

**EXISTING IMPERVIOUS AREA**

NO.	ITEM	AREA	NOTES
1	AC PADS	70	ft <sup>2</sup>
2	BUILDING	8,957	ft <sup>2</sup>
3	CONC. WALKWAYS	124	ft <sup>2</sup>
4	PAVEMENT (FRONT)	9,775	ft <sup>2</sup>
5	PAVEMENT (BACK)	5,604	ft <sup>2</sup>
6	TOTAL	24,530	ft <sup>2</sup>
7	LOT AREA	46,306	ft <sup>2</sup> 1.06 ACRES
8	COVER PERCENTAGE	53.0%	

**UNMANNED AERIAL VEHICLE (UAV) NOTES:**

- THIS PLAN IS BASED ON A PRIVATE UAV FLIGHT PROVIDED BY NARRAGANSETT ENGINEERING INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THE UAV FLIGHT TOOK PLACE ON NOVEMBER 24, 2018. RMS ERROR OF GROUND CONTROL POINTS (COMPLETED) - 0.011'. IMAGES WERE TAKEN AT 150 FT. ABOVE GROUND LEVEL. PIXEL SIZE IS 0.01" EXPECTED VERTICAL TOLERANCE (RMS ERROR, Z) 0.014'.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- ELEVATIONS WERE COMPUTED FROM A PRIVATE UAV FLIGHT USING PHOTOGRAMMETRY SOFTWARE AND TESTED AGAINST FOUR GROUND CONTROL POINTS WITH AN AVERAGE VERTICAL ACCURACY OF .08 FT. THERE MAY BE ANOMALIES IN THE DATA AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ORTHOGRAPHY PHOTO DEVELOPED BY DATA AND PICTURES COLLECTED BY THE UAV TO ACCURATELY INTERPOLATE AND DEPICT THE SITE.
- UAV FLOWN BY FAA CERTIFIED PILOT AND WAS PROPERLY INSURED DURING FLIGHT.



**EXISTING CONDITIONS PLAN**

**SURVEY NOTES:**

- ZONING INFORMATION SHOW FROM RECORD INFORMATION, MAPS AND/OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY. ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND/OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
- COORDINATE SYSTEM IS R19800 / NAVD 88.
- ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
- PLAN IS NOT AS-BUILT UTILITY PLAN. LOCATION OF SUBSURFACE MAINS, SURFACE FEATURES, AND LATERALS ARE OMITTED. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE BASE MAP IMAGE IS COURTESY RIGIS ORTHOPHOTO (2014)
- TEL. # 1-800-344-7233 (1-800-DIG-SAFE).
- WATER - OMITTED FROM PLAN
- SEPTIC - OMITTED FROM PLAN
- GAS - OMITTED FROM PLAN
- ELECTRIC - OVERHEAD SHOWN
- STORM DRAIN - SURFACE FEATURES SHOWN

**MEANDER NOTE:**

STONE WALLS MEANDER, PROPERTY LIMITS DISPLAYED ARE THE BEST FIT BASED ON RECORDED PLANS AND DEEDS. THE ACTUAL CENTERLINE OF THE STONE WALLS ARE THE PROPERTY LIMITS UNLESS NOTED OTHERWISE. LINEWORK IS NOT A COMPLETELY PRECISE LIMIT IN CASES WHERE WALLS MEANDER FROM THE CENTERLINE.

**NARRAGANSETT ENGINEERING INC.**

MAIN OFFICE:  
3102 EAST MAIN ROAD,  
PORTSMOUTH, RI 02871  
TEL: (401) 683-6630

nei-cds.com

SHEET TITLE  
**79 AQUINECK DRIVE**  
EXISTING CONDITIONS PLAN

OWNER(S) OF RECORD  
22 V2 HOLDINGS CO., LLC  
C/O JOHN PETERS 23 HURST LN  
TIVERTON RI 02878

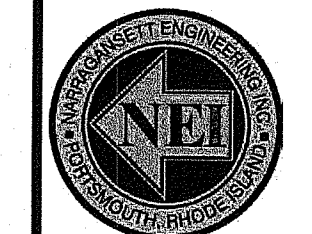
PREPARED FOR:  
THOMAS KELLY  
23 HURST LANE  
TIVERTON, RI 02878

A.P.: PLAT: 203. LOT: 121

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 19, 2021 FILE # 19-0103  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

KAMAL HINGORANY  
REGISTERED PROFESSIONAL ENGINEER

REFER SURVEY PLAN  
"LIMITED CONTENT  
BOUNDARY SURVEY" BY NEI  
DTD 05.31.2018  
FOR ALL CLASS 1 / METES  
AND BOUNDS COMPONENTS



PROJECT #	DATE	DRAWN	CHECK
18.0140	01/11/2019	RJB	NKH

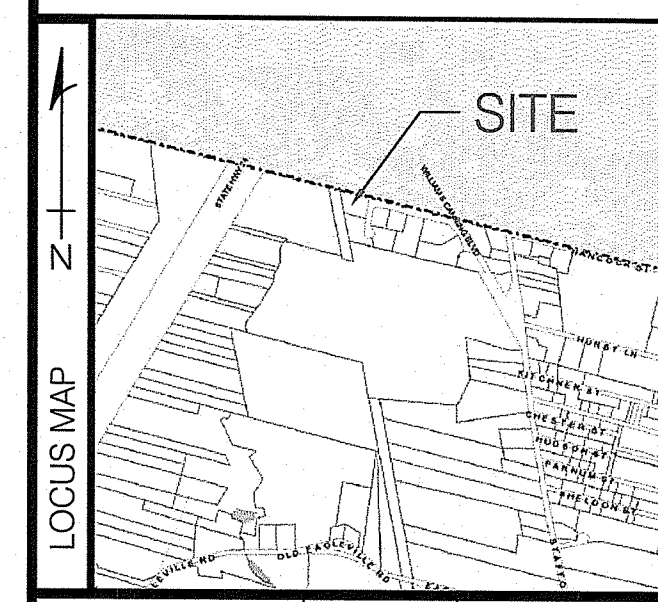
  

No	DATE	REVISIONS/DESCRIPTION	BY
Δ	12/31/19	RIDEM COMMENTS/STORMWATER	RJB
Δ	05/29/20	PER RIDEM COMMENTS	TJJ
Δ	08/22/20	PER RIDEM COMMENTS/ABUTTER	RJB

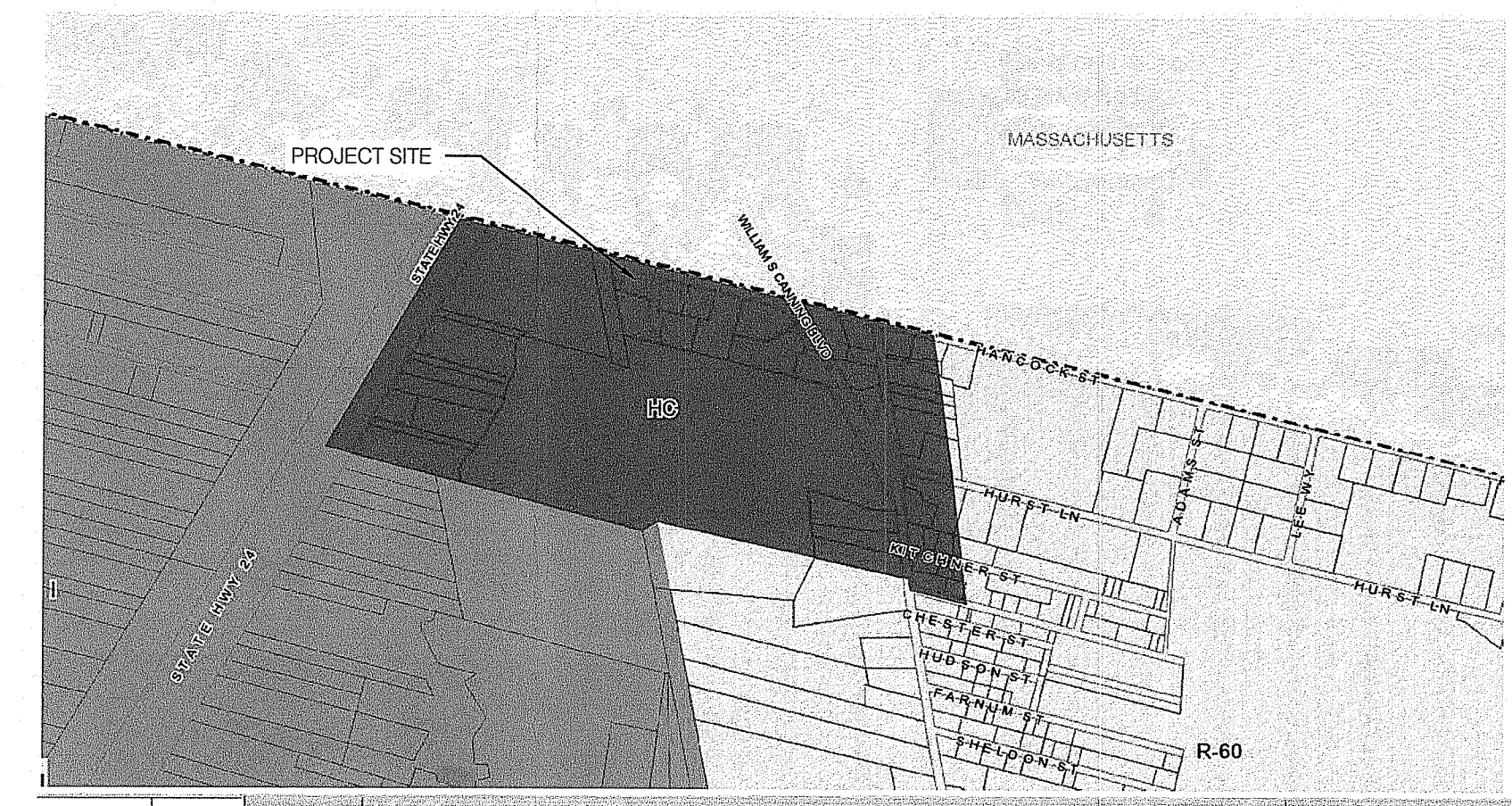
PRINTS MUST BE PRINTED IN COLOR  
THIS NOTE SHOULD APPEAR IN BLUE

PURPOSE:  
TO SHOW THE EXISTING CONDITIONS OF THE SITE  
AFTER WETLAND AREA WAS DISTURBED

DEM APPLICATION NO: 19-0103



C.01 SCALE 1"=20'



