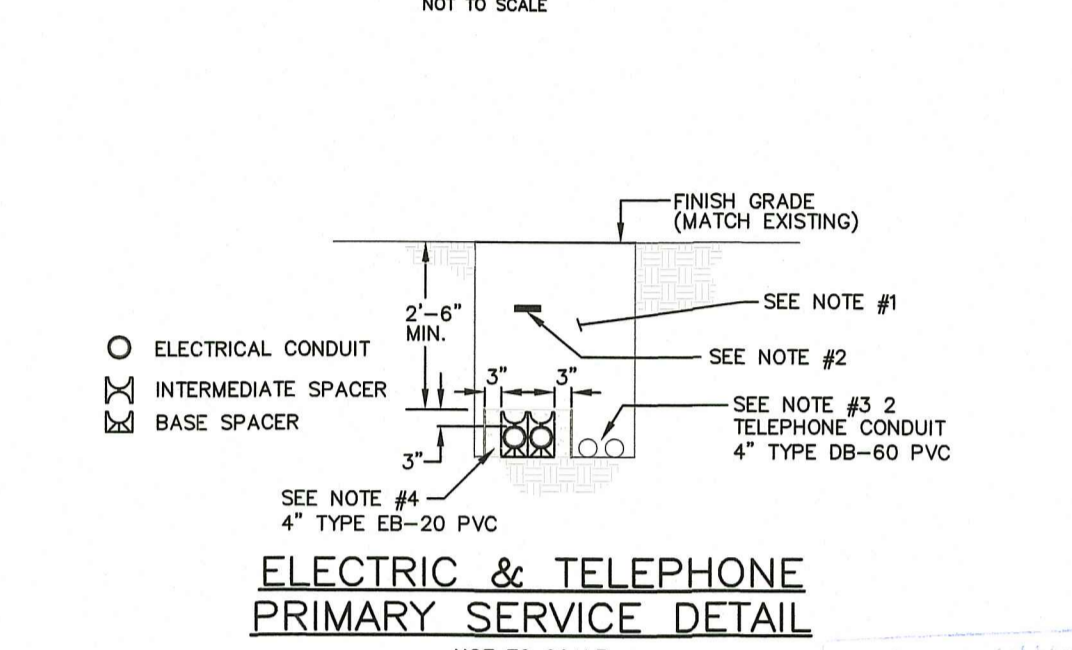
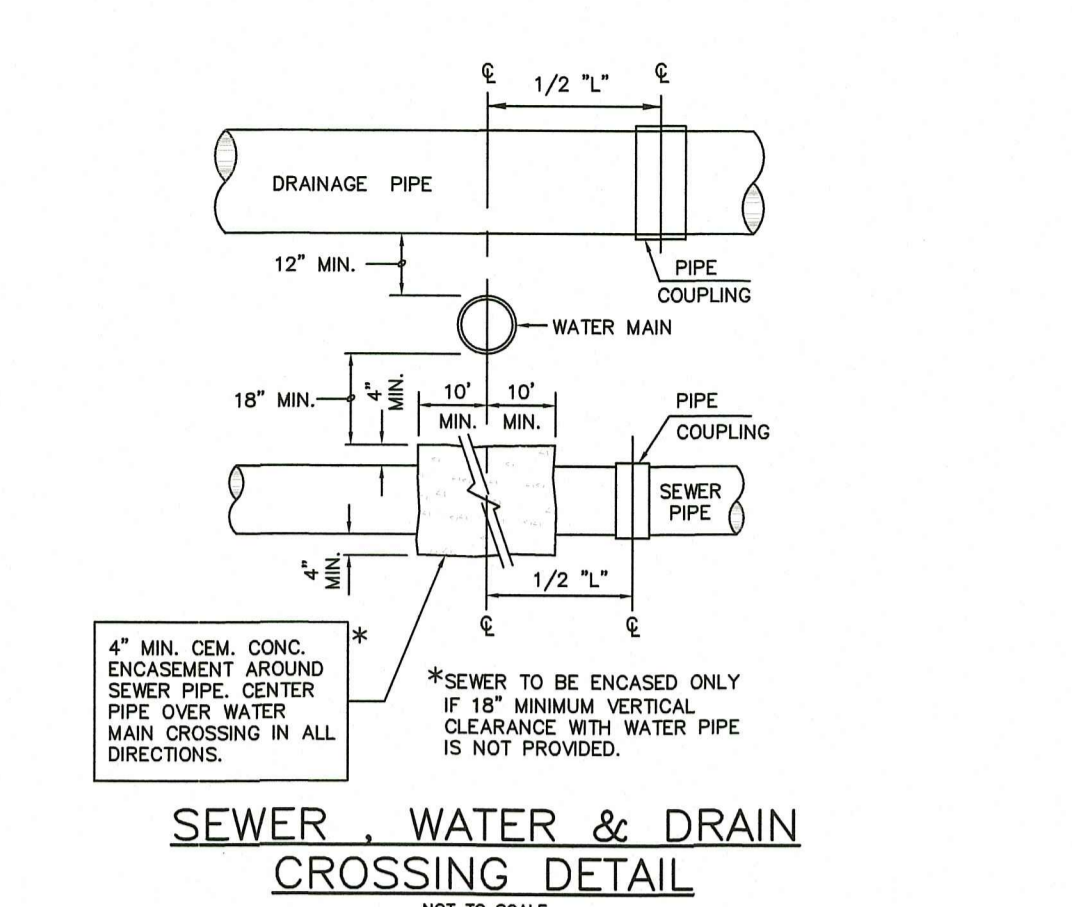
