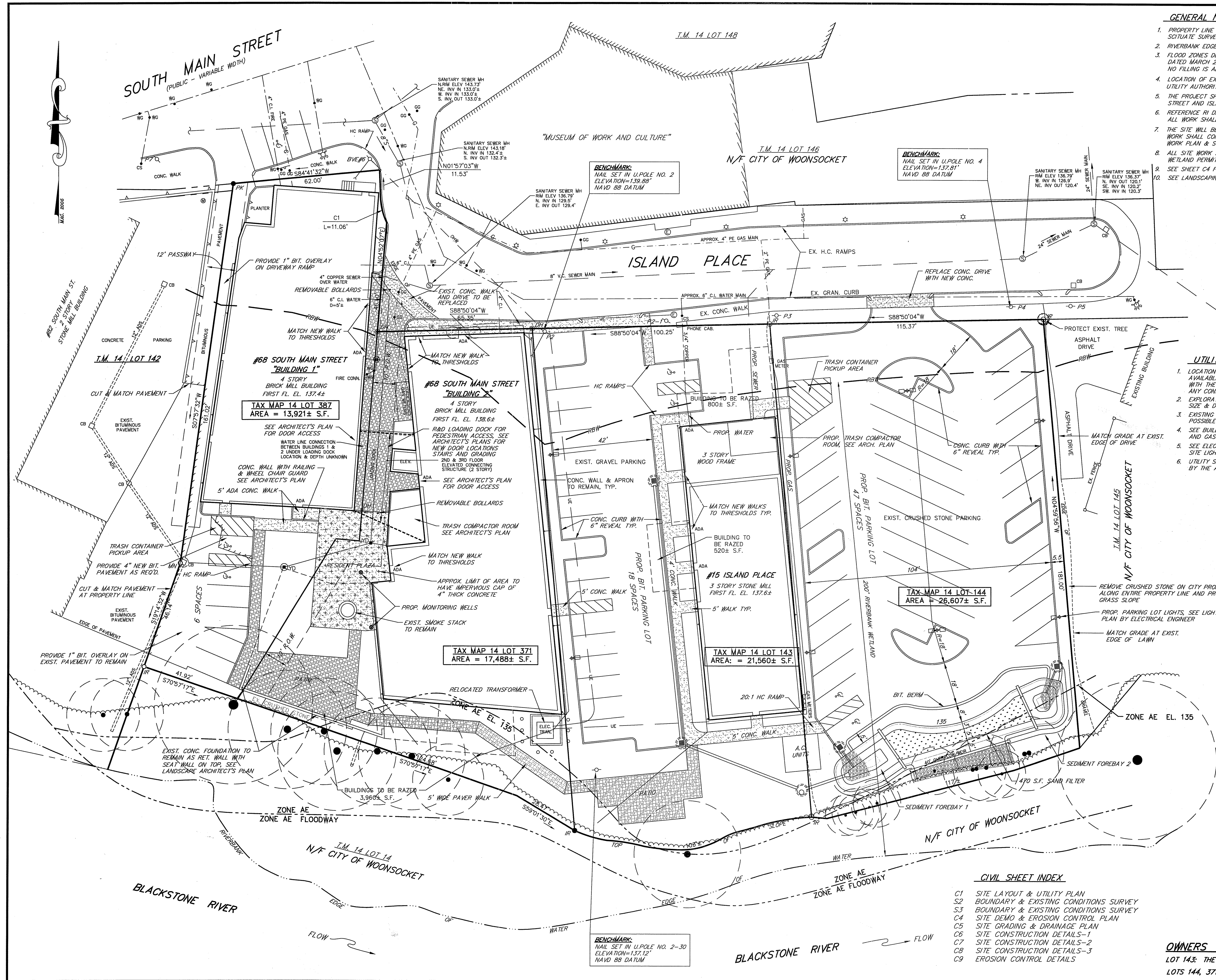




GENERAL NOTES

- PROPERTY LINE AND TOPOGRAPHIC INFORMATION FROM PLANS PREPARED BY SCITUATE SURVEYS, INC. ELEVATION DATUM IS NAVD83.
- RIVERBANK EDGE AND TOP OF BANK BANK LOCATED BY SCITUATE SURVEYS, INC.
- FLOOD ZONES DEPICTED FROM FEMA FLOOD INSURANCE RATE MAP 440700157G DATED MARCH 2, 2009. THE BASE FLOOD ELEVATION FOR ZONE AE IS EL. 135. NO FILLING IS ALLOWED WITHIN THE AE FLOOD HAZARD ZONE.
- LOCATION OF EXISTING UTILITIES IS APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
- THE PROJECT SHALL BE SERVICED BY EXISTING UTILITIES LOCATED IN SOUTH MAIN STREET AND ISLAND PLACE. SERVICES SHALL BE UPGRADED AS REQUIRED.
- REFERENCE RI DEM SITE REMEDIATION FILES SR-39-1291 AND SR-39-1828. ALL WORK SHALL COMPLY WITH DEM SITE REMEDIATION REQUIREMENTS.
- THE SITE WILL BE SUBJECT TO AN ENVIRONMENTAL LAND USE RESTRICTION. ALL SITE WORK SHALL COMPLY WITH DEM REQUIREMENTS AND THE APPROVED REMEDIAL ACTION WORK PLAN & SOIL MANAGEMENT PLAN PREPARED BY RANSOM ENGINEERING.
- ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE DEM FRESHWATER WETLAND PERMIT 19-0182.
- SEE SHEET C4 FOR TREE PROTECTION NOTES.
- SEE LANDSCAPING PLANS BY HALL BECKMAN, LTD.

PARKING REQUIREMENTS

OFFICE USE: NONE
COMMERCIAL USE: NONE
RESIDENTIAL USE: 1 P.S. PER DWELLING UNIT
REQUIRED PARKING = 70 SPACES
PROVIDED PARKING = 70 SPACES

ZONING DATA

ZONE: MIXED USE MU-2
MIN. LOT SIZE: 6,000 S.F.
MIN. YARDS: FRONT 20'
SIDE 10'
REAR 25'
MAX. HEIGHT: 5 STORIES
MAX. FLOOR AREA RATIO: 2.0

UTILITY NOTES

- LOCATIONS AND SIZES OF EXISTING UTILITIES ARE PLOTTED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE APPROPRIATE UTILITY AUTHORITY AND DIG SAFE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- EXPLORATORY TEST PITS SHALL BE EXCAVATED TO CONFIRM THE LOCATION, SIZE & DEPTH AT ANY CONNECTION OR CRITICAL UTILITY AREA, AS REQUIRED.
- EXISTING UTILITY SERVICES TO THE BUILDINGS SHALL BE UTILIZED WHERE POSSIBLE AND UPGRADED AS NECESSARY.
- SEE BUILDING, PLUMBING & MECHANICAL PLANS FOR WATER, SEWER AND GAS SERVICES AND DETAILS.
- SEE ELECTRICAL & LIGHTING PLANS FOR POWER SERVICE, COMMUNICATIONS, SITE LIGHTING, TELEPHONE, CABLE AND WIRING DETAILS.
- UTILITY SERVICE INSTALLATIONS SHALL BE APPROVED AND INSPECTED BY THE APPROPRIATE UTILITY COMPANY.

LOT COVERAGE

BUILDINGS	22,440 S.F.	28.2%
BIT. PAVEMENT	25,230 S.F.	31.7%
CONC. WALKS/PADS	1,760 S.F.	2.2%
PERM. PAVERS	4,360 S.F.	5.5%
HARD CAP	1,380 S.F.	1.7%
LANDSCAPED	24,406 S.F.	30.7%
TOTAL	79,576 S.F.	

LEGEND:

○ IR	IRON ROD
○ DH	DRILL HOLE
○ P-2	UTILITY POLE
○	LIGHT POLE
— RBW	200' RIVERBANK WETLAND
— D	DRAIN LINE
— S	SEWER LINE
— W	WATER LINE
— T	TELEPHONE LINE
— G	GAS LINE
○ S	SEWER MANHOLE
○ D	DRAINAGE MANHOLE
○ CB	DRAINAGE CATCH BASIN
○ T	TELEPHONE MANHOLE
○ E	ELECTRIC MANHOLE
○ W	WATER VALVE
○ P	PRECAST. C.B. & M.H.
○ Y	YARD DRAIN C.B. & M.H.
○ L	PROP. LIGHT POLE
○	EXISTING TREES
—	EXIST. TREE LINE
—	PROP. CONC. WALK
—	PROP. PERMEABLE PAVERS
—	PROP. RIP-RAP
—	IMPERVIOUS CAP AREA

CIVIL SHEET INDEX

- C1 SITE LAYOUT & UTILITY PLAN
- S2 BOUNDARY & EXISTING CONDITIONS SURVEY
- S3 BOUNDARY & EXISTING CONDITIONS SURVEY
- C4 SITE DEMO & EROSION CONTROL PLAN
- C5 SITE GRADING & DRAINAGE PLAN
- C6 SITE CONSTRUCTION DETAILS-1
- C7 SITE CONSTRUCTION DETAILS-2
- C8 SITE CONSTRUCTION DETAILS-3
- C9 EROSION CONTROL DETAILS

OWNERS

LOT 143: THE WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORPORATION
LOTS 144, 371 & 387: ARTECH HUB, LLC

AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 4 2019 FILE # 19-0182
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy T. Felton

REVISION

DATE	8-26-19
BY	SCOTT F. MOOREHEAD
REVISION	SAND FILTER, TREE PROTECTION

APPLICANT & DEVELOPER

WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORP.
719 FRONT STREET SUITE 103
WOONSOCKET, RI 02895
401-762-0995

MILL RACE REDEVELOPMENT

NEIGHBORHOODS BLACKSTONE RIVER VALLEY
GRID D3 TAX MAP 14 LOTS 143, 144, 371 & 387
68 SOUTH MAIN STREET & 15 ISLAND PLACE
WOONSOCKET, RHODE ISLAND

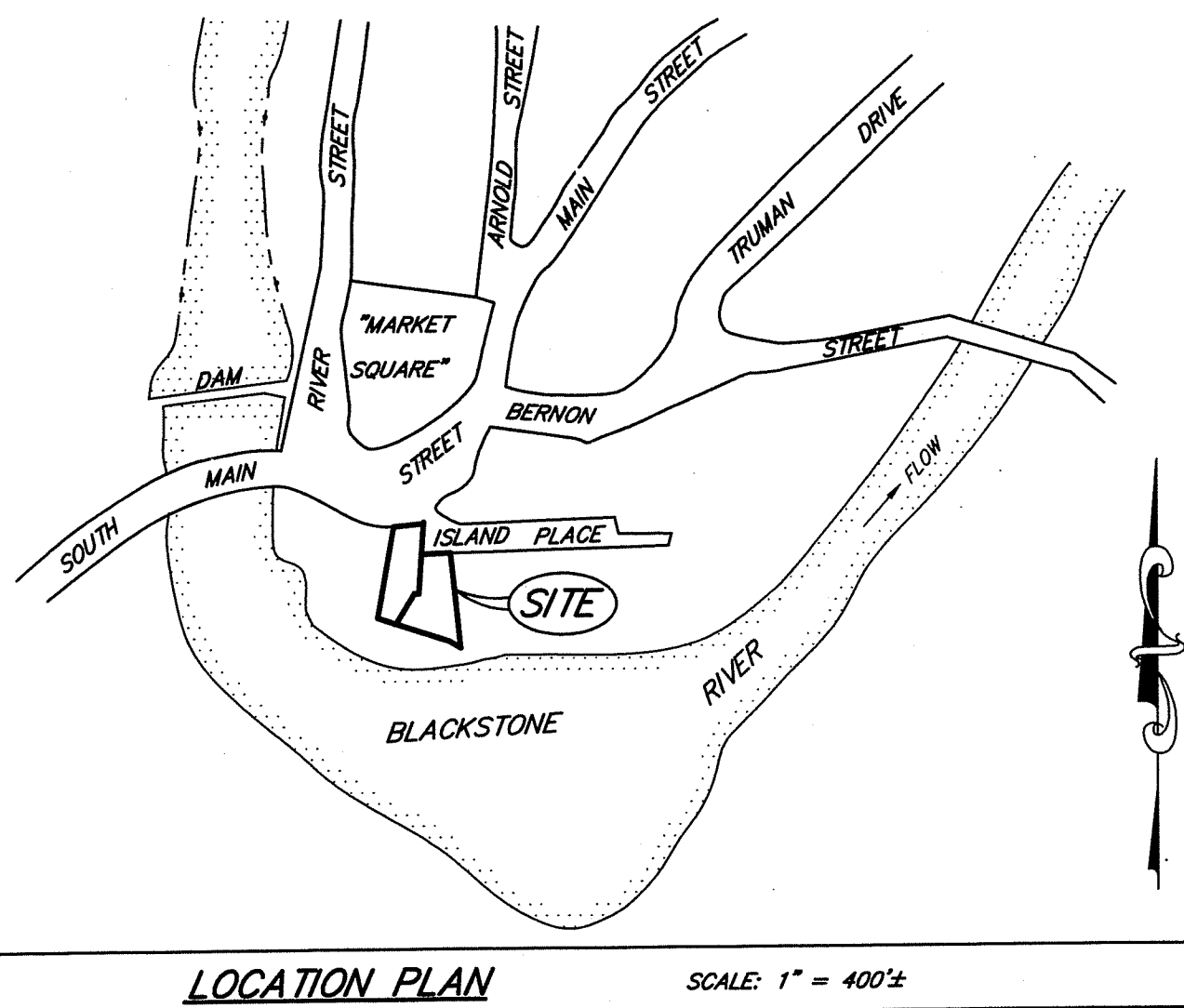
SFM ENGINEERING ASSOCIATES

410 TIOQUE AVENUE
CONVENT, RI 02816
PHONE: 401-826-3736
FAX: 401-826-1711
SCOTT.SFM@A.TLANCIBB.NET

SFM

DRN. BY: SFM
CHK. BY: JZL
SCALE: 1" = 20'
DATE: JUNE 15, 2019
DWG: SFM841-SP-K

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
FRESHWATER RESOURCES
APPROVED WITH CONDITIONS



GENERAL NOTES

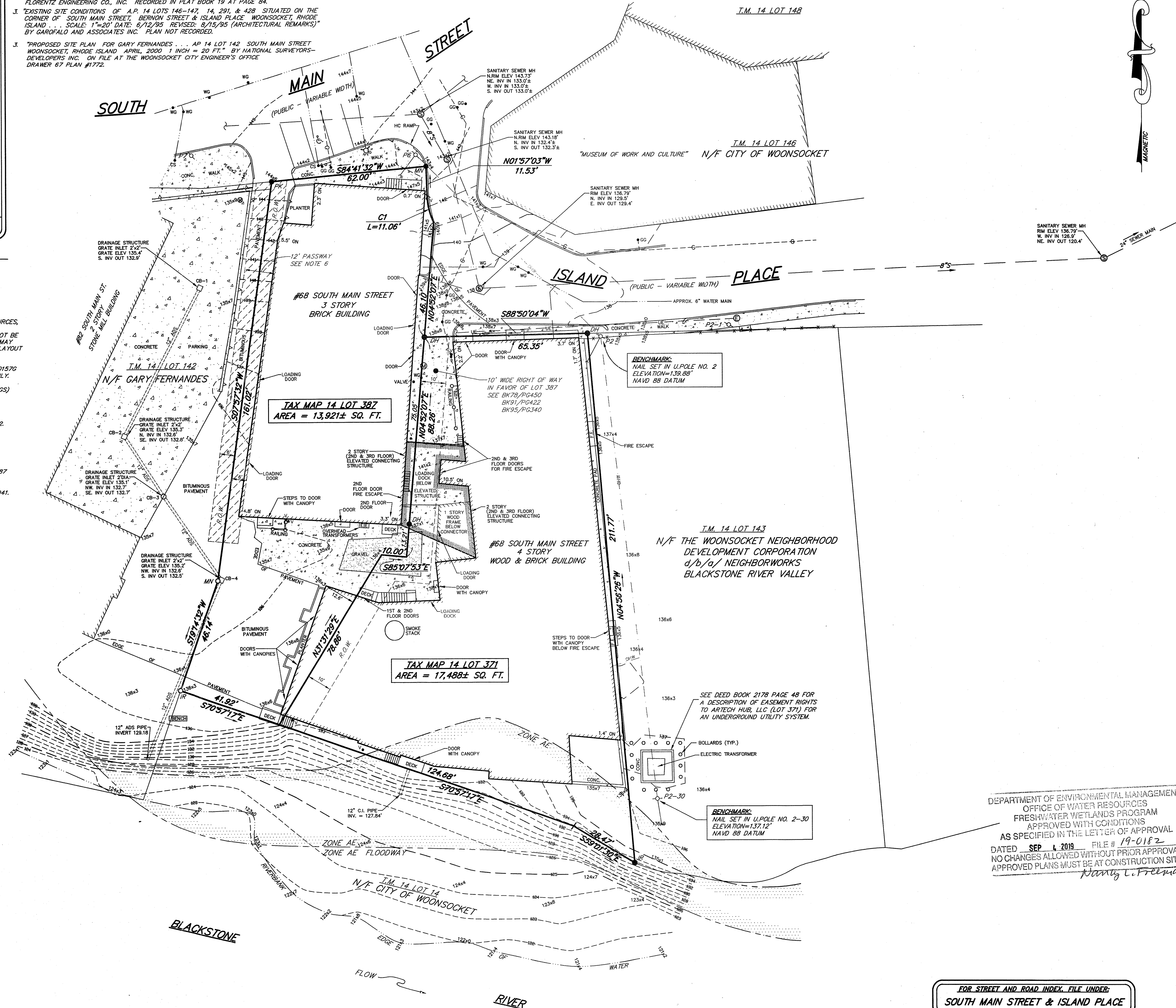
1. THE VERTICAL DATUM IS NAVD 88 AND WAS DERIVED FROM SURVEY GRADE GLOBAL POSITIONING TECHNOLOGY. THE HORIZONTAL DATUM IS ASSUMED.
2. TOPOGRAPHIC AND FEATURE LOCATION DATA IS FROM A GROUND-BASED SURVEY PERFORMED IN APRIL 2015 AND UPDATED IN AUGUST 2017 WITH CONVENTIONAL TOTAL-STATION INSTRUMENTS. VERTICAL CONTROL WAS PERFORMED WITH A LEVEL TO A CLASS II STANDARD.
3. SURFACE EVIDENCE OF PUBLIC AND PRIVATE UTILITIES IS BASED UPON SURVEY LOCATION OF VISIBLE FEATURES, SUBSURFACE EVIDENCE IS BASED UPON MAPS AND RECORDS PROVIDED BY MUNICIPAL SOURCES, UTILITY COMPANIES, AND OTHER CONTROLLING AUTHORITIES, TOGETHER WITH SUCH REASONABLE ASSUMPTIONS AS MAY BE DRAWN FROM THE FIELD AND RECORD DATA. UTILITY INFORMATION MAY NOT BE ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH REVISIONS AND CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ALL EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR A MORE RELIABLE LAYOUT OF EXISTING UTILITIES.
4. LOT 371 IS PARTIALLY LOCATED IN ZONE AE, AS SHOWN ON FLOOD INSURANCE RATE MAP #44007C01576 (CITY OF WOONSOCKET) DATED MARCH 2, 2009. ZONE LINES ARE SHOWN BY GRAPHIC PLOTTING ONLY.
5. ORDINARY BUILDING PROJECTIONS (INCLUDING BUT NOT LIMITED TO SOFFITS, CORNICES, AND OVERHANGS) ARE NOT DEPICTED. DIMENSIONAL OFFSETS FROM STRUCTURES TO LOT LINES ARE MEASURED FROM FROM BUILDING CORNERS.
6. LOTS 387 AND 142 ARE EACH SUBJECT TO A 6' WIDE RIGHT TO PASS IN FAVOR OF THE ADJOINER, THEREBY CREATING A 12' WIDE PASSWAY TO BE USED IN COMMON. SEE DEED BOOK 91 AT PAGE 422. THE PASSWAY RUNS SOUTHERLY FROM SOUTH MAIN STREET, AND TERMINATES WHERE IT IS INTERSECTED BY A LINE WHICH IS A WESTERLY PROLONGATION OF THE COURSE LABELED "S85°07'53"E 10.00'" ON THE EASTERLY SIDE OF LOT 387.
7. LOTS 371 AND 387 ARE SUBJECT TO RIGHTS TO PASS IN FAVOR OF LOT 142 OVER THE 10' STRIP THAT ADJOINS THE EASTERLY BOUNDARY OF LOT 387 AND OVER AN UNSPECIFIED PORTION OF LOT 387 BETWEEN LOT 371 AND LOT 142. SEE DEED BOOK 91 AT PAGE 422.
8. SEE CITY OF WOONSOCKET ENGINEERING FIELD BOOK 336 PAGES 1-1 AND 5-5, NOVEMBER 25-26, 1941.

