

SITE REDEVELOPMENT PLANS

54 Bristol Ferry Road
(Route 114)

Assessors Map 28 , Parcel 17
Portsmouth , Rhode Island

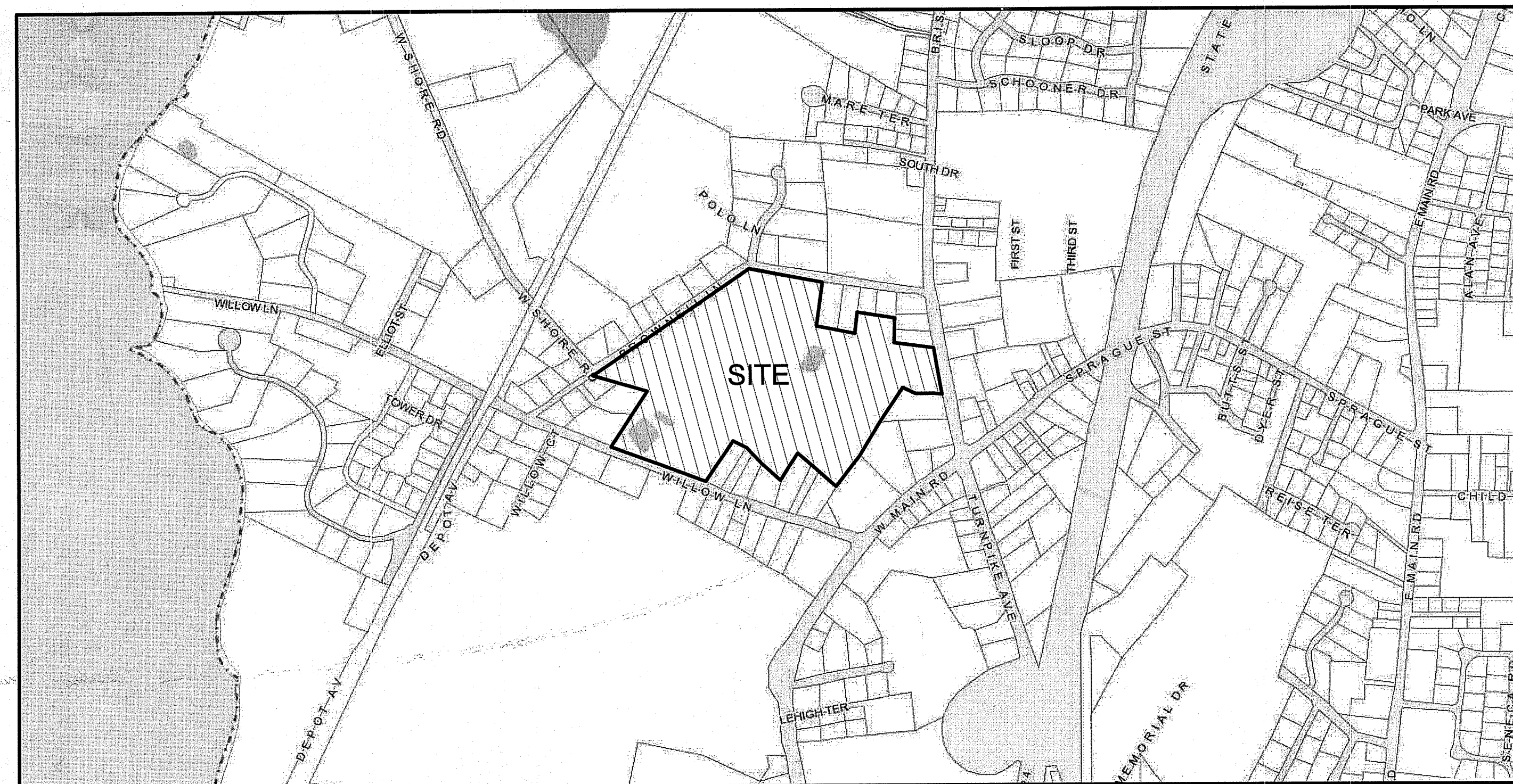
JANUARY 23, 2019

CIVIL ENGINEER
LAND DEVELOPMENT ENGINEERING
& CONSULTING, LLC.
1700 WEST MAIN ROAD, SUITE 8
MIDDLETOWN, RI 02842
(401) 354-2050

SURVEYOR OF RECORD
LAND DEVELOPMENT ENGINEERING
& CONSULTING, LLC.
1700 WEST MAIN ROAD, SUITE 8
MIDDLETOWN, RI 02842
(401) 354-2050

ARCHITECT
FAGAN DESIGN BUILD STUDIO
P.O. BOX 774
NEWPORT, RI 02840
(401) 855-4873

LANDSCAPE ARCHITECT
VERDE DESIGN + HORTICULTURE
6 DEBLOIS STREET
NEWPORT, RI 02840
(401) 619-0562



LOCUS MAP

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 1 JUL 09 2019 FILE # 19-0041
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Michael E. Russell

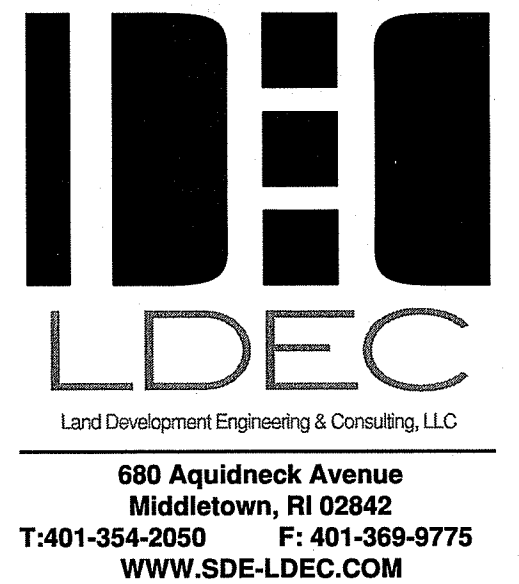
PLAN INDEX

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Environmental Management
MAY 28 2019
Office of Water Resources

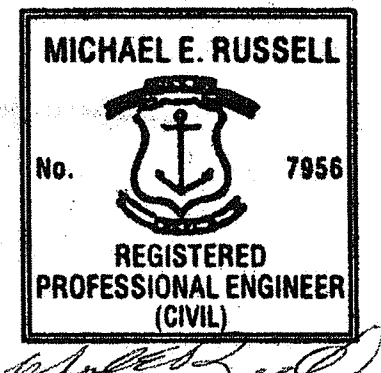
Kindly be advised that this
Permit is not equivalent to a
verification of the type or extent
of freshwater wetlands on site.

ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO
RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE
CONSTRUCTION, Amended August 2013 and STANDARD
DETAILS, June 15, 1998, as amended by revision.



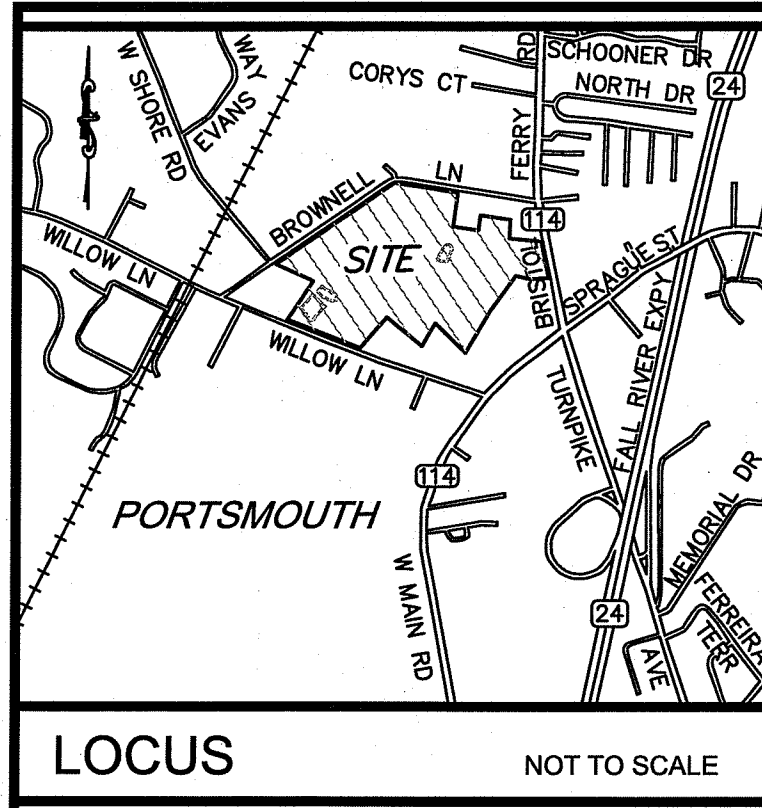
NO.	DATE	DESCRIPTION	APPROVED
2.	5/24/19	REVISED PER RIDOT & RIDEM COMMENTS	MER
1.	3/27/19	REVISED LANDSCAPE BUFFER	MER

PLAN REVISIONS
DATE: FEBRUARY 25, 2019
DRAWN BY: RT / RLM COMPS BY: RT / RLM CHECK BY: RLM/MER
PROJECT NO. 18087
ISSUED FOR: PERMITTING



SITE REDEVELOPMENT PLAN
54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND
ASSESSORS MAP 28, PARCEL 17
PREPARED FOR
RAGGED ISLAND BREWING COMPANY

DRAWING TITLE:
COVER
SCALE: **NOT TO SCALE**
SHEET NO.
1 of 10



ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, Amended August 2018, WITH ALL REVISIONS and R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.

ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

UTILITY & DRAINAGE WORK NOTES:

- UTILITY WORK SUCH AS SEWER, WATER, GAS, ELECTRIC, ETC. CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE R.I.D.O.T. UTILITY PERMIT - CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
- THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.

LOCUS NOT TO SCALE

NOTES:

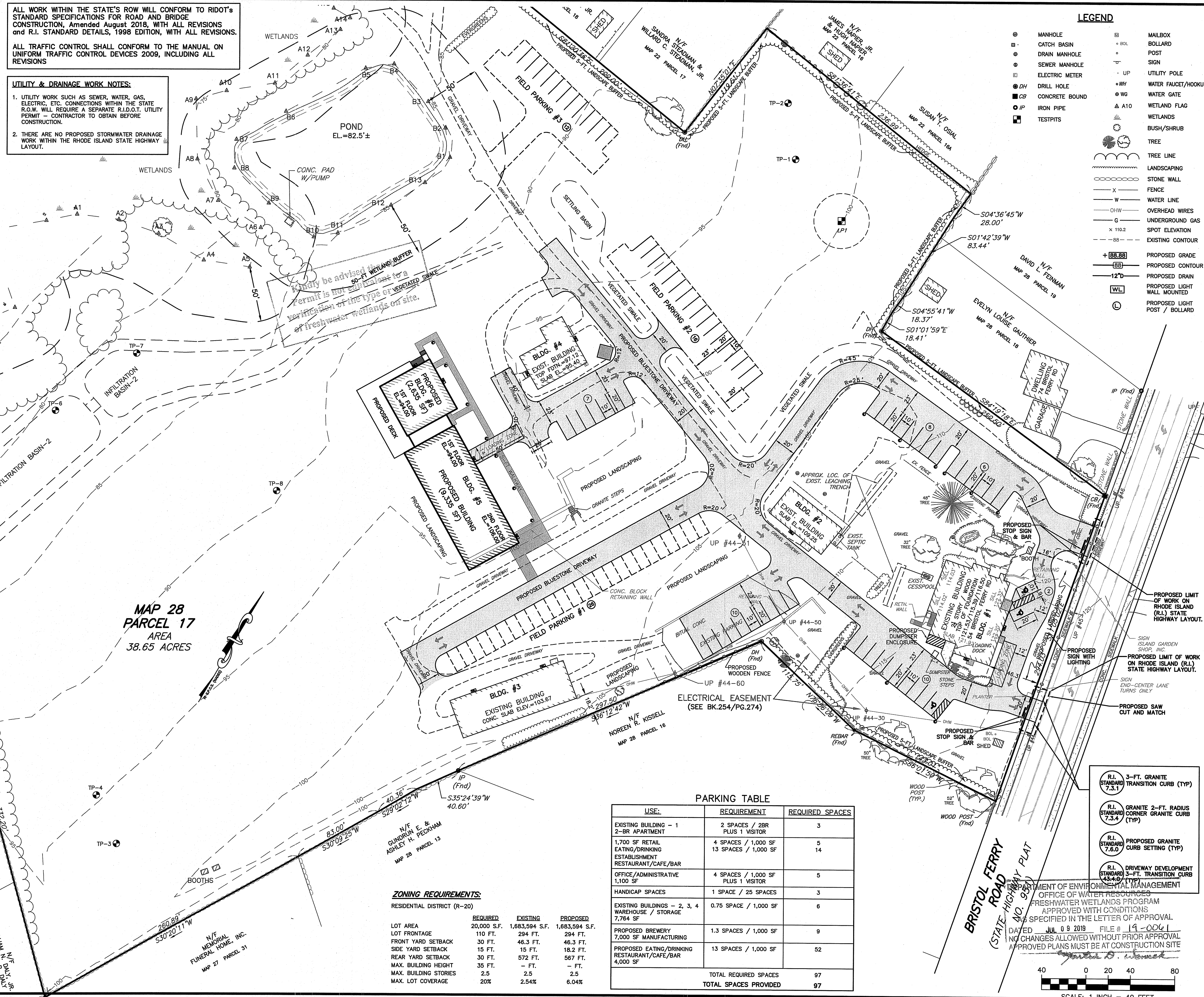
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- ELEVATIONS ARE REFERENCED TO NAVD83.
- THE SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE TOWN OF PORTSMOUTH FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445405 0082 J (EFFECTIVE DATE SEPTEMBER 4, 2013).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ADJUTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
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CURRENT OWNER
VAN HOF LAND ASSOCIATES
PO BOX 888
54 BRISTOL FERRY ROAD
PORTSMOUTH, RI 02871

TITLE REFERENCE:
DEED BK.178/PG.231

SITE LOCATION:
54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND

ASSESSORS REFERENCE:
MAP 28 PARCEL 17



LEGEND

MANHOLE	MAILBOX
CATCH BASIN	BOLLARD
DRAIN MANHOLE	POST
SEWER MANHOLE	SIGN
ELECTRIC METER	UTILITY POLE
DRILL HOLE	WATER FAUCET/HOOKUP
CONCRETE BOUND	WATER GATE
IRON PIPE	WETLAND FLAG
TESTPITS	WETLANDS
	BUSH/SHRUB
	TREE
	TREE LINE
	LANDSCAPING
	STONE WALL
	FENCE
	WATER LINE
	OVERHEAD WIRES
	UNDERGROUND GAS
	SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED GRADE
	PROPOSED CONTOUR
	PROPOSED DRAIN
	PROPOSED LIGHT MOUNTED
	PROPOSED LIGHT POST / BOLLARD

**MAP 28
PARCEL 17
AREA
38.65 ACRES**

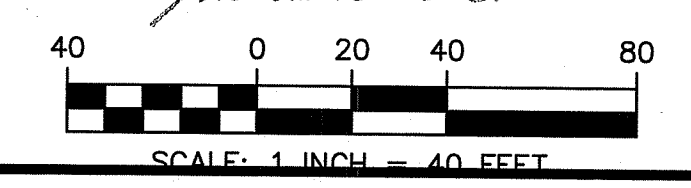
ZONING REQUIREMENTS:
RESIDENTIAL DISTRICT (R-20)

	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 S.F.	1,683,594 S.F.	1,683,594 S.F.
LOT FRONTAGE	110 FT.	294 FT.	294 FT.
FRONT YARD SETBACK	30 FT.	46.3 FT.	46.3 FT.
SIDE YARD SETBACK	15 FT.	15 FT.	15 FT.
REAR YARD SETBACK	30 FT.	572 FT.	567 FT.
MAX. BUILDING HEIGHT	35 FT.	- FT.	- FT.
MAX. BUILDING STORIES	2.5	2.5	2.5
MAX. LOT COVERAGE	20%	2.54%	6.04%

PARKING TABLE

USE:	REQUIREMENT	REQUIRED SPACES
EXISTING BUILDING - 1 2-BR APARTMENT	2 SPACES / 2BR PLUS 1 VISITOR	3
1,700 SF RETAIL EATING/DRINKING ESTABLISHMENT RESTAURANT/CAFE/BAR	4 SPACES / 1,000 SF 13 SPACES / 1,000 SF	5 14
OFFICE/ADMINISTRATIVE 1,100 SF	4 SPACES / 1,000 SF PLUS 1 VISITOR	5
HANDICAP SPACES	1 SPACE / 25 SPACES	3
EXISTING BUILDINGS - 2, 3, 4 WAREHOUSE / STORAGE 7,784 SF	0.75 SPACE / 1,000 SF	6
PROPOSED BREWERY 7,000 SF MANUFACTURING	1.3 SPACES / 1,000 SF	9
PROPOSED EATING/DRINKING RESTAURANT/CAFE/BAR 4,000 SF	13 SPACES / 1,000 SF	52
TOTAL REQUIRED SPACES		97
TOTAL SPACES PROVIDED		97