**LEGEND**

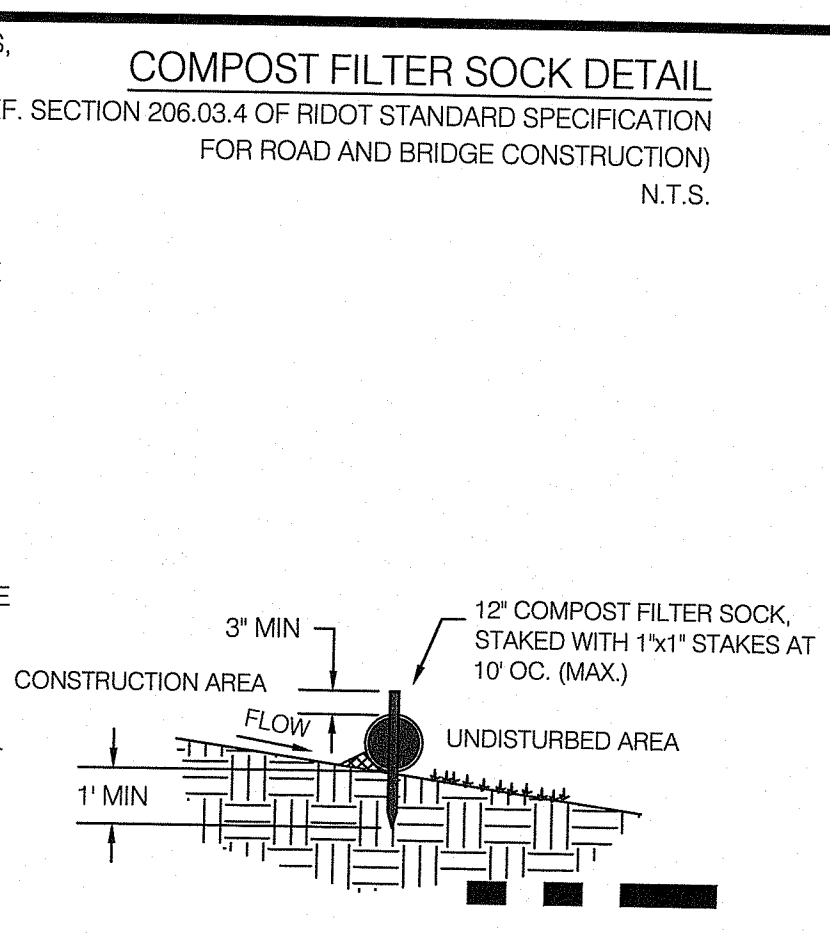
- BRUSH LINE (APPROXIMATE)
- 100.00' DIMENSION - EXISTING
- 100.00' (D) DIMENSION - PLAN / DEED
- 100.00' (S) DIMENSION - PROPOSED
- 100.00' (S) DIMENSION - SURVEY
- EDGE OF PAVEMENT - EXISTING
- EDGE OF PAVEMENT - PROPOSED
- ELECTRIC - OVERHEAD (OHE)
- ELECTRIC - TELEPHONE - CABLE (ETC)
- ELECTRIC - UNDERGROUND (UGE)
- FENCE - METAL
- FENCE - WOOD
- FLOW ARROWS
- GAS (G)
- 100.00' GRADE CONTOUR - EXISTING
- 100.00' GRADE CONTOUR - PROPOSED
- HVF HIGH VISIBILITY FENCE (HVF)
- LOD LIMIT OF DISTURBANCE (LOD)
- PROPERTY LINE - ABUTTING
- PROPERTY LINE - EXISTING
- PROPERTY LINE - PROPOSED
- SAN SANITARY SEWER (S)
- SED SEDIMENT CONTROL (SED)
- SETBACKS
- STONE WALL
- STORM DRAIN (SD)
- SUBDIVISION LINE - EXISTING
- WATER
- WETLAND LIMIT
- LOD / SED
- LOD / SED
- CATCH BASIN
- DRILL HOLE
- ELECTRIC BOX (ETC)
- FIRE HYDRANT
- GATE VALVE
- GRANITE BOUND, EXISTING
- LOW WATER LINE
- LIMIT OF DISTURBANCE MARKER
- MANHOLE (M-H-TYPE)
- REBAR / STEEL PIPE FOUND
- SPIKE
- X 5.10 SPOT GRADE - EXISTING
- X 6.0 SPOT GRADE - PROPOSED
- STRUCTURE, EXISTING
- STRUCTURE, PROPOSED
- SURVEY MONUMENT TO BE SET
- SURVEY MARKER TO BE SET
- SE # SOIL EVALUATION
- TREE
- UTILITY POLE
- WATER SHUT OFF
- WETLAND FLAG LOCATION

\* CHANGED ON DRAWING

N:\PROJECTS\18.0140\_ECOLOGIC (AQUINECK DRIVE)\18-0140 - ECOLOGIC (AQUINECK DRIVE)\_B1.EDITS.DWG C.01 NEI-Standard.ctb 8/18/2020 Tim Ison



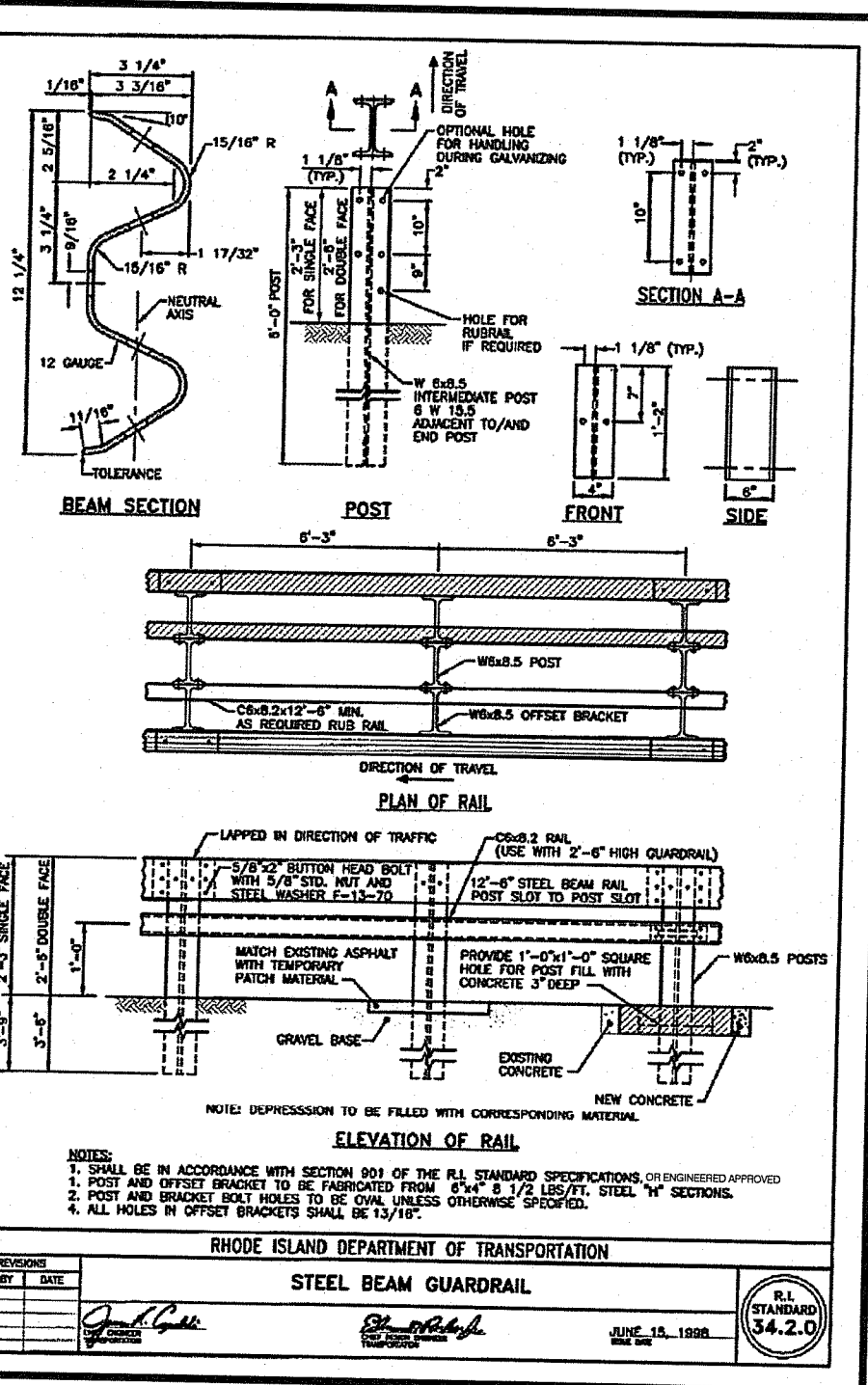
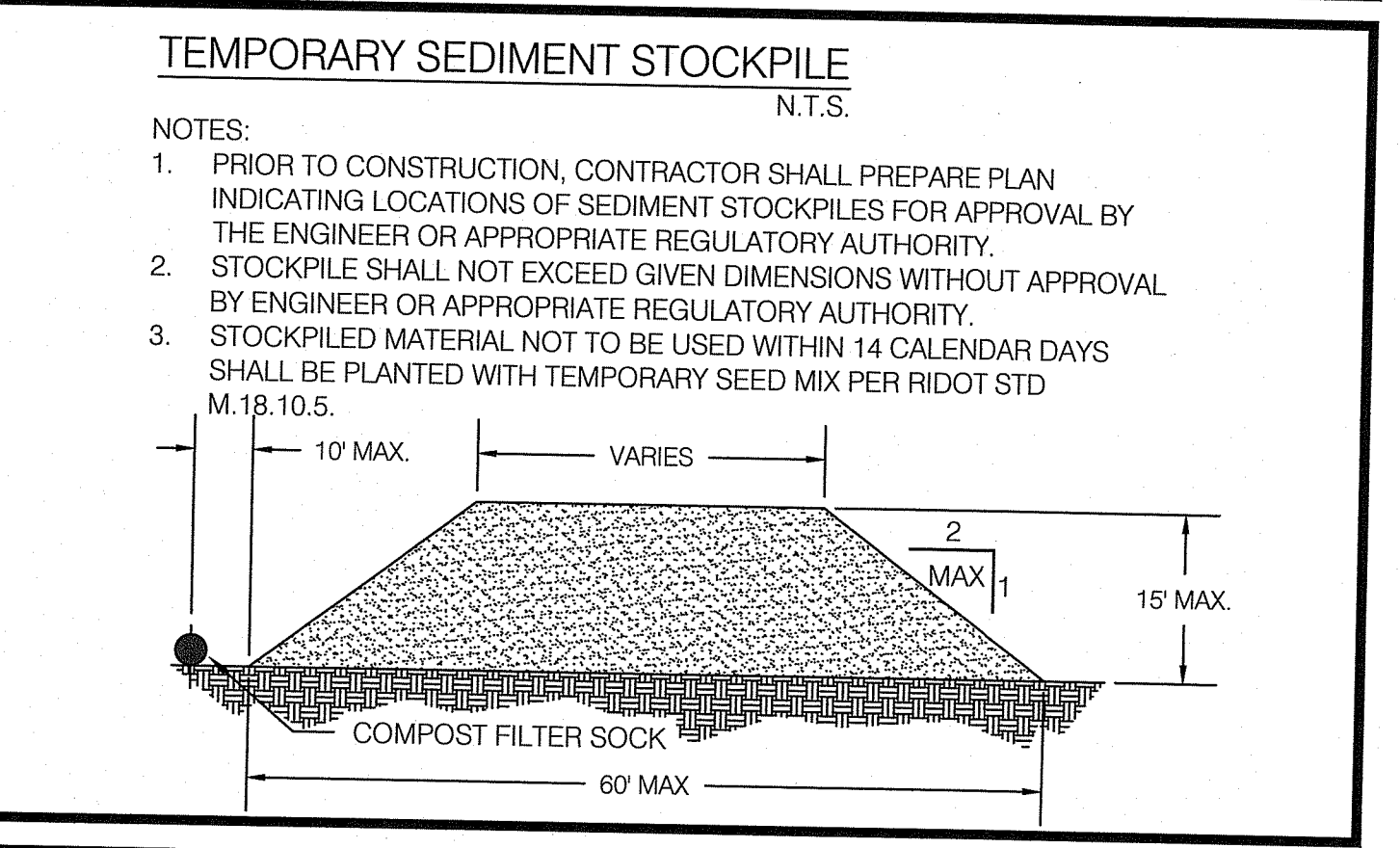
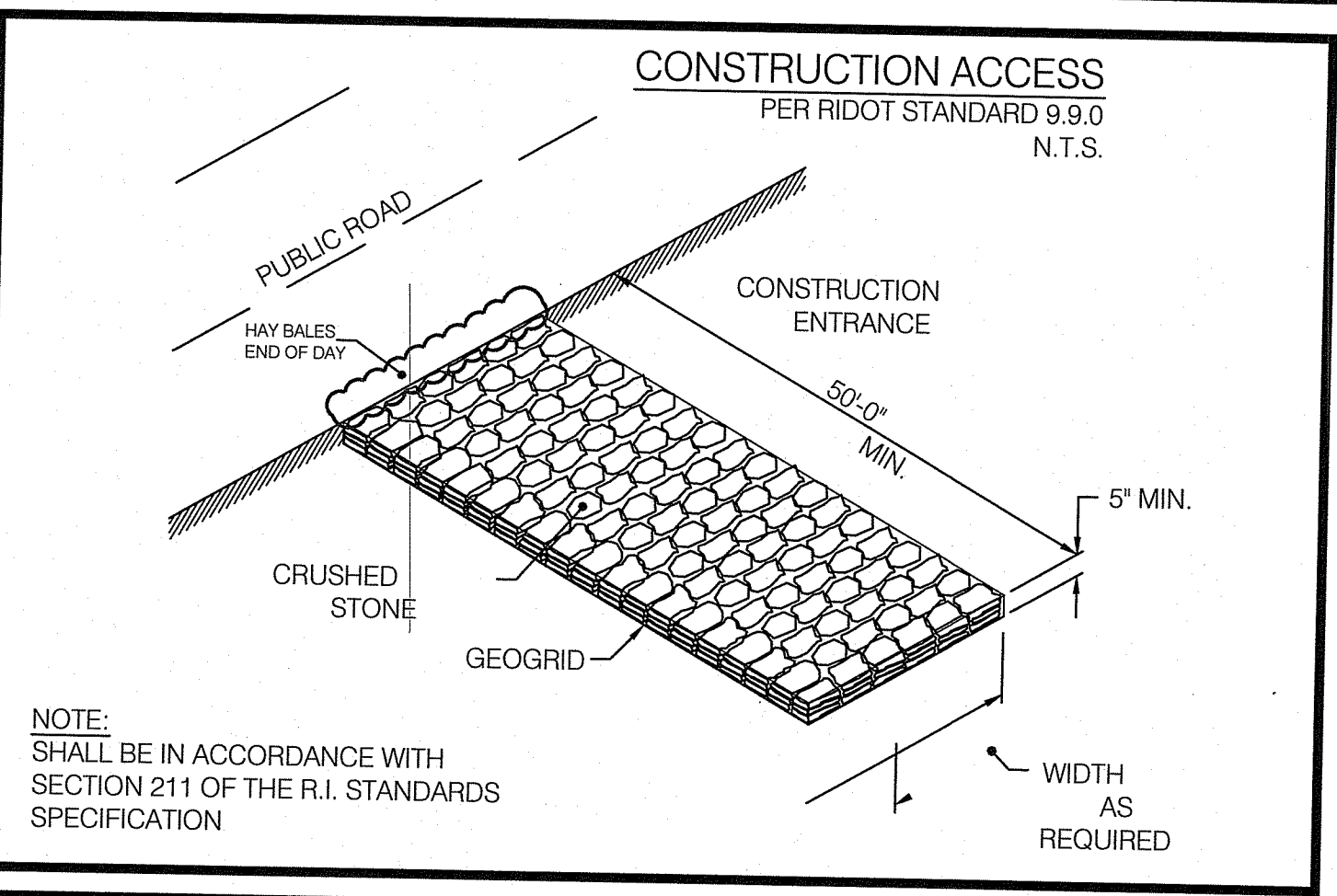
- A. INSTALLATION. COMPOST FILTER SOCKS SHALL BE CONSTRUCTED AT THE LOCATIONS, AND IN ACCORDANCE WITH THE DETAILS INDICATED ON THE PLANS, OR AS DIRECTED BY THE ENGINEER. THE FOLLOWING STIPULATIONS ALSO APPLY.**
1. COMPOST FILTER SOCKS MAY BE EITHER FABRICATED ON SITE OR DELIVERED TO THE SITE.
  2. COMPOST MEDIA SHALL CONFORM TO AASHTO MP 9-06 AND RIDOT SECTION 206.
  3. TRENCHING IS NOT REQUIRED. COMPOST FILTER SOCKS SHALL BE PLACED OVER THE TOP OF GROUND. WOODEN STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE FILTER SOCKS TO ANCHOR THEM TO THE GROUND. TO ENSURE OPTIMUM PERFORMANCE, HEAVY VEGETATION SHALL BE CUT DOWN OR REMOVED, AND EXTREMELY UNEVEN SURFACES SHALL BE GRADED TO ENSURE THAT THE COMPOST FILTER SOCK UNIFORMLY CONTACTS THE GROUND SURFACE.
  4. FILTER SOCKS SHALL BE PLACED IN A CONTINUOUS LINE. WHERE ENDS INTERSECT THEY SHALL BE SLEEVED TO CREATE AN INTERLOCK WITH A TWO (2) FOOT OVERLAP. AFTER ONE SECTION IS FILLED AND THE ENDS TIED OFF, THE NEXT SECTION SHALL BE PULLED OVER THE TIED OFF END OF THE PREVIOUS SECTION, TO CREATE A 2 FOOT OVERLAP. THE OVERLAP SHALL BE STAKED. THE INTERSECTING OVERLAPS SHALL BE CONSTRUCTED TO ENSURE THAT STORMWATER DOES NOT BREAK THROUGH AT THESE INTERSECTION POINTS.



