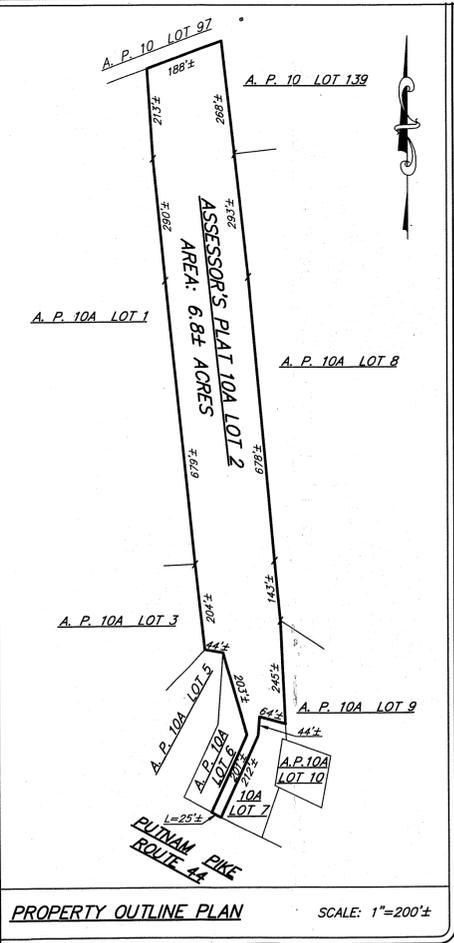
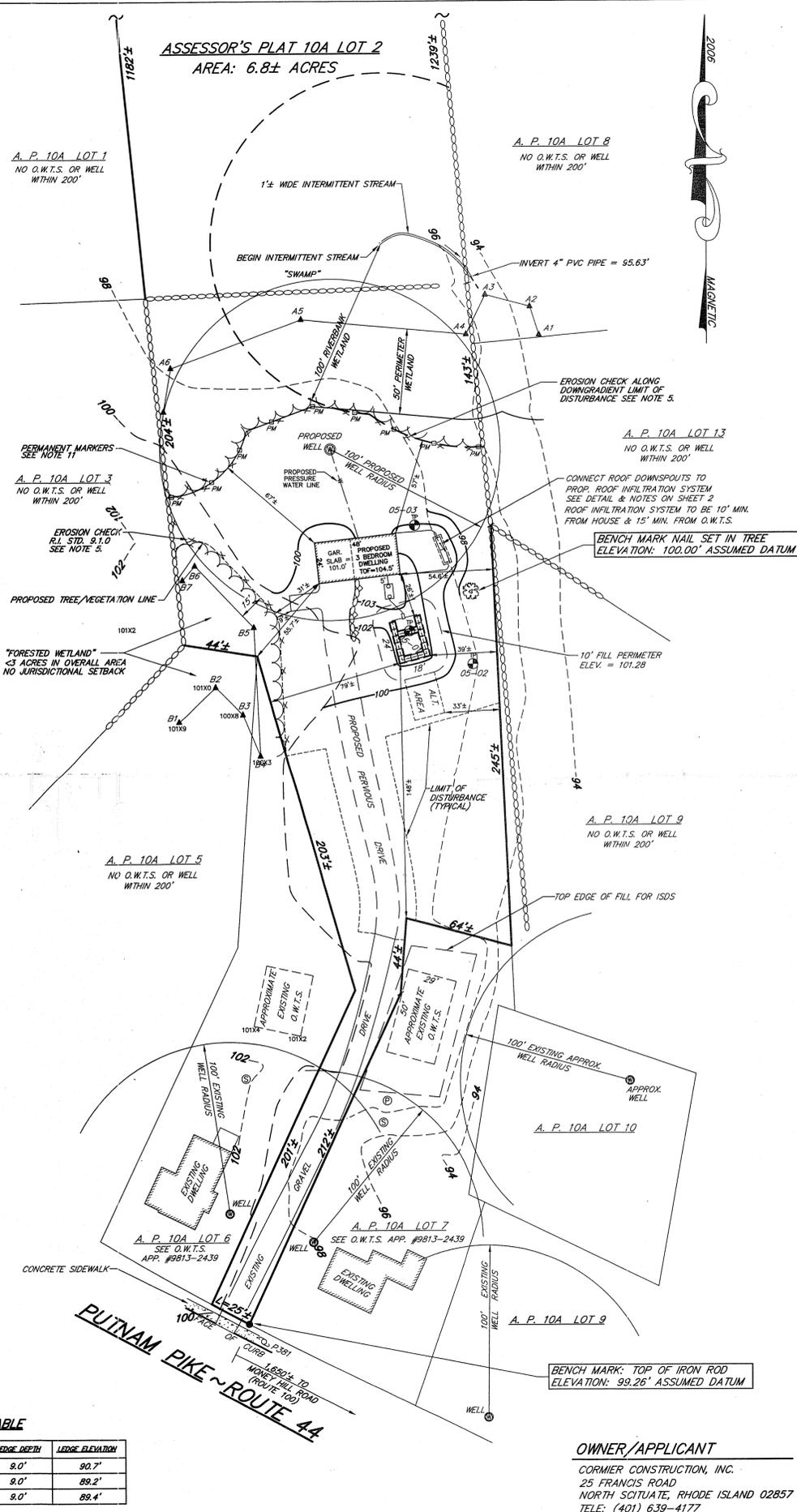