- R.I. STANDARD 7.3.1 3-FT. GRANITE TRANSITION CURB (TYP)
- R.I. STANDARD 7.3.4 GRANITE 2-FT. RADIUS CORNER GRANITE CURB (TYP)
- R.I. STANDARD 7.6.0 PROPOSED GRANITE CURB SETTING (TYP)
- R.I. STANDARD 4.3.4.6 DRIVEWAY DEVELOPMENT 3-FT. TRANSITION CURB (TYP)



680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-8775
WWW.SDE-LDEC.COM

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1.	5/21/19	REVISED LANDSCAPE BUFFER

DATE: FEBRUARY 25, 2019

DRAWN BY: RT/RLM COMPS. BY: RT/RLM CHECK BY: RLM/MER

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54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND
ASSESSORS MAP 28, PARCEL 17
PREPARED FOR
RAGGED ISLAND BREWING COMPANY

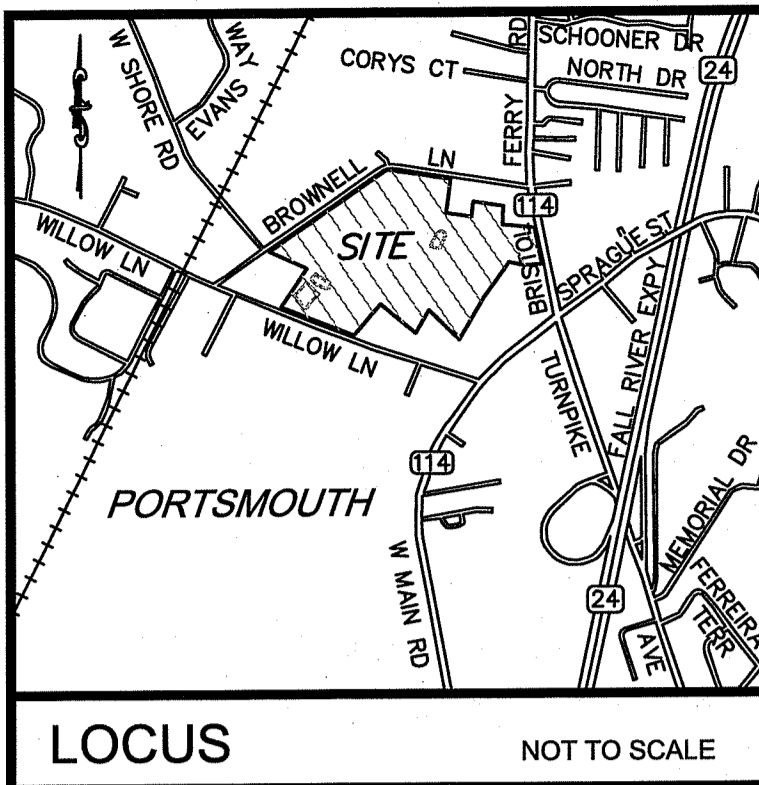
DRAWING TITLE:

SITE LAYOUT PLAN

SCALE: 1" = 40'

SHEET NO.

3 of 10



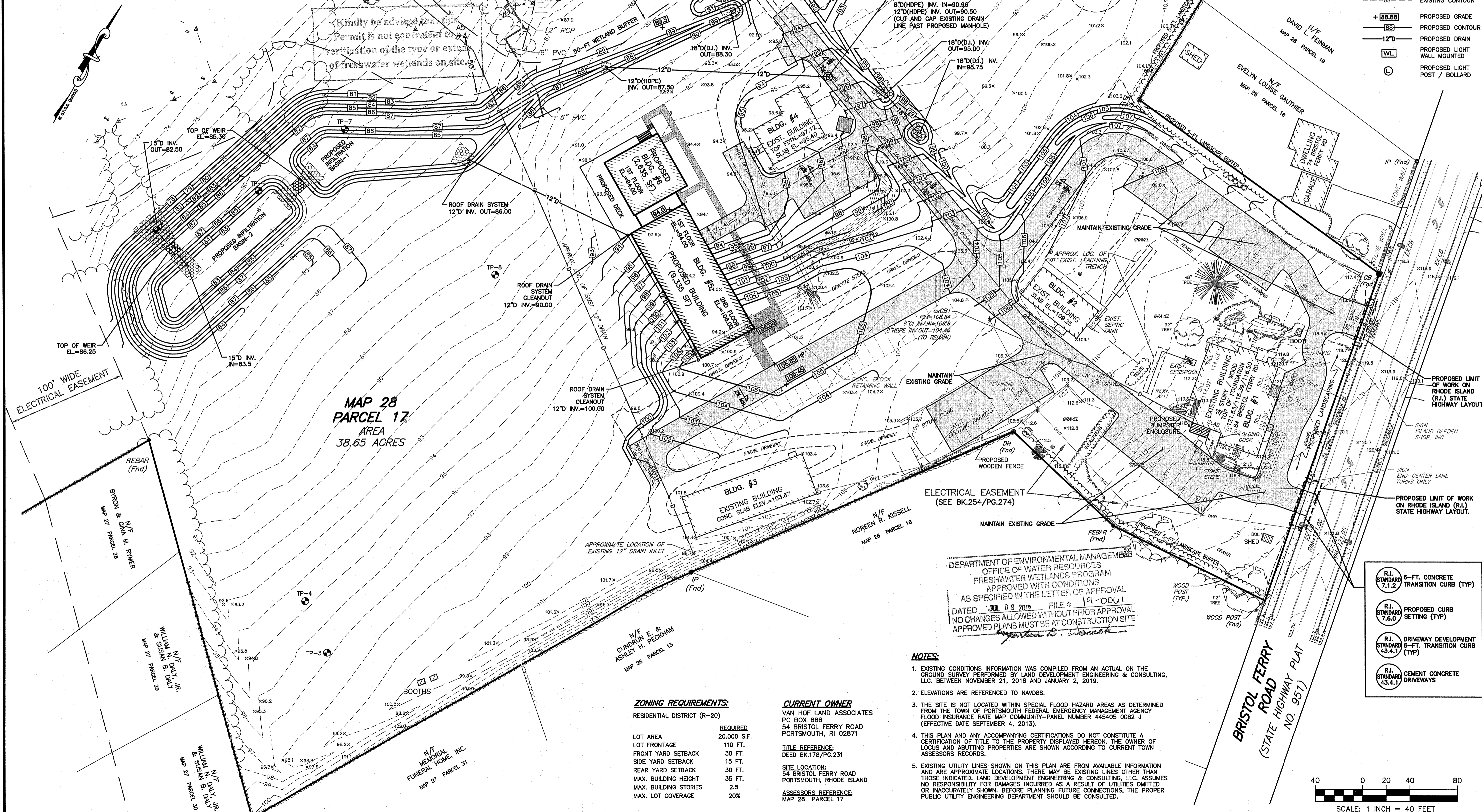
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LEGEND

●	MANHOLE	□	MAILBOX
○	CATCH BASIN	○	BOLLARD
○	DRAIN MANHOLE	○	POST
○	SEWER MANHOLE	○	SIGN
○	ELECTRIC METER	○	UTILITY POLE
○	DRILL HOLE	○	WATER FAUCET/HOOKUP
■	CONCRETE BOUND	○	WATER GATE
○	IRON PIPE	○	WETLAND FLAG
■	TESTPITS	○	WETLANDS
		○	BUSH/SHRUB
		○	TREE
---	TREE LINE		
---	LANDSCAPING		
---	STONE WALL		
---	FENCE		
---	WATER LINE		
---	OVERHEAD WIRES		
---	UNDERGROUND GAS		
---	SPOT ELEVATION		
---	EXISTING CONTOUR		
---	PROPOSED GRADE		
---	PROPOSED CONTOUR		
---	PROPOSED DRAIN		
---	PROPOSED LIGHT WALL MOUNTED		
---	PROPOSED LIGHT POST / BOLLARD		

LDEC
Land Development Engineering & Consulting, LLC

680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-389-9775
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION
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2.	3/21/19	REVISED LANDSCAPE BUFFER

DATE: FEBRUARY 25, 2019

DRAWN BY: RT / RLM COMPS. BY: RT / RLM CHECK BY: RLM/MER

PROJECT NO. 18087

ISSUED FOR: **PERMITTING**

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SITE REDEVELOPMENT PLAN
54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND
ASSESSORS MAP 28, PARCEL 17

PREPARED FOR
RAGGED ISLAND BREWING COMPANY

DRAWING TITLE:
GRADING & DRAINAGE PLAN

SCALE: **1" = 40'**

SHEET NO.
4 of 10

ZONING REQUIREMENTS:
RESIDENTIAL DISTRICT (R-20)

	REQUIRED
LOT AREA	20,000 S.F.
LOT FRONTAGE	110 FT.
FRONT YARD SETBACK	30 FT.
SIDE YARD SETBACK	15 FT.
REAR YARD SETBACK	30 FT.
MAX. BUILDING HEIGHT	35 FT.
MAX. BUILDING STORIES	2.5
MAX. LOT COVERAGE	20%

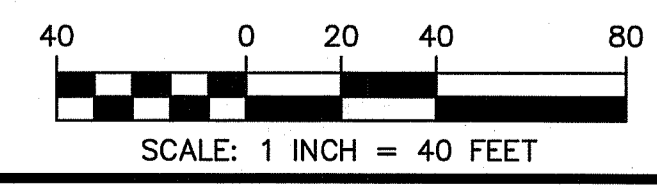
CURRENT OWNER
VAN HOF LAND ASSOCIATES
PO BOX 888
54 BRISTOL FERRY ROAD
PORTSMOUTH, RI 02871

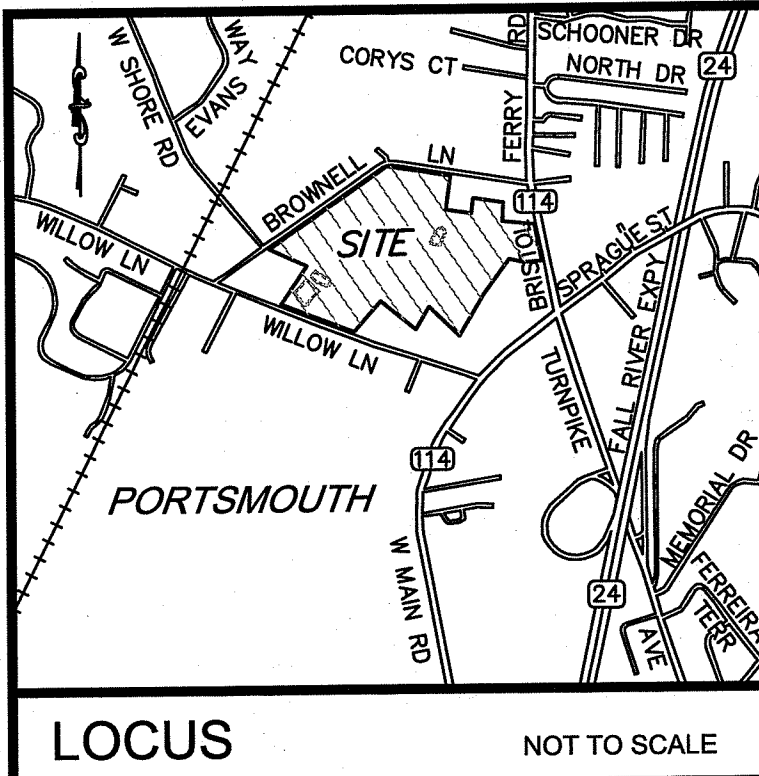
TITLE REFERENCE:
DEED BK.178/PG.231

SITE LOCATION:
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PORTSMOUTH, RHODE ISLAND

ASSESSORS REFERENCE:
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54 BRISTOL FERRY ROAD
PORTSMOUTH, RI 02871

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DEED BK.178/P.G.231

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PORTSMOUTH, RHODE ISLAND

ASSESSORS REFERENCE:
MAP 28 PARCEL 17

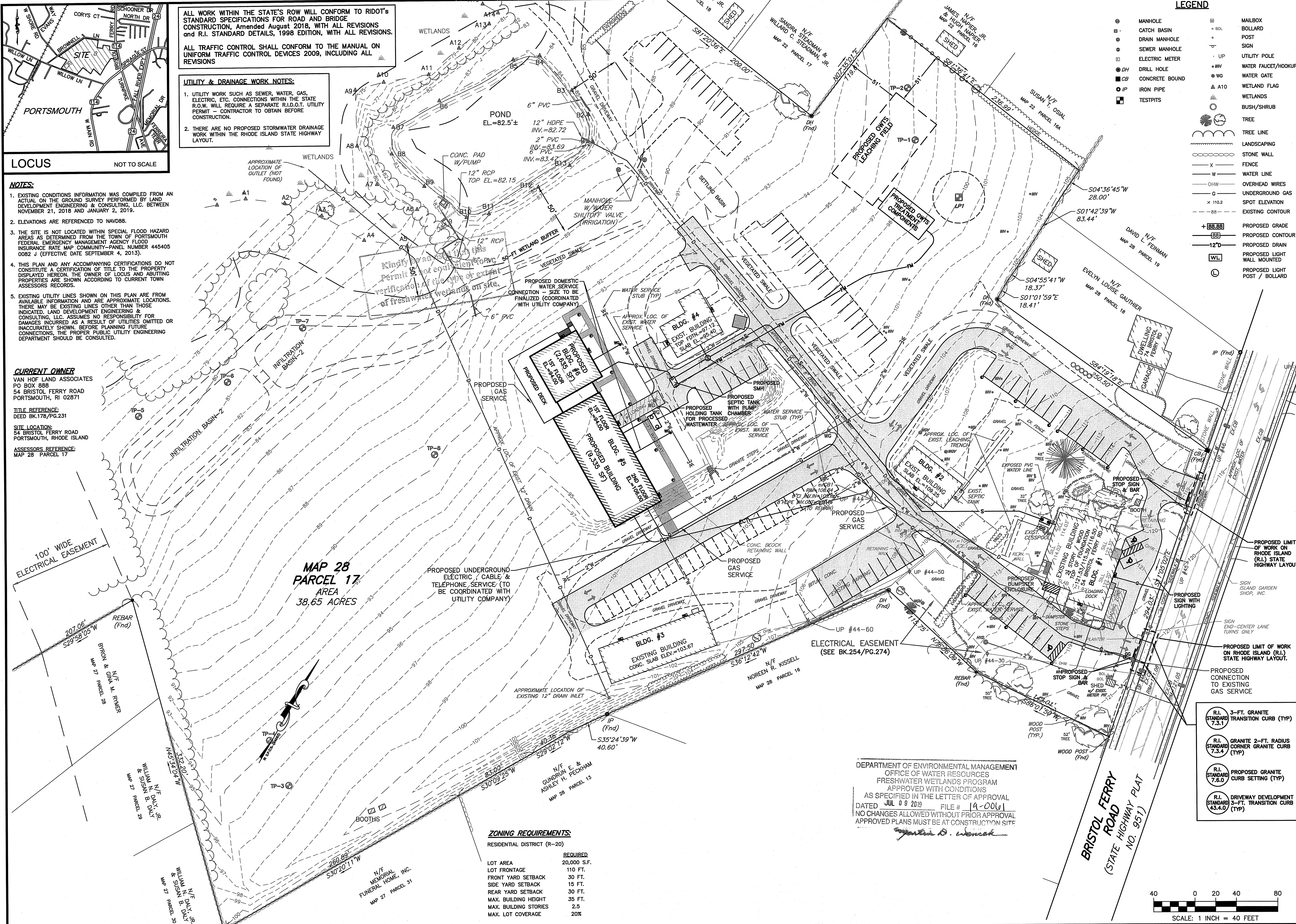
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APPROXIMATE LOCATION OF OUTLET (NOT FOUND)



- LEGEND**
- MANHOLE
 - CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - ELECTRIC METER
 - DRILL HOLE
 - CONCRETE BOUND
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PORTSMOUTH, RHODE ISLAND
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PREPARED FOR
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SCALE: 1" = 40'