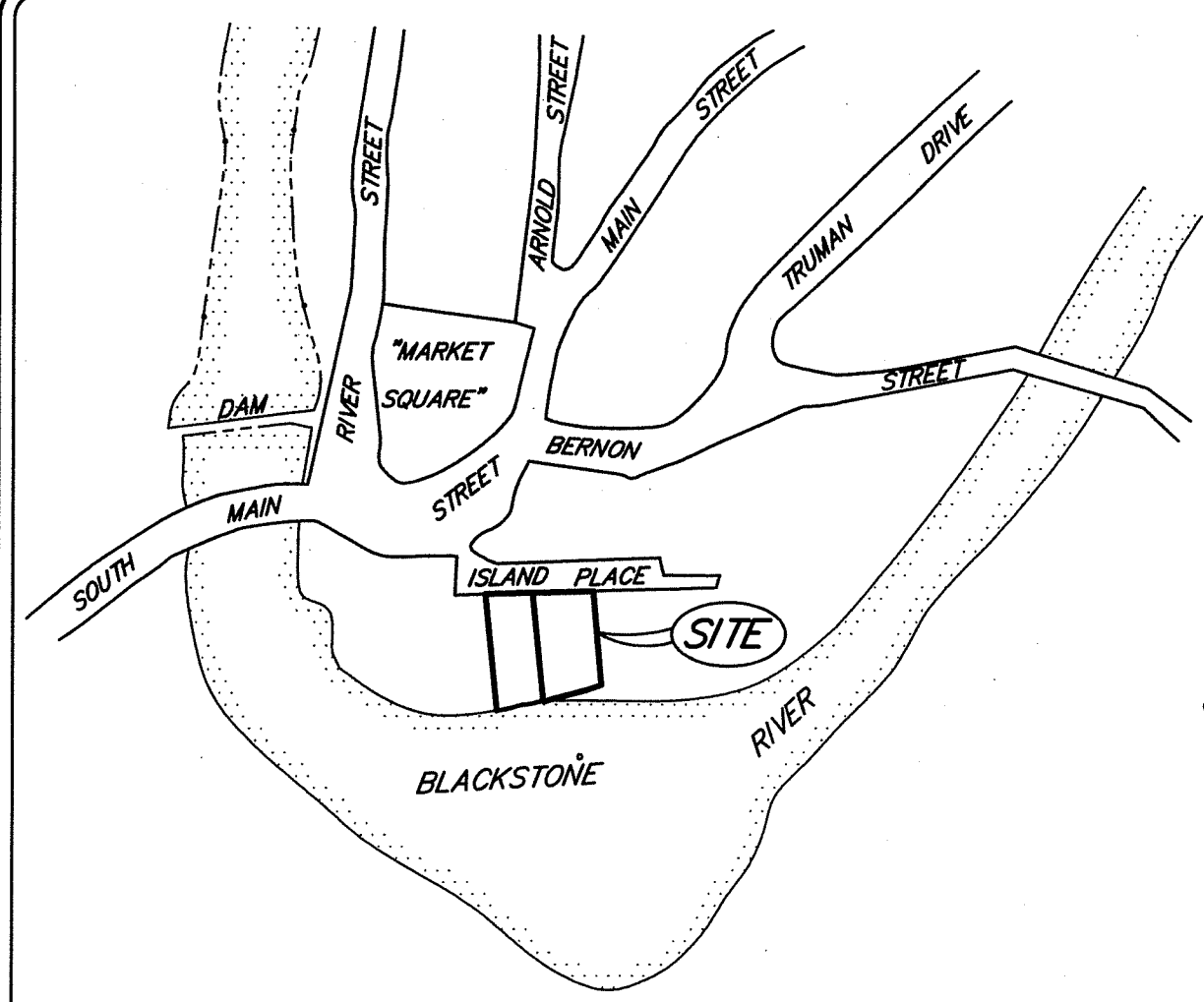
PLAN REFERENCES

1. "PLAN OF LAND FOR CITY OF WOONSOCKET WOONSOCKET, R.I. MARCH, 1985 SCALE: 1"=20 FEET" BY BIBECAULT AND FLORENZ ENGINEERING CO., INC. RECORDED IN PLAT BOOK 16 AT PAGE 21.
2. "TOPOGRAPHIC PLAN OF RIVER ISLAND PARK FOR CITY OF WOONSOCKET WOONSOCKET, R.I. APRIL, 1980 REVISED: OCTOBER 17, 1991 SCALE: 1 INCH = 40 FEET" BY BIBECAULT AND FLORENZ ENGINEERING CO., INC. RECORDED IN PLAT BOOK 19 AT PAGE 84.
3. "EXISTING SITE CONDITIONS OF A.P. 14 LOTS 146-147, 14, 291, & 428 SITUATED ON THE CORNER OF SOUTH MAIN STREET, BERNON STREET & ISLAND PLACE WOONSOCKET, RHODE ISLAND . . . SCALE: 1"=20' DATE: 6/12/95 REVISED: 8/15/95 (ARCHITECTURAL REMARKS)" BY GAROFALO AND ASSOCIATES INC. PLAN NOT RECORDED.
3. "PROPOSED SITE PLAN FOR GARY FERNANDES . . . AP 14 LOT 142 SOUTH MAIN STREET WOONSOCKET, RHODE ISLAND APRIL, 2000 1" INCH = 20 FT." BY NATIONAL SURVEYORS-DEVELOPERS INC. ON FILE AT THE WOONSOCKET CITY ENGINEER'S OFFICE. DRAWER 67 PLAN #1772.

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD ~ BEARING
C1	23°28'18"	27.00'	11.06'	5.61'	10.98' ~ N13°41'12"W





LOCATION PLAN

SCALE: 1" = 400'

GENERAL NOTES

1. THE VERTICAL DATUM IS NAVD 88 AND WAS DERIVED FROM SURVEY GRADE GLOBAL POSITIONING TECHNOLOGY. THE HORIZONTAL DATUM IS ASSUMED.
2. TOPOGRAPHIC AND FEATURE LOCATION DATA IS FROM A GROUND-BASED SURVEY PERFORMED IN FEBRUARY 2012 AND UPDATED IN AUGUST 2017 WITH CONVENTIONAL TOTAL-STATION INSTRUMENTS. VERTICAL CONTROL WAS PERFORMED WITH A LEVEL TO A CLASS II STANDARD.
3. SURFACE EVIDENCE OF PUBLIC AND PRIVATE UTILITIES IS BASED UPON SURVEY LOCATION OF VISIBLE FEATURES. SUBSURFACE EVIDENCE IS BASED UPON MAPS AND RECORDS PROVIDED BY MUNICIPAL SOURCES, UTILITY COMPANIES, AND OTHER CONTROLLING AUTHORITIES. TOGETHER WITH SUCH REASONABLE ASSUMPTIONS AS MAY BE DRAWN FROM THE FIELD AND RECORD DATA, UTILITY INFORMATION MAY NOT BE ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH REVISIONS AND CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ALL EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR A MORE RELIABLE LAYOUT OF EXISTING UTILITIES.
4. THE DEED TO THE SUBJECT PARCEL LOT 143 (BOOK 1957 AT PAGE 288) STATES THAT IT IS BOUNDED ON THE SOUTH BY "THE WATERS OF BERNON POND AT THEIR ORDINARY OR AVERAGE HEIGHT". THE AVERAGE ELEVATION OF THE FORMER BERNON POND HAS NOT BEEN DETERMINED BY THIS SURVEY.
5. THE LIMIT OF ZONE AE SPECIAL FLOOD HAZARD AREA IS DEPICTED BASED ON GRAPHIC PLOTTING ONLY. THE BASE FLOOD ELEVATION IS 135 NAVD 88, MORE OR LESS. THE FLOOD ELEVATIONS AT 15 ISLAND PLACE ARE SUBJECT TO VERIFICATION. SEE F.I.R.M. #44007001576 DATED MARCH 2, 2009.
6. A "CLOSING LINE" IS AN ARBITRARILY LOCATED LINE USED FOR TECHNICAL PURPOSES ONLY, AND HAS NO RELATIONSHIP TO THE BOUNDARY LINES.
7. LOT 143 IS SUBJECT TO EASEMENT RIGHTS GRANTED TO THE NARRAGANSETT ELECTRIC COMPANY (NECO) AND TO ARTECH HUB, LLC FOR AN UNDERGROUND UTILITY SYSTEM. SEE DEED BOOK 2178 AT PAGE 44 (NECO) AND PAGE 48 (ARTECH).

PLAN REFERENCES

1. "PLAN OF LAND FOR CITY OF WOONSOCKET WOONSOCKET, R.I. MARCH, 1985 SCALE 1" = 20 FEET" BY BIBEALUT AND FLORENTZ ENGINEERING CO. RECORDED IN PLAT BOOK 16 AT PAGE 21.
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3. "EXISTING SITE CONDITIONS OF A.P. 14 LOTS 146-147, 14, 291, & 428 SITUATED ON THE CORNER OF SOUTH MAIN STREET, BERNON STREET & ISLAND PLACE WOONSOCKET, RHODE ISLAND. SCALE: 1"=20' DATE: 6/12/95 REVISED: 8/15/95 (ARCHITECTURAL REMARKS)" BY GAROFALO AND ASSOCIATES INC. PLAN NOT RECORDED.

LEGEND

- T.M. TAX MAP
N/F NOW OR FORMERLY
IR IRON ROD & CAP SET
IR IRON ROD FOUND
DH DRILL HOLE SET
DH DRILL HOLE FOUND
MW MONITORING WELL
SM SEWER MANHOLE
EM ELECTRIC MANHOLE
CB CATCH BASIN
138.3 SPOT ELEVATION
WG WATER GATE
GG GAS GATE
GL GAS LINE
P2 UTILITY POLE/GUY WIRE
CL CHAIN LINK FENCE
E UNDERGROUND ELECTRIC
EW OVERHEAD WIRE
ED EXISTING MAJOR CONTOUR
ES EXISTING MINOR CONTOUR
DO DIMENSIONAL OFFSET OF BUILDING CORNER OVER PARCEL LINE

FOR STREET AND ROAD INDEX, FILE UNDER:
ISLAND PLACE

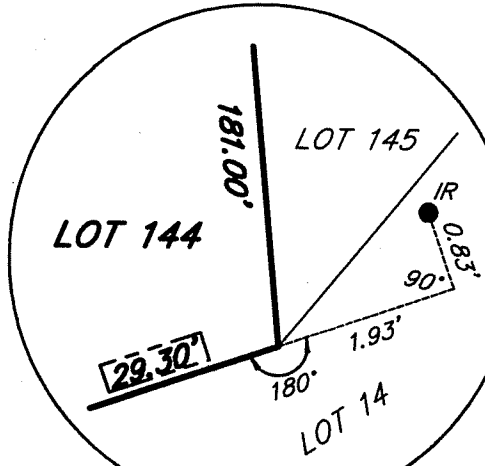
BENCHMARK:
NAIL SET IN U.P.OLE NO. 2-30
ELEVATION=137.12'
NAVD 88 DATUM

T.M. 14 LOT 14
N/F CITY OF WOONSOCKET

T.M. 14 LOT 371
N/F ARTECH HUB, LLC

TAX MAP 14 LOT 143
AREA = 21,560± SQ. FT.

TAX MAP 14 LOT 144
AREA = 26,607± SQ. FT.
(VACANT)



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 4, 2019 FILE # 19-0182
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

15 ISLAND PLACE ~
FLOOR ELEVATION TABLE

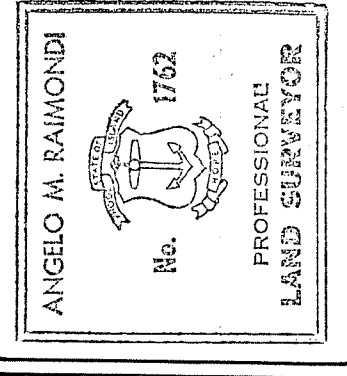
(A) OVERHEAD DOOR	137.24' NAVD 88
(B) RAISED CONCRETE SLAB	138.10' NAVD 88
(C) OVERHEAD DOOR	137.99' NAVD 88
(D) THRESHOLD	137.85' NAVD 88
(E) OVERHEAD DOOR	137.51' NAVD 88

OWNERS

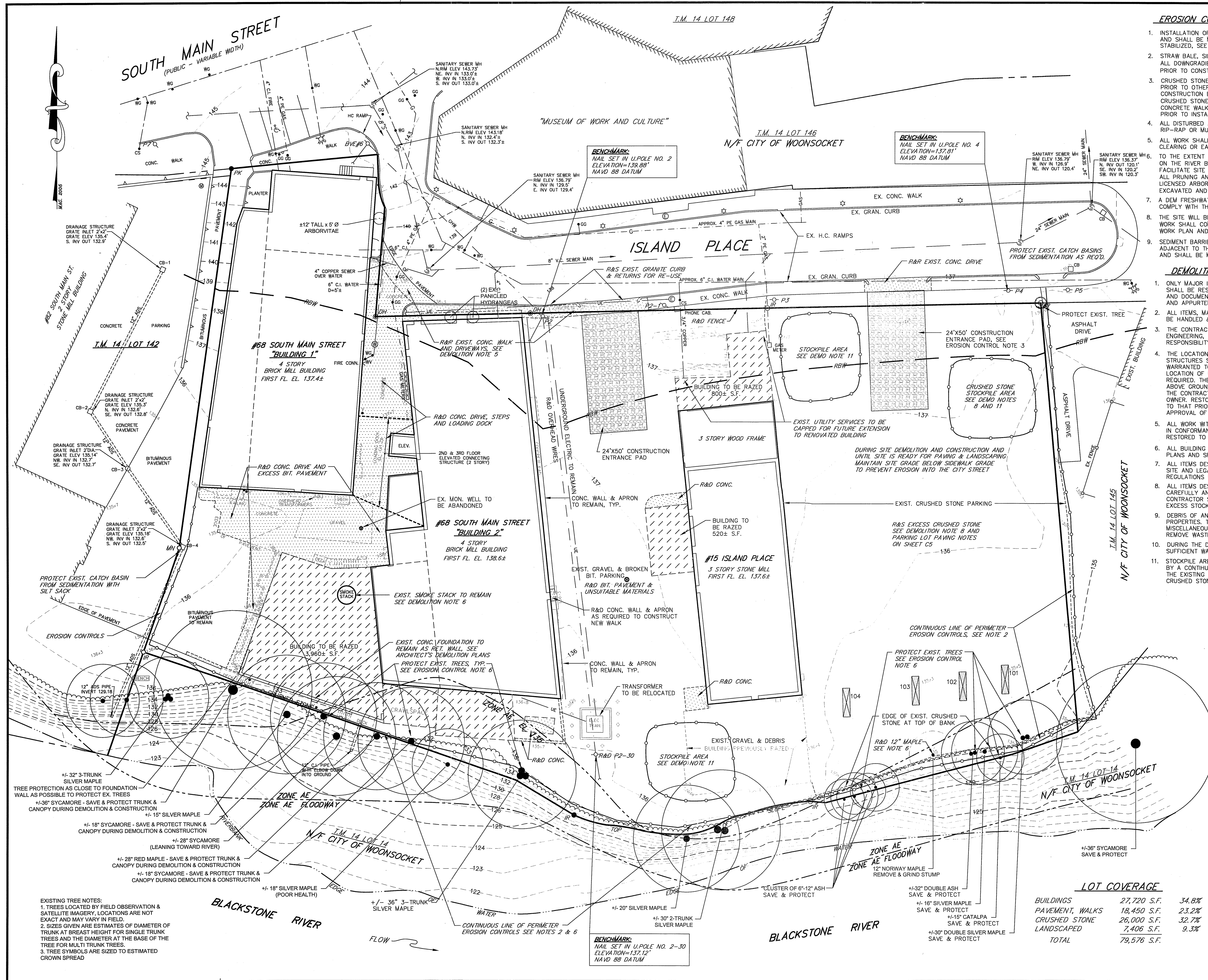
LOT 143: THE WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORPORATION
LOT 144: ARTECH HUB, LLC

SCITUATE SURVEYS, INC.
410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401-821-8101
LAND SURVEYING / MAPPING / SITE PLANNING

CERTIFICATION: THIS DOCUMENT AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS GOVERNING THE PRACTICE OF PROFESSIONAL LAND SURVEYING IN THE STATE OF RHODE ISLAND, AS FOLLOWS:
ON NOVEMBER 28, 2019, AS FOLLOWS:
TYPE OF BOUNDARY SURVEY: BOUNDARY SURVEY
CLASS: CLASS II
MEASUREMENTS: MEASUREMENTS
CLASS II
STATEMENT OF PURPOSE: THE PURPOSE OF THIS SURVEY WAS TO CONDUCT A BOUNDARY RETRACEMENT SURVEY, AND TO SHOW EXISTING CONDITIONS AND TOPOGRAPHY.
IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "MET" STAMP, THEN IT IS NOT AN AUTHENTIC PERSON.