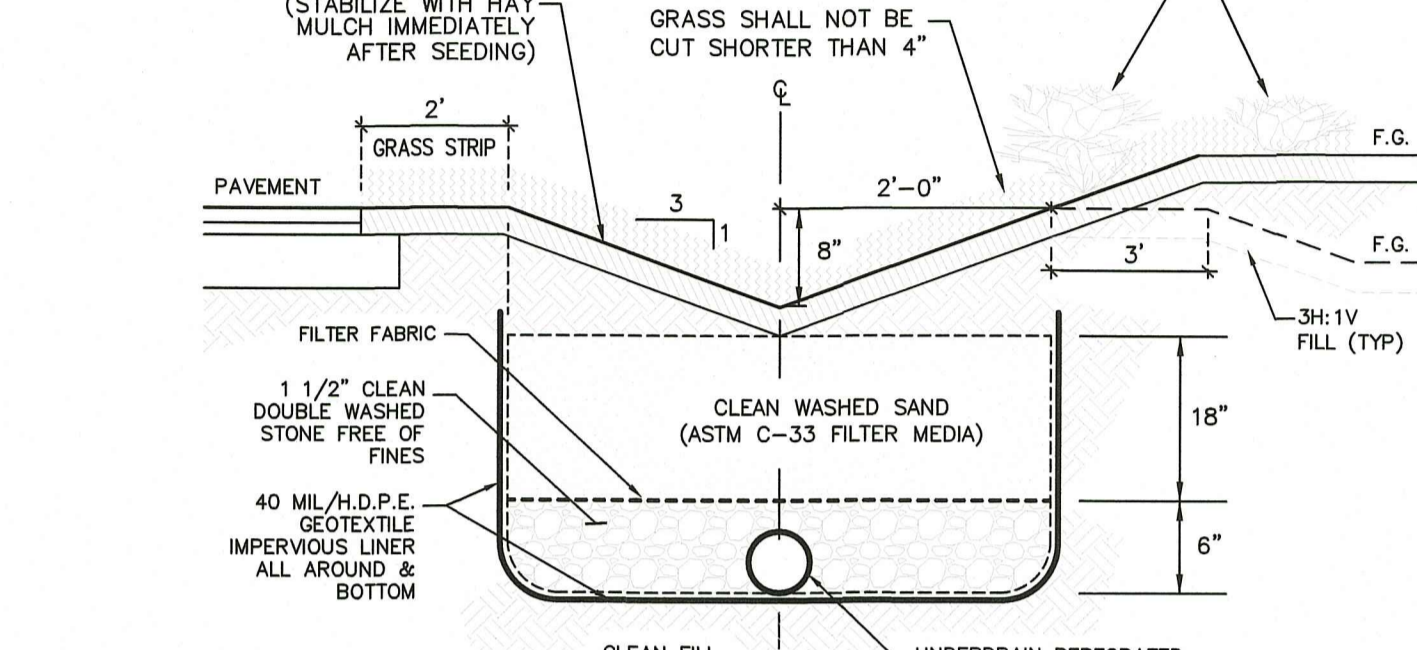
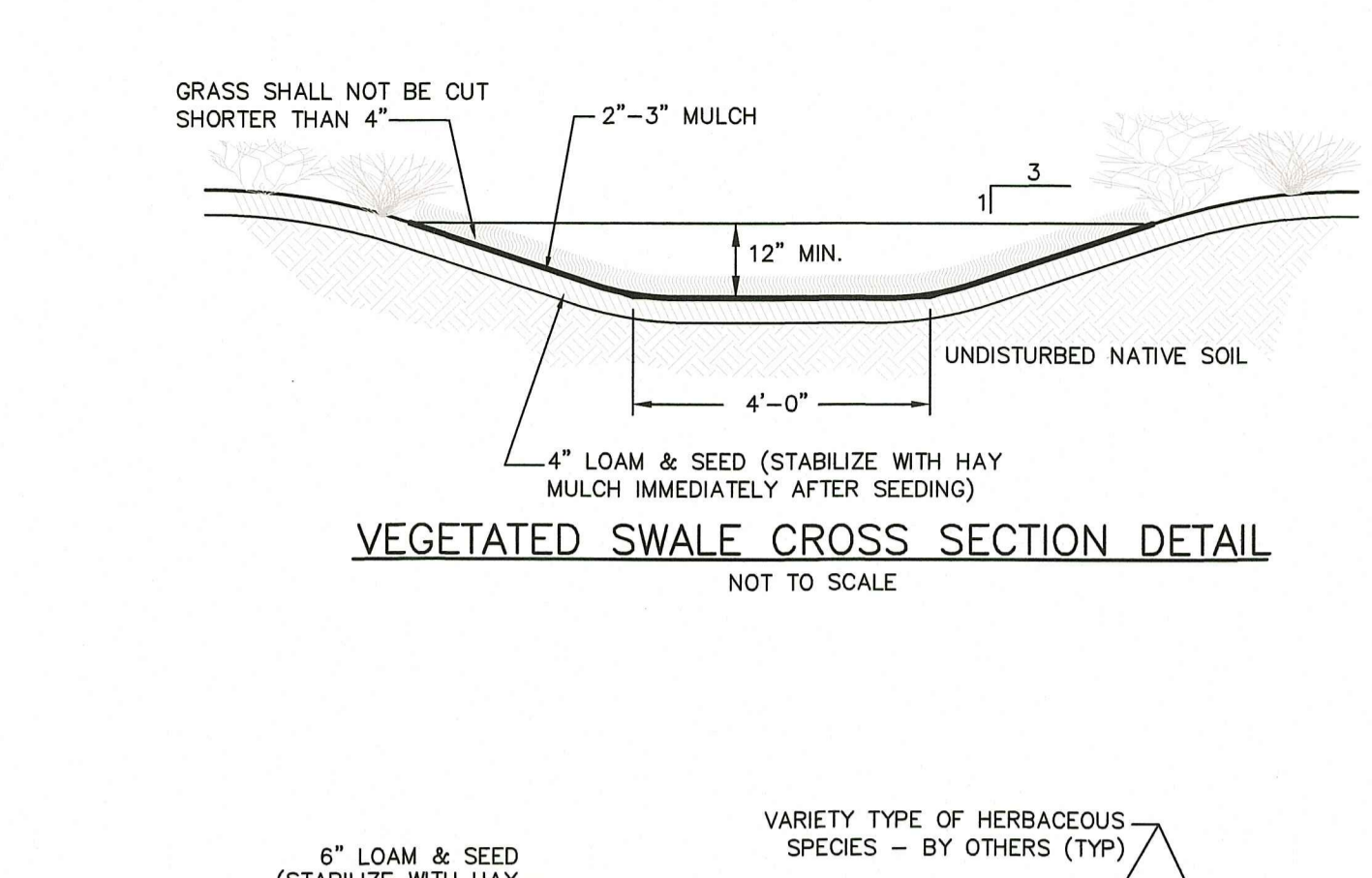


