

PERMIT AGENCY REVIEW SET for COPART CONNECTICUT, INC.

PROPOSED SITE EXPANSION at 10 INDUSTRIAL DRIVE in EXETER, RHODE ISLAND

OWNER

COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254
972-564-5525

APPLICANT

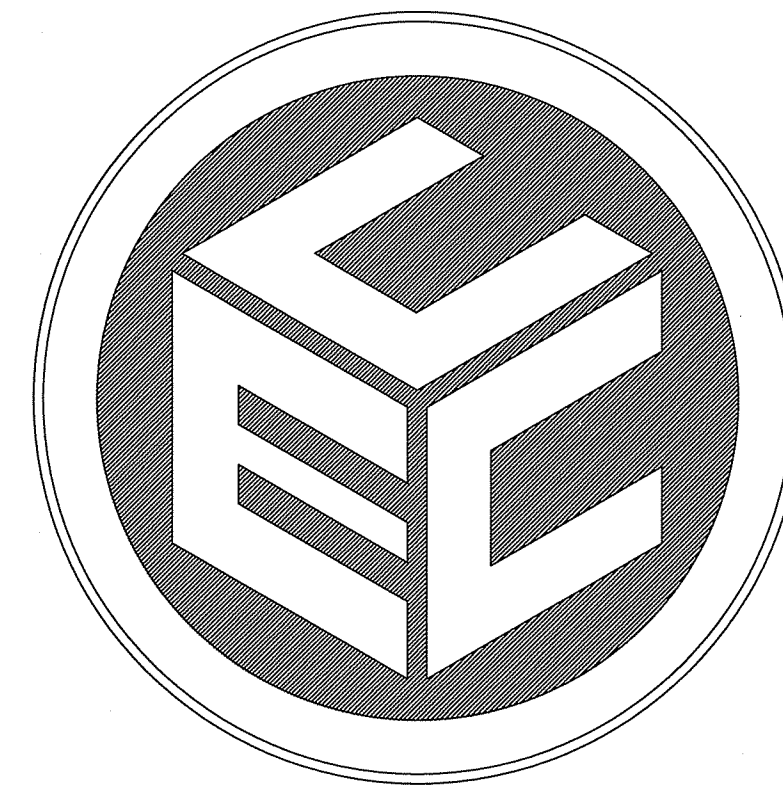
COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254
972-564-5525

PERMIT HISTORY:

EXETER PLANNING BOARD, PRE-APPLICATION (AUG. 28, 2018)
EXETER PLANNING BOARD, PRELIMINARY PLAN APPROVAL (SEPT. 19, 2019, BK 539 PG 38)

LEGEND

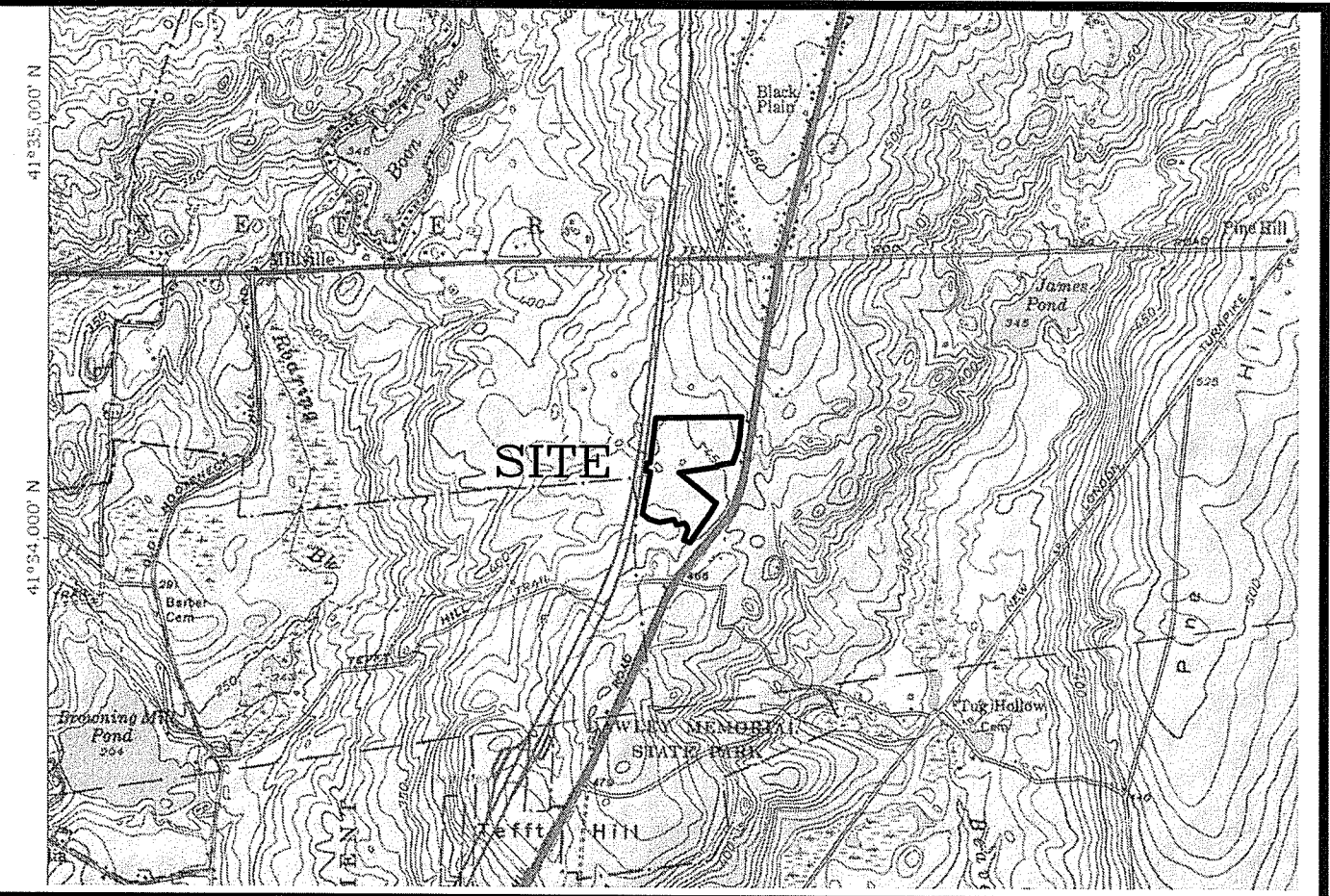
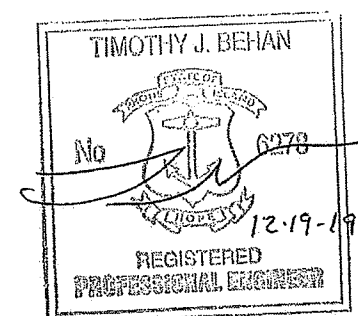
---	SUBJECT PROPERTY LINE
---	BUILDING SETBACK LINE
---	EXISTING CONTOUR LINE
---180---	EXISTING CONTOUR LINE (INDEX)
---180---	PROPOSED CONTOUR LINE
---	FENCE LINE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND ELECTRIC LINE
---	WATER LINE
---	OVERHEAD WIRES
---	EXISTING DRAIN LINE
---	PROPOSED DRAIN LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	TREE LINE
---	WATER GATE BOX
---	POLE LIGHT
---	UTILITY HAND HOLE
---	ELECTRIC MANHOLE
WF-106	WETLAND EDGE
WF-105	STREAM OR RIVER
---	50' PERIMETER WETLAND
---	100' & 200' RIVERBANK WETLAND
---	LIMIT OF DISTURBANCE
---	COMPOST FILTER SOCK & LIMIT OF DISTURBANCE
---	PROPOSED RETAINING WALL
---	APPROXIMATE
DWF	DRINKING WATER FOUNTAINS
EL.	ELEVATION
EXIST.	EXISTING
FCT	FAUCET
NO.	NUMBER
TH-2	TEST HOLE #



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RI 02908
(401) 273-6600

JULY 3, 2019
NOVEMBER 15, 2019
DECEMBER 19, 2019



LOCUS MAP
NOT TO SCALE

LIST OF DRAWINGS

1. TITLE SHEET
 2. EXISTING CONDITIONS PLAN
 3. PROPOSED SITE PLAN
 4. GRADING & DRAINAGE PLAN
 5. SOIL EROSION CONTROL PLAN
 6. SOIL EROSION NOTES & DETAILS
 7. DETAILS - 1
 8. DETAILS - 2
1. FINAL RECORD PLAN (AMERICAN ENGINEERING, INC.)

PROJECT DATA

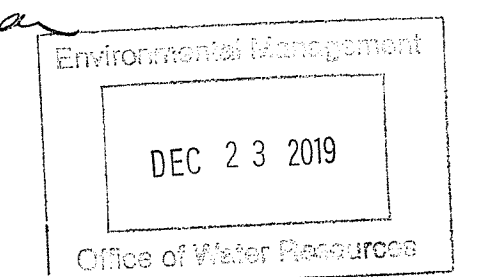
ASSESSOR'S PLAT 33 BLOCK 1 LOT 4
ZONING CLASSIFICATION:
LI - LIGHT INDUSTRIAL
MINIMUM LOT AREA: 2 ACRES
MINIMUM LOT FRONTAGE: 400 FT.
BUILDING SETBACKS:
FRONT: 200 FT.
SIDE: 50 FT.
REAR: 100 FT.
MAX. LOT BUILDING COVERAGE: 25%
MAXIMUM BUILDING HEIGHT: 40 FT.
TOTAL AREA OF SUBJECT LOT: 38.5 ACRES

OTHER CRITERIA:
ANY INDUSTRIAL STRUCTURE OR ACTIVITY OR OUTDOOR STORAGE SHALL BE SET AT LEAST 200 FEET FROM THE RE-2, RU-3, RU-4 AND CR-5 DISTRICT BOUNDARIES, AND AT LEAST 100 FEET FROM ANY B OR LB/R DISTRICT BOUNDARIES. A SETBACK FOR STRUCTURES AND PARKING LOTS OF 200 FEET FROM ALL ROADS AND SUITABLE LANDSCAPE SCREENING SHALL BE PROVIDED.

COVERAGE CALCULATIONS:

BUILDING COVERAGE:
EXISTING = 1.14 AC. OR 3.0%
PROPOSED = 1.14 AC. OR 3.0%
PARKING/STAGING AREA COVERAGE:
EXISTING = 17.80 AC. OR 46.2%
PROPOSED = 27.09 AC. OR 70.4%

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 4 2021 FILE # 19-0219
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



DRAWING ISSUE:

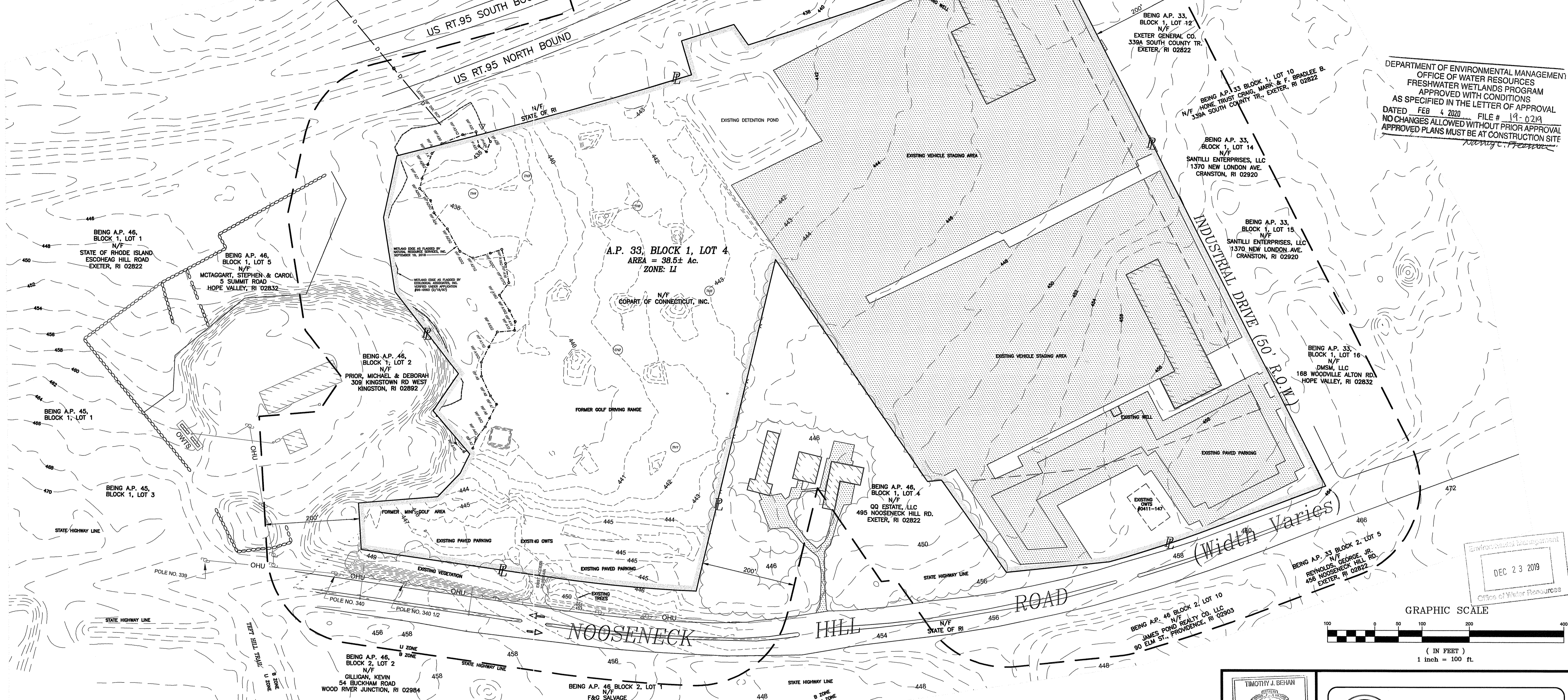
- CONCEPT
- CUSTOMER APPROVAL
- PERMITTING
- CONSTRUCTION
- AS-BUILT
- OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION
SHALL BE USED FOR CONSTRUCTION

PROJECT NO. 19019.00

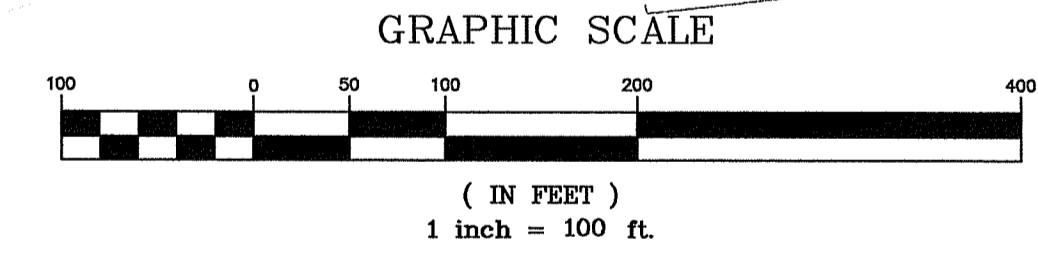
NOTES:

1. SUBJECT SITE IS NOT SITUATED IN A NATURAL HERITAGE AREA.
2. SUBJECT SITE IS NOT SITUATED IN THE TOWN'S GROUNDWATER PROTECTION OVERLAY DISTRICT.
3. THERE ARE NO AREAS OF AGRICULTURAL USE ON SITE.
4. THERE ARE NO HISTORIC CEMETERIES WITHIN OR IMMEDIATELY ADJACENT TO THE PROPOSED DEVELOPMENT.
5. LOCATION OF UNDERGROUND UTILITIES ARE ASSUMED, DIG SAFE SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
6. ABUTTING STRUCTURES GENERATED USING AERIAL PHOTOGRAPHY AND ARE CONSIDERED APPROXIMATE.
7. TOPOGRAPHY OUTSIDE THE PROPOSED DEVELOPMENT IS GENERATED FROM RIGS LIDAR 2011 SERIES.
8. FEMA DETERMINATION: SITE LIES IN ZONE 'X' AREA OF MINIMAL FLOODING, PANEL #44009C0060H, EFFECTIVE OCT. 10, 2010.