LOCATION PLAN SCALE: 1"=2000'



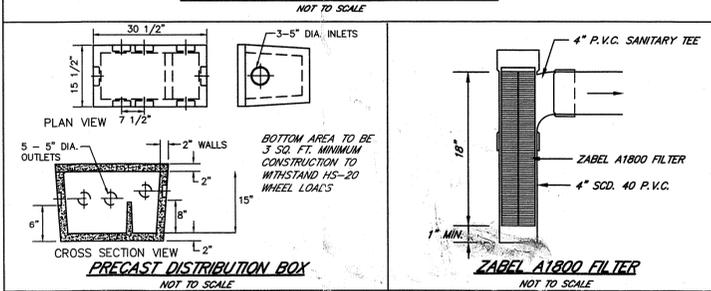
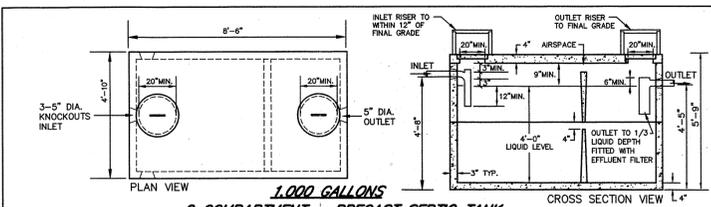
PROPERTY OUTLINE PLAN SCALE: 1"=200'



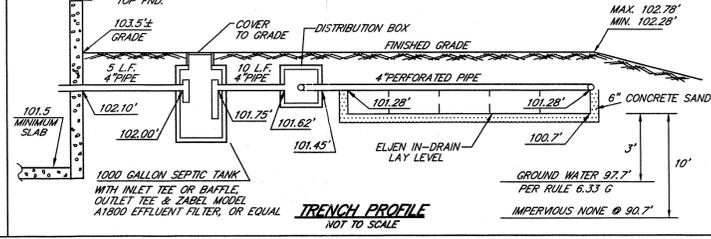
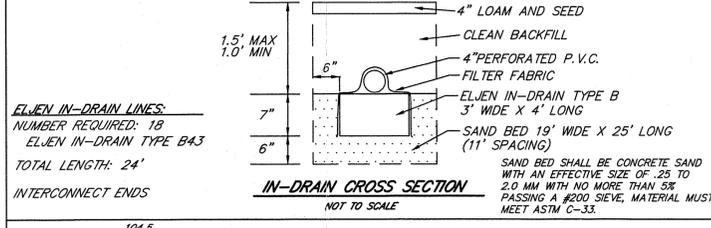
SCOTT F. MOOREHEAD
 REGISTERED PROFESSIONAL ENGINEER
SFM
 CHK. BY: SFM JOB NO. SFM867

DRAINAGE DESIGNER/ENGINEER
 S.F.M. ENGINEERING ASSOCIATES
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DESIGN CRITERIA
 SEWAGE FLOW - 3 BEDROOMS - 115 GALLONS PER BEDROOM UNIT
 PERCOLATION RATE - SOIL CATEGORY 6m - .70 GALLONS/SQ. FT./DAY
 TOTAL DAILY FLOW: 115 GALLONS/DAY/BEDROOM - 115 X 3 = 345 GALLONS PER DAY
 MINIMUM REQUIRED LEACH FIELD AREA: 345 GALLONS PER DAY (MAX.) ÷ .70 GALS./SQ. FT./DAY = 492.9 SQ. FT.
 LEACH FIELD AREA PROVIDED: 18 ELVEN UNITS X 4' X 7' = 504 SQ. FT.
 LEACH FIELD DESIGN POINT: ELEVATION 99.7±