NOMINAL PIPE SIZE (IN.)	MAXIMUM STONE SIZE (IN.)
2 TO 4	1/2
6 TO 8	3/4
10 TO 16	1
18 AND LARGER	1-1/2

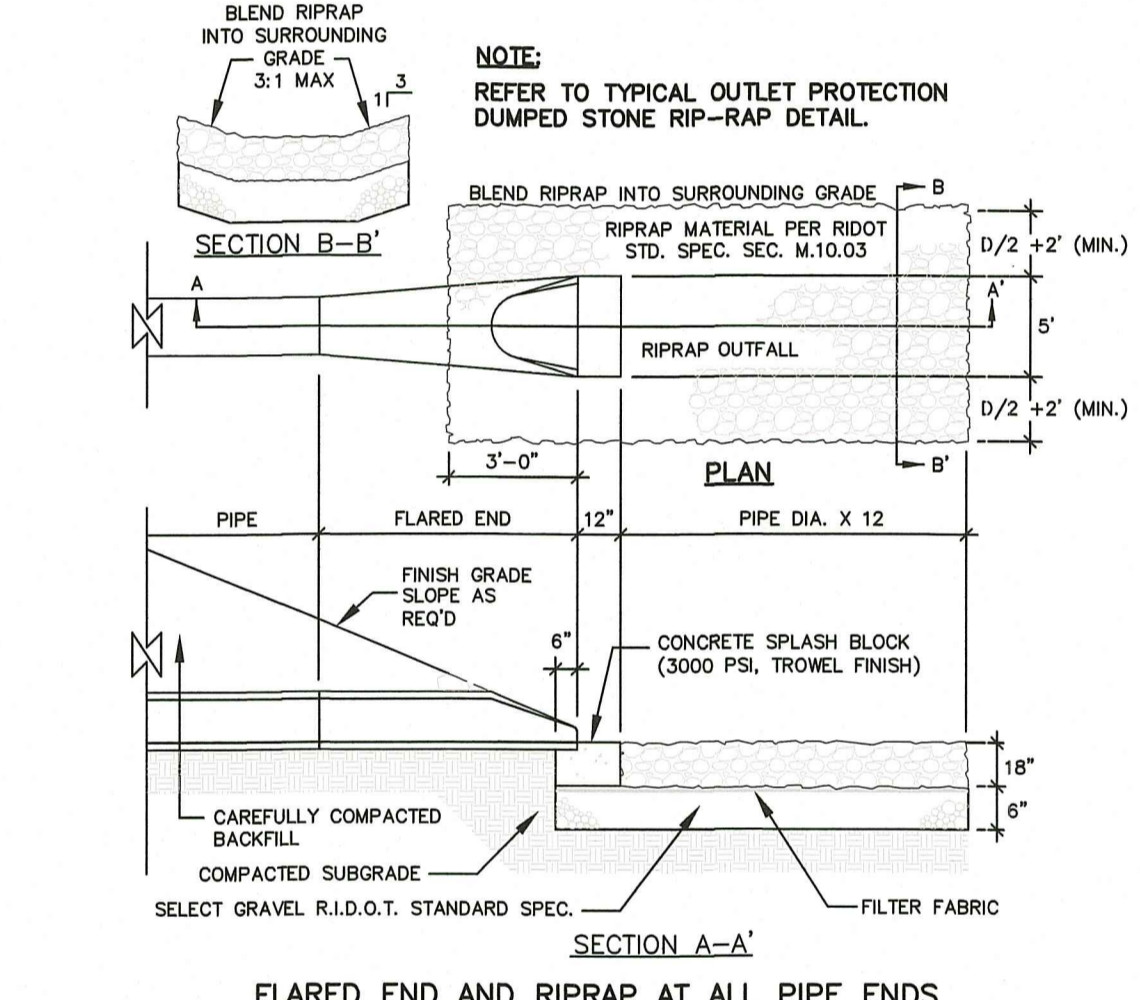
- NOTES:**
- SHEETING IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE, UNLESS OTHERWISE INDICATED OR DIRECTED.
 - "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UNDERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
 - SCREENED GRAVEL SHALL BE HARD, DURABLE, ROUNDED PARTICLES, FREE FROM SAND, LOAM, CLAY, EXCESS FINES AND DELICTERIOUS MATERIAL, UNIFORMLY GRADED SUCH THAT NOT LESS THAN 90% WILL PASS A 1/2 INCH SIEVE AND NOT MORE THAN 5% PASS A NO. 4 SIEVE.
 - CLASS II GRAVEL BORROW SHALL BE A CLEAN, COARSE GRAINED GRAVEL-SAND MIXTURE, THE MIXTURE SHOULD CONTAIN LESS THAN 5% PASSING THE #200 SIEVE AS WELL AS COMPLYING TO THE REQUIREMENTS OF TABLE 1.
 - WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 5'-0" BEYOND THE PLUG.