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DEC 23 2019
Office of Water Resources



PLAN REFERENCE:

REFERENCE IS MADE TO PLAN ENTITLED "FINAL RECORD PLAN FOR COPART OF CONNECTICUT, INC. LOCATED AT 10 INDUSTRIAL DRIVE, AP33, BLK 1, LOT 4, EXETER, RI 02882 BY AMERICAN ENGINEERING, INC. SHEET 1 OF 1, DATED 07/02/2019. NOT ALL ITEMS SHOWN ON THAT PLAN ARE INCLUDED ON THIS PLAN.

REFERENCE IS MADE TO PLAN ENTITLED "AS-BUILT REVIEW" FOR OCEAN STATE OCEAN AUCTION, PREPARED BY OCEAN STATE PLANNERS, INC., DATED 9/19/2005.

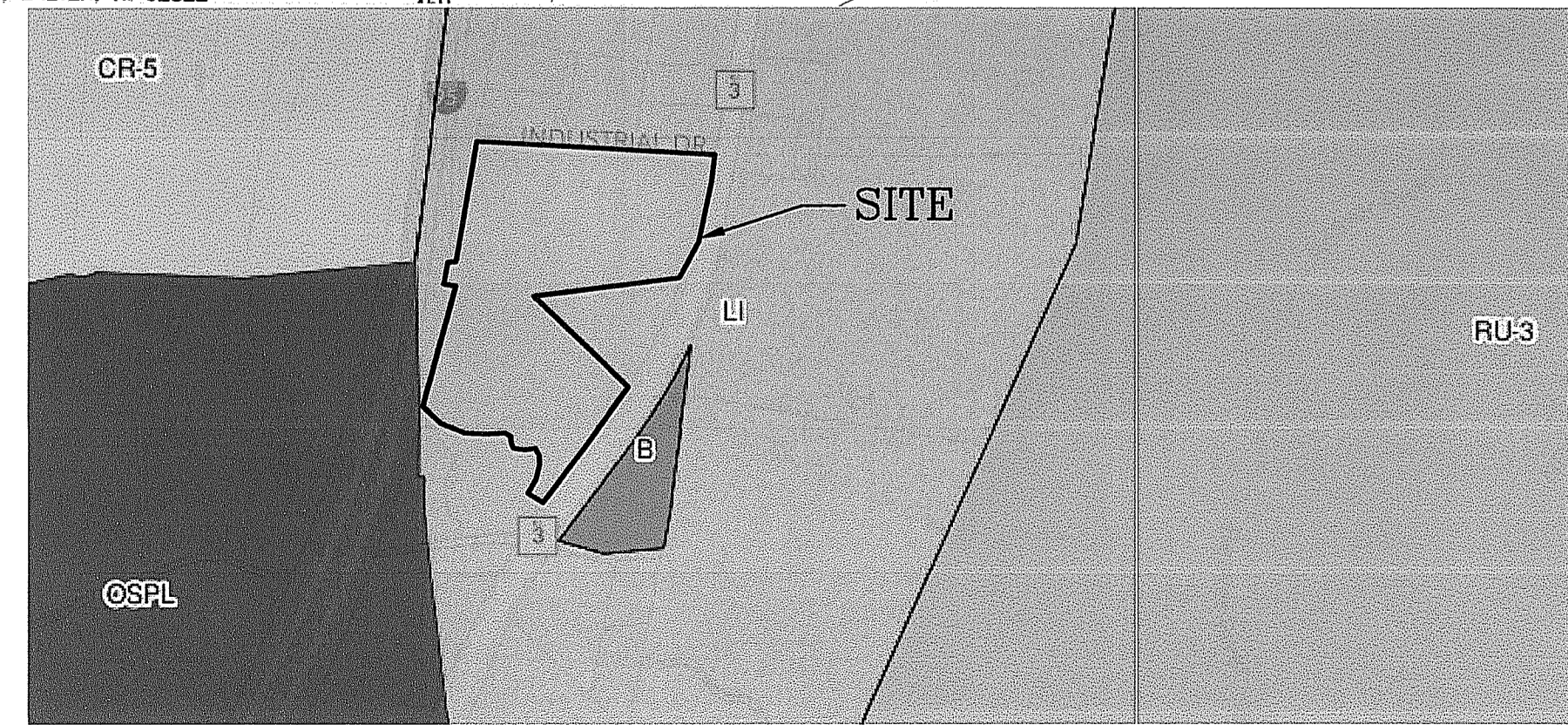
REFERENCE IS MADE TO PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY" FOR OCEAN STATE AUTO AUCTION, PREPARED BY GUERRIERE & HALNOR, INC., DATED 6/6/2017.

DIG-SAFE/UTILITIES NOTE:

THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING AND CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN/STATE WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

**STORMWATER DESIGN ONLY
TEST HOLE DATA:**

ID#	SHWT	TOTAL DEPTH
TH1	6"	6.0'
TH2	9"	7.0'
TH3	9"	4.5'
TH4	1.0'	4.0'
TH5	4.0'	7.0'
TH6	4.5'	7.0'



ZONING MAP

DRAWING ISSUE:

- CONCEPT
 - CUSTOMER APPROVAL
 - PERMITTING
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 - AS-BUILT
 - OTHER:
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PREPARED FOR:

COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254

TIMOTHY J. BEHAN
REGISTERED PROFESSIONAL ENGINEER
12-19-19

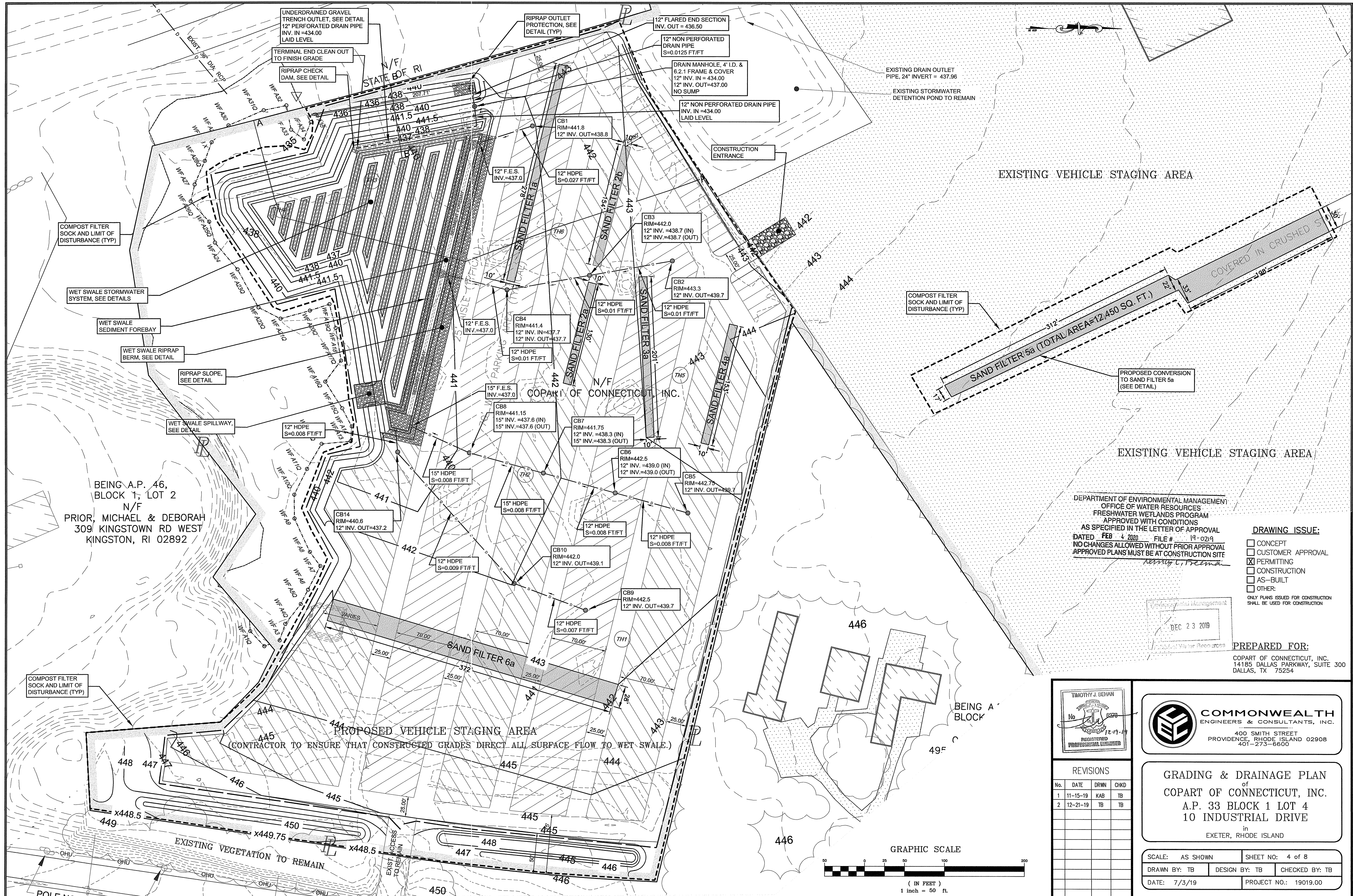
REVISIONS

No.	DATE	DRWN	CHKD
1	11-15-19	KAB	TB
2	12-21-19	TB	TB

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

EXISTING CONDITIONS PLAN
of
COPART OF CONNECTICUT, INC.
A.P. 33 BLOCK 1 LOT 4
10 INDUSTRIAL DRIVE
in
EXETER, RHODE ISLAND

SCALE: AS SHOWN	SHEET NO: 2 of 8
DRAWN BY: TB	DESIGN BY: TB
CHECKED BY: TB	
DATE: 7/3/19	PROJECT NO.: 19019.00



BEING A.P. 46,
BLOCK 1, LOT 2
N/F
PRIOR, MICHAEL & DEBORAH
309 KINGSTOWN RD WEST
KINGSTON, RI 02892

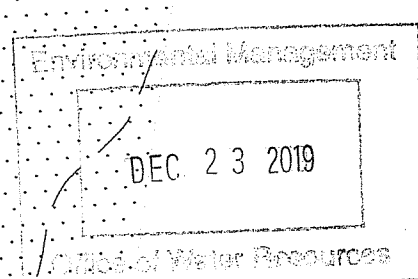
EXISTING VEHICLE STAGING AREA

EXISTING VEHICLE STAGING AREA

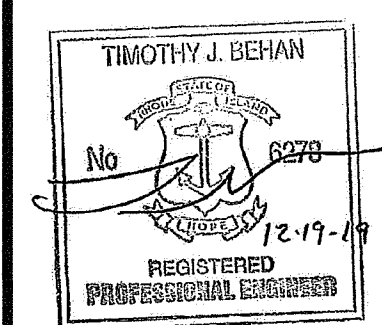
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 4 2020 FILE # 19-0219
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Nancy L. Felma

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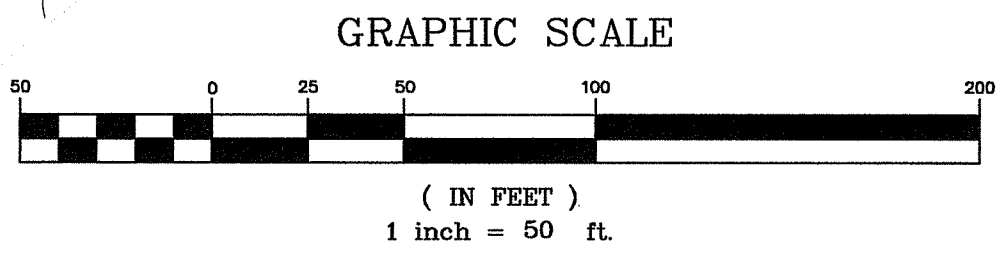


REVISIONS

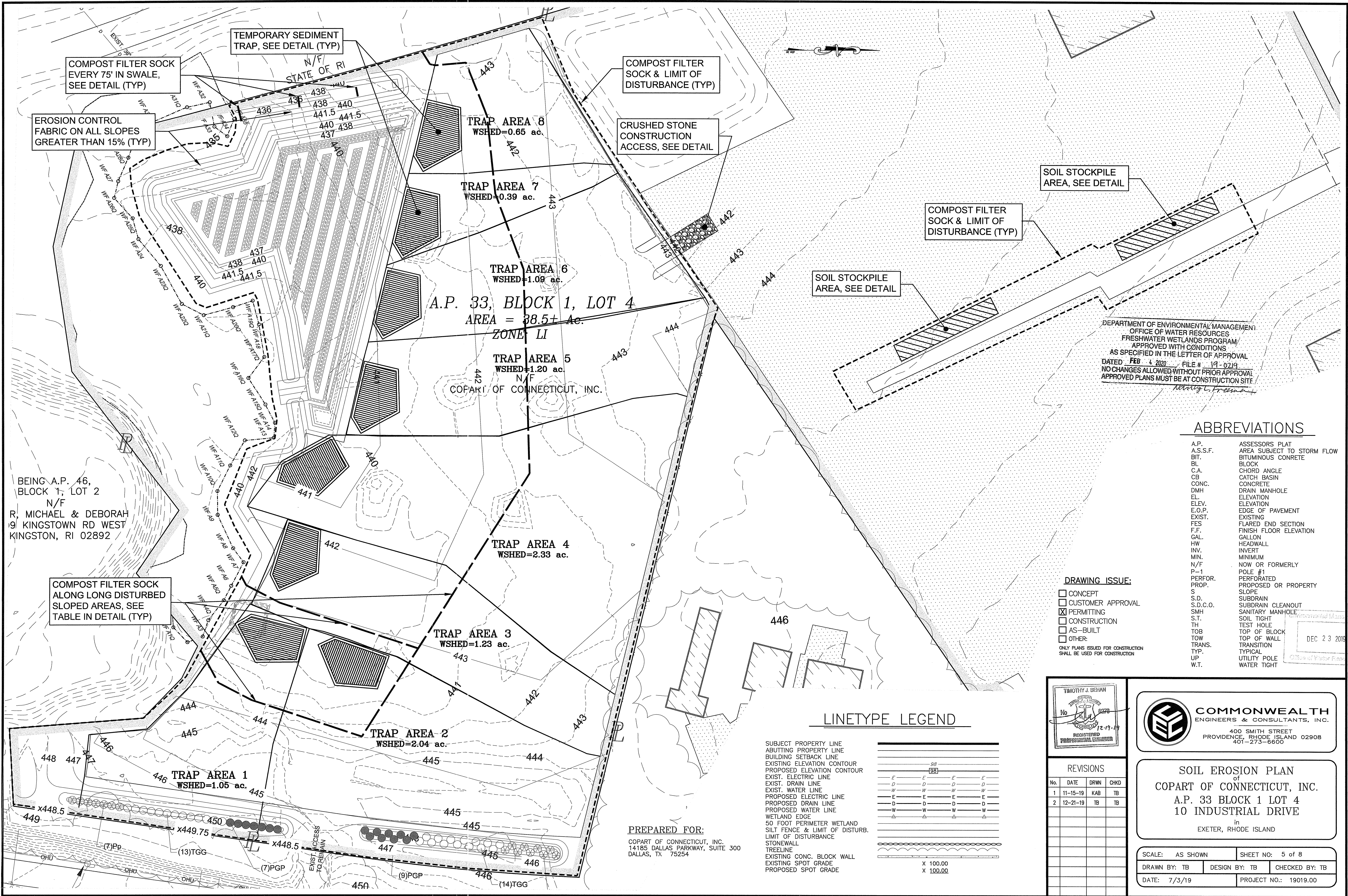
No.	DATE	DRWN	CHKD
1	11-15-19	KAB	TB
2	12-21-19	TB	TB