BOUNDARY SURVEY AND EXISTING CONDITIONS PLAN
OF LAND OF
THE WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORPORATION
AND
ARTECH HUB, LLC
TAX MAP 14 LOTS 143 & 144
ISLAND PLACE
WOONSOCKET, RHODE ISLAND
SCALE: 1" = 20' DATE: AUGUST 3, 2017
PROJECT NO.: SS2099.01
DRAWING NO.: SS4437
SHEET 3 OF 9



EROSION CONTROL NOTES:

1. INSTALLATION OF EROSION CONTROL MEASURES SHALL BE THE FIRST ITEM OF WORK AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED, SEE SHEET C5 FOR ADDITIONAL NOTES AND DETAILS.
2. STRAW BALE, SILT SOCK OR SILT FENCE EROSION CHECKS SHALL BE INSTALLED AT ALL DOWNGRADIENT LIMITS OF DISTURBANCE FOR DRIVEWAY AND SITE DEVELOPMENT PRIOR TO CONSTRUCTION.
3. CRUSHED STONE CONSTRUCTION ENTRANCES FROM ISLAND PLACE SHALL BE INSTALLED PRIOR TO OTHER EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED AS CONSTRUCTION ENTRANCES UNTIL PARKING LOTS ARE READY FOR PAVING. EXISTING CRUSHED STONE FROM THE PARKING LOT MAY BE USED FOR THIS PURPOSE. EXISTING CONCRETE WALKS AND DRIVEWAY ENTRANCES SHALL NOT BE REMOVED UNTIL JUST PRIOR TO INSTALLATION OF NEW CONCRETE WALKS AND DRIVEWAYS.
4. ALL DISTURBED AREAS NOT PAVED SHALL BE STABILIZED WITH 4" LOAM & SEED/SOD, RIP-RAP OR MULCHED LANDSCAPE BEDS.
5. ALL WORK SHALL BE ACCURATELY LOCATED AND CONSTRUCTION STAKED PRIOR TO ANY CLEARING OR EARTH DISTURBANCE.
6. TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE RIVER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK OR AS REQUIRED BY THE LANDSCAPE ARCHITECT IS ALLOWED. ALL PRUNING AND TREE REMOVAL MUST BE PERFORMED BY OR SUPERVISED BY A LICENSED ARBORIST OR LANDSCAPE ARCHITECT. TREE STUMPS SHALL NOT BE EXCAVATED AND SHALL BE GROUND FLUSH TO THE GROUND SURFACE.
7. A DEM FRESHWATER WETLAND PERMIT WILL BE REQUIRED. ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THIS PERMIT, APPL NO. 19-0182.
8. THE SITE WILL BE SUBJECT TO AN ENVIRONMENTAL LAND USE RESTRICTION, ALL SITE WORK SHALL COMPLY WITH DEM REQUIREMENTS AND THE APPROVED REMEDIAL ACTION WORK PLAN AND SOIL MANAGEMENT PLAN PREPARED BY RANSOM ENGINEERING.
9. SEDIMENT BARRIERS AND SILT SOCKS SHALL BE INSTALLED AT ALL CATCH BASINS ADJACENT TO THE SITE PRIOR TO THE START OF SITE DEMOLITION OR EXCAVATION AND SHALL BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED.

DEMOLITION NOTES:

1. ONLY MAJOR ITEMS OF DEMOLITION ARE NOTED ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE SITE AND REVIEW THE PROJECT PLANS AND PERMITS TO DETERMINE THE EXTENT OF STRUCTURES, UTILITIES, DRAINS AND APPURTENANCES THAT NEED TO BE DEMOLISHED, REMOVED OR MODIFIED.
2. ALL ITEMS, MATERIALS, SOIL AND STRUCTURES DEMOLISHED OR REMOVED SHALL BE HANDLED & DISPOSED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS.
3. THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ACTUAL SITE CONDITIONS. SFM ENGINEERING, SCITUATE SURVEYS AND O'HEARNE ASSOCIATES ACCEPT NO RESPONSIBILITY FOR UNKNOWN SITE AND SUBSURFACE CONDITIONS.
4. THE LOCATION, SIZE AND MATERIAL OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ARE FROM BEST AVAILABLE INFORMATION AND ARE NOT WARRANTED TO BE COMPLETE OR CORRECT. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF UTILITIES AND STRUCTURES AND SHALL EXCAVATE TEST PITS AS REQUIRED. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT DAMAGE TO ABOVE GROUND AND SUBSURFACE UTILITIES AND STRUCTURES. DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED BY THE CONTRACTOR AT NO COST TO THE OWNER. RESTORATION OR REPLACEMENT SHALL BE TO CONDITIONS AT LEAST EQUAL TO THAT PRIOR TO THE DAMAGE AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL OF THE UTILITY AUTHORITY.
5. ALL WORK WITHIN THE CITY RIGHT OF WAY OR ON CITY PROPERTY SHALL BE DONE IN CONFORMANCE WITH CITY STANDARDS. DAMAGE TO ANY CITY PROPERTY SHALL BE RESTORED TO THE CITY'S SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.
6. ALL BUILDING DEMOLITION SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S PLANS AND SPECIFICATIONS.
7. ALL ITEMS DESIGNATED AS REMOVE AND DISPOSE (R&D) SHALL BE TAKEN FROM THE SITE AND LEGALLY DISPOSED IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS UNLESS THEY ARE SUITABLE FOR RE-USE ON SITE.
8. ALL ITEMS DESIGNATED AS REMOVE AND SALVAGE (R&S) SHALL BE REMOVED CAREFULLY AND STOCKPILED FOR RE-USE. ANY R&S ITEMS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE. EXCESS STOCKPILED MATERIALS SHALL BE REMOVED, SEE DEMO NOTE 7.
9. DEBRIS OF ANY NATURE SHALL NOT BE ALLOWED TO ACCUMULATE ON ADJUTING PROPERTIES. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMOVE WASTE MATERIAL WEEKLY.
10. DURING THE DEMOLITION AND EXCAVATION PROCESS THE CONTRACTOR SHALL USE SUFFICIENT WATER OR OTHER METHODS TO PREVENT EXCESSIVE SPREADING OF DUST.
11. STOCKPILE AREAS FOR SOILS & OTHER ERODIBLE MATERIALS SHALL BE SURROUNDED BY A CONTINUOUS LINE OF EROSION CONTROLS. ANY STOCKPILE AREA LOCATED ON THE EXISTING CRUSHED STONE PARKING AREA SHALL FIRST HAVE THE CLEAN CRUSHED STONE REMOVED AND STOCKPILED SEPARATELY.

LEGEND:

- 135 --- EXISTING CONTOUR
- L.O.D. / EROSION CONTROL
- IR --- IRON ROD
- DH --- DRILL HOLE
- P-2 --- UTILITY POLE
- LIGHT POLE
- RBW --- 200' RIVERBANK WETLAND
- D --- DRAIN LINE
- S --- SEWER LINE
- W --- WATER LINE
- T --- TELEPHONE LINE
- G --- GAS LINE
- S --- SEWER MANHOLE
- DM --- DRAINAGE MANHOLE
- CB --- DRAINAGE CATCH BASIN
- TM --- TELEPHONE MANHOLE
- EM --- ELECTRIC MANHOLE
- WV --- WATER VALVE
- EXST. SPOT EL.
- EXST. TREE LINE
- EXST. TREES
- SOIL TEST PIT
- PROP. BUILDING DEMO
- CONC. & BIT. DEMO
- R&D --- REMOVE & DISPOSE
- R&R --- REMOVE & REPLACE
- R&S --- REMOVE & SALVAGE

LOT COVERAGE

BUILDINGS	27,720 S.F.	34.8%
PAVEMENT, WALKS	18,450 S.F.	23.2%
CRUSHED STONE	26,000 S.F.	32.7%
LANDSCAPED	7,406 S.F.	9.3%
TOTAL	79,576 S.F.	

APPLICANT & DEVELOPER
WOONSOCKET NEIGHBORHOOD
DEVELOPMENT CORP.
719 FRONT STREET, SUITE 103
WOONSOCKET, RI 02895
401-762-0993

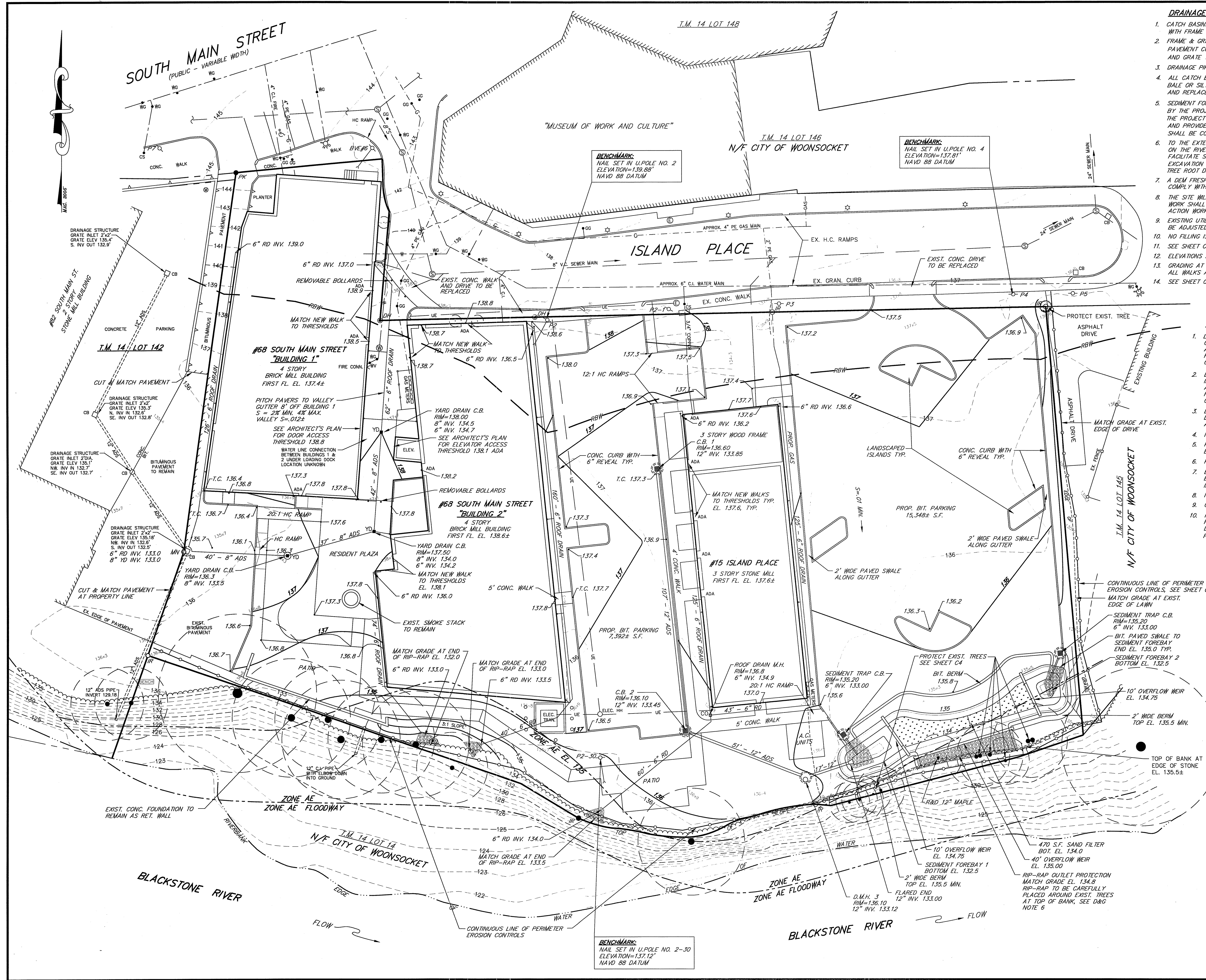
MILL RACE REDEVELOPMENT
NEIGHBORHOODS BLACKSTONE RIVER VALLEY
GRID D3 TAX MAP 14 LOTS 143, 144, 371 & 397
68 SOUTH MAIN STREET & 15 ISLAND PLACE
WOONSOCKET, RHODE ISLAND

SFM ENGINEERING ASSOCIATES
410 TIOQUE AVENUE
COVENTRY, RI 02816
PHONE: 401-826-3736
FAX: 401-826-1711
SCOTT.SFM@ATLANTICB.NET

SFM

DRN. BY: SFM
CHK. BY: JZL
SCALE: 1"= 20'
DATE: JUNE 15, 2019
DWG: SFM841-DUP-K
SHEET 4 OF 9
CONTRACT BID NO. 19-0182
SUBMISSION (AL) MANAGEMENT
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 4 2019 FILE # 19-0182
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

6/10/20 0 30' 60'



- DRAINAGE & GRADING NOTES**
- CATCH BASINS SHALL BE 4' I.D. PRECAST CONC. WITH 4' SUMP RI STD. 4.4.0 WITH FRAME & GRATES RI STD. 6.3.2
 - FRAME & GRATES SHALL BE SET 2" BELOW DESIGN GRADE UNTIL FINAL PAVEMENT COURSE IS TO BE INSTALLED. AT FINAL PAVING, RAISE FRAME AND GRATE TO DESIGN GRADE.
 - DRAINAGE PIPING SHALL BE HOPE ADS-N-12 ST (SOIL TIGHT) OR SDR-35 PVC.
 - ALL CATCH BASINS, DRAINAGE INLETS AND OUTLETS SHALL HAVE STAKED STRAW BALE OR SILT SOCK PERIMETER EROSION CHECKS WHICH SHALL BE MAINTAINED AND REPLACED AS REQUIRED UNTIL THE SITE IS FULLY STABILIZED.
 - SEDIMENT FOREBAYS AND SAND FILTER AREA SHALL BE CONSTRUCTION STAKED BY THE PROJECT SURVEYOR TO INSURE ACCURATE LOCATION AND ELEVATION. THE PROJECT SURVEYOR SHALL AS-BUILT SURVEY THE FILTERS PRIOR TO SEEDING AND PROVIDE AN AS-BUILT PLAN TO S.F.M. ENGINEERING. ANY DISCREPANCIES SHALL BE CORRECTED PRIOR TO SEEDING.
 - TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE RIVER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK OR AS REQUIRED BY THE LANDSCAPE ARCHITECT IS ALLOWED. EXCAVATION FOR SAND FILTER CONSTRUCTION SHALL BE PERFORMED TO MINIMIZE TREE ROOT DISTURBANCE AND SHALL BE SUPERVISED BY THE LANDSCAPE ARCHITECT.
 - A DEM FRESHWATER WETLAND PERMIT WILL BE REQUIRED. ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THIS PERMIT.
 - THE SITE WILL BE SUBJECT TO AN ENVIRONMENTAL LAND USE RESTRICTION. ALL SITE WORK SHALL COMPLY WITH DEM REQUIREMENTS AND THE APPROVED REMEDIAL ACTION WORK PLAN & SOIL MANAGEMENT PLAN PREPARED BY RAMSON ENGINEERING.
 - EXISTING UTILITY AND DRAINAGE STRUCTURES, COVERS, VALVE BOXES, ETC SHALL BE ADJUSTED TO MATCH NEW FINISH SURFACES.
 - NO FILLING IS ALLOWED WITHIN THE 100 YEAR FLOOD ZONE AE.
 - SEE SHEET C8 FOR SAND FILTER DIMENSIONS AND DETAILS.
 - ELEVATIONS AT CURB ARE BOTTOM OF CURB UNLESS NOTED T.C. (TOP OF CURB)
 - GRADING AT ALL SIDEWALK RAMP SHALL COMPLY WITH RI STD. 43.3.0 OR 43.3.1 ALL WALKS AND PATIO AREAS SHALL HAVE A MAXIMUM SLOPE OF 5%.
 - SEE SHEET C8 FOR SITE, YARD & ROOF DRAIN DETAILS.