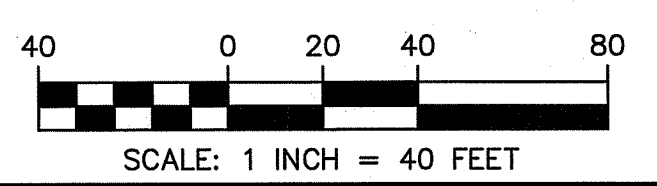
SHEET NO. 6 OF 10

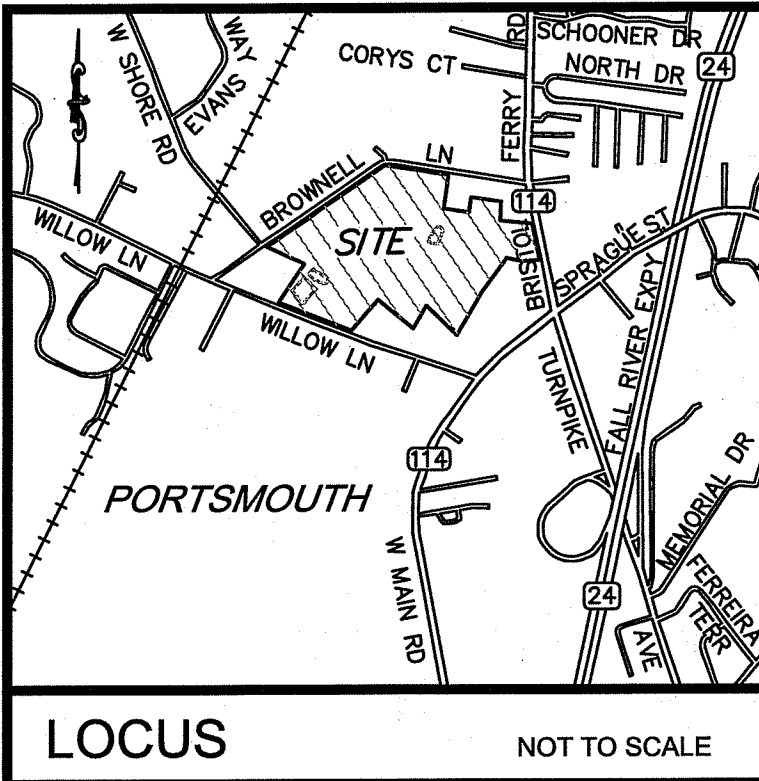
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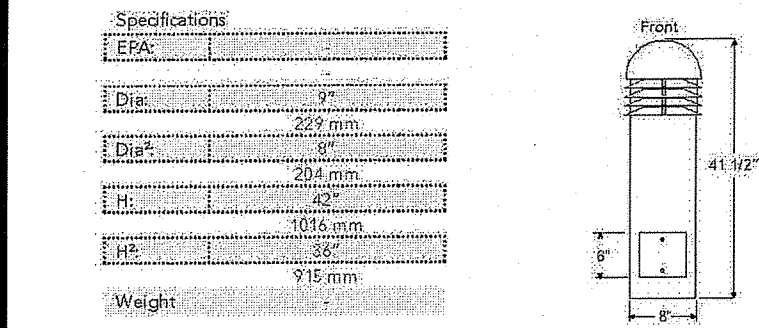
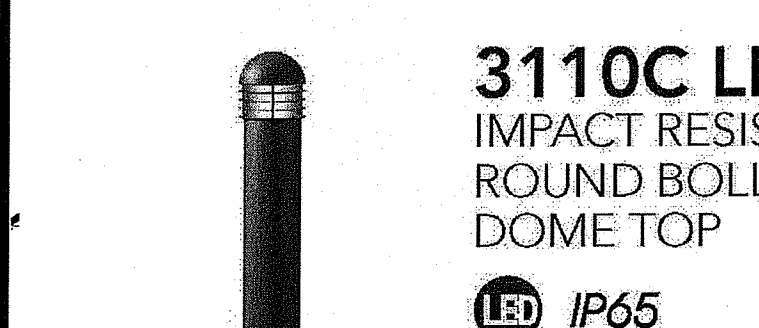
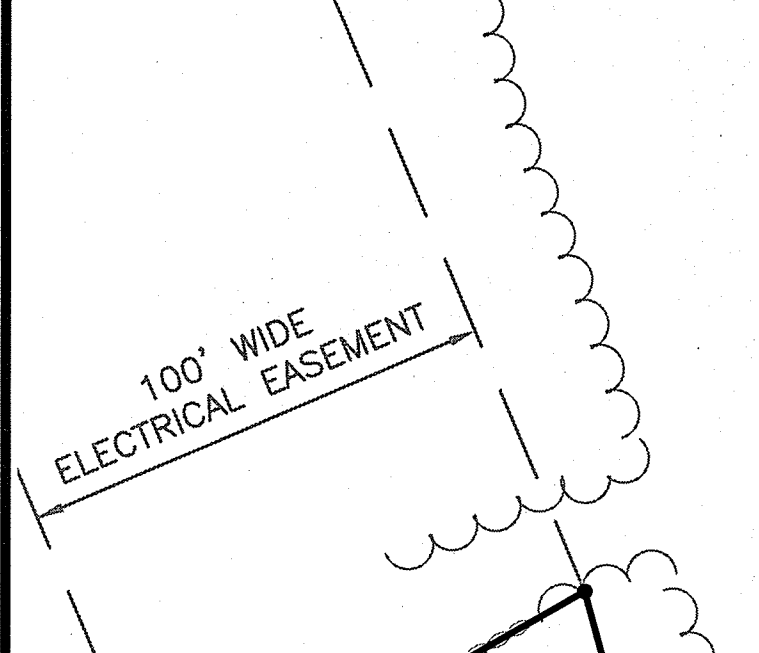
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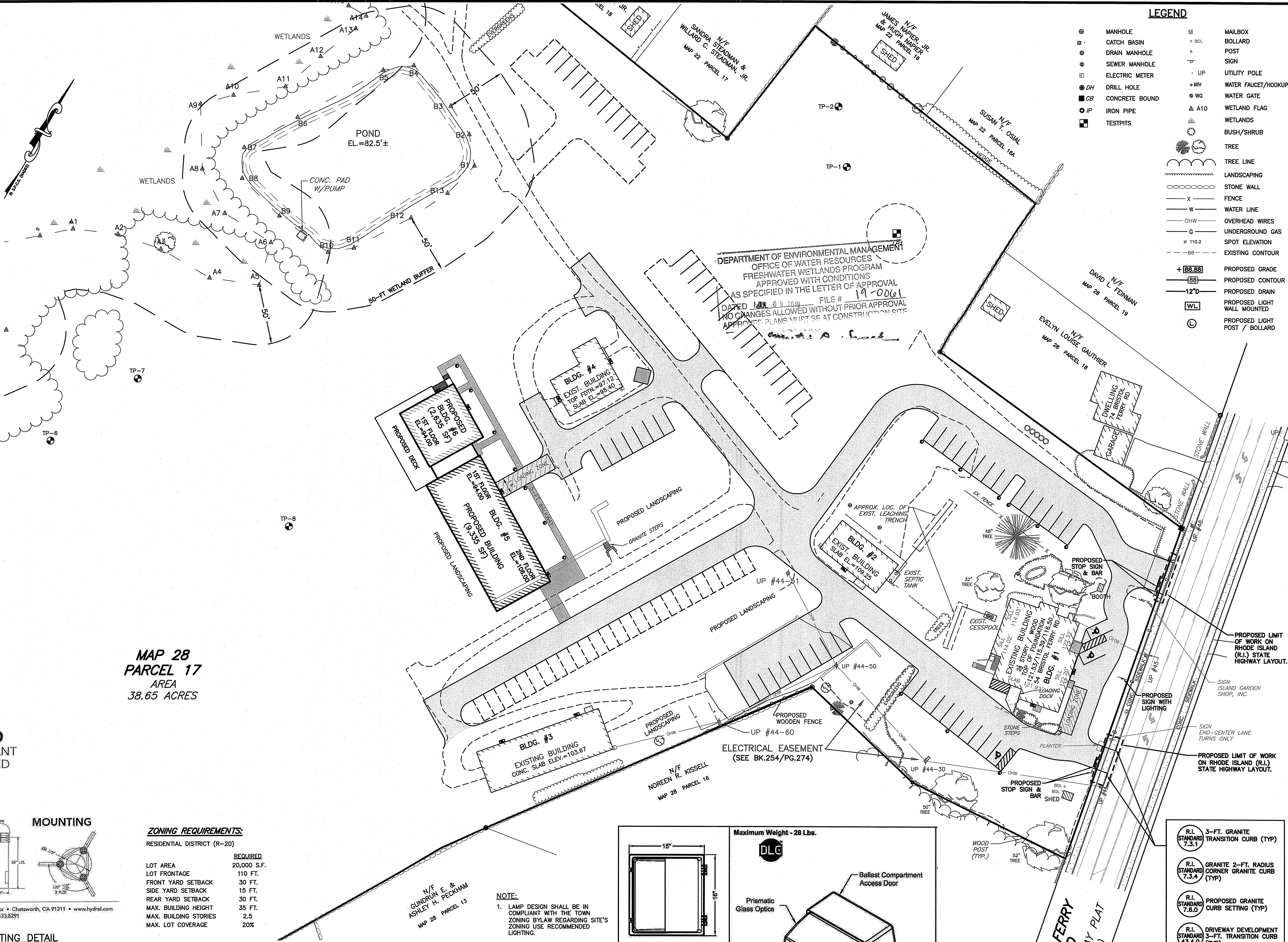


HYDREL
9144 Dewing Avenue, Second Floor • Chatsworth, CA 91311 • www.hydral.com
Phone: 866.533.9901 • Fax: 866.533.5291

TYPICAL BOLLARD LIGHTING DETAIL
NOT TO SCALE

Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
WL	A		11	Holophane	HLWPC2 P10 40K XX T3M	Wallpack Full Cutoff LED, 4000K CCT, Type III Medium mounted at 12' AFG	LED	HLWPC2_P10_40K_XX_T3 M.ies	3017	0.95	28
	B		1	American Electric Lighting		Existing 100W HPS fixture, 20'	ONE 100-WATT CLEAR ET23.5 HIGH PRESSURE SODIUM HORIZONTAL POS.	115_105_R3_DA.ies	9500	0.9	133

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking, Drive Lanes, Walkways	+	0.2 fc	2.7 fc	0.0 fc	N/A	N/A



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NO.	DATE	DESCRIPTION
1.	3/21/19	REVISED PER RIDOT & RIDEM COMMENTS
2.	5/24/19	REVISED PER RIDOT & RIDEM COMMENTS

PLAN REVISIONS

DATE: FEBRUARY 25, 2019

DRAWN BY: RT/RLM COMPS. BY: RT/RLM CHECK BY: RLM/MER

PROJECT NO: 18087

ISSUED FOR: PERMITTING

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SITE REDEVELOPMENT PLAN
54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND
ASSESSORS MAP 28, PARCEL 17
PREPARED FOR
RAGGED ISLAND BREWING COMPANY

DRAWING TITLE:

LIGHTING PLAN

SCALE: 1" = 40'

SHEET NO.

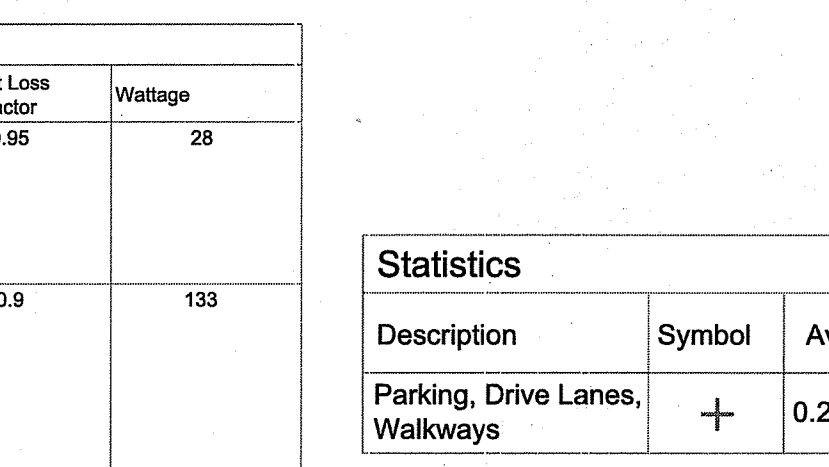
7 OF 10

ZONING REQUIREMENTS:
RESIDENTIAL DISTRICT (R-20)

REQUIRED	REQUIREMENT
20,000 S.F.	LOT AREA
110 FT.	LOT FRONTAGE
30 FT.	FRONT YARD SETBACK
15 FT.	SIDE YARD SETBACK
30 FT.	REAR YARD SETBACK
35 FT.	MAX. BUILDING HEIGHT
2.5	MAX. BUILDING STORIES
20%	MAX. LOT COVERAGE

NOTE:

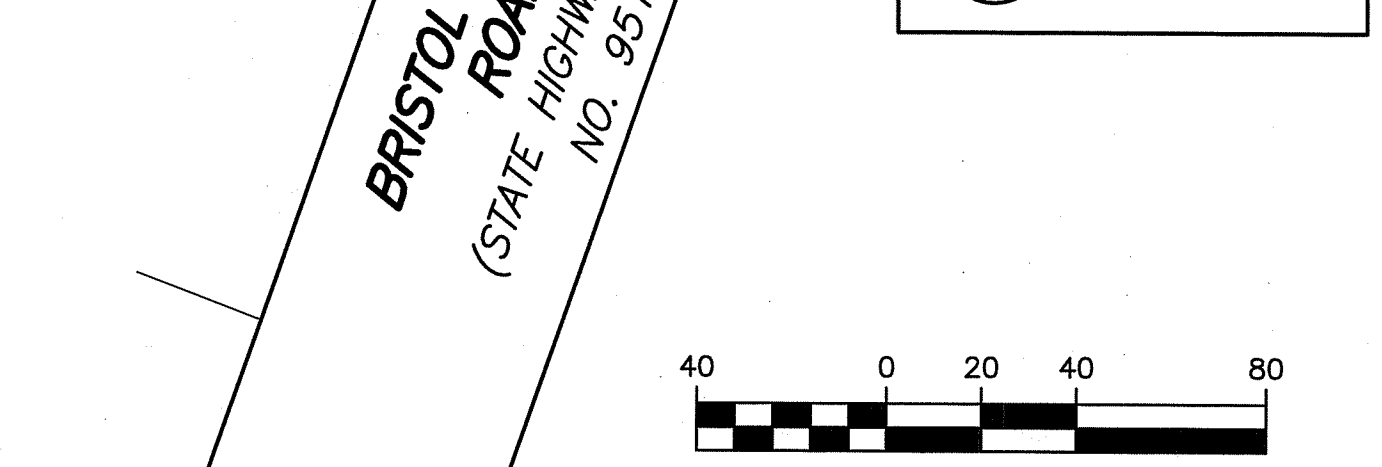
- LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN ZONING BYLAW REGARDING SITE'S ZONING USE RECOMMENDED LIGHTING.
- REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL AND CONSTRUCTION.
- FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.

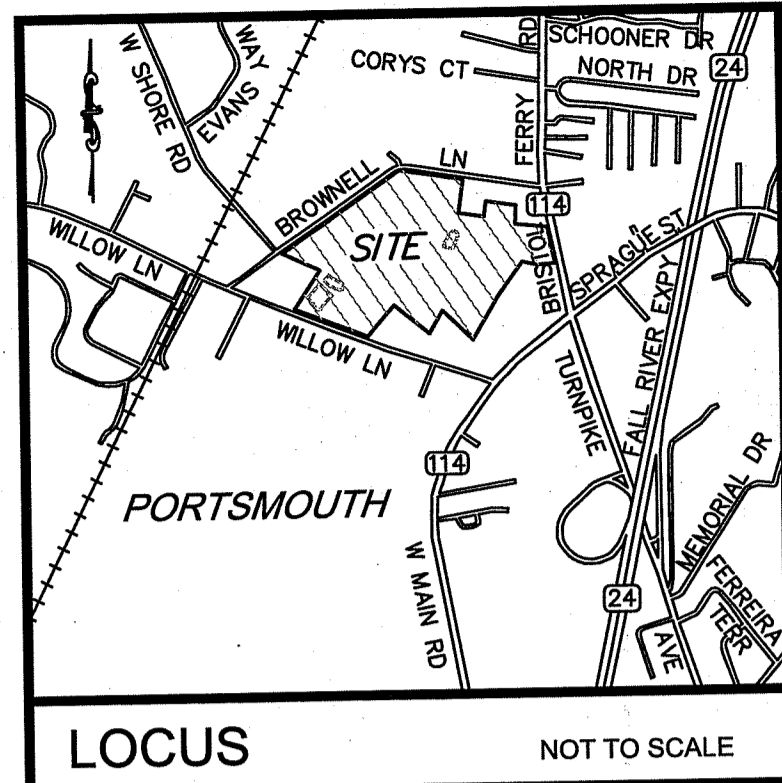


STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking, Drive Lanes, Walkways	+	0.2 fc	2.7 fc	0.0 fc	N/A	N/A

Holophane
INFRASTRUCTURE OUTDOOR
Wallpack IV
GLASS LED





LOCUS
NOT TO SCALE

NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ACTUAL ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. BETWEEN NOVEMBER 21, 2018 AND JANUARY 2, 2019.
- ELEVATIONS ARE REFERENCED TO NAVD83.
- THE SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE TOWN OF PORTSMOUTH FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445405 0082 J (EFFECTIVE DATE SEPTEMBER 4, 2013).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ADJUTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.