- DESIGN AND CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
 - THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
 - THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
 - THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
 - ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
 - THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
 - ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
 - MAINTAIN TRENCH INVERT ELEVATION FOR 10' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
 - INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
 - SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.2.3 B.
 - ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
 - ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
 - WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-CONFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
 - ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 OWTS & FRESHWATER WETLANDS
 JOINT PERMIT APPROVAL

OSD-344 FWW-19-017
 DATE 5/15/19

APPROVED: [Signature] DATE 5/15/19

No Changes Allowed Without RIDEM Approval
 Approved Plans/Permit Must Be Kept at Construction Site

- NOTES**
- THE WETLAND EDGES (SWAMP, FORESTED WETLAND AND INTERMITTENT STREAM) WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN JANUARY, 2006, AND LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. IN MARCH, 2006. SEE ATTACHED REPORT.
 - SITE IS WITHIN FLOOD HAZARD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). REFERENCE F.I.R.M. MAP PANEL #44007001456 DATED MARCH 2, 2008.
 - TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED IN MARCH 2006 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL AND VERTICAL DATUMS ARE ASSUMED. A SITE VISIT WAS CONDUCTED IN MARCH 2019 TO CONFIRM THE SITE CONFORMED WITH RULE 6.16 (B) (1-3). AN AFFIDAVIT OF CONTINUING VALIDITY IS ATTACHED.
 - EXCEPT WHERE SHOWN THE SITE IS CURRENTLY UNDEVELOPED.
 - STRAW BALE EROSION CHECK (R.I. STANDARD 9.1.0), SILT FENCE AND/OR SILT SOX SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
 - REFER TO APPROVED O.W.T.S. APPLICATION #0513-2146 DATED JULY 12, 2006 AND INSIGNIFICANT ALTERATION PERMIT #06-0290 DATED JUNE 26, 2006.
 - NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED IN JURISDICTIONAL WETLANDS.
 - ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD. PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
 - ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE D.E.M. O.W.T.S. AND WETLANDS PERMITS AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
 - PRIOR TO COMMENCEMENT OF ANY SITE ALTERATIONS, PERMANENT BUFFER ZONE MARKERS MUST BE INSTALLED ALONG THE LIMIT OF DISTURBANCE AT THE LOCATIONS INDICATED AS "PM" ON THE APPROVED SITE PLANS, IN ORDER TO PROVIDE PERMANENT REFERENCE POINTS ON SITE THAT ARE CLEAR TO PRESENT AND FUTURE PROPERTY OWNERS. A PERMANENT-TYPE TAG OR SIGN LABELED "RIDEIM BUFFER ZONE" MUST BE PLACED ON EACH MARKER. NO ALTERATIONS OF ANY KIND ARE PERMITTED BEYOND THESE MARKERS WITHOUT FIRST OBTAINING THE NECESSARY PERMIT FROM R.I.D.E.M.
 - THE PERMANENT LIMIT OF DISTURBANCE SHALL BE ALLOWED TO RE-VEGETATE NATURALLY. AREAS NORTH OF THE PERMANENT LIMIT OF DISTURBANCE SHALL REMAIN IN A NATURAL UNDISTURBED STATE.
 - ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
 - EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
 - ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL JURISDICTIONAL WETLANDS UNLESS OTHERWISE SPECIFIED.
 - THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF LOT 2 OTHER THAN THOSE SHOWN ON THE PLAN.
 - THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 25' OF THE PROPOSED WATER SUPPLY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
 - THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
 - LOT 2 WAS THE SUBJECT OF AN ADMINISTRATIVE SUBDIVISION IN WHICH THE LOT LINE BETWEEN LOT 2 AND LOT 7 WERE ALTERED TO THE DEPICTED CONFIGURATION.