- SITE PAVING NOTES**
- LOT 144 CURRENTLY HAS A 12" CRUSHED STONE CAP LAYER OVER A GEOTEXTILE FABRIC BARRIER. FOR PARKING LOT CONSTRUCTION, APPROXIMATELY 10" OF CRUSHED STONE SHALL BE REMOVED AND REPLACED WITH 6" OF COMPACTED GRAVEL PRIOR TO INSTALLATION OF THE ASPHALT PAVEMENT.
 - LOT 143 CURRENTLY HAS A GRAVEL & BROKEN ASPHALT SURFACE IN THE PARKING LOT AREA. FOR PARKING LOT CONSTRUCTION, APPROXIMATELY 10" OF EXISTING SOIL SHALL BE REMOVED AND REPLACED WITH 6" OF COMPACTED GRAVEL PRIOR TO INSTALLATION OF THE ASPHALT PAVEMENT.
 - LOTS 371 & 387 CURRENTLY HAVE CONCRETE AND BIT. CONC. IN THE DRIVEWAY & PARKING AREAS. FOR BIT. PAVEMENT AREA THAT REMAINS A 1" BIT. OVERLAY SHALL BE APPLIED OVER THE EXISTING PAVEMENT.
 - NEW PARKING LOTS SHALL BE PAVED WITH 4" OF BIT. ASPHALT.
 - PARKING LOT CURBS SHALL BE PRECAST CONC. WITH A 6" REVEAL EXCEPT WHERE NOTED TO BE BIT. BERM WITH 3" REVEAL.
 - PARKING LOT SLOPES SHALL BE 1 PERCENT MINIMUM.
 - EXIST. GRANITE CURB AND CONC. WALKS ALONG ISLAND PLACE SHALL BE PROTECTED. DAMAGED CURBS OR WALKS SHALL BE REPLACED IN ACCORDANCE WITH CITY STANDARDS.
 - NEW CONCRETE WALKS SHALL BE 4" THICK WITH FIBER REINFORCING.
 - CONCRETE DRIVEWAYS SHALL BE 6" THICK WITH WELDED WIRE REINF.
 - PAVER PLAZA, PATIO AND WALKS SHALL BE PERMEABLE CONCRETE PAVERS OVER A CRUSHED STONE BASE EXCEPT IN THOSE AREAS DESIGNATED TO HAVE A HARD CAP WHICH SHALL BE POURED IN PLACE CONCRETE WALKS, 4" THICK WITH FIBER REINFORCING.

LEGEND:

---	135	EXISTING CONTOUR
---	136	PROP. CONTOUR
---	---	EROSION CONTROL
○	IR	IRON ROD
○	DH	DRILL HOLE
○	P-2	UTILITY POLE
○	---	LIGHT POLE
---	---	200' RIVERBANK WETLAND
---	D	DRAIN LINE
---	S	SEWER LINE
---	W	WATER LINE
---	T	TELEPHONE LINE
---	G	GAS LINE
○	---	SEWER MANHOLE
○	---	DRAINAGE MANHOLE
○	---	TELEPHONE MANHOLE
○	---	ELECTRIC MANHOLE
○	---	WATER VALVE
○	---	EXIST. TREE LINE
○	---	PRECAST CATCH BASIN
○	---	PRECAST DRAIN MANHOLE
○	---	YARD DRAIN C.B.
○	---	ROOF DRAIN M.H.
○	---	EXIST. SPOT ELEVATION
○	---	PROP. SPOT ELEVATION
○	---	PROP. RIP-RAP
○	---	DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
○	---	OFFICE OF WATER RESOURCES
○	---	FRESHWATER WETLAND

REVISION	DATE	BY	DESCRIPTION
1	8-26-19	SCOTT F. MOOREHEAD	SAND FILTER, TREE PROTECTION

APPLICANT & DEVELOPER
WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORP.
719 FRONT STREET SUITE 103
WOONSOCKET, RI 02895
401-762-0993

MILL RACE REDEVELOPMENT
NEIGHBORHOODS BLACKSTONE RIVER VALLEY
GRID D3 TAX MAP 14 LOTS 143, 144, 371 & 387
68 SOUTH MAIN STREET & ISLAND PLACE
WOONSOCKET, RHODE ISLAND

GRADING & DRAINAGE PLAN

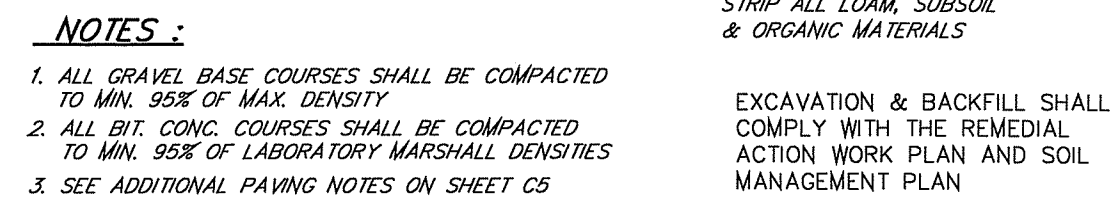
SFM ENGINEERING ASSOCIATES
410 TOGUE AVENUE
COVENTRY, RI 02816
PHONE: 401-826-3736
FAX: 401-826-1711
SCOTT.SFM@ATLANTICBB.NET

SFM

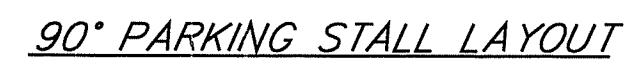
DRN. BY: SFM
CHK. BY: JZL
SCALE: 1"= 20'
DATE: JUNE 15, 2019
DWS: SFMB41-CP-K

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLAND
SUBMISSION

AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 4 2019 FILE #19-0182
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

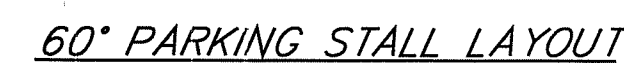


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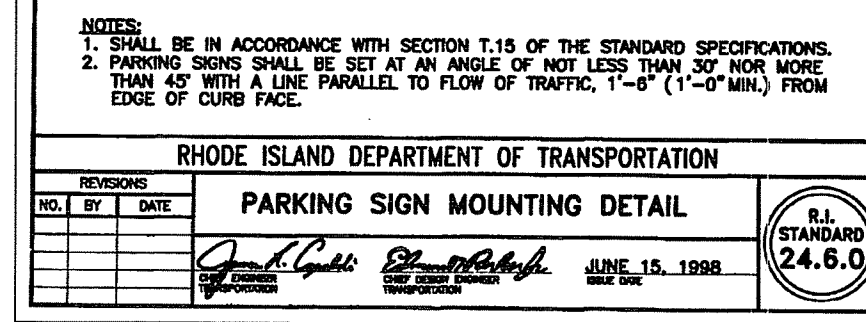
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NOT TO SCALE

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

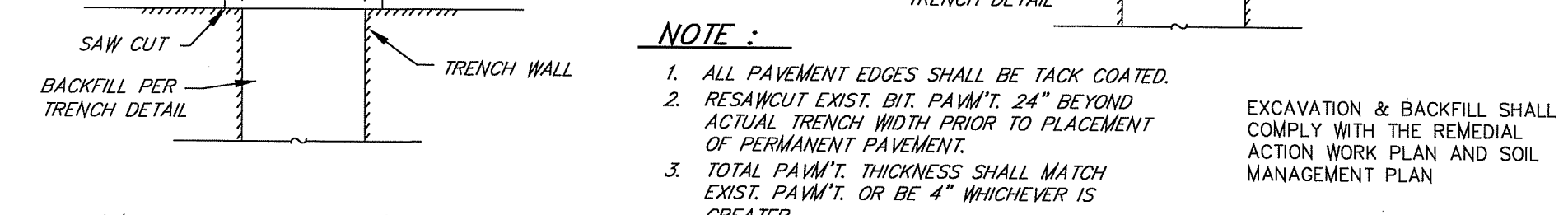
PARKING SIGN MOUNTING DETAIL

				JAMES H. GABLE CHIEF CLERK TELEPHONE	E. J. RICHIE CHIEF CLERK TELEPHONE	JUNE 15, 1998 ISSUE DATE	STANDARD 24.6.0
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HANDICAPPED PAVEMENT MARKINGS & SIGNAGE

NOT TO SCALE

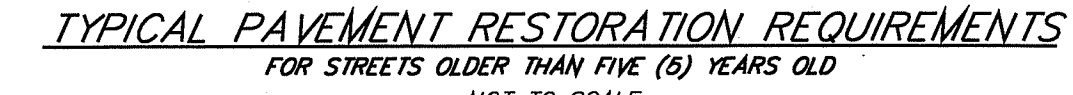


TEMPORARY PAVEMENT PATCH

NOT TO SCALE

PERMANENT PAVEMENT PATCH

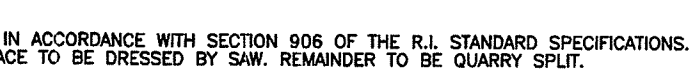
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TYPICAL PAVEMENT RESTORATION REQUIREMENTS

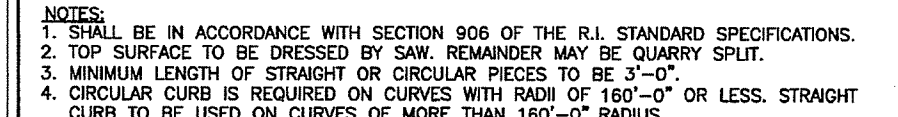
FOR STREETS OLDER THAN FIVE (5) YEARS OLD

NOT TO SCALE



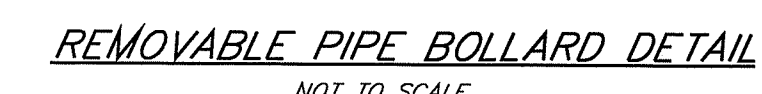
IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.

2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE QUARRY SPLIT.



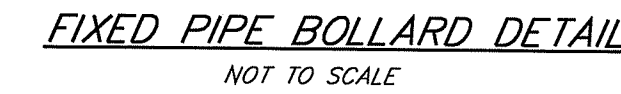
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.

4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.



REMOVABLE PIPE ROLLARD DETAIL

NOT TO SCALE

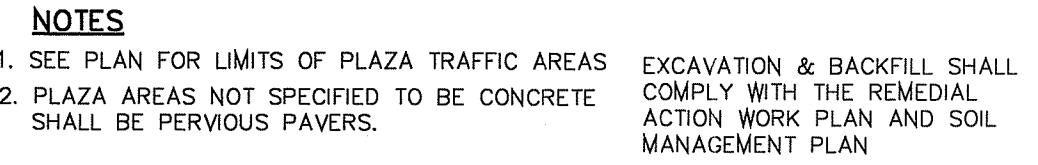


FIXED PIPE BOLLARD DETAIL

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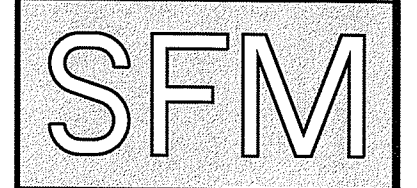
WOONSOCKET STANDARD DETAILS

PORTLAND CEMENT CONCRETE SIDEWALKS & DRIVEWAYS



CONCRETE DRIVEWAY DETAIL - TRAFFIC AREAS

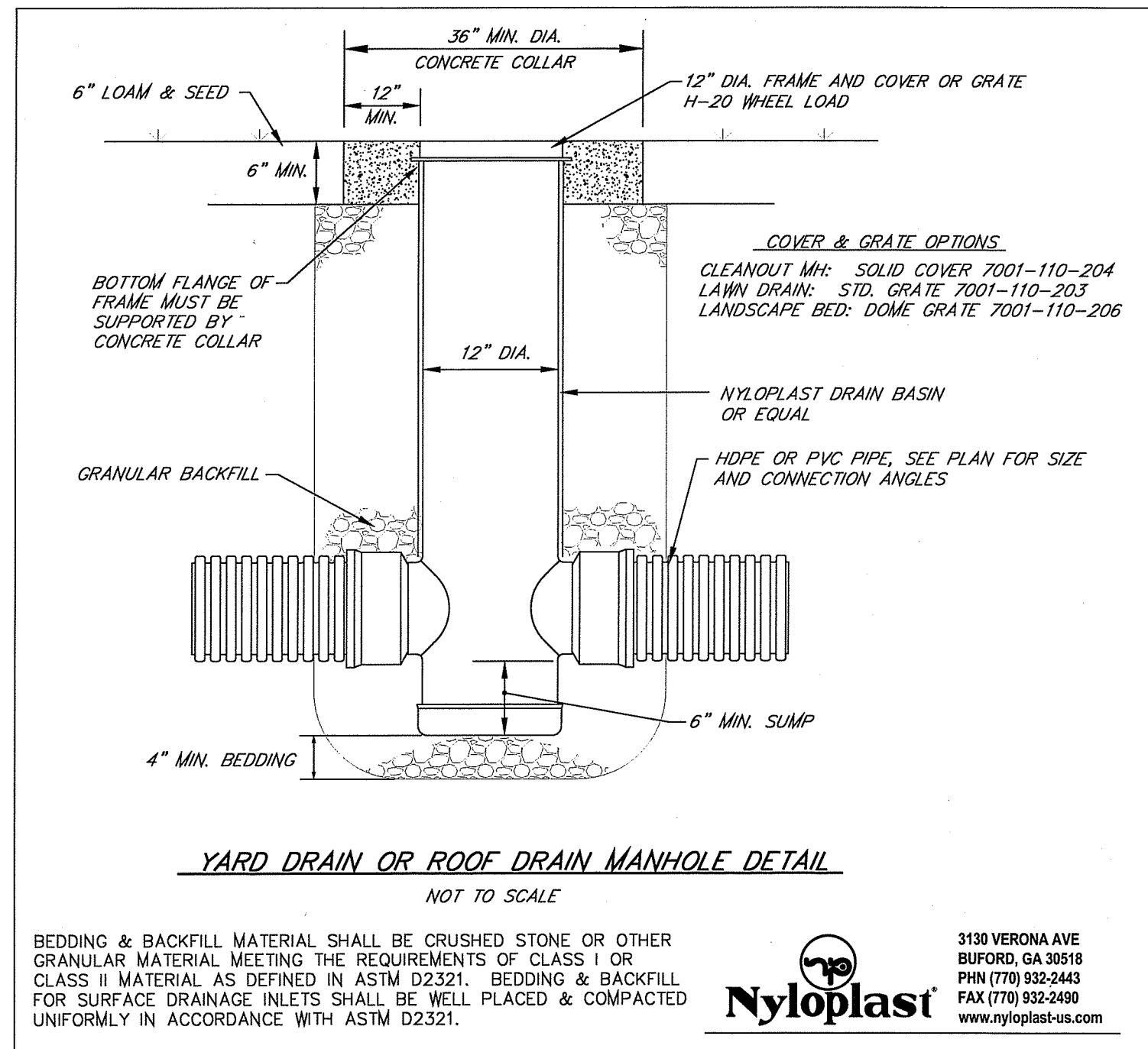
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DRN. BY: SFM	
CHK. BY: JZL	
SCALE: AS NOTED	
DATE: MAY 21, 2019	
DWG: SFM841-CD1-H	
SHEET 6 OF 9	
DEM PERMITTING SUBMISSION	C6

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 4 2019 FILE # 19-0182
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