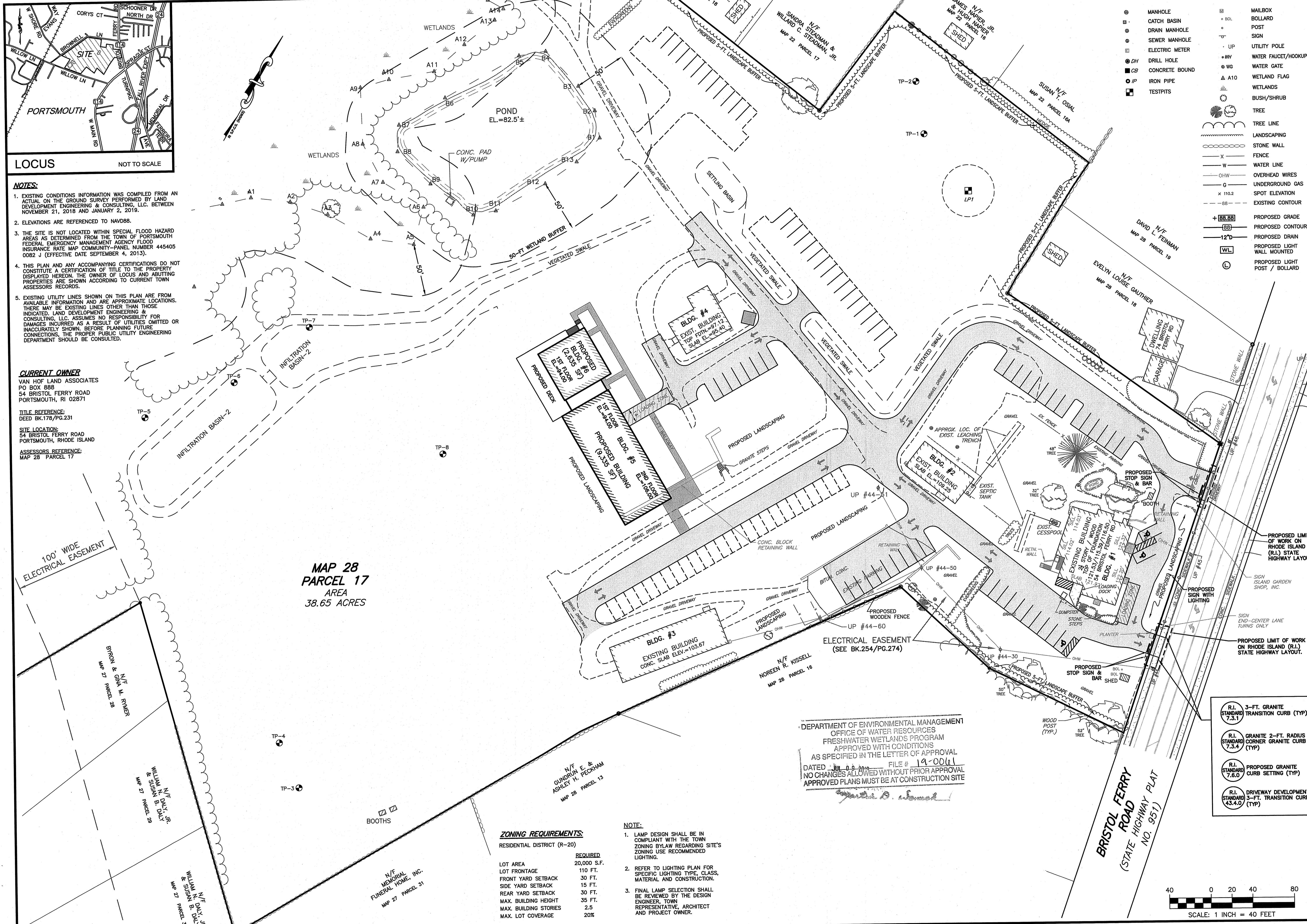
CURRENT OWNER
VAN HOF LAND ASSOCIATES
PO BOX 888
54 BRISTOL FERRY ROAD
PORTSMOUTH, RI 02871

TITLE REFERENCE:
DEED BK.178/P.231

SITE LOCATION:
54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND

ASSESSORS REFERENCE:
MAP 28 PARCEL 17

**MAP 28
PARCEL 17
AREA
38.65 ACRES**



LEGEND

○	MANHOLE	□	MAILBOX
●	CATCH BASIN	○	BOLLARD
○	DRAIN MANHOLE	○	POST
○	SEWER MANHOLE	—	SIGN
○	ELECTRIC METER	—	UTILITY POLE
○	DRILL HOLE	—	WATER FAUCET/HOOKUP
○	CONCRETE BOUND	—	WATER GATE
○	IRON PIPE	—	WETLAND FLAG
○	TESTPITS	—	WETLANDS
		—	BUSH/SHRUB
		—	TREE
		—	TREE LINE
		—	LANDSCAPING
		—	STONE WALL
		—	FENCE
		—	WATER LINE
		—	OVERHEAD WIRES
		—	UNDERGROUND GAS
		—	SPOT ELEVATION
		—	EXISTING CONTOUR
		—	PROPOSED GRADE
		—	PROPOSED CONTOUR
		—	PROPOSED 12" D
		—	PROPOSED LIGHT WALL MOUNTED
		—	PROPOSED LIGHT POST / BOLLARD

LDEC
Land Development Engineering & Consulting, LLC
680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION
2	5/24/19	REVISED PER RIDOTT & RIDOTT COMMENTS
1	3/21/19	REVISED LANDSCAPE BUFFER

PLAN REVISIONS
DATE: FEBRUARY 25, 2019
DRAWN BY: RT / RLM COMPS. BY: RT / RLM CHECK BY: RLM/MMR
PROJECT NO. 18087
ISSUED FOR: PERMITTING

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SITE REDEVELOPMENT PLAN
54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND
ASSESSORS MAP 28, PARCEL 17
PREPARED FOR
RAGGED ISLAND BREWING COMPANY

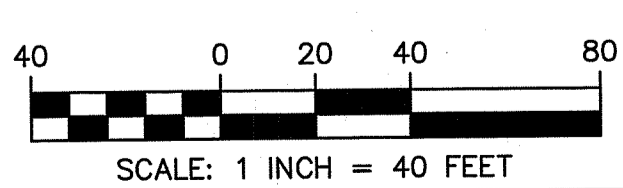
DRAWING TITLE:
LANDSCAPE PLAN
SCALE: 1" = 40'
SHEET NO. **8 OF 10**

ZONING REQUIREMENTS:
RESIDENTIAL DISTRICT (R-20)

	REQUIRED
LOT AREA	20,000 S.F.
LOT FRONTAGE	110 FT.
FRONT YARD SETBACK	30 FT.
SIDE YARD SETBACK	15 FT.
REAR YARD SETBACK	30 FT.
MAX. BUILDING HEIGHT	35 FT.
MAX. BUILDING STORIES	2.5
MAX. LOT COVERAGE	20%

- NOTE:**
- LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN ZONING BYLAW REGARDING SITE'S ZONING USE RECOMMENDED LIGHTING.
 - REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL AND CONSTRUCTION.
 - FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 02/25/2019 FILE # 19-0061
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



CONSTRUCTION NOTES

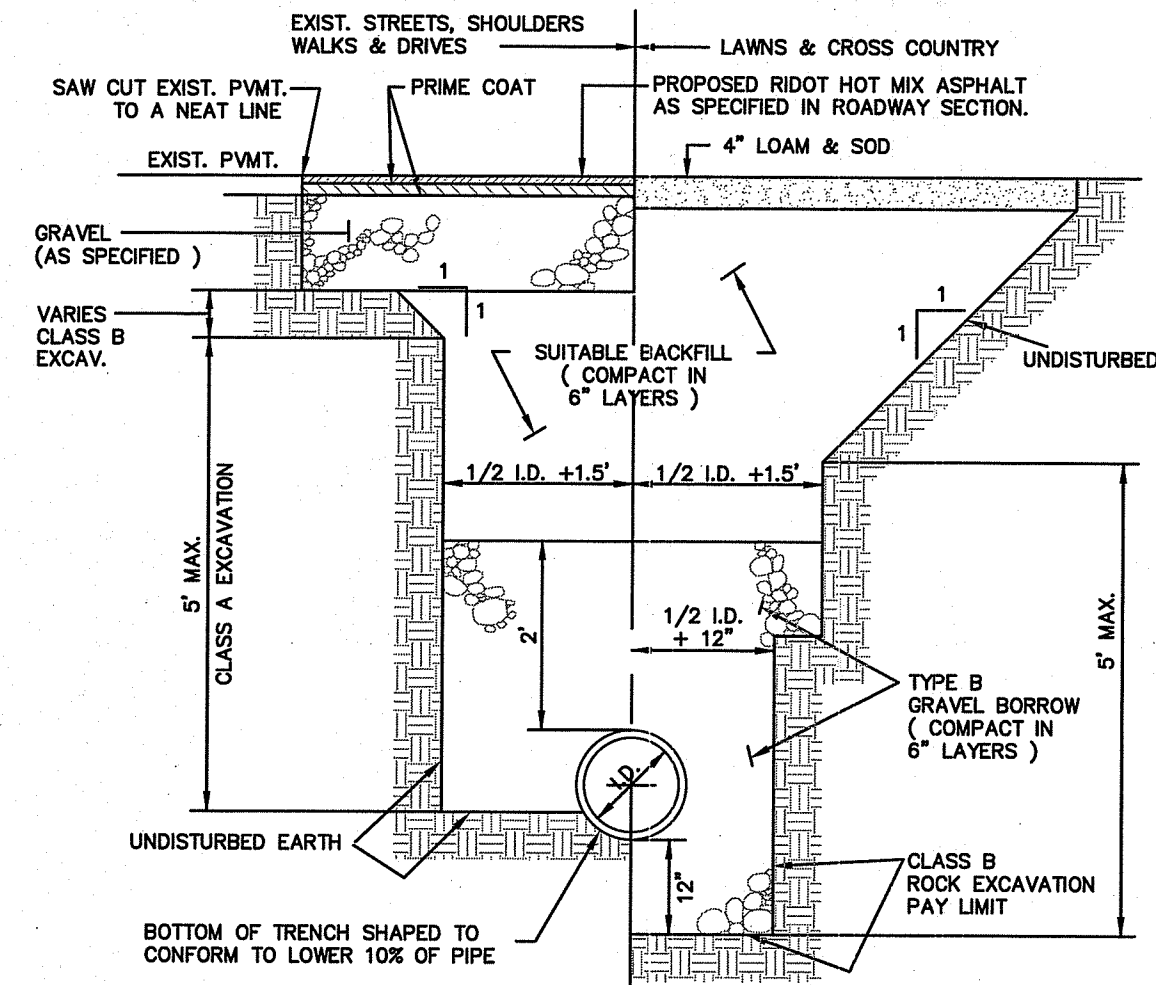
- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY SHALL CONFORM TO THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2013, WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION, WITH ALL REVISIONS.
- PROPOSED DEVELOPMENT IS SUBJECT TO AN ASSESSMENT APPROVAL & CONDITIONS FROM R.I.C.M.A.
- THE CONTRACTOR SHALL MAKE APPLICATIONS FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE PREPARATION NECESSARY FOR THE COMPLETE INSTALLATION OF THE PROJECT FACILITIES DURING CONSTRUCTION.
- ALL CONSTRUCTION METHODS, MATERIALS, AND COMPONENTS ASSOCIATED WITH THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM SHALL BE IN CONFORMANCE WITH THE APPROVED PLANS, THE REQUIREMENTS OF THE TOWN OF PORTSMOUTH AND OF THE STATE ENVIRONMENTAL CODE, AND ALL LOCAL BOARD OF HEALTH REGULATIONS UNLESS A WAIVER HAS BEEN GRANTED.
- ALL CHANGES TO THE PLAN MUST BE APPROVED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. AND THE LOCAL BOARD OF HEALTH.
- ALL SYSTEM COMPONENTS, EXCEPT PERFORATED PIPING, SHALL BE WATERTIGHT AS REQUIRED BY THE TOWN OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT DIG SAFE (1-888-344-7233) 72 HOURS BEFORE DIGGING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED BY THE OWNER.
- ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION UTILITY CONNECTIONS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- THE CONTRACTOR SHALL UTILIZE ALL MEASURING AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- A MINIMUM OF 16" VERTICAL CLEARANCE SHALL BE MAINTAINED WHENEVER SANITARY SEWERS PASS BELOW WATER MAINS OR DRAIN LINES. OTHERWISE, WATER SERVICE, DRAIN LINES SHALL BE CAREFULLY ENCASED IN CONCRETE FOR A MINIMUM OF TEN (10) FEET FROM THE CROSSING POINT, WHERE SEWER LINES PASS ABOVE WATER OR DRAIN LINES, THEY SHALL ALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE.

STORMWATER FACILITY OPERATION AND MAINTENANCE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES UNTIL SUCH TIME AS THE ROADWAYS AND ASSOCIATED UTILITIES ARE ACCEPTED BY THE OWNER.
- ALL STORMWATER FACILITIES SHOULD BE INSPECTED AFTER EVERY MAJOR RAINFALL EVENT FOR THE FIRST 3 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND CONSTRUCTION.
- THE CONTRACTOR SHALL INSPECT AND CLEAN ALL FACILITIES OF SEDIMENT AND DEBRIS PRIOR TO THE OWNER'S ACCEPTANCE.
- ACCUMULATED SILT AND SEDIMENT SHOULD BE REMOVED FROM ALL FACILITIES AT LEAST ONCE A YEAR OR MORE FREQUENTLY IF ACCUMULATED DEPTH OF SEDIMENT EXCEEDS THREE INCHES.
- THE SIDE SLOPES AND BOTTOMS OF ALL DRAINAGE SWALES SHOULD BE MOWED TO A MINIMUM HEIGHT OF FOUR INCHES AT LEAST TWICE A YEAR. ALL GRASS CLIPPINGS AND ORGANIC MATTER SHOULD BE REMOVED FROM ALL DRAINAGE WAYS AND WETLAND BUFFER ZONES.
- ALL REMOVED SEDIMENTS ARE TO BE PROPERLY DISPOSED AT A LOCATION TO BE APPROVED BY THE BOARD OF HEALTH, TRANSPORTATION AND DISPOSAL OF SEDIMENTS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- ANY DEFICIENCIES NOTED DURING MAINTENANCE SHALL BE REPORTED TO THE OWNER AND CORRECTED IMMEDIATELY.
- FOLLOW MANDATE PROGRAM AND SCHEDULE FOR EXISTING STORMWATER MANAGEMENT SYSTEM AS APPROVED BY THE TOWN OF PORTSMOUTH AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.