**CRUSHED STONE DRIVEWAY SPECIFICATIONS**  
 USE 3" TO 1 1/2" DIAMETER, WASHED ANGULAR CRUSHED STONE INSTALLED TO A MINIMUM DEPTH OF 3". THE GRADE OF THE FINISHED DRIVEWAY IN SUBSTANTIAL CONFORMANCE WITH RIDEM SINGLE FAMILY STORMWATER MANUAL.]

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 19 2024 FILE # 19-0103  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Martin D. Senesch*

- GENERAL NOTES:**
1. THE STATE OF RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION 2004 EDITION OR LATEST REVISION. THE 2004 EDITION OF THE STANDARD SPECIFICATION MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
  2. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY AND ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH ARCHITECT OR ENGINEER AS NECESSARY.
  3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ANY EXPOSED EXCAVATED AREAS IN ACCORDANCE WITH OSHA STANDARDS.
  4. IN THE CASE THAT ANY DEVIATION / ALTERATION / OR IMPROVEMENT FROM THE APPROVED PLANS IS NECESSARY THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER AND WITHIN THE LIMIT OF DISTURBANCE DISPLAYED ON THESE PLANS OR PROPERTY LINE IF LIMIT OF DISTURBANCE IS UNCLEAR. ANY AREA DISTURBED OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER OR ENGINEER, AND PREFORMED TO THE ENGINEER'S SATISFACTION.
  5. ALL WORK SHALL BE LIMITED TO THE AREAS WITHIN THE LIMIT OF DISTURBANCE DISPLAYED ON THESE PLANS OR PROPERTY LINE IF LIMIT OF DISTURBANCE IS UNCLEAR. ANY AREA DISTURBED OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER OR ENGINEER, AND PREFORMED TO THE ENGINEER'S SATISFACTION.
  6. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATION SHOWN ON THESE PLANS AND/OR ACCOMPANYING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF ANY CONFLICTS WITH EXISTING CONDITIONS OR PROPOSED CONDITIONS EXIST. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED.
  7. EXCAVATED ROCK SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER. SUITABLE ROCK MAY BE UTILIZED IN FILL AREAS WITH WRITTEN PERMISSION OF THE OWNERS REPRESENTATIVES.
  8. DEBRIS, ORGANICS AND OTHER UNSUITABLE MATERIALS UNCOVERED DURING THE COURSE OF SITE EXCAVATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
  9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES THAT SERVICE THE SITE AND NEIGHBORING AREAS. IF ANY DAMAGE OCCURS TO EXISTING UTILITIES IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PAY ALL COSTS ASSOCIATED WITH REPAIR OF UTILITIES AS DIRECTED BY THE ENGINEER, UTILITY OWNER, OR GOVERNING AGENCY.
  10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS. CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
  11. THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
  12. NO EXCAVATION SHALL PROCEED UNTIL UTILITY COMPANIES ARE NOTIFIED IN ADVANCE.
  13. ALL TREE PROTECTION BY OTHERS UNLESS OTHERWISE NOTED.
  14. CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIXTURES.



- DEWATERING - TEMPORARY SEDIMENT BASIN OR FILTER BAGS**
- CARRYING ON THE TIME OF YEAR OF CONSTRUCTION, SHOWN AND DEPTH OF EXCAVATION, CONSTRUCTION SITE DEWATERING MAY BE REQUIRED. NEI RECOMMENDS CONTRACTOR CARRY PROVISIONS FOR ANY / ALL SITES IN AREAS OF HIGH WATER TABLES, NEAR WETLAND OR COASTAL RESOURCE AREAS.
- DEPENDING ON THE SITE AND SEASONAL SPECIFICS, A SITE SPECIFIC DEWATERING PLAN MAY NEED TO BE DEvised. IF A SPECIFIC PLAN HAS NOT BEEN PREPARED, OWNER AND CONTRACTOR MUST NOTIFY NEI IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION.
- GENERALIZED PRACTICE MAY BE A TEMPORARY SEDIMENT FILTER BAG OR TEMPORARY SEDIMENT BASIN.
- GENERAL NOTES:**
- AT A MINIMUM, THE FOLLOWING DISCHARGE REQUIREMENTS MUST BE MET FOR DEWATERING ACTIVITIES:
  - DO NOT DISCHARGE VISIBLE FLOATING SOLIDS OR FOAM.
  - TO THE EXTENT FEASIBLE, UTILIZE VEGETATED, UPLAND AREAS OF THE SITE TO INFILTRATE DEWATERING FLUIDS BEFORE DISCHARGE. IN NO CASE WILL SURFACE WATERS BE CONSIDERED PART OF THE TREATMENT AREA.
  - THESE AREAS CAN BE BEST IDENTIFIED ON BESS PLANS AS SOILS THAT ARE CLASSIFIED AS BEING HYDROLOGIC SOIL GROUPS (A) AND B. PART D. SOIL EROSION AND SEDIMENT CONTROL PLANS - PAGE 9
  - AT ALL POINTS WHERE DEWATERING FLUIDS ARE DISCHARGED UTILIZE VELOCITY DISSIPATION DEVICES SUCH AS THOSE SPECIFIED IN SECTION FIVE: RUNOFF CONTROL MEASURES.
  - WITH FILTER BACKWASH WATER, EITHER HAUL IT AWAY FOR DISPOSAL OR RETURN IT TO THE BEGINNING OF THE TREATMENT PROCESS.
  - REPLACE AND CLEAN THE FILTER MEDIA USED IN DEWATERING DEVICES WHEN THE PRESSURE DIFFERENTIAL EQUALS OR EXCEEDS THE MANUFACTURERS SPECIFICATIONS.
  - DEWATERING CONTROL MEASURES MUST BE IMPLEMENTED IN ACCORDANCE WITH MEASURES, CONTAINMENT AREA FOR EARTH MATERIALS, PORTABLE SEDIMENT TANKS AND BAGS, PUMPING SETTLING BASINS, AND PUMP INTAKE PROTECTION.
  - TREATMENT CHEMICAL RESTRICTIONS: IF THE OWNER AND/OR THE OPERATOR PLANS TO UTILIZE POLYMERS, FLOCCULANTS, OR OTHER TREATMENT CHEMICALS TO TREAT DEWATERING FLUIDS, THE USE OF SUCH CHEMICALS MUST BE MANAGED IN ACCORDANCE WITH APPENDIX J, CHEMICAL TREATMENT FOR EROSION AND SEDIMENT CONTROL.
  - THE DEWATERING OF CONTAMINATED WATER CANNOT BE DISCHARGED WITHOUT PRIOR NOTICE AND A SPECIFIC PERMIT FROM THE RIDEM RIDDES PERMITTING PROGRAM.
- REFER TO RI EROSION AND SEDIMENT CONTROL HANDBOOK:  
 HTTP://WWW.DEM.RI.GOV/PROGRAMS/ENR/RESOURCES/WATER/PDF/RIESC-HANDBOOK16.PDF