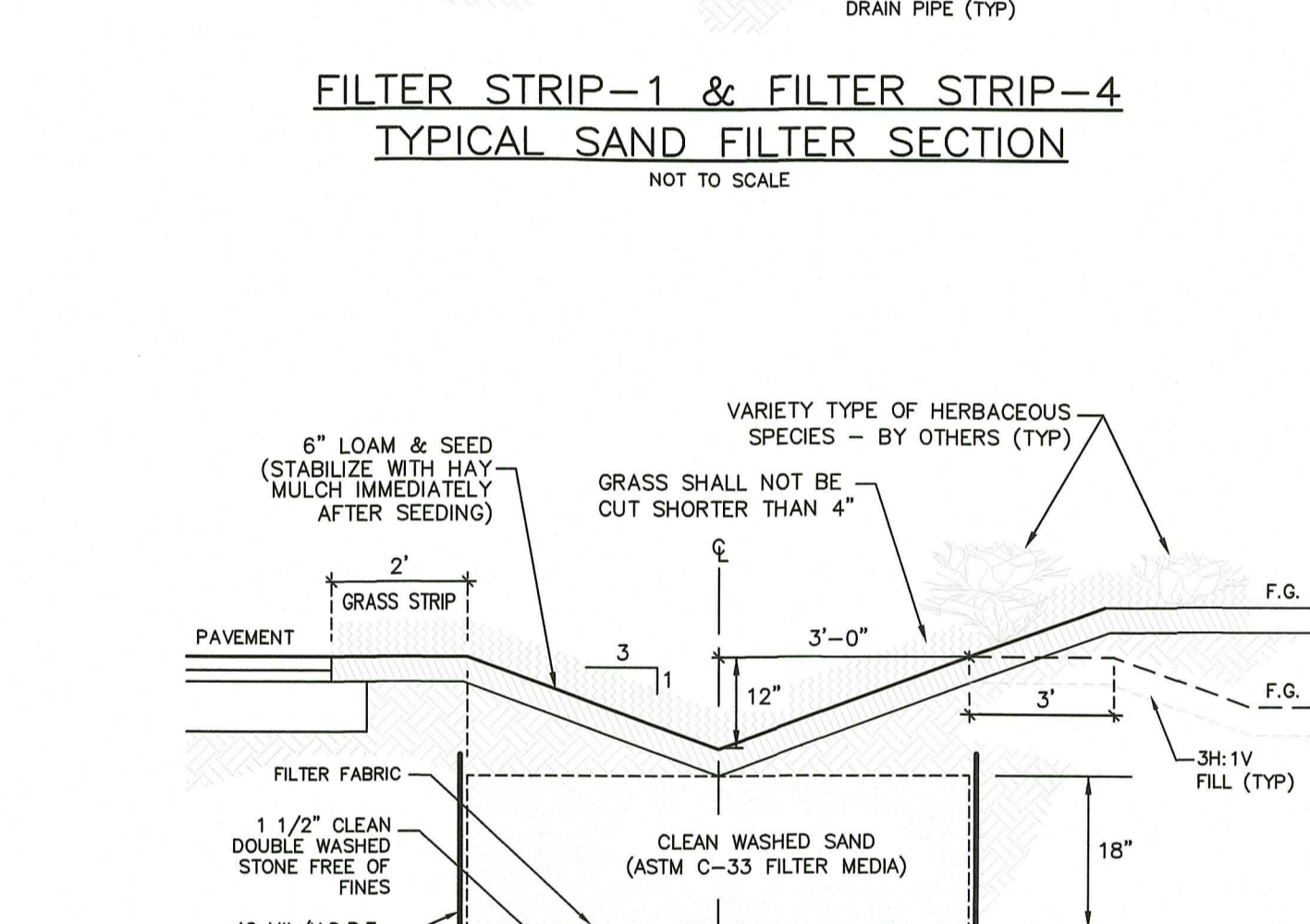
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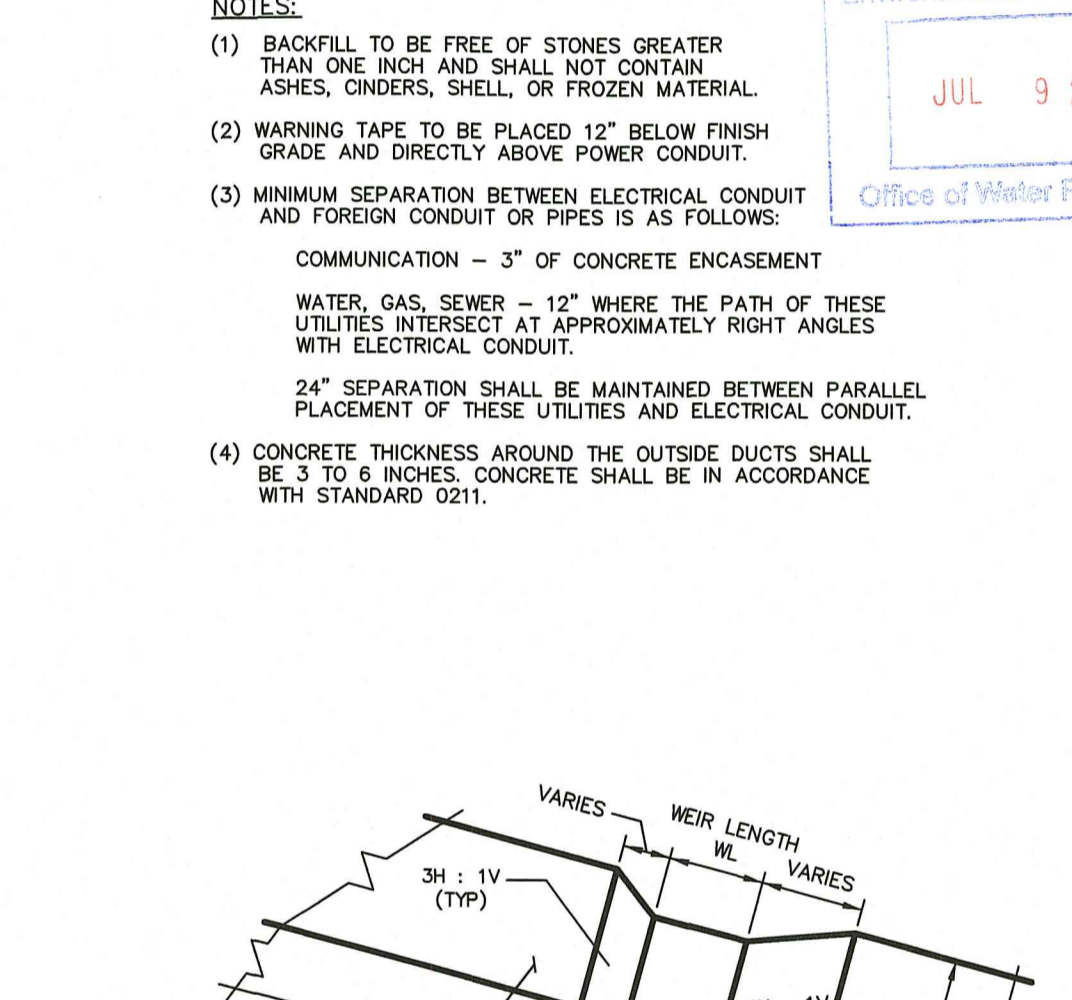
- NOTES:**
- PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
 - FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
 - ALL JOINTS TO HAVE "KENT SEAL" OR EQUAL.