GRADING & DRAINAGE PLAN
of
COPART OF CONNECTICUT, INC.
A.P. 33 BLOCK 1 LOT 4
10 INDUSTRIAL DRIVE
in
EXETER, RHODE ISLAND

SCALE: AS SHOWN SHEET NO: 4 of 8
DRAWN BY: TB DESIGN BY: TB CHECKED BY: TB
DATE: 7/3/19 PROJECT NO.: 19019.00



DEC 23 2019



BEING A.P. 46,
BLOCK 1, LOT 2
N/F
R, MICHAEL & DEBORAH
9 KINGSTOWN RD WEST
KINGSTON, RI 02892

COMPOST FILTER SOCK
ALONG LONG DISTURBED
SLOPED AREAS, SEE
TABLE IN DETAIL (TYP)

TEMPORARY SEDIMENT
TRAP, SEE DETAIL (TYP)

COMPOST FILTER SOCK
EVERY 75' IN SWALE,
SEE DETAIL (TYP)

COMPOST FILTER
SOCK & LIMIT OF
DISTURBANCE (TYP)

CRUSHED STONE
CONSTRUCTION
ACCESS, SEE DETAIL

SOIL STOCKPILE
AREA, SEE DETAIL

COMPOST FILTER
SOCK & LIMIT OF
DISTURBANCE (TYP)

SOIL STOCKPILE
AREA, SEE DETAIL

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Mary L. Freeman

ABBREVIATIONS

A.P.	ASSESSORS PLAT
A.S.S.F.	AREA SUBJECT TO STORM FLOW
BL	BITUMINOUS CONCRETE
BL	BLOCK
C.A.	CHORD ANGLE
CB	CATCH BASIN
CONC.	CONCRETE
DMH	DRAIN MANHOLE
EL	ELEVATION
ELEV.	ELEVATION
E.O.P.	EDGE OF PAVEMENT
EXIST.	EXISTING
FES	FLARED END SECTION
F.F.	FINISH FLOOR ELEVATION
GAL.	GALLON
HW	HEADWALL
INV.	INVERT
MIN.	MINIMUM
N/F	NOW OR FORMERLY
POLE #1	POLE #1
PERFOR.	PERFORATED
PROP.	PROPOSED OR PROPERTY
S	SLOPE
S.D.	SUBDRAIN
S.D.C.O.	SUBDRAIN CLEANOUT
SMH	SANITARY MANHOLE
S.T.	SOIL TIGHT
TH	TEST HOLE
TOB	TOP OF BLOCK
TOW	TOP OF WALL
TRANS.	TRANSITION
TYP.	TYPICAL
UP	UTILITY POLE
W.T.	WATER TIGHT

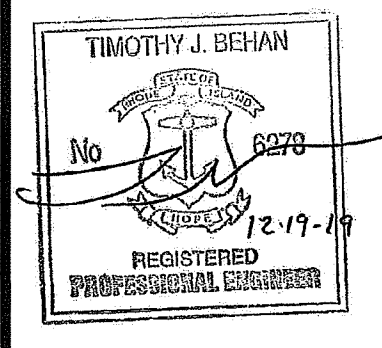
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LINETYPE LEGEND

SUBJECT PROPERTY LINE	---
ABUTTING PROPERTY LINE	---
BUILDING SETBACK LINE	---
EXISTING ELEVATION CONTOUR	---
PROPOSED ELEVATION CONTOUR	---
EXIST. ELECTRIC LINE	---
EXIST. DRAIN LINE	---
EXIST. WATER LINE	---
PROPOSED ELECTRIC LINE	---
PROPOSED DRAIN LINE	---
PROPOSED WATER LINE	---
WETLAND EDGE	---
50 FOOT PERIMETER WETLAND	---
SILT FENCE & LIMIT OF DISTURB.	---
LIMIT OF DISTURBANCE	---
STONEWALL	---
TREELINE	---
EXISTING CONC. BLOCK WALL	---
EXISTING SPOT GRADE	---
PROPOSED SPOT GRADE	---

PREPARED FOR:
COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254



REVISIONS

No.	DATE	DRWN	CHKD
1	11-15-19	KAB	TB
2	12-21-19	TB	TB

SOIL EROSION PLAN
of
COPART OF CONNECTICUT, INC.
A.P. 33 BLOCK 1 LOT 4
10 INDUSTRIAL DRIVE
in
EXETER, RHODE ISLAND

SCALE: AS SHOWN	SHEET NO: 5 of 8
DRAWN BY: TB	DESIGN BY: TB
DATE: 7/3/19	CHECKED BY: TB
PROJECT NO.: 19019.00	

DEC 23 2019
Office of Professional Regulation

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH 'DIG SAFE'. NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PROPER PERMITS UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- ALL WORK WITHIN THE STATE'S ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION AND STANDARD DETAILS, JUNE 15, 1998, AS AMENDED BY REVISION. SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION 2004 EDITION (AS AMENDED, INCLUDING ALL ADDENDUMS) & TOWN STANDARDS. THE TOWN'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF THE STATE R.O.W. THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED ROADWAYS AND DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RIDOT AND TOWN'S SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS AS SPECIFIED IN THE TOWN'S SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THESE PLANS HAVE NOT BEEN PREPARED TO SERVE AS CONTRACT DOCUMENTS BETWEEN THE CONTRACTOR AND THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- ALL REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON BEST AVAILABLE INFORMATION AND REPRESENT APPROXIMATE LOCATIONS. UTILITY LOCATIONS SHOWN ON THE PLANS SHALL NOT BE RELIED UPON BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS AREA STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- ALL DISTURBED AREAS/STRUCTURES SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN, INCLUDING CURBS, PAVEMENTS, ETC.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED UNLESS OTHERWISE NOTED.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- THE CONTRACTOR SHALL INSTALL ALL SEDIMENT CONTROL DEVICES IN ACCORDANCE WITH RIDEM & TOWN STANDARDS PRIOR TO ANY CONSTRUCTION.
- ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION AND APPROVAL BY THE TOWN. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL UNSUITABLE MATERIAL (LOAM, FILL, ROOTS, TREE TRUNKS, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM ROADWAY/PARKING AREAS PRIOR TO THE PLACEMENT OF SPECIFIED MATERIALS AS DIRECTED AND APPROVED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SOIL EROSION AND SEDIMENTATION CONTROLS WHERE NECESSARY AND AS DIRECTED. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE TOWNS SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, LATEST EDITION. THE REGULATIONS ARE AVAILABLE FOR REVIEW FROM THE PLANNING DEPARTMENT.
- ALL CONSTRUCTION SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE SURFACE AND SUBSURFACE WATER ENCOUNTERED DURING CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ENGAGE A RI PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. THE LIMIT OF DISTURBANCE SHALL BE LOCATED BY A RI PLS PRIOR TO CONSTRUCTION. NO CLEARING OR DISTURBANCE SHALL TAKE PLACE OUTSIDE THE LIMIT OF DISTURBANCE. THE AREA OUTSIDE THE LIMIT OF DISTURBANCE SHALL BE KEPT TOTALLY UNDISTURBED.
- THE CONTRACTOR SHALL READ THE TOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PRIOR TO CONSTRUCTION (AS THEY PERTAIN TO CONSTRUCTION). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE REGULATIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL PERMITS WHICH INCLUDE THE RIDEM FRESHWATER WETLANDS PERMIT.
- ALL PAVEMENT CUTS SHALL HAVE SAW CUT EDGES. ANY EXCAVATION IN AN EXISTING PAVED AREA WILL REQUIRE A 2" THICK, HOT MIX TEMPORARY PATCH. AFTER A MINIMUM OF 90 DAYS, THE TEMPORARY PATCH SHALL BE REMOVED AND A PERMANENT HOT MIX PATCH SHALL BE PLACED.
- ONLY PLANS ENTITLED 'ISSUED FOR CONSTRUCTION' SHALL BE USED AT THE JOB SITE BY THE CONTRACTOR.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.

DRAINAGE SYSTEM -- INSPECTION, MAINTENANCE AND REPAIR NOTES:

- THE PROPERTY OWNER SHALL MAINTAIN THE PROPOSED DRAINAGE SYSTEM COMPONENTS WHICH INCLUDE BUT NOT LIMITED TO: THE DRAIN MANHOLES, CATCH BASINS, PIPING, CULVERTS, WET SWALES, SEDIMENT FOREBAYS, AND CRUSHED STONE VEHICLE STAGING AREAS IN ACCORDANCE WITH THE APPROVED OPERATION & MAINTENANCE MANUAL PREPARED FOR SUBJECT PROPERTY WHICH IS ASSOCIATED WITH THE RIDEM FRESHWATER WETLANDS PERMIT.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICLE TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES 2003 (M.U.T.C.D.) INCLUDING ALL REVISIONS.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STATE/TOWN STREET RIGHT-OF-WAY.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

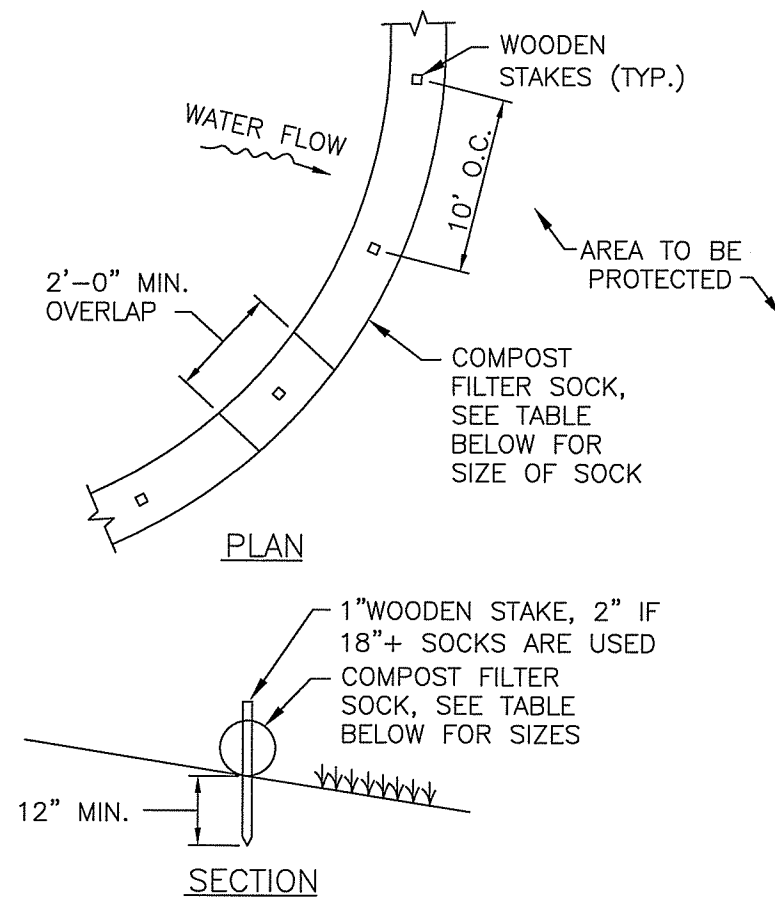
EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASONS.
- TEMPORARY TREATMENTS SHALL CONSIST OF A STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.20.01.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDDED SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	APRIL 1 - JUNE 15
ASTORIA BENTGRASS	5	AUGUST 15 - OCTOBER
BIRDFOOT TREEFOIL	15	
PERENNIAL RYEGRASS	10	
- APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILE SHALL ALSO BE SEEDDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
- ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
- ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE PROPERTY OWNER TO ENSURE SURVIVAL.
- SHOULD ANY OR ALL OF THE PROPOSED PLANTS FAIL TO SURVIVE AT LEAST ONE (1) FULL GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE OWNER SHALL BE FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.
- ALL DISTURBED AREAS MUST BE SEEDDED OR PLANTED WITHIN THE CONSTRUCTION SEASON.
- TEMPORARY SEEDING MUST BE DONE WITHIN ONE (1) MONTH AFTER DISTURBANCE.
- ALL DISTURBED AREAS MUST BE PERMANENTLY SEEDDED OR PLANTED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEEDDED.

SEDIMENTATION CONTROL PROGRAM:

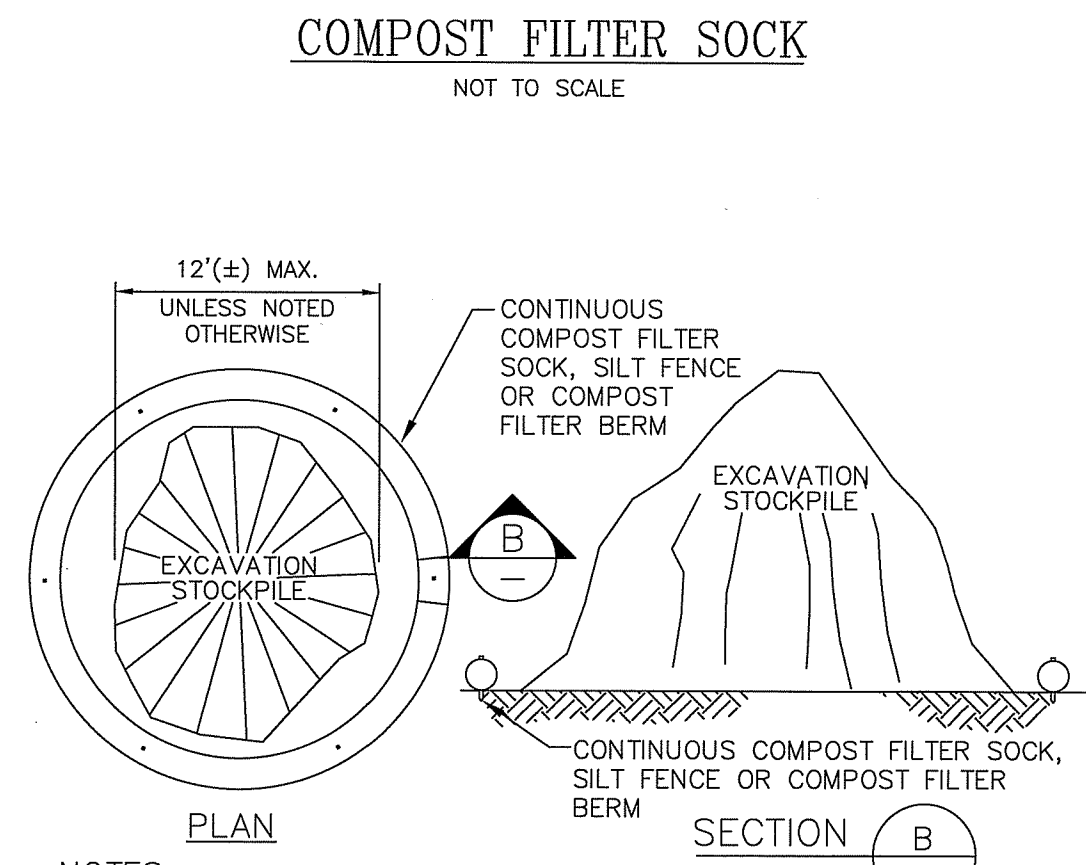
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS AND PERIODS OF
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORMWATER FLOWAGE.
- ADDITIONAL SOIL EROSION CONTROL MEASURES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- SEDIMENTATION TRAPS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
- EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND BE PROPERLY MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED INCLUDING:
 - THE INSTALLATION OF A CONTINUOUS LINE OF STAKED COMPOST FILTER SOCKS (OR APPROVED EQUAL) IN ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
 - ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD STRAW MULCH.
 - CATCH BASINS WILL BE PROTECTED WITH COMPOST FILTER SOCK FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS ARE TO BE CLEANED IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
 - OUTFALLS ARE TO BE PROTECTED BY COMPOST FILTER SOCK FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER.
 - ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- UPON COMPLETION OF CONSTRUCTION OF SITE IMPROVEMENTS AND THE STORMWATER DRAINAGE SYSTEM, ALL CATCH BASINS AND STORM DRAIN PIPING SHALL BE CLEANED OF SEDIMENT. ALL STORMWATER WATER SYSTEMS SHALL BE CLEANED OF SEDIMENT TO THE DESIGN GRADES INDICATED
- AT NO TIME DURING CONSTRUCTION SHALL THE SUBGRADE OF THE SITE BE SUCH THAT SURFACE RUNOFF WILL BE PERMITTED TO DIRECTLY ENTER ANY DRAINAGE STRUCTURE. A TEMPORARY DEPRESSED AREA AROUND THE STRUCTURE SHALL BE INCORPORATED AS A SEDIMENTATION TRAP. THE MOUTH OF THE TRAP SHALL BE LINED WITH COMPOST FILTER SOCKS AROUND THE COMPLETE PERIMETER. DURING ALL PRELIMINARY STAGES, THE TOP OF THE STRUCTURE SHALL ALWAYS BE HIGHER THAN THE SUBGRADE.
- COMPOST FILTER SOCK EROSION CHECKS SHALL BE MAINTAINED AROUND ALL CATCH BASINS UNTIL ALL UPGRADIENT DISTURBED AREAS ARE STABILIZED BY PAVEMENT OR VEGETATION.
- ALL COMPONENTS OF THE DRAINAGE SYSTEM MUST BE CLEANED OF SEDIMENT BY THE APPLICANT OR HIS REPRESENTATIVE IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED.
- INSPECT TEMPORARY DIVERSIONS AND THEIR COMPONENTS ONCE A WEEK AND AFTER EVERY RAINFALL. DAMAGE CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY SHOULD BE REPAIRED BEFORE THE END OF EACH WORKING DAY. A SEDIMENTATION TRAP. THE MOUTH OF THE TRAP SHALL BE LINED WITH COMPOST FILTER SOCKS AROUND THE COMPLETE PERIMETER. DURING ALL PRELIMINARY STAGES, THE TOP OF THE STRUCTURE SHALL ALWAYS BE HIGHER THAN THE SUBGRADE.
- CHECK DAMS SHALL BE INSTALLED EVERY 300 FEET FOR SLOPES OF 1% OR LESS, EVERY 200 FEET FOR SLOPES OF 2%, EVERY 150 FEET FOR SLOPES OF 3% TO 5%, AND EVERY 100 FEET FOR SLOPES OF 5% OR GREATER.
- SEDIMENTS SHOULD BE REMOVED FROM THE CHECK DAM WHEN IT REACHES ONE-HALF THE DAM HEIGHT.



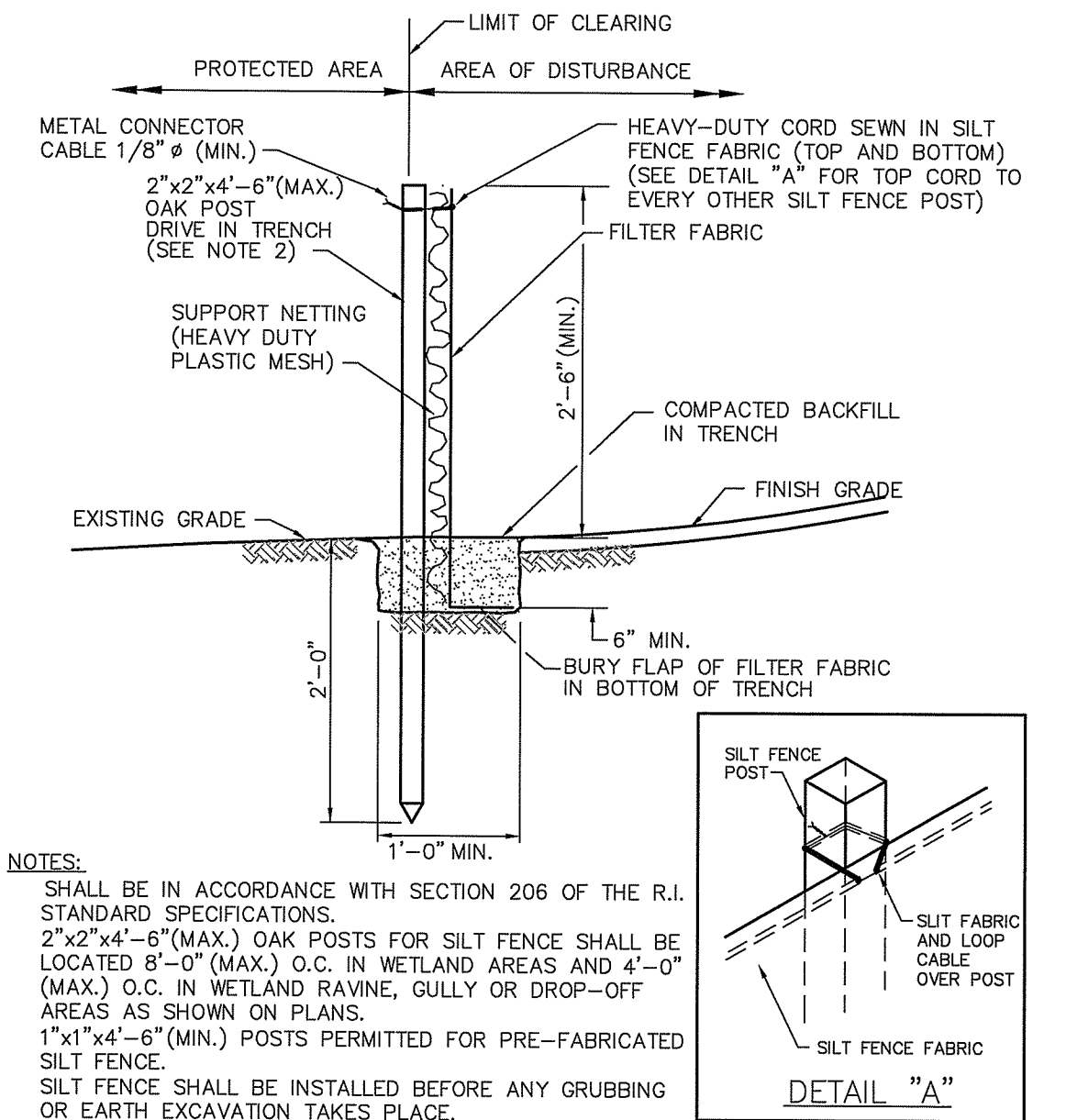
COMPOST FILTER SOCK
NOT TO SCALE

TABLE 1: MAXIMUM SLOPE LENGTH ABOVE COMPOST FILTER SOCK, (FEET) AND DIAMETER OF SOCK REQUIRED:

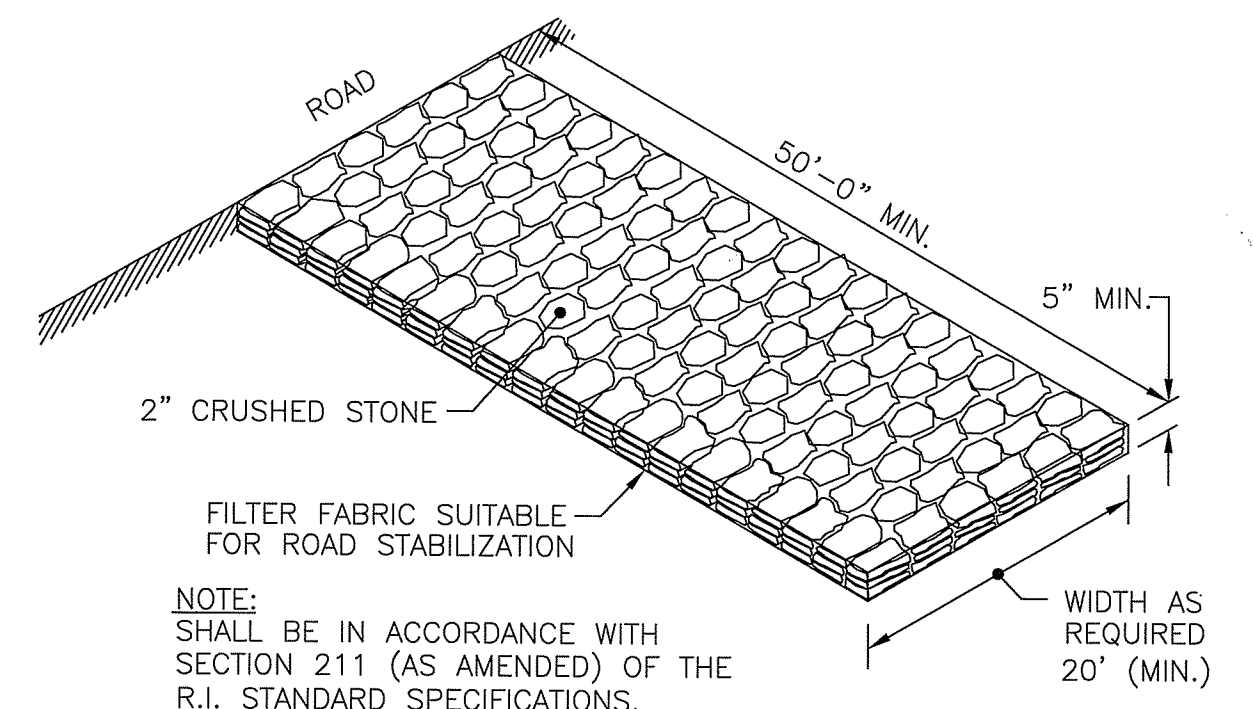
SLOPE	8" SOCK	12" SOCK	18" SOCK	24" SOCK
2%	300'	375'	500'	650'
5%	200'	250'	275'	325'
10%	100'	125'	150'	200'
20%	50'	65'	70'	130'
30%	30'	40'	45'	50'
40%	30'	40'	45'	50'
50%	20'	25'	30'	35'



- ON-SITE SOIL STOCKPILE DETAIL**
NOT TO SCALE
- NOTES:
- REQUIRED SIZE TO BE DETERMINED BY THE ENGINEER
 - SOIL SHALL BE COVERED WITH TARPS WHEN DETERMINED TO BE DRY BY THE RESIDENT ENGINEER
 - STOCKPILE LOCATIONS CAN VARY FROM SITE PLAN SINCE SITE IS VERY FLAT.



- SILT FENCE DETAIL**
NOT TO SCALE
- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2'x2'x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.
- NOTE:
- SILT FENCE IS AN 'OR EQUAL' TO COMPOST FILTER BERM BUT SILT FENCE SHALL BE INSTALLED IN ACCORDANCE WITH THE TABLE PROVIDED BELOW:
- | SLOPE | MAXIMUM LENGTH (FEET) |
|----------------|-----------------------|
| 2:1 | 25' |
| 3:1 | 50' |
| 4:1 | 75' |
| 5:1 OR FLATTER | 100' |



- CONSTRUCTION ACCESS**
NOT TO SCALE
- NOTE:
- SHALL BE IN ACCORDANCE WITH SECTION 211 (AS AMENDED) OF THE R.I. STANDARD SPECIFICATIONS.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 4 2020 FILE # 19-0219
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