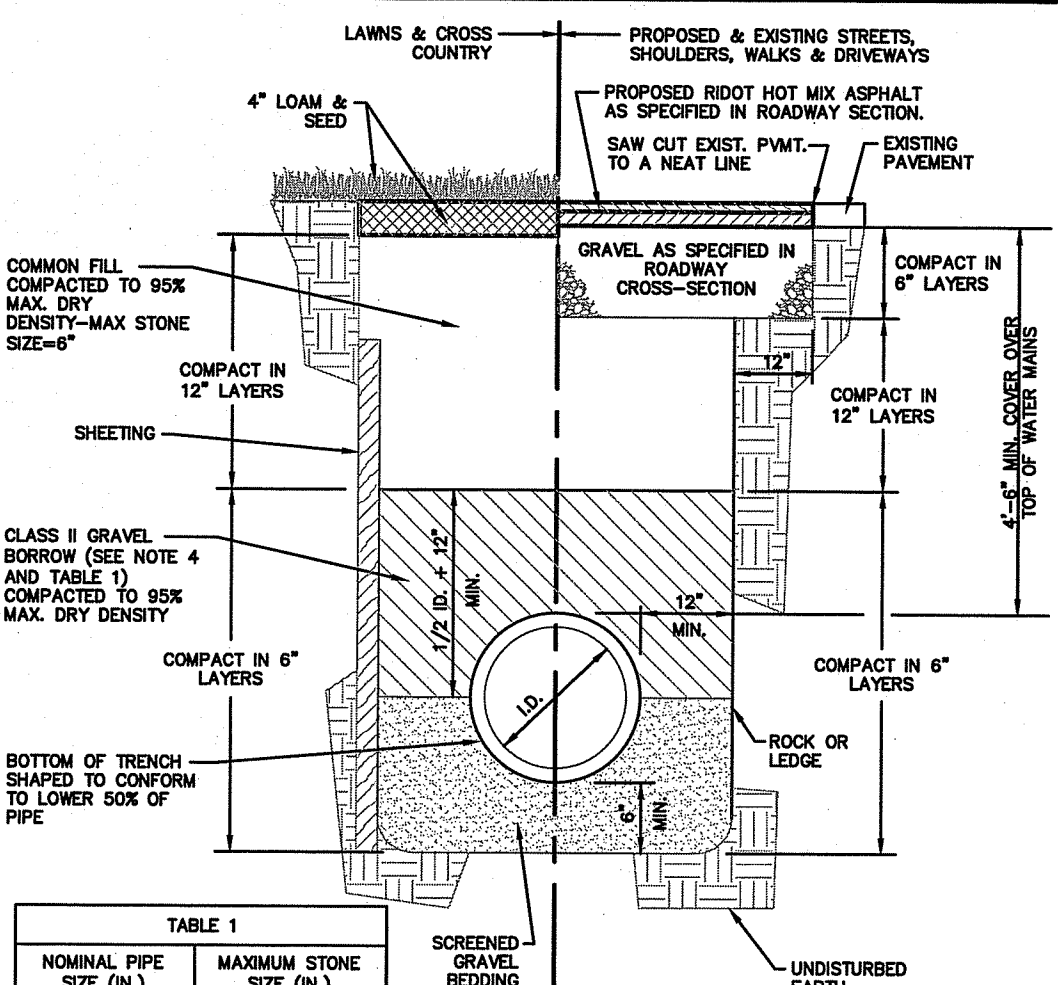
WATER LINE CONSTRUCTION NOTES

- THE WATER SUPPLY SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN OF PORTSMOUTH WATER DEPARTMENT AND THE KENT COUNTY WATER AUTHORITY (KCWA). CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS TO BE OBTAINED BY THE CONTRACTOR. UNLESS OTHERWISE DIRECTED, ALL WATER PIPES SHALL BE INSTALLED 5'-0" BELOW GRADE. APPROPRIATE THRUST BLOCKING SHALL BE INSTALLED.
- THE CONTRACTOR SHALL MAINTAIN CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER EXISTING UTILITIES OF AT LEAST (12) TWELVE INCHES OR AS DETERMINED BY THE TOWN WATER DEPARTMENT IN THE FIELD.
- ALL CONSTRUCTION METHODS AND MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHALL RECEIVE THE WRITTEN APPROVAL OF THE TOWN WATER DEPARTMENT AND THE PROJECT ENGINEER PRIOR TO FABRICATION AND INSTALLATION.
- ALL COMPLETED SECTIONS OF THE PROPOSED SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE TOWN WATER DEPARTMENT SPECIFICATIONS. ANY PORTION OF THE WORK NOT MEETING THE REQUIRED TESTING STANDARDS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL APPROVE ALL FIELD CHANGES IN THE WORK PRIOR TO IMPLEMENTATION. NO FIELD CHANGES SHALL BE MADE IN ANY SPECIFIED SITE WORK OR ANY MATERIALS FOR WHICH SHOP DRAWINGS HAVE BEEN SUBMITTED AND APPROVED WITHOUT PRIOR CONSULTATION OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER. ANY CHANGES SO MADE WITHOUT THE CONSENT OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL, IF DEEMED UNACCEPTABLE BY EITHER PARTY, BE PROMPTLY REMOVED FROM THE WORK AT NO EXPENSE TO THE OWNER OF THE PROJECT.
- THE CONTRACTOR SHALL INTERRUPT WATER SERVICE AND DISRUPT THE NORMAL FUNCTIONING OF THE DISTRIBUTION SYSTEM AS LITTLE AS POSSIBLE. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 72 HOURS IN ADVANCE OF ANY REQUIREMENT FOR UNWATERING OF ISOLATING A SECTION OF THE MAIN.
- IN THE EVENT THAT NORMAL WATER SERVICE WILL BE INTERRUPTED FOR AN EXTENDED PERIOD, THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE LINES.
- THE CONTRACTOR SHALL NOT OPERATE WATER DISTRIBUTION SYSTEM VALVES WITHOUT THE SUPERVISION OF THE WATER DEPARTMENT. IF SUCH SUPERVISION IS PROVIDED BY THE OWNER, AT TIMES OTHER THAN DURING REGULAR WORKING HOURS OF THE WATER DEPARTMENT, THE CONTRACTOR SHALL REIMBURSE THE WATER DEPARTMENT FOR ALL SALARY EXPENSES INCURRED BY THE WATER DEPARTMENT IN PROVIDING SUCH SUPERVISION.



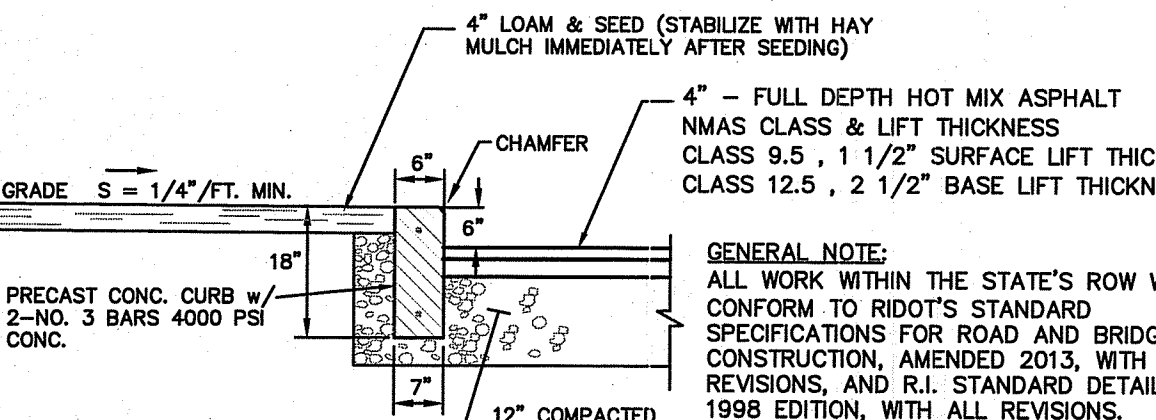
DRAINAGE PIPE TRENCH DETAIL

- NOTES:
- SHEETING IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE UNLESS OTHERWISE INDICATED OR DIRECTED.
 - "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UNDERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
 - SCREENED GRAVEL SHALL BE HARD, DURABLE, ROUNDED PARTICLES, FREE FROM SAND, LOAM, CLAY, EXCESS FINES AND DELETERIOUS MATERIAL, UNIFORMLY GRADED SUCH THAT NOT LESS THAN 95% WILL PASS A 1/2" INCH SIEVE AND NOT MORE THAN 5% PASS A NO. 4 SIEVE.
 - CLASS II GRAVEL BORROW SHALL BE A CLEAN, COARSE GRAINED GRAVEL-SAND MIXTURE, THE MIXTURE SHOULD CONTAIN LESS THAN 5% PASSING THE #200 SIEVE AS WELL AS COMPLYING TO THE REQUIREMENTS OF TABLE 1.
 - WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 5'-0" BEYOND THE PLUG.



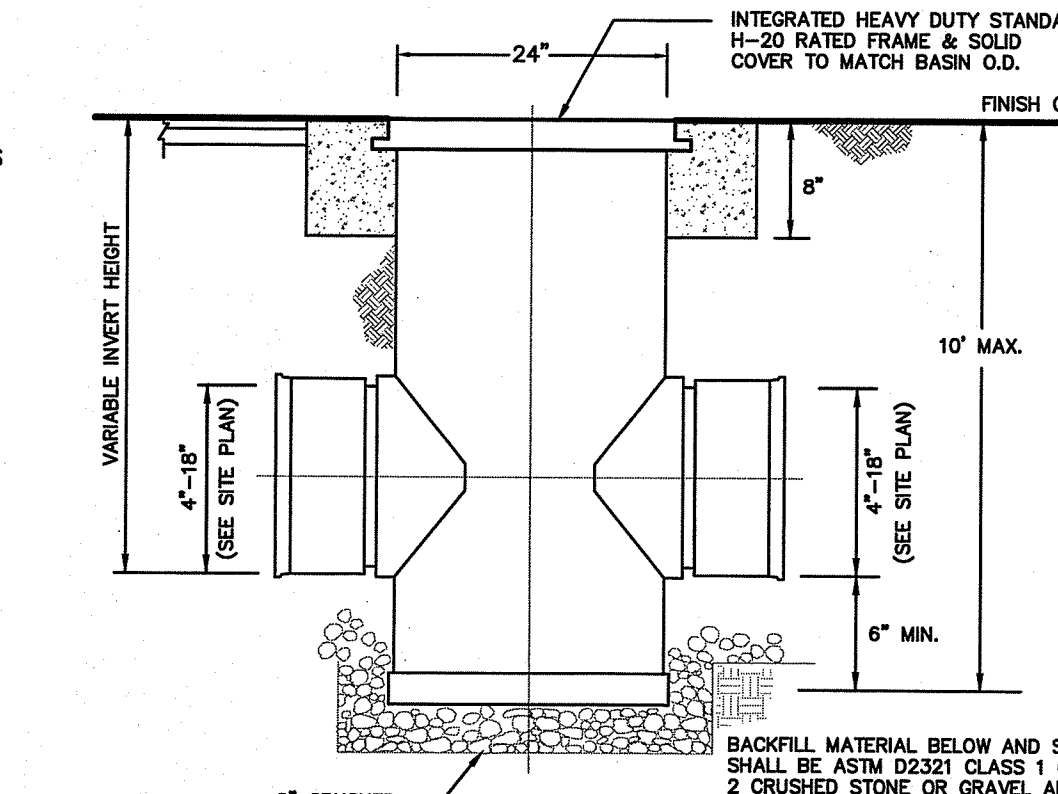
TYPICAL PIPE TRENCH DETAIL

- NOTES:
- SHEETING IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE UNLESS OTHERWISE INDICATED OR DIRECTED.
 - "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UNDERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
 - SCREENED GRAVEL SHALL BE HARD, DURABLE, ROUNDED PARTICLES, FREE FROM SAND, LOAM, CLAY, EXCESS FINES AND DELETERIOUS MATERIAL, UNIFORMLY GRADED SUCH THAT NOT LESS THAN 95% WILL PASS A 1/2" INCH SIEVE AND NOT MORE THAN 5% PASS A NO. 4 SIEVE.
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 - WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 5'-0" BEYOND THE PLUG.



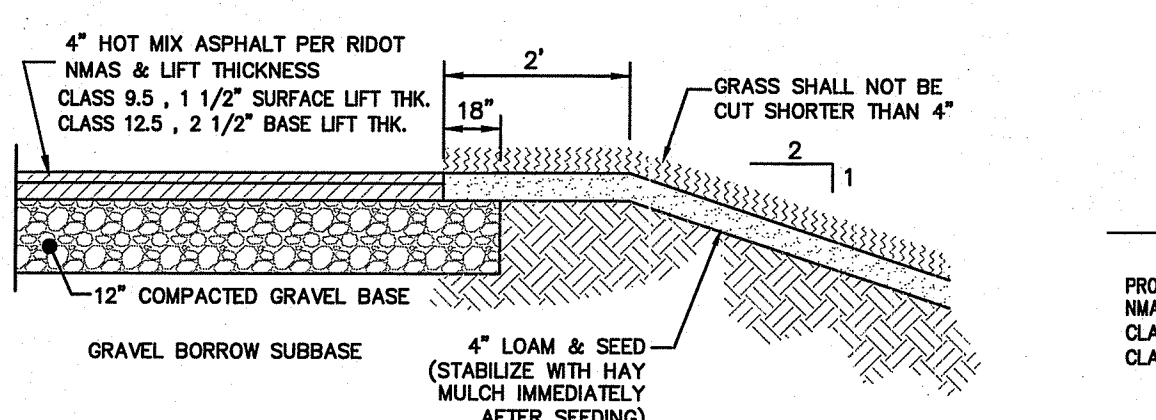
PAVEMENT & PRECAST CONCRETE CURB DETAIL

- NOTES:
- HOT MIX ASPHALT (HMA) SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06, AND RIDOT SECT. 401.03.11 AND AS SPECIFIED IN THE RIDOT-HMA CONSTRUCTION SPECIFICATIONS.
 - 6" GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11 AS LISTED BELOW: GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SIEVE DESIGNATION | PERCENT PASSING | MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION |
|-------------------|-----------------|---|
| 1/2 IN | 50-85 | |
| NO. 4 | 40-75 | |
| NO. 10 | 8-28 | |
| NO. 200 | 0-10 | |



NYLOPLAST DRAIN BASIN MANHOLE DETAIL INLINE DRAIN MANHOLE - IDMH (TYP)

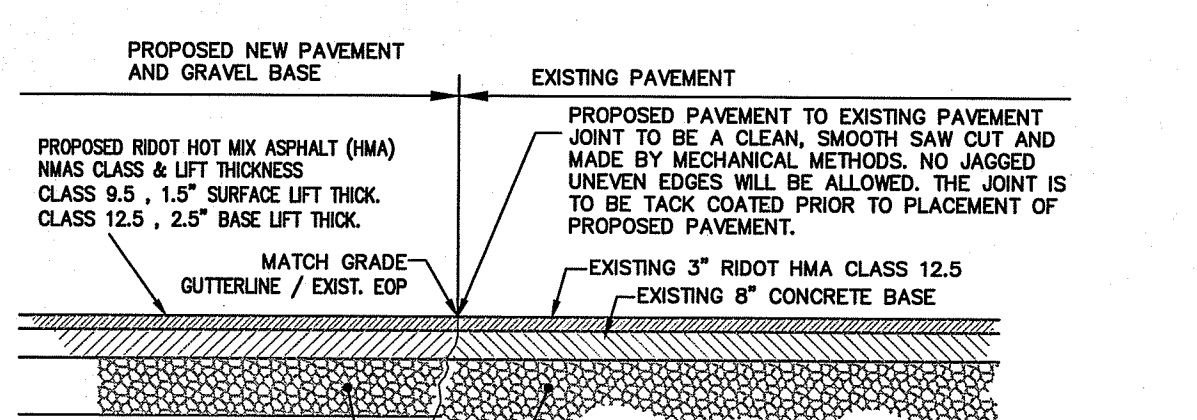
- NOTES:
- ALL MATERIALS AND CONSTRUCTION OF PLASTIC DRAIN MANHOLE SHALL CONFORM TO THE STANDARDS, REQUIREMENTS AND SPECIFICATIONS ESTABLISHED BY ADVANCED DRAINAGE SYSTEMS (ADS) INC., NYLOPLAST, ASTM, AND AASHTO.
 - FINAL MATERIAL SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, AND PROJECT OWNER.
 - CERTIFIED MANUFACTURERS REFERENCE/CONTACT : WWW.ADS-PIPE.COM



TYPICAL PAVEMENT & GRASS BORDER DETAIL

- NOTES:
- ROADWAY PAVEMENT SAW CUTTING CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 932 AND SECTION 934.03.1 OF THE R.I. STANDARD SPECIFICATIONS.
 - AGGREGATES, GRAVEL BASE AND SUBBASE COURSES MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 300 AND SECTION M.01 OF THE R.I. STANDARD SPECIFICATIONS.
 - PAVEMENT MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 400 AND SECTION M.03 OF THE R.I. STANDARD SPECIFICATIONS AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
 - CONCRETE MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 600 OF THE R.I. STANDARD SPECIFICATIONS.
 - DEPTH(S) OF NEW MATERIALS SHALL AT MINIMUM MATCH EXISTING PAVEMENT CONSTRUCTION DEPTHS FOR GRAVEL BORROW, SUBBASE, BASE, AND HOT MIX ASPHALT (HMA).
 - PAVEMENT CONSTRUCTION SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06, AND RIDOT SECT. 401.03.11 AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
 - GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11.
 - GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SIEVE DESIGNATION | PERCENT PASSING | MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION |
|-------------------|-----------------|---|
| 1/2 IN | 50-85 | |
| NO. 4 | 40-75 | |
| NO. 10 | 8-28 | |
| NO. 200 | 0-10 | |

TYPICAL GRAVEL ROADWAY & GRASS BORDER DETAIL



PAVEMENT SAW CUT & MATCH ROADWAY ENTRANCE & UTILITY TRENCH

- NOTES:
- ROADWAY PAVEMENT SAW CUTTING CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 932 AND SECTION 934.03.1 OF THE R.I. STANDARD SPECIFICATIONS.
 - AGGREGATES, GRAVEL BASE AND SUBBASE COURSES MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 300 AND SECTION M.01 OF THE R.I. STANDARD SPECIFICATIONS.
 - PAVEMENT MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 400 AND SECTION M.03 OF THE R.I. STANDARD SPECIFICATIONS AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
 - CONCRETE MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 600 OF THE R.I. STANDARD SPECIFICATIONS.
 - DEPTH(S) OF NEW MATERIALS SHALL AT MINIMUM MATCH EXISTING PAVEMENT CONSTRUCTION DEPTHS FOR GRAVEL BORROW, SUBBASE, BASE, AND HOT MIX ASPHALT (HMA).
 - PAVEMENT CONSTRUCTION SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06, AND RIDOT SECT. 401.03.11 AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
 - GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11.
 - GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SIEVE DESIGNATION | PERCENT PASSING | MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION |
|-------------------|-----------------|---|
| 1/2 IN | 50-85 | |
| NO. 4 | 40-75 | |
| NO. 10 | 8-28 | |
| NO. 200 | 0-10 | |

CONSTRUCTION SEQUENCE

- INSTALL CONSTRUCTION FENCING/TREE PROTECTION AS SPECIFIED.
- INSTALL PERIMETER EROSION CONTROL MEASURES, CONSTRUCTION EXIT, AND INLET PROTECTION ON ADJACENT DRAINAGE STRUCTURES.
- CLEAR AND GRUB PROPERTY, INSTALL STORMWATER OUTFALL TEMPORARY SEDIMENT TRAPS.
- PERFORM DEMOLITION AND ROUGH GRADE SITE.
- INSTALL UTILITIES AND SITE IMPROVEMENTS. FINISH GRADE AND INSTALL LANDSCAPE MATERIAL AS SPECIFIED.
- REMOVE SEDIMENTATION CONTROLS ONLY WHEN SITE IS COMPLETELY STABILIZED, AND AT THE DIRECTION OF THE OWNER/ENGINEER.

ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED August 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.