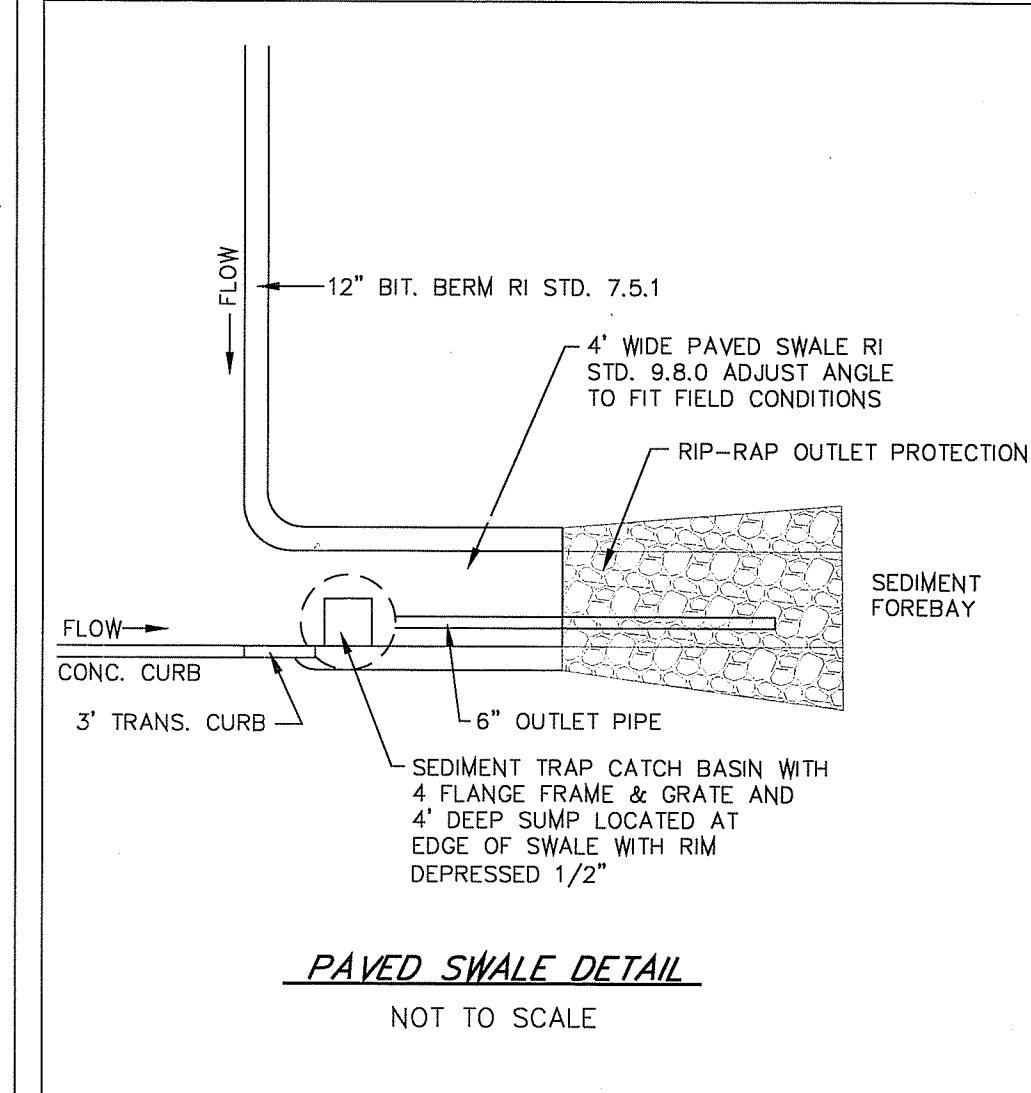
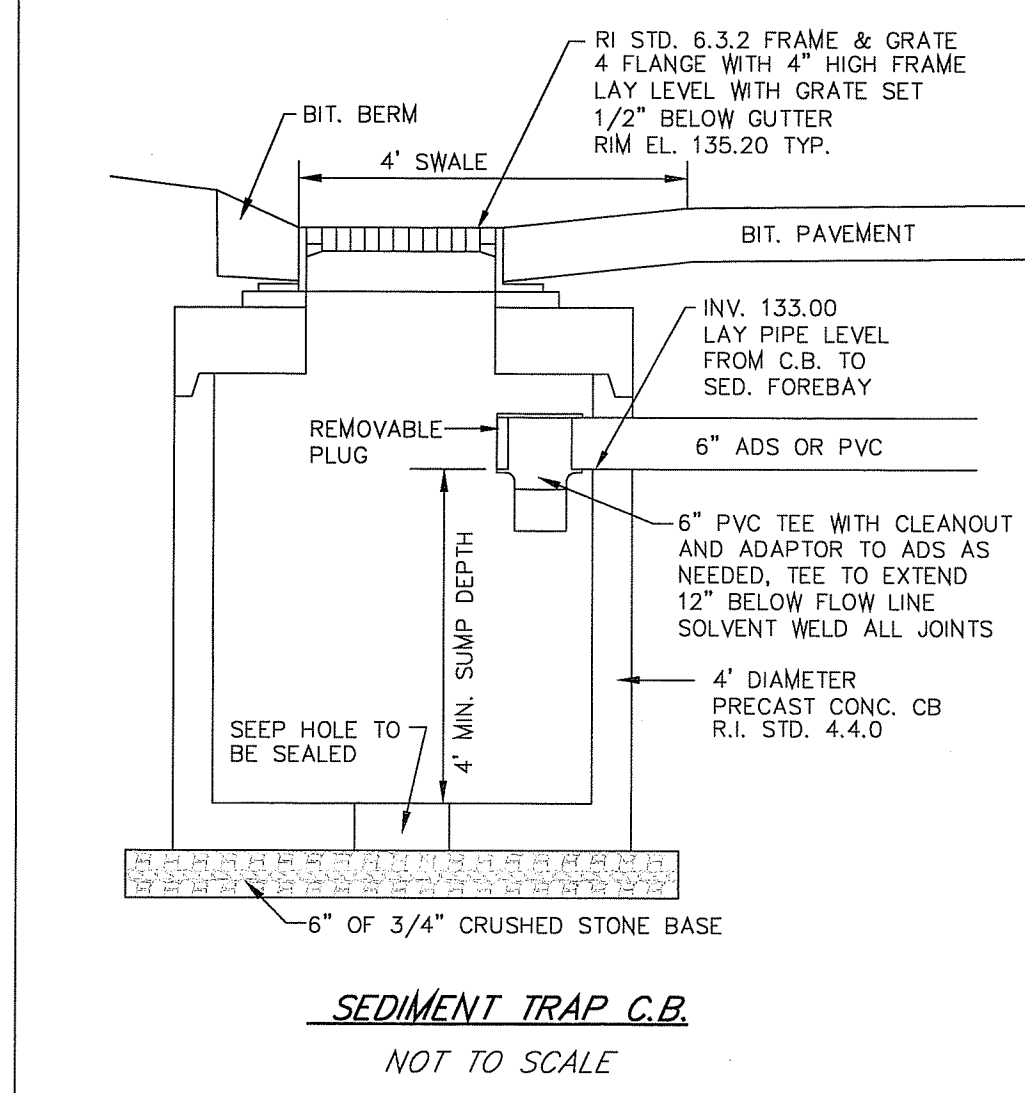
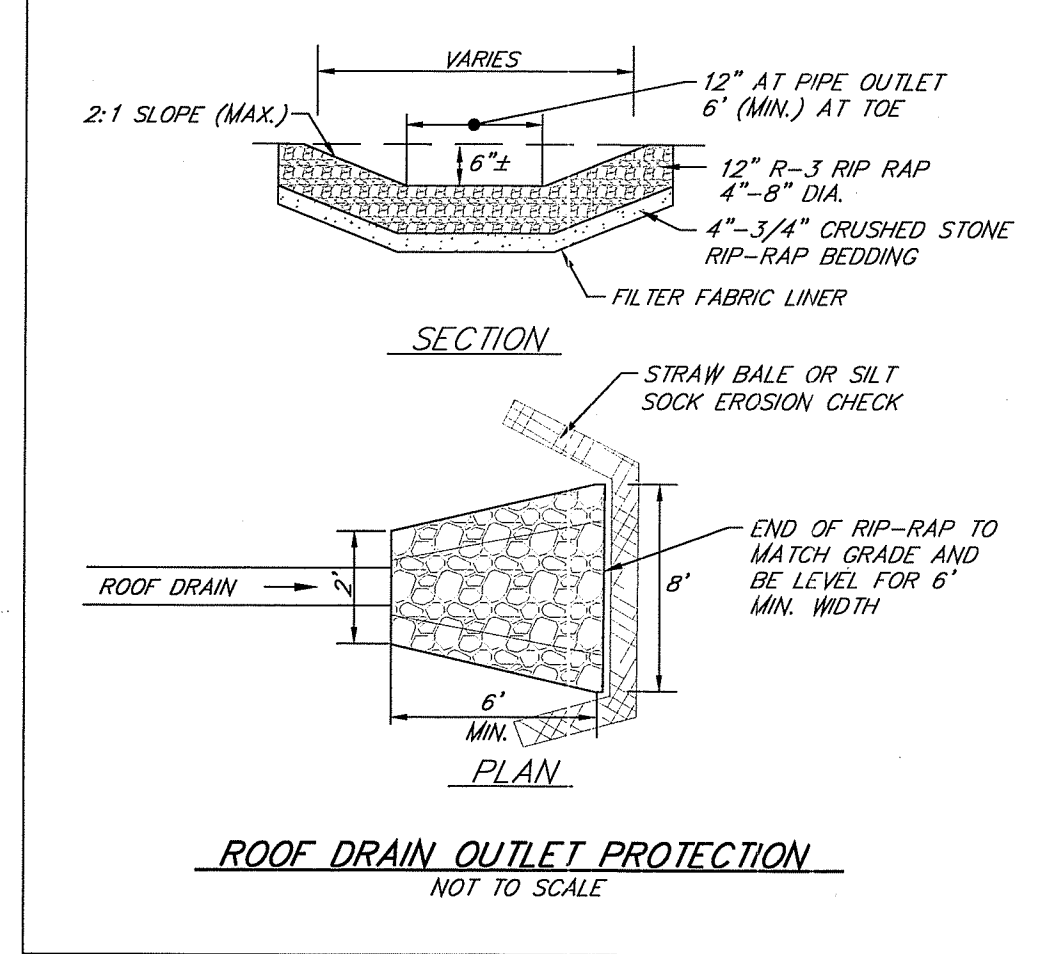
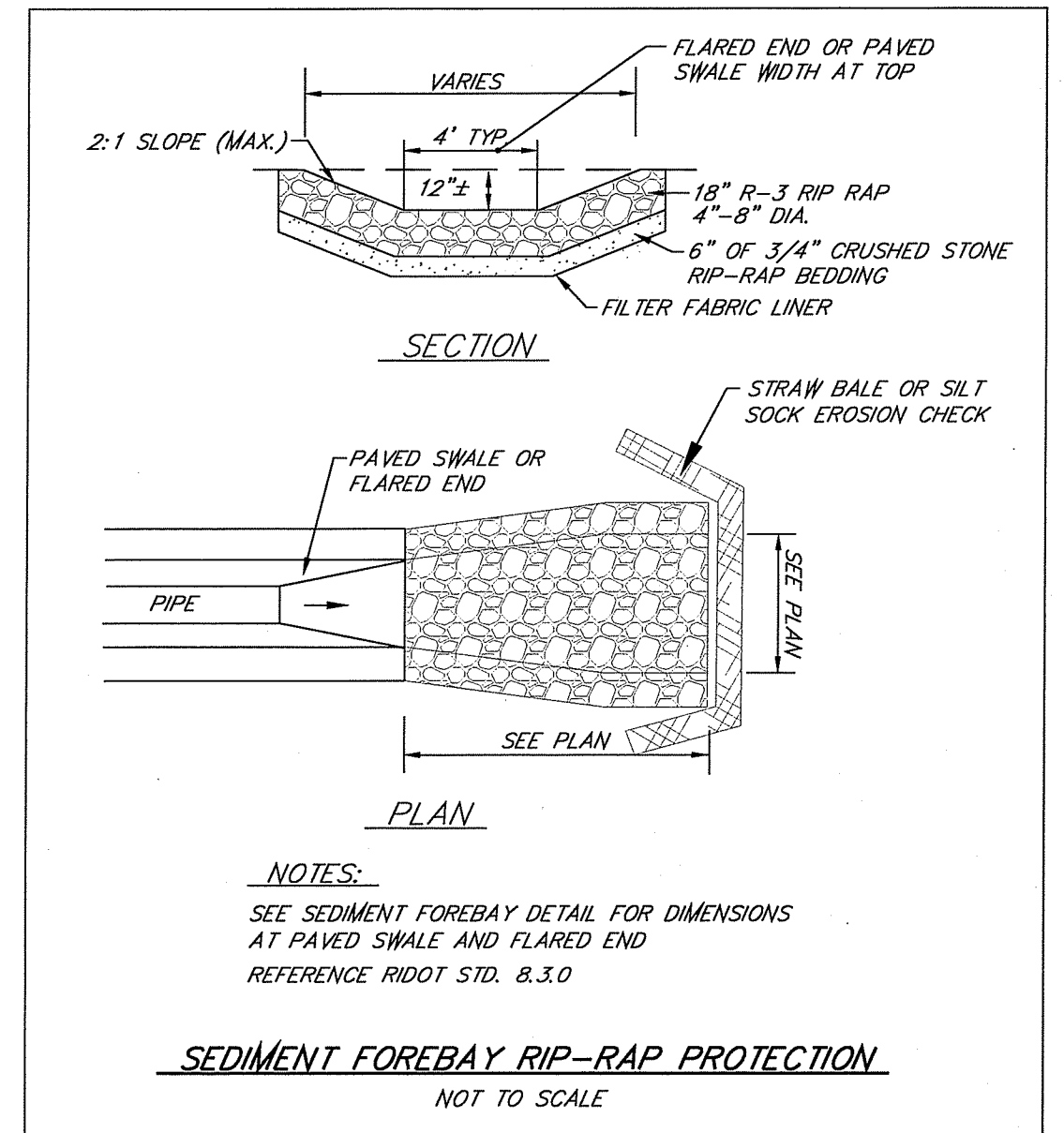
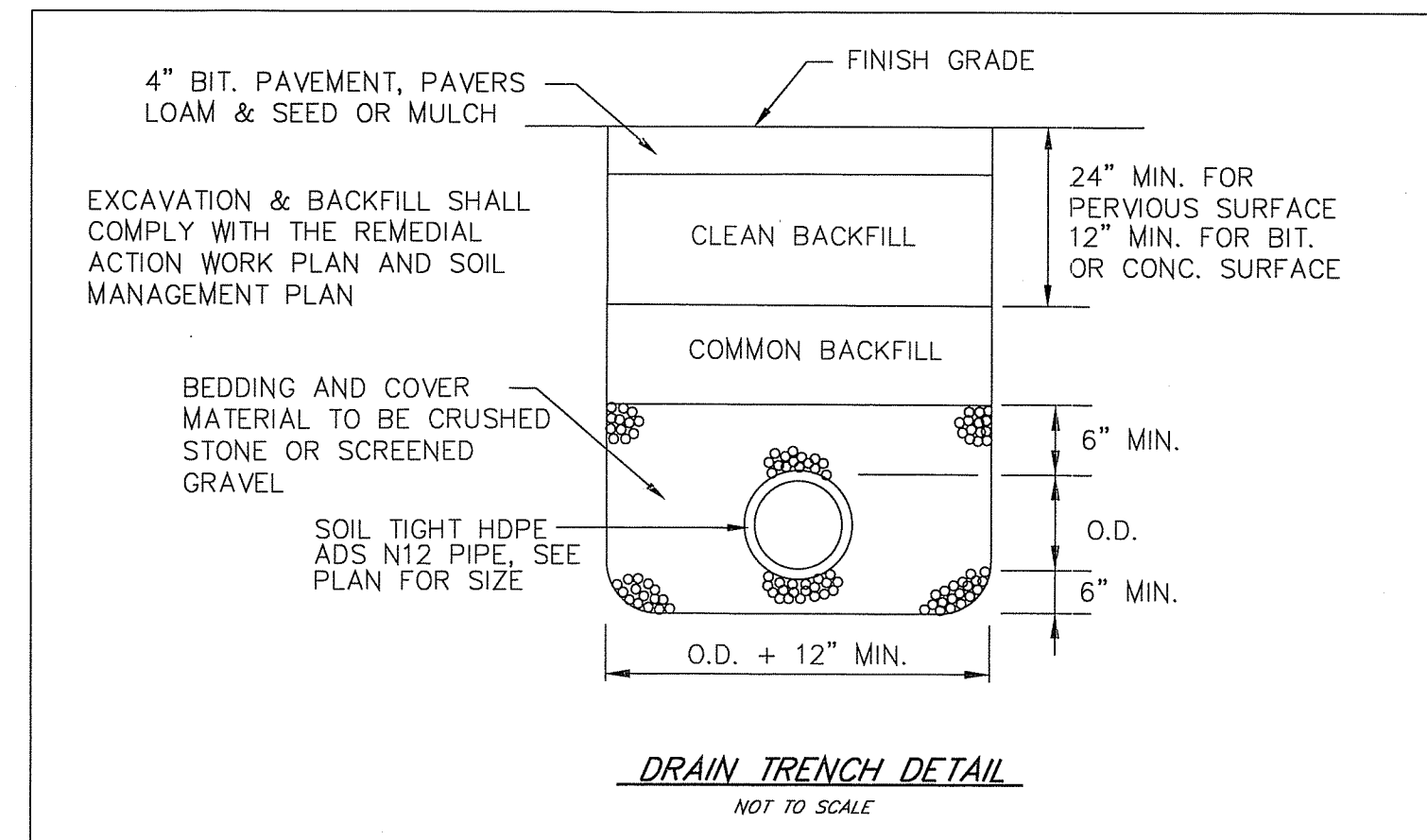
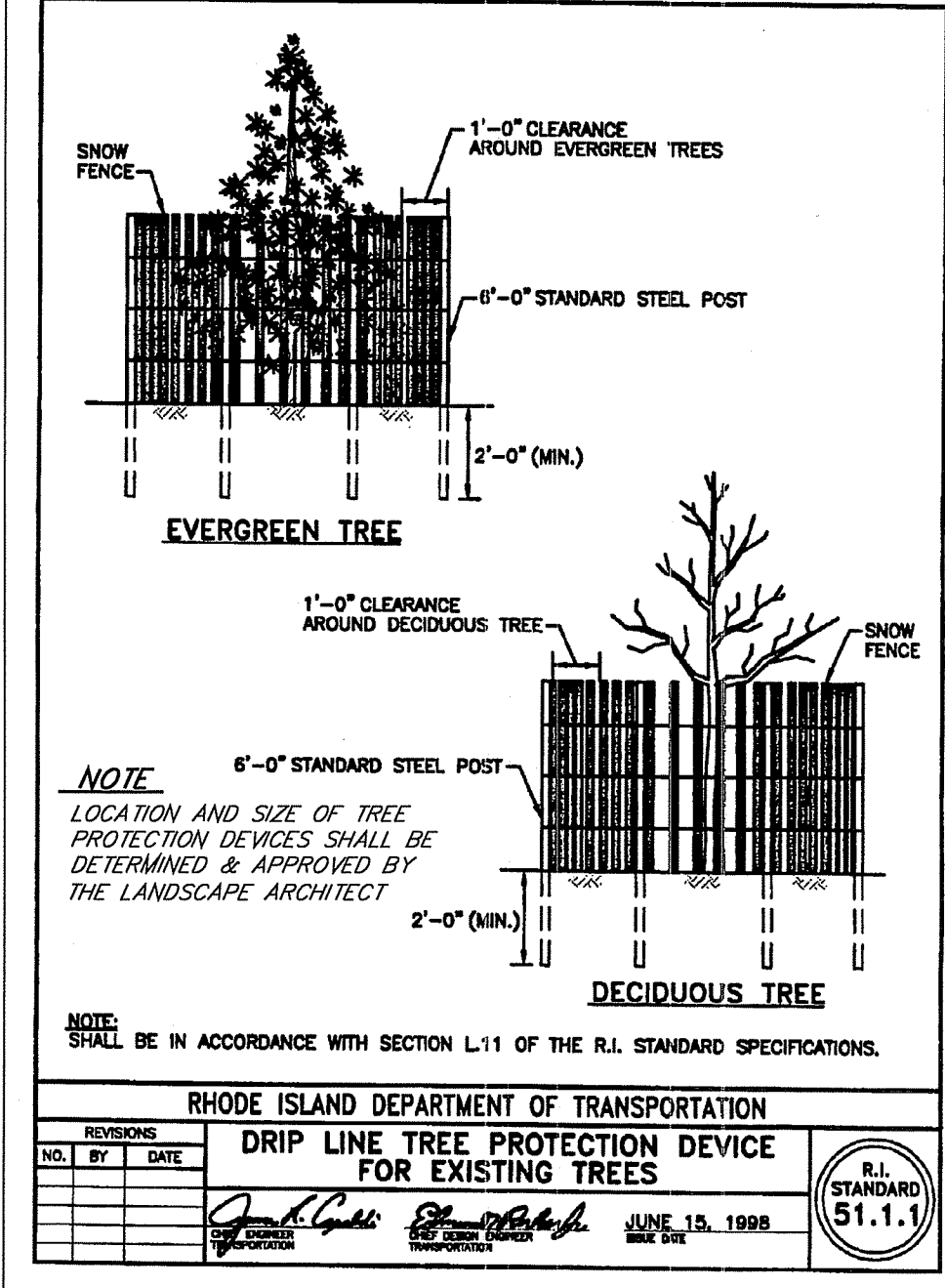
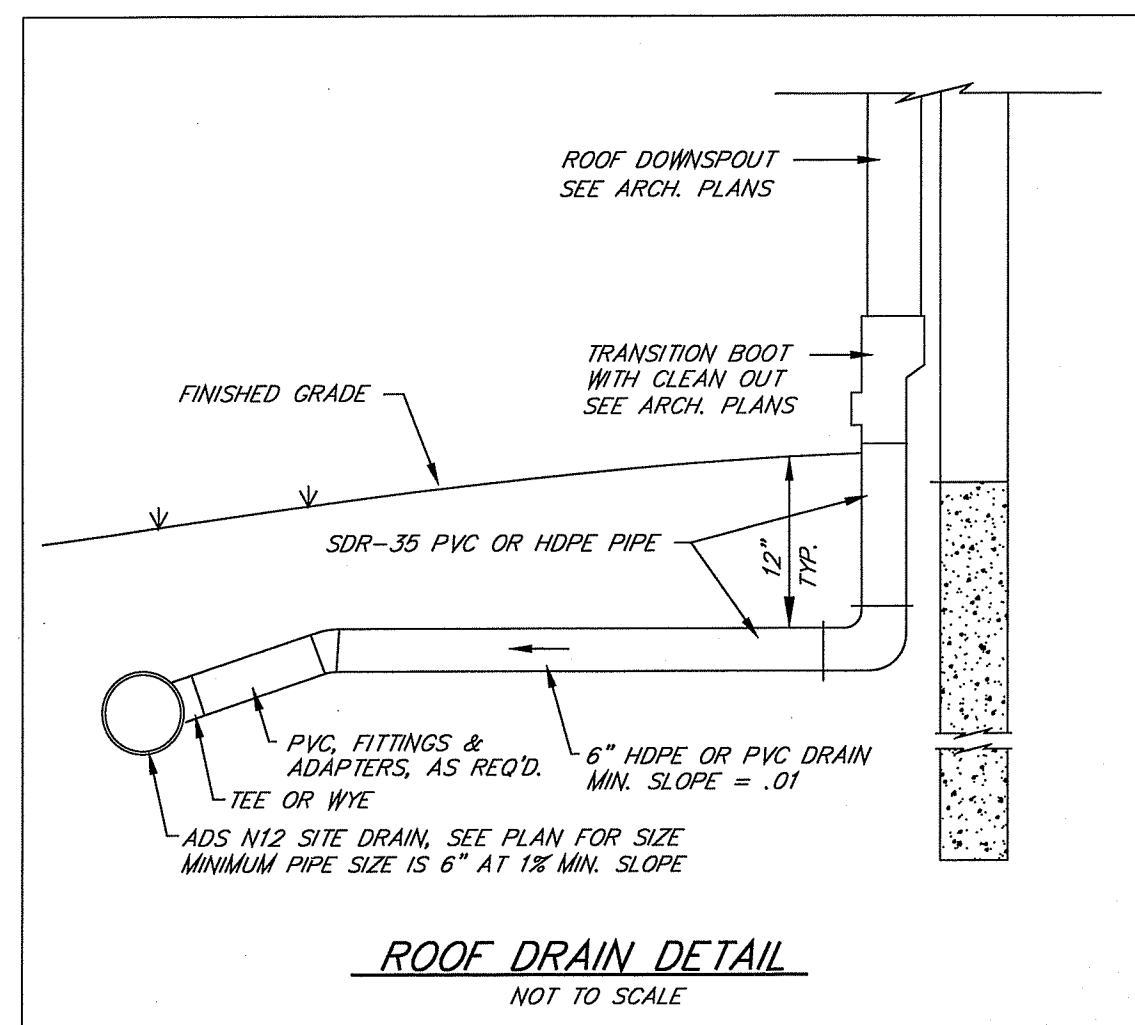
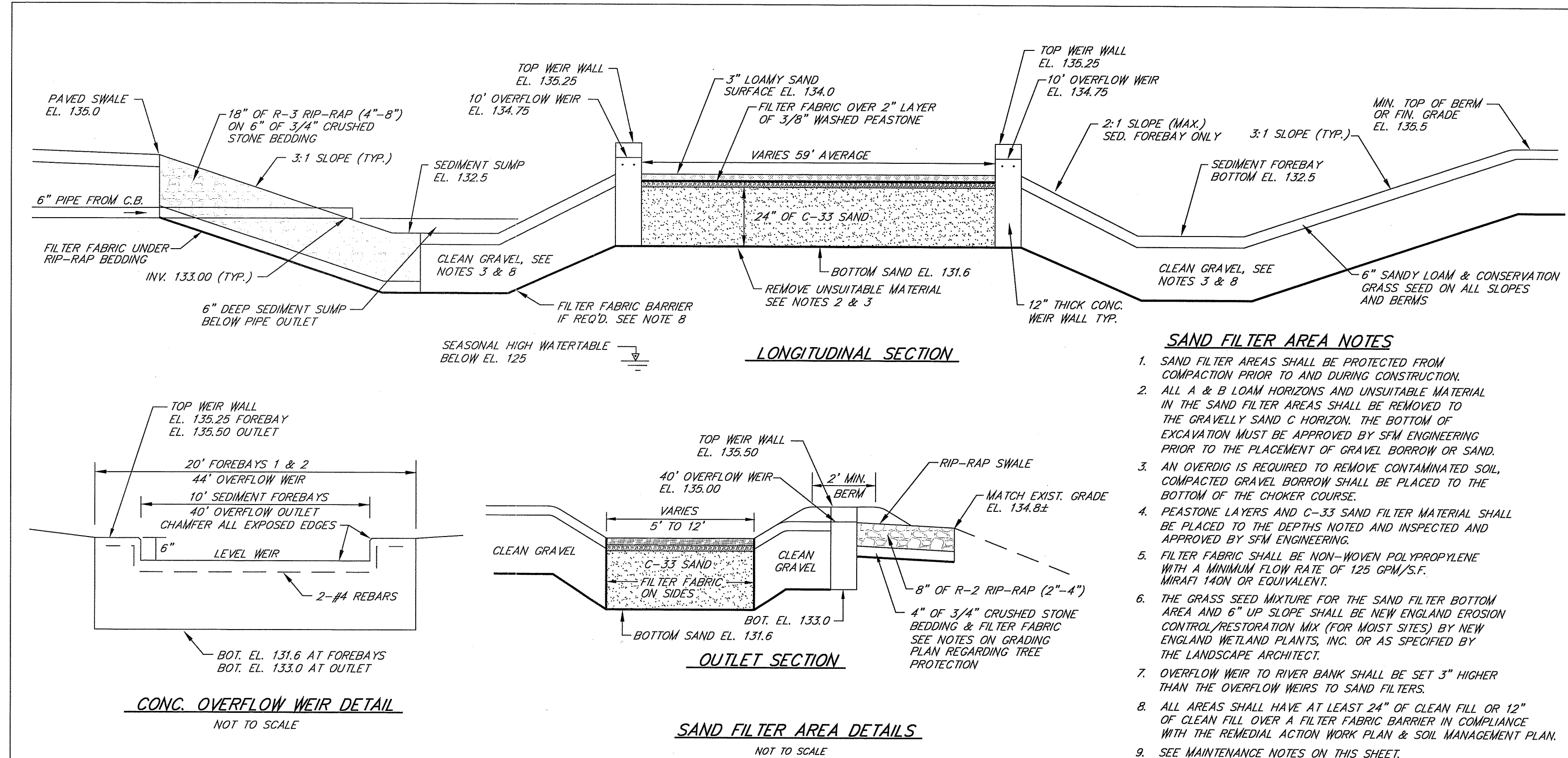