LEGEND

ASSASSOR'S PLAT
 UTILITY POLE
 STONE WALL
 WETLANDS DELINEATION FLAG
 SOIL EVALUATION TEST HOLE

GROUND WATER & LEDGE DEPTH TABLE

TEST PIT	GROUNDWATER DEPTH	EXISTING GROUND	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
05-01	2.0'	99.7'	97.7'	9.0'	90.7'
05-02	2.0'	98.2'	96.2'	9.0'	89.2'
05-03	1.7'	98.4'	96.7'	9.0'	89.4'

OWNER/APPLICANT
 CORMIER CONSTRUCTION, INC.
 25 FRANCIS ROAD
 NORTH SCITUATE, RHODE ISLAND 02857
 TELE: (401) 639-4177

SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401.821.8101
 LAND SURVEYING/MAPPING/SITE PLANNING

GENERATION HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 23, 2016, AS FOLLOWS:

NOT A BOUNDARY SURVEY
 DATE OF SURVEY: 05/15/19
 DATE OF CALCULATION: 05/15/19
 SEPARATE OF PURPOSE
 AND PHOTOGRAPHIC LOCATION DATA FOR ON-SITE SEPTIC SYSTEM DESIGN

ANGELLO M. BAIKONDIA
 1/12
 PROFESSIONAL
 LAND SURVEYOR

PLAN SHOWING PROPOSED IMPROVEMENTS & ON-SITE WASTEWATER TREATMENT SYSTEM

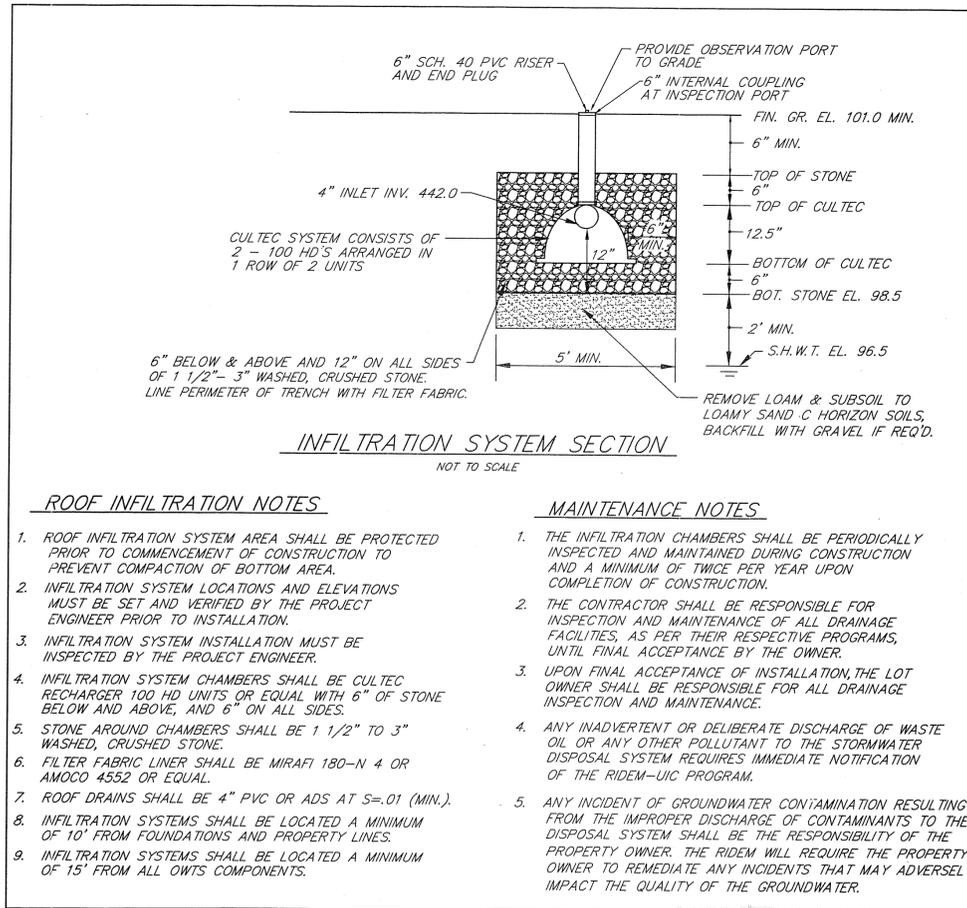
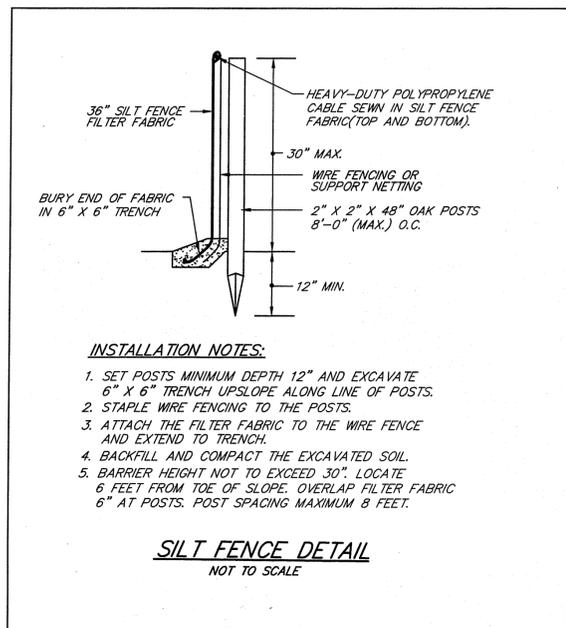
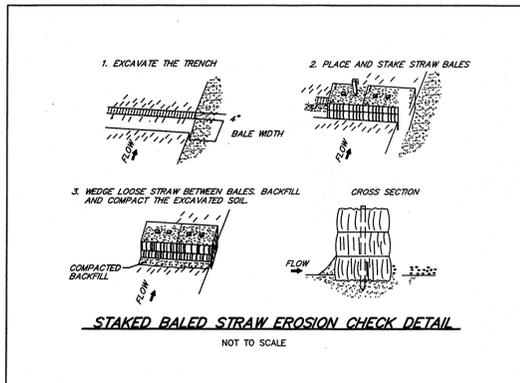
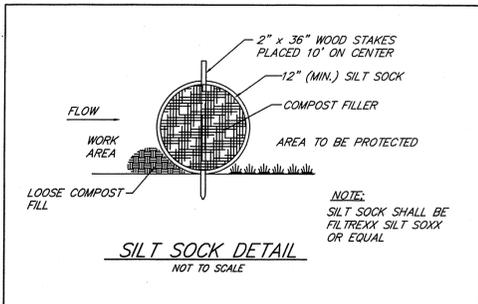
ASSASSOR'S PLAT 10A LOT 2