- EROSION AND SEDIMENT CONTROL NOTES:**
1. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS.
  3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ONCE WEEKLY OR AFTER EVERY RAINFALL EVENT GREATER THAN 0.25 INCHES.
  4. SEDIMENT BUILD UP OUTSIDE OF THE BARRIER HEIGHT SHALL BE REMOVED AND DISPOSED OF PROPERLY AS REQUIRED. ANY SEDIMENT BUILD UP OUTSIDE OF THE BARRIER SHALL BE REMOVED IMMEDIATELY.
  5. CONTRACTOR SHALL MAINTAIN A RESERVE OF EROSION CONTROL MATERIALS FOR EMERGENCY USE AND ROUTINE MAINTENANCE.
  6. THE CONTROLS SHOWN ON THESE PLANS ARE INTENDED AS MINIMUM MEASURES. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMPLEMENTED BY THE CONTRACTOR IF WARRANTED OR REQUESTED BY THE OWNER, OWNERS REPRESENTATIVE, ENGINEER, OR ANY APPLICABLE REGULATING AGENCY.
  7. PRIOR TO THE START OF ANY LAND CLEARING / GRUBBING OR OTHER CONSTRUCTION ACTIVITY THE PERIMETER CONTROLS SHALL BE PLACED, PROPERLY CONSTRUCTED AND CLEARLY VISIBLE. THESE CONTROLS SHALL REPRESENT THE LIMITS OF WORK AND WORKERS SHALL BE NOTIFIED THAT NO CONSTRUCTION ACTIVITY IS ALLOWED BEYOND THESE CONTROLS.
  8. IF OR AS POSSIBLE CONSTRUCTION SHALL BE PHASED TO LIMIT TO THE MAXIMUM EXTENT PRACTICABLE THE AMOUNT OF EXPOSED SOILS. ALL DISTURBED AREAS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES.
  9. THE CONTRACTOR SHALL SCHEDULE WORK IN A WAY TO ALLOW POSITIVE DRAINAGE OF SUBGRADE THROUGHOUT CONSTRUCTION.
  10. CONSTRUCTION ENTRANCES PER RIDOT STANDARD DETAIL 9.9.0 SHALL BE EMPLOYED AT ALL POINTS OF INGRESS AND EGRESS FROM THE SITE.
  11. TEMPORARY DIVERSIONS, SEDIMENT BASINS, AND TEMPORARY SWALES MAY BE USED AND SHALL BE SIZED ACCORDING TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
  12. CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED PER RIDOT STANDARD DETAIL 9.8.0 IN GRASSED AREAS OR SEDIMENT BAGS IN PAVED AREAS.
  13. TEMPORARY SEDIMENT STOCK PILES SHALL BE KEPT MOIST AND COVERED AT ALL TIMES. CALCIUM CHLORIDE SHALL ONLY BE USED IF AN APPROVAL FROM THE TOWN/CITY OR OTHER APPLICABLE AGENCY HAS BEEN GRANTED.
  14. DEWATERING FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREAS AND DISCHARGED INTO A DEWATERING BASIN PER RIDOT STANDARD 9.7.0. HAYBALE CORALS, OR SEDIMENTATION BAGS. THE CONTRACTOR SHALL ENSURE THAT NO CONTAMINATE IS PRESENT IN ANY WATERS PRIOR TO DISCHARGE FROM SITE AND IS RESPONSIBLE FOR ALL ENGINEERING, EQUIPMENT, MATERIAL AND LABOR REQUIRED FOR THE SITE WATER REMOVAL DURING CONSTRUCTION.
  15. CONSTRUCTION WASTE MATERIALS SHALL BE KEPT ON-SITE AND DISPOSED OF IN AN APPROVED AND APPROPRIATE MANNER IN ACCORDANCE WITH ALL APPLICABLE REGULATORY AGENCIES.
  16. RIPRAP SHALL BE USED WHERE NECESSARY TO CONTROL EXIT VELOCITIES.
  17. NON MOBILE (I.E. TRACKED MACHINERY) SHALL BE MAINTAINED WITHIN THE LIMIT OF DISTURBANCE DEFINED BY SEDIMENT BARRIER.
  18. NEWLY VEGETATED AREAS SHALL BE REGULARLY INSPECTED AND MAINTAINED TO ENSURE ESTABLISHMENT OF APPROPRIATE VEGETATION OCCURRED.
  19. THE CONTRACTOR SHALL NOT REMOVE ANY EROSION AND SEDIMENTATION CONTROL MEASURES UNTIL FINAL ACCEPTANCE OF THE SITE HAS OCCURRED.
  20. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO THE FINAL SITE ACCEPTANCE.

- GRADING AND UTILITIES NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED WORK SHOWN ON THESE PLANS DO NOT CONFLICT WITH ANY EXISTING CONDITIONS OR OTHER PROPOSED WORK. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
  2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH WORK, THE LOCATION, ELEVATION, SIZE AND MATERIAL SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR IMMEDIATELY AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE CONTRACTOR SHALL NOT CONTINUE WORK ON AFFECTED UTILITIES UNTIL THE CONFLICT IS RESOLVED.
  3. ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINE AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
  4. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ADJUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
  5. ALL UTILITY COVERS, GRATES, AND THE LIKE SHALL BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH. RIM ELEVATIONS ARE APPROXIMATE AND FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING.
  6. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANY, AS REQUIRED.
  7. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADING. ANY DAMAGE RESULTING TO THESE FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
  8. ALL WATER WORKS SHALL HAVE 5 FEET OF COVER.
  9. GAS, ELECTRIC, AND COMMUNICATIONS ROUTING SHALL CONFORM WITH THE LINE AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
  10. DURING CONSTRUCTION CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
  11. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINE OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATION AT NO COST TO THE OWNER.
  12. PITCH EVENLY BETWEEN ALL SPOT GRADES.
  13. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY, ROCKS, DEBRIS, ORGANICS, OR THE LIKE UNCOVERED IN THE COURSE OF WORK.

- LOAM AND SEED:**
- GENERAL:**
1. ALL DISTURBED AREAS TO BE LOAMED AND SEED PER "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" AS AMENDED OR REVISED.
  2. FOR NON-NATIVE PLANTING SEEDING DATES ARE APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 30, DATE MAY BE EXTENDED 15 DAYS IN NEWPORT COUNTY.
  3. FOR NATIVE PLANNING SEEDING DATES ARE BETWEEN AUGUST AND SEPTEMBER.
- SEED BED PREPARATION:**
1. LOOSEN SOIL TO A DEPTH OF FIVE INCHES BY RAKING, DISCING, DRAGGING OR TRAVERSING WITH TRACKED MACHINERY, OVER COMPACTION SHALL BE AVOIDED. CLEAR MARKS SHALL BE PERPENDICULAR TO ANTICIPATED DIRECTION OF SURFACE WATER FLOW.
  2. APPLY TOPSOIL IF NECESSARY.
  3. APPLY SLOW RELEASE FERTILIZER NOT TO EXCEED 1500 LBS PER ACRE OR 36 LBS PER 1,000 SF USING THE FOLLOWING PERCENTAGES BY WEIGHT.
    - 10% AVAILABLE NITROGEN (N)
    - 20% AVAILABLE PHOSPHORIC ACID (P)
    - 20% AVAILABLE POTASSIUM (K)
  4. REMOVE FROM SURFACE ALL STONES LARGER THAN 2" IN DIAMETER, ALL DEBRIS, TREE ROOTS OR OTHER UNSUITABLE MATERIAL.
  5. INSPECT AREA TO BE SEED IMMEDIATELY PRIOR TO SEEDING FOR ANY COMPACTED AREAS. IF COMPACTED AREAS EXIST SCARIFY PRIOR TO COMMENCING SEEDING.
- SEEDING:**
1. APPLY SELECTED SEED AT RATES PROVIDED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER.
  2. NORMAL SEEDING DEPTH IS .25 TO .5 INCH. HYDROSEEDINGS MAY BE LEFT ON THE SOIL SURFACE.
  3. WHERE FEASIBLE, EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, FIRM THE SEEDBED FOLLOWING SEEDING OPERATION WITH ROLLER, OR LIGHT DRAG.
  4. SEEDING RATES SHALL BE INCREASED BY 10% WHEN USING HYDROSEEDING.
  5. USE OF STRAW MULCH HELD WITH ADHESIVE MATERIALS OR 500 LBS PER ACRE OF WOOD FIBER MULCH IS RECOMMENDED FOR PROTECTION FROM SOIL EROSION.
  6. IF SEEDING CAN NOT BE COMPLETED WITHIN SEEDING DATES USE MULCHING TO PROTECT SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- RECOMMENDED SEEDING:**
- SEED MIXTURE NO. 1
- KENTUCKY BLUE GRASS 22.5 LBS/AC 0.5 LBS/1000 SF
  - CREEPING RED FESCUE 105 LBS/AC 2.5 LBS/1000 SF
  - PERENNIAL RYEGRASS 22.5 LBS/AC 0.5 LBS/1000 SF
- NOTES:** WHERE CONFUSION OR UNCERTAINTY EXISTS IN LOAMING AND SEEDING CONSULT THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" AS AMENDED OR REVISED, ENGINEER, LANDSCAPE ARCHITECT

**NARRAGANSETT ENGINEERING INC.**  
 MAIN OFFICE:  
 3102 EAST MAIN ROAD,  
 PORTSMOUTH, RI 02871  
 TEL: (401) 683-6630  
 nei-cds.com