DRAINAGE BASIN AREAS

ELEV.	AREA
132.5	24 S.F.
133.0	86
134.0	250
134.75	380
135.0	420

ELEV.	AREA
132.5	16 S.F.
133.0	46
134.0	160
134.75	250
135.0	290

ELEV.	AREA
134.0	470 S.F.
134.75	740
135.0	910
135.5	2400



STORMWATER SYSTEM MAINTENANCE PLAN

- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE STORMWATER SYSTEM PROTECTION, INSPECTION AND MAINTENANCE PRIOR TO, DURING AND POST CONSTRUCTION UNTIL FINAL ACCEPTANCE OF CONSTRUCTION BY THE OWNER.
- THE SAND FILTER AREA BOTTOM SHALL BE PROTECTED PRIOR TO AND DURING SITE CONSTRUCTION TO PREVENT COMPACTION OF THE BOTTOM AREA.
- SEDIMENT FOREBAYS SHALL BE MAINTAINED ACCORDING TO THE FOLLOWING SCHEDULE:
 - THE GRASS IN THE FOREBAY BOTTOM & SLOPES SHALL BE MOVED AT LEAST THREE (3) TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOVED HEIGHT OF VEGETATION SHALL NOT BE LESS THAN TWO INCHES. THE MAXIMUM HEIGHT OF VEGETATION SHALL BE 18" INCHES.
 - THE INLET & OUTLET STRUCTURES TO THE FOREBAYS SHALL BE KEPT CLEAN OF SILT AND DEBRIS. THE PIPES SHALL BE CLEANED AT THE THREE (3) MOWINGS AND ONCE DURING THE WINTER MONTHS.
 - SILT & DEBRIS SHALL BE REMOVED FROM THE SEDIMENT FOREBAYS EVERY YEAR OR WHEN THE ACCUMULATION EXCEEDS 6 INCHES IN DEPTH.
- CATCH BASINS SHALL BE CLEANED & MAINTAINED AS NEEDED BY THE SITE CONTRACTOR DURING SITE CONSTRUCTION AND ANNUALLY BY THE OWNER AFTER ACCEPTANCE. ACCUMULATED SILT, SAND, DEBRIS & OIL SHALL BE REMOVED AND DISPOSED OF AT A LICENSED WASTE FACILITY.
- ALL PAVED AREAS SHALL BE SWEEP AS NEEDED. ACCUMULATED SILT, SAND & DEBRIS SHALL BE REMOVED AND DISPOSED.
- THE SAND FILTER AREA SHALL BE MAINTAINED ACCORDING TO THE FOLLOWING SCHEDULE:
 - THE SAND FILTER AREA SHALL BE INSPECTED AT LEAST TWICE PER YEAR.
 - SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
 - THE GRASS IN THE SAND FILTER AREA BOTTOM & SLOPES SHALL BE MOVED AT LEAST THREE (3) TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOVED HEIGHT OF VEGETATION SHALL NOT BE LESS THAN TWO INCHES. THE MAXIMUM HEIGHT OF VEGETATION SHALL BE 18" INCHES.
 - DEBRIS AND GRASS CLIPPINGS SHALL BE REMOVED FROM THE SAND FILTER AREA. FERTILIZER SHALL NOT BE APPLIED TO THE SAND FILTER EXCEPT FOR STARTER FERTILIZER FOR SEEDING OR RESEEDING.
 - SILT AND DEBRIS SHALL BE REMOVED WHEN THE ACCUMULATION EXCEEDS ONE INCH.
- SHOULD THE INFILTRATION CAPACITY OF THE SAND FILTER AREA DECREASE OVER TIME SUCH THAT STANDING WATER REMAINS FOR MORE THAN 22 HOURS AFTER A RAINFALL EVENT, REMEDIATION SHALL BE REQUIRED. REMEDIATION SHALL INCLUDE AT A MINIMUM, SEDIMENT REMOVAL, HARROWING AND RESEEDING OF THE FILTER BOTTOM. AFTER REMEDIATION A QUALIFIED TESTING LABORATORY SHALL PERFORM INFILTRATION TESTS TO INSURE DESIGN INFILTRATION RATES ARE RESTORED.
- DURING CONSTRUCTION AND THE FIRST 6 MONTHS OF OPERATION, THE SAND FILTER AND SEDIMENT FOREBAYS SHALL BE INSPECTED WITHIN 24 HOURS OF EACH RAINFALL EVENT THAT GENERATES .25 INCHES OF RAIN IN A 24 HOUR PERIOD. AFTER THE FIRST SIX MONTHS OF OPERATION, THE SAND FILTER AREA SHALL BE INSPECTED AFTER ANY RAINFALL EVENT THAT GENERATES MORE THAN 2 INCHES OF RAIN IN A 24 HOUR PERIOD.
- ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF RI DEM.
- ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF CONTAMINANTS TO THE DISPOSAL SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE RIDEM WILL REQUIRE THE PROPERTY OWNER TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT GROUNDWATER QUALITY.
- UPON FINAL ACCEPTANCE OF THE CONSTRUCTION, THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR INSPECTION & MAINTENANCE OF THE PAVEMENT, DRAIN PIPES, OUTLET STRUCTURES, CATCH BASINS, ROOF DRAINS, SEDIMENT FOREBAYS AND SAND FILTER AREA WITHIN THE SITE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WELLS AND PROGRAM
 APPROVED WITH CONDITIONS

AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED SEP 4, 2019 FILE # 19-0182
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED BY AND MUST BE AT CONSTRUCTION SITE
 Nandy L. Freeman