PUTNAM PIKE
 GLOUCESTER, RHODE ISLAND

PREPARED FOR: CORMIER CONSTRUCTION, INC.
 APR 12 2019
 Office of Water Resources

PROJECT NO.: SS2182.01 SHEET 1 OF 2
 DRAWING NO.: SS4598

SCALE: 1"=40' DATE: MARCH 7, 2019 REVISION:



ROOF INFILTRATION NOTES

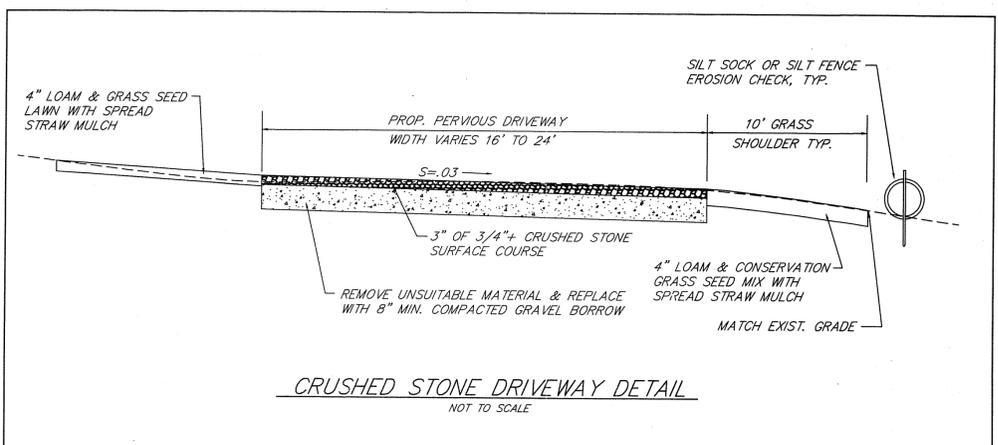
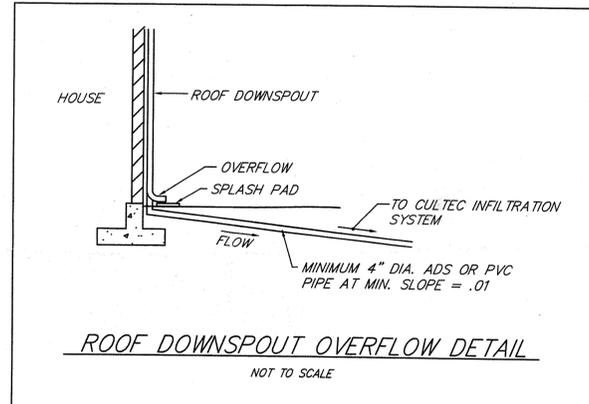
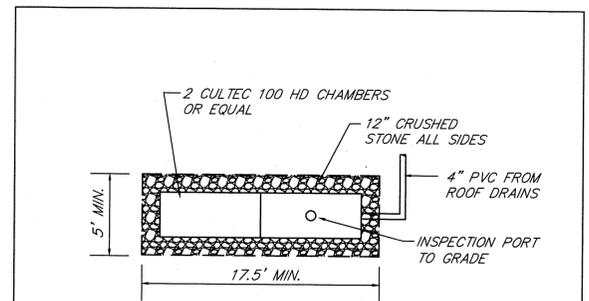
1. ROOF INFILTRATION SYSTEM AREA SHALL BE PROTECTED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO PREVENT COMPACTION OF BOTTOM AREA.
2. INFILTRATION SYSTEM LOCATIONS AND ELEVATIONS MUST BE SET AND VERIFIED BY THE PROJECT ENGINEER PRIOR TO INSTALLATION.
3. INFILTRATION SYSTEM INSTALLATION MUST BE INSPECTED BY THE PROJECT ENGINEER.
4. INFILTRATION SYSTEM CHAMBERS SHALL BE CULTEC RECHARGER 100 HD UNITS OR EQUAL WITH 6" OF STONE BELOW AND ABOVE, AND 6" ON ALL SIDES.
5. STONE AROUND CHAMBERS SHALL BE 1 1/2" TO 3" WASHED, CRUSHED STONE.
6. FILTER FABRIC LINER SHALL BE MIRAFI 180-N 4 OR AMOCO 4552 OR EQUAL.
7. ROOF DRAINS SHALL BE 4" PVC OR ADS AT S=.01 (MIN.).
8. INFILTRATION SYSTEMS SHALL BE LOCATED A MINIMUM OF 10' FROM FOUNDATIONS AND PROPERTY LINES.
9. INFILTRATION SYSTEMS SHALL BE LOCATED A MINIMUM OF 15' FROM ALL OWTS COMPONENTS.