**SHEET TITLE**  
 79 AQUIDNECK DRIVE  
 NOTES AND DETAILS

**OWNER(S) OF RECORD**  
 C/O HOLDINGS CO., LLC Δ  
 C/O JOHN PETERS 23 HURST LN  
 TIVERTON RI 02878

**PREPARED FOR:**  
 THOMAS KELLY  
 23 HURST LANE  
 TIVERTON, RI 02878

**A.P. PLAT:** 203. LOT: 121 Δ

AUG 21 2020  
 KAMAL HINGORANY  
 REGISTERED PROFESSIONAL ENGINEER  
 08/19/2020

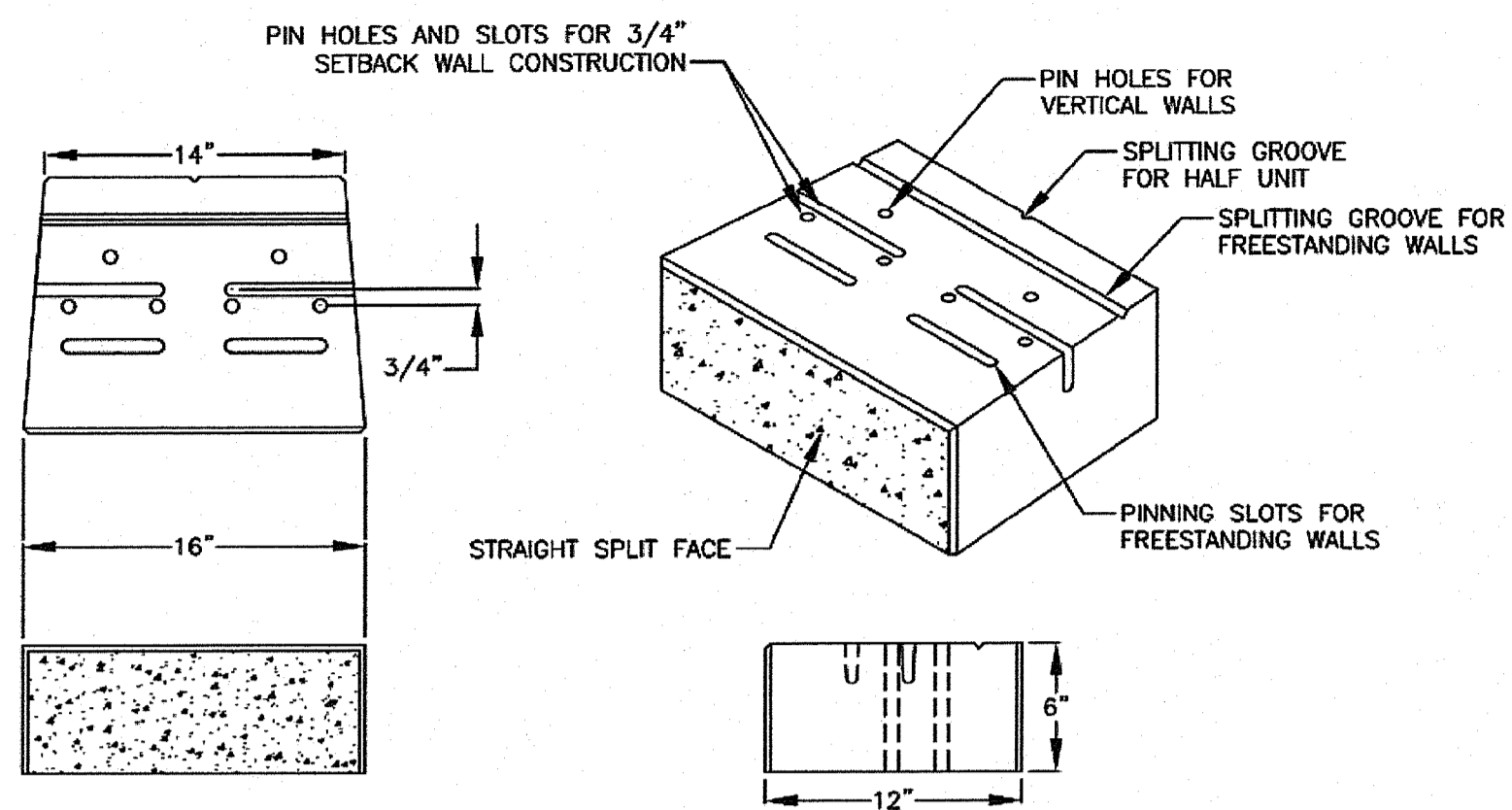
PROJECT #	DATE	DRAWN	CHECK
18.0140	1/11/2019	RJB	NKH

No	DATE	REVISIONS/DESCRIPTION	BY
Δ	12/31/19	RIDEM COMMENTS/STORMWATER	RJB
Δ	05/29/20	PER RIDEM COMMENTS	TJ
Δ	06/22/20	PER RIDEM COMMENTS/ABUTTER	RJB
Δ			

PURPOSE: TO SHOW THE NOTES AND DETAILS THAT CORRELATE WITH WHAT IS PROPOSED ON THE PROPOSED SITE PLAN ON SHEET C.01

**C.03**

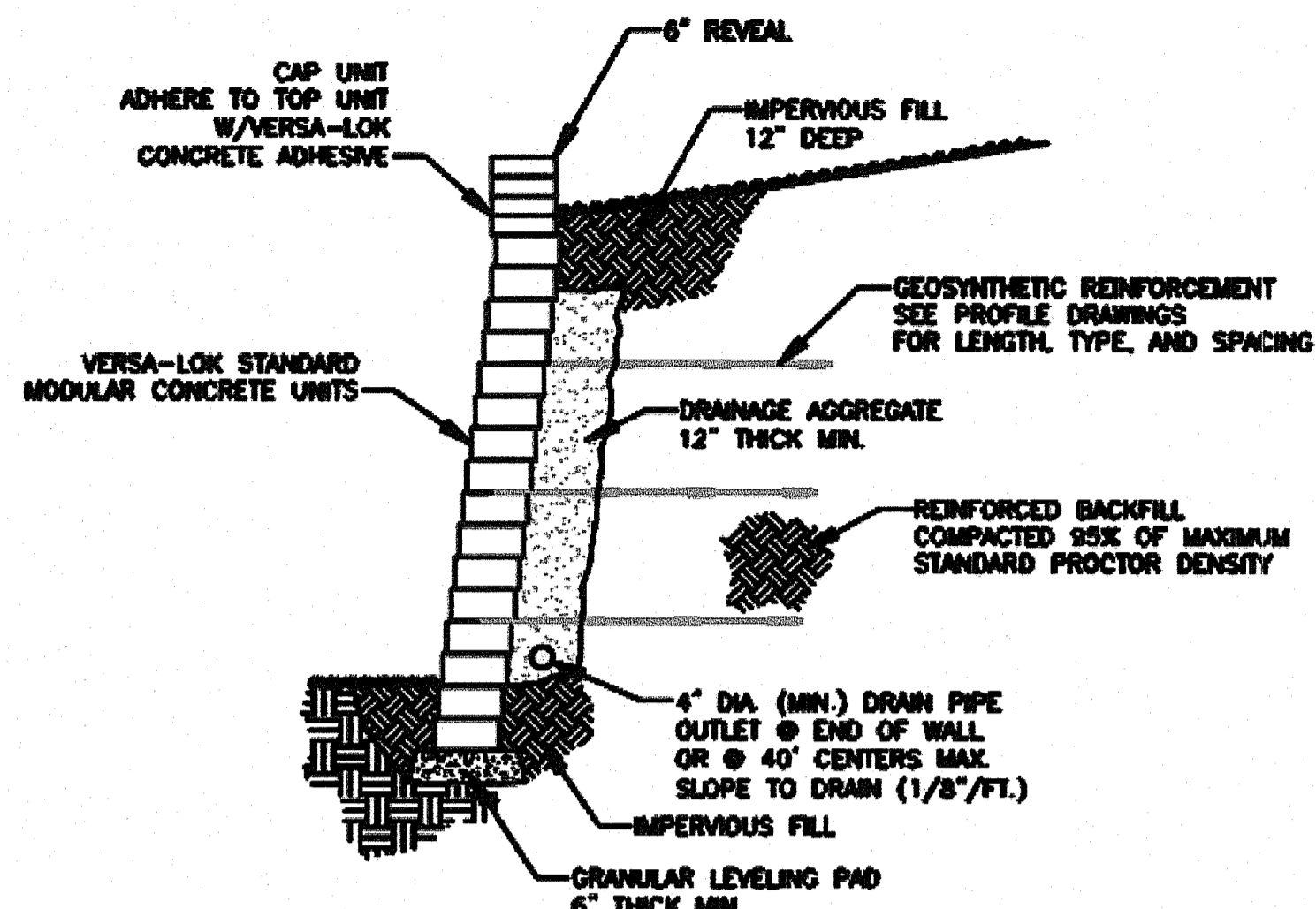


VERSA-LOK UNIT  
UNIT DIMENSIONS  
SCALE: NONE

THESE PRELIMINARY DETAILS ARE INTENDED AS AN AID IN DESIGNING ATTRACTIVE, DURABLE RETAINING WALLS WITH VERSA-LOK UNITS. FINAL DETERMINATION OF THE SUITABILITY OF ANY INFORMATION OR MATERIAL FOR THE USE CONTEMPLATED, AND ITS MANNER OF USE, IS THE SOLE RESPONSIBILITY OF THE USER. A FINAL PROJECT SPECIFIC DESIGN SHOULD BE PREPARED BY A QUALIFIED, LICENSED, PROFESSIONAL ENGINEER.

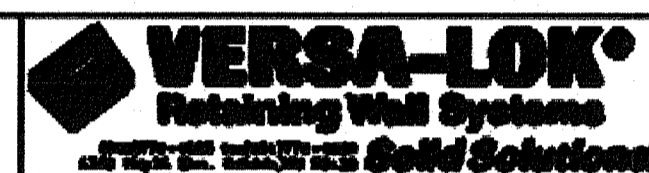


VERSA-LOK STANDARD DETAILS	REV.	DATE
VERSA-LOK STANDARD UNIT	001	12/2007
STANDARD UNIT	002	12/2007

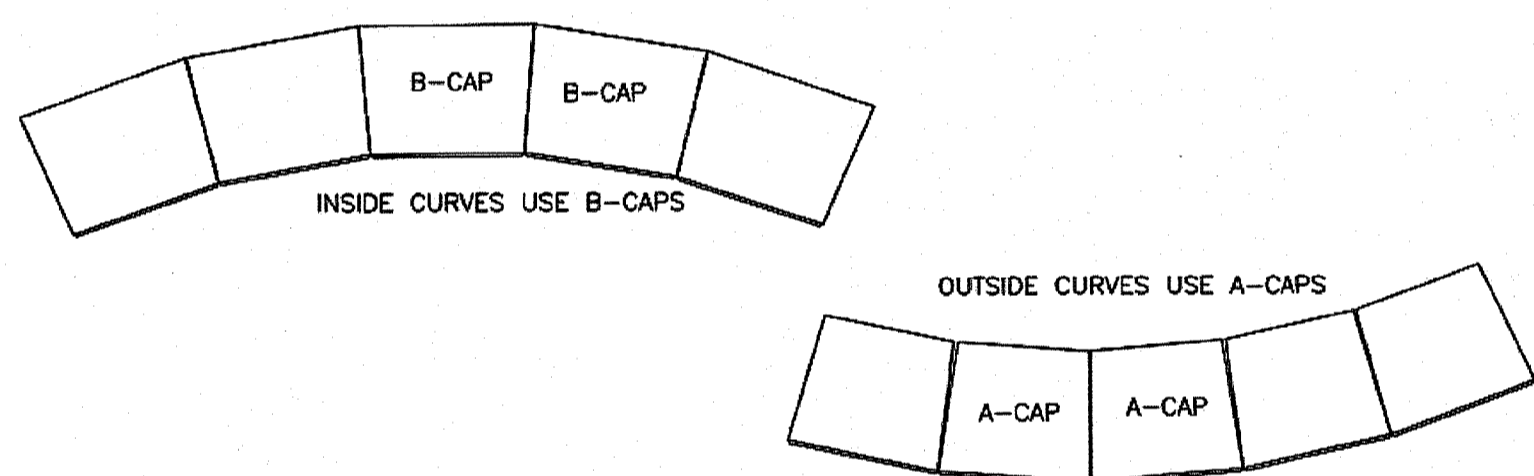


TYPICAL SECTION-REINFORCED RETAINING WALL  
MODULAR CONCRETE UNIT  
SCALE: NONE

THESE PRELIMINARY DETAILS ARE INTENDED AS AN AID IN DESIGNING ATTRACTIVE, DURABLE RETAINING WALLS WITH VERSA-LOK UNITS. FINAL DETERMINATION OF THE SUITABILITY OF ANY INFORMATION OR MATERIAL FOR THE USE CONTEMPLATED, AND ITS MANNER OF USE, IS THE SOLE RESPONSIBILITY OF THE USER. A FINAL PROJECT SPECIFIC DESIGN SHOULD BE PREPARED BY A QUALIFIED, LICENSED, PROFESSIONAL ENGINEER.