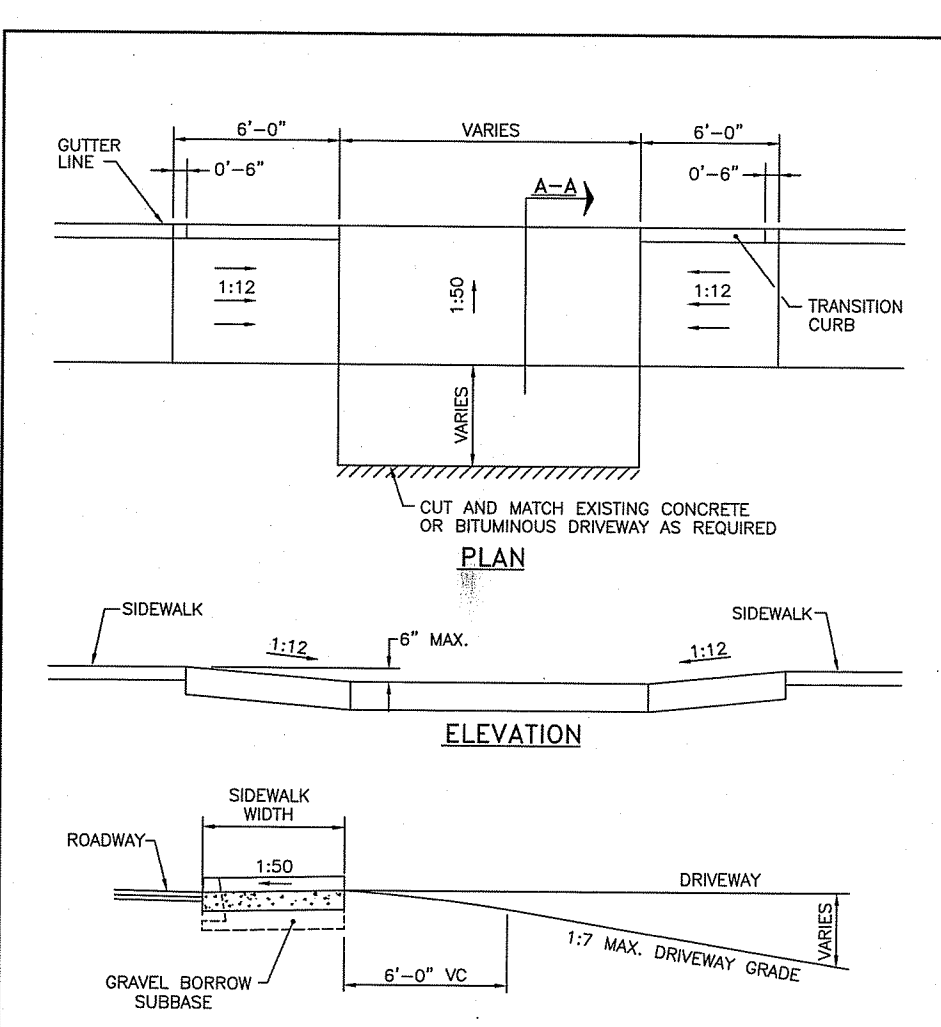
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UTILITY & DRAINAGE WORK NOTES:

- UTILITY WORK SUCH AS SEWER, WATER, GAS, ELECTRIC, ETC. CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE R.I.D.O.T. UTILITY PERMIT - CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
- THERE ARE NO PROPOSED STORMWATER DRAINAGE WORK WITHIN THE RHODE ISLAND STATE HIGHWAY LAYOUT.

TH 1	Horizon	Depth	Dist	Topo	Matk	Re-Dex Features	Ab. S. Contr.	Texture	Structure	Consistence	Soil category
HTM	12.0	A	S	10/9/92	-	-	-	sl	198k	wt	3
Ap	5.0	A	S	10/9/92	-	-	-	sl	198k	wt	3
Bw	16.4	D	W	2/27/03	-	-	-	sl	198k	vt	3
Cd	48.8	D	W	8/1/02	-	-	-	sl	198k	vt	3
Cd	48.8	D	W	8/1/02	-	-	-	sl	198k	vt	3

TH 2	Horizon	Depth	Dist	Topo	Matk	Re-Dex Features	Ab. S. Contr.	Texture	Structure	Consistence	Soil category
HTM	10.0	A	S	-	-	-	-	sl	198k	wt	3
Ap	5.0	A	S	10/9/92	-	-	-	sl	198k	wt	3
Bw	10.4	D	W	10/9/92	-	-	-	sl	198k	vt	3
Bw	24.0	D	W	2/27/03	-	-	-	sl	198k	vt	3
Cd	38.0	D	W	8/1/02	-	-	-	sl	198k	vt	3

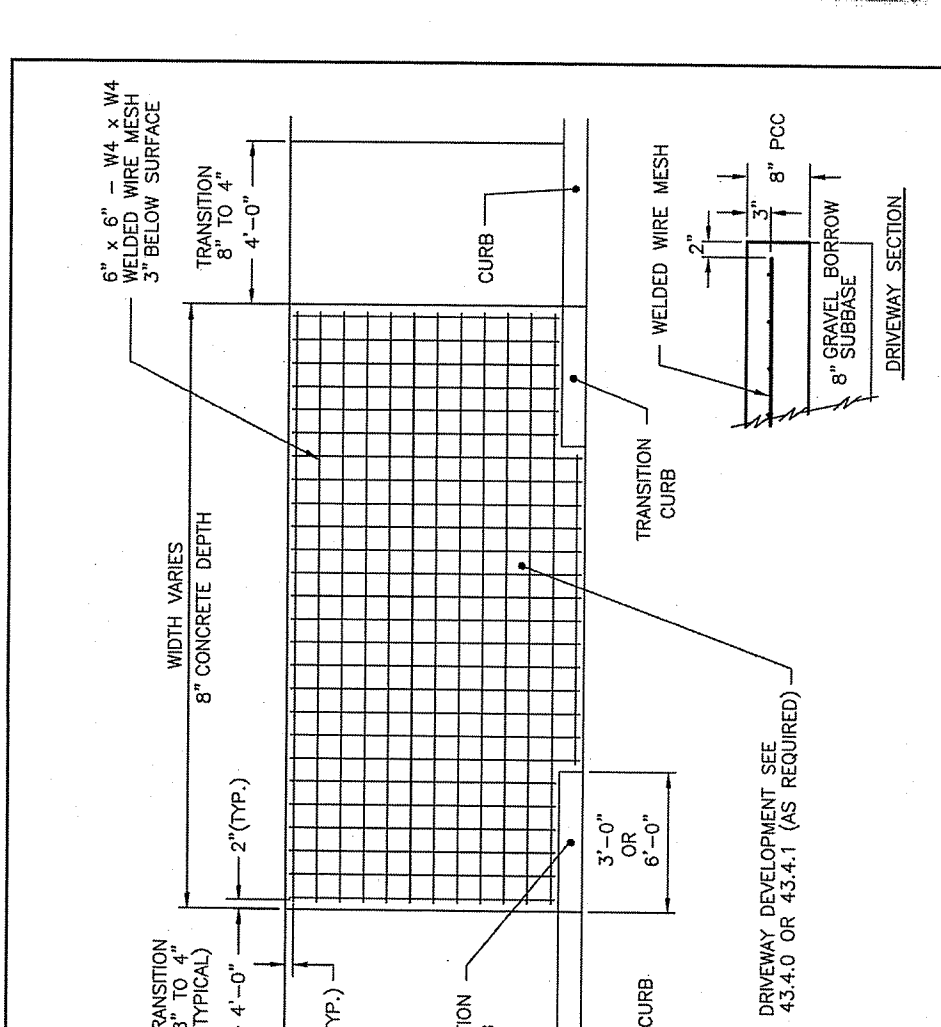


RHODE ISLAND DEPARTMENT OF TRANSPORTATION
DRIVEWAY DEVELOPMENT FOR 6'-0" TRANSITION CURB

NO. 1 BY DATE: 1 M.P. 1/27/05
NO. 2 M.P. 6/27/08

DATE: JUNE 15, 1998

R.I. STANDARD 43.4.1

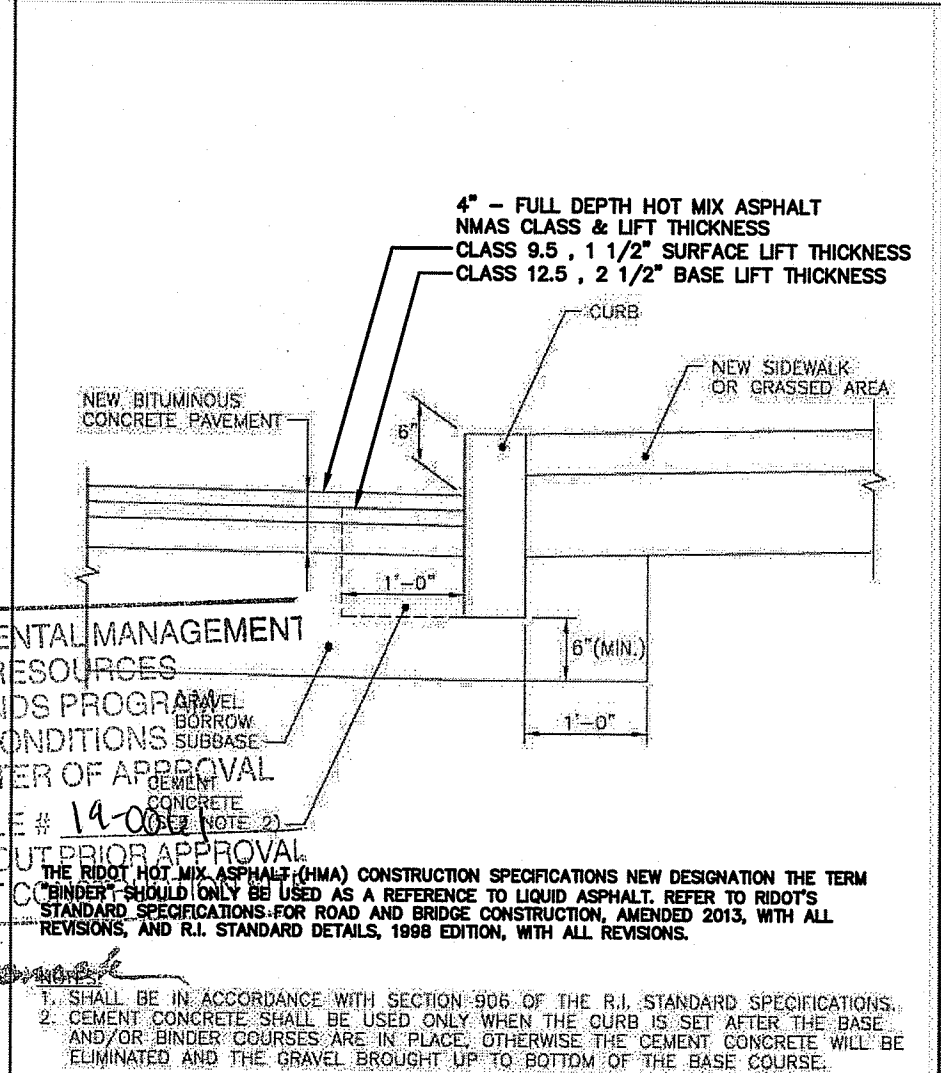


RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CEMENT CONCRETE DRIVEWAYS

NO. 1 BY DATE: 1 M.P. 1/27/05
NO. 2 M.P. 6/27/08
NO. 3 M.P. 6/27/10

DATE: JUNE 15, 1998

R.I. STANDARD 43.5.0

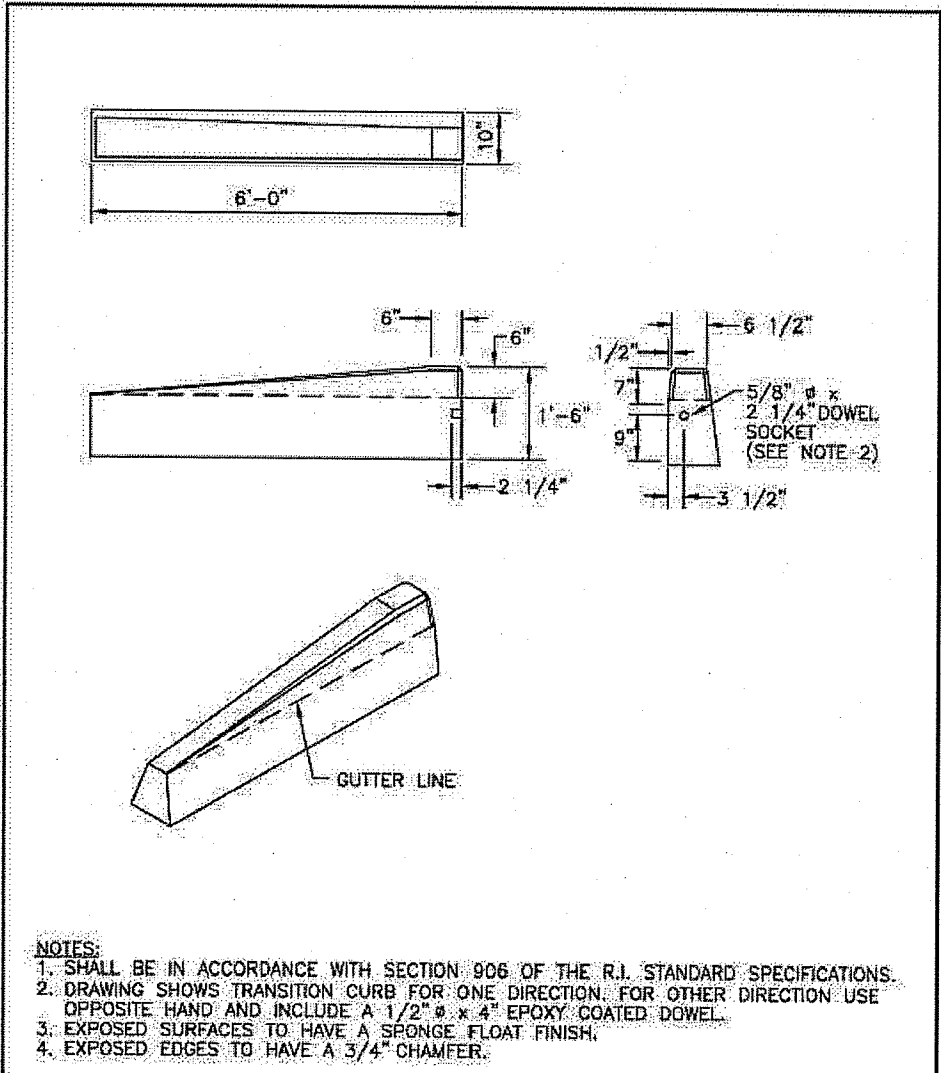


RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CURB SETTING DETAIL

NO. 1 BY DATE: 1 M.P. 1/27/05
NO. 2 M.P. 6/27/08

DATE: JUNE 15, 1998

R.I. STANDARD 7.6.0



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
6'-0" PRECAST CONCRETE TRANSITION CURB

NO. 1 BY DATE: 1 M.P. 1/27/05
NO. 2 M.P. 6/27/08
NO. 3 M.P. 6/27/10

DATE: JUNE 15, 1998

R.I. STANDARD 7.1.2

LDEC
Land Development Engineering & Consulting, LLC

680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

NO.	DATE	REVISIONS	APPROVED
1	5/24/19	REVISED PER RIDOT & RIDEM COMMENTS	MEER
2	3/27/19	REVISED LANDSCAPE BUFFER	MEER

DATE: FEBRUARY 25, 2019

DRAWN BY: RT / RLM COMPS BY: RT / RLM CHECK BY: RLM/MEER

PROJECT NO: 18087

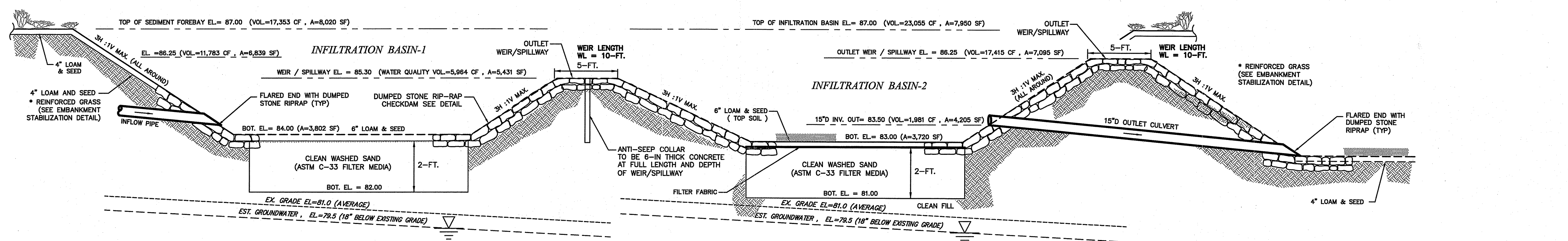
ISSUED FOR: PERMITTING

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SITE REDEVELOPMENT PLAN
54 BRISTOL FERRY ROAD
PORTSMOUTH, RHODE ISLAND
ASSESSORS MAP 28, PARCEL 17
PREPARED FOR
RAGGED ISLAND BREWING COMPANY