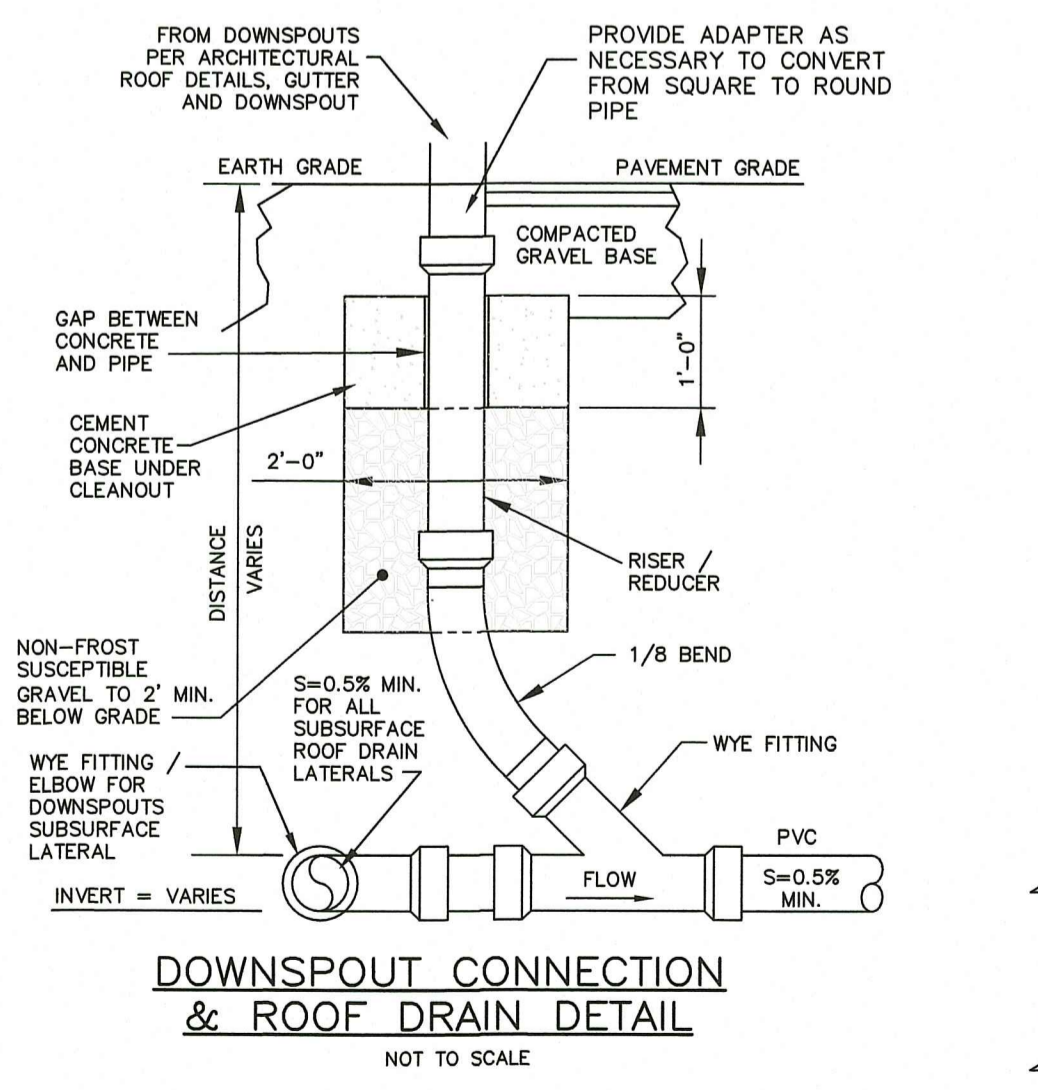
- NOTES:**
- 1.) RIP RAP SHALL CONFORM TO RHODE ISLAND D.O.T. STANDARD SPECIFICATIONS.