REVISION	DATE	DESCRIPTION
8-26-19	SCOTT F. MOOREHEAD	FREE PROTECTION, DEM FWM REVIEW

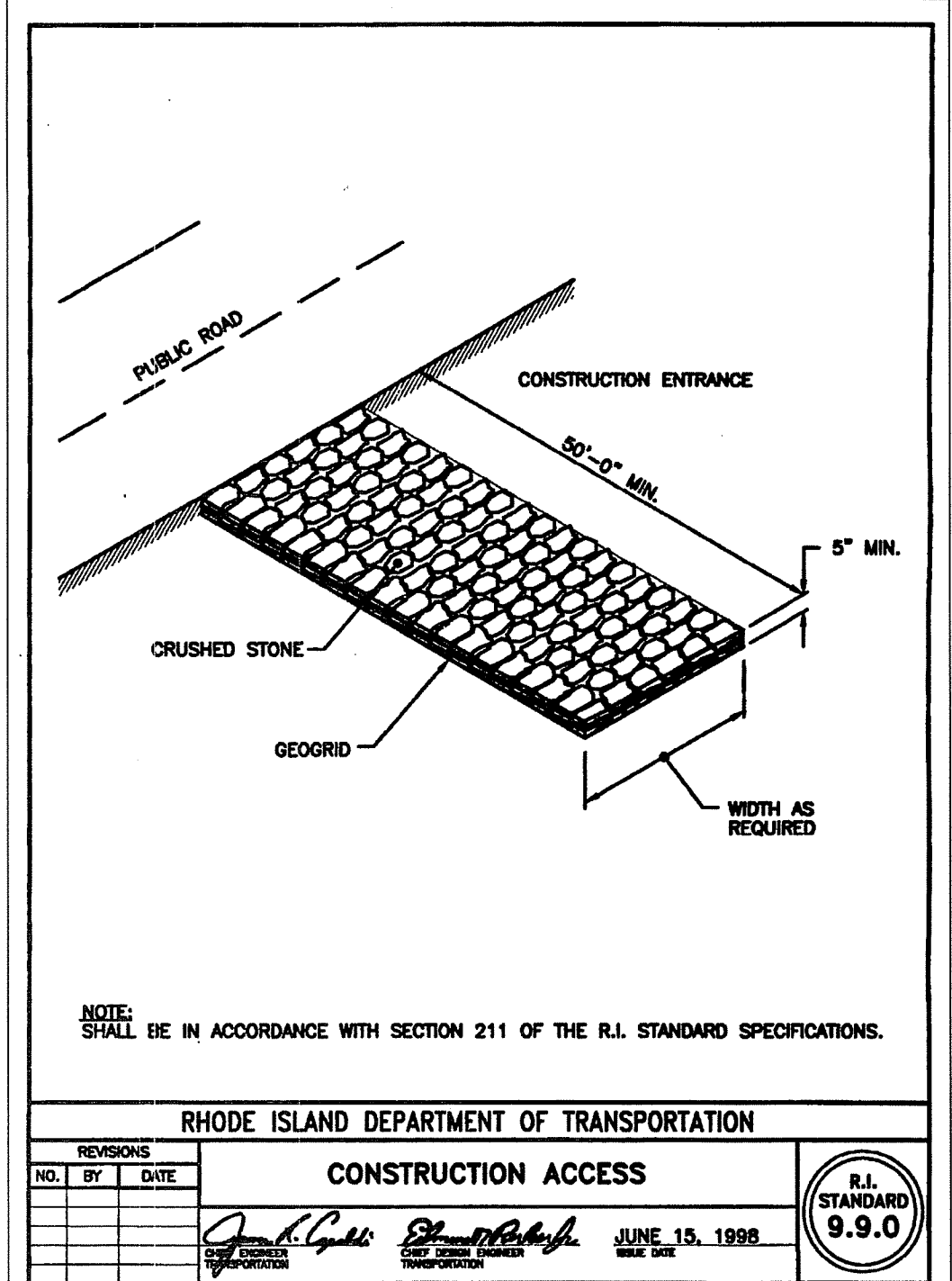
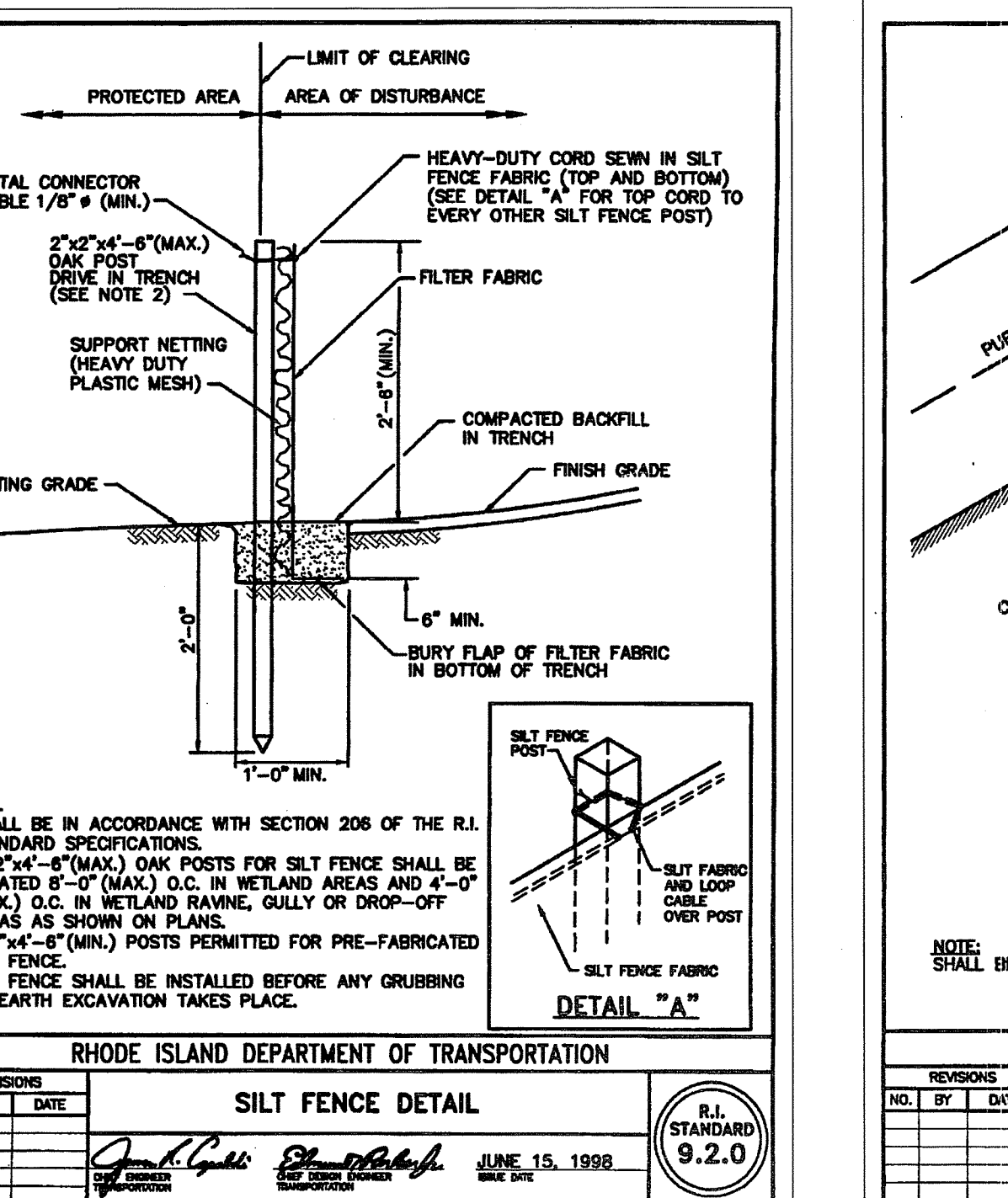
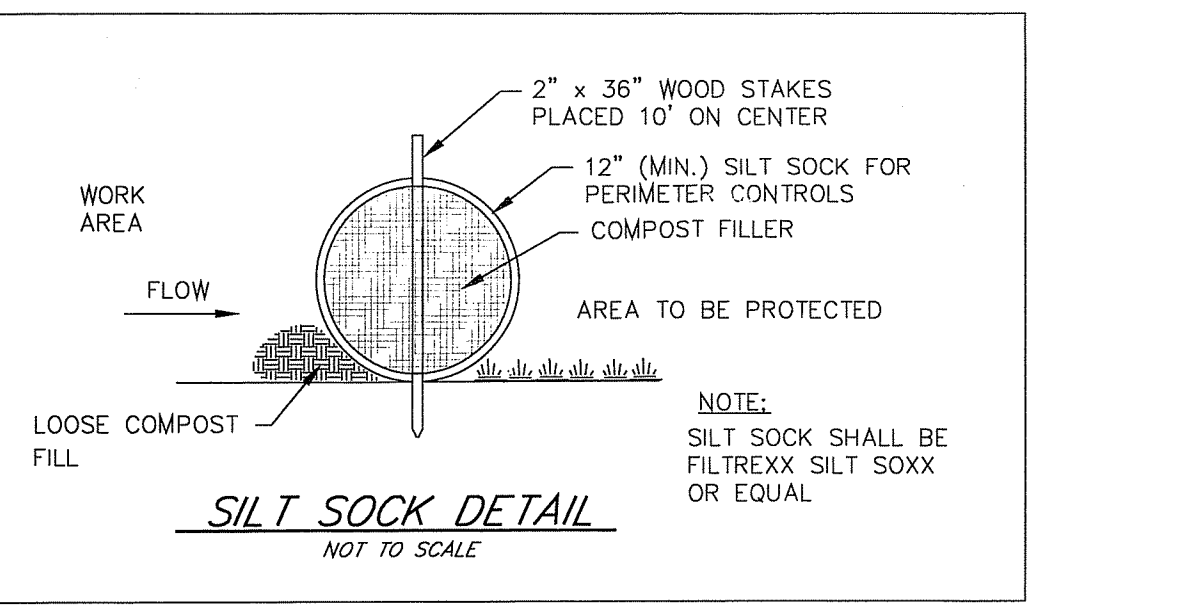
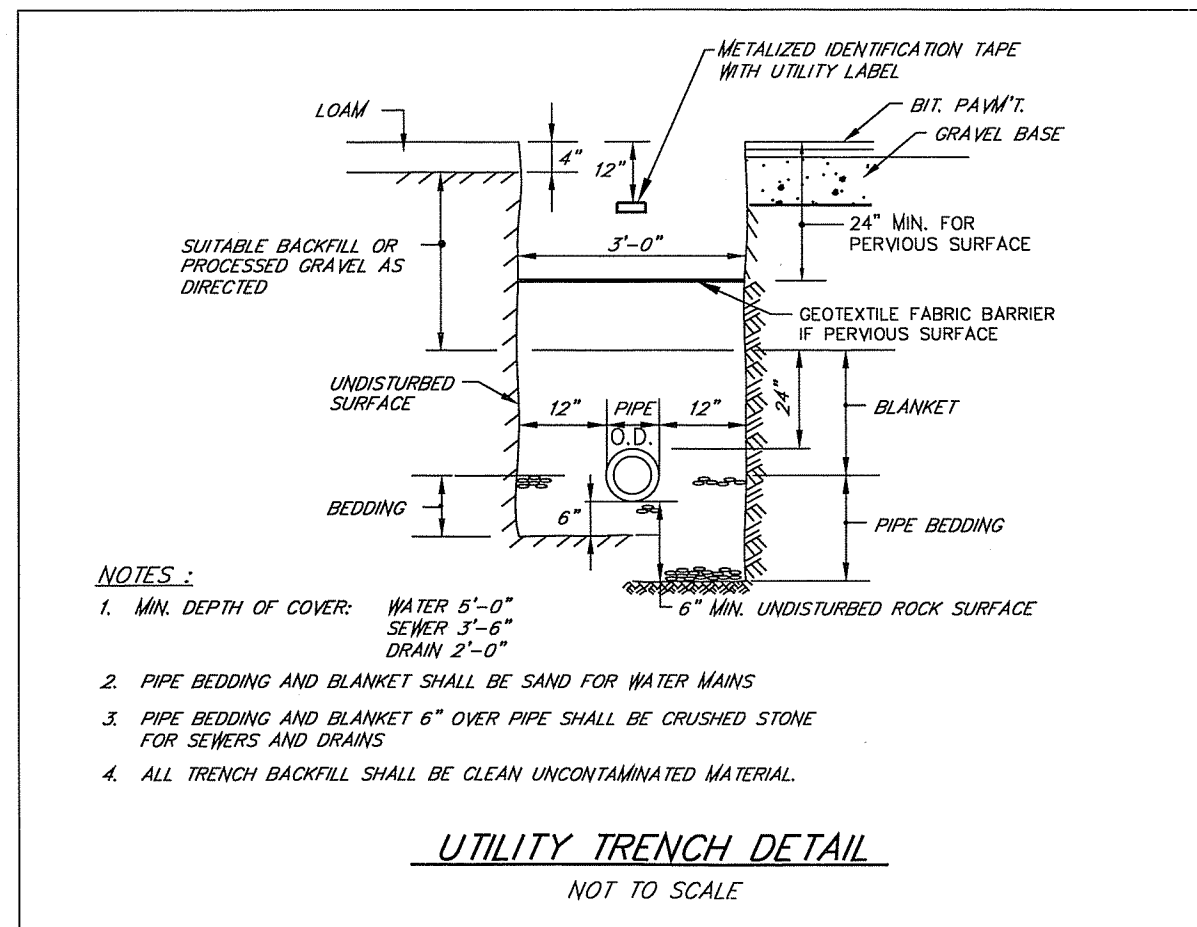
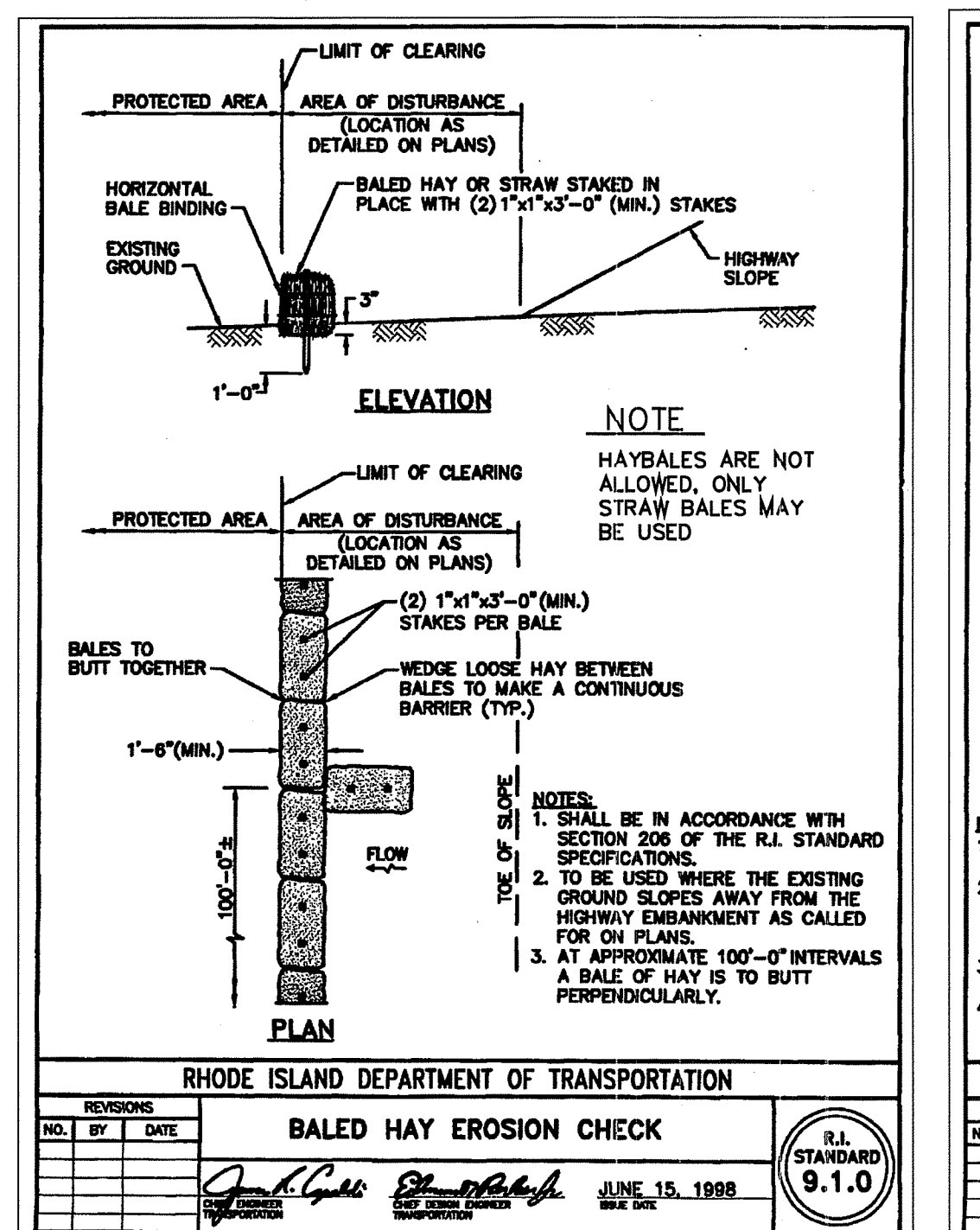
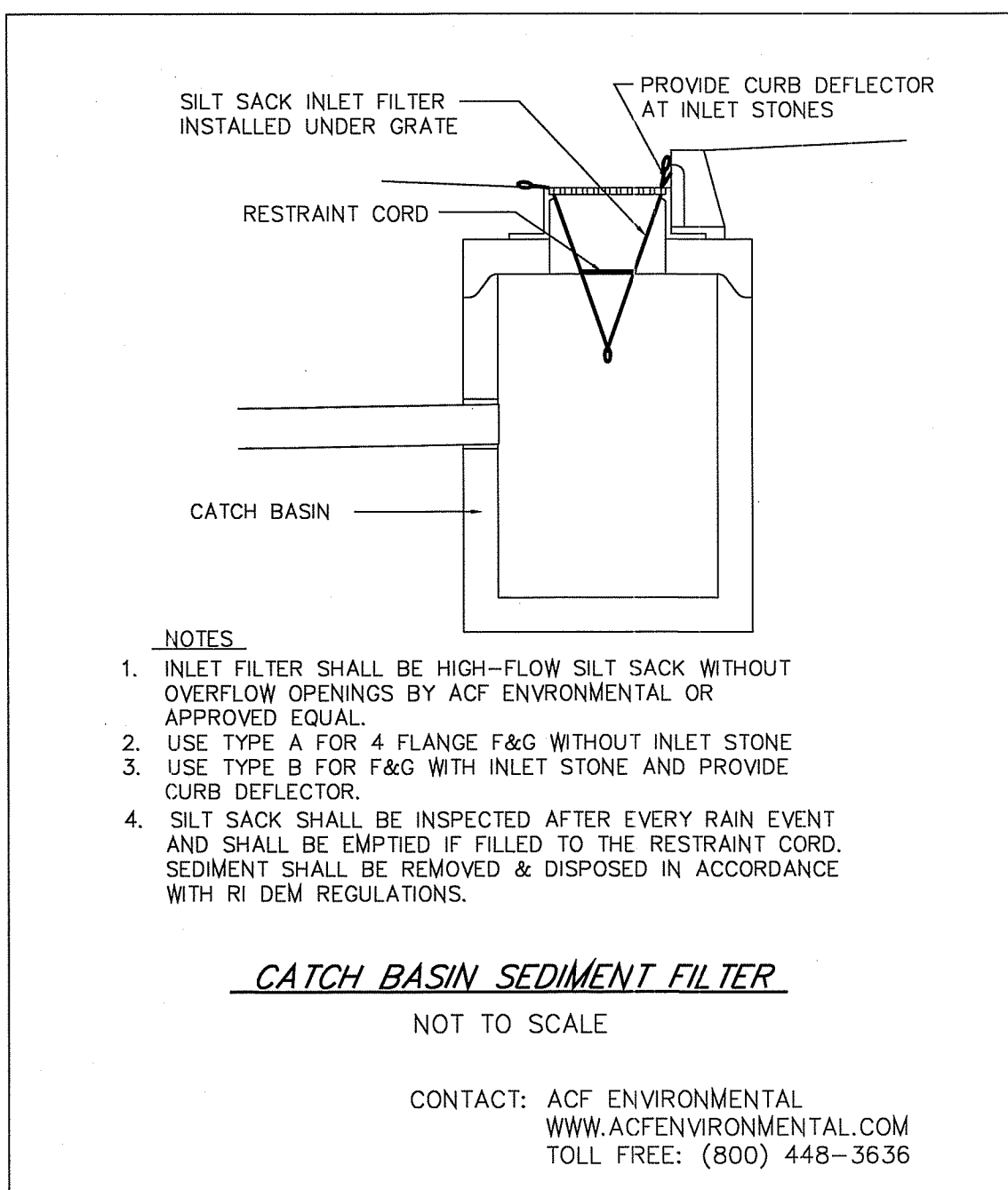
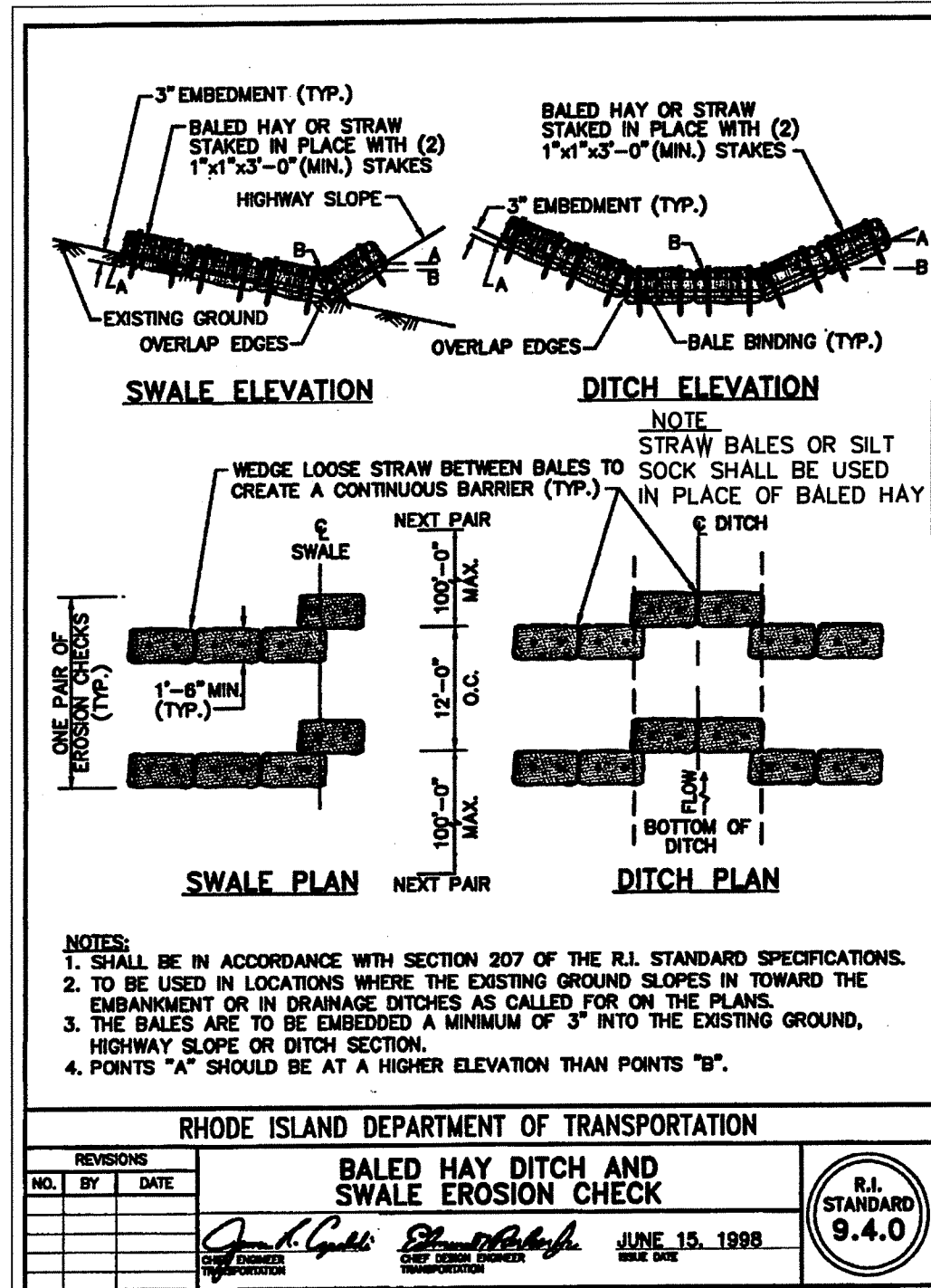
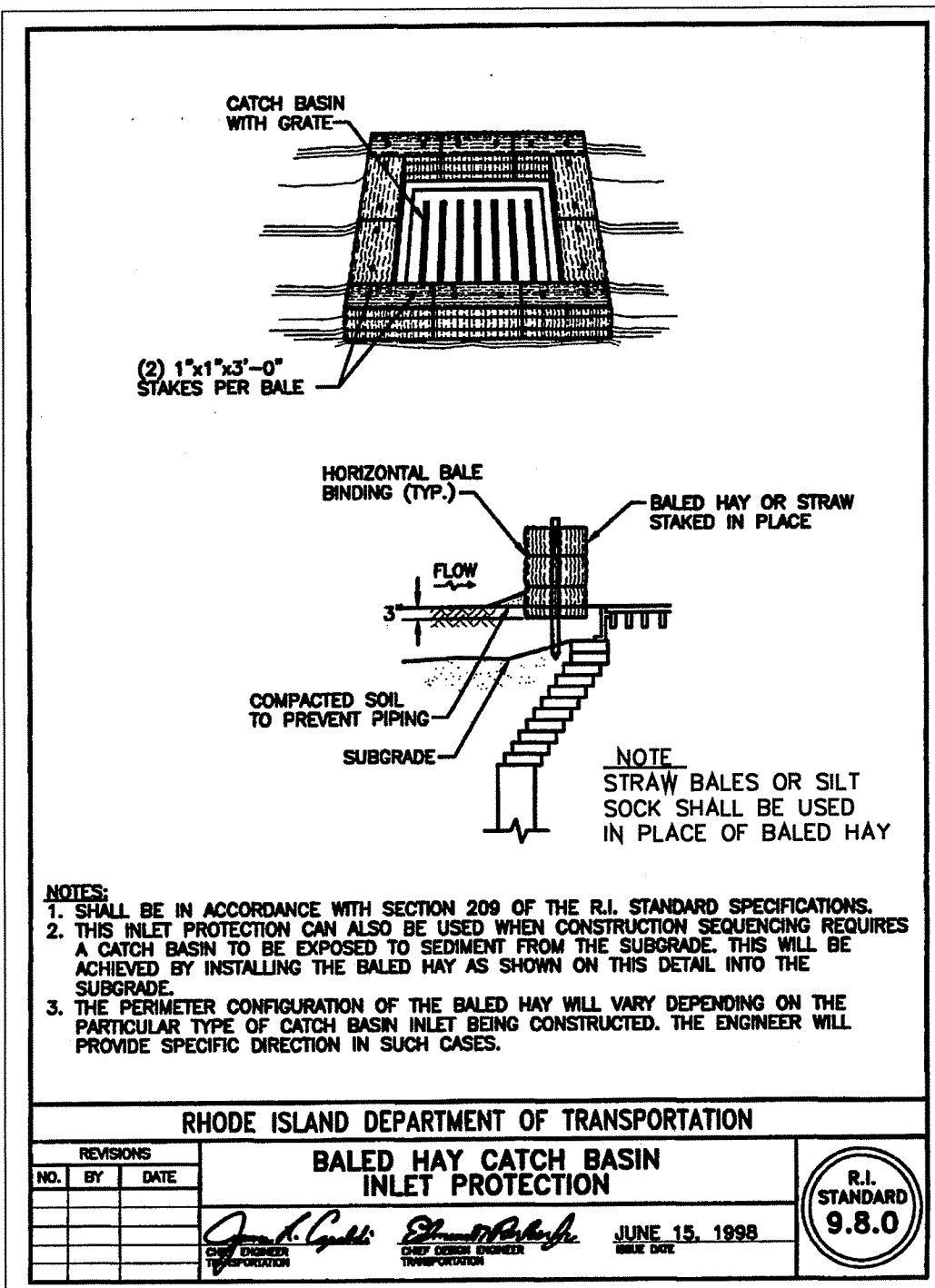
APPLICANT & DEVELOPER
 WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORP.
 719 FRONT STREET SUITE 103
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MILL RACE REDEVELOPMENT
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 410 TOUGUE AVENUE
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 SCOTT.SFM@ATTNIOBB.NET