DRAWING TITLE:
CONSTRUCTION DETAILS

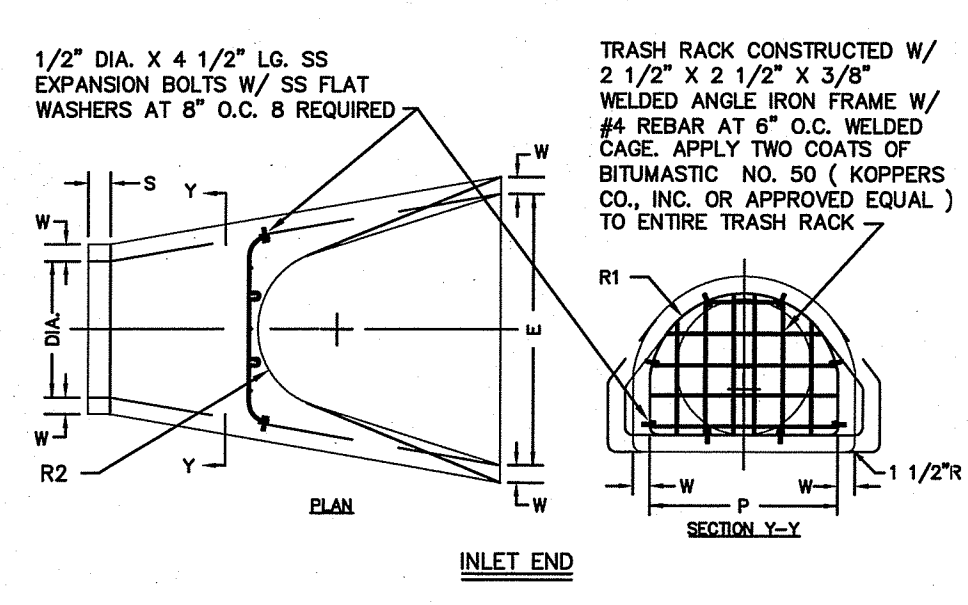
SCALE: NOT TO SCALE
SHEET NO. 9 of 10



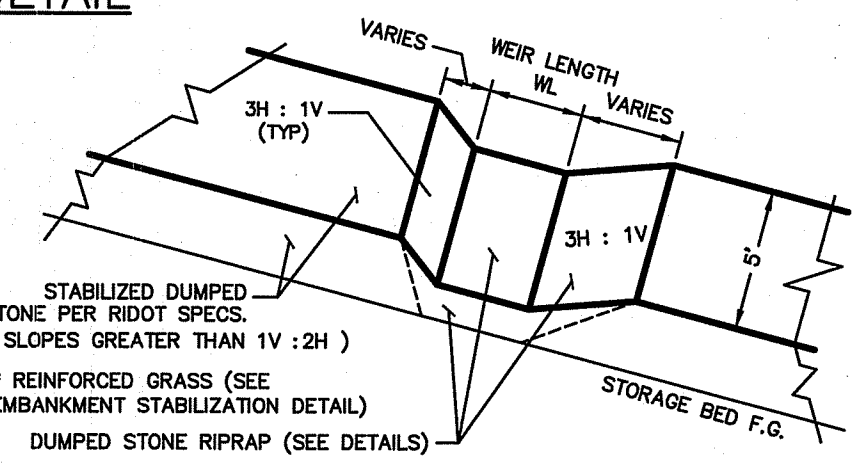
STORMWATER STORAGE & RECHARGE SYSTEM DETAIL

INFILTRATION BASIN 1&2

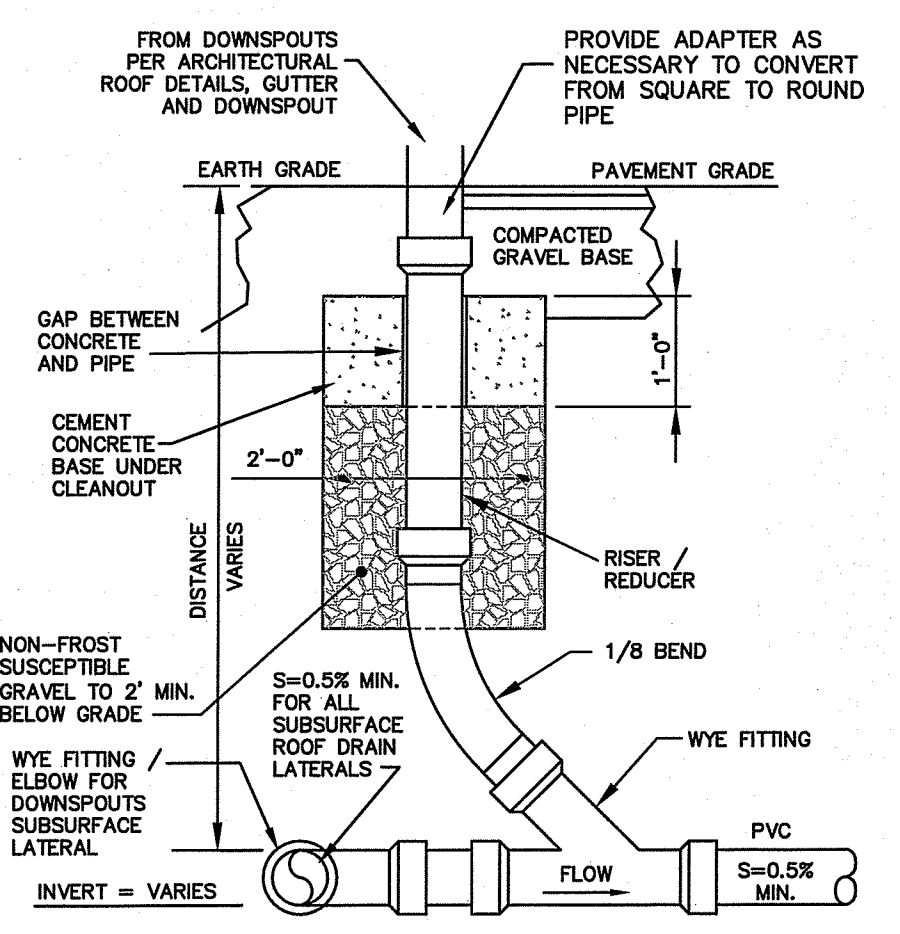
NOT TO SCALE
 NOTES:
 1. REFER TO PROJECT DRAINAGE REPORT HYDROCAD® CALCULATIONS FOR ADDITIONAL INFORMATION.



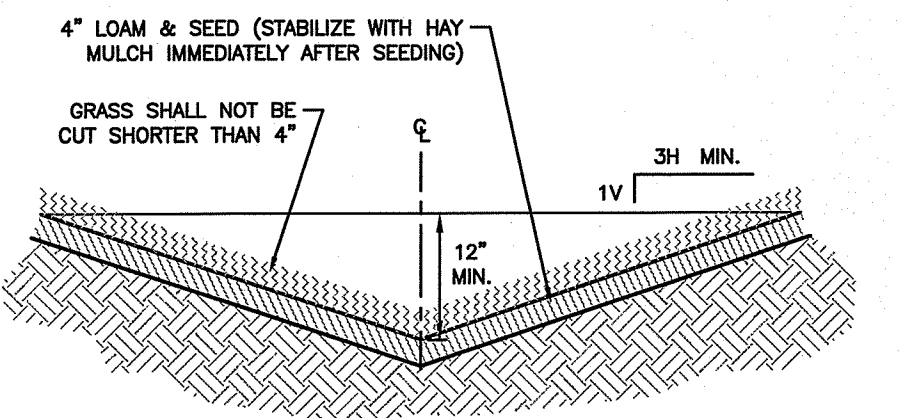
REINFORCED CONCRETE PIPE FLARED ENDS W/ TRASH RACK



SEDIMENT FOREBAY OVERFLOW SPILLWAY DETAIL



DOWNSPOUT CONNECTION & ROOF DRAIN DETAIL



VEGETATED SWALE SECTION

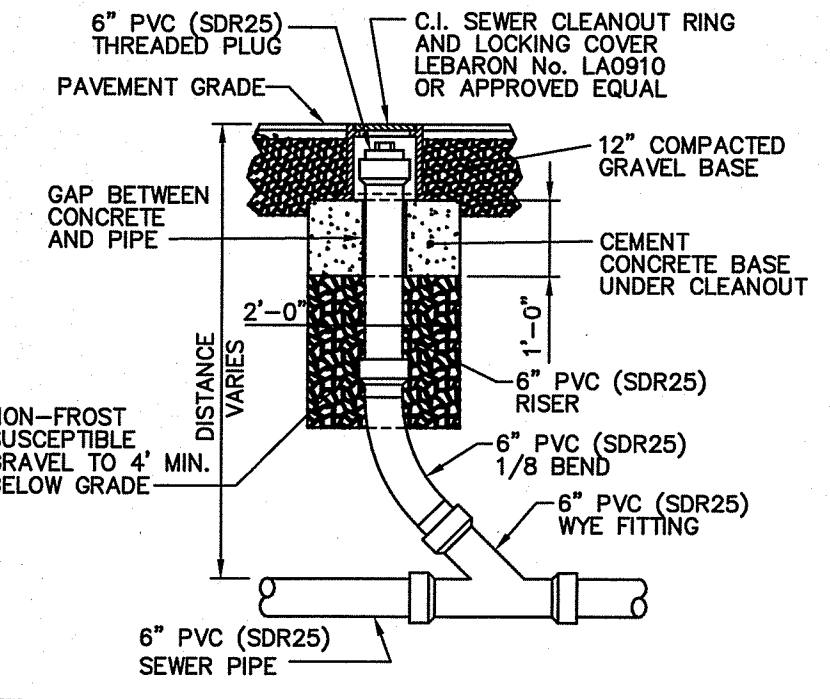
TYPICAL OUTLET PROTECTION DUMPED STONE RIP-RAP DETAIL

NOT TO SCALE

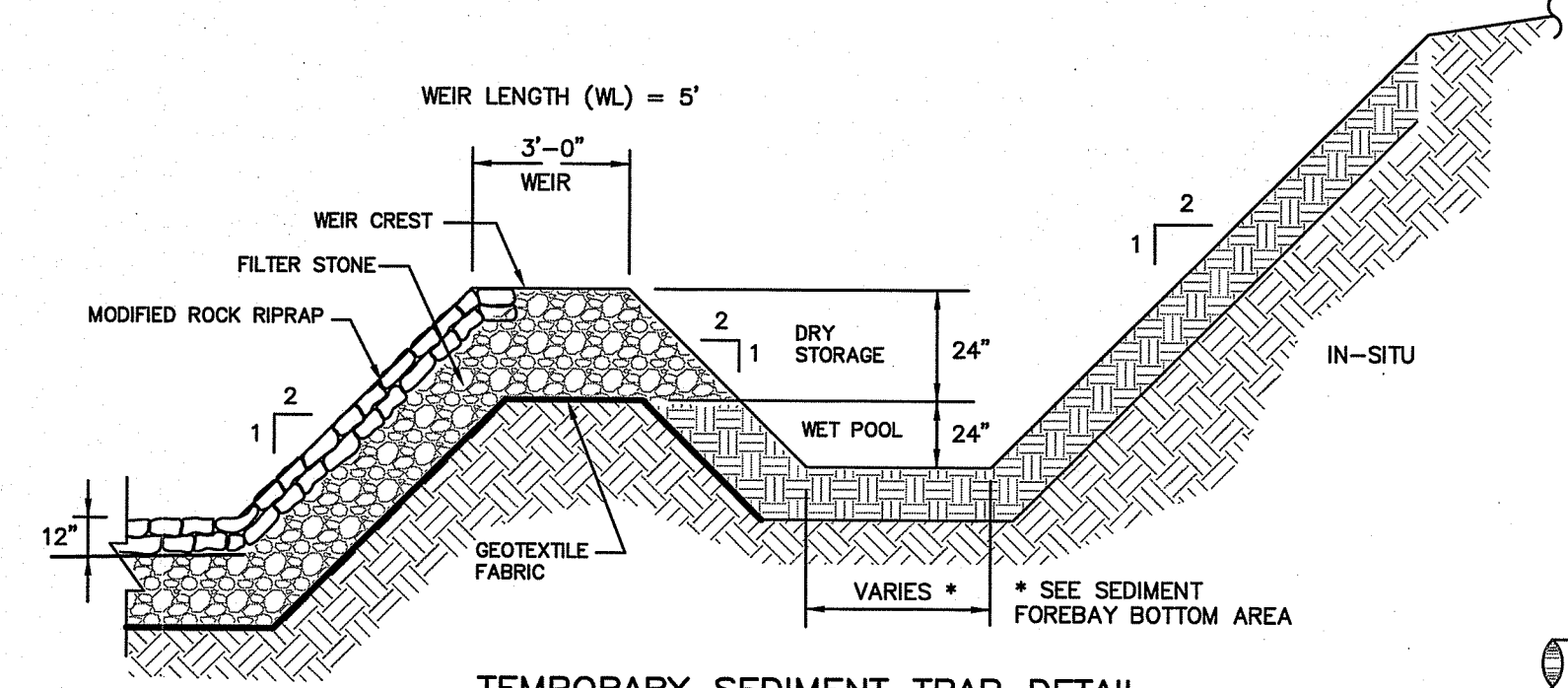
ROCK GRADATION	
SIZE OF STONE (INCHES)	PERCENT (%) OF TOTAL WEIGHT SMALLER THAN THE GIVEN SIZE
6 TO 8	100
5 TO 7	85
4 TO 6	50
1 TO 2	15

NOTES:
 1. STONES SIZES ARE BASED UPON ASSUMED SPECIFIC WEIGHT OF 165 LBS./CF.
 2. DUMPED STONE RIP-RAP STONE SIZE AS PER RIDOT (STD. SPEC. SEC. M.10.03).

TYPICAL OUTLET PROTECTION DUMPED STONE RIP-RAP DETAIL



TYPICAL SEWER CLEANOUT DETAIL



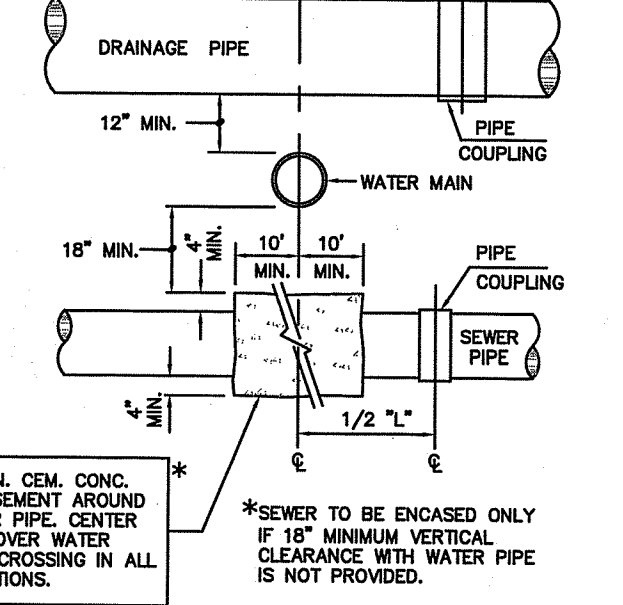
TEMPORARY SEDIMENT TRAP DETAIL

TEMPORARY SEDIMENT TRAP SIZING:

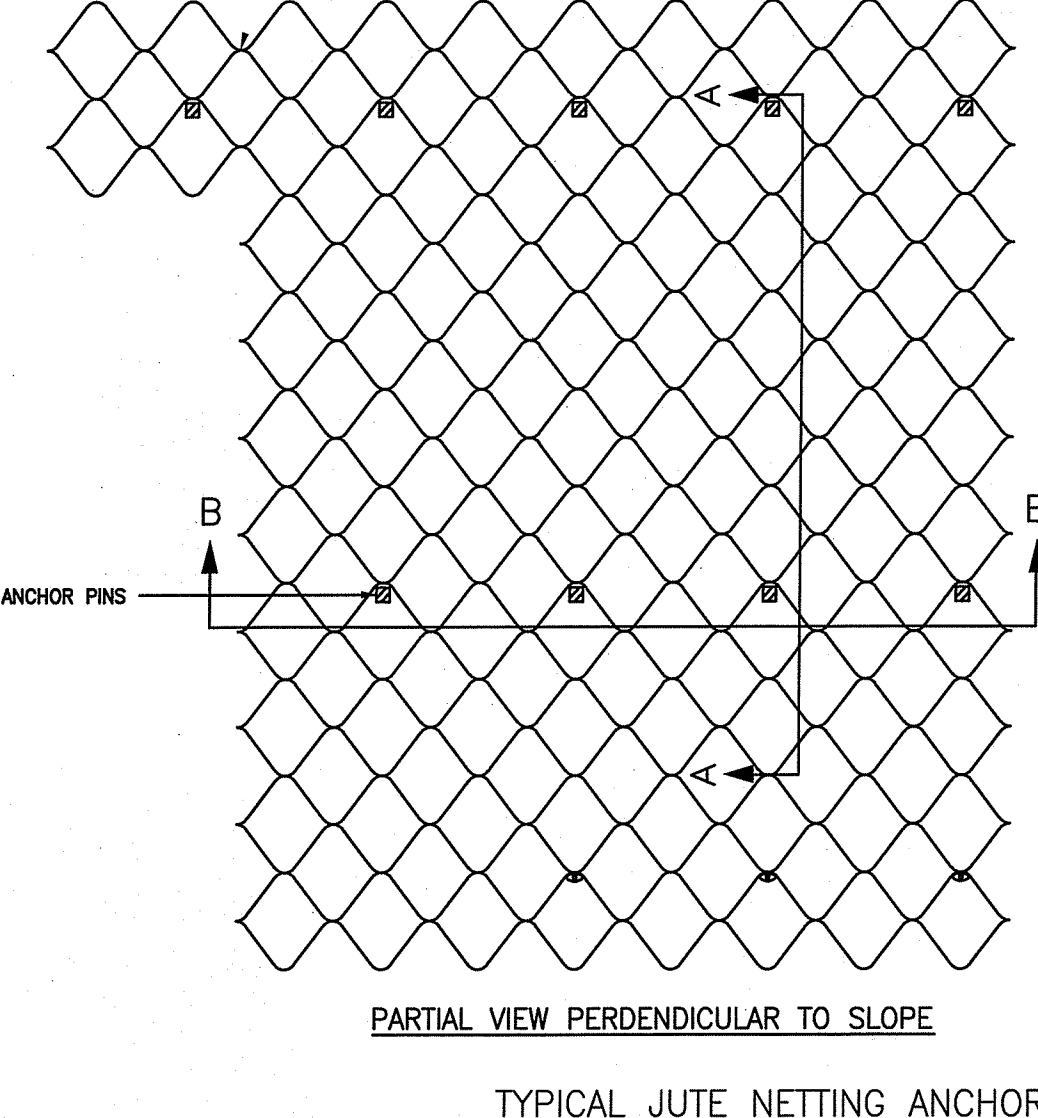
WET STORAGE VOLUME (Vw):
 $V_w = 0.85 \times A_w \times D_w$
 A_w = THE SURFACE AREA OF THE FLOODED AREA AT THE BASE OF THE STONE OUTLET (SQ.FT.)
 D_w = THE MAXIMUM DEPTH IN FEET, MEASURED FROM THE LOW POINT IN THE TRAP TO THE BASE OF THE STONE OUTLET