TIMOTHY J. BEHAN
REGISTERED PROFESSIONAL ENGINEER
12-19-19

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

No.	DATE	DRWN	CHKD
1	11-15-19	KAB	TB
2	12-21-19	TB	TB

SOIL EROSION NOTES
of
COPART OF CONNECTICUT, INC.
A.P. 33 BLOCK 1 LOT 4
10 INDUSTRIAL DRIVE
in
EXETER, RHODE ISLAND

SCALE: AS SHOWN SHEET NO: 6 of 8
DRAWN BY: TB DESIGN BY: TB CHECKED BY: TB
DATE: 7/3/19 PROJECT NO.: 19019.00

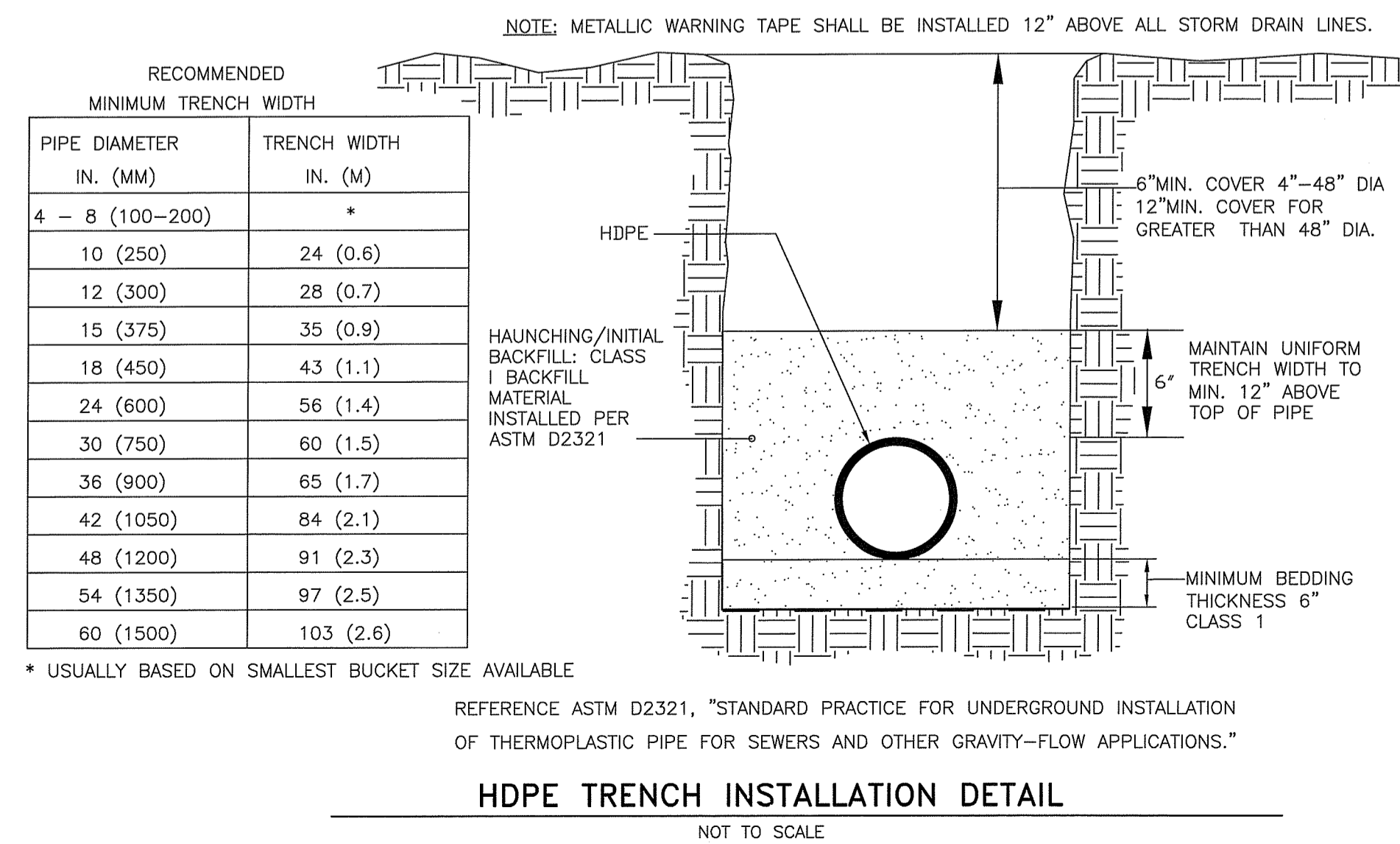
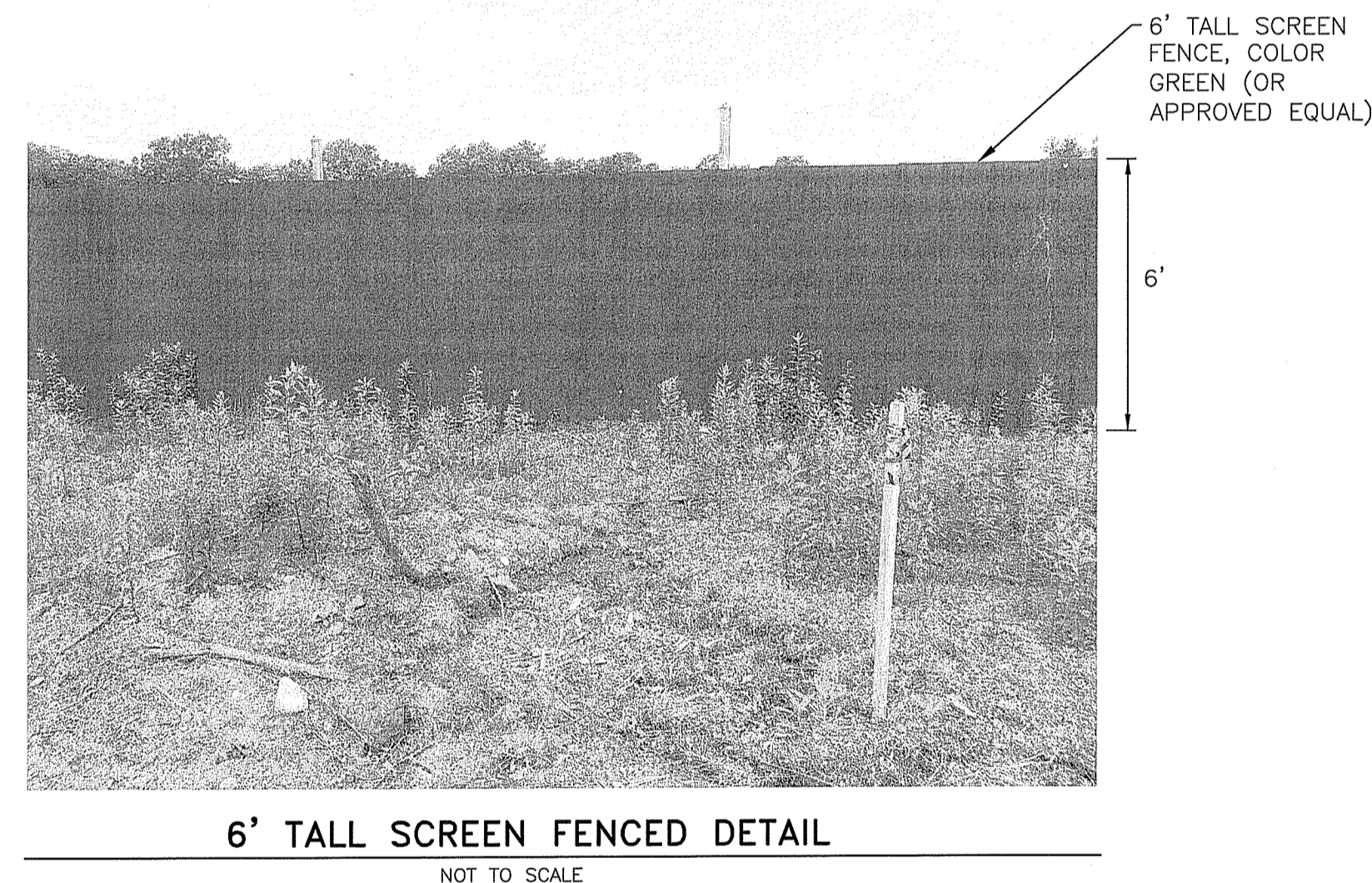
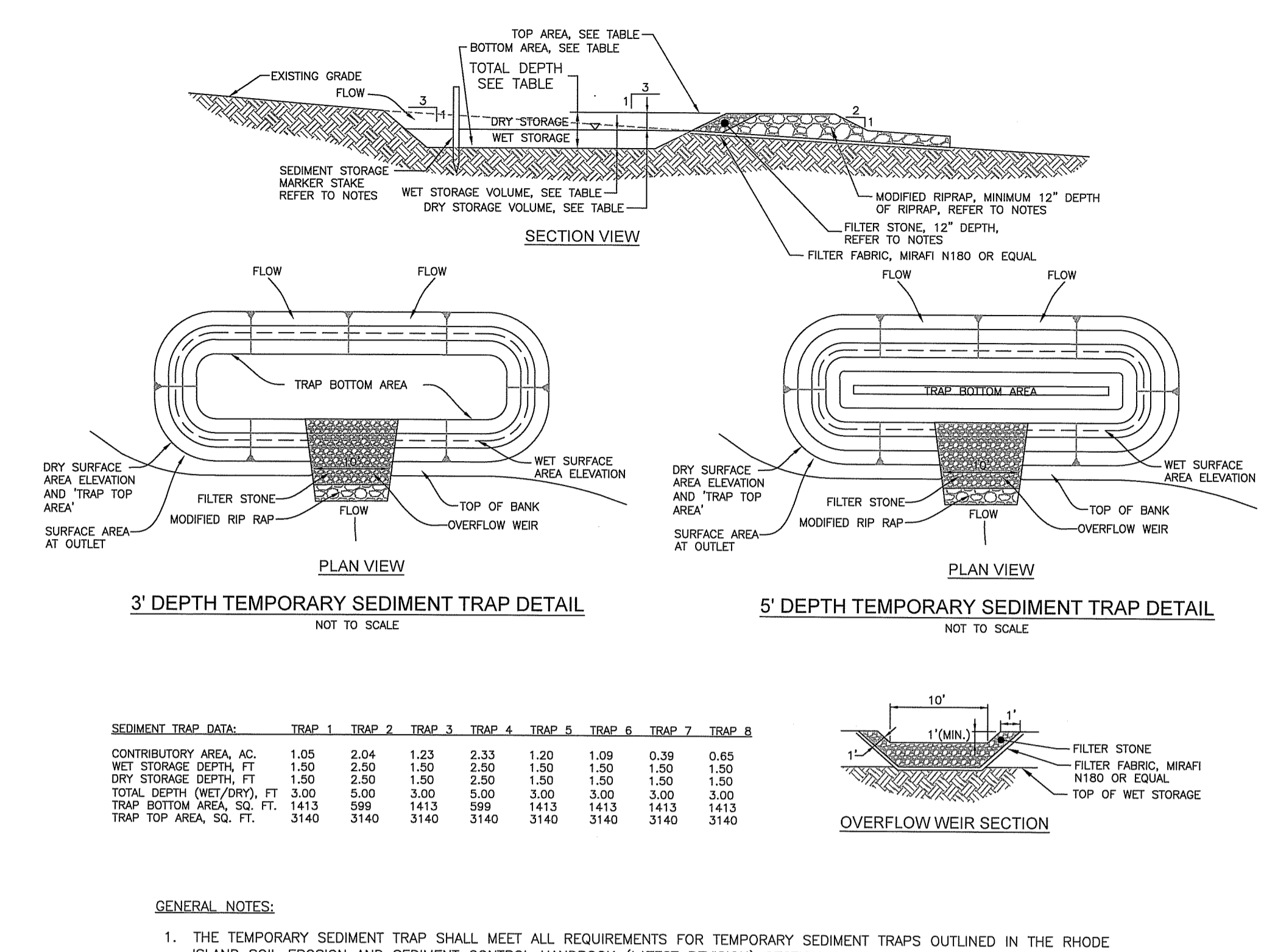
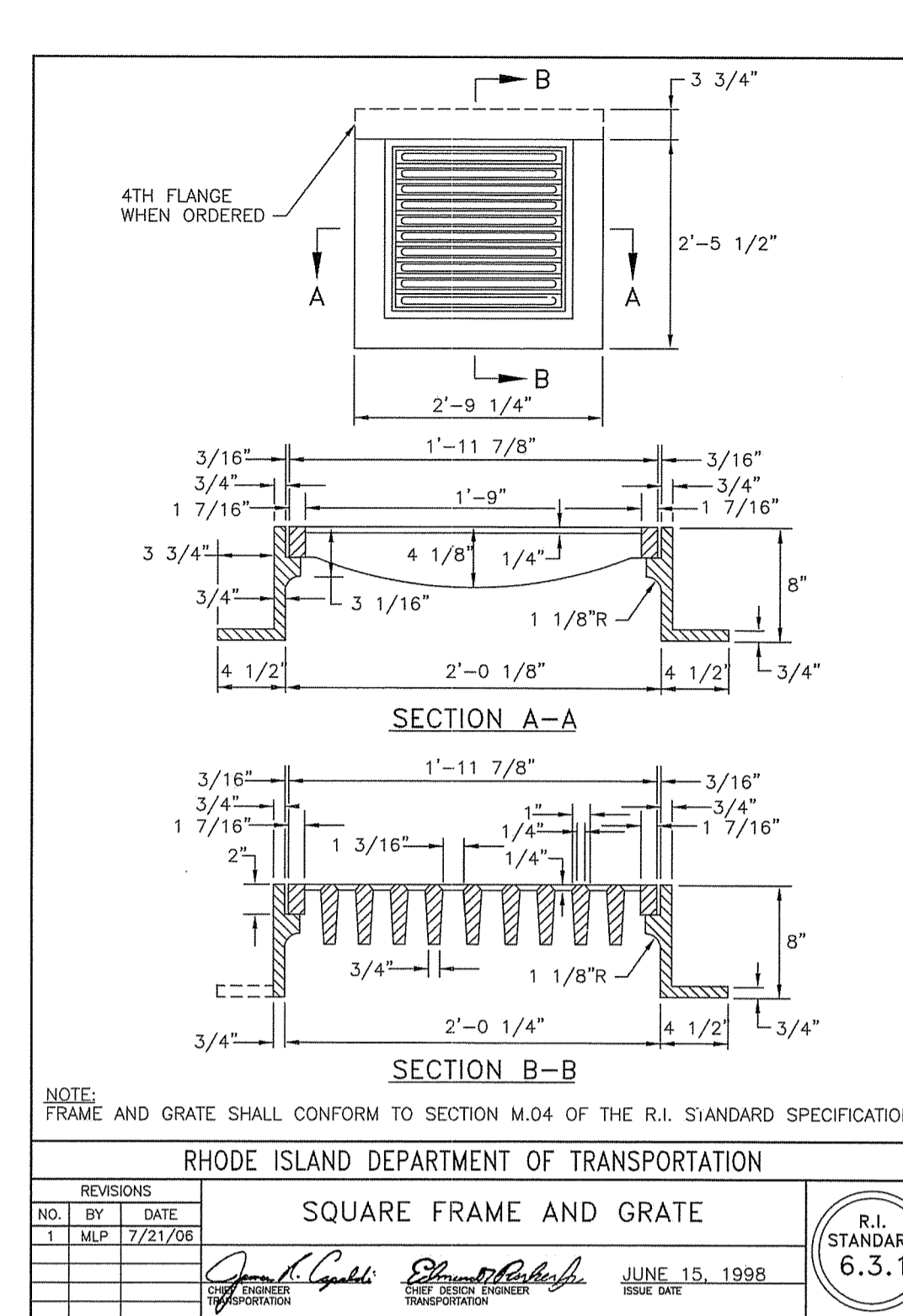
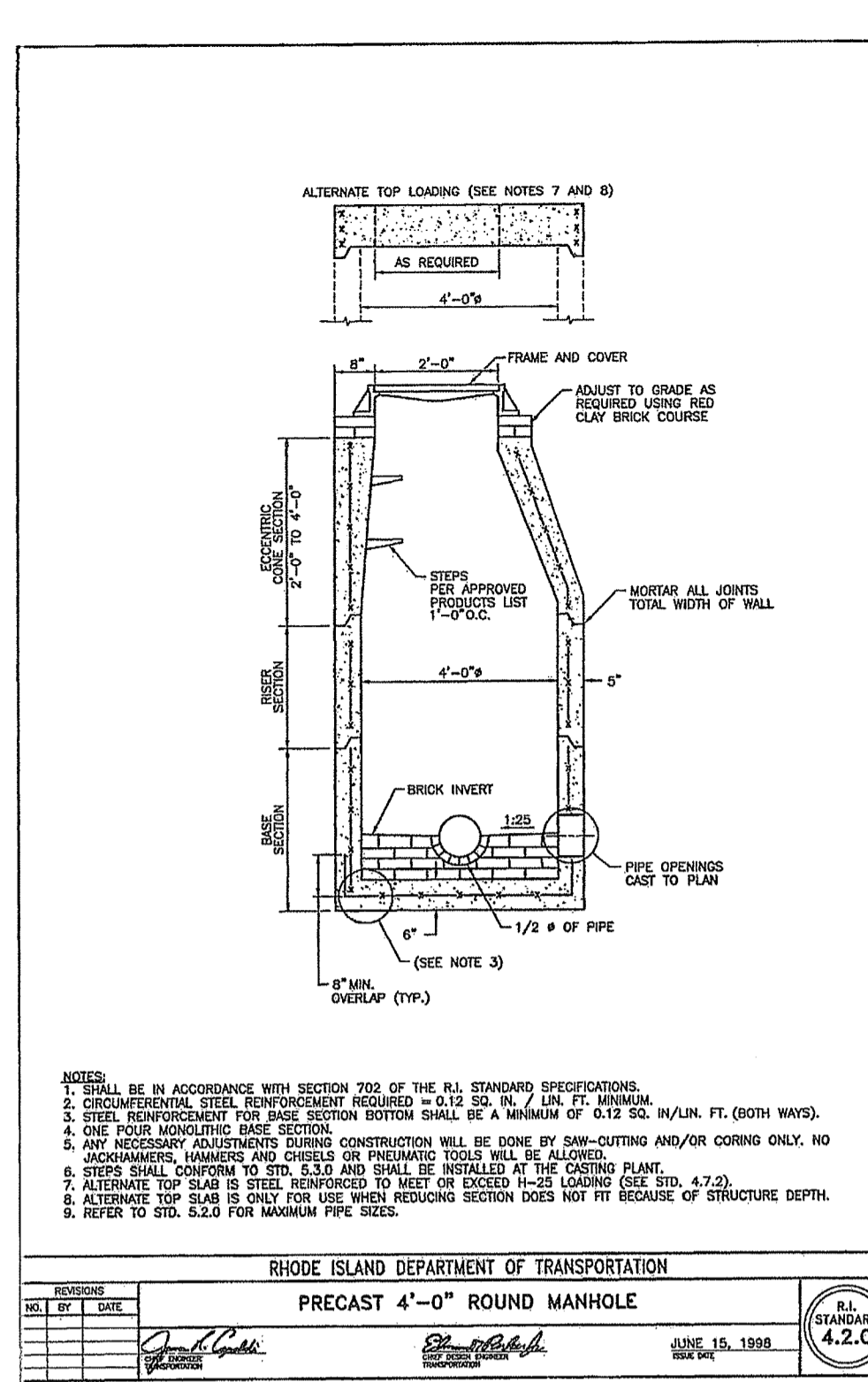
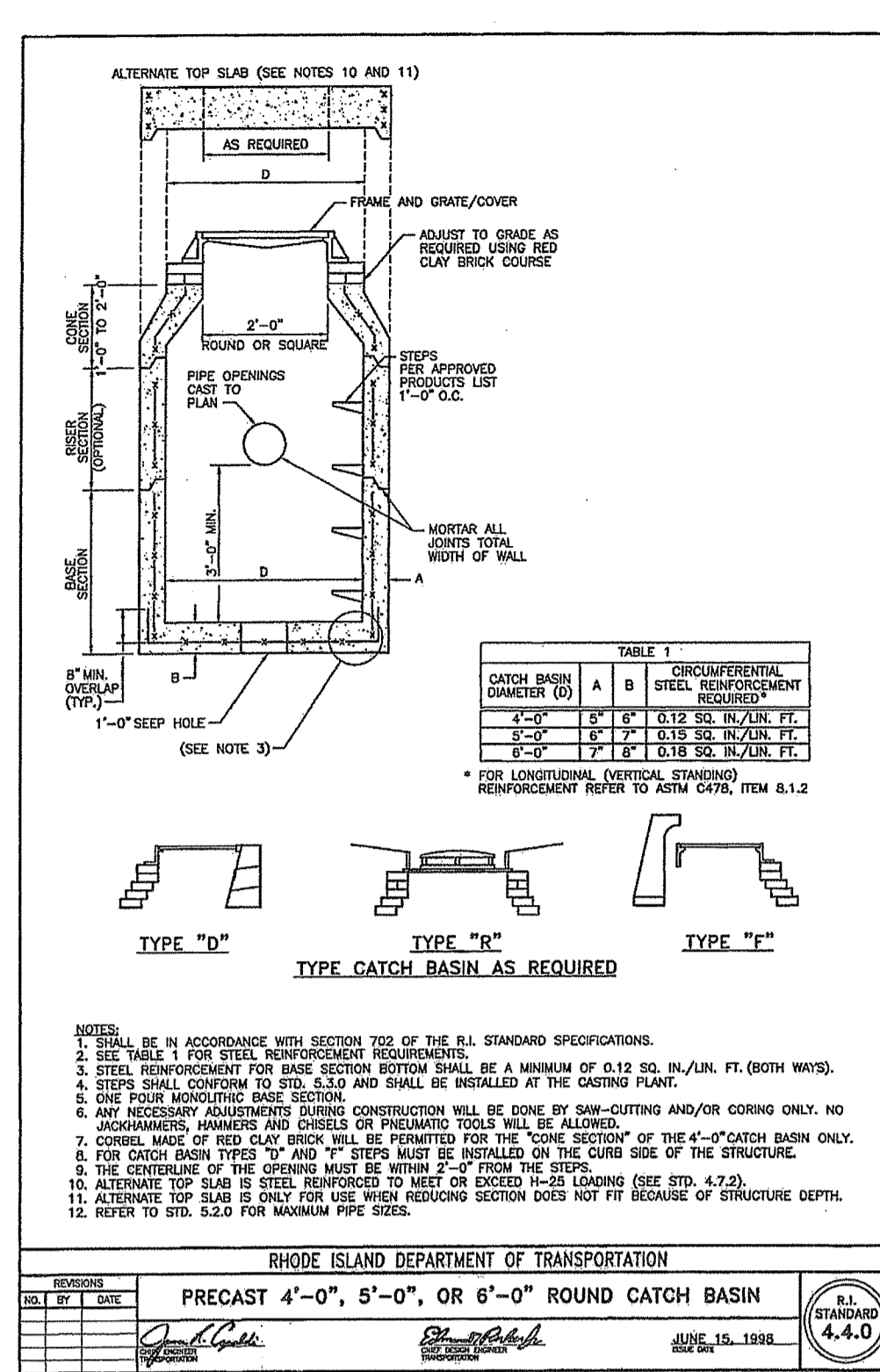
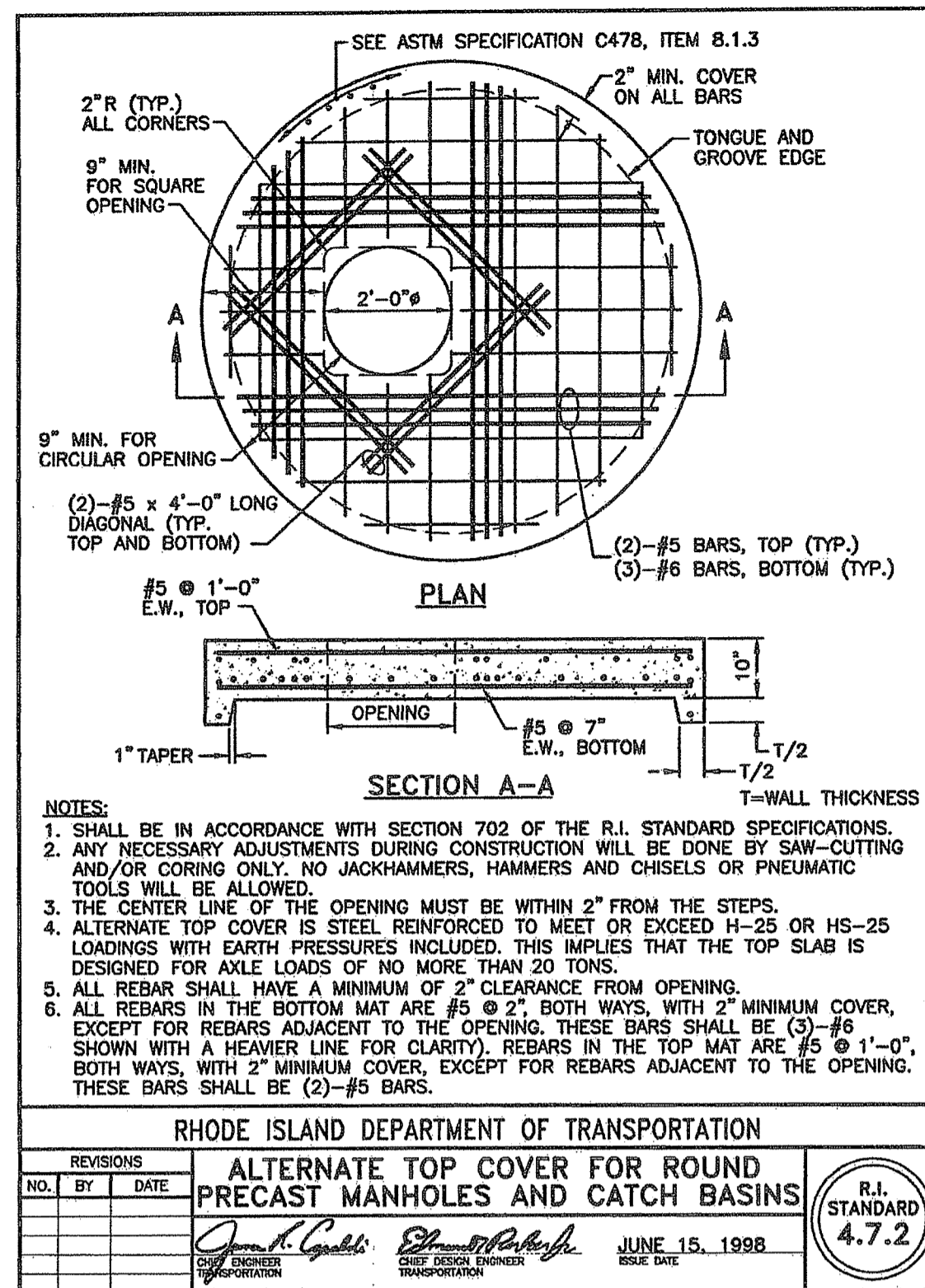
DRAWING ISSUE:

CONCEPT
 CUSTOMER APPROVAL
 PERMITTING
 CONSTRUCTION
 AS-BUILT
 OTHER

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

PREPARED FOR:
COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254

Environmental Management
DEC 23 2019
Office of Water Resources



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
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DEC 23 2019

PREPARED FOR:
COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

DETAILS-2
of
COPART OF CONNECTICUT, INC.
A.P. 33 BLOCK 1 LOT 4
10 INDUSTRIAL DRIVE
in
EXETER, RHODE ISLAND

REVISIONS

No.	DATE	DRWN	CHKD
1	11-15-19	KAB	TB
2	12-21-19	TB	TB

DRAWING ISSUE:

CONCEPT

CUSTOMER APPROVAL

PERMITTING

CONSTRUCTION

AS-BUILT

OTHER: 80% Review Set

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

SCALE: AS SHOWN SHEET NO: 8 of 8

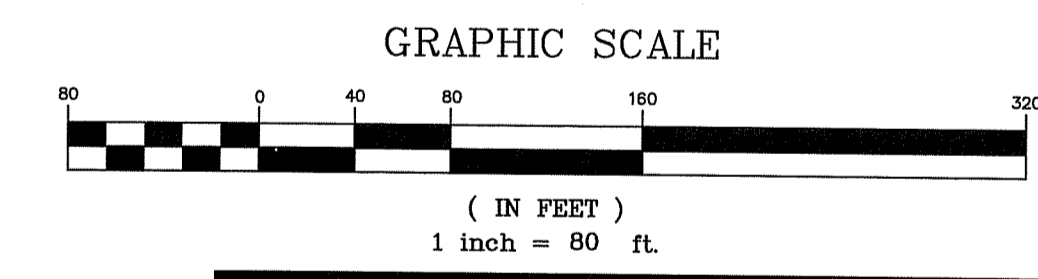
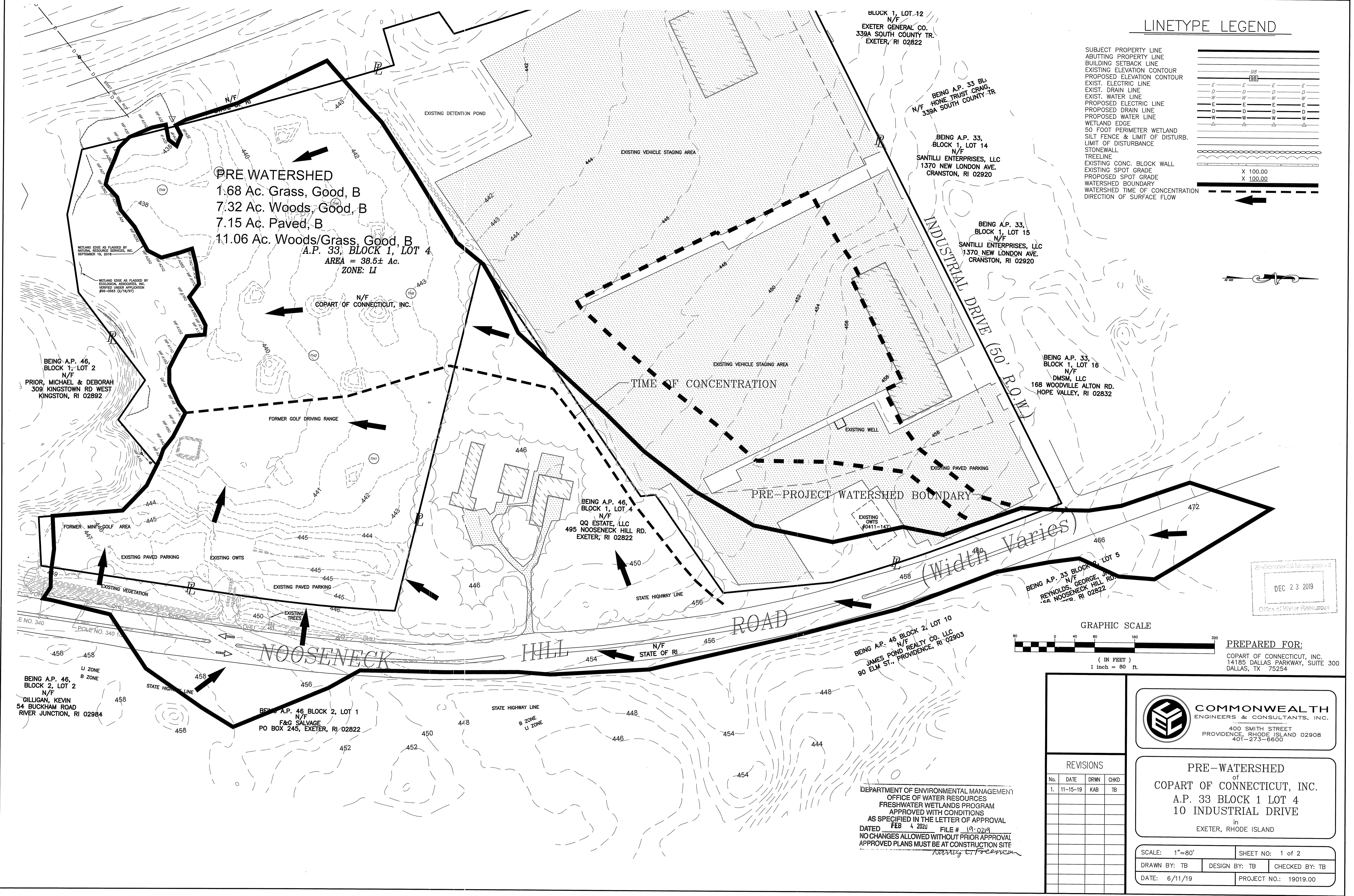
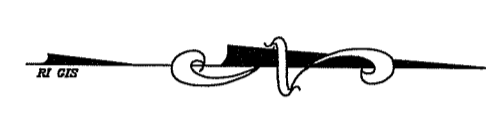
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DATE: 7/3/19 PROJECT NO.: 19019.00

LINETYPE LEGEND

SUBJECT PROPERTY LINE	---
ABUTTING PROPERTY LINE	---
BUILDING SETBACK LINE	---
EXISTING ELEVATION CONTOUR	---
PROPOSED ELEVATION CONTOUR	---
EXIST. ELECTRIC LINE	---
EXIST. DRAIN LINE	---
EXIST. WATER LINE	---
PROPOSED ELECTRIC LINE	---
PROPOSED DRAIN LINE	---
PROPOSED WATER LINE	---
WETLAND EDGE	---
50 FOOT PERIMETER WETLAND	---
SILT FENCE & LIMIT OF DISTURB.	---
LIMIT OF DISTURBANCE	---
STONEWALL	---
TREELINE	---
EXISTING CONC. BLOCK WALL	---
EXISTING SPOT GRADE	---
PROPOSED SPOT GRADE	---
WATERSHED BOUNDARY	---
WATERSHED TIME OF CONCENTRATION	---
DIRECTION OF SURFACE FLOW	---