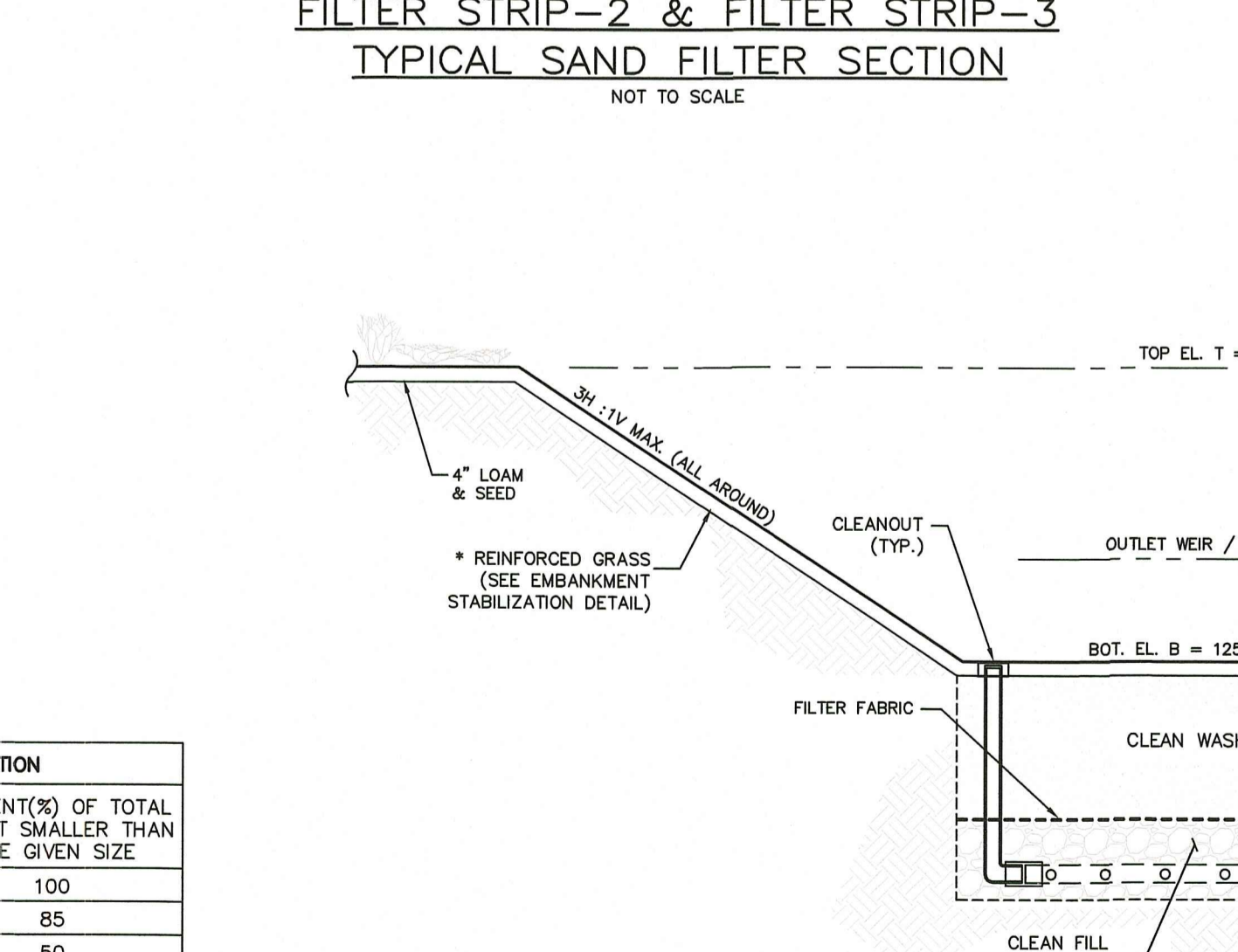
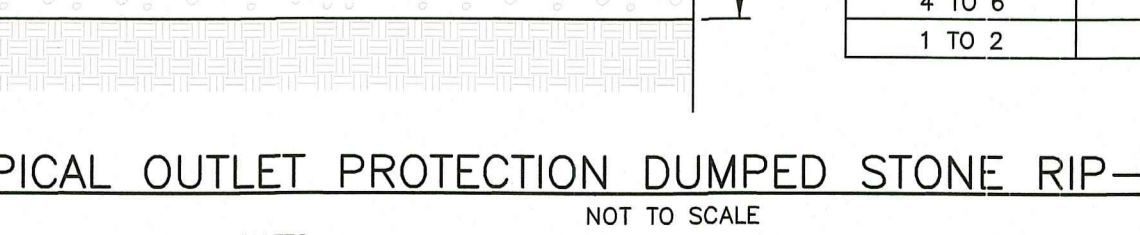
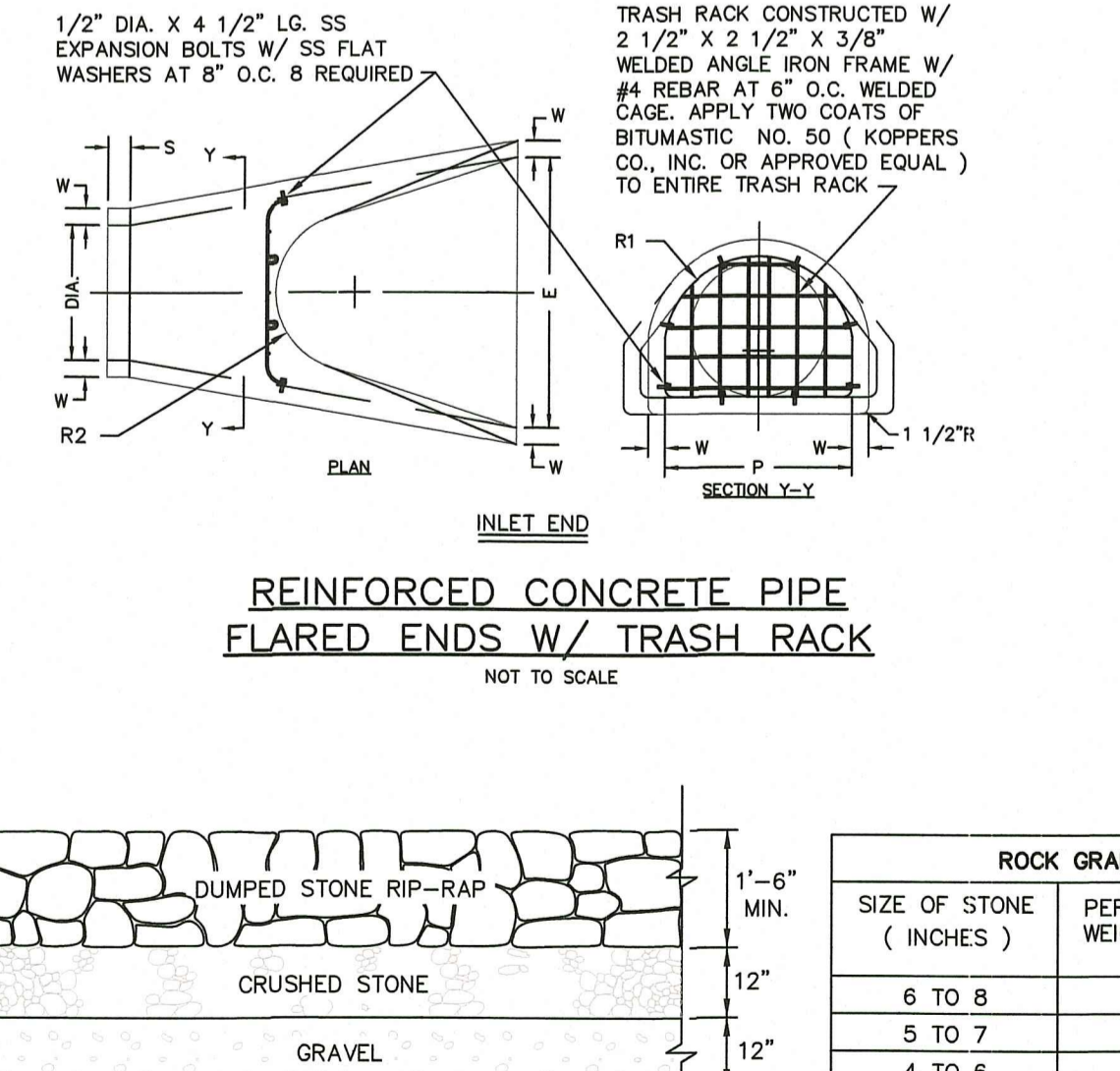
SIZE OF STONE (INCHES)	PERCENT (%) OF TOTAL WEIGHT SMALLER THAN THE GIVEN SIZE
6 TO 8	100
5 TO 7	85
4 TO 6	50
1 TO 2	15