MAINTENANCE NOTES

1. THE INFILTRATION CHAMBERS SHALL BE PERIODICALLY INSPECTED AND MAINTAINED DURING CONSTRUCTION AND A MINIMUM OF TWICE PER YEAR UPON COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL DRAINAGE FACILITIES, AS PER THEIR RESPECTIVE PROGRAMS, UNTIL FINAL ACCEPTANCE BY THE OWNER.
3. UPON FINAL ACCEPTANCE OF INSTALLATION, THE LOT OWNER SHALL BE RESPONSIBLE FOR ALL DRAINAGE INSPECTION AND MAINTENANCE.
4. ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RIDEM-UIC PROGRAM.
5. ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF CONTAMINANTS TO THE DISPOSAL SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE RIDEM WILL REQUIRE THE PROPERTY OWNER TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT THE QUALITY OF THE GROUNDWATER.

ROOF INFILTRATION SYSTEM SIZING

ROOF INFILTRATION SYSTEM BASED ON A ROOF AREA OF 1,152 S.F.
 REQ'D. WATER QUALITY TREATMENT VOL. = 1,152 S.F. X 1"/12" = 96.0 C.F.
 STORAGE VOL. OF CULTecs = 1.87 S.F. X 15.5' = 29 C.F.
 STORAGE VOL. OF STONE = (5' X 17.5' X 2' - 29 C.F.) X .33 = 48.2 C.F.
 INFILTRATION VOL. = 17.5' X 5' X 2.41"/12" X 2 = 35.1 C.F.
 TOTAL TREATMENT VOL. = 29 + 48.2 + 35.1 = 112.3 C.F. > 96



SCOTT F. MOOREHEAD
 REGISTERED PROFESSIONAL ENGINEER
 No. 4298

DRAINAGE DESIGNER/ENGINEER
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 SCOTT.SFM@ATLANTICBB.NET

DATE: _____ REVISION: _____

CHK. BY: SFM JOB. NO. SFM867

SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, R.I. 02816
 401-826-1810
 LAND SURVEYING / MAPPING / SITE PLANNING

ASSESSOR'S PLAT 10A LOT 2
 PUTNAM PIKE
 GLOUCESTER, RHODE ISLAND
 PREPARED FOR: CORNER CONSTRUCTION, INC.

SCALE: AS NOTED DATE: MARCH 7, 2019 REVISION:

PROJECT NO.: SS2182.01 SHEET 2 OF 2
 DRAWING NO.: SS4598