VERSA-LOK STANDARD DETAILS	REV.	DATE
REINFORCED TYPICAL SECTION	001	12/2007

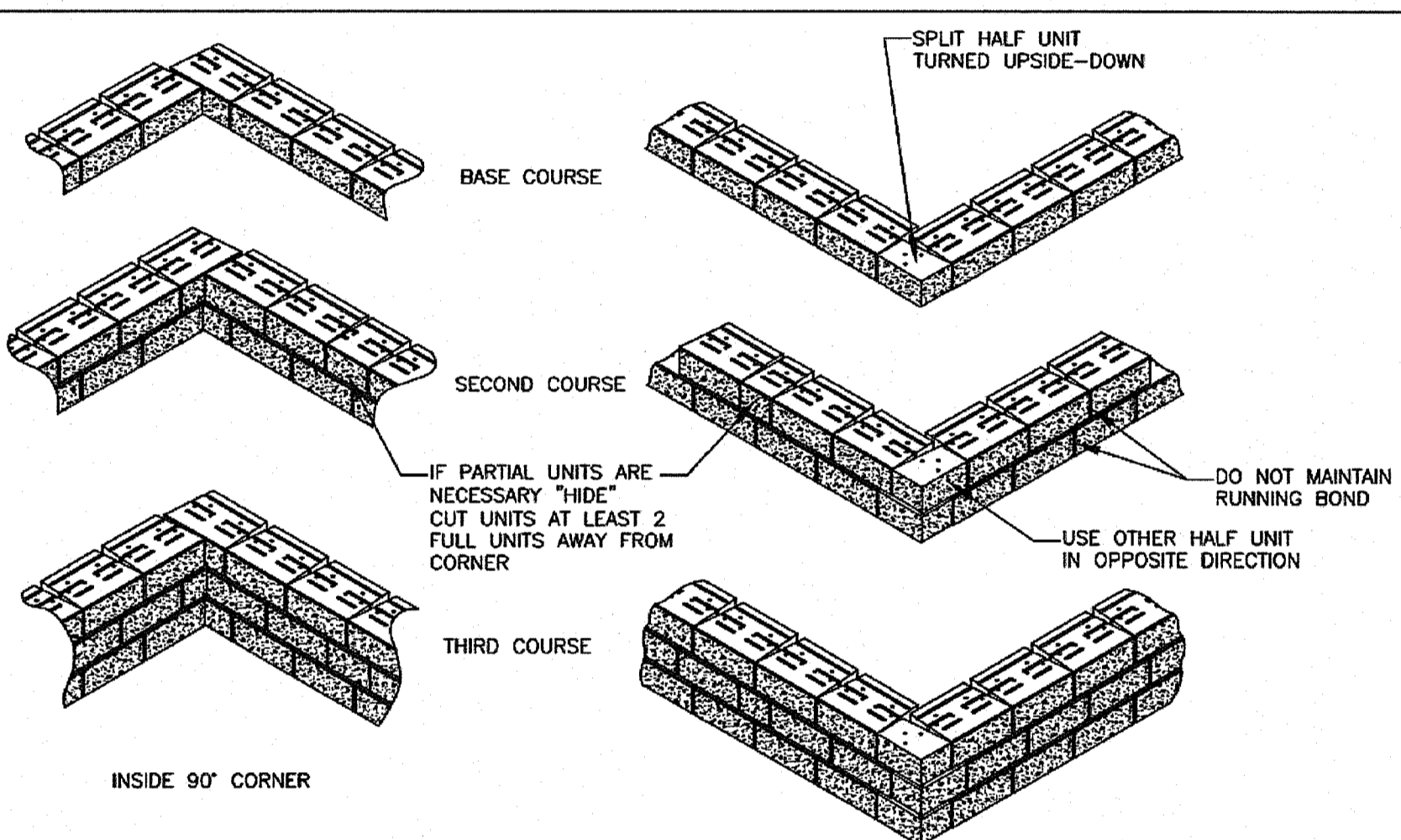


CAPPING DETAIL-PLAN VIEW  
CURVES  
SCALE: NONE

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VERSA-LOK STANDARD DETAILS	REV.	DATE
CAPPING DETAIL	001	12/2007

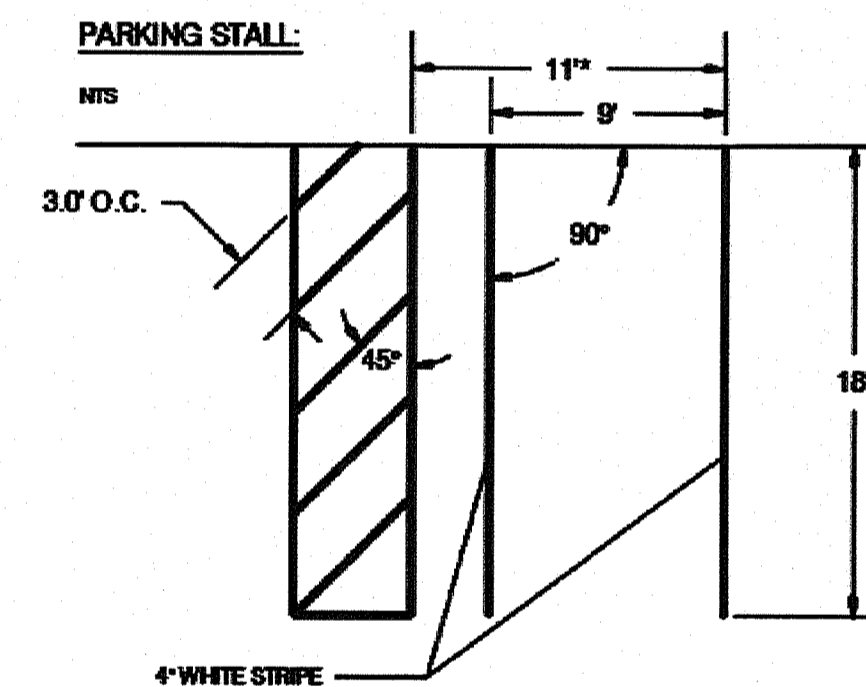


INSTALLATION SEQUENCE  
SCALE: NONE

THESE PRELIMINARY DETAILS ARE INTENDED AS AN AID IN DESIGNING ATTRACTIVE, DURABLE RETAINING WALLS WITH VERSA-LOK UNITS. FINAL DETERMINATION OF THE SUITABILITY OF ANY INFORMATION OR MATERIAL FOR THE USE CONTEMPLATED, AND ITS MANNER OF USE, IS THE SOLE RESPONSIBILITY OF THE USER. A FINAL PROJECT SPECIFIC DESIGN SHOULD BE PREPARED BY A QUALIFIED, LICENSED, PROFESSIONAL ENGINEER.



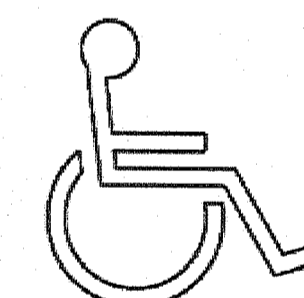
VERSA-LOK STANDARD DETAILS	REV.	DATE
CORNER INSTALLATION SEQUENCE	001	12/2007



NOTES:

- WHERE PARKING STALLS ARE MARKED AS HANDICAP, HANDICAP SIGN SHALL BE PLACED ON BUILDING, ON POST BEHIND CURB, OR ON POST BEHIND SIDEWALK.
- \* INDICATES WIDTH FOR VAN ACCESSIBLE PARKING SPACE

HANDICAP PAVEMENT MARKING:



NOTES:

- HANDICAP PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
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DATED 1 JAN 19, 2021 FILE # 19-0103  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Justin D. Senechal*

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SHEET TITLE  
79 AQUIDNECK DRIVE  
NOTES AND DETAILS

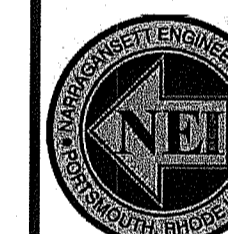
OWNER(S) OF RECORD  
22 V2 HOLDINGS CO., LLC Δ  
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THOMAS KELLY  
23 HURST LANE  
TIVERTON, RI 02878

A.P. PLAT: 203. LOT: 121 Δ

KAMAL HINGORANY  
REGISTERED PROFESSIONAL ENGINEER

08/15/2020



PROJECT #	DATE	DRAWN	CHECK
18.0140	1/1/2019	RJB	NKH

No	DATE	REVISIONS/DESCRIPTION	BY
Δ	12/31/19	RIDEM COMMENTS/STORMWATER	RJB
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Δ	06/22/20	PER RIDEM COMMENTS/ABUTTER	RJB

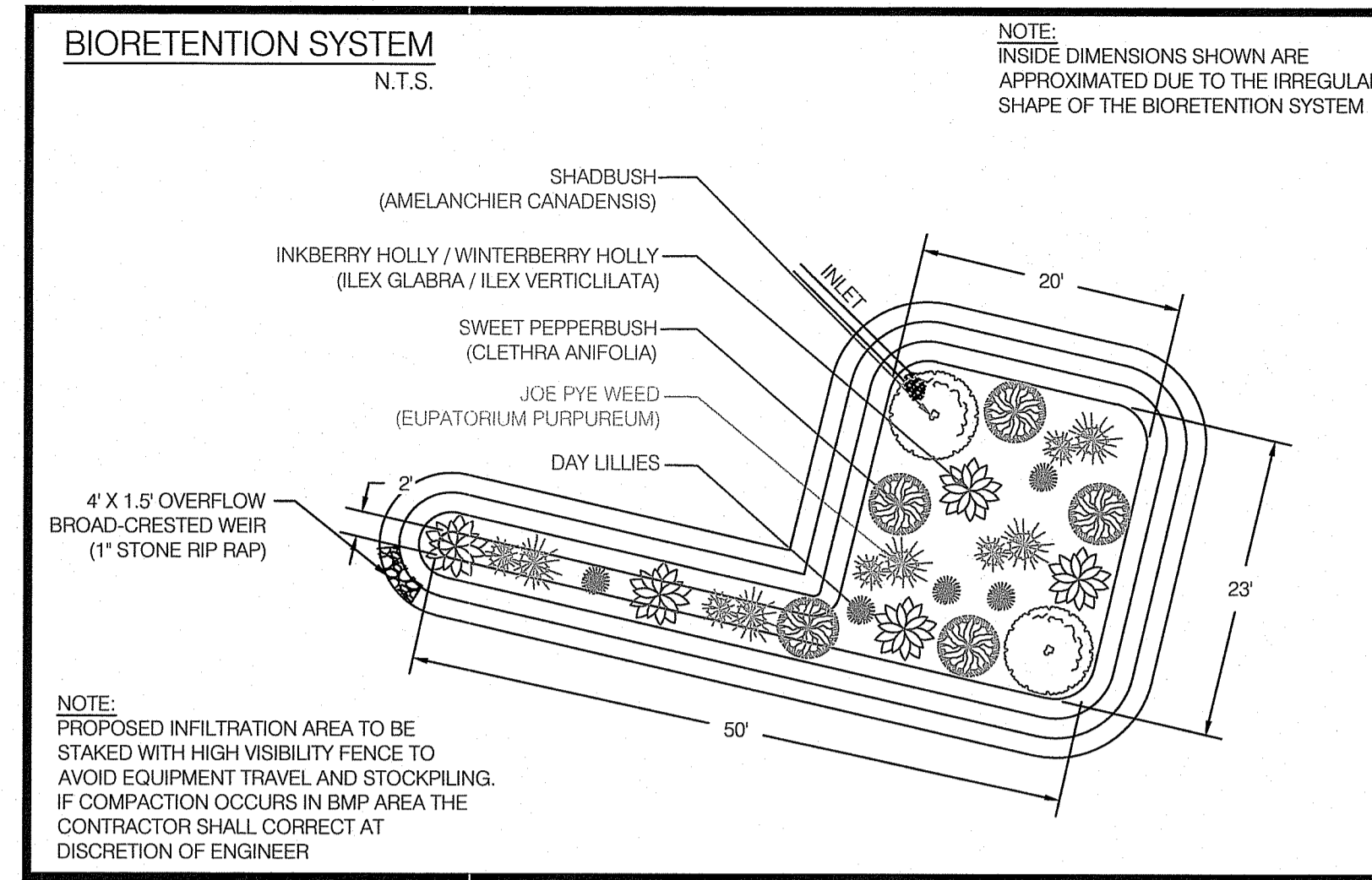
PURPOSE: TO SHOW THE NOTES AND DETAILS THAT COINCIDE WITH WHAT IS PROPOSED ON THE PROPOSED SITE PLAN ON SHEET C.01

C.04

N:\PROJECTS\18.0140 - ECOLOGIC (AQUIDNECK DR.)\B1 EDITS\DWG C.04-NEI-Standard.cdw 8/19/2020 Tim Ison