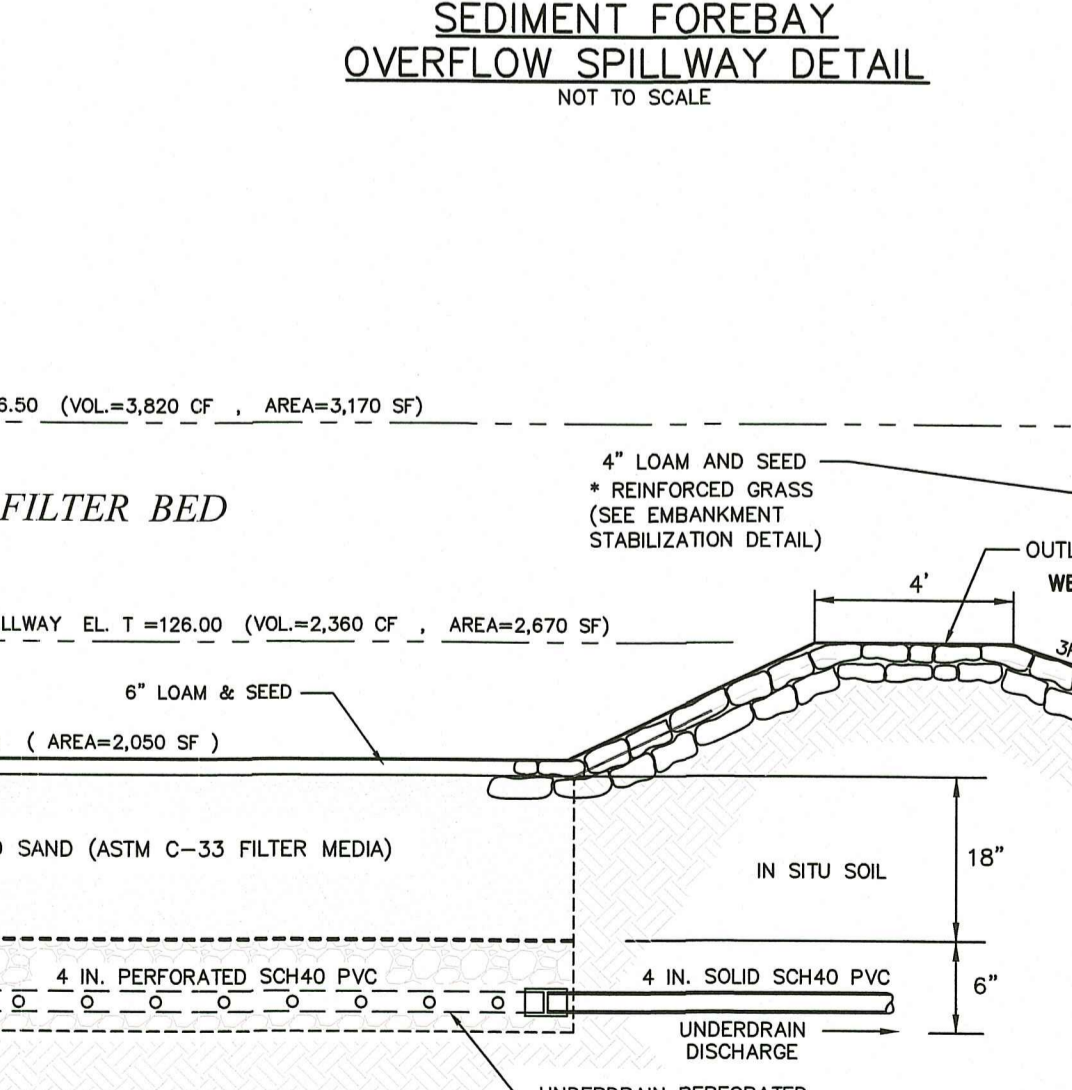
- NOTES:**
- BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CINDERS, SHELL, OR FROZEN MATERIAL.
 - WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE POWER CONDUIT.
 - MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:
COMMUNICATION - 3" OF CONCRETE ENCASEMENT
WATER, GAS, SEWER - 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.
24" SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL PLACEMENT OF THESE UTILITIES AND ELECTRICAL CONDUIT.
 - CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES. CONCRETE SHALL BE IN ACCORDANCE WITH STANDARD 0211.



ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.



FILTER BED	EXISTING ELEVATION	BASIN BOTTOM	BOTTOM OF CLEAN SAND	SHOT ELEVATION
1	128.2	126.2	124.7	119.2
2	127.5	125.0	123.5	113.0



- NOTES:**
- REFER TO PROJECT DRAINAGE REPORT HYDROCAD® CALCULATIONS FOR ADDITIONAL INFORMATION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 16 2019 FILE # 19-0006
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



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Middletown, RI 02842
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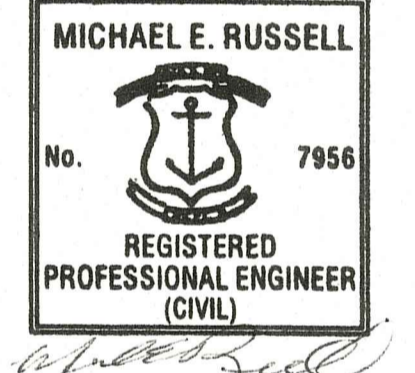
PLAN REVISIONS

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ISSUED FOR: PERMITTING



BUILDING SITE PLAN
990 AQUIDNECK AVENUE
MIDDLETOWN, RHODE ISLAND
ASSESSORS MAP 114, PARCELS 87, 89 & 507
PREPARED FOR
A1 ROOFING & CONSTRUCTION COMPANY

DRAWING TITLE:

CONSTRUCTION DETAILS

SCALE: NOT TO SCALE

SHEET NO.