X 100.00
X 100.00



PREPARED FOR:
COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254

DEC 23 2019
Office of Water Resources

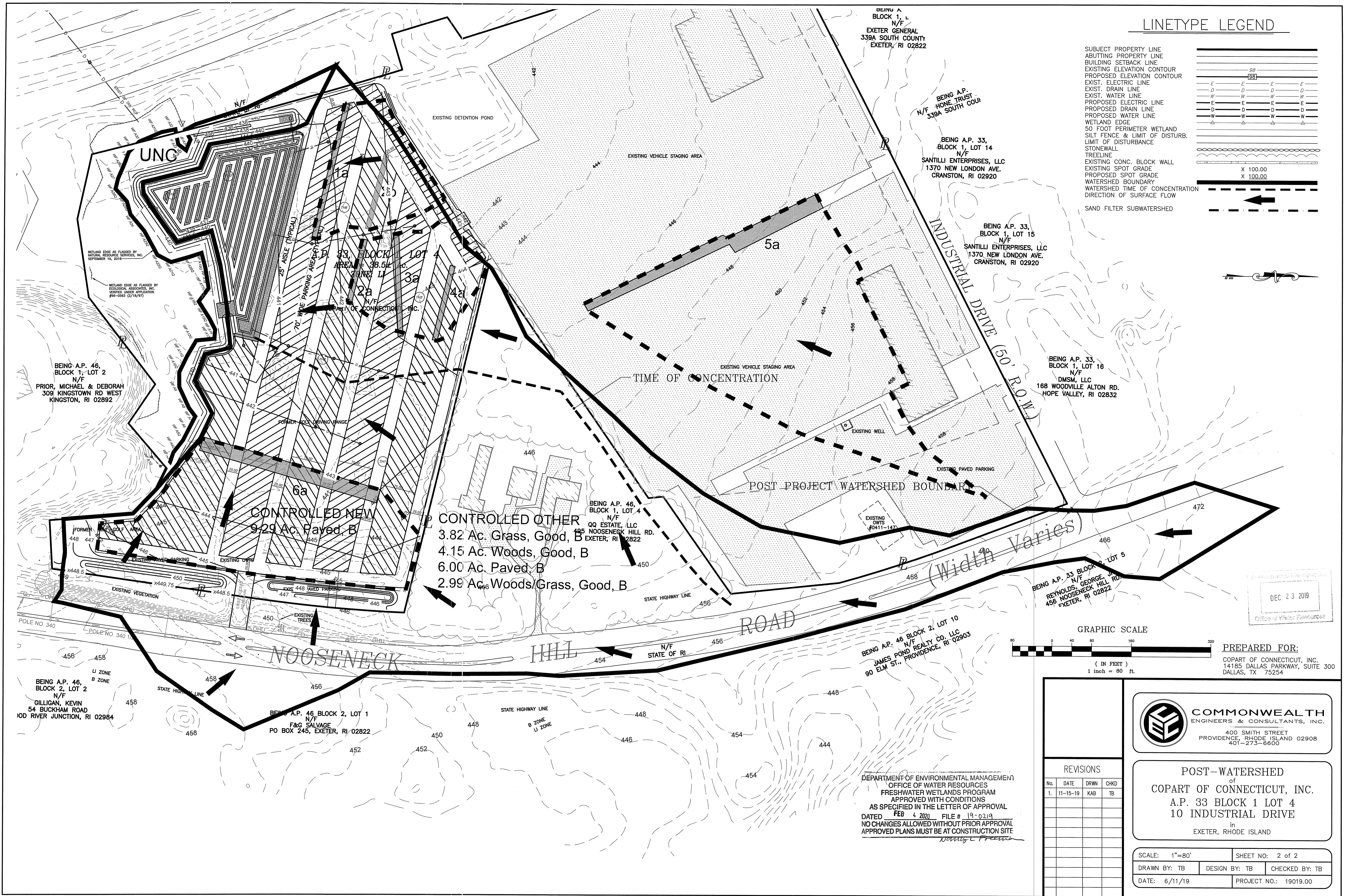
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 4 2020 FILE # 19-0219
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REVISIONS			
No.	DATE	DRWN	CHKD
1.	11-15-19	KAB	TB

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

PRE-WATERSHED
of
COPART OF CONNECTICUT, INC.
A.P. 33 BLOCK 1 LOT 4
10 INDUSTRIAL DRIVE
in
EXETER, RHODE ISLAND

SCALE: 1"=80' SHEET NO: 1 of 2
DRAWN BY: TB DESIGN BY: TB CHECKED BY: TB
DATE: 6/11/19 PROJECT NO.: 19019.00



BEING A
BLOCK 1, L
N/F
EXETER GENERAL
339A SOUTH COUNTY
EXETER, RI 02822

BEING A.P.
HONE TRUST
N/F
339A SOUTH COU

BEING A.P. 33,
BLOCK 1, LOT 14
N/F
SANTILLI ENTERPRISES, LLC
1370 NEW LONDON AVE.
CRANSTON, RI 02920

BEING A.P. 33,
BLOCK 1, LOT 15
N/F
SANTILLI ENTERPRISES, LLC
1370 NEW LONDON AVE.
CRANSTON, RI 02920

BEING A.P. 33,
BLOCK 1, LOT 16
N/F
DMSM, LLC
168 WOODVILLE ALTON RD.
HOPE VALLEY, RI 02832

BEING A.P. 33 BLOCK 1, LOT 5
N/F
REYNOLDS, GEORGE, JR.
456 NOOSENECK HILL RD.
EXETER, RI 02822

BEING A.P. 46,
BLOCK 1, LOT 2
N/F
PRIOR, MICHAEL & DEBORAH
309 KINGSTOWN RD WEST
KINGSTON, RI 02892

BEING A.P. 46,
BLOCK 2, LOT 2
N/F
GILLIGAN, KEVIN
54 BUCKHAM ROAD
100 RIVER JUNCTION, RI 02984

BEING A.P. 46, BLOCK 2, LOT 1
N/F
F&G SALVAGE
PO BOX 245, EXETER, RI 02822

BEING A.P. 46,
BLOCK 1, LOT 4
N/F
QQ ESTATE, LLC
195 NOOSENECK HILL RD.
EXETER, RI 02822

BEING A.P. 46 BLOCK 2, LOT 10
N/F
JAMES POND REALTY CO. LLC
90 ELM ST., PROVIDENCE, RI 02903

LINETYPE LEGEND

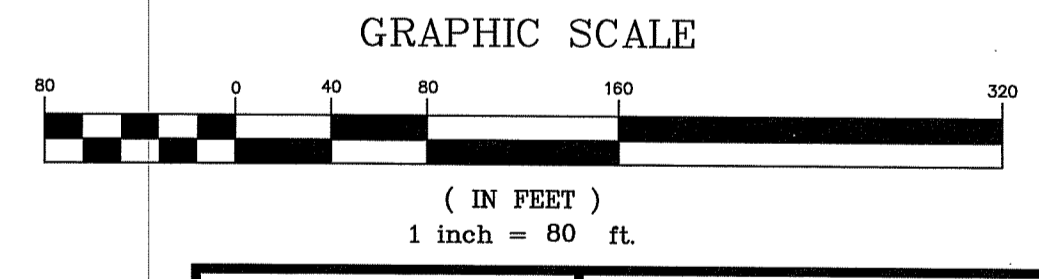
SUBJECT PROPERTY LINE	---
ABUTTING PROPERTY LINE	---
BUILDING SETBACK LINE	---
EXISTING ELEVATION CONTOUR	---
PROPOSED ELEVATION CONTOUR	---
EXIST. ELECTRIC LINE	---
EXIST. DRAIN LINE	---
EXIST. WATER LINE	---
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PROPOSED WATER LINE	---
WETLAND EDGE	---
50 FOOT PERIMETER WETLAND	---
SILT FENCE & LIMIT OF DISTURB.	---
LIMIT OF DISTURBANCE	---
STONEWALL	---
TREELINE	---
EXISTING CONC. BLOCK WALL	---
EXISTING SPOT GRADE	---
PROPOSED SPOT GRADE	---
WATERSHED BOUNDARY	---
WATERSHED TIME OF CONCENTRATION	---
DIRECTION OF SURFACE FLOW	---
SAND FILTER SUBWATERSHED	---

X 100.00
X 100.00



CONTROLLED NEW
9.29 Ac. Paved, B

CONTROLLED OTHER
3.82 Ac. Grass, Good, B
4.15 Ac. Woods, Good, B
6.00 Ac. Paved, B
2.99 Ac. Woods/Grass, Good, B



PREPARED FOR:
COPART OF CONNECTICUT, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254

REVISIONS

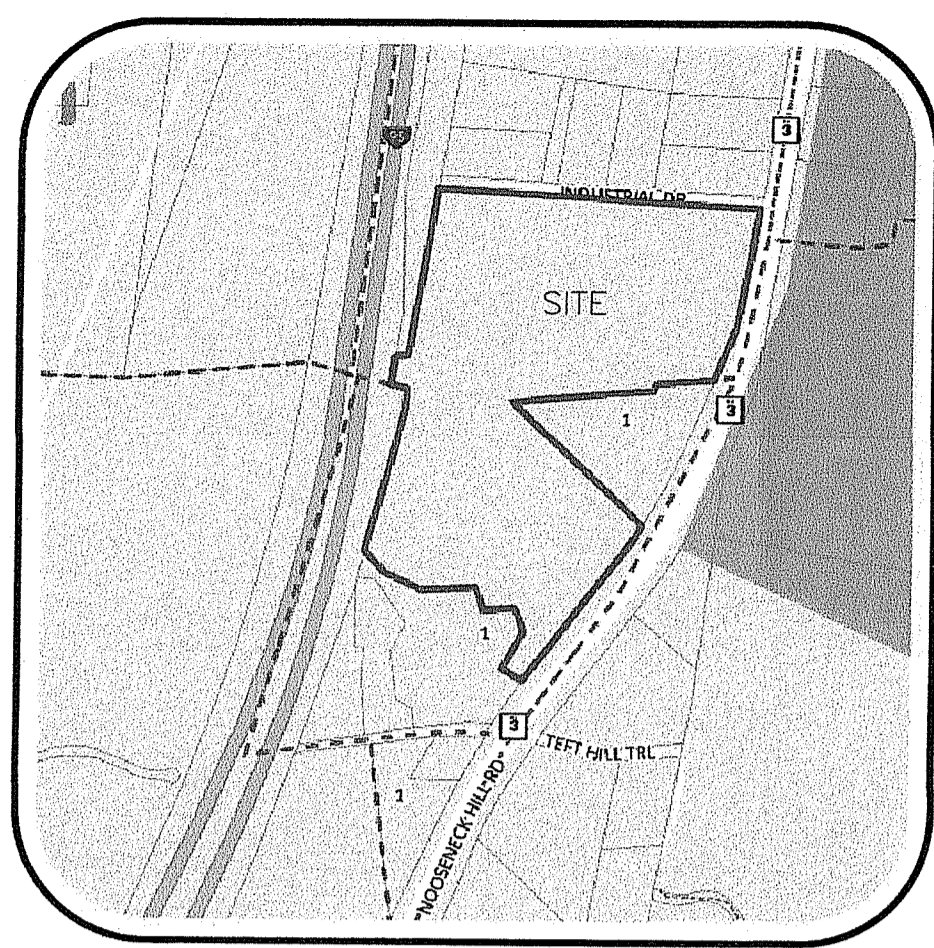
No.	DATE	DRWN	CHKD
1.	11-15-19	KAB	TB

POST-WATERSHED
of
COPART OF CONNECTICUT, INC.
A.P. 33 BLOCK 1 LOT 4
10 INDUSTRIAL DRIVE
in
EXETER, RHODE ISLAND

SCALE: 1"=80'	SHEET NO: 2 of 2
DRAWN BY: TB	DESIGN BY: TB
CHECKED BY: TB	
DATE: 6/11/19	PROJECT NO.: 19019.00

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 4 2020 FILE # 19-0219
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DEC 23 2019
Office of Water Resources



LOCUS MAP

NOT TO SCALE

BEING A.P. 33, BLOCK 1, LOT 4
TOTAL AREA OF LOT = 38.5 AC.

REFERENCES:

- 1. REFERENCE IS HEREBY MADE TO THOSE RHODE ISLAND HIGHWAY PLATS #1421, #1421A & #1425.
2. REFERENCE IS HEREBY MADE TO THOSE RHODE ISLAND HIGHWAY PLATS #47 & #69.
3. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'ADMINISTRATIVE SUBDIVISION AP 33, BLOCK 1, LOT 4, AP 46, BLOCK 1, LOT 2, EXETER, RHODE ISLAND PREPARED FOR OCEAN STATE AUTO AUCTION BY OCEAN STATE PLANNERS, INC. DATE NOV. 04, 2003, REVISED 01/08/04, SCALE 1" = 80', SAID PLAN BEING RECORDED IN THE TOWN OF EXETER AS PLAT #393.
4. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'ADMINISTRATIVE SUBDIVISION - ASSESSOR'S PLAT 33 LOTS 2 & 4 THRU 8 ASSESSOR'S PLAT 46 LOT 3 EXETER, RHODE ISLAND, PREPARED FOR OCEAN STATE AUTO AUCTION BY OCEAN STATE PLANNERS, INC. DATE FEB. 10, 2003, REVISED FEB. 21, 2003 SCALE 1" = 80', SAID PLAN BEING RECORDED IN THE TOWN OF EXETER LAND EVIDENCE AS PLAT #378.
5. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'SURVEY PLAN & DIVISION OF LAND ASSESSOR'S PLAT 46 - BLOCK 1 / LOT 2, ASSESSOR'S PLAT 33 - BLOCK 1 / LOT 1, EXETER, RHODE ISLAND PREPARED FOR BRIAN HARBOUR BY OCEAN STATE PLANNERS, INC. DATE OCT. 21, 1993 SCALE 1" = 80'.
6. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'PLAT OF LANDS IN EXETER, R.I. BELONGING TO FREDERICK T. HONE, JR. & LANA J. AND WOODMANSEE INSURANCE INC. BY F.A. MURRAY ENGINEERS - SLOCUM R.I. SCALE, AS NOTED, DATE APRIL 1973'. SAID PLAN BEING RECORDED IN THE TOWN OF EXETER LAND EVIDENCE AS PLAT #19.
7. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'EXETER BUSINESS AND INDUSTRIAL PARK - PLAT OF LANDS IN EXETER, R.I. BELONGING TO FREDERICK T. HONE, JR. & LANA J. AND WOODMANSEE INSURANCE INC. BY F.A. MURRAY ENGINEERS - SLOCUM R.I. SCALE, AS NOTED, DATE APRIL 1973'. SAID PLAN BEING RECORDED IN THE TOWN OF EXETER LAND EVIDENCE IN PLAT BOOK 2, PAGE 38.
8. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'PLAN OF LAND, EXETER, R.I. MADE FOR DAVID GASKILL, APRIL 1972 - SCALE 1 IN = 100 FT BY STANLEY H. MOWRY - SURVEYOR DATED 5/17/72'. SAID PLAN BEING RECORDED IN THE TOWN OF EXETER LAND EVIDENCE IN PLAT BOOK 2, PAGE 9.
9. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'DIVISION OF LAND SURVEY FOR ANTHONY SANTILLI JR. AP 33 LOTS 9, 14 & 16 IN EXETER, RHODE ISLAND, SCALE: 1" = 40' APRIL 10, 1999 BY: DUPONT ENGINEERING'. SAID PLAN BEING RECORDED IN THE TOWN OF EXETER LAND EVIDENCE AS MAP #320.
10. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED 'OCEAN STATE AUTO AUCTION' 10 INDUSTRIAL DRIVE, EXETER RI 02822, (401) 387-2801. OWNER: OCEAN STATE AUTO AUCTION CORP. ALTAIRSPS LAND TITLE SURVEY 10 INDUSTRIAL DRIVE EXETER, RHODE ISLAND SCALE 1" = 80' DATE: JUNE 6, 2017 BY GUERRIERE & HALNON, INC.'.
11. REFERENCE IS HEREBY MADE TO THAT DESCRIBED RIGHT OF WAY RECORDED IN THE TOWN OF EXETER LAND EVIDENCE BK 132 PG 138, AND REFERENCED IN LAND EVIDENCE BOOK 94 PG 337.
12. REFERENCE IS HEREBY MADE TO THAT GRANT OF EASEMENT RECORDED IN THE TOWN OF EXETER LAND EVIDENCE BK 193 PG 247.
13. REFERENCE IS HEREBY MADE TO THOSE GRANTS OF EASEMENT RECORDED IN THE TOWN OF EXETER LAND EVIDENCE: BK 223 PG 145, BK 226 PG 313, & BK 261 PG 1.
14. REFERENCE IS HEREBY MADE TO THAT WARRANTY DEED RECORDED IN THE TOWN OF EXETER LAND EVIDENCE BK 502 PG 81.
15. REFERENCE IS HEREBY MADE TO THOSE WARRANTY DEEDS RECORDED IN THE TOWN OF EXETER LAND EVIDENCE BK 31 PG 197, BK 31 PG 296 & BK 31 PG 344.