NEI No.	18.0140	By:	RJB
Location	ECOLOGIC INSULATION		
<b>FILTER SIZING - Bio-Retention</b>			
<b>FILTER NO</b>	1		
<b>Water Quality Volume</b>	Impervious Area on Site		
Water Quality Depth	0.0833 ft		
Impervious Area	11,133 sf		
<b>Water Quality Volume (WQ<sub>v</sub>)</b>	<b>927.38 ft<sup>3</sup></b>		
<b>Minimum Required Filter Area</b>			
$A_f = (WQ_v)(d_f) / [(k)(h_f + d_f)(t_f)]$			
A <sub>f</sub>	Surface Area of bed (ft <sup>2</sup> ) - to be solved for		
d <sub>f</sub>	2.25	Filter Bed Depth (ft)	
k	1	Coefficient of Permeability (ft/day) from 5.5.4 RIDSIM	
h <sub>f</sub>	0.33	Average Height Above Filter (driving head) (ft)	
t <sub>f</sub>	2	Design filter bed drain time (days)	
A <sub>f</sub>	404.38 ft <sup>2</sup>		
Volume of Filter System	995 ft <sup>3</sup>	Per HydroCAD analysis	
75% WQ <sub>v</sub>	695.5342 ft <sup>3</sup>	*Provided > Required *995 CF > 695.5 CF (ok)	
<b>75% WQ<sub>v</sub> Contained in Filter meets standard</b>			

<b>KEY CONSIDERATIONS: BIORETENTION/TREE FILTERS</b>	<b>IMPLEMENTATION CONSIDERATIONS (BIORETENTION/TREE FILTERS)</b>
<b>FEASIBILITY</b> • Bottom of filter at or above SHGT. • Top of filter at least 3ft above SHGT.	<b>M</b> Capital Cost <b>M</b> Maintenance Burden
<b>CONVEYANCE</b> • Provide overflow for the 1-yr storm to the conveyance system. • Conveyance to the system is typically overland flow delivered to the surface of the system, typically through curb cuts or over a concrete lip.	Residential/Subdivision Use: Yes High Density/Ultra-Urban: Yes Drainage Area: 5 acres max
<b>PRETREATMENT</b> • Pretreatment volume of 25% (or equivalent) of WQ <sub>v</sub> . • Typically grass channel or grass filter strip, a pea gravel diaphragm, and a mulch layer.	Soils: Planting soils must meet specified criteria; No restrictions on surrounding soils, except the depth above water table.
<b>TREATMENT</b> • Total system (including pretreatment) must hold 75% of the WQ <sub>v</sub> . • Treatment area to have a 2-4ft deep planting soil bed, a surface mulch layer, and a 6"-9" ponding layer. • Soil media as detailed in Appendix F.	Key: L=Low M=Moderate H=High
<b>VEGETATION</b> • Detailed planting plan required. • Use of native plants is recommended.	<b>POLLUTANT REMOVAL - ALL FILTERS</b>
<b>MAINTENANCE REQUIREMENTS</b> • Legally binding maintenance agreement. • Inspect and repair/replace treatment area components. • Remulch annually. • Vegetation pruning, harvesting.	<b>F</b> Phosphorus <b>G</b> Nitrogen <b>G</b> Metals - Cadmium, Copper, Lead, and Zinc removal <b>G</b> Pathogens - Coliform, Streptococci, E. coli removal Key: G=Good F=Fair P=Poor



PRE-DEVELOPMENT AREAS			
ITEM NO.	DESCRIPTION	AREA	UNITS
1	WATERSHED 1 AREA	38,474	S.F.
2	AC PADS	70	S.F.
3	BUILDING ROOF	8,957	S.F.
4	CONCRETE WALKS	124	S.F.
5	PAVED PARKING (FRONT)	9,775	S.F.
6	PAVED PARKING (BACK)	5,604	S.F.
7	WOODS/BRUSH/CLEARED	11,825	S.F.
8	GRASS	2,119	S.F.

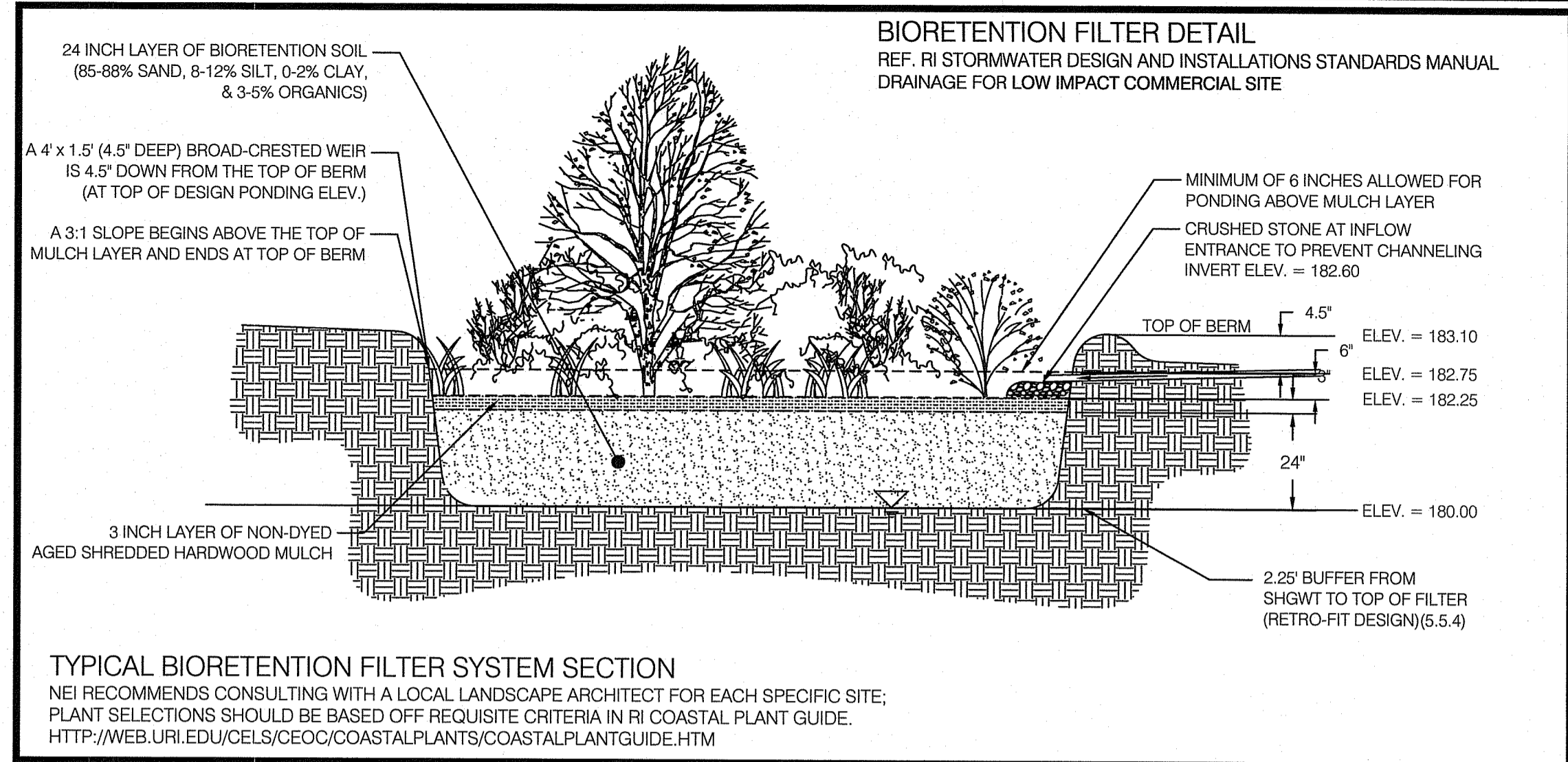
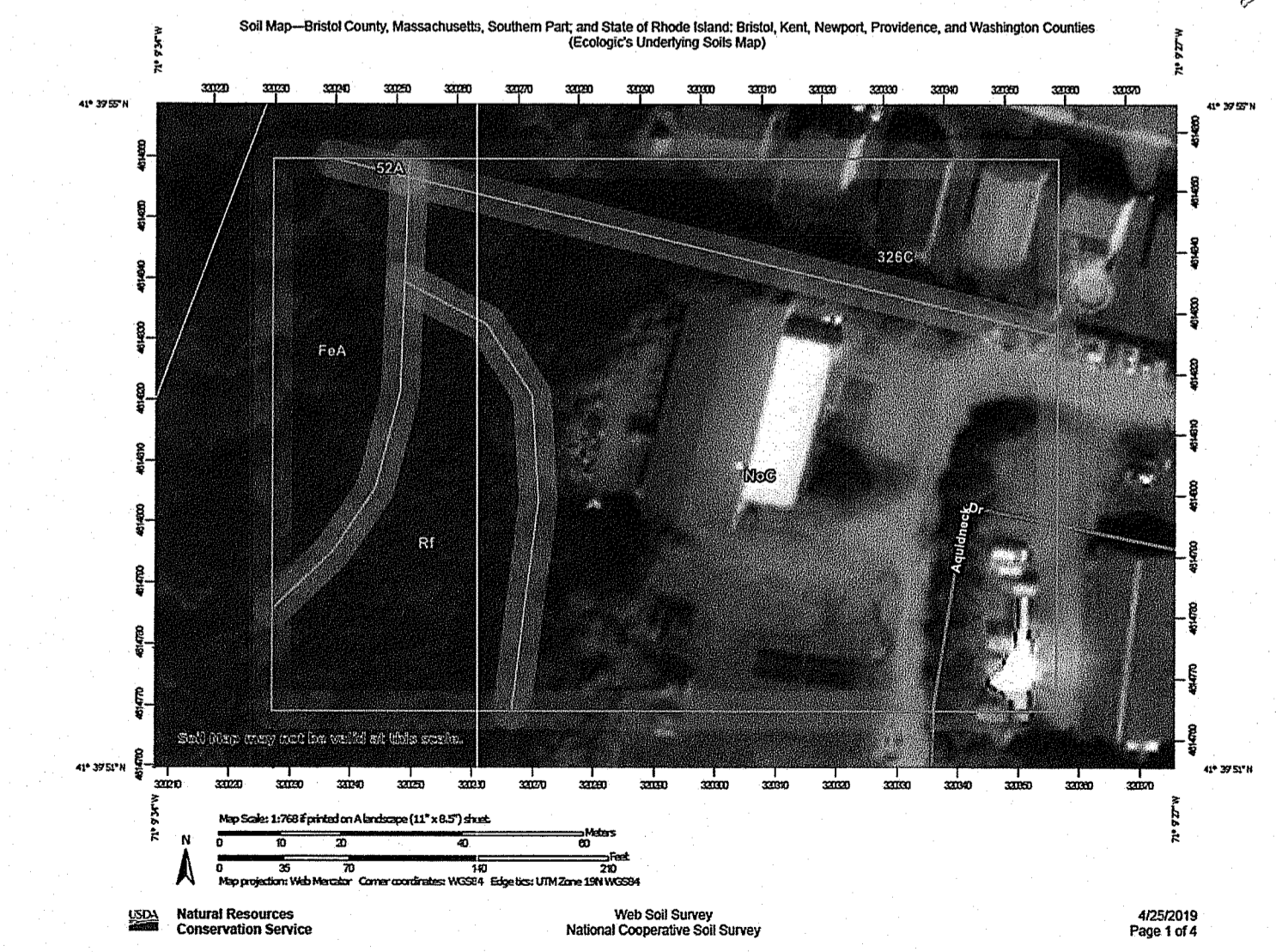
POST-DEVELOPMENT AREAS			
ITEM NO.	DESCRIPTION	AREA	UNITS
1	WATERSHED AREA 1	27,341	S.F.
2	LOWER BUILDING ROOF	2,634	S.F.
3	LEVEL PAVED AREA	485	S.F.
4	CONCRETE WALKS	124	S.F.
5	PAVEMENT (FRONT)	5,161	S.F.
6	PAVEMENT (BACK)	9,954	S.F.
7	RETAINING WALL	654	S.F.
8	CRUSHED STONE	415	S.F.
9	WOODS/BRUSH/CLEARED	5,645	S.F.
10	GRASS	2,119	S.F.
11	PEA STONE DIAPHRAGM	150	S.F.