DRY STORAGE VOLUME (Vd):
 $V_d = (A_w + A_d) / 2 \times D_d$
 A_w = THE SURFACE AREA OF THE FLOODED AREA AT THE BASE OF THE STONE OUTLET (SQ.FT.)
 A_d = THE SURFACE AREA OF THE FLOODED AREA AT THE TOP OF THE STONE OUTLET [OVER FLOW MECHANISM] (SQ.FT.)
 D_d = THE DEPTH IN FEET, MEASURED FROM THE BASE OF THE STONE OUTLET TO THE TOP OF THE STONE OUTLET

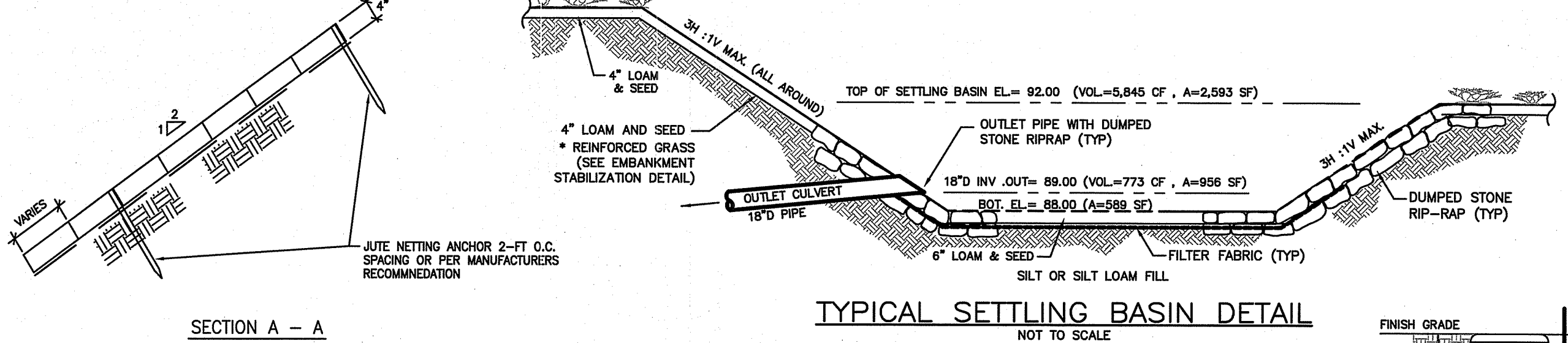
$V_w = 0.85 \times 2,058 \times 2 = 3,500$ CU.FT. (TEMP. SEDIMENT TRAP-1)
 $V_d = (2,058 + 3,042) / 2 \times 2 = 5,100$ CU.FT. (TEMP. SEDIMENT TRAP-1)



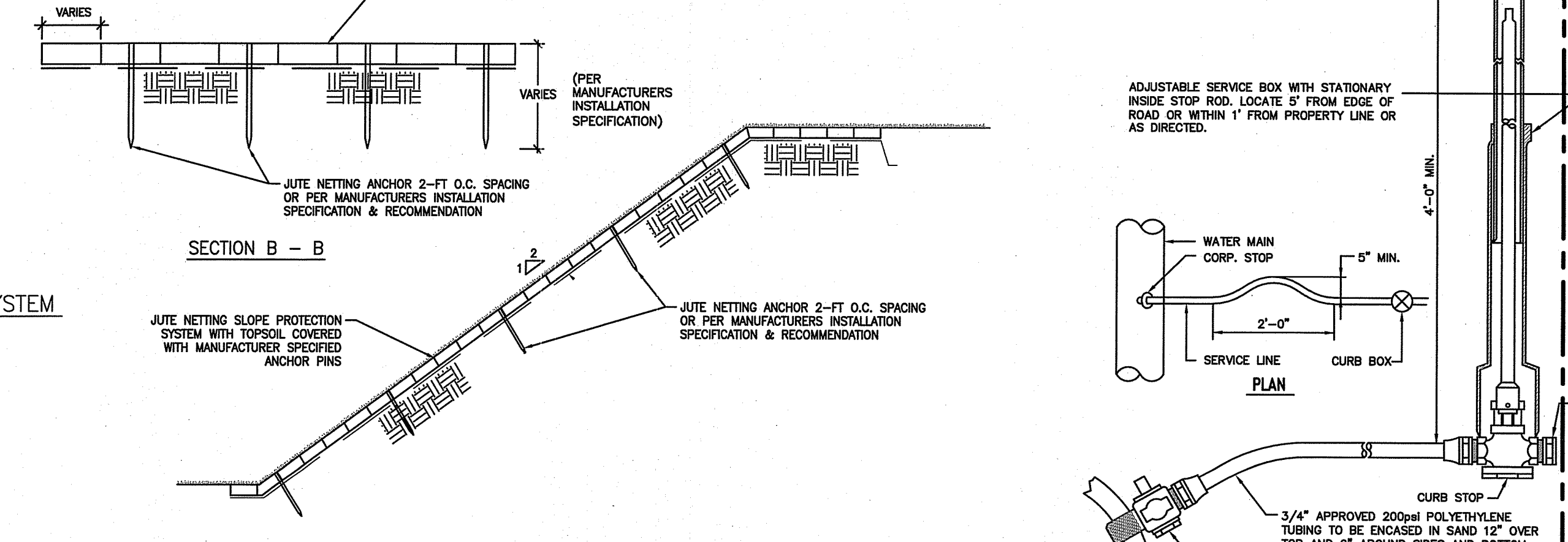
SEWER, WATER & DRAIN CROSSING DETAIL



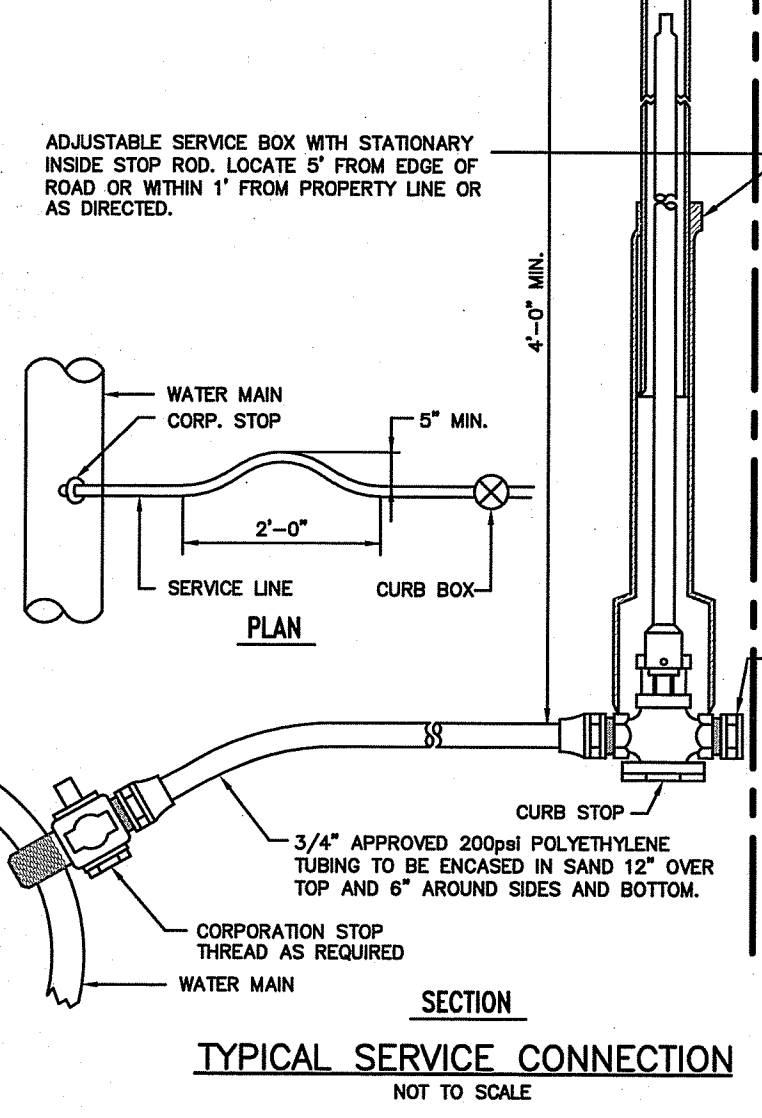
TYPICAL JUTE NETTING ANCHOR SYSTEM



TYPICAL SETTLING BASIN DETAIL



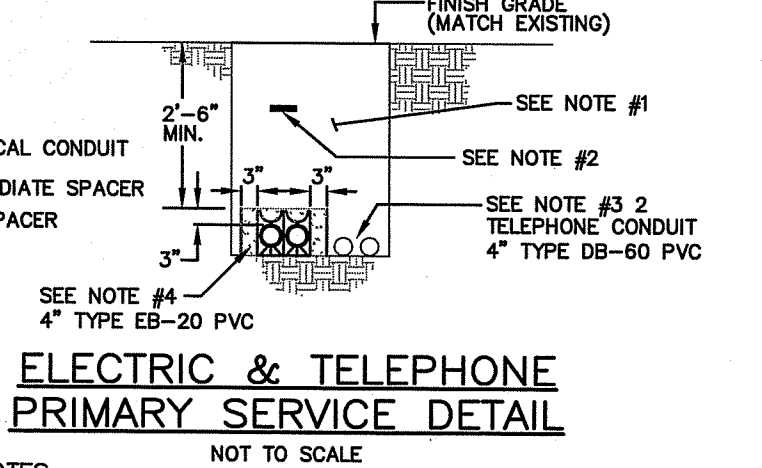
CROSS SECTION OF A TYPICAL JUTE NETTING SLOPE PROTECTION SYSTEM



TYPICAL SERVICE CONNECTION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED 09/20/19 FILE # 19-0061
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

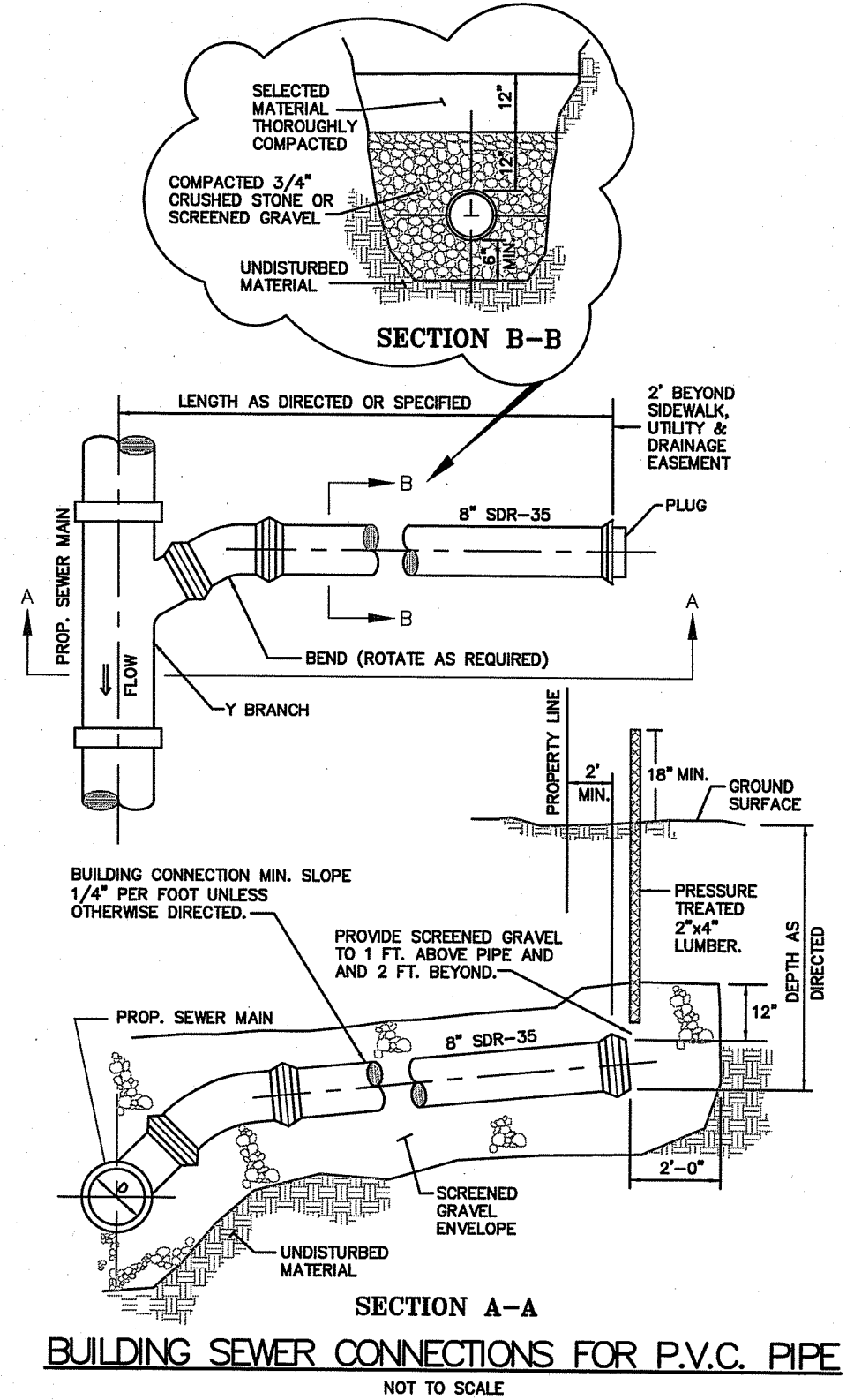
Signature: D. Schmalz



ELECTRIC & TELEPHONE PRIMARY SERVICE DETAIL

NOT TO SCALE

NOTES:
 (1) BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CHALKS, SHELL, OR FROZEN MATERIAL.
 (2) WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE POWER CONDUIT.
 (3) MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:
 COMMUNICATION - 3" OF CONCRETE ENCASEMENT
 WATER, GAS, SEWER - 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.
 (4) CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES. CONCRETE SHALL BE IN ACCORDANCE WITH STANDARD 021.



BUILDING SEWER CONNECTIONS FOR P.V.C. PIPE

ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, Amended August 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.

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LDEC
 Land Development Engineering & Consulting, LLC

1700 West Main Road, Suite 8
 Middletown, RI 02842
 T:401-354-2050 F:401-369-9775
 mrussell@ldeccllc.com

NO.	DATE	DESCRIPTION
1.	3/21/19	REVISED LANDSCAPE BUFFER
2.	5/24/19	REVISED PER RIDOT & RIDEM COMMENTS

DATE: FEBRUARY 25, 2019
 DRAWN BY: RT DESIGN BY: RT CHECK BY: MER
 PROJECT NO. 18087

ISSUED FOR: **PERMITTING**

MICHAEL E. RUSSELL
 No. 7956
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SITE REDEVELOPMENT PLAN
 54 BRISTOL FERRY ROAD
 PORTSMOUTH, RHODE ISLAND
 ASSESSORS MAP 28, PARCEL 17
 PREPARED FOR
 RAGGED ISLAND BREWING COMPANY

DRAWING TITLE: **CONSTRUCTION DETAILS**

SCALE: **NTS**

SHEET NO. **10 of 10**