CERTIFICATION:

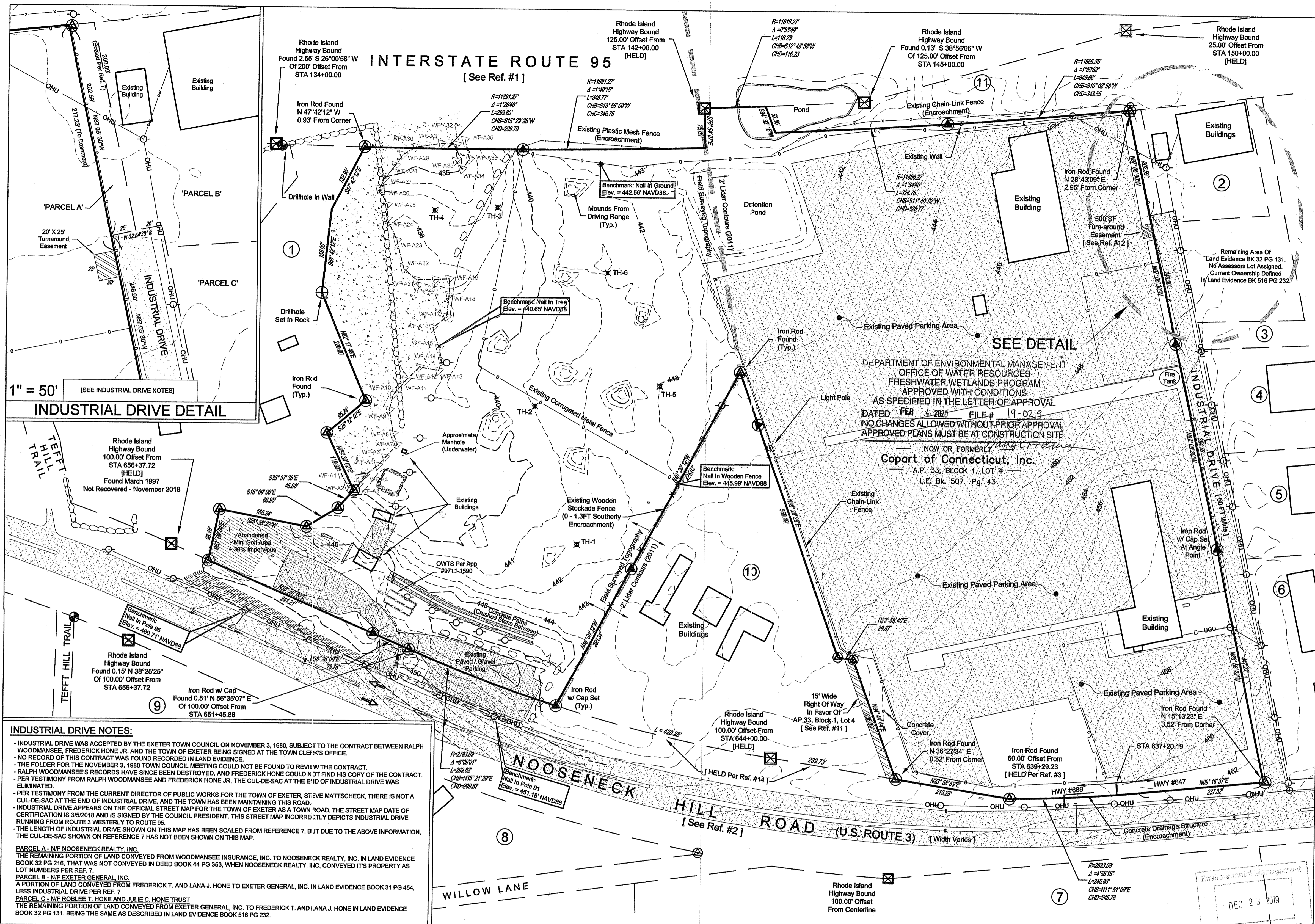
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

Table with columns: TYPE OF SURVEY, MEASUREMENT SPECIFICATION, CLASS. Rows include Boundary, Interior, and Topographic surveys.

STATEMENT OF PURPOSE:

THE PURPOSE OF THIS PLAN IS TO DISPLAY THE EXISTING CONDITIONS OF ASSESSOR'S PLAT 33 BLOCK 1 LOT 4 INCLUDING EXISTING MONUMENTS & STRUCTURES. THE SOUTHERLY UNDEVELOPED PORTION OF THE LOT DISPLAYS 1 FOOT CONTOURS. THE NORTHERLY PORTION OF THE LOT DISPLAYS 2 FOOT LIDAR CONTOURS, AND PAVEMENT GENERATED FROM RIGIS IMAGERY.

BY: MATTHEW J. COTTA DATE 7/3/19
PLS-1977 COA - LS.000A453



1" = 50'

INDUSTRIAL DRIVE NOTES:

INDUSTRIAL DRIVE NOTES:

- INDUSTRIAL DRIVE WAS ACCEPTED BY THE EXETER TOWN COUNCIL ON NOVEMBER 3, 1980, SUBJECT TO THE CONTRACT BETWEEN RALPH WOODMANSEE, FREDERICK HONE, JR. AND THE TOWN OF EXETER BEING SIGNED AT THE TOWN CLERK'S OFFICE.
- NO RECORD OF THIS CONTRACT WAS FOUND RECORDED IN LAND EVIDENCE.
- THE FOLDER FOR THE NOVEMBER 3, 1980 TOWN COUNCIL MEETING COULD NOT BE FOUND TO REVIEW THE CONTRACT.
- RALPH WOODMANSEE'S RECORDS HAVE SINCE BEEN DESTROYED, AND FREDERICK HONE COULD NOT FIND HIS COPY OF THE CONTRACT.
- PER TESTIMONY FROM RALPH WOODMANSEE AND FREDERICK HONE, JR., THE CUL-DE-SAC AT THE END OF INDUSTRIAL DRIVE WAS ELIMINATED.
- PER TESTIMONY FROM THE CURRENT DIRECTOR OF PUBLIC WORKS FOR THE TOWN OF EXETER, STYVE MATTSHECK, THERE IS NOT A CUL-DE-SAC AT THE END OF INDUSTRIAL DRIVE, AND THE TOWN HAS BEEN MAINTAINING THIS ROAD.
- INDUSTRIAL DRIVE APPEARS ON THE OFFICIAL STREET MAP FOR THE TOWN OF EXETER AS A TOWN ROAD. THE STREET MAP DATE OF CERTIFICATION IS 3/5/2018 AND IS SIGNED BY THE COUNCIL PRESIDENT. THIS STREET MAP INCORRECTLY DEPICTS INDUSTRIAL DRIVE RUNNING FROM ROUTE 3 WESTERLY TO ROUTE 95.
- THE LENGTH OF INDUSTRIAL DRIVE SHOWN ON THIS MAP HAS BEEN SCALED FROM REFERENCE 7, BUT DUE TO THE ABOVE INFORMATION, THE CUL-DE-SAC SHOWN ON REFERENCE 7 HAS NOT BEEN SHOWN ON THIS MAP.

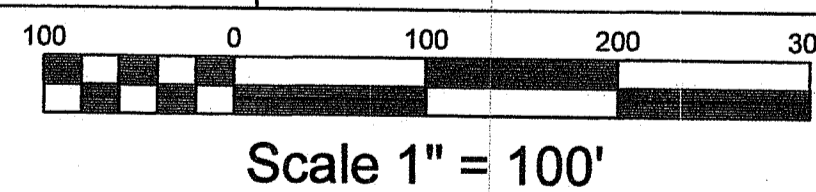
PARCEL A - N/F NOOSENECK REALTY, INC. THE REMAINING PORTION OF LAND CONVEYED FROM WOODMANSEE INSURANCE, INC. TO NOOSENECK REALTY, INC. IN LAND EVIDENCE BOOK 32 PG 216, THAT WAS NOT CONVEYED IN DEED BOOK 44 PG 353, WHEN NOOSENECK REALTY, INC. CONVEYED ITS PROPERTY AS LOT NUMBERS PER REF. 7.
PARCEL B - N/F EXETER GENERAL, INC. A PORTION OF LAND CONVEYED FROM FREDERICK T. AND LANA J. HONE TO EXETER GENERAL, INC. IN LAND EVIDENCE BOOK 31 PG 454, LESS INDUSTRIAL DRIVE PER REF. 7.
PARCEL C - N/F ROBEE T. HONE AND JULIE C. HONE TRUST THE REMAINING PORTION OF LAND CONVEYED FROM EXETER GENERAL, INC. TO FREDERICK T. AND LANA J. HONE IN LAND EVIDENCE BOOK 32 PG 131. BEING THE SAME AS DESCRIBED IN LAND EVIDENCE BOOK 516 PG 232.

LEGEND

- MONUMENT TO BE SET
RHODE ISLAND HIGHWAY BOUND
IRON ROD FOUND
IRON ROD WITH CAP SET
DRILLHOLE FOUND
EXISTING INTERMEDIATE CONTOUR
EXISTING 5 FT INDEX CONTOUR
EXISTING PROPERTY LINE
ABUTTING PROPERTY LINE
OVERHEAD UTILITIES
UNDERGROUND UTILITIES
WOODEN FENCE
CORRUGATED METAL FENCE
PLASTIC MESH FENCE
CHAIN-LINK FENCE
EXISTING STONE WALL
EXISTING BOLLIDER WALL
EXISTING PAVED SURFACE

Notes:

- 1. THE SITE IS NOT LOCATED IN A NATURAL HERITAGE AREA.
2. THE SITE IS NOT LOCATED IN THE GROUNDWATER PROTECTION OVERLAY DISTRICT.
3. THE SOUTHERLY SITE'S GROUND COVER IS PRIMARILY BRUSH AND GRASSLAND WITH A WOODED WETLAND AREA.
4. THERE ARE NO AREAS OF AGRICULTURAL USE ON SITE.
5. THERE ARE NO HISTORIC CEMETARIES WITHIN OR IMMEDIATELY ADJACENT TO THE PROPOSED DEVELOPMENT.
6. LOCATION OF UNDERGROUND UTILITIES ARE ASSUMED.
7. ABUTTING STRUCTURES GENERATED USING AERIAL PHOTOGRAPHY FROM THE SPRING OF 2011 NORTHEAST LIDAR PROJECT.
8. TOPOGRAPHY ON THE NORTHERLY PORTION OF THE LOT WAS GENERATED FROM 2 FOOT LIDAR CONTOURS.
9. EXISTING FENCE ALONG INDUSTRIAL DRIVE LOCATED IN THE RIGHT OF WAY.
10. EXTENSION OF THE WESTERN SEGMENT OF THE CENTERLINE OF INDUSTRIAL DRIVE, HELD TO RHODE ISLAND HIGHWAY BOUND (PER REF. 9, #6 & 7).



Scale 1" = 100'

FEMA DETERMINATION ZONE "X" - AREA OF MINIMAL FLOODING PANEL NO. - 44009C060 H EFFECTIVE - OCTOBER 10, 2010

PARCEL ZONING: LI MIN LOT SIZE = 2 ACRES MIN LOT FRONTAGE = 400' FRONT SETBACK = 200' REAR SETBACK = 100' SIDE SETBACK = 50' MAX LOT COVERAGE = 25%

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED FEB 4 2020 FILE # 19-0219 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NOW OR FORMERLY Copart of Connecticut, Inc. A.P. 33, BLOCK 1, LOT 4 L.E. BK. 507 Pg. 43

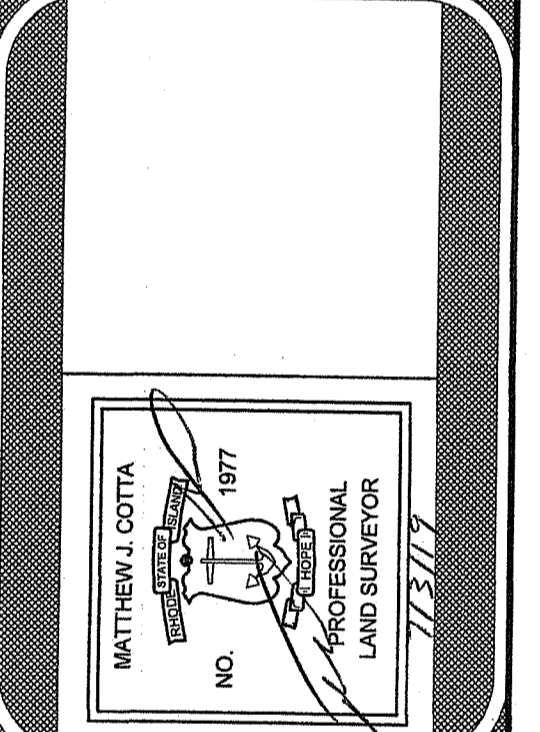
NEIGHBORING ASSESSORS LOT CHART

Table with columns: SYMBOL, PLAT NUMBER, BLOCK NUMBER, LOT NUMBER, NOW OR FORMERLY, BOOK/PAGE. Lists neighboring lots and owners.

THIS PLAN IS TO BE INDEXED UNDER THE FOLLOWING RECORDS: 1. NOOSENECK HILL ROAD - ROUTE 3 2. INTERSTATE ROUTE 95 3. INDUSTRIAL DRIVE

FINAL RECORD PLAN FOR COPART OF CONNECTICUT, INC. LOCATED AT 10 INDUSTRIAL DRIVE, AP 33, BLK 1, LOT 4 EXETER, R.I. 02822

Table with columns: Drawn By, Checked By, Scale, Date, REVISIONS. Includes drawing and revision details.



AMERICAN ENGINEERING, INC. DANIEL R. COTTA Professional Engineer / Professional Land Surveyor 400 South County Trail - Suite A 201 Exeter, Rhode Island 02822 DCotta@AmericanEngineeringRI.com Phone (401) 294-4090 / Fax (401) 294-3625

Sheet 1 of 1 sheets Drawing No. 93152