POST DEVELOPMENT AREA			
ITEM NO.	DESCRIPTION	AREA	UNITS
1	WATERSHED 2	7,292	S.F.
2	UPPER BUILDING ROOF	6,323	S.F.
3	BIORETENTION SYSTEM	969	S.F.

POST DEVELOPMENT AREA			
ITEM NO.	DESCRIPTION	AREA	UNITS
1	WATERSHED 3	3,841	S.F.
2	PAVED AREA (SOUTHEAST)	3,841	S.F.

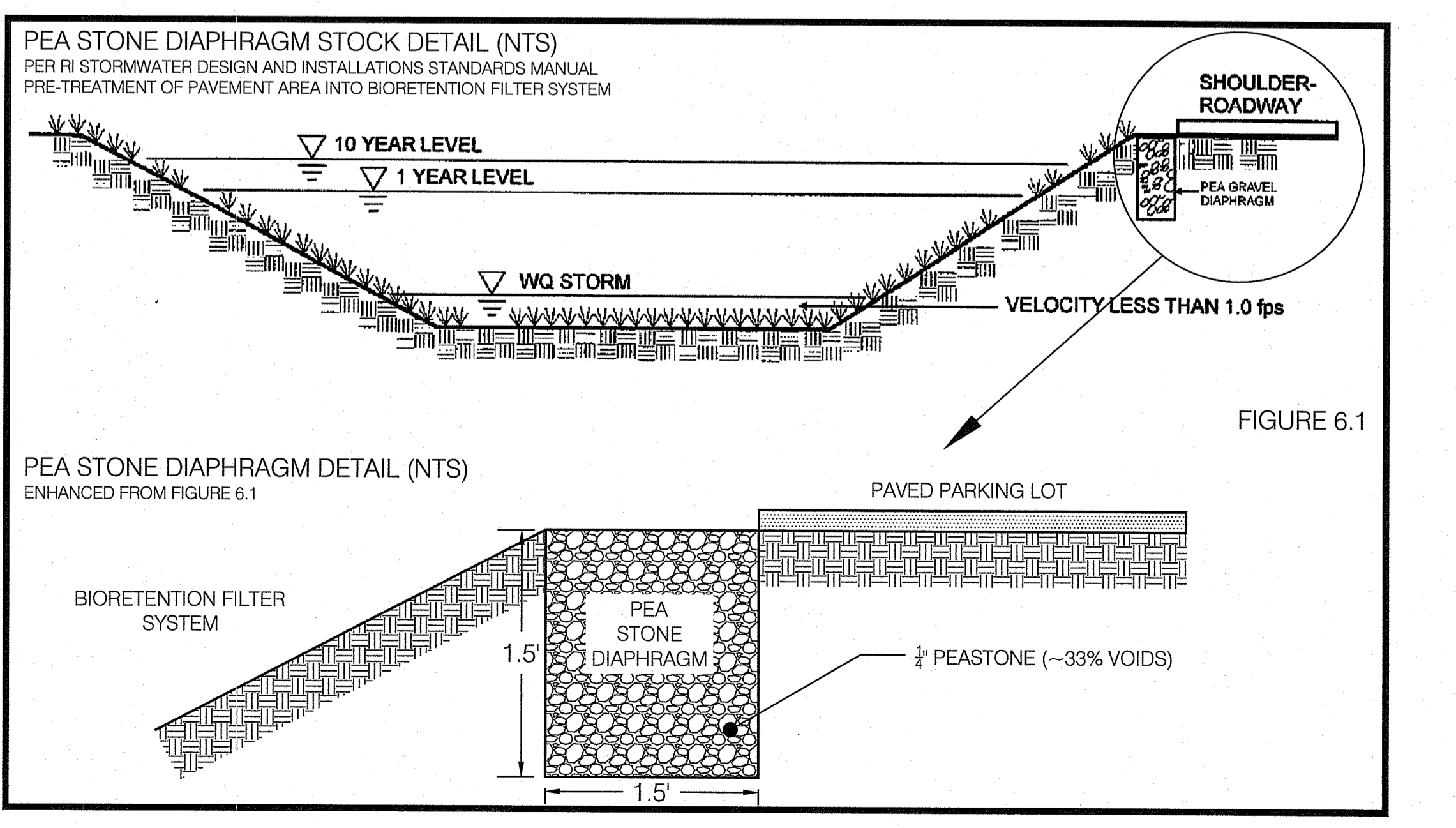
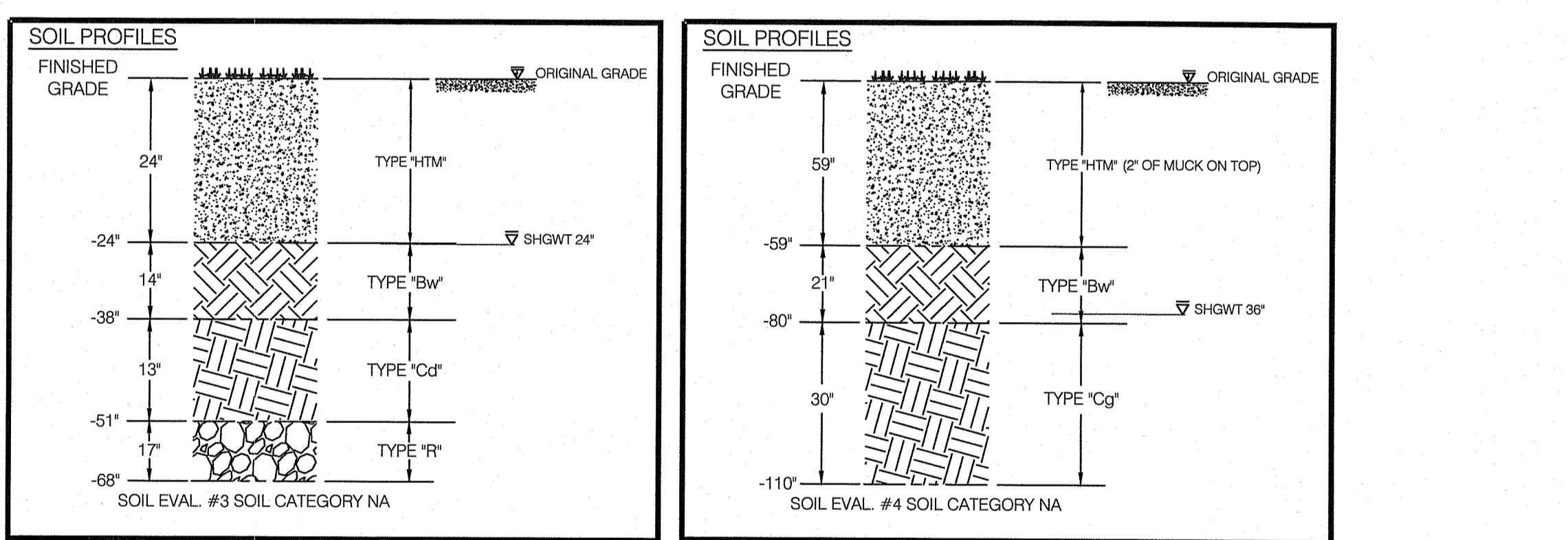
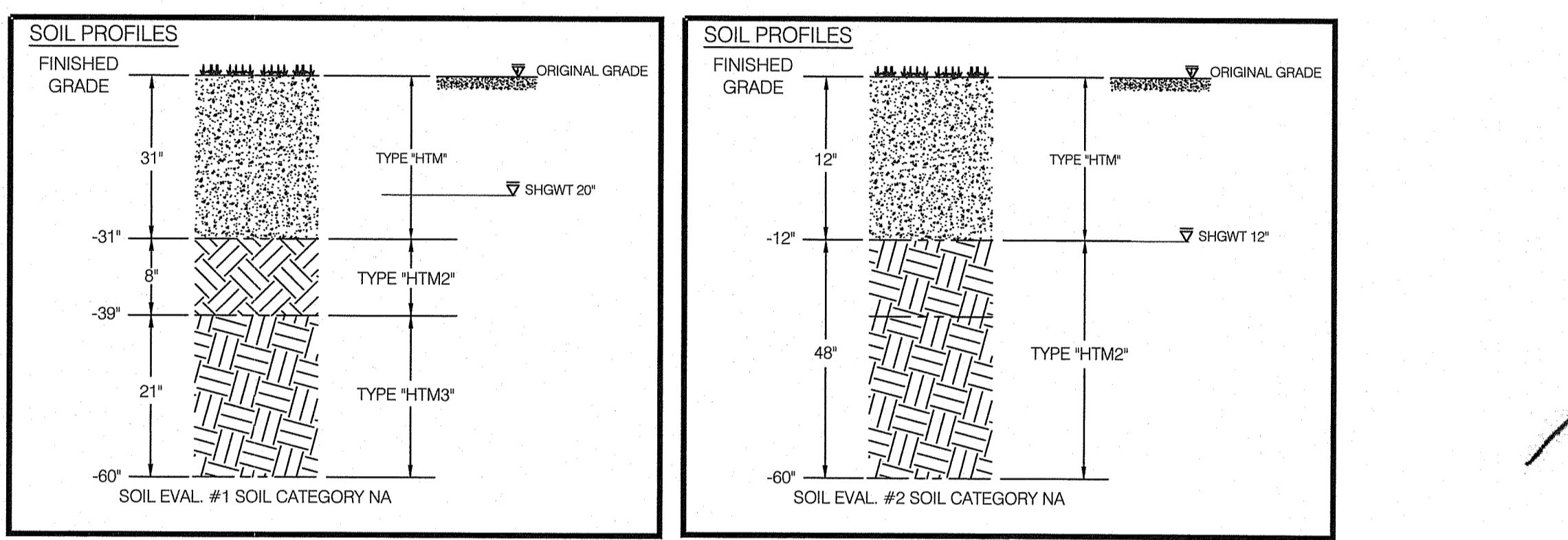
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*Justin D. Wenzel*



**TYPICAL BIORETENTION FILTER SYSTEM SECTION**  
NEI RECOMMENDS CONSULTING WITH A LOCAL LANDSCAPE ARCHITECT FOR EACH SPECIFIC SITE; PLANT SELECTIONS SHOULD BE BASED OFF REQUISITE CRITERIA IN RI COASTAL PLANT GUIDE. [HTTP://WEB.URI.EDU/CELS/CEOC/COASTALPLANTS/COASTALPLANTGUIDE.HTM](http://web.uri.edu/cels/ceoc/coastalplants/coastalplantguide.htm)

**SUGGESTED PLANTS FOR PLANNING ONLY. ACTUAL PLANT SCHEDULE PER RLA**



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**SHEET TITLE**  
79 AQUIDNECK DRIVE  
STORMWATER DETAILS

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05/15/2020

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Δ	05/29/20	PER RIDEM COMMENTS	TJJ
Δ	06/22/20	PER RIDEM COMMENTS/ABUTTER	RJB

PRINTS MUST BE PRINTED IN COLOR  
THIS NOTE SHOULD APPEAR IN BLUE  
PURPOSE:  
TO SHOW DETAIL SHEETS FOR DRAINAGE MITIGATION  
SHOWN ON SITE

C.05

N:\PROJECTS\18.0140\_ECOLOGIC (AQUIDNECK DR) (11-18-0140 - ECOLOGIC (AQUIDNECK DR))\_BU\_EDITS.DWG C.05 NEI-Standard.ctb 8/19/2020 11m 18m