DRN. BY: SFM
 CHK. BY: JZL
 SCALE: AS NOTED
 DATE: MAY 21, 2019
 DWG: SFM841-CD3-K
 SHEET 8 OF 9
 DEM PERMITTING SUBMISSION

C8



GENERAL NOTES

1. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 12-2010) WITH ALL CORRECTIONS AND ADDENDA AND THE 12-1-2010 R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA.
2. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED. SEE EROSION CONTROL PROGRAM.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
4. IN ALL EXCAVATION AND REPLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
5. ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL WETLANDS AND WETLANDS SETBACK AREAS UNLESS OTHERWISE SPECIFIED.
6. CONSTRUCTION WASTE SHALL BE COLLECTED, REMOVED AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL STATE AND TOWN REQUIREMENTS. TRASH SHALL BE COLLECTED ROUTINELY AND REMOVED FROM SITE FOR DISPOSAL.
7. A SOIL AND EROSION CONTROL PERMIT WILL BE REQUIRED FROM THE TOWN OF BARRINGTON. INSPECTIONS SHALL BE SCHEDULED AS REQUIRED.
8. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF ALL RI DEM AND TOWN REGULATIONS AND PERMITS.

SEDIMENTATION CONTROL PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE WETLANDS OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
6. ADDITIONAL STRAW BALES, SILT FENCE OR SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. REFERENCE THE "R.I. EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE RI STATE CONSERVATION COMMITTEE, ISSUED 1989 REVISED 2014, AS A GUIDE.

ORDER OF PROCEDURE

1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR EXCAVATION, THE SITE CONTRACTOR SHALL PHYSICALLY MARK THE ENTIRE LIMIT OF DISTURBANCE. EROSION CHECKS SHALL BE ESTABLISHED AT ALL DOWN GRADIENT LIMITS OF DISTURBANCE AND AS DEPICTED ON THE SITE PLANS. TEMPORARY EROSION CHECKS SHALL BE INSTALLED AT LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES. EROSION CHECKS CONSIST OF STRAW BALES, SILT FENCE OR SILT SOCKS.
2. SITE CONTRACTOR SHALL PROVIDE A BARRIER AROUND THE SAND FILTER AREAS & THE INFILTRATION BASIN TO PROTECT THEM FROM SOIL COMPACTION.
3. ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE SHALL BE CLEARED AND GRUBBED AT ONE TIME. IF CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS, STABILIZATION PRACTICES SHALL BE INITIATED. REFERENCE THE EROSION CONTROL & SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
4. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
5. EROSION CHECKS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
6. EROSION CHECKS LOCATED AT DRAINAGE INLETS OR OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIREABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

EROSION CONTROL & SOIL STABILIZATION PROGRAM

1. DENUEDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. THE TOP SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M. 20.
4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
5. SEEDING SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S PLANS. FOR AREAS NOT DESIGNATED BY THE L.A., THE DESIGN MIX SHALL COMPLY WITH THE FOLLOWING:
 - A. MOWED AREA (ALL FLATS OR SLOPES LESS THAN 3:1)

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	70	APRIL 1-MAY 31
KENTUCKY BLUEGRASS	15	APRIL 1-MAY 31
COLONIAL BENTGRASS	5	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	10	
TOTAL	150 LBS/AC	
 - B. UNMOWED AREA OR INFREQUENTLY MOWED (FLAT OR SLOPES GREATER THAN 3:1)

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	60	APRIL 1-MAY 31
COLONIAL BENTGRASS	5	APRIL 1-MAY 31
PERENNIAL RYEGRASS	10	AUG. 15-OCT. 15
BIRDSONG TREFOIL	15	
TOTAL	150 LBS/AC	
 - C. CONSERVATION SEEDING AREAS

MIXTURE	% BY WT.	SEEDING DATES
SWIFT GRASS	20	APRIL 1-MAY 31
LITTLE BLUE STEM	20	APRIL 1-MAY 31
PERENNIAL RYEGRASS	20	AUG. 15-OCT. 15
WILDFLOWER MIX	20	
HARD FESCUE	20	
TOTAL	60 LBS/AC	
6. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
7. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000-4,000 LBS/AC.
8. ALL STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

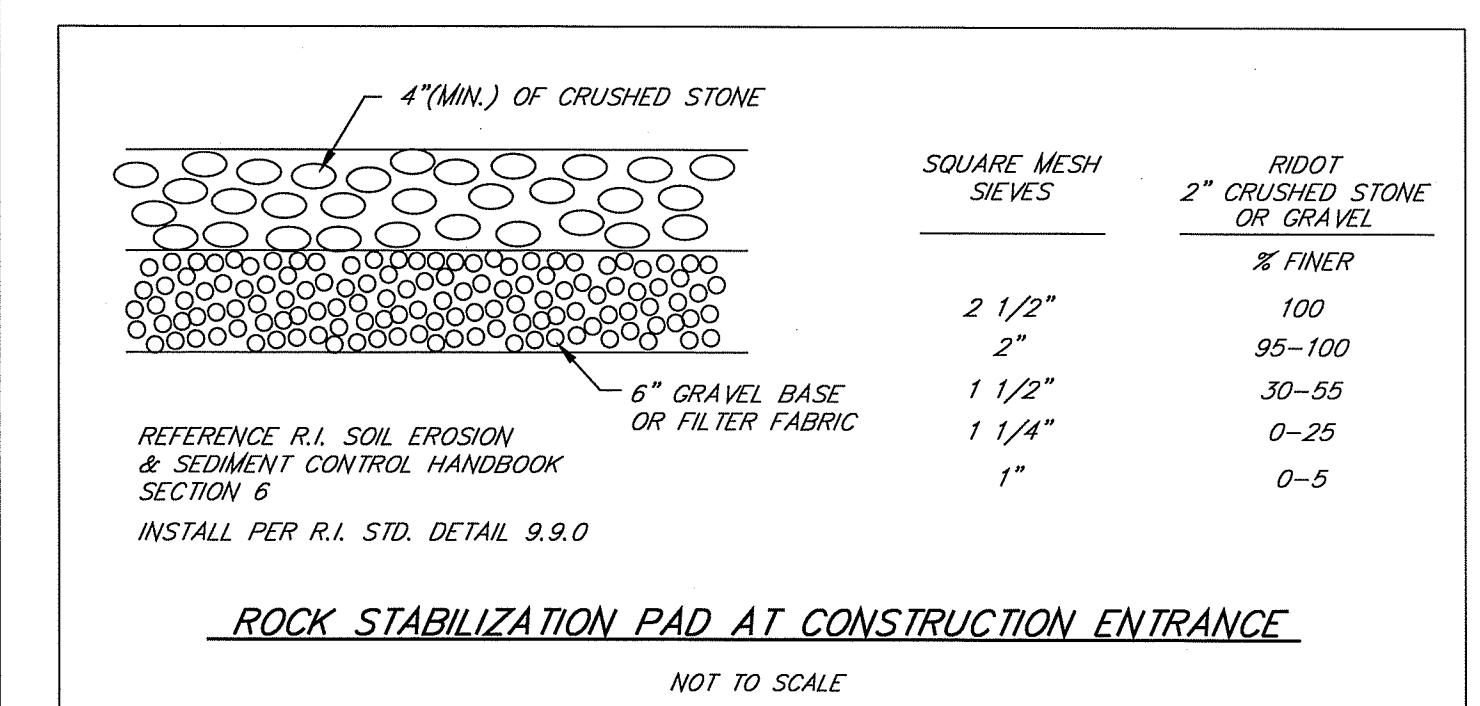
SPECIES	LBS./1,000 S.F.	LBS./AC.	SEEDING DATES
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
SUDAN GRASS	0.7 - 1.0	30 - 40	5/15 - 8/15
MILLET	0.7 - 1.0	30 - 40	5/15 - 8/15
WINTER RYE	3.0	120	4/15 - 6/15
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCTOBER 15.
11. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STD. SPECIFICATIONS SECTION 202.
12. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
13. STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEED AND/OR STABILIZED.
14. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
15. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

NOTE

BALED HAY SHALL ONLY BE USED FOR SHORT TERM EROSION CONTROL OF THREE MONTHS OR LESS. PERIMETER EROSION CONTROLS SHALL BE STRAW BALE, SILT FENCE, SILT SOCK, OR COMBINATION THEREOF.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP. 4, 2019 FILE # 19-0182
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman



REVISION

DATE

APPLICANT & DEVELOPER

WOONSOCKET NEIGHBORHOOD DEVELOPMENT CORP.
719 FRONT STREET SUITE 103
WOONSOCKET, RI 02895
401-762-0993

MILL RACE REDEVELOPMENT

NEIGHBORHOODS BLACKSTONE RIVER VALLEY
GRID D3 TAX MAP 14 LOTS 143, 144, 371 & 387
68 SOUTH MAIN STREET & 15 ISLAND PLACE
WOONSOCKET, RHODE ISLAND

EROSION CONTROL DETAILS

SFM ENGINEERING ASSOCIATES
410 TOGUE AVENUE
COVENTRY, RI 02816
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SFM

DRN. BY: SFM

CHK. BY: JZL

SCALE: AS NOTED

DATE: MAY 21, 2019

DWG: SFM841-ER-H

SHEET 9 OF 9

DEM PERMITTING SUBMISSION

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